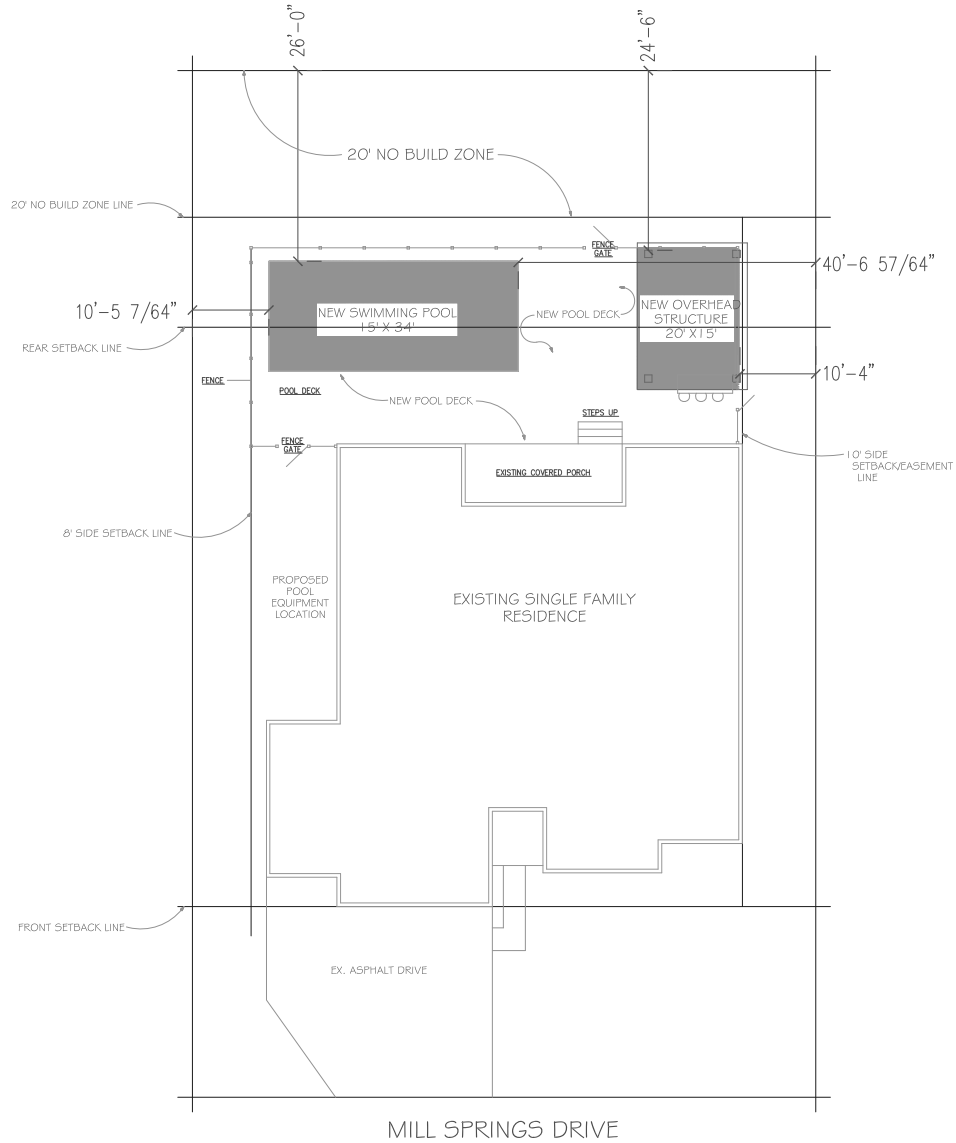


GENERAL NOTES FOR CONSTRUCTION

1. ALL DIMENSIONS SHALL BE VERIFIED AT THE JOB BY THE GENERAL CONTRACTOR AND EACH SUB-CONTRACTOR AND THE ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCIES WITH DIMENSIONS OR ANY OTHER FIELD CONDITION WHICH IS NOT ACCORDING TO THE DRAWINGS. PRIOR TO PROCEEDING WITH THE WORK, THE ENGINEER MUST BE NOTIFIED OF ANY FIELD CHANGES WHICH AFFECT MEANS OF EGRESS OR ANY OTHER LIFE SAFETY ITEMS WHICH ARE COVERED BY IBC AFTER THE BUILDING PERMIT HAS BEEN ISSUED BY THE GOVERNING PLAN EXAMINING AGENCY. ALL WORK SHALL CONFORM TO ALL APPLICABLE ELECTRICAL AND MECHANICAL BUILDING CODES. FINAL APPROVAL AT THE SITE WITH THE GOVERNING AGENCY'S INSPECTOR IS MANDATORY.
2. THE CONTRACTOR SHALL COORDINATE AND BE RESPONSIBLE FOR SEQUENCING OF THE CONSTRUCTION. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE AND TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER SHORING, SHEETING, TEMPORARY BRACING GUYS OR TIE-DOWNS WHICH MIGHT BE NECESSARY.
3. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY & BUILDING CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
4. THESE CONTRACT DOCUMENTS ARE DESIGNED TO MEET THE REQUIREMENTS FOR THE 2013 Ohio Residential Code(ORC).
5. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO INSPECT EXISTING FIELD CONDITIONS. THIS CONTRACT SHALL INCLUDE LABOR AND MATERIALS NECESSARY FOR FIELD MODIFICATIONS DUE TO EXISTING CONDITIONS. ANY CONTRACTOR PROPOSED CHANGES OR DEVIATIONS TO THE DESIGN AS SHOWN SHALL BE SUBMITTED THE OWNER.
6. CALL BEFORE YOU DIG!



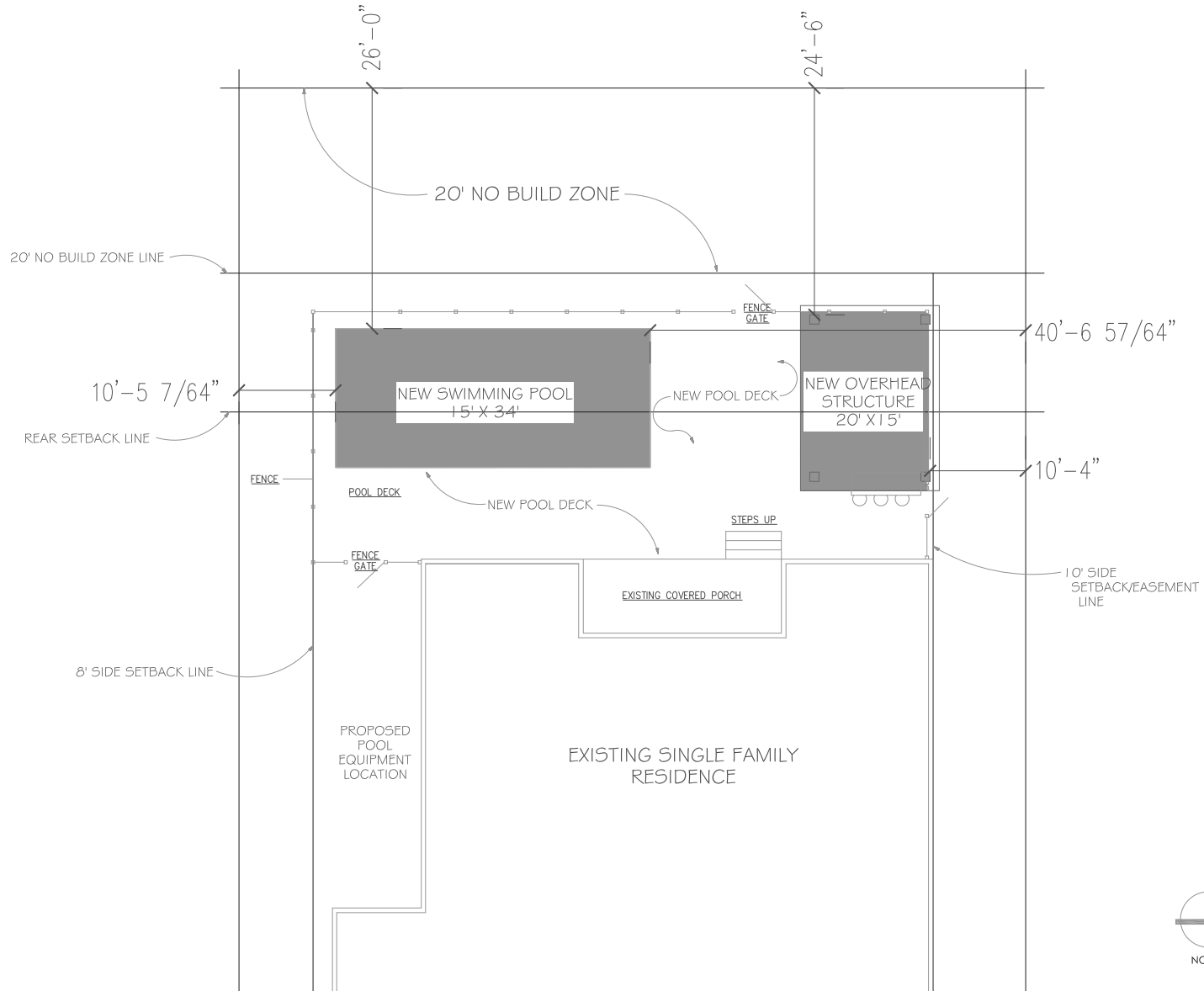
SITE PLAN

General Notes

Project Name and Address
Pool Addition – Dublin, OH
7618 Mill Springs Drive
Dublin, OH 43017

No.	Revision/Issue	Date
1.	pool placement	4.3.24

Project MSD_2023	Sheet S.1
Date 01.2023	
Scale 1/8"=1'-0"	



DETAIL SITE PLAN

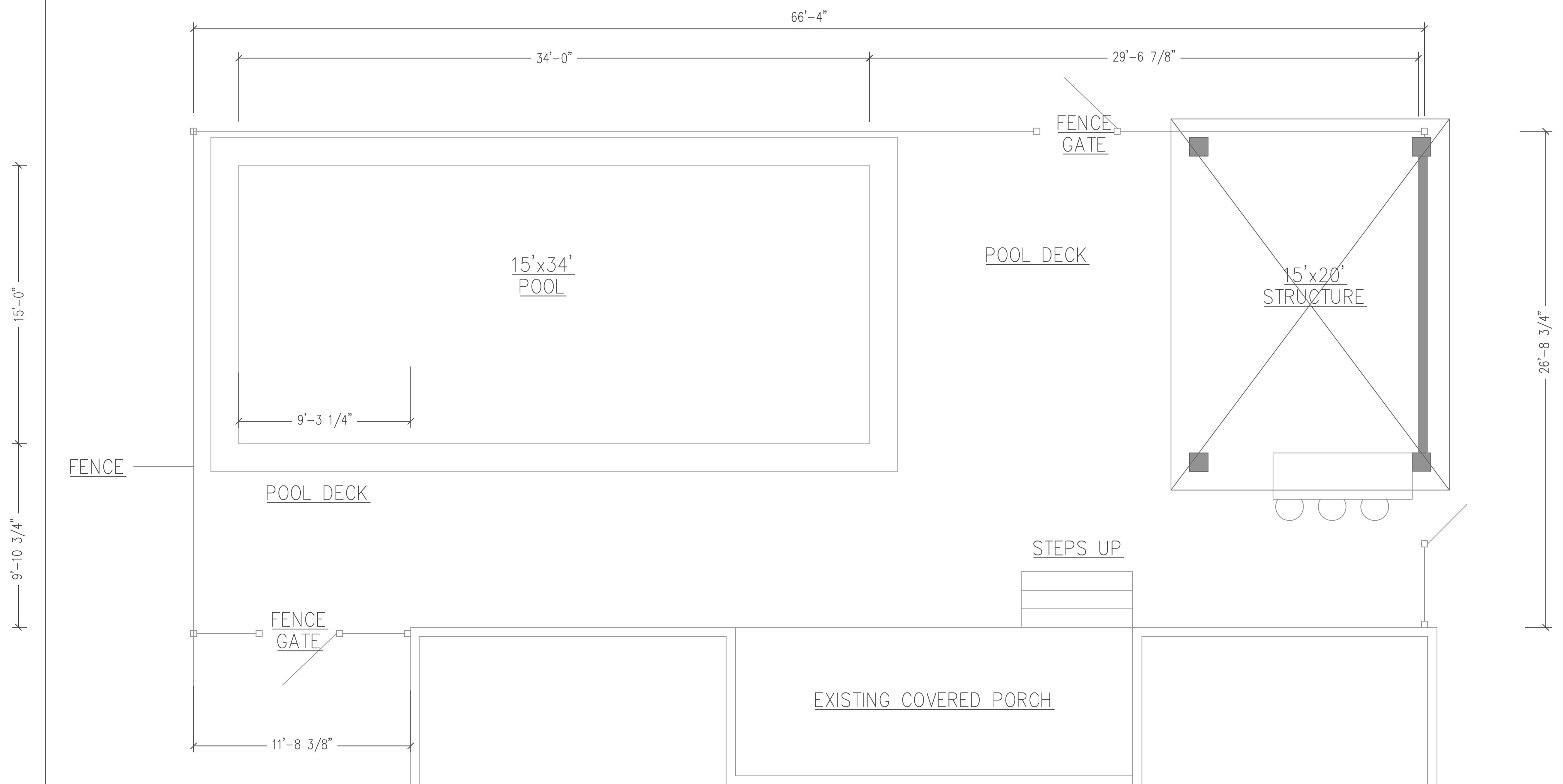
General Notes

Project Name and Address
 Pool Addition - Dublin, OH
 7618 Mill Springs Drive
 Dublin, OH 43017

1. pool placement	4.3.24
No.	Revision/Issue

Project MSD_2023	Sheet S.2
Date 01.2023	
Scale 3/16" = 1'-0"	





Pool Addition - Layout

General Notes

Project Name and Address
 Pool Addition – Dublin, OH
 7618 Mill Springs Drive
 Dublin, OH 43017

1.	pool placement	4.3.24
No.	Revision/Issue	Date

Project MSD_2023	Sheet L. 1
Date 01.2023	
Scale 1/4" = 1'-0"	

5750 Chandler Court
 Westerville, OH 43082
 E-Mail: hoyssinc@aol.com
 Phone (614) 895-1922
 Survey Fax (614) 895-1949
 Construction Fax (614) 895-9549

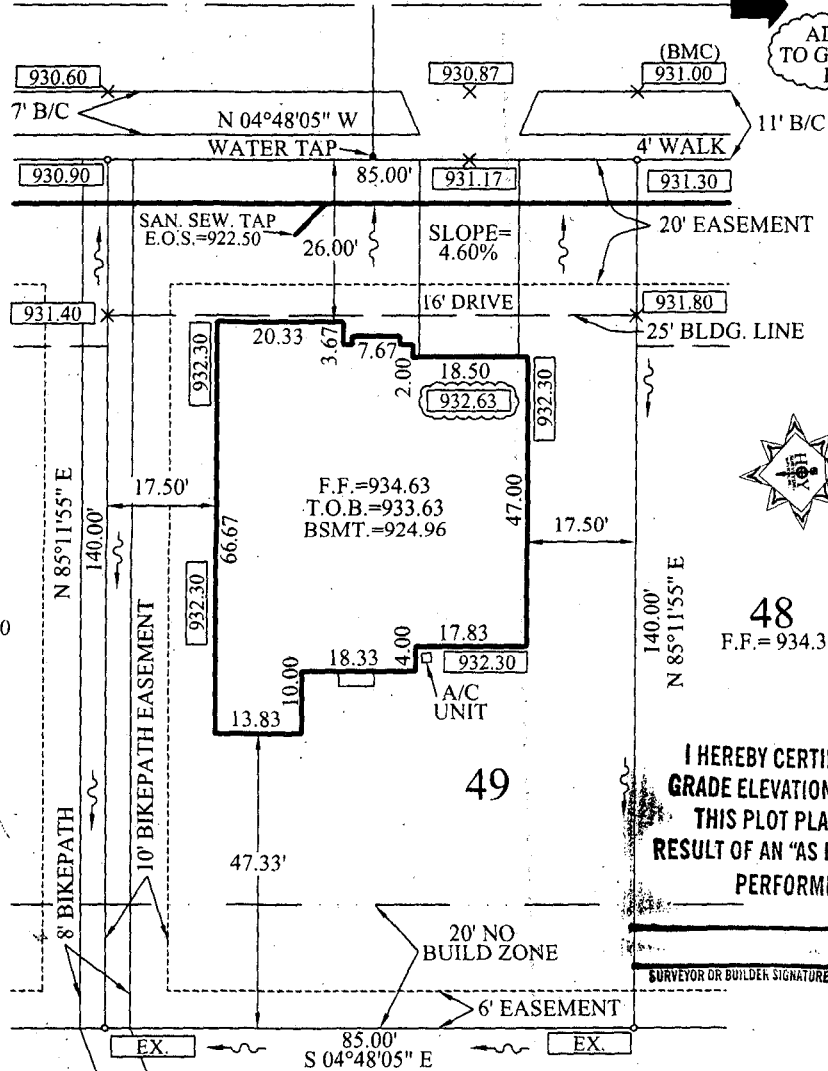


REVISION DATE & REQUEST		
△ NC	HOUSE CHANGE	09.01.06 (NV)
△ NC	HOUSE CHANGE	09.18.06 (NV)
△ AB	03.02.07	NEW HOUSE
△ DR	03-22-07	SUNROOM & MASONRY FP. ADDED
△ A		

FOR M/I HOMES OF CENTRAL OHIO, L.L.C. HOUSE STYLE ROYCROFT "B"
 OT/SUBDIVISION 49 BISHOPS CROSSING CITY OF DUBLIN
 SCALE 1" = 20' PB. 5 PG. 117 DATE 01-18-06 ORDER NO. _____ DRN. DR/NV CK. _____
 FLOOD ZONE X COMM. PANEL 390808 PAGE 0150B DATE 09-27-91
 MINIMUMS R: 25%/35' LOT WIDTH @ BLDG. LINE 85.00'
 S: 6/18'

"LANDSCAPE CODE REQUIRES AT LEAST TWO, 2-1/2 INCH DECIDUOUS TREES IN THE FRONT YARD OF THIS LOT. INSTALLATION WILL OCCUR DURING THE LANDSCAPE PHASE OF THE HOUSE. PLACEMENT OF THE TWO TREES WILL BE FIELD-VERIFIED BY THE CITY OF DUBLIN PRIOR TO INSTALLATION."

7618 MILL SPRING DRIVE 50' INDICATES MAJOR FLOOD ROUTE



ENGINEERING COMPLIANCE
 City of Dublin
 APPROVED AS NOTED
 EPPO3-30-07

I HEREBY CERTIFY THAT THE GRADE ELEVATIONS SHOWN ON THIS PLOT PLAN ARE THE RESULT OF AN "AS BUILT" SURVEY PERFORMED ON

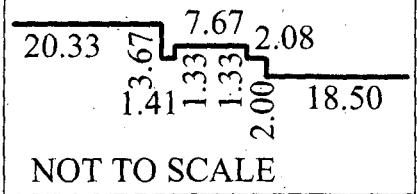
SURVEYOR OR BUILDER SIGNATURE _____ DATE _____

NOTE: BUILDERS TO PROVIDE TREE PROTECTION DURING ALL PHASES OF CONSTRUCTION.

"A/C UNIT NEEDS SCREENED PER CITY OF DUBLIN REQUIREMENTS"

*NOTE: WATER SERVICE SIZE = 3/4"

BUILDER TO MAINTAIN EROSION CONTROL



SQUARE FOOTAGE DATA

FOR HOMEBUILDER PRICING AND ESTIMATION PURPOSES ONLY

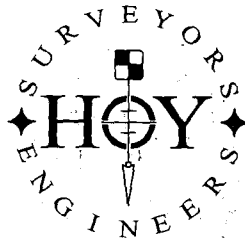
LOT	11900.0	WALK	260.0
HOUSE	2765.0	SOD COV.	8530.0
DRIVE	507.0	BIKE PATH	560.0
APPROACH	197.0	LOT COV.	23.24%

PLOT PLAN
 We hereby certify that the foregoing PLOT PLAN was prepared from information provided by the Client and data obtained from Engineered Subdivision Plan. This Plot Plan is to be used by the Client for the sole purpose of obtaining a building permit. The use of the Plot Plan for any other purpose is strictly prohibited.

By *[Signature]*



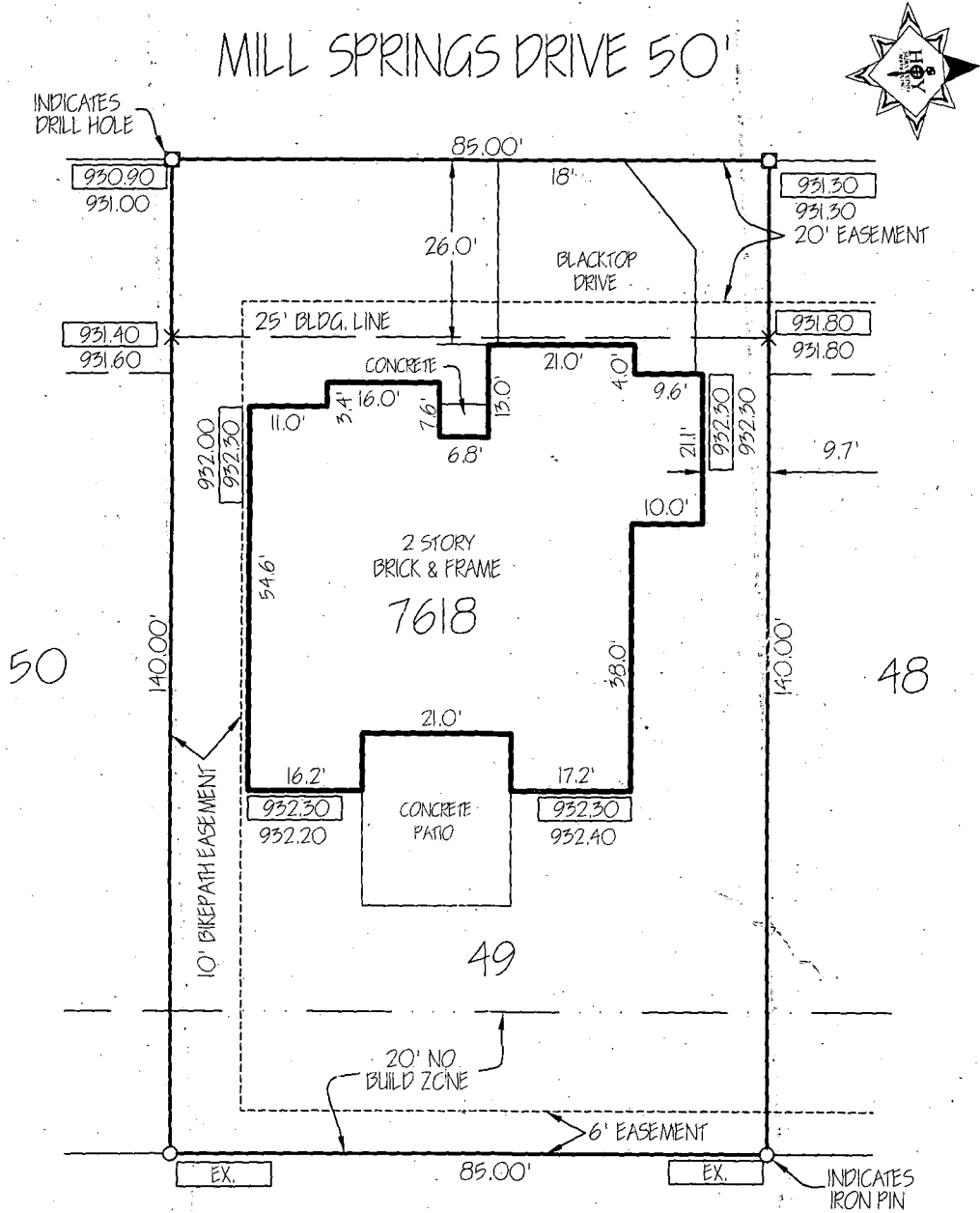
5750 Chandler Court
 Westerville, OH 43082
 E-Mail: hoyssinc@aol.com
 Phone (614) 895-1922
 Survey Fax (614) 895-1949
 Construction Fax (614) 895-9549



2152-07-S

Order No.

CERTIFIED TO TRANSOHIO RES TITLE COUNTY OF UNION
 LENDER MIF P.B. 5 PG. 117 OR./D.B. PG.
 BUYER SCALE 1" = 20' DATE 11-5-07 DRN K3 CH CH



We hereby certify that the foregoing MORTGAGE LOCATION SURVEY was prepared in accordance with Chapter 4733-38, Ohio Administrative Code, and is not a boundary survey pursuant to Chapter 4733-37, Ohio Administrative Code. This plat is prepared for mortgage loan and title purposes only and is not to be construed as having been prepared for the owner or for the use of the owner for any purposes.

THIS PROPERTY IS LOCATED IN
 FLOOD ZONE X
 COMMUNITY PANEL 390808
 PAGE 0150-B DATE 9-27-91 By Steven J. Hoy

