

Floor Plan General Notes

- All interior walls are 2x4's @ 16" o.c. u.n.o.
- All exterior walls for 2nd floor 2x6's @ 16" o.c. u.n.o.
- All interior walls are dimensioned to stud.
- All exterior walls are dimensioned to stud interior and outside of sheathing exterior.
- Provide floor joists to rest off all concealed draft openings both vertical & horizontal and to form an effective fire barrier between stories, and between a top story & roof space. Firestopping shall be provided in wood framed construction in the following locations:
 - A. At concealed open ends of walls, surfaces, working floor joists in the attic, & floor joists.
 - B. At all penetrations between finished ceilings & finished spaces such as occur in attics, drop the ceiling.
 - C. At concealed open ends of walls, surfaces, working floor joists in the attic, & floor joists.
 - D. At garage wood joists, pipes, ducts, chimneys, & flues in the attic and floor joists, & vice versa.
- Wall bracing 7/16" exterior grade OSB sheathing - entire elevation skins.
- All openings to have double 2x frames with jamb set vertical.
- Provide min. (3) solid 2x4 wood stud column under concentrated point loads from beam and lintel loads (4) 2x4 wood stud column over 6' lintel length u.n.o. provide complete bearing surface and continue down through walls to foundation.
- Provide double 2x top plates of all partitions.
- Provide solid wood blocking or 16 ga. galvanized cross bracing @ 8'-0" o.c. for all floor joists. Provide solid wood blocking @ 8'-4" o.c. for roof rafters.
- All exterior door lvs. are 6'8" u.n.o. Interior Door lvs. are 7'0" u.n.o. finished trim of windows & doors should align.
- Provide flashing over all horizontal trim boards.
- Use Simpson 16 ga. joist hangers for all joint connections u.n.o.
- First Floor design load: 40% L, 10% S, 50% D
Second Floor design load: 40% L, 10% S, 50% D
- Lumber Grades, Unless noted otherwise all wood framing shall have the minimum values:

| | | |
|-------------|----------------------|----------------------|
| (#2 SPF) | E = 1.4 | Fb=1509 (repetitive) |
| up to 2 x 4 | E = 1.4 | Fb=1509 (repetitive) |
| (#2 SYP) | E = 1.4 | Fb=1388 (repetitive) |
| 2 x 6 | Fb=1208 (repetitive) | |
| 2 x 8 | Fb=1107 (repetitive) | |
| 2 x 10 | Fb=1006 (repetitive) | |
| 2 x 12 | Fb=905 (repetitive) | |
| (#2 SYP) | E = 1.6 | Fb=1725 (repetitive) |
| up to 2 x 4 | E = 1.6 | Fb=1725 (repetitive) |
| (#2 SYP) | E = 1.6 | Fb=1440 (repetitive) |
| 2 x 6 | Fb=1380 (repetitive) | |
| 2 x 8 | Fb=1260 (repetitive) | |
| 2 x 10 | Fb=1140 (repetitive) | |
| 2 x 12 | Fb=1020 (repetitive) | |
- LAMINATED BEAM (LVL) E = 1.9
as manuf. by Fb=2600
Fv=250
Fv=285
- For all laminated beams (manufactured) refer to supplier beam sheets & specs.
- Provide 22" x 30" attic access to spaces over 30" in ht.
- Interior clg. lvs. as noted in plan.
- Foam plastic shall be separated from interior by a min. of 1/2" gypsum bd.
- Wall bracing 7/16" ext. grade OSB sheathing continuous structural panel sheathing per RCO table 602.10

LIGHT & VENT SCHEDULE

| ROOM NAME | ROOM AREA (SF) | LIGHT REQ (SF) 8/8 MIN (RCO 303) | LIGHT PROVIDED (SF) | VENT REQ (SF) 4/8 MIN (RCO 303) | VENT PROVIDED (SF) |
|------------|----------------|----------------------------------|---------------------|---------------------------------|--------------------|
| KITCHEN | 241 | 14.3 | 21 | 4.6 | 14 |
| GREAT RM | 394 | 28.7 | 54 | 14.4 | 27 |
| DINING | 147 | 11.6 | 98 | 5.4 | 44 |
| FLEX BDRM | 156 | 10.4 | 21 | 5.4 | 14 |
| GUEST BDRM | 194 | 15.5 | 20 | 7.8 | 10 |
| MASTER BED | 288 | 23.0 | 45 | 11.5 | 23 |
| BEDROOM 2 | 215 | 17.2 | 22 | 8.6 | 11 |
| BEDROOM 3 | 194 | 15.5 | 20 | 7.8 | 10 |

*ALL ROOMS OF THE HOUSE WILL BE MECHANICALLY VENTILATED & ARTIFICIALLY LIT - MEETING IRC R303 EXCEPTIONS
 (1) *MIN NET OPENABLE WIDTH 20" MIN NET OPENABLE HEIGHT 24". SILL HEIGHT SHALL NOT BE MORE THAN 44"
 (2) *MUST MEET MIN EGRESS REQ. PER IRC

| RCO CHAP. II PERSPECTIVE METHOD COMPLIANCE | | | | | | | | | | | |
|--|-----------------------|-------------------|--------------------------|-----------------|--------------------------|-------------------|---------------|-----------------------|----------------------|-----------------------|-------|
| CLIMATE ZONE | FENESTRATION U-FACTOR | SKYLIGHT U-FACTOR | GLAZED FENESTRATION SHGC | CEILING R-VALUE | WOOD FRAMED WALL R-VALUE | MASS WALL R-VALUE | FLOOR R-VALUE | BASEMENT WALL R-VALUE | SLAB R-VALUE & DEPTH | CEILING SPACE R-VALUE | |
| 1 | 4 EXCEPT MARINE | 0.32 | 0.55 | 0.40 | 44 | 20 OR 13 + 5" | 8/13 | 19 | 10/13 | 10' - 2" | 10/13 |
| 2 | 5 AND MARINE 4 | 0.30 | 0.55 | NR | 44 | 20 OR 13 + 5" | 13/17 | 30e | 10/13 | 10' - 2" | 10/13 |

General Requirements

- Builder shall be familiar w/provisions of all applicable codes & insure compliance of work to those codes
- These documents do not include the necessary components for construction safety. Safety, care of adjacent properties during construction compliance with state and federal regulations regarding safety, and compliance with requirements specified in the Owner/Builder contract is, and shall be, the Builder's responsibility.
- Builder shall supervise and direct the work and shall be solely responsible for all construction means, methods, techniques and safety procedures and for coordinating all portions of the work.
- In the event of conflict between local, state, & national codes, the more stringent shall govern.
- All construction is to be in compliance with the following code: Residential Code of Ohio- 2019 (R.C.O. 2019.)
- Square footage calculations as shown in the floor plans include all conditioned space on the first and second floors and measure to the exterior face of the wall. Stairs going to the basement and to the upper floors are included and are only counted once. Garage, basements, unfinished attics, fireplaces extending beyond the exterior walls, and the upper portion of vaulted & 2-story spaces are not included. Plans adhere to the National ANSI Standard Z765-2003, as recognized by the National Association of Home Builders.

Razor Residence

112 S. Riverview Dr., Dublin, Ohio



Contractor: epic group
614-374-7575

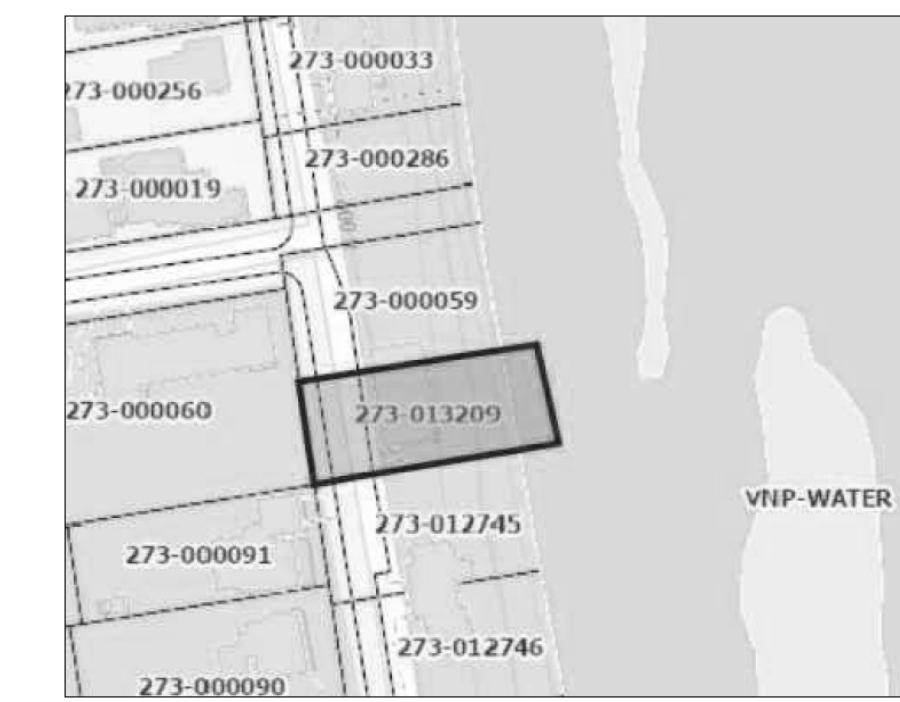
SMBH, Inc.
614.481.9800 office
614.643.4518 direct
www.smbhinc.com



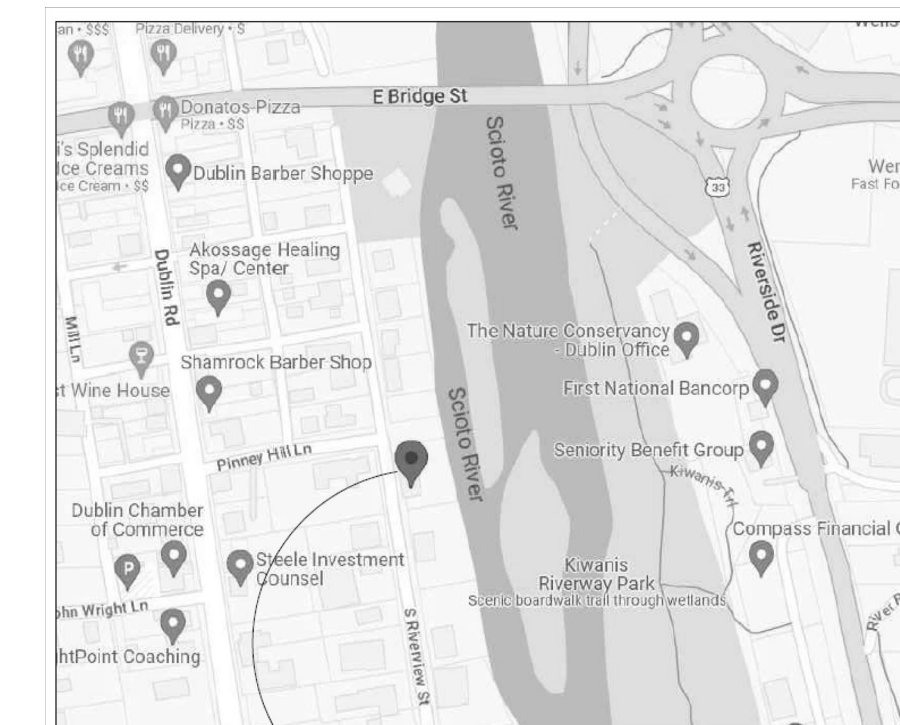
Structural Engineer: SMBH
(614) 481- 9800 (Greg Barsch, contact #)



Front Elevation

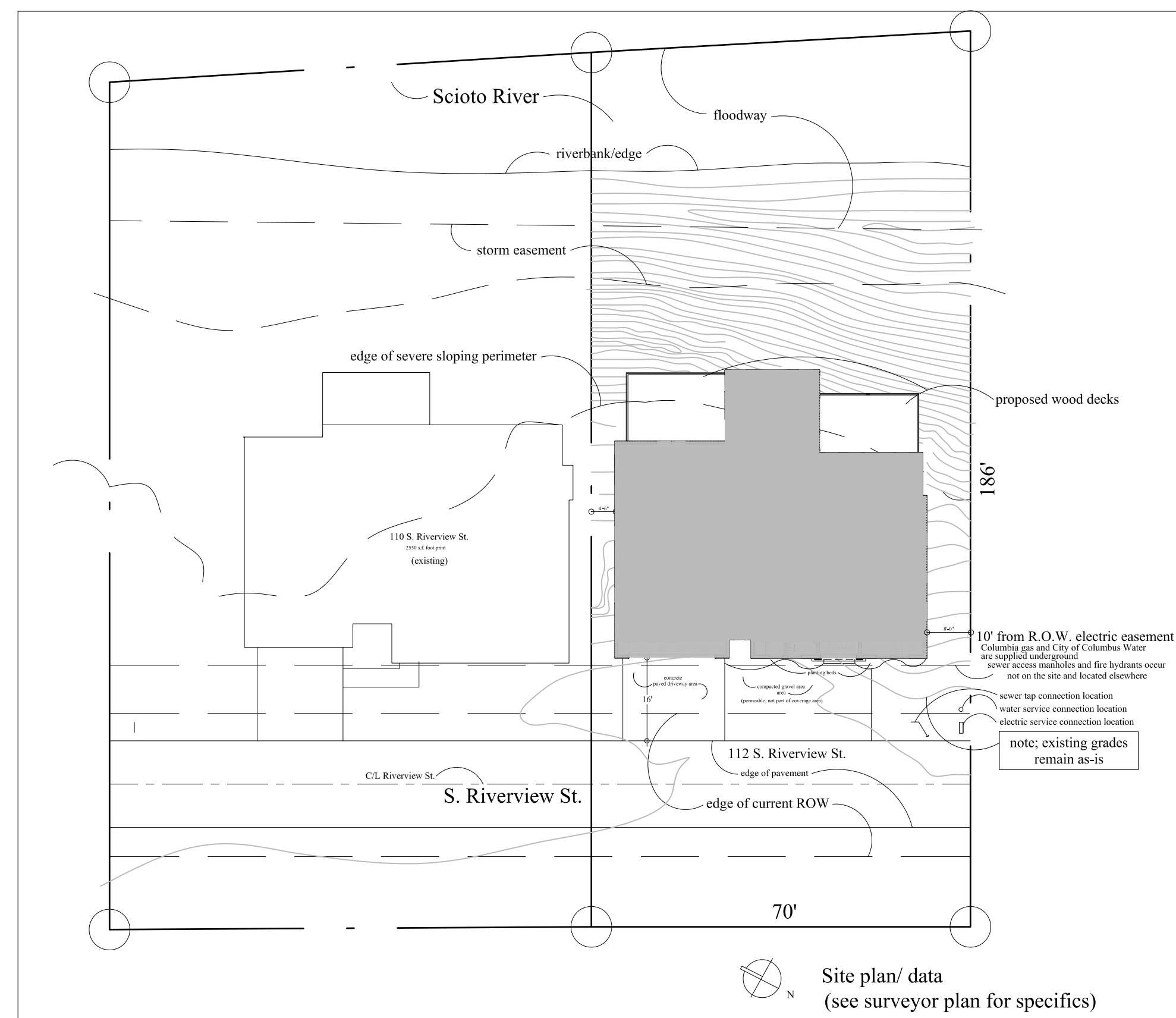


Franklin County Auditor Map view



Project Location

| Dublin historic guidelines site development msk. based on Dublin code 553.173 | 112 S. Riverview Dr. lot coverage one dwelling unit |
|---|---|
| minimum lot size 8,700 s.f. | 11,439 s.f. (26 acres) |
| minimum lot width 60 ft. | 76' |
| front yard setback 0' | 16' from exist. rd pavement |
| min. side yard setback 3' | 4'-0" |
| min. side yard setback total 12' | 12'-0" |
| rear yard setback 20% lot depth max 50' | 65'-0" avg |
| maximum lot coverage 45% | 27.87% (includes 288 s.f. drive) |
| maximum build ht. 24' | 21'-3" (center roof street elevation) |
| maximum building footprint 25% | 25% (OSB) s.f. building footprint |
| attached front loaded setback 20' | 16' (water/sewer) |
| front loaded garage setback ~35% linear distance front elevation | 34% |



Building Code Information

Applicable Codes:
 Building Code: Residential Code of Ohio (R.C.O.)- 2019
 Plumbing Code: Chapter 44 Code of Ohio except as modified in section 2501.1
 Mechanical Code: Chapters 12-14 Code of Ohio except as modified in section 2501.1
 Electrical Code: National Electric Code - 2017

| Climate & Geographical Design Criteria | | | | | | WINTER DESIGN-TEMP | ICE SHIELD DEPLOYMENT REQUIRED | AIR FREEZING INDEX | MEAN ANNUAL TEMP. |
|--|----------------------------|--------------------|-----------------------------------|-----|-------------------|--------------------|--------------------------------|--------------------|-------------------|
| ROOF SNOW LOAD (# PER S.F.) | WIND PRESSURE (# PER S.F.) | SEISMIC CONDITIONS | SUBJECT TO DAMAGE FROM WEATHERING | | | | | | |
| 20 | 90 | B | SEVERE | 36" | MODERATE TO HEAVY | 5 DEG. F. | YES | 1000 | 50 |

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Print Dates:

- 9-28-23 bid set review
- 1-9-24 revsd. bid set review
- 2-5-2024 permit set plans
- 3-4-2024 permit set plans
- 4-17-2024 permit set plans
- 5-1-2024 permit set plans



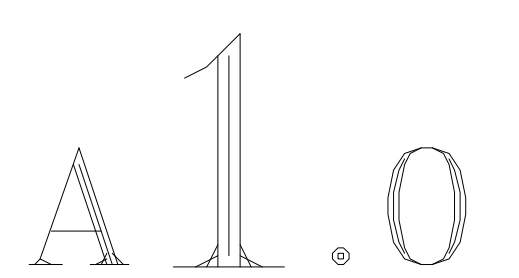
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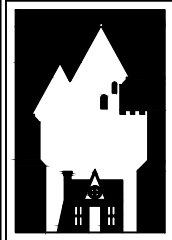
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permit set plans
2-5-2024

Cover Sheet & Project Information

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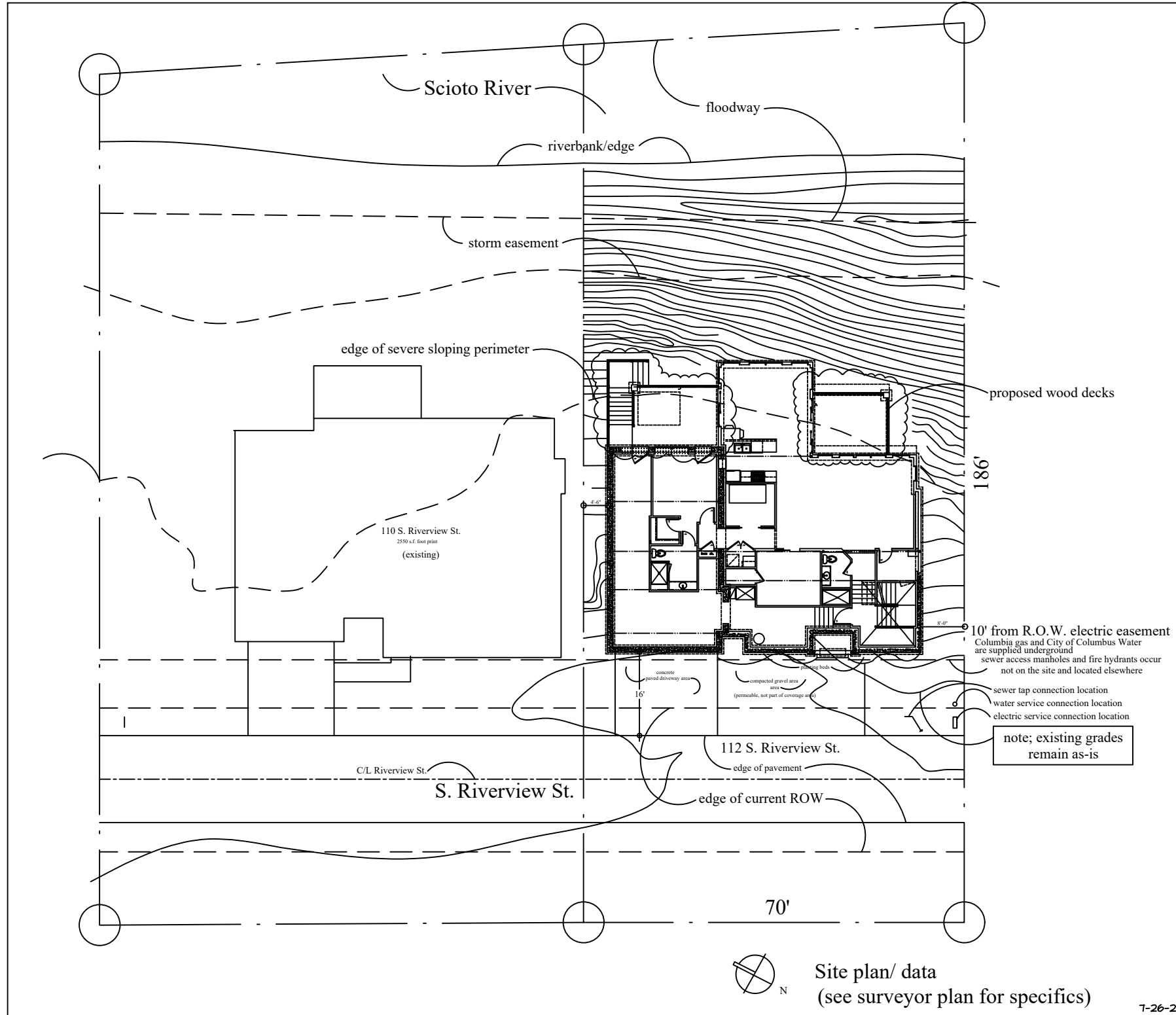
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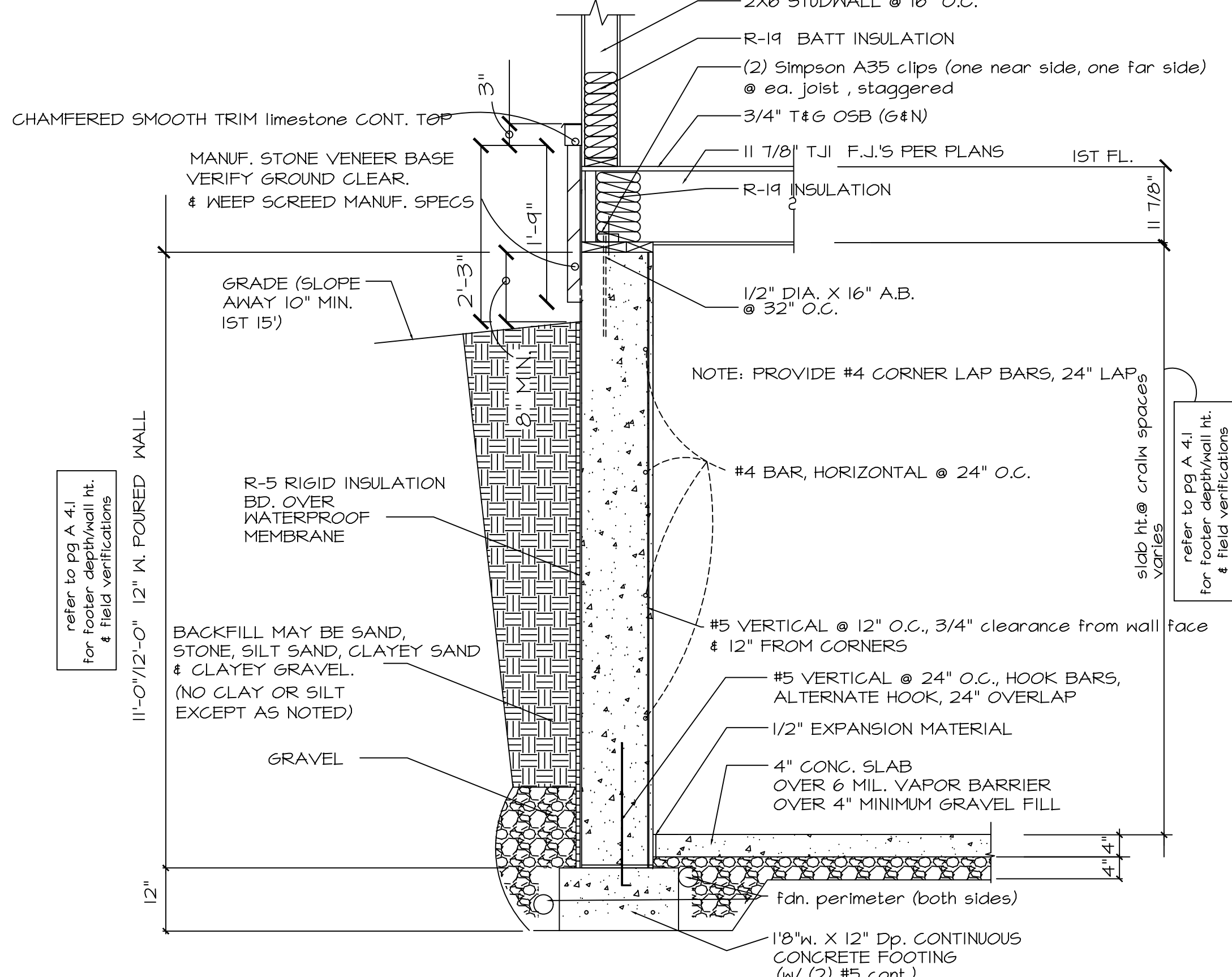
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Dublin historic guidelines site development stds. based on
Dublin code 153.173

112 S. Riverview Dr.
lot coverage
one dwelling unit

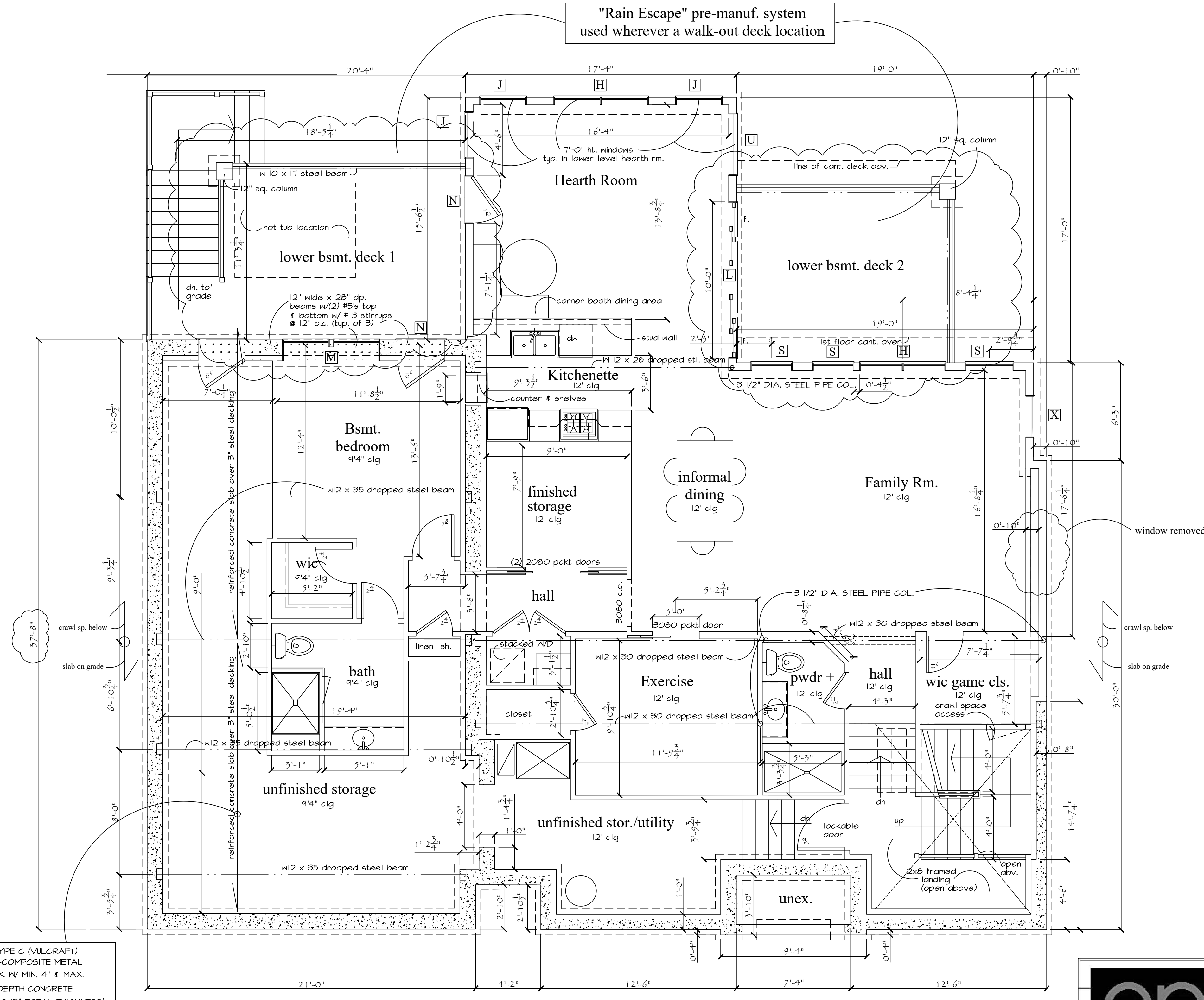
| | |
|--|---|
| minimum lot size 8,700 s.f. | 11,439 s.f. (.26 acres) |
| minimum lot width 60 ft. | 70' |
| front yard setback 0' | 16' from exist. rd. pavement |
| min. side yard setback 3' | 4'-6" |
| min. side yard setback total 12' | 12'-6" |
| rear yard setback 20% lot depth max 50' | 65% avg. |
| maximum lot coverage 45% | 27.87% (includes 288 s.f. drive) no walks, compacted gravel up to front porch |
| maximum build ht. 24' | 21'-3" (center roof street elevation) |
| maximum building footprint 25% | 24.6% (2818 s.f. building footprint) includes the (2) rear decks + steps |
| attached front loaded setback 20' | 16' (waiver requested) |
| front loaded garage setback <35% linear distance front elevation | 34% |





B TYPICAL FOUNDATION SECTION
 A2.0 Scale: nts

NOTES:
 1.) PROVIDE 2-#5 HORIZ. REBAR WALL RE-INFORCING BELOW BSMT. WINDOWS EXTENDING 1'-0" BEYOND EA. SIDE OF WINDOW
 2.) PROVIDE 2-#5 VERTICAL RE-INFORCING FULL HT. @ EA. SIDE OF EA. BSMT. WINDOW



TYP
 3" TYPE C (MULCRAFT) NON-COMPOSITE METAL DECK W/ MIN. 4" & MAX. 10" DEPTH CONCRETE (1" TO 13" TOTAL THICKNESS) W/ #5 @ 12" O.C. EA. WAY

A Finished Bsmt./Fdn. PLAN
 A2.1 Scale: 1/4" = 1'-0"
 1553 s.f. shown

refer to page A2.4 for framing/beams & headers

clouded areas refer to changes to approved plans

Note: for the bsmt. all interior doors 6'8" tall

NOTE FOR UNFINISHED BASEMENT
 USE TJI "FLAK-JACKET"
 1-HOUR RATED PROTECTED JOISTS THROUGHOUT 1ST. FLOOR FRAMING

NOTE: Except for steel beams &/or headers, Structural shown for design intent only Refer to manuf. supplied structural sheets for all joists, beams, headers, and rafters sizes and locations.

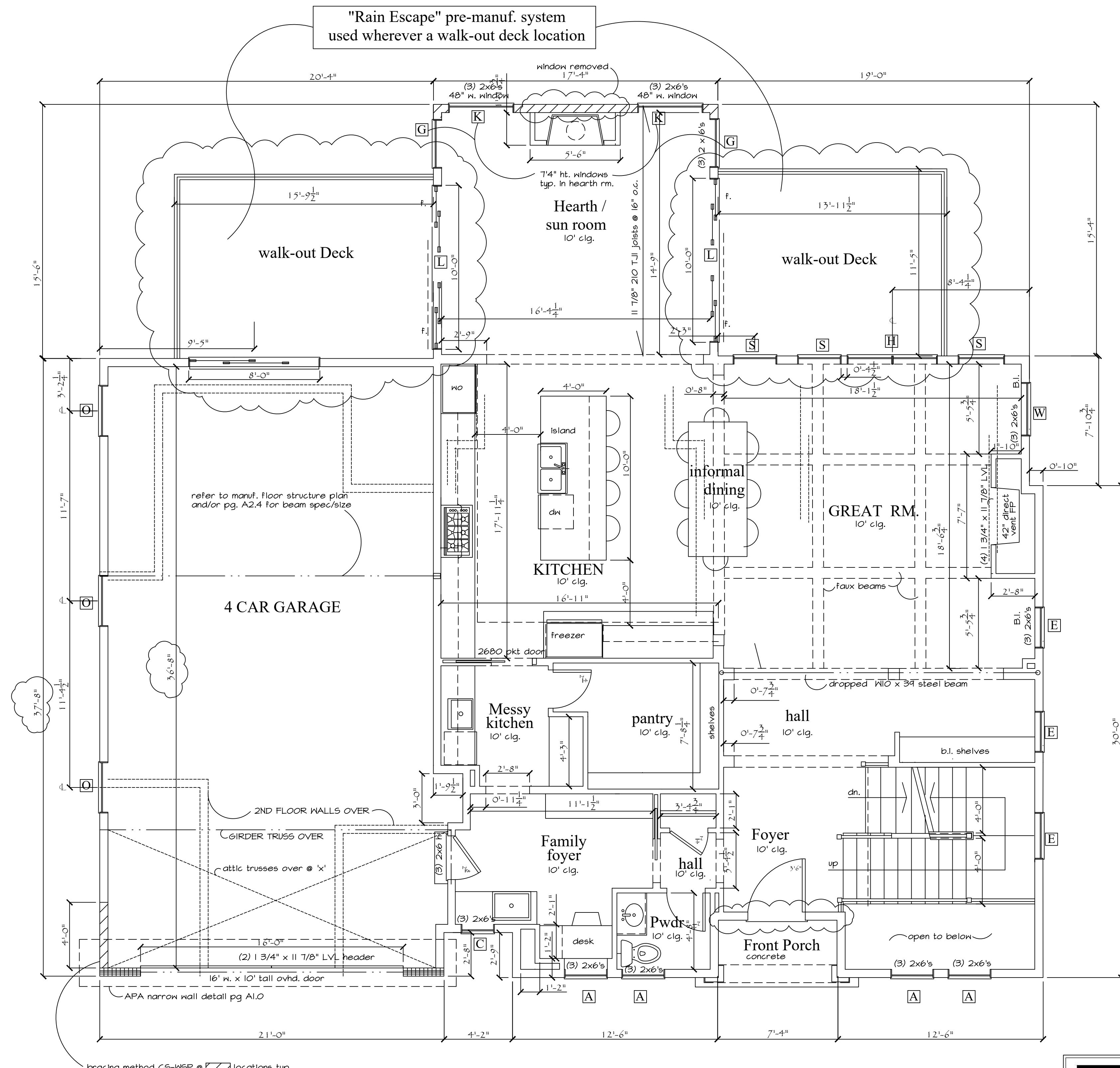
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Window /Ext. Door Schedule

windows; Sierra Pacific Westchester Line double hung wood clad windows (white)
 with 1" wide traditional style SDL grids with spacers

| Designation | Size | Type | Hinge | window/door count by type ea. unit | Notes |
|-------------|-----------------|---------------------------|-----------|------------------------------------|--|
| A | 2856 dh | clad double hung | n/a | 4 | |
| B | 2440 csmt | casement | see elev. | 3 | |
| C | 2038 csmt | casement | see elev. | 1 | |
| D | 2020 f. | fixed | n/a | 2 | |
| E | 2670 dh | clad double hung | n/a | 3 | |
| F | 3054 dh | clad double hung | n/a | 1 | |
| G | 2874 dh | clad double hung | n/a | 2 | tempered |
| H | 3070-2 dh | mullied clad double hung | n/a | 3 | tempered |
| J | 3070 dh | clad double hung | n/a | 3 | tempered |
| K | 4074 dh | clad double hung | n/a | 2 | tempered |
| L | 1080 glass door | 4 panel glass french door | n/a | 3 | 10'6" w. x 8' t. gl. door unit middle (2) panels oper. |
| M | 2860-2 dh | mullied clad double hung | n/a | 1 | |
| N | 3080 gd | French door | n/a | 2 | |
| O | 2650 dh | clad double hung | n/a | 3 | |
| P | 2418-2 f. | mullied fixed | n/a | 1 | |
| Q | 6068 sgd | sliding patio door | n/a | 1 | |
| R | 2850-2 dh | mullied clad double hung | n/a | 1 | tempered |
| S | 2870 dh | clad double hung | n/a | 6 | |
| T | 8080 sgd | sliding patio door | n/a | 1 | |
| U | 4070 dh | clad double hung | n/a | 1 | tempered |
| V | 6068 fd | double patio door | n/a | 1 | |
| W | 3070 dh | clad double hung | n/a | 1 | |
| X | 2670 dh | clad double hung | n/a | 1 | |



A
A2.2
FIRST FLOOR PLAN
 Scale: 1/4" = 1'-0"
 refer to page A2.4 for framing/beams& headers

Note: all interior doors 8'0" tall
 1617 s.f. (total building coverage incl. garage and rear decks = 2,818 s.f.)
 3156 s.f. total 1st/2nd floors
 4709 total fin. area incl. LL

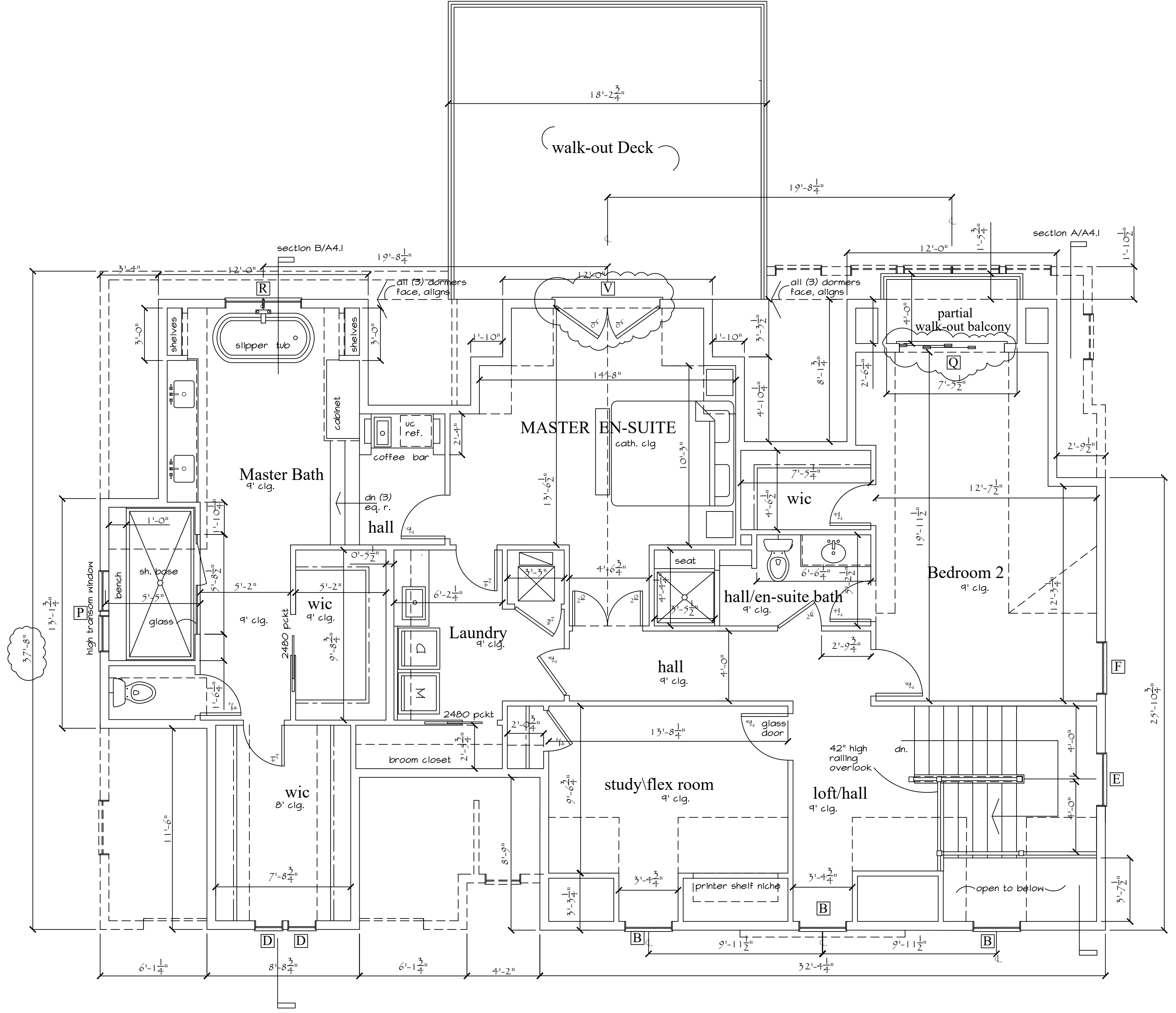


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1-26-24
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clouded areas refer to changes to approved plans



A
 A2.3
Second FLOOR PLAN
 1539 s.f. Scale: 1/4" = 1'-0"
 refer to page A2.4 for framing/beams& headers

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A2.3
 second floor plan
 scale: 1/4" = 1'-0"

1-26-24
 Dublin ARB revisions

Matl. & color specs;

Hardi smooth cement board siding & trim
 Roof- Heritage Weathered Wood asphalt
 Siding- SW7046 Anonymous
 Trim- SW7042 Shoji White
 Door- SW6258 Tricorn Black

Stone- Casa DI Sassi- Terracina Blend
 Mortar- Tennessee Buff



One Light Outdoor Wall Mour
 49735BKT

@ (4) total locations
 on the rear/side elevations



B Left Side ELEVATION
 A3.0 Scale: 1/4" = 1'-0"



Front Elevation

smooth Hardie head and sill trim (typ.)
 (matches balance of trim Shoji White SW 7042)

A FRONT ELEVATION
 A3.0 Scale: 1/4" = 1'-0"

Garage gooseneck wall mounted light bronze finish, anodized aluminum
 Northern Lighting Supplier Allenbury collection model SKU 6553002
 incandescent, Edison type historical bulb

note; front porch lights are clg. mounted can lights with LED bulbs
 rear terrace and (2) decks will have double head wall mounted flood lights w/ led bulbs



One Light Outdoor Wall Mount

\$199.99

In Old Bronze from the Allenbury collection.

Print Spec. Sheet 169 items in factory Stock (as of 07/07/2023)

Email Product

Ask a Question

SKU: 6553002

Share



clouded areas refer to changes to approved plans



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A3.0
 elevations 1
 scale: 1/4" = 1'-0"

gjt: dls
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One Light Outdoor Wall Mour
 49735BKT

@ (4) total locations
 on the rear/side elevations

Matl. & color specs;

Hardi smooth cement board siding & trim
 Roof- Heritage Weathered Wood asphalt
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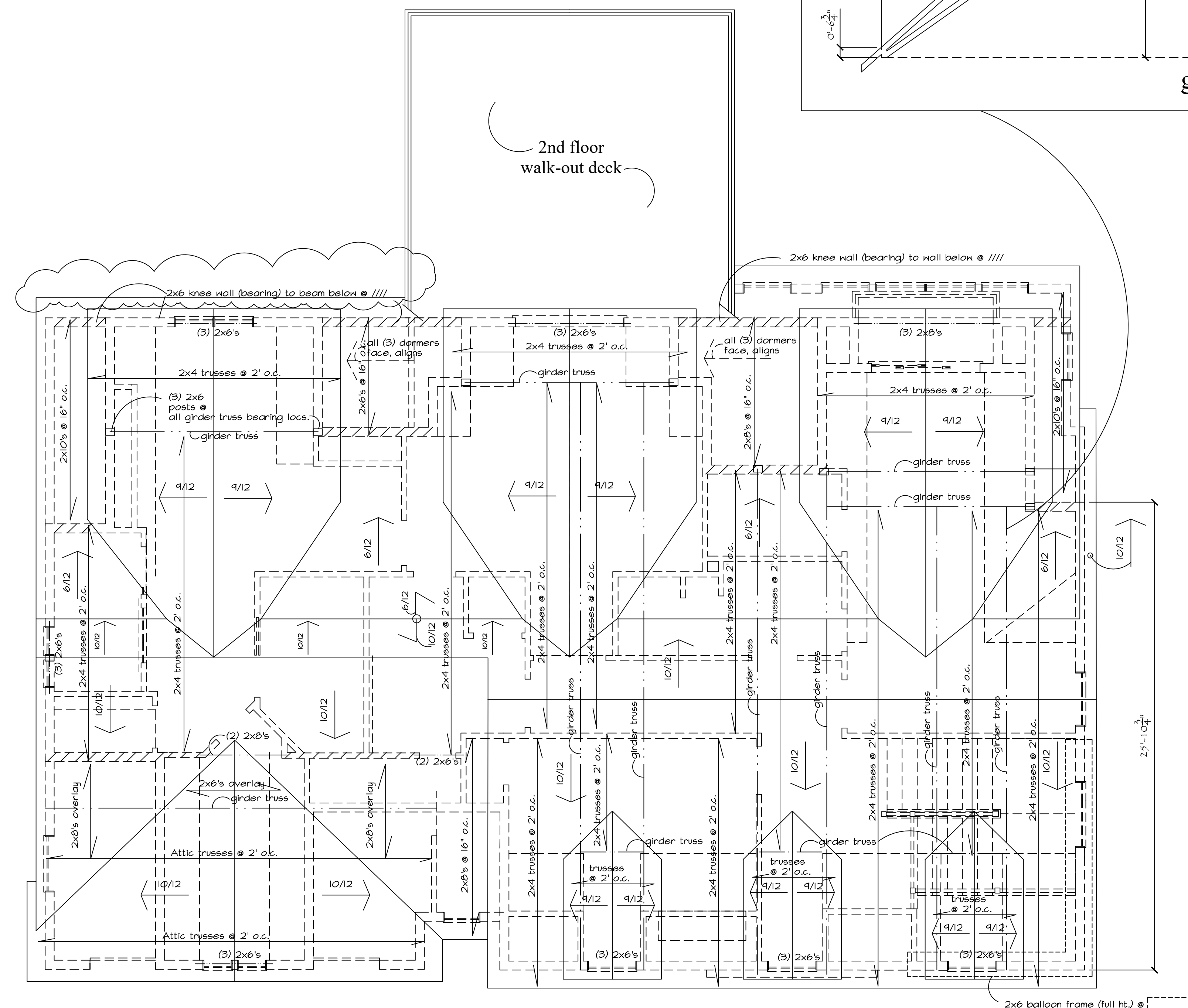
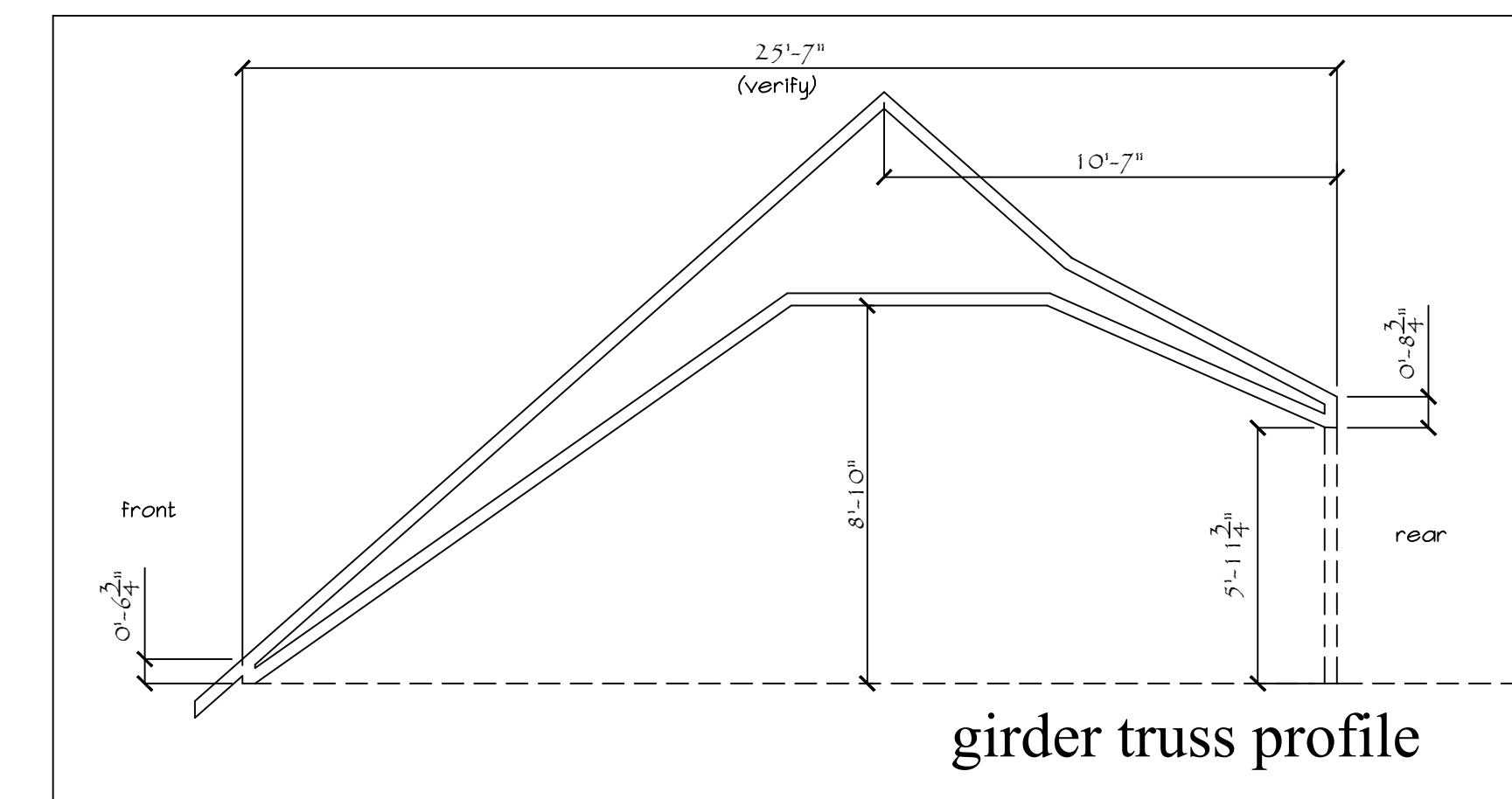
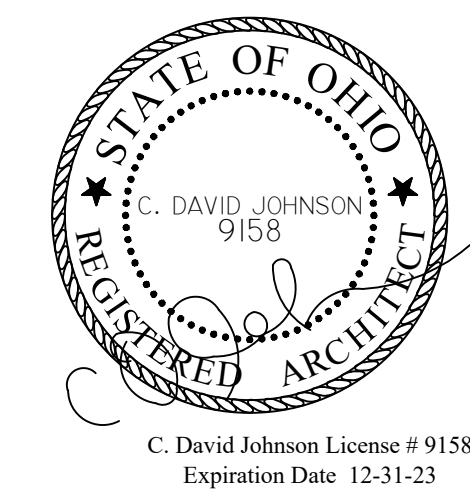
clouded areas refer to changes to approved plans

3
 elevations 2
 scale: 1/4" = 1'-0"

T-26-24
 Dublin ARB revisions

GENERAL NOTES

- TRUSSES SHALL BE DESIGNED BY STRUCTURAL ENGINEER REGISTERED IN THE STATE OF OHIO. TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD AND THE TRUSS PLATE INSTITUTE, RECOMMENDED PRACTICE OF DESIGN TPI-85, ROOF TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING LOADS:
 TOP CHORD LIVE LOAD = 25 PSF
 TOP CHORD DEAD LOAD = 10 PSF
 BOTTOM CHORD LIVE LOAD = 5 PSF
 BOTTOM CHORD DEAD LOAD = 5 PSF
 TOTAL LOAD = 45 PSF
- TRUSS MANUFACTURER SHALL FIELD MEASURE EXISTING FRAMING PRIOR TO FABRICATION FOR VERIFICATION OF DIMENSION REQUIREMENTS
- TRUSS MANUFACTURER SHALL PROVIDE SHOP DRAWINGS FOR BUILDER'S REVIEW AND APPROVAL PRIOR TO MANUFACTURING.
- TRUSS MANUFACTURER TO DESIGN AND DETAIL ALL REQUIRED CONNECTIONS.
 PROVIDE ONE HURRIGANE CLIP AT END OF EACH TRUSS TIE TO TOP PLATE
- REFER TO SHEET 52.5 FOR TRUSS PROFILES.
- PROVIDE (2) 2X4'S JACK STUDS GLUE & NAIL AT EACH BEARING HEADER, UNLESS NOTED OTHERWISE
- PROVIDE (2) 2X12'S W/ 1/2" PLY-ND FILLER HEADER AT EACH LOAD BEARING WALL OR EXTERIOR WALL LOCATION, UNLESS NOTED OTHERWISE.
- PROVIDE SOLID BLOCKING AT EACH AREA OF POINT LOAD ABOVE; AND AT LOCATIONS OF POST BEARINGS ABOVE.



A ROOF PLAN

A4.0 Scale: 1/4" = 1'-0"
 NOTE: ROOF SHEATHING SHALL BE SUPPORTED WITH BLOCKING OR EDGE CLIPS WHEN RAFTERS OR TRUSSES ARE 24" O.C. OR GREATER.

OVERLAY DIM. FRAMING NOTE:
 RIDGE BD. SHALL NOT BE LESS IN DEPTH THAN THE CUT END OF THE RAFTER.
 HIP & VALLEY RAFTERS SHALL BE SUPPORTED @ THE RIDGEBY A BRACE TO A BEARING PARTITION OR BE DESIGNED TO DISTRIBUTE THE LOAD

**ROOF FRAMED WITH TRUSSES
 REFER TO TRUSS MANUFACTURER
 FOR LAYOUTS AND SEALED TRUSS PLANS**

NOTE U.N.O.:
 -ALL HEADERS TO BE:
 4' OR LESS.....(2) 2X8'S
 4' - 5'6".....(2) 2 X10'S
 GREATER OR EQ. TO 5'7" (2) 2X12'S
 ALL GIRDER TRUSS BEARING PTS. (3) 2X4 @ 4" COL UNO.

NOTE: Structural shown for design intent only
 Refer to manuf. supplied structural sheets for all joists, beams, headers, and rafters sizes and locations.



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7-26-24
 Dublin ARB revisions

A4.0
 roof plan
 scale: 1/4" = 1'-0"

clouded areas refer to changes to approved plans