

BRIGHT ROAD RESERVE

4338 Bright Road, Dublin, OH 43017



Owner:

DNS Trust

Sally S. Haimbaugh, Trustee

9449 Cape Wrath Drive

Dublin, Ohio 43017

shaimbaugh@yahoo.com 614-499-4466

Developer:

4338 Bright Road Partners, LLC

Managing Partner: William H. Adams

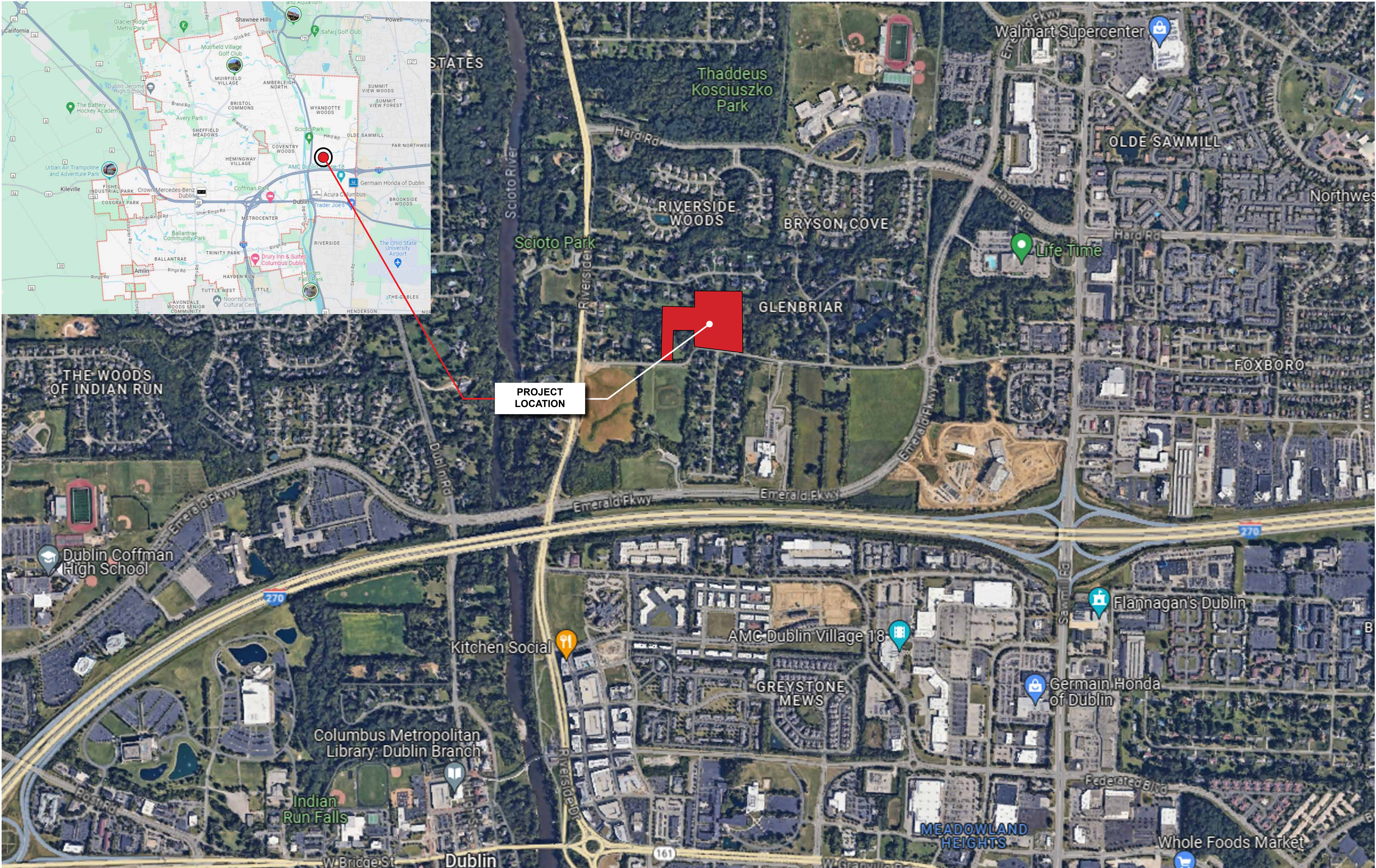
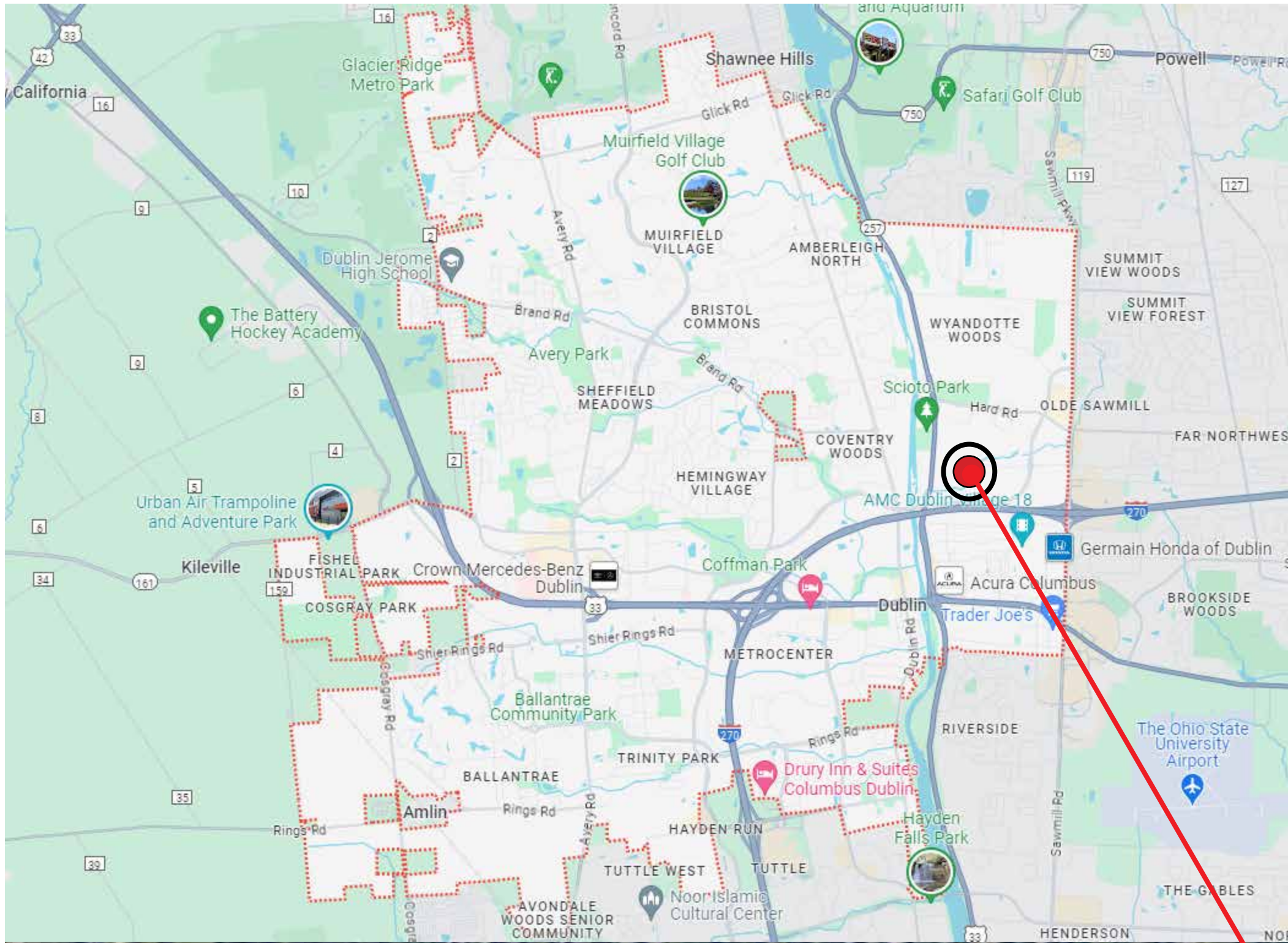
8824 Dunsinane Drive

Dublin, Ohio 43017

whadams8824@gmail.com 614-286-5753

Concept Plan Review

May 15, 2024



LEGEND

- 1 EXISTING ASPHALT DRIVEWAY
- 2 ADJACENT HOMESITE - R1
- 3 EXISTING TREELINE / WOODED AREA
- 4 OPEN GRASS MEADOW
- 5 FLOODPLAIN TO BE PROTECTED



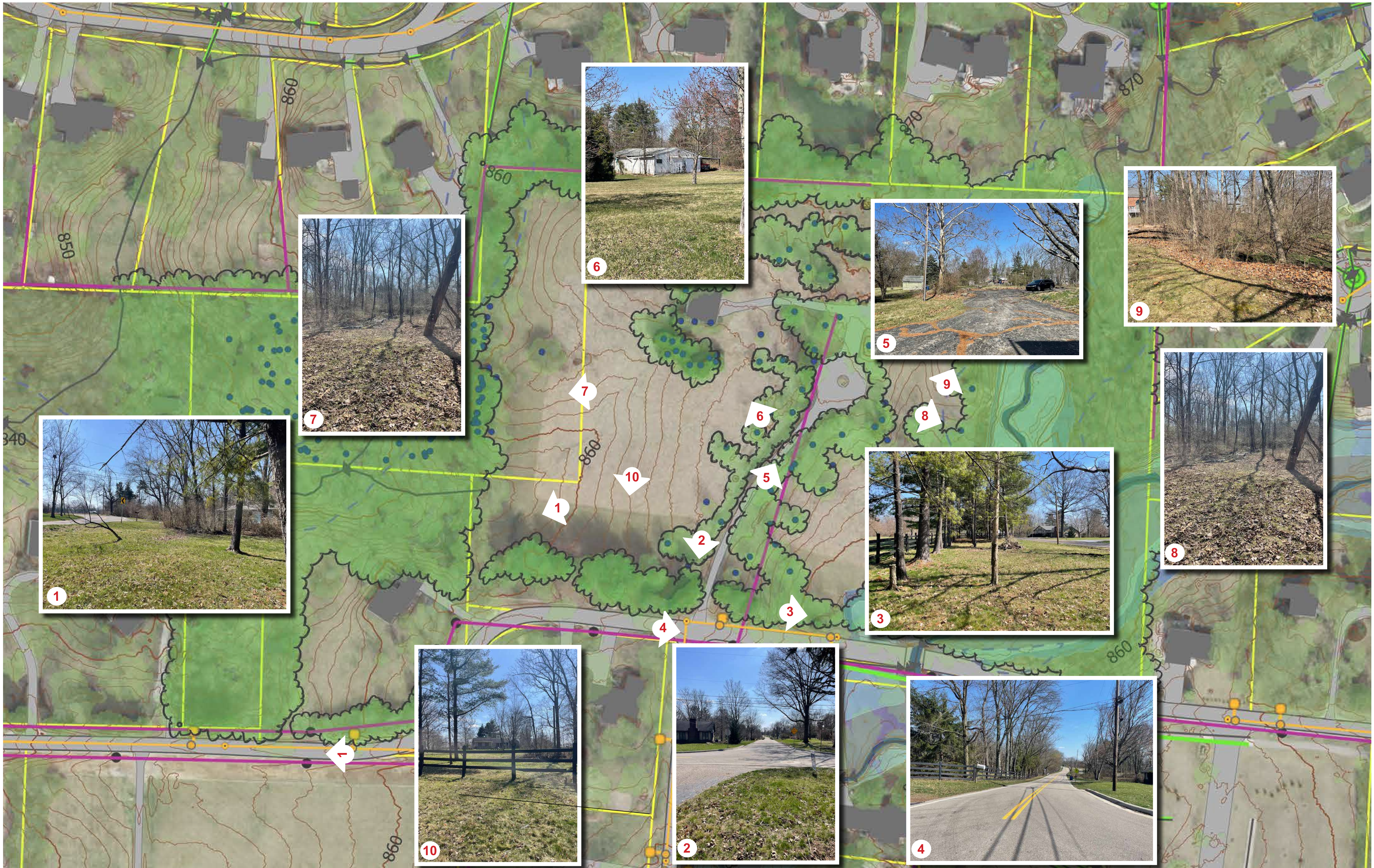
STREAM CORRIDOR
PROTECTION ZONE

INVENTORIED
TREES

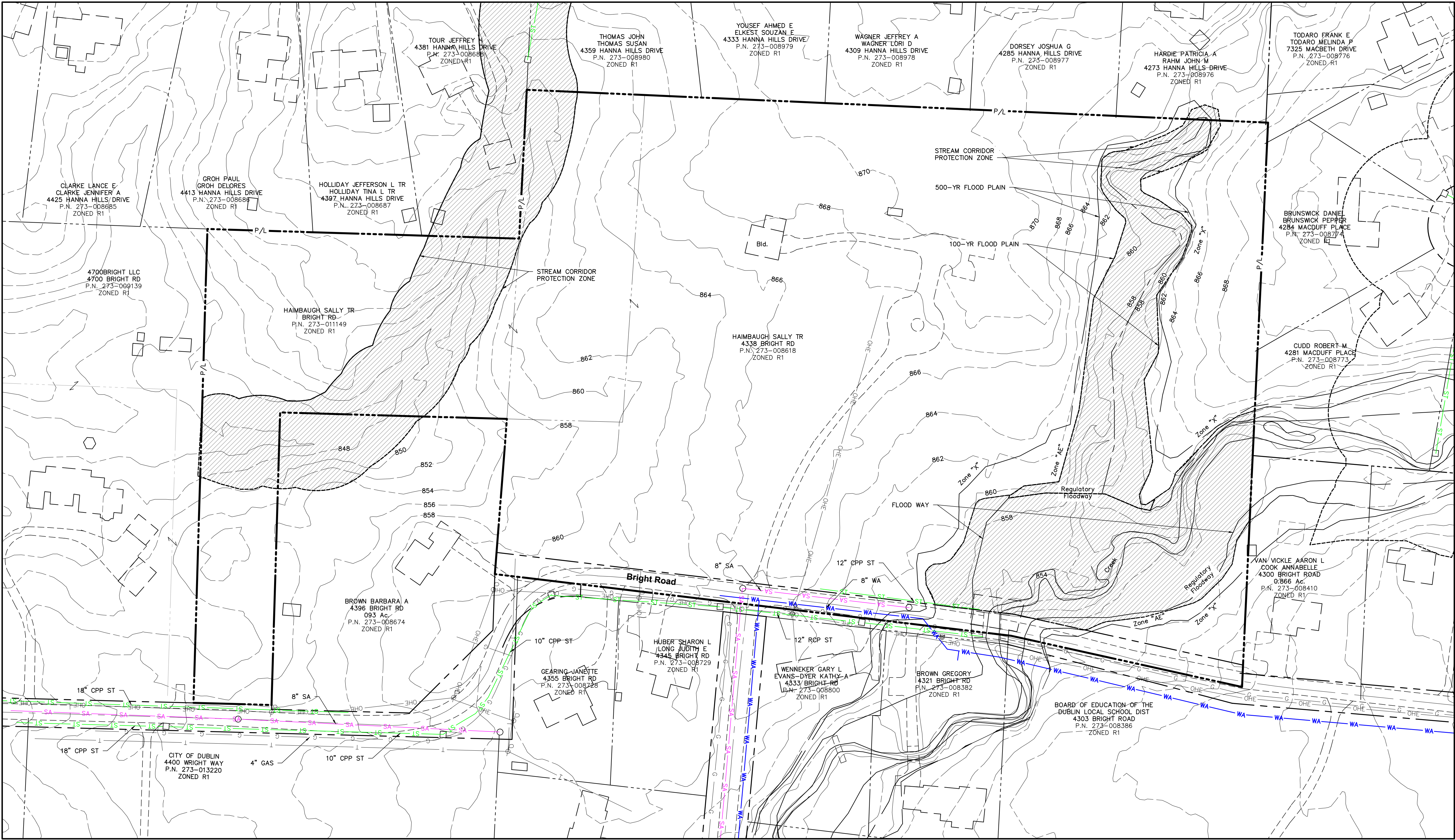
14.2 ACRES

UTILITY INDEX

- ELECTRIC: ●
- SANITARY: ●
- STORMWATER: ●

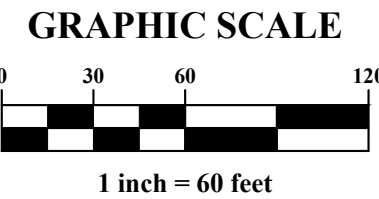


PRELIMINARY UTILITY EXHIBIT
4338 Bright Road



LEGEND

- | | | | |
|-------------------------------|------------------------|-------------------|---------------------------|
| ● Iron Pin Found | ○ Iron Pin Set | ⊗ Pole Tel | ⊗ Water Valve |
| ● Iron Pipe Found | ⊗ Iron Pipe Set | ⊗ Pole Tel Light | ⊗ Water Manhole |
| ✕ PK/Mag Nail Found | ✕ PK/Mag Nail Set | ⊗ Pole Light | ⊗ Sprinkler Box |
| ▲ RR Spike Found | ▲ RR Spike Set | ⊗ Pole Signal | ⊗ Sprinkler Head |
| ⊠ Monument Box | ⊠ Benchmark | ⊠ Traffic Box | ⊠ Underground Line Marker |
| ○ Stm/San Manhole (see label) | ⊠ Electric Transformer | ⊠ Guy Pole | ⊠ Gas Valve |
| ○ Sanitary Cleanout | ⊠ Electric Manhole | ⊠ Guy Wire | ⊠ Gas Meter |
| ⊠ Square Catch Basin | ⊠ Comm Manhole | ⊠ Ground Light | ⊠ Bollard |
| ⊠ Round Catch Basin | ⊠ Tel Pedestal | ⊠ Air Conditioner | ⊠ Soil Boring |
| ⊠ Curb Inlet | ⊠ Cable Pedestal | ⊠ Deciduous Tree | ⊠ Pine Tree |
| ⊠ Curb Manhole Inlet | ⊠ Pole Elec Tel | ⊠ Unknown Manhole | ⊠ Shrub |
| ⊠ Fire Hydrant | ⊠ Pole Elec Tel Light | ⊠ Access Lid | |



PRELIMINARY UTILITY EXHIBIT



781 Science Blvd, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755

SCALE: 1" = 60'
DATE: 04/26/2024
SHEET 1 / 1
JOB NO.: 24-0002-1215

LEGEND

- 1 OPEN SPACE RESERVED /
STORMWATER DETENTION AREA
- 2 DEVELOPMENT ZONE
- 3 LANDSCAPE BUFFER
- 4 INTERNAL STREET AND SIDEWALK
- 5 COURT / STORMWATER DETENTION



SITE DATA		
TOTAL SITE:	14.2 AC.	100.0%
OPEN SPACE:		(42.7%)
WEST WOODS	1.69 AC.	11.9%
BILLINGSLEY RUN	3.12 AC.	21.9%
CENTRAL COURT	.23 AC.	1.6%
LANDSCAPE BUFFERS	1.05 AC.	7.3%
DETENTION BASIN	.57 AC.	4.0%

OPEN SPACE:		(42.7%)
WEST WOODS	1.69 AC.	11.9%
BILLINGSLEY RUN	3.12 AC.	21.9%
CENTRAL COURT	.23 AC.	1.6%
LANDSCAPE BUFFERS	1.05 AC.	7.3%



**OPEN SPACE
WEST WOOD W/
STORMWATER
DETENTION**

OPEN
SPACE
CENTRA
COURT

**OPEN SPACE
BILLINGSLEY
RUN**

**HOLDER-WRIGHT
EARTHWORKS**

**HOPEWELL ELEMENTARY
SCHOOL**

05/15/24

ROUGH DRAFT



JONES

10 MAY 2024

BRIGHT ROAD NEIGHBORHOOD

ROUGH DRAFT



THE ARCHITECTURAL AND STYLISTIC GOALS OF THE NEIGHBORHOOD ARE DERIVED FROM SOME OF OUR FAVORITE TOWNS IN THE REGION. WE HOPE TO CAPITALIZE ON THE DOMESTIC SCALE OF THIS NEIGHBORHOOD THAT HAS JUST A COUPLE DOZEN HOMES. WE THINK THE COMMUNITY CAN RETAIN A DELIGHTFUL SCALE WITH A MASSING STRATEGY THAT RETAINS ONE AND ONE-AND-A HALF STORY BUILDING ELEMENTS THAT UTILIZE CONSISTENT DETAILING OF ROOF PITCHES, WINDOW FENESTRATION, EAVE DETAILS, COLORS AND ENTRANCE PIECES. USING A LIMITED PALETTE OF MATERIALS, YET COMBINING THEM IN CREATIVE WAYS MIGHT PROVIDE THE BASIS FOR MIMICKING THE VILLAGES AND ENCLAVES OF AN EARLIER PERIOD WHERE THERE SIMPLY WEREN'T AS MANY VARIED CHOICES.

THE REFERENCE IMAGES WE HAVE BEGUN TO COLLECT COME FROM SOME OF OUR OWN PROJECTS BUT ALSO ARE DRAWN FROM OTHER SOURCES. THESE ARE BY NO MEANS CONCLUSIVE, BUT RATHER BEGIN TO ESTABLISH A VOCABULARY FOR THE STYLISTIC DIRECTIONS WE MIGHT IMAGINE THE HOMES TAKING.

BRIGHT ROAD NEIGHBORHOOD

ROUGH DRAFT



BRIGHT ROAD NEIGHBORHOOD

ROUGH DRAFT



THE GENERAL STRATEGY FOR OUR DESIGN DIRECTION IS FOUND IN LOCAL RESIDENTIAL NEIGHBORHOODS FOUND IN OUR REGION A CENTURY AGO. FROM SUBURBAN EXAMPLES IN DUBLIN, TO UPPER ARLINGTON, BEXLEY, AND POCKETS OF THE CITY... WE SEE FORMS AND MASSING STRATEGIES THAT HAVE A FOCUS AND CLARITY OF 'PARTS'. WE THINK FOCUSING STRONG ATTENTION ON THE DELICATE SCALE OF SOME OF THESE HISTORIC ANTECEDENTS COULD BE INFORMING AS WE ATTEMPT OR CREATE A NEW NEIGHBORHOOD WITH STYLISTIC CLARITY WHILE DEVELOPING CONTINUITY BUT AVOIDING MONOTONY. WHILE THE IDENTIFIED PROGRAM FOR THE NEIGHBORHOOD WILL BEGIN WITH A SIMPLE TYPOLOGY OF A FEW PLAN TYPES, IT IS ACKNOWLEDGED THERE IS AN OPPORTUNITY TO VARY THE TYPES WITH GARAGE CONDITIONS, HOUSE ORIENTATION AND MATERIALITY. WE ENVISION A VARIETY OF MATERIALS, BUT WE ALSO IMAGINE SOME VERY CONSISTENT ROOF PITCHES AND EAVE CONDITIONS. THE HOMES WILL BE DESIGNED TO BE '4-SIDED ARCHITECTURE' AND WILL AVOID BLANK FACADES ON ANY ELEVATION.



BRIGHT ROAD NEIGHBORHOOD

ROUGH DRAFT



AS REFERENCED IN SOME OF THE IMAGES WE ENVISION A MIX OF STONE, STUCCO, BRICK, AND SIDING(CEMENTIIOUS) USED IN TRADITIONAL METHODS. WE ENVISION A LIMITED PALETTE TENDING TOWARD LIGHT VALUES FOR THE WALL PLANES AND DARKER VALUES FOR WINDOWS, DOORS, AND ACCENT PIECES.

ROOF- THE ROOFS WILL BE A 40-YEAR ARCHITECTURAL GRADE ASPHALT SHINGLE OF A CONSISTENT SPECIFICATION TO MIMIC A TRADITIONAL SLATE ROOF.

WALLS- THE WALLS WILL BE THINSET BRICK OR STONE WITH A COLORED MORTAR, OR PAINTED BRICK OR CEMENT BOARD.

GUTTERS/DOWNSPOUTS- WE ARE PLANNING ON UTILIZING 1/2 ROUND GUTTERS AND DOWNSPOUTS TO REINFORCE THE HISTORIC INSPIRATIONS IN THE DETAILS.

SHUTTERS- WHEN USED, SHUTTERS WILL BE SPECIFIED TO COVER THE OPENINGS IN WHICH THEY FLANK. DECORATIVE HARDWARE SHOULD BE IMPLEMENTED TO HINT AT THE IDEA THEY COULD BE OPERABLE BUT IT IS NOT REQUIRED THEY OPERATE.

EXTERIOR LIGHTING- IT IS OUR INTENT TO SPECIFY JUST A FEW FIXTURES THAT WILL SUPPORT THE ARCHITECTURAL STYLE. THERE WILL BE AN ATTEMPT TO MANAGE THE USE OF ‘ECCENTRIC EXPRESSIONS’ IN THE LIGHTING STRATEGIES FOR THE PRIVATE RESIDENCES. SITE FEATURES WILL ALSO UTILIZE FIXTURES CONSISTENT WITH THE RESIDENCES.

BRIGHT ROAD NEIGHBORHOOD

ROUGH DRAFT



ONE OF THE GOALS OF THE NEIGHBORHOOD IS THE SENSITIVE GRADING STRATEGY AND THE 'LOW IMPACT' TO REWORKING THE EXISTING TOPOGRAPHY. SOME OF OUR REFERENCE IMAGES SHARE NOTIONS ABOUT STREET SIDE FENCES, WALLS, HEDGES, AND WALLS. WE IMAGINE THIS EDGE-CONDITION TO THE PRIMARY STREET WILL BECOME A SPECIFICATION THAT MIGHT VARY FROM HOME TO HOME, BUT WOULD BE A CONTINUOUS THREAD THAT KNITS THE HOMES TOGETHER.



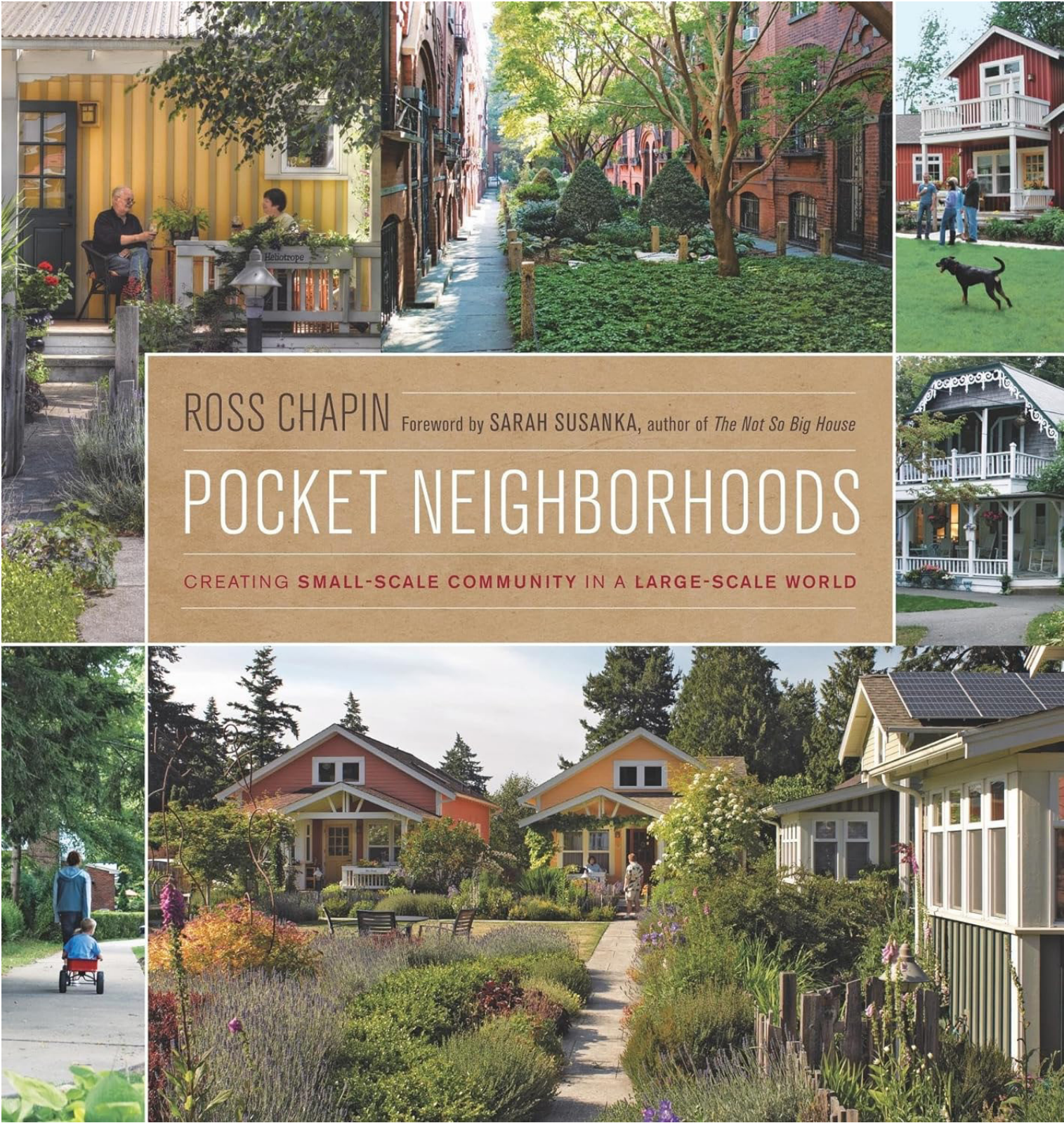
BRIGHT ROAD NEIGHBORHOOD

ROUGH DRAFT



BRIGHT ROAD NEIGHBORHOOD

ROUGH DRAFT



THIS BOOK HAS BEEN AN INSPIRATION TO THE OWNERSHIP TEAM AND PROVIDES US AS ARCHITECTS WITH SOME OVER-ARCHING GOALS FOR SETTING AND DEVELOPMENT OF THIS SMALL-SCALE NEIGHBORHOOD. IT IS A VALUABLE REFERENCE FOR STRATEGIES OF PLANNING AND DESIGN, AS WELL AS THE ACTIVATION OF THE PUBLIC SPACES AND LINKAGES TO A LARGER CONTEXT. WE IMAGINE THE STYLISTIC EXPRESSION OF THE RESIDENT VOCABULARY MAKING IT'S WAY INTO ALL OF THE SITE INFRASTRUCTURE IN THE FORM OF PIERS, LIGHTS, PAVILIONS, PATHS, MAILBOXES, SIGNAGE AND THE LIKE.