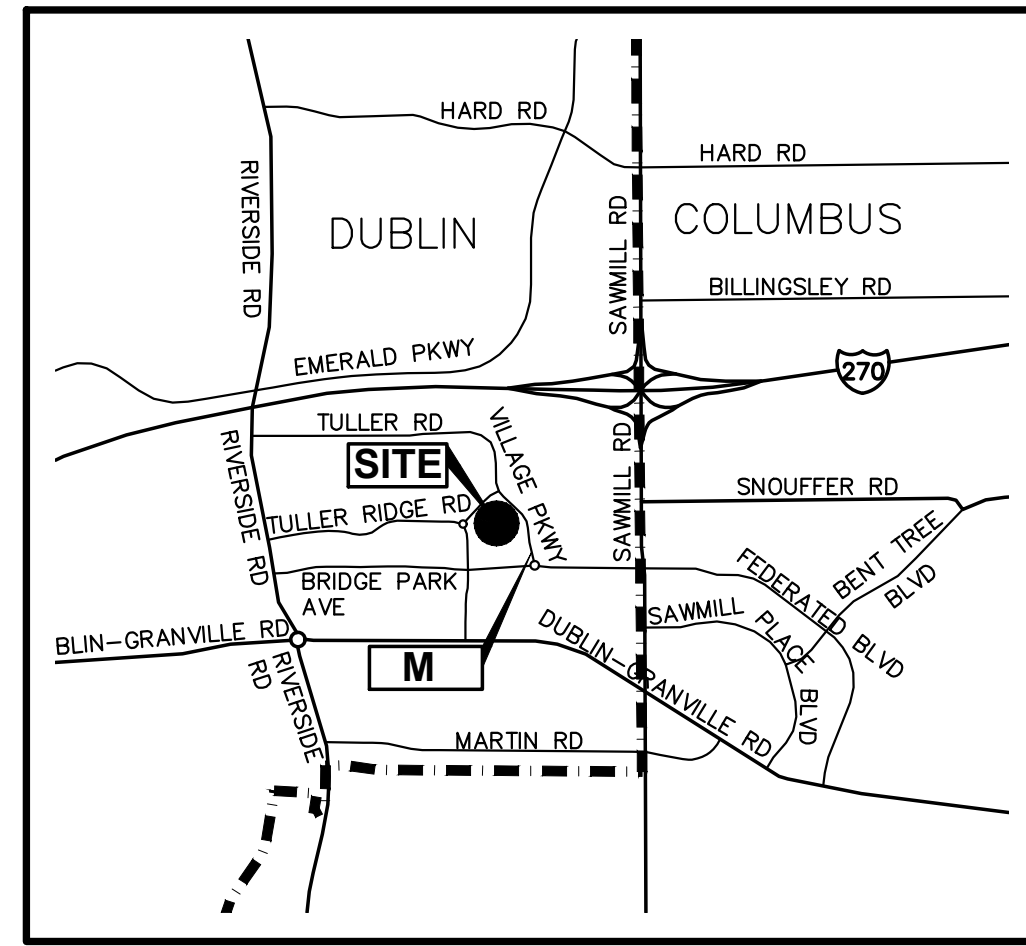




Penzone Live-Work

Civil

# CITY OF DUBLIN, OHIO PRELIMINARY DEVELOPMENT PLAN FOR PENZONE LIVE-WORK 2024



SITE LOCATION MAP  
NOT TO SCALE

### SITE DATA TABLE

ZONING DISTRICT:	BRIDGE STREET DISTRICT - SAWMILL CENTER NEIGHBORHOOD
OWNER:	CHELSEA R.P., LTD
TAX DISTRICT:	CITY OF DUBLIN-WASH TWP-DUBLIN
PARCEL NUMBER:	273-009121
ACREAGE:	2.36 AC.
TOTAL DISTURBED AREA:	1.47 AC.
TOTAL IMPERVIOUS REMOVED BY PROJECT:	0.67 AC.
EXISTING IMPERVIOUS WITHIN DISTURBED AREA:	1.11 AC.
PROPOSED IMPERVIOUS WITHIN DISTURBED AREA:	0.44 AC.
PERCENT DECREASE IN IMPERVIOUS:	60.19%

OWNER  
**CHELSEA R P LTD**  
6671 VILLAGE PKWY  
DUBLIN, OH 43017-5046  
PHONE: 614-898-1191  
CONTACT: CHARLES PENZONE  
EMAIL: DAPENZONE@CHARLESPENZONE.COM



800-362-2764 or 8-1-1  
www.oups.org

### BENCHMARKS

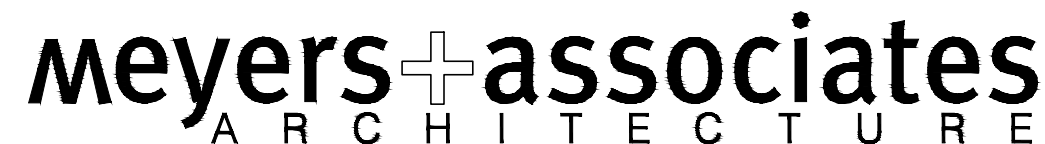
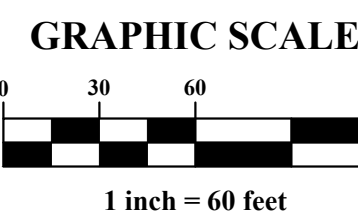
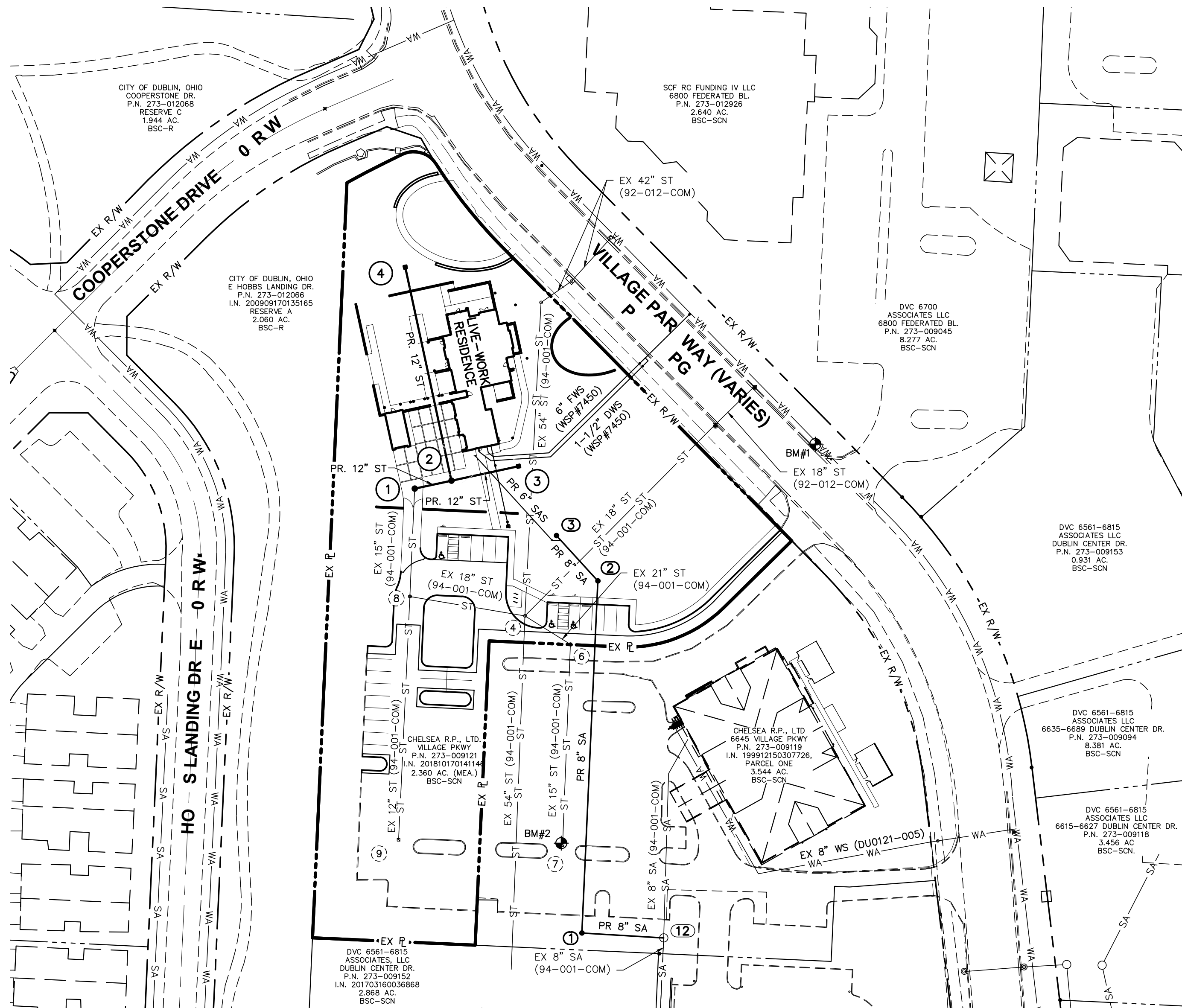
BASED ON NAVD 1988 DATUM.  
SOURCE - ELEVATIONS WERE ESTABLISHED USING 45 MINUTE STATIC OBSERVATIONS UTILIZING GLOBAL POSITIONING SYSTEM (GPS) PROCEDURES. THE GPS DATA WAS SUBMITTED TO THE NATIONAL GEODETIC SURVEYS (NGS) ONLINE POSITIONING USER SERVICE RAPID-STATIC (OPUS-RS) SYSTEM FOR PROCESSING. THE SYSTEM USES THE CONTINUALLY OPERATING REFERENCE STATIONS (CORS) TO ESTABLISH THE GEODETIC LOCATIONS.

SITE BM 1 - SOUTHWEST FLANGE BOLT OF FIRE HYDRANT. SHOWN ON INDEX MAP AS "BM #1".  
NORTHING = 767059.217  
EASTING = 1801336.386  
ELEVATION = 897.224

SITE BM 2 - NORTHWEST CORNER OF CATCH BASIN. SHOWN ON INDEX MAP AS "BM #2".  
NORTHING = 766767.060  
EASTING = 1801150.416  
ELEVATION = 890.552

SITE BM 3 - NORTH FLANGE BOLT OF FIRE HYDRANT ON EAST SIDE OF VILLAGE PKWY. SHOWN ON LOCATION MAP AS "BM #3".  
NORTHING = 766508.483  
EASTING = 1801505.909  
ELEVATION = 900.203

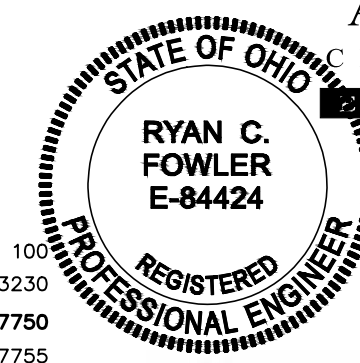
HORIZ REFERENCE DATUM = NAD 83 (NSRS2011)



332 n third street, 300, columbus oh 43215  
t (614) 221 9433 f (614) 221 9441 www.meyersarchitects.com



781 Science Blvd, Suite 100  
Gahanna, Ohio 43230  
ph 614.428.7750  
fax 614.428.7755



*Ryan Fowler*  
REGISTERED ENGINEER

### PREPARE



781 Science Boulevard, Suite 100  
Gahanna, Ohio 43230  
ph 614.428.7750  
fax 614.428.7755

E-84424 9/6/2024  
NUMBER DATE

**STANDARD CONSTRUCTION DRAWINGS**  
THE STANDARD CONSTRUCTION DRAWINGS LISTED ON THESE PLANS SHALL BE A PART THEREOF.

CITY OF COLUMBUS		CITY OF DUBLIN
AA-S102	AA-S139	RD-11
AA-S104	AA-S149	RD-15
AA-S106	AA-S150	ST-03
AA-S107	AA-S151	
AA-S117	1441 (7/1/2024)	
AA-S119	2230 (4/30/2018)	
AA-S133A		

INDEX OF DRAWINGS		
CIVIL SHEET NUMBER	SHEET TITLE	SHEET NUMBER
1	TITLE SHEET	C-001
2	GENERAL NOTES	C-002
3	DETAILS	C-003
4	EXISTING CONDITIONS & DEMO PLAN	C-004
5	SITE PLAN	C-005
6	UTILITY PLAN	C-006
7	GRADING PLAN	C-007
8	STORM SEWER PROFILES	C-008
9	GRADING DETAILS	C-009
10	EROSION CONTROL PLAN	C-010
11	EROSION CONTROL NOTES	C-011

### CITY OF DUBLIN APPROVAL

SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSES AND THE GENERAL LOCATION OF THE PROJECT AND DOES NOT CONSTITUTE ASSURANCE TO OPERATE AS INTENDED. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE ENGINEER PREPARING THE PLANS.

\_\_\_\_\_  
DIRECTOR OF ENGINEERING / CITY ENGINEER  
CITY OF DUBLIN, OHIO  
PAUL A. HAMMERSMITH, P.E. DATE

\_\_\_\_\_  
DIRECTOR OF COMMUNITY PLANNING & DEVELOPMENT  
CITY OF DUBLIN, OHIO  
JENNIFER M. RAUCH, AICP DATE



781 Science Blvd, Suite 100  
Gahanna, Ohio 43230  
ph 614.428.7750  
fax 614.428.7755

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DESCRIPTION	DATE
PERMIT DRAWINGS	2/29/2024

SHEET TITLE  
**TITLE SHEET**

PROJECT TITLE  
**Penzone Live-Work**

6671 Village Parkway, Dublin, Ohio 43017

MEYERS+ASSOCIATES PROJECT NUMBER:

SHEET NUMBER

**C-001**

GENERAL NOTES

1. CITY OF COLUMBUS AND OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS, CURRENT EDITIONS, AND ANY SUPPLEMENTS THERETO (HEREAFTER REFERRED TO AS STANDARD SPECIFICATIONS), SHALL GOVERN ALL CONSTRUCTION ITEMS UNLESS OTHERWISE NOTED. IF A CONFLICT BETWEEN SPECIFICATIONS IS FOUND, THE MORE STRICT SPECIFICATION WILL APPLY AS DECIDED BY THE CITY ENGINEER. ITEM NUMBERS LISTED REFER TO CITY OF COLUMBUS ITEM NUMBERS UNLESS OTHERWISE NOTED.

2. THE CITY ENGINEER WILL NOT BE RESPONSIBLE FOR MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION THAT ARE NOT SPECIFIED HEREIN. THE CITY ENGINEER WILL NOT BE RESPONSIBLE FOR SAFETY ON THE WORK SITE, OR FOR FAILURE BY THE CONTRACTOR TO PERFORM WORK ACCORDING TO CONTRACT DOCUMENTS.

3. THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS INCLUDING BUT NOT LIMITED TO OHIO EPA PERMITS TO INSTALL (PTI) AND NOTICES OF INTENT (NOI), BUILDING PERMITS, ETC.

4. THE CONTRACTOR SHALL NOTIFY THE CITY OF DUBLIN DIVISION OF ENGINEERING IN WRITING AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

5. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970. THE CONTRACTOR SHALL EXERCISE PRECAUTION ALWAYS FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT SHALL ALSO BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, INCLUDING THE REQUIREMENTS FOR CONFINED SPACES PER 29 CFR 1910.146.

6. FOLLOWING COMPLETION OF CONSTRUCTION OF THE SITE IMPROVEMENTS AND BEFORE REQUESTING OCCUPANCY, A PROOF SURVEY SHALL BE PROVIDED TO THE DIVISION OF ENGINEERING THAT DOCUMENTS "AS-BUILT" ELEVATIONS, DIMENSIONS, SLOPES AND ALIGNMENTS OF ALL ELEMENTS OF THIS PROJECT. THE PROOF SURVEY SHALL BE PREPARED, SIGNED AND SUBMITTED BY THE PROFESSIONAL ENGINEER WHO SEALED THE CONSTRUCTIONS DRAWINGS.

7. THE CONTRACTOR SHALL RESTRICT CONSTRUCTION ACTIVITY TO PUBLIC RIGHT-OF-WAY AND AREAS DEFINED AS PERMANENT AND/OR TEMPORARY CONSTRUCTION EASEMENTS, UNLESS OTHERWISE AUTHORIZED BY THE CITY ENGINEER.

8. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, PROPERTY CORNERS, REFERENCE POINTS, STAKES AND OTHER SURVEY REFERENCE MONUMENTS OR MARKERS. IN CASES OF WILLFUL OR CARELESS DESTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATIONS. RESETTING OF MARKERS SHALL BE PERFORMED BY AN OHIO PROFESSIONAL SURVEYOR AS APPROVED BY THE CITY ENGINEER.

9. NON-RUBBER Tired VEHICLES SHALL NOT BE MOVED ON OR ACROSS PUBLIC STREETS OR HIGHWAYS WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.

10. THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED BEFORE CONSTRUCTION. DRAINAGE DITCHES OR WATERCOURSES THAT ARE DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO THE GRADES AND CROSS-SECTIONS THAT EXISTED BEFORE CONSTRUCTION.

11. TRACKING OR SPILLING MUD, DIRT OR DEBRIS UPON STREETS, RESIDENTIAL OR COMMERCIAL DRIVES, SIDEWALKS OR BIKE PATHS IS PROHIBITED ACCORDING TO SECTION 97.38 OF THE DUBLIN CODE OF ORDINANCES. ANY SUCH OCCURRENCE SHALL BE CLEANED UP IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE CITY. IF THE CONTRACTOR FAILS TO REMOVE SAID MUD, DIRT, DEBRIS, OR SPILLAGE, THE CITY RESERVE THE RIGHT TO REMOVE THESE MATERIALS AND CLEAN AFFECTED AREAS, THE COST OF WHICH SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

12. DISPOSAL OF EXCESS EXCAVATION WITHIN SPECIAL FLOOD HAZARD AREAS (100-YEAR FLOODPLAIN) IS NOT PERMITTED.

13. ALL SIGNS, LANDSCAPING, STRUCTURES OR OTHER APPURTENANCES WITHIN RIGHT-OF-WAY DISTURBED OR DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE CITY ENGINEER. THE COST OF THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

14. ALL FIELD TILE BROKEN OR ENCOUNTERED DURING EXCAVATION SHALL BE REPLACED OR REPAIRED AND CONNECTED TO THE PUBLIC STORM SEWER SYSTEM AS DIRECTED BY THE CITY ENGINEER. THE COST OF THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

15. ALL PRECAST CONCRETE PRODUCTS SHALL BE INSPECTED AT THE LOCATION OF MANUFACTURE. APPROVED PRECAST CONCRETE PRODUCTS WILL BE STAMPED OR HAVE SUCH IDENTIFICATION NOTING THAT INSPECTION HAS BEEN CONDUCTED BY THE CITY OF COLUMBUS. PRECAST CONCRETE PRODUCTS WITHOUT PROOF OF INSPECTION SHALL NOT BE APPROVED FOR INSTALLATION.

16. BACKFILL WITHIN A 1' INFLUENCE LINE OF EXISTING STRUCTURES (HOUSES, GARAGES, OR PUBLIC INFRASTRUCTURE (PAVEMENT, CURBS, SIDEWALKS, BIKE PATHS, ETC.) SHALL BE COMPACTED GRANULAR BACKFILL ACCORDING TO ITEM 912 OF THE STANDARD SPECIFICATIONS OR FLOWABLE CDF, TYPE II ACCORDING TO ITEM 613, ITEM 911 OF THE STANDARD SPECIFICATIONS SHALL BE USED ELSEWHERE.

17. THE CONTRACTOR SHALL SUBMIT A COPY OF THE APPROVED CONSTRUCTION DRAWINGS AND A LIST OF PROPOSED PRECAST CONCRETE PRODUCT MANUFACTURERS TO THE CITY OF COLUMBUS CONSTRUCTION INSPECTION DIVISION BEFORE COMMENCING CONSTRUCTION.

SEND THE INFORMATION TO THE FOLLOWING ADDRESS:

CONSTRUCTION INSPECTION DIVISION
CITY OF COLUMBUS
1800 EAST 17TH AVENUE
COLUMBUS, OHIO 43219

SEND A COPY OF THE TRANSMITTAL LETTER TO THE FOLLOWING ADDRESS:

DIVISION OF ENGINEERING
CITY OF DUBLIN
6555 SHER-RINGS ROAD
DUBLIN, OHIO 43016

18. ALL TRENCHES WITHIN PUBLIC RIGHT-OF-WAY SHALL BE BACKFILLED ACCORDING TO THE APPROVED CONSTRUCTION DRAWINGS. TREES TO BE PLATED DURING NONWORKING HOURS. TRENCHES OUTSIDE THESE AREAS SHALL BE BACKFILLED OR SHALL BE PROTECTED BY APPROVED TEMPORARY FENCING OR BARRICADES DURING NONWORKING HOURS. CLEAN UP SHALL FOLLOW CLOSELY BEHIND THE TRENCHING OPERATION.

19. ALL TREES WITHIN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED, WHETHER SHOWN OR NOT SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS. TREES TO BE PRESERVED SHALL BE PROTECTED WITH HIGH VISIBILITY FENCING PLACED A MINIMUM 15 FEET FROM THE TREE TRUNK. TREES 6 - INCHES OR GREATER AT DBH (DIAMETER BREST HEIGHT) MUST BE PROTECTED WITH FENCING PLACED AT THE CRITICAL ROOT ZONE OR 15 FEET, WHICHEVER IS GREATER. TREES NOT INDICATED ON THE APPROVED CONSTRUCTION DRAWINGS FOR REMOVAL MAY NOT BE REMOVED WITHOUT PRIOR APPROVAL OF THE DIVISION OF ENGINEERING.

20. CONDUIT MUST BE DIRECTIONALLY BORED ACROSS STREETS INSTEAD OF OPEN CUT, UNLESS SPECIFICALLY APPROVED BY THE CITY ENGINEER. USE OF PNEUMATIC AIR RAM DEVICES IS NOT PERMITTED. PERMITS TO CONSTRUCT IN THE RIGHT-OF-WAY OF EXISTING STREETS MUST BE OBTAINED FROM THE CITY OF DUBLIN DIVISION OF ENGINEERING BEFORE COMMENCING CONSTRUCTION. SHOULD OPEN CUTTING OF EXISTING PAVEMENT BE PERMITTED, CONTROLLED DENSITY BACKFILL (TYPE II) SHALL BE USED IN PLACE OF COMPACTED GRANULAR BACKFILL, ACCORDING TO ITEM 613 OF THE STANDARD SPECIFICATIONS.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDITION OF TRENCHES WITHIN THE RIGHT-OF-WAY AND PUBLIC EASEMENTS FOR A PERIOD OF ONE YEAR FROM THE FINAL ACCEPTANCE OF THE WORK, AND SHALL MAKE ANY NECESSARY REPAIRS AT NO COST TO THE CITY.

22. PAVEMENTS SHALL BE CUT IN NEAT, STRAIGHT LINES THE FULL DEPTH OF THE EXISTING PAVEMENT, OR AS REQUIRED BY THE CITY ENGINEER. PAVEMENT REPLACEMENT SHALL BE CONDUCTED ACCORDING TO CITY OF COLUMBUS STANDARD DRAWING 1441 DR. A AND APPLICABLE CITY OF DUBLIN STANDARD DRAWINGS. THE REPLACEMENT OF DRIVEWAYS, HANDICAPPED RAMPS, SIDEWALKS, BIKE PATHS, PARKING LOT PAVEMENT, ETC. SHALL BE PROVIDED ACCORDING TO THE APPROVED CONSTRUCTION DRAWINGS AND CITY OF DUBLIN STANDARD CONSTRUCTION DRAWINGS.

23. TREE TRIMMING WITHIN THE CONSTRUCTION ZONE IS TO BE COMPLETED BY A CERTIFIED ARBORIST. AT THE COMPLETION OF THE PROJECT, THE ARBORIST IS TO RETURN AND TRIM ANY BROKEN BRANCHES AS NEEDED.

24. ANY MODIFICATION TO THE WORK SHOWN ON DRAWINGS MUST HAVE PRIOR WRITTEN APPROVAL BY THE CITY ENGINEER, CITY OF DUBLIN.

25. ALL INLETS SHALL BE CHANNELIZED.

26. PARK AREAS SHALL BE FINE-GRADED AND SEEDED WITH THE FOLLOWING MIXTURE:

- IMPROVED KENTUCKY BLUEGRASS: 40% OF WEIGHT (2 VARIETIES IN EQUAL PARTS)
IMPROVED PERENNIAL RYE: 60% OF WEIGHT (2 VARIETIES IN EQUAL PARTS)
GERMINATION RATE: 85%
APPLICATION RATE: 7 LBS PER 1000 SQ FT OR AS DIRECTED BY THE DIVISION OF PARKS AND RECREATION, CITY OF DUBLIN, OHIO.

27. TRAFFIC CONTROL AND OTHER REGULATORY SIGNS SHALL BE TYPE S WITH A SQUARE POST ANCHOR BASE INSTALLATION AND MEET ALL REQUIREMENTS OF ODOT TC-41.20 AND APPLICABLE CITY OF DUBLIN SPECIFICATIONS.

28. STREET SIGNS SHALL MEET ALL CITY OF DUBLIN SPECIFICATIONS WITH LETTERING COLORED IN WHITE DISPLAYED OVER A BROWN BACKGROUND. SIGN TUBING SHALL BE BROWN IN COLOR AND CONFORM WITH THE TYPE S, SQUARE POST ANCHOR BASE INSTALLATION REQUIREMENTS OF ODOT TC-41.20.

UTILITIES

1. THE FOLLOWING UTILITIES ARE KNOWN TO BE LOCATED WITHIN THE LIMITS OF THIS PROJECT:

GAS
COLUMBIA GAS OF OHIO, INC.
1600 DUBLIN ROAD
COLUMBUS, OHIO 43215
(614) 481-1000

ELECTRIC
AMERICAN ELECTRIC POWER
850 TECH CENTER DRIVE
GAHANNA, OHIO 43230
(614) 883-6817

COMMUNICATION
TIME WARNER CABLE
1266 DUBLIN ROAD
COLUMBUS, OHIO 43215
(614) 481-5000

FRONTIER COMMUNICATIONS
(800) 982-8772

AT&T
111 N. 4TH STREET
COLUMBUS, OHIO 43215
(614) 223-5780

DUBLINK
CITY OF DUBLIN
6555 SHER-RINGS ROAD
DUBLIN, OHIO 43016
(614) 410-4750

SANITARY STORM WATER
CITY OF DUBLIN
6555 SHER-RINGS ROAD
DUBLIN, OHIO 43016
(614) 410-4750

CITY OF COLUMBUS
DIVISION OF WATER
910 DUBLIN ROAD
COLUMBUS, OHIO 43215
(614) 645-7020

2. THE CONTRACTOR SHALL GIVE NOTICE OF INTENT TO CONSTRUCT TO OHIO UTILITIES PROTECTION SERVICE (TELEPHONE NUMBER 800-362-2764), PRODUCER'S UNDERGROUND PROTECTION SERVICE (TELEPHONE NUMBER 614-587-0486), AND TO OWNERS OF UNDERGROUND UTILITIES THAT ARE NOT MEMBERS OF A REGISTERED UNDERGROUND PROTECTION SERVICE. NOTICE SHALL BE GIVEN AT LEAST 2 WORKING DAYS BEFORE START OF CONSTRUCTION.

3. THE IDENTITY AND LOCATIONS OF EXISTING UNDERGROUND UTILITIES IN THE CONSTRUCTION AREA HAVE BEEN SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS AS ACCURATELY AS PROVIDED BY THE OWNER OF THE UNDERGROUND UTILITY. THE CITY OF DUBLIN AND THE CITY ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR DEPTHS OF UNDERGROUND FACILITIES SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS. IF DAMAGE IS CAUSED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF THE SAME AND FOR ANY RESULTING CONTINGENT DAMAGE.

4. LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES, WHETHER SHOWN OR NOT SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

5. WHEN UNKNOWN OR INCORRECTLY LOCATED UNDERGROUND UTILITIES ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE CITY ENGINEER.

6. PUBLIC STREET LIGHTING MAY BE IN THE VICINITY OF THIS PROJECT. CONTACT THE CITY OF DUBLIN, DIVISION OF ENGINEERING AT 410-4637, TWO DAYS PRIOR TO BEGINNING WORK.

TRAFFIC CONTROL

1. TRAFFIC CONTROL SHALL BE FURNISHED, ERECTED, MAINTAINED, AND REMOVED BY THE CONTRACTOR ACCORDING TO OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCD), CURRENT EDITION.

2. ALL TRAFFIC LANES OF PUBLIC ROADWAYS SHALL BE FULLY OPEN TO TRAFFIC FROM 7:00 AM TO 9:00 AM AND FROM 4:00 PM TO 6:00 PM UNLESS AUTHORIZED DIFFERENTLY BY THE CITY ENGINEER. AT ALL OTHER HOURS THE CONTRACTOR SHALL MAINTAIN MINIMUM ONE-LANE TWO-WAY TRAFFIC. UNIFORMED, OFF-DUTY POLICE OFFICERS SHALL REPLACE FLAGMEN DESIGNATED BY THE OMUTCD, AND SHALL BE PRESENT WHENEVER ONE-LANE, TWO-WAY TRAFFIC CONTROL IS IN EFFECT. POLICE CRUISERS MAY BE REQUIRED AS DIRECTED BY THE CITY ENGINEER.

3. IF THE CITY ENGINEER DETERMINES THAT THE CONTRACTOR IS NOT PROVIDING PROPER PROVISIONS FOR TRAFFIC CONTROL, THE CITY ENGINEER SHALL ASSIGN UNIFORMED, OFF-DUTY POLICE OFFICERS TO THE PROJECT AT NO COST TO THE CITY.

4. STEADY-BURNING, TYPE "C" LIGHTS SHALL BE CONTROLLED ON ALL BARRICADES, DRUMS, AND SIMILAR TRAFFIC CONTROL DEVICES IN USE AT NIGHT.

5. ACCESS FROM PUBLIC ROADWAYS TO ALL ADJOINING PROPERTIES FOR EXISTING RESIDENTS OR BUSINESSES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT FOR MAIL, PUBLIC WATER AND SANITARY SEWER SERVICE, AND EMERGENCY VEHICLES. THE CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN DETAILING THE PROPOSED MAINTENANCE OF TRAFFIC PROCEDURES. THE TRAFFIC CONTROL PLAN MUST INCORPORATE ANY TRAFFIC CONTROL DETAILS CONTAINED HEREIN. THE TRAFFIC CONTROL PLAN PROPOSED BY THE CONTRACTOR MUST BE APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION.

EROSION AND SEDIMENT CONTROL

1. THE CONTRACTOR OR DEVELOPER IS RESPONSIBLE FOR SUBMITTING A NOTICE OF INTENT (NOI) TO BE REVIEWED AND APPROVED BY THE OHIO EPA. THE NOI MUST BE SUBMITTED TO OPEA 45 DAYS PRIOR TO THE START OF CONSTRUCTION AND MAY ENTITLE COVERAGE UNDER THE OHIO EPA GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY. A PROJECT LOCATION MAP MUST BE SUBMITTED WITH THE NOI. A SEDIMENT AND EROSION CONTROL PLAN MUST BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL IF A SEDIMENT AND EROSION CONTROL PLAN HAS NOT ALREADY BEEN INCLUDED WITH THE APPROVED CONSTRUCTION DRAWINGS. THIS PLAN MUST BE MADE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE DESIGN OF EROSION CONTROL SYSTEMS SHALL FOLLOW THE REQUIREMENTS OF OHIO EPA, ITEM 207 OF OHIO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, AND THE CITY ENGINEER. AN INDIVIDUAL NPDES STORMWATER DISCHARGE PERMIT MAY BE REQUIRED. THE CONTRACTOR SHALL BE CONSIDERED THE PERMITTEE.

2. THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL AT ALL POINTS WHERE STORM WATER RUNOFF LEAVES THE PROJECT, INCLUDING WATERWAYS, OVERLAND SHEET FLOW, AND STORM SEWERS.

3. ACCEPTED METHODS OF PROVIDING EROSION/SEDIMENT CONTROL INCLUDE BUT ARE NOT LIMITED TO: SEDIMENT BASINS, SILT FILTER FENCE, AGGREGATE CHECK DAMS, AND TEMPORARY GROUND COVER. HAY OR STRAW BALES ARE NOT PERMITTED.

4. THE CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE OF THE WORK AREA AT ALL TIMES CONSISTENT WITH EROSION CONTROL PRACTICES.

5. DISTURBED AREAS THAT WILL REMAIN UNWORKED FOR 30 DAYS OR MORE SHALL BE SEEDED OR PROTECTED WITHIN SEVEN CALENDAR DAYS OF THE DISTURBANCE. OTHER SEDIMENT CONTROLS THAT ARE INSTALLED SHALL BE MAINTAINED UNTIL VEGETATIVE GROWTH HAS BEEN ESTABLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY SEDIMENT DEVICES AT THE COMPLETION OF CONSTRUCTION BUT NOT BEFORE GROWTH OF PERMANENT GROUND COVER.

BLASTING (IF PERMITTED)

1. THE CONTRACTOR MUST OBTAIN A BLASTING PERMIT FROM WASHINGTON TOWNSHIP FIRE DEPARTMENT PRIOR TO BLASTING FOR ROCK EXCAVATION. THE CONTRACTOR SHALL SUBMIT BLASTING REPORTS UPON COMPLETION OF BLASTING TO THE CITY ENGINEER, THE OWNER, AND THE OWNER'S ENGINEER. TOP OF ROCK ELEVATIONS SHALL BE SHOWN ON "AS-BUILT" CONSTRUCTION DRAWINGS.

SANITARY SEWERS

1. CONNECTIONS TO THE SANITARY SEWER WILL BE PERMITTED UPON RECEIVING AN OPEA PERMIT TO INSTALL (PTI), AND UPON RECEIVING A SATISFACTORY LETTER FROM THE DESIGN ENGINEER STATING THAT THE PROPOSED CONNECTIONS MEET THE PLANS, AND ALL OF THE CONDITIONS OF THE PTI HAVE BEEN MET. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL REQUIRED OHIO EPA APPROVALS AND PAYING REVIEW FEES.

2. SANITARY SEWAGE COLLECTION SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES, REGULATIONS, STANDARDS AND SPECIFICATIONS OF THE CITY OF DUBLIN, OHIO EPA, OHIO DEPARTMENT OF HEALTH AND THE CURRENT EDITION OF THE GREAT LAKES-UPPER MICHIGAN RIVER BOARD (TEM STATES) - RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES.

3. THE MINIMUM REQUIREMENTS FOR SANITARY SEWER PIPE WITH DIAMETERS 8 INCHES TO 10 INCHES SHALL BE PVC SEWER PIPE, ASTM D3034, SDR 35. PIPE FOR 6 INCH DIAMETER HOUSE SERVICE LINES SHALL BE PVC PIPE, ASTM D3034, SDR 35. PVC PIPE SHALL NOT BE USED AT DEPTHS GREATER THAN 28 FEET. PIPE MATERIALS AND RELATED STRUCTURES SHALL BE SHOP TESTED IN ACCORDANCE WITH CITY OF COLUMBUS CONSTRUCTION INSPECTION DIVISION QUALITY CONTROL REQUIREMENTS.

4. THE MINIMUM REQUIREMENTS FOR SANITARY SEWER PIPES WITH DIAMETERS 12 INCHES TO 30 INCHES SHALL BE PVC SEWER PIPE, STM D3034, SDR 35 OR SANITITE HP PIPE, ASTM F2736. SANITARY SEWER PIPES WITH DIAMETERS 30 INCHES TO 60 INCHES SHALL BE PVC SEWER PIPE, ASTM D3034, SDR 35 OR SANITITE HP PIPE, ASTM F2764.

5. ALL IN-LINE WYE AND TEE CONNECTIONS IN CONCRETE SEWERS, 18-INCH DIAMETER AND LARGER, SHALL BE EITHER KOR-N-TEE OR KOR-N-SEAL CONNECTIONS CONFORMING TO THE MANUFACTURER'S RECOMMENDATIONS.

6. GRANULAR BACKFILL SHALL BE COMPACTED GRANULAR MATERIAL ACCORDING TO ITEM 912 OF THE STANDARD SPECIFICATIONS OR CONTROLLED DENSITY BACKFILL ACCORDING TO ITEM 613, TYPE II OF THE STANDARD SPECIFICATIONS AS DIRECTED BY THE CITY ENGINEER.

7. ALL MANHOLE LIDS SHALL BE PROVIDED WITH CONTINUOUS SELF-SEALING GASKETS. THE APPROVED CONSTRUCTION DRAWINGS SHALL SHOW WHERE BOLT-DOWN LIDS ARE REQUIRED. SANITARY SEWER MANHOLES SHALL BE PRECAST CONCRETE OR AS APPROVED BY THE CITY ENGINEER AND CONFORM TO THE CITY OF DUBLIN SANITARY MANHOLE STANDARD DRAWING. MANHOLE LIDS SHALL INCLUDE CITY OF DUBLIN LOGO.

8. ALL PVC SEWER PIPES SHALL BE DEFLECTION TESTED NO LESS THAN 60 DAYS AFTER COMPLETION OF BACKFILLING OPERATIONS. ALL OTHER REQUIREMENTS SHALL BE ACCORDING TO ITEM 901.21 OF THE STANDARD SPECIFICATIONS.

9. TEMPORARY BULKHEADS SHALL BE PLACED IN PIPES AT LOCATIONS SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS AND SHALL REMAIN IN PLACE UNTIL THE PERMIT TO INSTALL (PTI) HAS BEEN ISSUED BY THE OPEA AND THE SEWERS HAVE BEEN APPROVED FOR USE BY THE CITY ENGINEER. THE COST FOR FURNISHING, INSTALLING, MAINTAINING, AND REMOVING BULKHEADS SHALL BE INCLUDED IN THE CONTRACT UNIT BID PRICE FOR THE VARIOUS SANITARY SEWER ITEMS.

10. ALL SANITARY SEWERS INCLUDING SANITARY SEWER SERVICE LINES SHALL BE SUBJECTED TO AND PASS INFILTRATION OR EXFILTRATION TESTS ACCORDING TO ITEM 901 OF THE STANDARD SPECIFICATIONS AND MUST BE APPROVED FOR USE BY THE CITY ENGINEER BEFORE ANY SERVICE CONNECTIONS ARE TAPPED INTO SEWERS.

11. FOR SANITARY SEWER INFILTRATION, LEAKAGE THROUGH JOINTS SHALL BE TESTED AT A MINIMUM OF ONE PER INCH OF DIAMETER PER 24 HOURS PER MILE OF LENGTH OR THE COMPUTED EQUIVALENT. ALL SANITARY SEWERS SHALL BE TESTED.

12. AT THE DETERMINATION OF THE CITY ENGINEER, THE CONTRACTOR MAY BE REQUIRED TO PERFORM A TV INSPECTION OF THE SANITARY SEWER SYSTEM PRIOR TO FINAL ACCEPTANCE BY THE CITY. THIS WORK SHALL BE COMPLETED BY THE CONTRACTOR AT HIS EXPENSE.

13. VISIBLE LEAKS OR OTHER DEFECTS OBSERVED OR DISCOVERED DURING TV INSPECTION SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER.

14. ROOF DRAINS, FOUNDATION DRAINS, FIELD TILE OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE STRICTLY PROHIBITED ACCORDING TO SECTION 51.23 OF THE DUBLIN CODE OF ORDINANCES.

15. ALL WATER LINES SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY, FROM SANITARY SEWERS AND STORM SEWERS, TO THE GREATEST EXTENT PRACTICABLE. WHERE SANITARY SEWERS CROSS WATER MAINS OR OTHER SEWERS OR OTHER UTILITIES, TRENCH BACKFILL SHALL BE REINFORCED CONCRETE PIPE. CROSSING AND SHALL BE COMPACTED GRANULAR MATERIAL ACCORDING TO ITEM 912 OF THE STANDARD SPECIFICATIONS. IN THE EVENT THAT A WATER LINE MUST CROSS WITHIN 18 INCHES OF A SANITARY SEWER, THE SANITARY SEWER SHALL BE CONCRETE ENCASED OR CONSIST OF DUCTILE IRON PIPE MATERIAL.

16. SERVICE RISERS SHALL BE INSTALLED WHERE THE DEPTH FROM WYES TO PROPOSED GROUND ELEVATION EXCEEDS 10 FEET. TOPS OF RISERS SHALL BE NO LESS THAN 9 FEET BELOW PROPOSED GROUND ELEVATION IF BASEMENT SERVICE IS INTENDED.

17. WHERE SERVICE RISERS ARE NOT INSTALLED, A MINIMUM 5-FOOT LENGTH OF SANITARY SEWER SERVICE PIPE OF THE SAME SIZE AS THE WYE OPENING SHALL BE INSTALLED.

18. THE CONTRACTOR SHALL FURNISH AND PLACE, AS DIRECTED, APPROVED WYE POLES MADE OF 2 INCHES X 2 INCHES LUMBER AT ALL WYE LOCATIONS, ENDS OF EXTENDED SEWERS, AND AT THE END OF EACH RISER WHERE RISERS ARE REQUIRED. WYE POLES SHALL BE VISIBLE BEFORE ACCEPTANCE BY THE CITY. THE COST OF THESE POLES SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE VARIOUS SEWER ITEMS.

19. EXISTING SANITARY SEWER FLOWS SHALL BE MAINTAINED AT ALL TIMES. COSTS OF BUMPING AND BYPASSING SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE BID FOR THE RELATED ITEMS.

20. THE CONTRACTOR SHALL FURNISH ALL MATERIAL, EQUIPMENT, AND LABOR TO MAKE CONNECTIONS TO EXISTING MANHOLES. THE SEWER PIPE TO MANHOLE CONNECTIONS FOR ALL SANITARY SEWERS SHALL BE FLEXIBLE AND WATERTIGHT. ALL HOLES SHALL BE NEATLY CORED. THE SEWER PIPE BARREL AT THE SPRINGLINE SHALL NOT EXTEND MORE THAN 1 INCH BEYOND THE INSIDE FACE OF THE MANHOLE. TO MAINTAIN FLEXIBILITY IN THE CONNECTION, A 1-INCH SPACE SHALL BE LEFT BETWEEN THE END OF THE PIPE INSIDE THE MANHOLE AND THE CONCRETE CHANNEL; THIS SPACE SHALL BE FILLED WITH A WATERPROOF FLEXIBLE JOINT FILLER. ANY METAL THAT IS USED SHALL BE TYPE 300 SERIES STAINLESS STEEL. THE CONNECTION MAY BE ANY OF THE FOLLOWING TYPES:

- A. RUBBER SLEEVE WITH STAINLESS STEEL BANDING.
1) KOR-N-SEAL MANUFACTURED BY NATIONAL POLLUTION CONTROL SYSTEMS
2) LOCK JOINT FLEXIBLE MANHOLE SLEEVE AS MANUFACTURED BY INTERPACE CORPORATION.
3) OR EQUAL AS APPROVED BY THE CITY ENGINEER.
B. RUBBER GASKET COMPRESSION.
1) PRESS WEDGE II AS MANUFACTURED BY PRESS-SEAL GASKET CORPORATION.
2) DURA-SEAL III AS MANUFACTURED BY DURA TECH, INC.
3) LINK-SEAL AS MANUFACTURED BY THUNDERLINE CORPORATION.
4) OR EQUAL AS APPROVED BY THE CITY ENGINEER.

THE COST FOR THIS WORK ALONG WITH A NEW CHANNELIZED BASE FOR THE MANHOLE SHALL BE INCLUDED IN THE UNIT BID PRICE FOR THE RELATED ITEMS OF WORK.

WATER LINE

1. ALL WATER LINE MATERIALS SHALL BE PROVIDED AND INSTALLED ACCORDING TO CURRENT SPECIFICATIONS OF THE CITY OF COLUMBUS DIVISION OF WATER.

2. ALL PUBLIC WATER PIPE WITH A DIAMETER 3 INCHES TO 8 INCHES SHALL BE DUCTILE IRON, CLASS 53. PUBLIC WATER PIPE 12 INCHES IN DIAMETER OR LARGER SHALL BE DUCTILE IRON, CLASS 54. PUBLIC WATER PIPE 24 INCHES IN DIAMETER SHALL BE PRESTRESSED CONCRETE PIPE. PRIVATE WATER PIPE SHALL MEET THE APPROVAL OF THE CITY OF COLUMBUS DIVISION OF WATER PRIOR TO APPROVAL OF THE CONSTRUCTION DRAWINGS.

3. ONLY FIRE HYDRANTS CONFORMING TO CITY OF COLUMBUS STANDARDS WILL BE APPROVED FOR USE.

4. PUBLIC WATER LINES SHALL BE DISINFECTED BY THE CITY OF COLUMBUS DIVISION OF WATER. REQUESTS FOR WATER LINE CHLORINATION SHALL BE MADE THROUGH THE CITY OF DUBLIN DIVISION OF ENGINEERING. THE COST FOR CHLORINATION SHALL BE PAID FOR BY THE CONTRACTOR.

5. ALL WATER LINES SHALL BE DISINFECTED ACCORDING TO ITEM 801.13 OF THE STANDARD SPECIFICATIONS. SPECIAL ATTENTION IS DIRECTED TO APPLICABLE SECTIONS OF AMERICAN WATER WORKS ASSOCIATION SPECIFICATION C-651, PARTICULARLY FOR FLUSHING (SECTION 5) AND FOR CHLORINATING VALVES AND FIRE HYDRANTS (SECTION 7). PRESSURE TESTING SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 801.12 OF THE CITY OF COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATIONS. WHEN WATER LINES ARE READY FOR DISINFECTION, THE CITY OF DUBLIN SHALL SUBMIT TWO (2) SETS OF "AS-BUILT" PLANS, AND A LETTER STATING THAT THE WATER LINES HAVE BEEN PRESSURE TESTED AND NEED TO BE DISINFECTED, TO THE CITY OF COLUMBUS, DIVISION OF WATER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE DISINFECTION OF ALL WATER LINES CONSTRUCTION PER THIS PLAN. PRESSURE TESTING SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 801.12 OF THE CITY OF COLUMBUS CONSTRUCTION AND MATERIAL SPECIFICATIONS.

6. THE CONTRACTOR SHALL PAINT ALL FIRE HYDRANTS ACCORDING TO CITY OF DUBLIN STANDARDS. THE COST OF PAINTING FIRE HYDRANTS SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR FIRE HYDRANTS.

7. NO WATER TAPS OR SERVICE CONNECTIONS (E.G., TO CURB STOPS OR METER PITS) MAY BE ISSUED UNTIL ADJACENT PUBLIC WATER LINES SERVING THE CONSTRUCTION SITE HAVE BEEN DISINFECTED BY THE CITY OF COLUMBUS DIVISION OF WATER AND HAVE BEEN ACCEPTED BY THE CITY ENGINEER. A TAP PERMIT FOR EACH WATER SERVICE MUST BE OBTAINED FROM THE CITY OF DUBLIN AND THE CITY OF COLUMBUS DIVISION OF WATER BEFORE MAKING ANY TAPS INTO PUBLIC WATER LINES.

8. THE CONTRACTOR SHALL NOTIFY THE CITY OF COLUMBUS DIVISION OF WATER AT 614-645-7788 AND THE CITY OF DUBLIN DIVISION OF ENGINEERING AT LEAST 24 HOURS BEFORE TAPPING INTO EXISTING WATER LINES.

9. ALL WATER MAIN STATIONING SHALL BE BASED ON STREET CENTERLINE STATIONING.

10. ALL BENDS, JOINT DEFLECTIONS AND FITTINGS SHALL BE BACKED WITH CONCRETE PER CITY OF COLUMBUS STANDARDS.

11. THE CONTRACTOR SHALL GIVE WRITTEN NOTICE TO ALL AFFECTED PROPERTY OWNERS AT LEAST 1 WORKING DAY BUT NOT MORE THAN 3 WORKING DAYS PRIOR TO ANY TEMPORARY INTERRUPTION OF WATER SERVICE. INTERRUPTION OF WATER SERVICE SHALL BE MINIMIZED AND MUST BE APPROVED BY THE CITY ENGINEER.

12. WATER METERS SHALL BE INSTALLED INSIDE PROPOSED STRUCTURES UNLESS A METER PIT INSTALLATION IS APPROVED BY THE CITY OF COLUMBUS DIVISION OF WATER. METER PITS MUST CONFORM TO STANDARD DRAWINGS L-7103, A&B FOR 5/8" THROUGH 1" METERS OR L-6317, A, B, C&D FOR 1-1/2" OR LARGER METERS.

13. WATER LINES TO BE INSTALLED IN EMBANKMENT AREAS SHALL BE PLACED AFTER THE EMBANKMENT HAS BEEN PLACED AND COMPACTED ACCORDING TO THE STANDARD SPECIFICATIONS.

14. CURB STOP BOXES SHALL BE LOCATED AT LEAST 1 FOOT INSIDE THE RIGHT-OF-WAY AND SET AT FINISHED GRADE.

15. IF THE TOP OF THE OPERATING NUT OF ANY VALVE IS GREATER THAN 36 INCHES BELOW FINISHED GRADE, AN EXTENSION STEM SHALL BE FURNISHED TO BRING THE TOP OF THE OPERATING NUT TO WITHIN 24 INCHES OF FINISHED GRADE ELEVATION.

16. ALL WATER LINES SHALL BE PLACED AT A MINIMUM DEPTH OF 4 FEET MEASURED FROM TOP OF FINISHED GRADE TO TOP OF WATER LINE. WATER LINES SHALL BE SET DEEPER AT ALL POINTS WHERE NECESSARY TO CLEAR EXISTING OR PROPOSED UTILITY LINES OR OTHER UNDERGROUND RESTRICTIONS BY A MINIMUM OF 18 INCHES.

17. TWO 3/4 INCH TAPS SHALL BE INSTALLED WITHIN 2 FEET OF THE END OF THE LINE ON ALL DEAD-END WATER LINES.

STORM SEWER

1. ALL STORM WATER DETENTION AND RETENTION AREAS AND MAJOR FLOOD ROUTING SWALES SHALL BE CONSTRUCTED TO FINISH GRADE AND HYDRO-SEEDED AND HYDRO-MULCHED ACCORDING TO ITEMS 203 AND 659 OF THE STANDARD SPECIFICATIONS.

2. WHERE PRIVATE STORM SEWERS CONNECT TO PUBLIC STORM SEWERS, THE LAST RUN OF PRIVATE STORM SEWER CONNECTING TO THE PUBLIC STORM SEWER SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM DESIGNATION C76, WALL B, CLASS IV FOR PIPE DIAMETERS 12 INCHES TO 15 INCHES, CLASS III FOR 18 INCHES TO 24 INCH PIPES, AND 27 INCHES AND LARGER PIPE SHALL BE CLASS II, UNLESS OTHERWISE SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS. INSPECTION IS REQUIRED BY THE CITY OF DUBLIN'S DIVISION OF ENGINEERING.

3. GRANULAR BACKFILL SHALL BE COMPACTED GRANULAR MATERIAL ACCORDING TO ITEM 912 OF THE STANDARD SPECIFICATIONS OR CONTROLLED DENSITY BACKFILL ACCORDING TO ITEM 613, TYPE II OF THE STANDARD SPECIFICATIONS AS DIRECTED BY THE CITY ENGINEER.

4. ALL STORM SEWERS SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM DESIGNATION C76, WALL B, CLASS IV FOR PIPE DIAMETERS 12 INCHES TO 15 INCHES, CLASS III FOR 18 INCHES TO 24 INCH PIPES, AND 27 INCHES AND LARGER PIPE SHALL BE CLASS II, UNLESS OTHERWISE SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS.

5. HEADWALLS SHALL BE REQUIRED AT ALL STORM SEWER INLETS OR OUTLETS TO AND FROM STORMWATER MANAGEMENT FACILITIES. NATURAL STONES AND/OR BRICK APPROVED BY THE CITY ENGINEER SHALL BE PROVIDED ON ALL VISIBLE HEADWALL SURFACES.

6. STORM INLETS OR CATCH BASINS SHALL BE CHANNELIZED AND HAVE BICYLE SAFE GRATES. MANHOLE LIDS SHALL INCLUDE CITY OF DUBLIN LOGO AND INCLUDE ENGRAVED LETTERING: "DUMP NO WASTE; DRAINS TO RIVER."

7. STORM SEWER OUTLETS GREATER THAN 18 INCHES IN DIAMETER ACCESSIBLE FROM STORMWATER MANAGEMENT FACILITIES OR WATERCOURSES SHALL BE PROVIDED WITH SAFETY GRATES, AS APPROVED BY THE CITY ENGINEER.

8. HP STORM AND HP SANITITE OR APPROVED EQUAL ARE APPROVED ALTERNATIVES TO REINFORCED CONCRETE PIPE IN PAVED AND NON PAVED AREAS AS APPROVED BY THE CITY ENGINEER. THIS INCLUDES APPLICATIONS INSIDE THE RIGHT-OF-WAY.

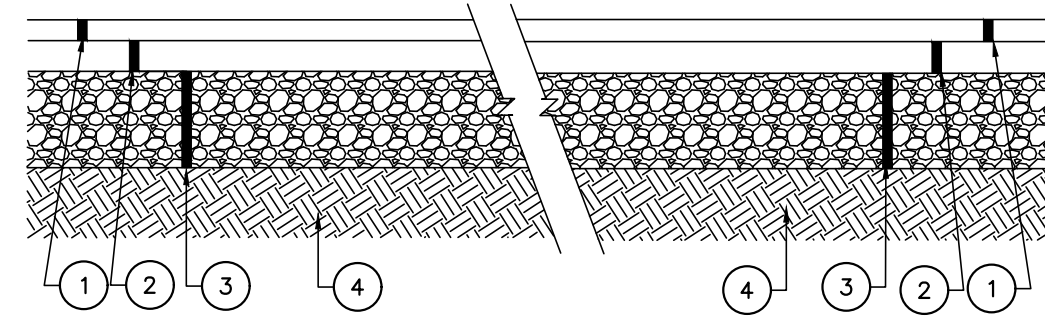
9. HP STORM AND HP SANITITE OR APPROVED EQUAL PIPE JOINTS SHALL BE WATERTIGHT ACCORDING TO REQUIREMENTS OF ASTM D3212. PIPES SHALL BE JOINED WITH A GASKETED INTEGRAL BELL & SPIGOT JOINT MEETING THE REQUIREMENTS OF ASTM F2881 (HP STORM) AND ASTM F2764 (HP SANITITE). GASKETS SHALL BE INSTALLED BY PIPE MANUFACTURER AND COVERED WITH REMOVABLE PROTECTIVE WRAP TO ENSURE THE GASKET IS FREE FROM DEBRIS. A JOINT LUBRICANT AVAILABLE FROM THE MANUFACTURER SHALL BE USED ON THE GASKET AND BELL DURING JOINT ASSEMBLY.

10. ALL BEDDING MATERIAL SHALL BE IN ACCORDANCE WITH CITY OF COLUMBUS STANDARD CONSTRUCTION DRAWING AA-S149.

11. BACKFILL MATERIAL SHALL BE PLACED IN ACCORDANCE WITH ITEM 911 OR ITEM 912 OF THE CITY OF COLUMBUS CONSTRUCTION MATERIAL SPECIFICATIONS (CMS).

12. BACKFILL MATERIAL IN AREAS LOCATED OUTSIDE THE PUBLIC RIGHT-OF-WAY SHALL BE PLACED IN ACCORDANCE WITH ITEM 901 OF THE CITY OF COLUMBUS (CMS).

13. ALL HP STORM AND HP SANITITE PIPE (FOR STORM SEWER) SHALL BE MANDREL TESTED IN ACCORDANCE WITH CITY OF COLUMBUS ITEM 901.21, WITH THE EXCEPTION THAT THE WAITING PERIOD PRIOR TO TESTING SHALL BE 30 DAYS.



- ① ITEM 448, 1 1/4" ASPHALT CONCRETE
- ② ITEM 448, 1 3/4" ASPHALT CONCRETE
- ③ ITEM 304, 8" CRUSHED AGGREGATE BASE
- ④ ITEM 203, SUBGRADE COMPACTION

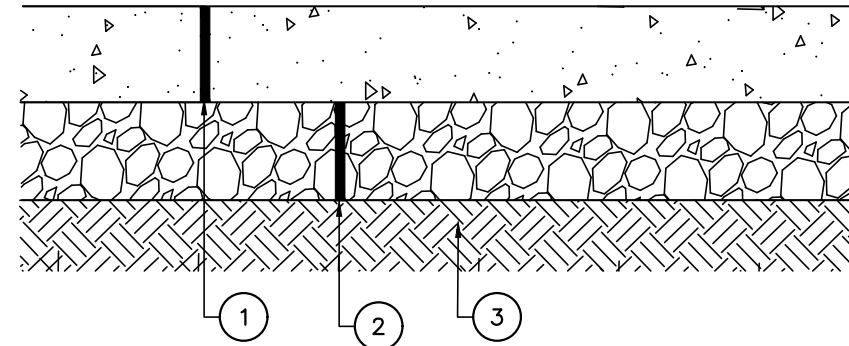
**LIGHT DUTY**

**HEAVY DUTY**

NOTES: ALL PAVEMENT MATERIALS SHALL CONFORM TO THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS. PAVEMENT DESIGN AS PER GEOTECHNICAL REPORT.

**TYPICAL PAVEMENT SECTIONS**

(NO SCALE)



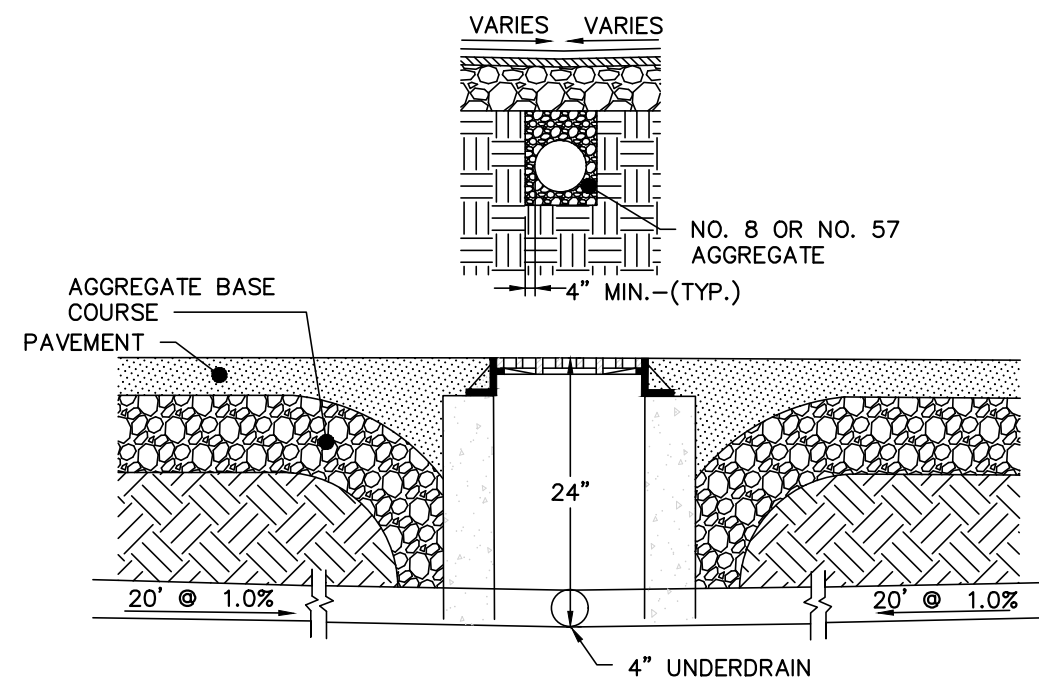
- ① ITEM 452, 6 1/2" PLAIN P.C. CONCRETE PAVEMENT (CLASS C)
- ② ITEM 304, 6" CRUSHED AGGREGATE BASE
- ③ ITEM 203, SUBGRADE COMPACTION, REF. SOILS REPORT

NOTE: CONCRETE PAVING, CMSC ITEM 452 SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

1. 4000 PSI COMPRESSIVE STRENGTH, 600 PSI FLEXURAL STRENGTH.
2. 5-7% ENTRAINED AIR WITH APPROVED WATER-REDUCING AND RETARDING ADMIXTURES.
3. CONSTRUCTION JOINTS SHALL BE SPECIFIED BY CONTRACTOR AS A PART OF THE CONTRACT BID.
4. CONCRETE PAVING SHALL HAVE A LIGHT BROOM FINISH.
5. CURING COMPOUND SHALL BE APPLIED AS PER CMSC ITEM 451.10.

**CONCRETE PAVEMENT SECTION & DETAILS**

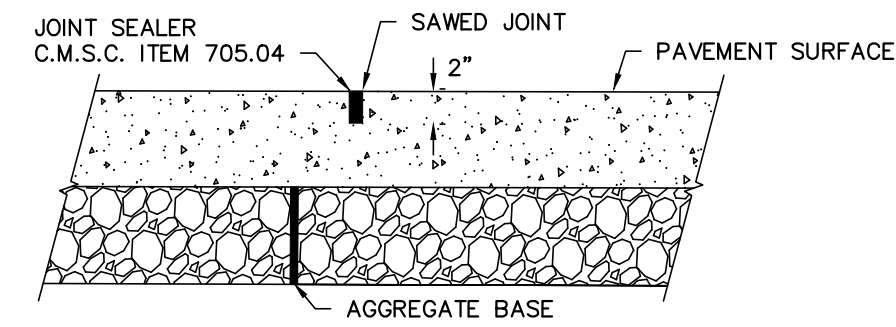
(NO SCALE)



\* 4" PERFORATED UNDERDRAIN - SEE STORM SEWER PLAN FOR LOCATIONS. THE PERFORATED PIPE SHALL BE PROTECTED FROM HEAVY TRAFFIC AFTER INSTALLATION PRIOR TO PLACEMENT OF PROPOSED PAVING.

**TYPICAL 4" UNDERDRAIN DETAIL**

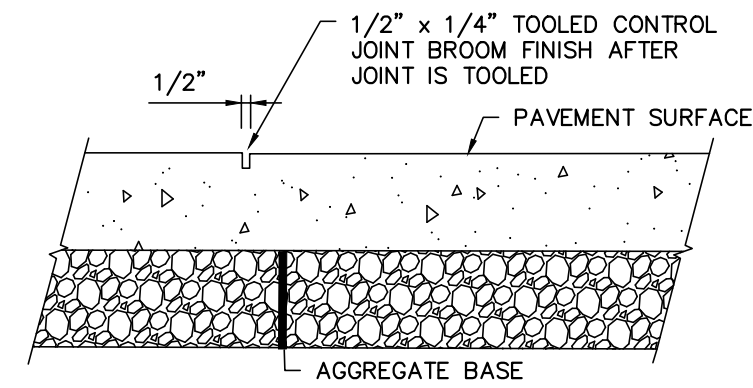
(NO SCALE)



JOINTS SHALL BE SAWS AS SOON AS THE INITIAL SETTING OF THE CONCRETE WILL PERMIT MOVEMENT OF THE SAWING EQUIPMENT WITHOUT DAMAGE TO THE SURFACE

**SAWED CONTROL JOINT DETAIL \***

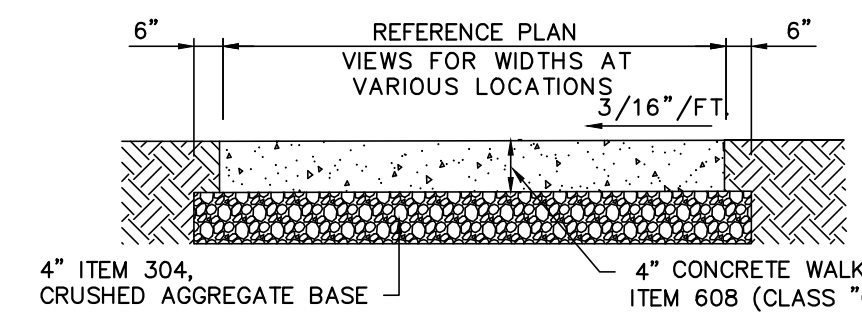
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**TOOLED CONTROL JOINT DETAIL \***

(NO SCALE)

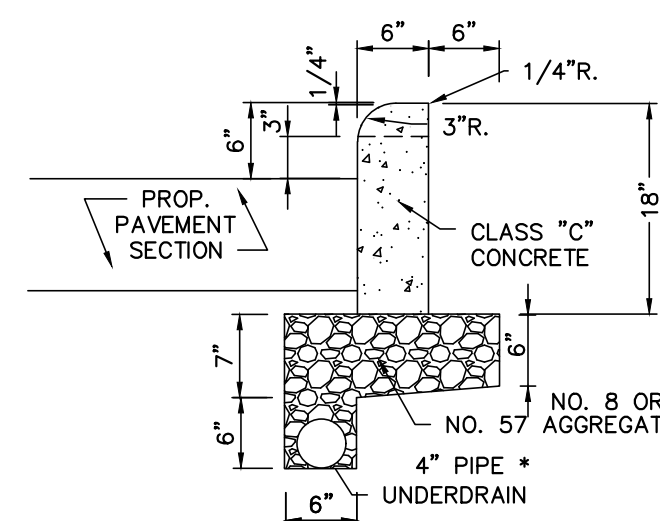
\* : CONSTRUCTION JOINTS MAY BE SAWS OR TOOLED AS DIRECTED BY THE CONSTRUCTION MANAGER.



SIDEWALK JOINTS SHALL BE IN ACCORDANCE WITH CMSC ITEM 608.03 UNLESS OTHERWISE DETAILED AS A PART OF THE BUILDING OR LANDSCAPE ARCHITECT PLANS.

**SIDEWALK SECTION**

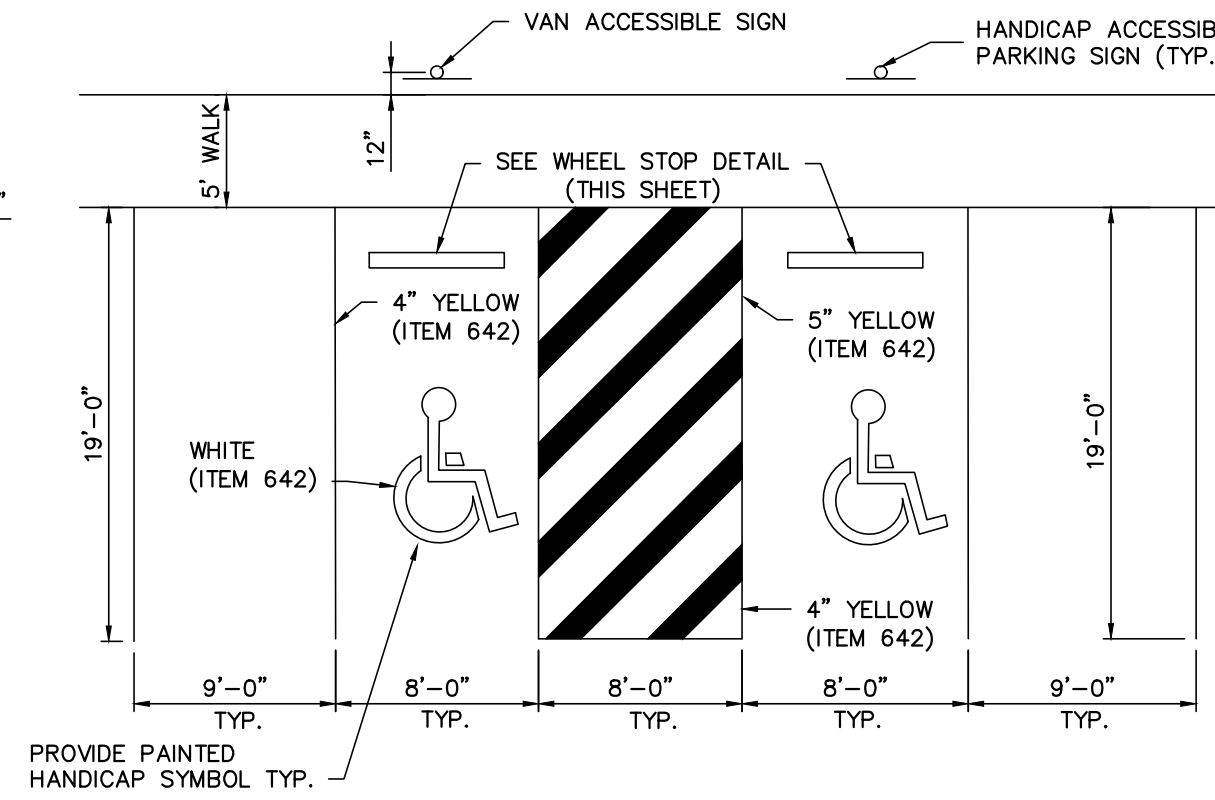
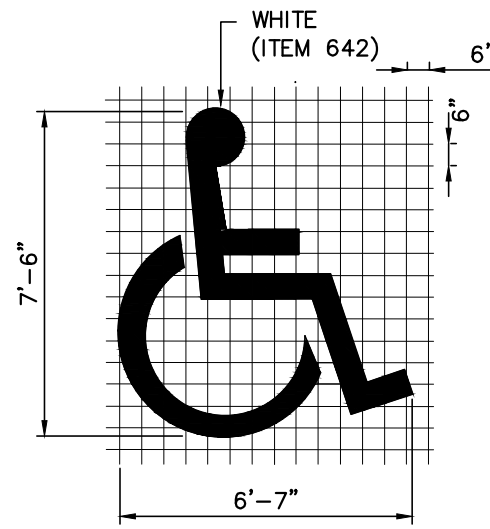
(NO SCALE)



\* CONTRACTOR SHALL VERIFY REQUIREMENTS FOR CURB UNDERDRAIN WITH THE OWNER. ANY UNDERDRAIN PLACED SHALL BE PROVIDED AN OUTLET TO THE PROPOSED STORM SYSTEM. POSITIVE DRAINAGE SHALL BE MAINTAINED.

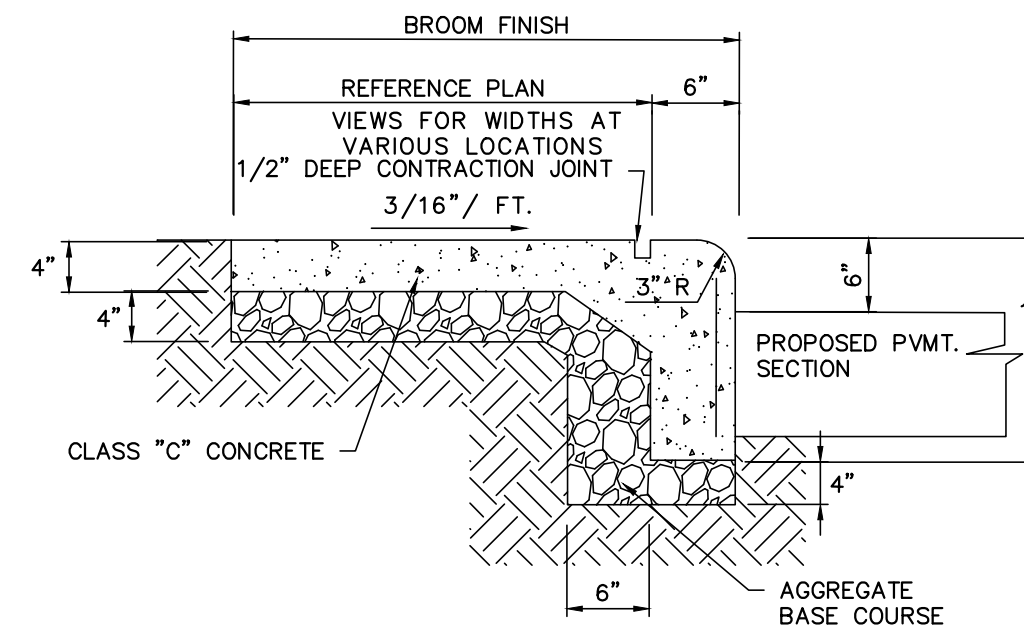
**STRAIGHT 18" CONCRETE CURB**

(NO SCALE)



**TYPICAL PARKING AND HANDICAP SPACE**

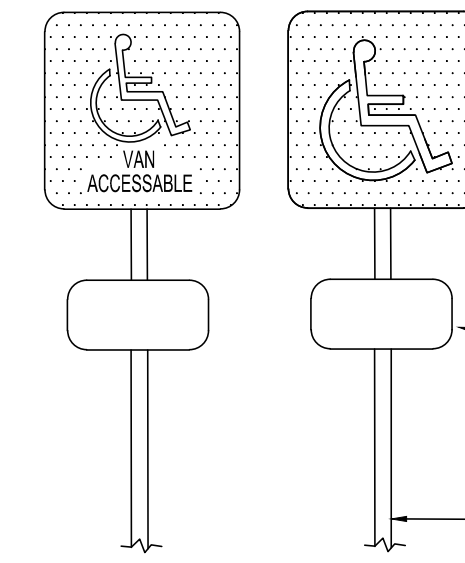
(NO SCALE)



NOTE: SIDEWALK JOINTS SHALL BE IN ACCORDANCE WITH CMSC ITEM 608.03 UNLESS OTHERWISE DETAILED AS A PART OF THE BUILDING OR LANDSCAPE ARCHITECT PLANS.

**STANDARD COMBINED CURB AND WALK**

(NO SCALE)

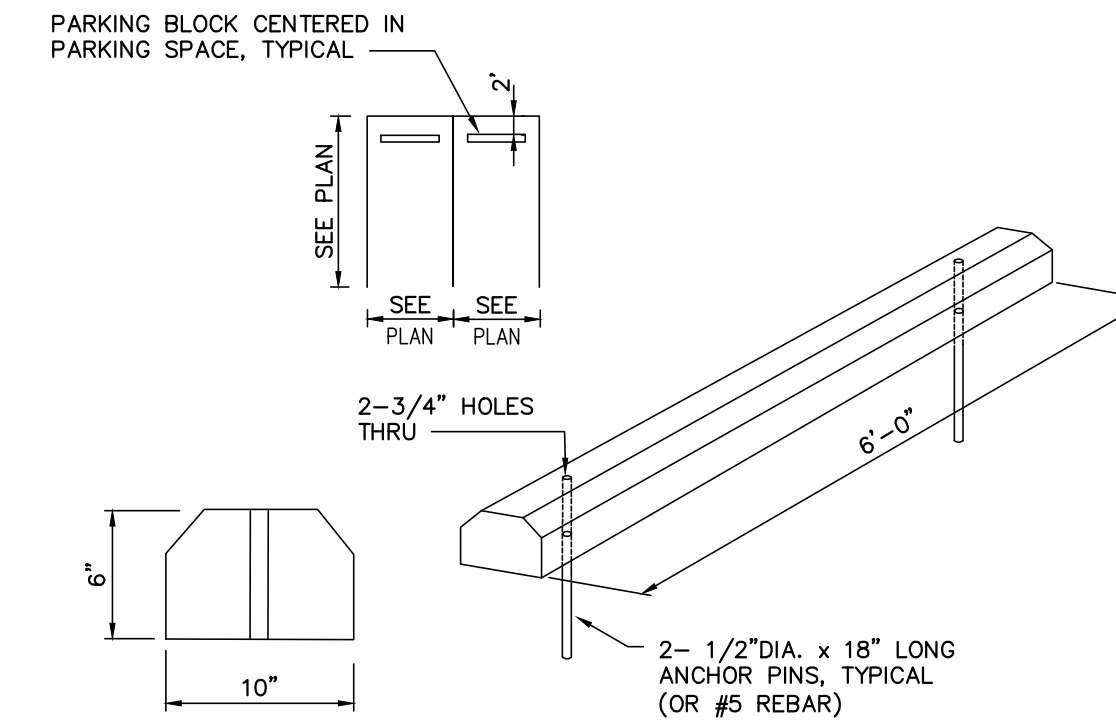


NOTE: Handicap parking sign shall conform with current state and local codes and regulations

HANDICAP FINE SIGN (R-59C-12)  
SIGN TEXT:  
UNAUTHORIZED PARKING  
\$250 FINE MINIMUM  
OBC SECTION 1110.1.1

**HANDICAP PARKING & VAN ACCESSIBLE SIGN DETAIL**

(NO SCALE)



**CONCRETE WHEEL STOP DETAIL**

(NO SCALE)

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**ADVANCED**  
CIVIL DESIGN  
781 Science Blvd, Suite 100  
Gahanna, Ohio 43230  
ph 614.428.7750  
fax 614.428.7755

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DESCRIPTION	DATE
PERMIT DRAWINGS	2/29/2024

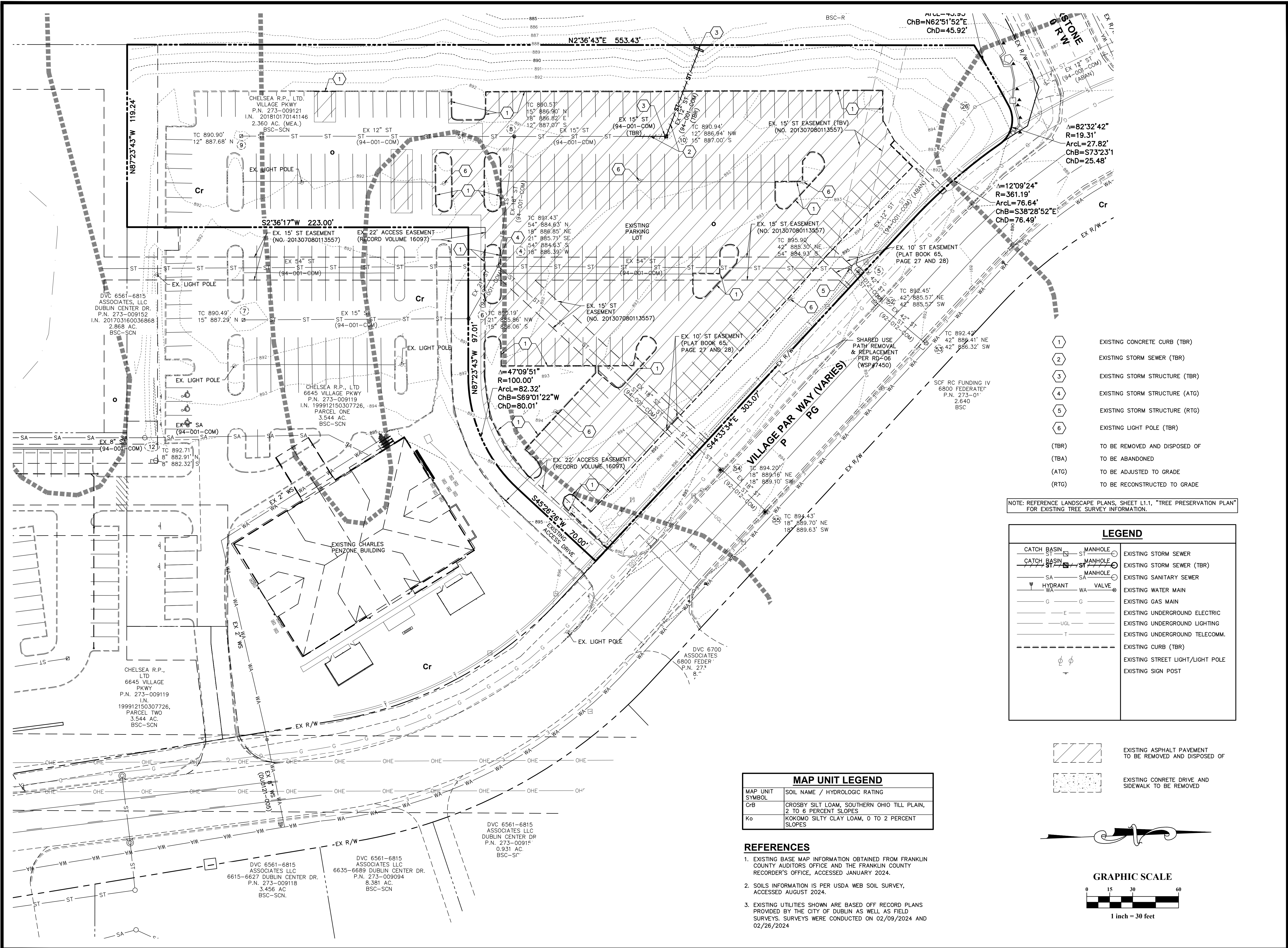
**DETAILS**  
PROJECT TITLE  
**Penzone Live-Work**  
6671 Village Parkway, Dublin, Ohio 43017

MEYERS+ASSOCIATES PROJECT NUMBER:  
SHEET NUMBER

**C-00**

Z:\24-0047-76\DWG\production drawings\SITE CONSTRUCTION\0047-76 SCP\_Details.dwg DETAILS Sep 06, 2024 - 10:32:25am rrfowler

Z:\24-0047-76\DWG\production drawings\SITE CONSTRUCTION\0047-76 SCP\_Existing.dwg C-004 EXISTING CONDITIONS & DEMO PLAN Sep 06, 2024 10:32:30am rfwlwr



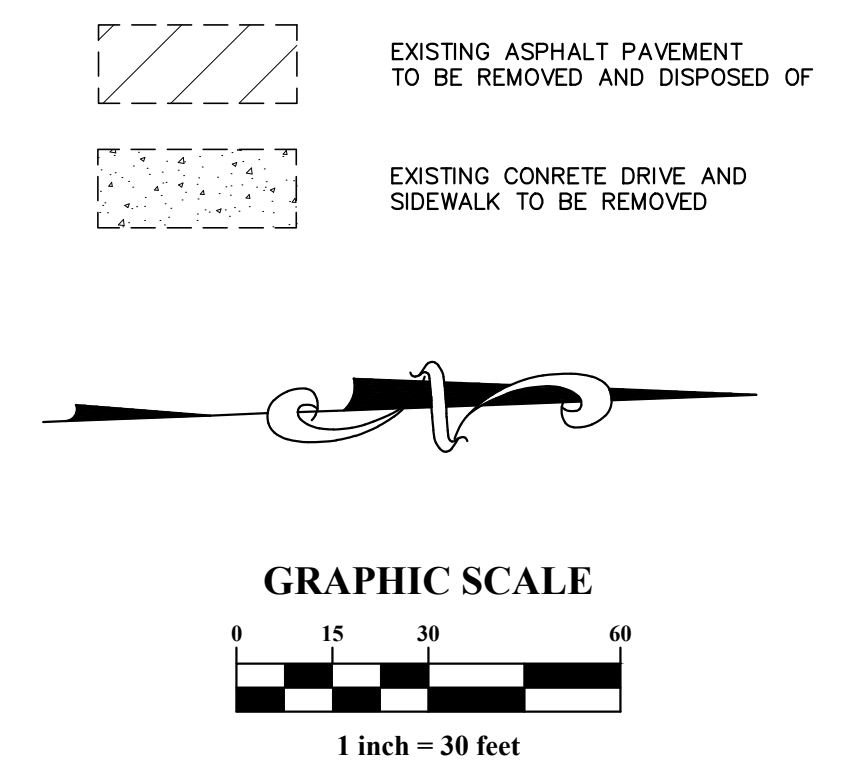
- 1 EXISTING CONCRETE CURB (TBR)
- 2 EXISTING STORM SEWER (TBR)
- 3 EXISTING STORM STRUCTURE (TBR)
- 4 EXISTING STORM STRUCTURE (ATG)
- 5 EXISTING STORM STRUCTURE (RTG)
- 6 EXISTING LIGHT POLE (TBR)
- (TBR) TO BE REMOVED AND DISPOSED OF
- (TBA) TO BE ABANDONED
- (ATG) TO BE ADJUSTED TO GRADE
- (RTG) TO BE RECONSTRUCTED TO GRADE

NOTE: REFERENCE LANDSCAPE PLANS, SHEET L1.1, "TREE PRESERVATION PLAN" FOR EXISTING TREE SURVEY INFORMATION.

LEGEND	
	EXISTING STORM SEWER
	EXISTING STORM SEWER (TBR)
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	EXISTING GAS MAIN
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND LIGHTING
	EXISTING UNDERGROUND TELECOMM.
	EXISTING CURB (TBR)
	EXISTING STREET LIGHT/LIGHT POLE
	EXISTING SIGN POST

MAP UNIT LEGEND	
MAP UNIT SYMBOL	SOIL NAME / HYDROLOGIC RATING
CrB	CROSBY SILT LOAM, SOUTHERN OHIO TILL PLAIN, 2 TO 6 PERCENT SLOPES
Ko	KOKOMO SILTY CLAY LOAM, 0 TO 2 PERCENT SLOPES

- REFERENCES**
- EXISTING BASE MAP INFORMATION OBTAINED FROM FRANKLIN COUNTY AUDITORS OFFICE AND THE FRANKLIN COUNTY RECORDER'S OFFICE, ACCESSED JANUARY 2024.
  - SOILS INFORMATION IS PER USDA WEB SOIL SURVEY, ACCESSED AUGUST 2024.
  - EXISTING UTILITIES SHOWN ARE BASED OFF RECORD PLANS PROVIDED BY THE CITY OF DUBLIN AS WELL AS FIELD SURVEYS. SURVEYS WERE CONDUCTED ON 02/09/2024 AND 02/26/2024



**meyers+associates**  
ARCHITECTURE

**ADVANCED**  
CIVIL DESIGN

781 Science Blvd, Suite 100  
Gahanna, Ohio 43230  
PH 614.428.7750  
fax 614.428.7755

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DESCRIPTION	DATE
PERMIT DRAWINGS	2/29/2024

**EXISTING CONDITIONS & DEMO PLAN**

**Penzone Live-Work**

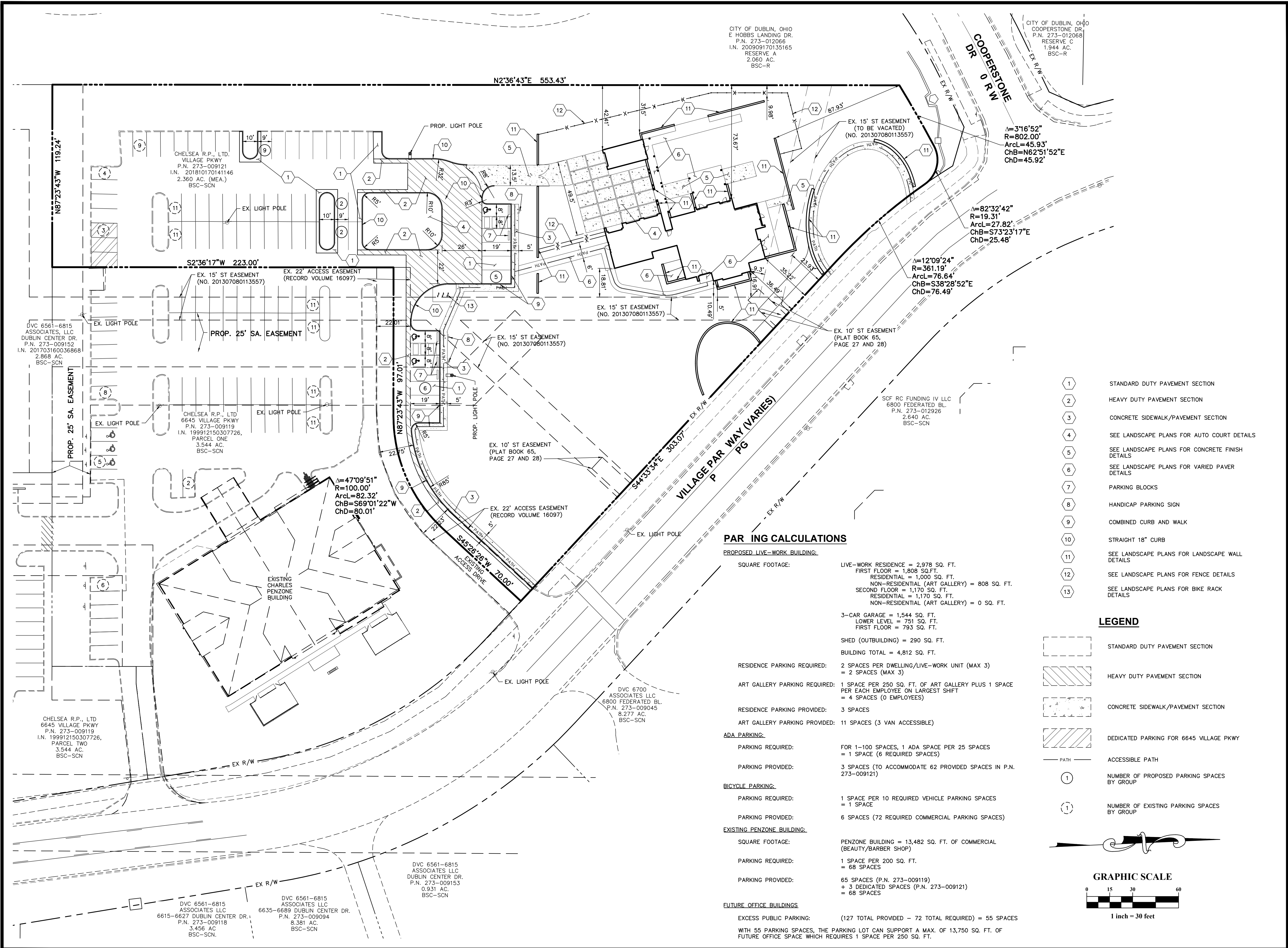
6671 Village Parkway, Dublin, Ohio 43017

MEYERS+ASSOCIATES PROJECT NUMBER:

SHEET NUMBER

**C-00**

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CITY OF DUBLIN, OHIO  
E HOBBS LANDING DR.  
P.N. 273-012068  
I.N. 200909170135165  
RESERVE A  
2.060 AC.  
BSC-R

CITY OF DUBLIN, OHIO  
COOPERSTONE DR.  
P.N. 273-012068  
RESERVE C  
1.944 AC.  
BSC-R

CHELSEA R.P., LTD.  
VILLAGE PKWY  
P.N. 273-009121  
I.N. 201810170141146  
2.360 AC. (MEA.)  
BSC-SCN

CHELSEA R.P., LTD  
6645 VILLAGE PKWY  
P.N. 273-009119  
I.N. 199912150307726,  
PARCEL ONE  
3.544 AC.  
BSC-SCN

DVC 6561-6815  
ASSOCIATES, LLC  
DUBLIN CENTER DR.  
P.N. 273-009152  
I.N. 201703160036868  
2.868 AC.  
BSC-SCN

CHELSEA R.P., LTD  
6645 VILLAGE PKWY  
P.N. 273-009119  
I.N. 199912150307726,  
PARCEL TWO  
3.544 AC.  
BSC-SCN

DVC 6700  
ASSOCIATES LLC  
6800 FEDERATED BL.  
P.N. 273-012926  
2.640 AC.  
BSC-SCN

DVC 6561-6815  
ASSOCIATES LLC  
DUBLIN CENTER DR.  
P.N. 273-009153  
0.931 AC.  
BSC-SCN

DVC 6561-6815  
ASSOCIATES LLC  
6635-6689 DUBLIN CENTER DR.  
P.N. 273-009094  
8.381 AC.  
BSC-SCN

**PARKING CALCULATIONS**

**PROPOSED LIVE-WORK BUILDING:**

SQUARE FOOTAGE: LIVE-WORK RESIDENCE = 2,978 SQ. FT.  
FIRST FLOOR = 1,808 SQ. FT.  
RESIDENTIAL = 1,000 SQ. FT.  
NON-RESIDENTIAL (ART GALLERY) = 808 SQ. FT.  
SECOND FLOOR = 1,170 SQ. FT.  
RESIDENTIAL = 1,170 SQ. FT.  
NON-RESIDENTIAL (ART GALLERY) = 0 SQ. FT.

3-CAR GARAGE = 1,544 SQ. FT.  
LOWER LEVEL = 751 SQ. FT.  
FIRST FLOOR = 793 SQ. FT.

SHED (OUTBUILDING) = 290 SQ. FT.

BUILDING TOTAL = 4,812 SQ. FT.

RESIDENCE PARKING REQUIRED: 2 SPACES PER DWELLING/LIVE-WORK UNIT (MAX 3) = 2 SPACES (MAX 3)

ART GALLERY PARKING REQUIRED: 1 SPACE PER 250 SQ. FT. OF ART GALLERY PLUS 1 SPACE PER EACH EMPLOYEE ON LARGEST SHIFT = 4 SPACES (0 EMPLOYEES)

RESIDENCE PARKING PROVIDED: 3 SPACES

ART GALLERY PARKING PROVIDED: 11 SPACES (3 VAN ACCESSIBLE)

**ADA PARKING:**

PARKING REQUIRED: FOR 1-100 SPACES, 1 ADA SPACE PER 25 SPACES = 1 SPACE (6 REQUIRED SPACES)

PARKING PROVIDED: 3 SPACES (TO ACCOMMODATE 62 PROVIDED SPACES IN P.N. 273-009121)

**BICYCLE PARKING:**

PARKING REQUIRED: 1 SPACE PER 10 REQUIRED VEHICLE PARKING SPACES = 1 SPACE

PARKING PROVIDED: 6 SPACES (72 REQUIRED COMMERCIAL PARKING SPACES)

**EXISTING PENZONE BUILDING:**

SQUARE FOOTAGE: PENZONE BUILDING = 13,482 SQ. FT. OF COMMERCIAL (BEAUTY/BARBER SHOP)

PARKING REQUIRED: 1 SPACE PER 200 SQ. FT. = 68 SPACES

PARKING PROVIDED: 65 SPACES (P.N. 273-009119) + 3 DEDICATED SPACES (P.N. 273-009121) = 68 SPACES

**FUTURE OFFICE BUILDINGS**

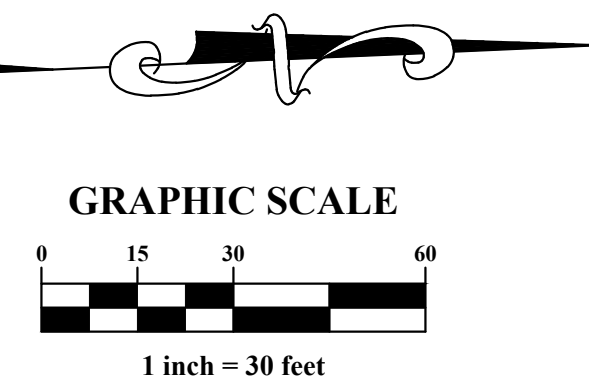
EXCESS PUBLIC PARKING: (127 TOTAL PROVIDED - 72 TOTAL REQUIRED) = 55 SPACES

WITH 55 PARKING SPACES, THE PARKING LOT CAN SUPPORT A MAX. OF 13,750 SQ. FT. OF FUTURE OFFICE SPACE WHICH REQUIRES 1 SPACE PER 250 SQ. FT.

- 1 STANDARD DUTY PAVEMENT SECTION
- 2 HEAVY DUTY PAVEMENT SECTION
- 3 CONCRETE SIDEWALK/PAVEMENT SECTION
- 4 SEE LANDSCAPE PLANS FOR AUTO COURT DETAILS
- 5 SEE LANDSCAPE PLANS FOR CONCRETE FINISH DETAILS
- 6 SEE LANDSCAPE PLANS FOR VARIED PAVER DETAILS
- 7 PARKING BLOCKS
- 8 HANDICAP PARKING SIGN
- 9 COMBINED CURB AND WALK
- 10 STRAIGHT 18" CURB
- 11 SEE LANDSCAPE PLANS FOR LANDSCAPE WALL DETAILS
- 12 SEE LANDSCAPE PLANS FOR FENCE DETAILS
- 13 SEE LANDSCAPE PLANS FOR BIKE RACK DETAILS

**LEGEND**

- STANDARD DUTY PAVEMENT SECTION
- HEAVY DUTY PAVEMENT SECTION
- CONCRETE SIDEWALK/PAVEMENT SECTION
- DEDICATED PARKING FOR 6645 VILLAGE PKWY
- ACCESSIBLE PATH
- NUMBER OF PROPOSED PARKING SPACES BY GROUP
- NUMBER OF EXISTING PARKING SPACES BY GROUP



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ARCHITECTURE

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CIVIL DESIGN

781 Science Blvd, Suite 100  
Gahanna, Ohio 43230  
PH 614.428.7750  
FAX 614.428.7755

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PERMIT DRAWINGS	2/29/2024

**SITE PLAN**

**Penzone Live-Work**

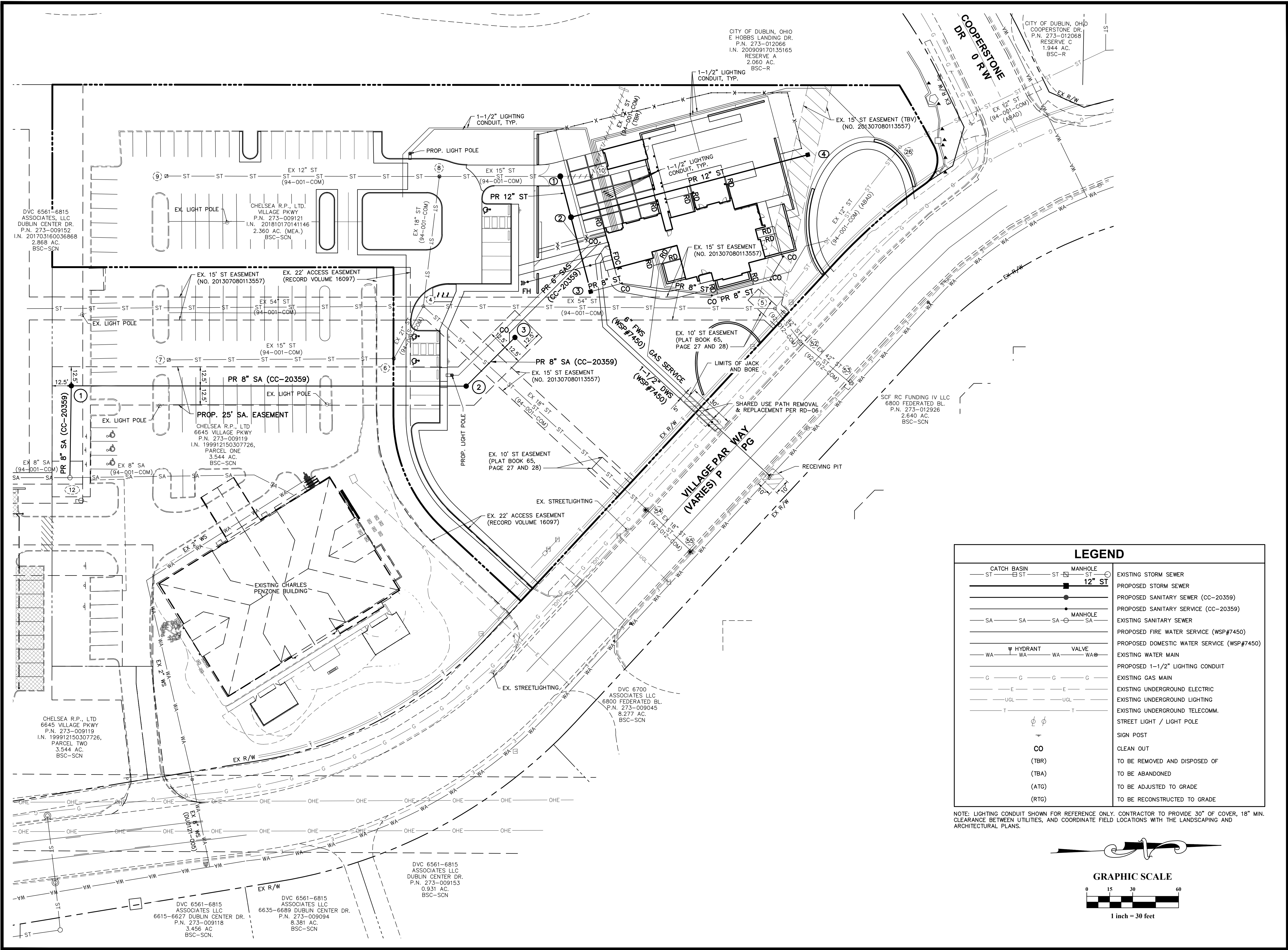
6671 Village Parkway, Dublin, Ohio 43017

MEYERS+ASSOCIATES PROJECT NUMBER:

SHEET NUMBER

**C-00**

Z:\24-0047-76\DWG\production drawings\SITE CONSTRUCTION\0047-76\_SCP\_Utility\_Plan.dwg UTILITY PLAN Sep 06, 2024 10:32:43am rflower



CITY OF DUBLIN, OHIO  
E HOBBS LANDING DR.  
P.N. 273-012066  
I.N. 200909170135165  
RESERVE A  
2.060 AC.  
BSC-R

CITY OF DUBLIN, OHIO  
COOPERSTONE DR.  
P.N. 273-012068  
RESERVE C  
1.944 AC.  
BSC-R

DVC 6561-6815  
ASSOCIATES, LLC  
DUBLIN CENTER DR.  
P.N. 273-009152  
I.N. 201703160036868  
2.868 AC.  
BSC-SCN

CHELSEA R.P., LTD.  
VILLAGE PKWY  
P.N. 273-009121  
I.N. 201810170141146  
2.360 AC. (MEA.)  
BSC-SCN

EX. 15' ST EASEMENT  
(NO. 201307080113557)

EX. 22' ACCESS EASEMENT  
(RECORD VOLUME 16097)

PR 8" SA (CC-20359)

PROP. 25' SA. EASEMENT

CHELSEA R.P., LTD  
6645 VILLAGE PKWY  
P.N. 273-009119  
I.N. 199912150307726,  
PARCEL ONE  
3.544 AC.  
BSC-SCN

PR 8" SA (CC-20359)

EX. 10' ST EASEMENT  
(PLAT BOOK 65,  
PAGE 27 AND 28)

DVC 6700  
ASSOCIATES LLC  
6800 FEDERATED BL.  
P.N. 273-009045  
8.277 AC.  
BSC-SCN

SCF RC FUNDING IV LLC  
6800 FEDERATED BL.  
P.N. 273-012926  
2.640 AC.  
BSC-SCN

CHELSEA R.P., LTD  
6645 VILLAGE PKWY  
P.N. 273-009119  
I.N. 199912150307726,  
PARCEL TWO  
3.544 AC.  
BSC-SCN

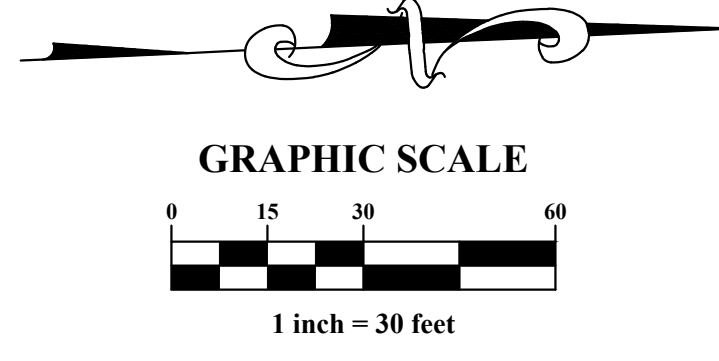
DVC 6561-6815  
ASSOCIATES LLC  
6615-6627 DUBLIN CENTER DR.  
P.N. 273-009118  
3.456 AC  
BSC-SCN.

DVC 6561-6815  
ASSOCIATES LLC  
6635-6689 DUBLIN CENTER DR.  
P.N. 273-009094  
8.381 AC  
BSC-SCN

DVC 6561-6815  
ASSOCIATES LLC  
DUBLIN CENTER DR.  
P.N. 273-009153  
0.931 AC.  
BSC-SCN

LEGEND	
ST	EXISTING STORM SEWER
ST	PROPOSED STORM SEWER
ST	PROPOSED SANITARY SEWER (CC-20359)
SA	PROPOSED SANITARY SERVICE (CC-20359)
SA	EXISTING SANITARY SEWER
SA	PROPOSED FIRE WATER SERVICE (WSP#7450)
SA	PROPOSED DOMESTIC WATER SERVICE (WSP#7450)
WA	EXISTING WATER MAIN
WA	PROPOSED 1-1/2" LIGHTING CONDUIT
G	EXISTING GAS MAIN
E	EXISTING UNDERGROUND ELECTRIC
UCL	EXISTING UNDERGROUND LIGHTING
T	EXISTING UNDERGROUND TELECOMM.
ST	STREET LIGHT / LIGHT POLE
CO	SIGN POST
(TBR)	CLEAN OUT
(TBA)	TO BE REMOVED AND DISPOSED OF
(ATG)	TO BE ABANDONED
(RTG)	TO BE ADJUSTED TO GRADE
(RTG)	TO BE RECONSTRUCTED TO GRADE

NOTE: LIGHTING CONDUIT SHOWN FOR REFERENCE ONLY. CONTRACTOR TO PROVIDE 30" OF COVER, 18" MIN. CLEARANCE BETWEEN UTILITIES, AND COORDINATE FIELD LOCATIONS WITH THE LANDSCAPING AND ARCHITECTURAL PLANS.



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**ADVANCED**  
CIVIL DESIGN

781 Science Blvd, Suite 100  
Gahanna, Ohio 43230  
PH 614.428.7750  
fax 614.428.7755

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**UTILITY PLAN**

**Penzone Live-Work**

6671 Village Parkway, Dublin, Ohio 43017

MEYERS+ASSOCIATES PROJECT NUMBER:

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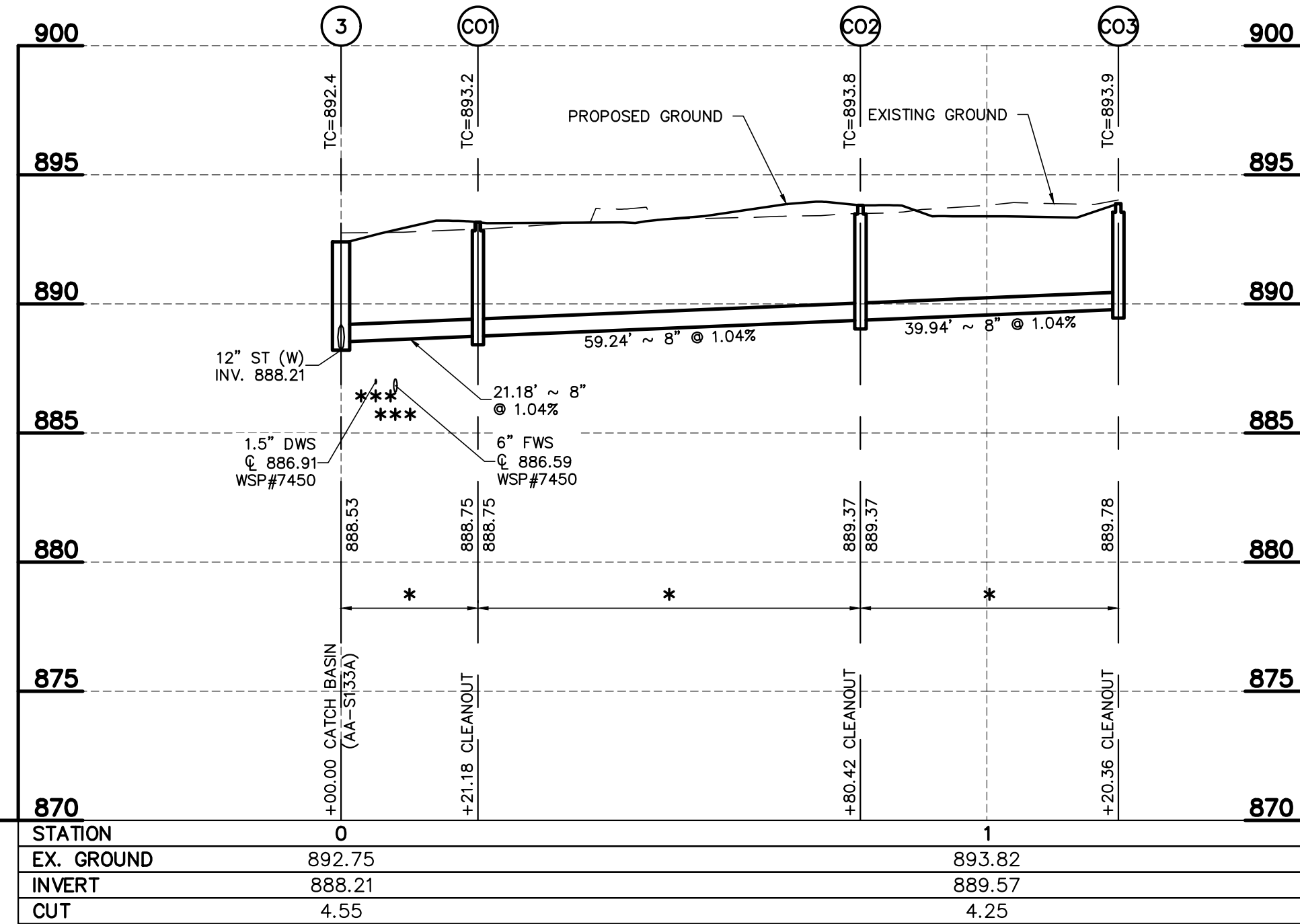
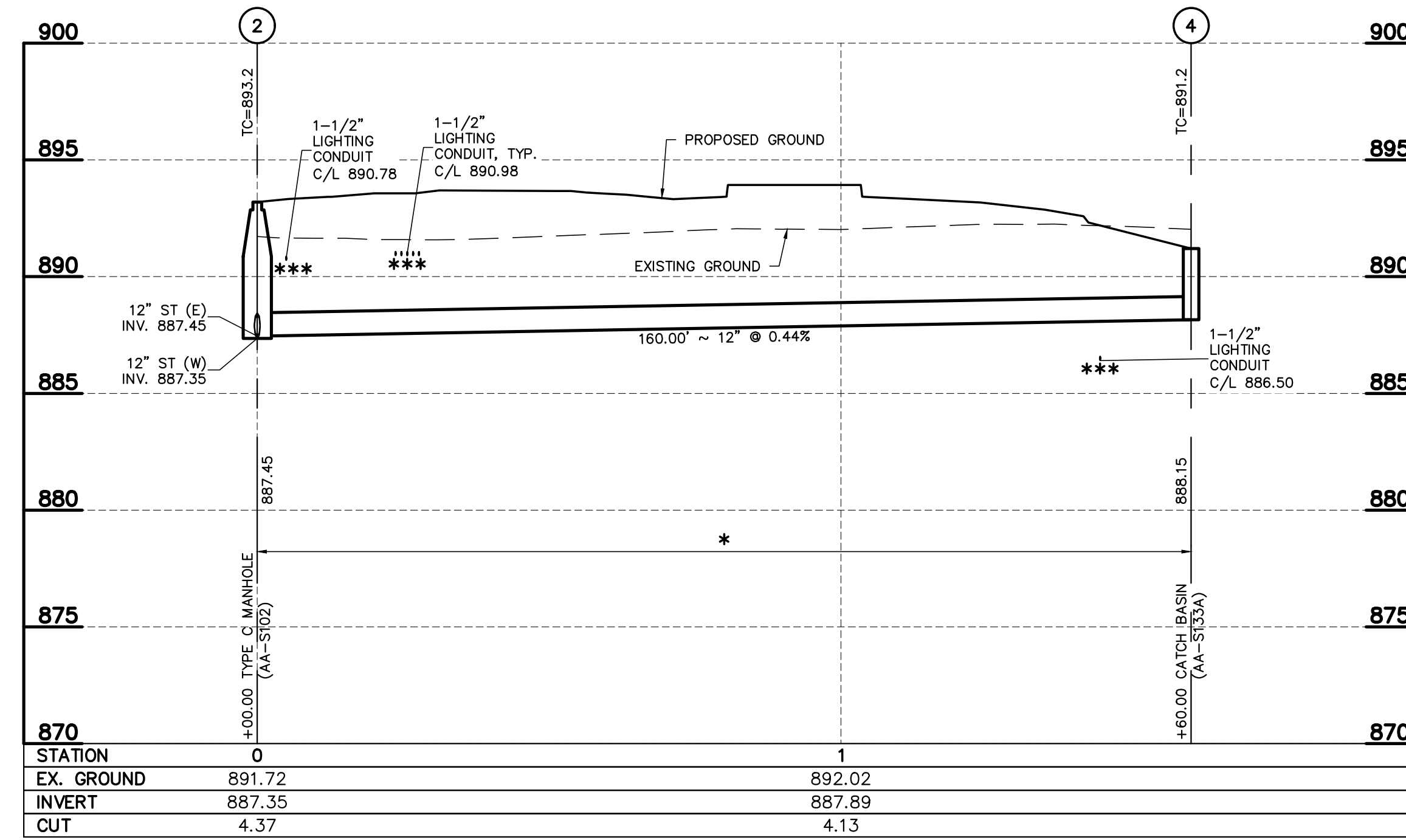
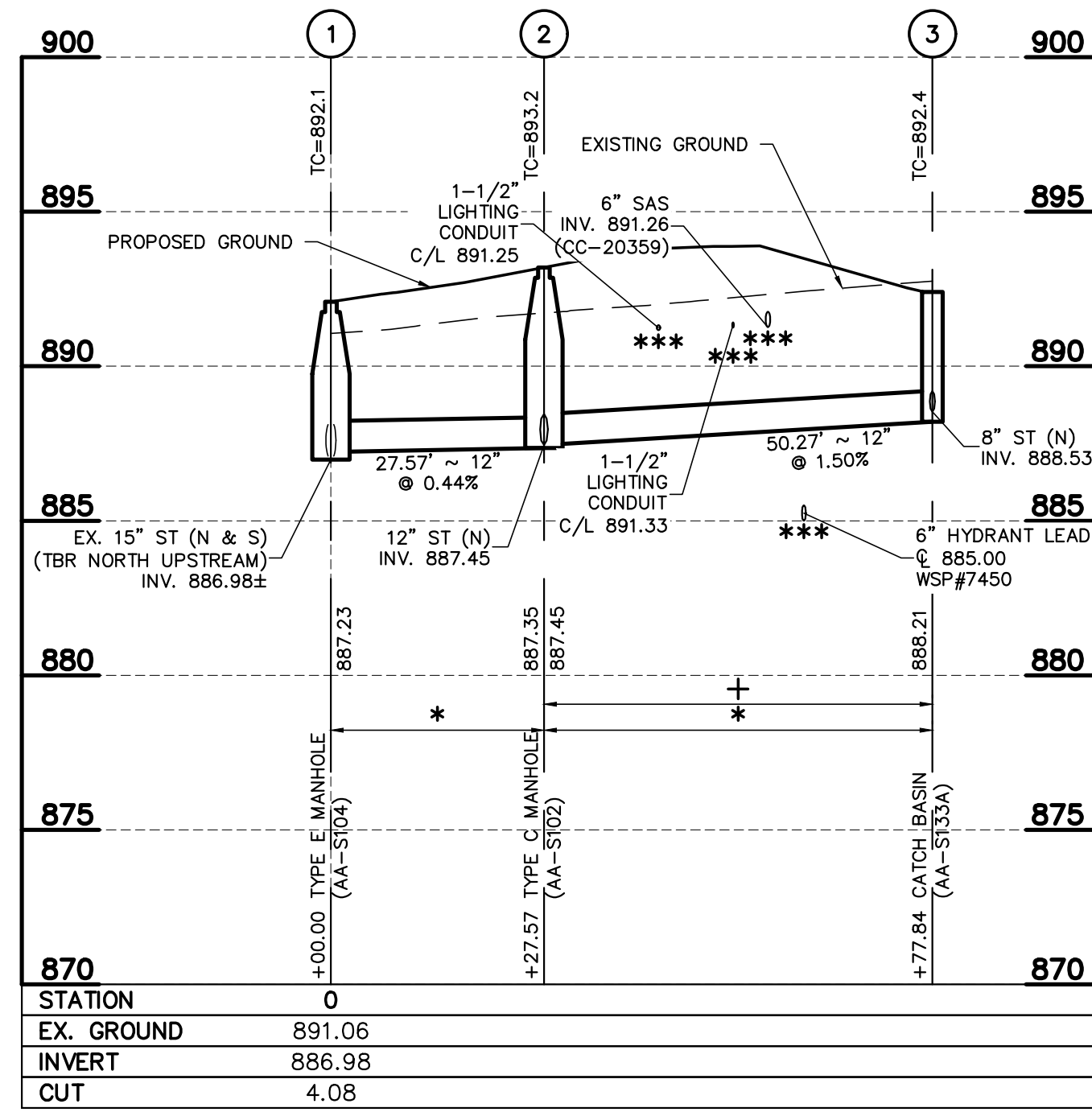
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**LEGEND**

— PROPOSED GRADE  
 - - - EXISTING GROUND

⊕ : SANITARY GRADE PIPE W/ WATERTIGHT JOINT FOR 1/1 CROSSING

ALL TRENCH BACKFILL SHALL BE COMPACTED BACKFILL TO 95% OF MAXIMUM DRY WEIGHT AT OPTIMUM MOISTURE CONTENT (±2%) UNLESS NOTED AS:

\* : COMPACTED BACKFILL, ITEM 911

\*\* : COMPACTED GRANULAR BACKFILL, ITEM 912

/// DENOTES AREA TO BE FILLED PRIOR TO INSTALLATION OF STORM SEWER PER ITEM 203 CMSC

NOTE:

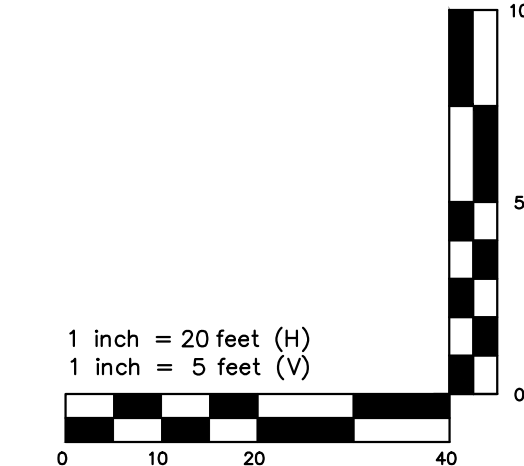
PER CMSC ITEM 911, WHERE NATURAL MATERIAL DOES NOT MEET THE REQUIREMENTS OF ITEM 911, THEN COMPACTED GRANULAR BACKFILL, ITEM 912, SHALL BE USED.

ITEM 912 IS TO BE USED IN R/W PER 2179 STD. DWG.

F.V. = ELEVATION AND LOCATION FIELD VERIFIED

\*\*\* = MUST MAINTAIN A MIN. 18" CLEARANCE

NOTE: LIGHTING CONDUIT SHOWN FOR REFERENCE ONLY. CONTRACTOR TO PROVIDE 30" OF COVER, 18" MIN. CLEARANCE BETWEEN UTILITIES, AND COORDINATE FIELD LOCATIONS WITH THE LANDSCAPING AND ARCHITECTURAL PLANS.



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781 Science Blvd, Suite 100  
 Gahanna, Ohio 43230  
 ph 614.428.7750  
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**STORM SEWER PROFILES**

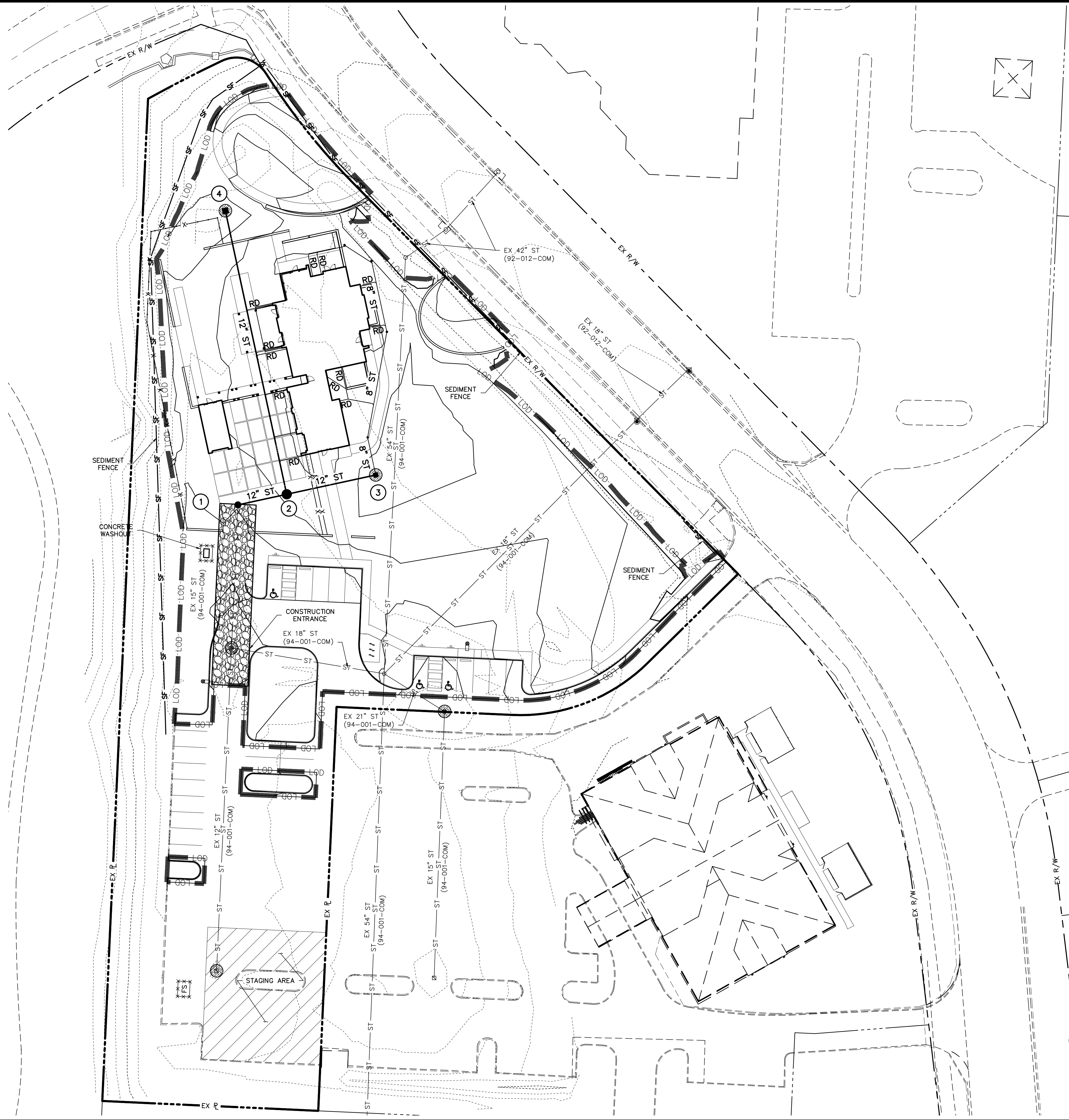
**Penzone Live-Work**  
 6671 Village Parkway, Dublin, Ohio 43017

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SHEET NUMBER

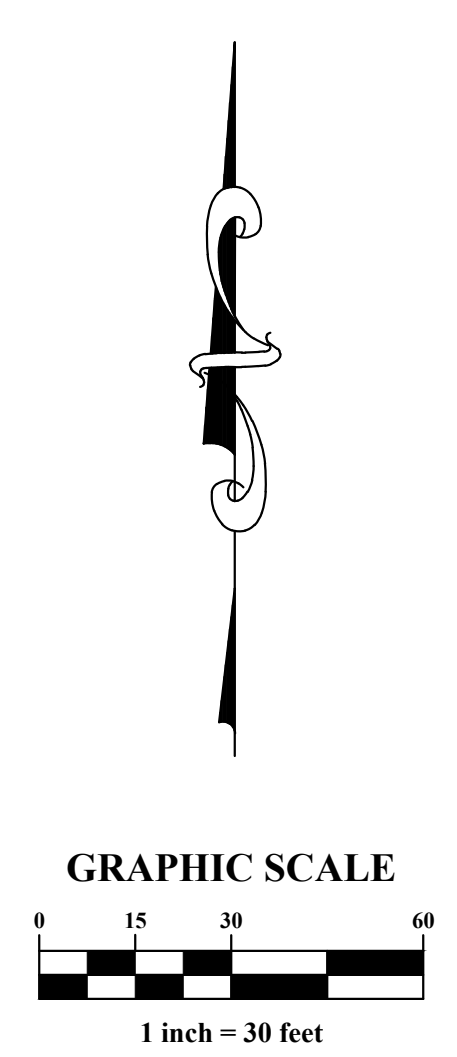
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- LEGEND**
- PROPOSED SEDIMENT FENCE
  - PROPOSED INLET PROTECTION
  - GRAVEL CONSTRUCTION ENTRANCE
  - CONCRETE WASHOUT AREA
  - FUEL STORAGE

**EROSION CONTROL PLAN**  
SCALE: 1"=60'



DESCRIPTION	DATE
PERMIT DRAWINGS	2/29/2024

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**ADVANCED CIVIL DESIGN**  
781 Science Blvd, Suite 100  
Gahanna, Ohio 43230  
PH 614.428.7750  
FAX 614.428.7755

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ARCHITECTURE

**EROSION CONTROL PLAN**  
PROJECT TITLE  
**Penzone Live-Work**  
6671 Village Parkway, Dublin, Ohio 43017

SEAL

MEYERS+ASSOCIATES PROJECT NUMBER:  
SHEET NUMBER

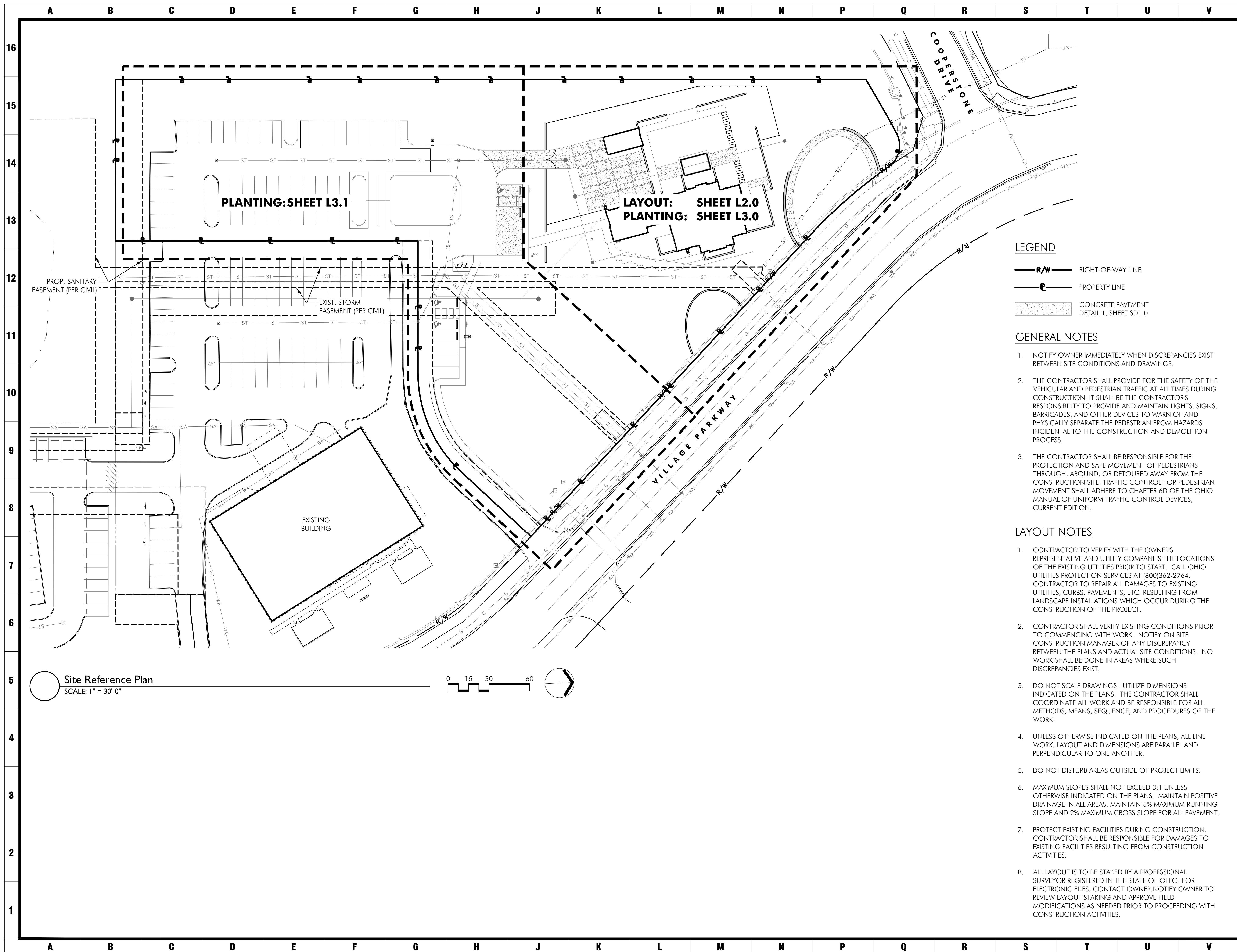
**C-010**





Penzone Live-Work

Landscape



Site Reference Plan  
SCALE: 1" = 30'-0"



**LEGEND**

- R/W RIGHT-OF-WAY LINE
- PROPERTY LINE
- CONCRETE PAVEMENT  
DETAIL 1, SHEET SD1.0

**GENERAL NOTES**

1. NOTIFY OWNER IMMEDIATELY WHEN DISCREPANCIES EXIST BETWEEN SITE CONDITIONS AND DRAWINGS.
2. THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY OF THE VEHICULAR AND PEDESTRIAN TRAFFIC AT ALL TIMES DURING CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE AND MAINTAIN LIGHTS, SIGNS, BARRICADES, AND OTHER DEVICES TO WARN OF AND PHYSICALLY SEPARATE THE PEDESTRIAN FROM HAZARDS INCIDENTAL TO THE CONSTRUCTION AND DEMOLITION PROCESS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND SAFE MOVEMENT OF PEDESTRIANS THROUGH, AROUND, OR DETOURED AWAY FROM THE CONSTRUCTION SITE. TRAFFIC CONTROL FOR PEDESTRIAN MOVEMENT SHALL ADHERE TO CHAPTER 6D OF THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.

**LAYOUT NOTES**

1. CONTRACTOR TO VERIFY WITH THE OWNER'S REPRESENTATIVE AND UTILITY COMPANIES THE LOCATIONS OF THE EXISTING UTILITIES PRIOR TO START. CALL OHIO UTILITIES PROTECTION SERVICES AT (800)362-2764. CONTRACTOR TO REPAIR ALL DAMAGES TO EXISTING UTILITIES, CURBS, PAVEMENTS, ETC. RESULTING FROM LANDSCAPE INSTALLATIONS WHICH OCCUR DURING THE CONSTRUCTION OF THE PROJECT.
2. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WITH WORK. NOTIFY ON SITE CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN THE PLANS AND ACTUAL SITE CONDITIONS. NO WORK SHALL BE DONE IN AREAS WHERE SUCH DISCREPANCIES EXIST.
3. DO NOT SCALE DRAWINGS. UTILIZE DIMENSIONS INDICATED ON THE PLANS. THE CONTRACTOR SHALL COORDINATE ALL WORK AND BE RESPONSIBLE FOR ALL METHODS, MEANS, SEQUENCE, AND PROCEDURES OF THE WORK.
4. UNLESS OTHERWISE INDICATED ON THE PLANS, ALL LINE WORK, LAYOUT AND DIMENSIONS ARE PARALLEL AND PERPENDICULAR TO ONE ANOTHER.
5. DO NOT DISTURB AREAS OUTSIDE OF PROJECT LIMITS.
6. MAXIMUM SLOPES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE INDICATED ON THE PLANS. MAINTAIN POSITIVE DRAINAGE IN ALL AREAS. MAINTAIN 5% MAXIMUM RUNNING SLOPE AND 2% MAXIMUM CROSS SLOPE FOR ALL PAVEMENT.
7. PROTECT EXISTING FACILITIES DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING FACILITIES RESULTING FROM CONSTRUCTION ACTIVITIES.
8. ALL LAYOUT IS TO BE STAKED BY A PROFESSIONAL SURVEYOR REGISTERED IN THE STATE OF OHIO. FOR ELECTRONIC FILES, CONTACT OWNER. NOTIFY OWNER TO REVIEW LAYOUT STAKING AND APPROVE FIELD MODIFICATIONS AS NEEDED PRIOR TO PROCEEDING WITH CONSTRUCTION ACTIVITIES.

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**associates**  
ARCHITECTURE - INTERIOR DESIGN

232 N. THIRD STREET, SUITE 300  
COLUMBUS, OH 43215  
614.221.9433  
MEYERSARCHITECTS.COM

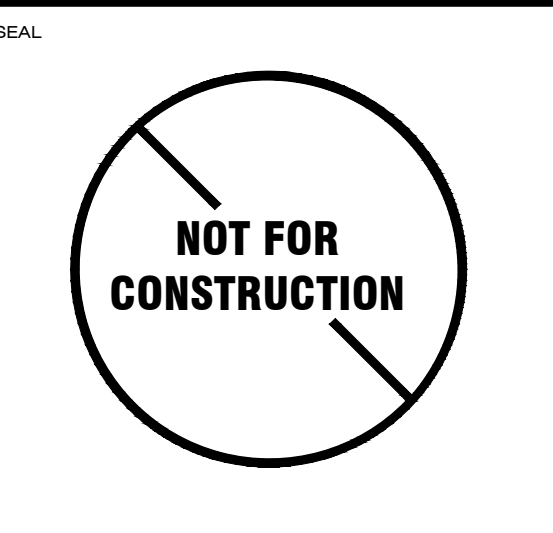
**POD** design

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COLUMBUS, OH 43215  
TEL: (614) 255  
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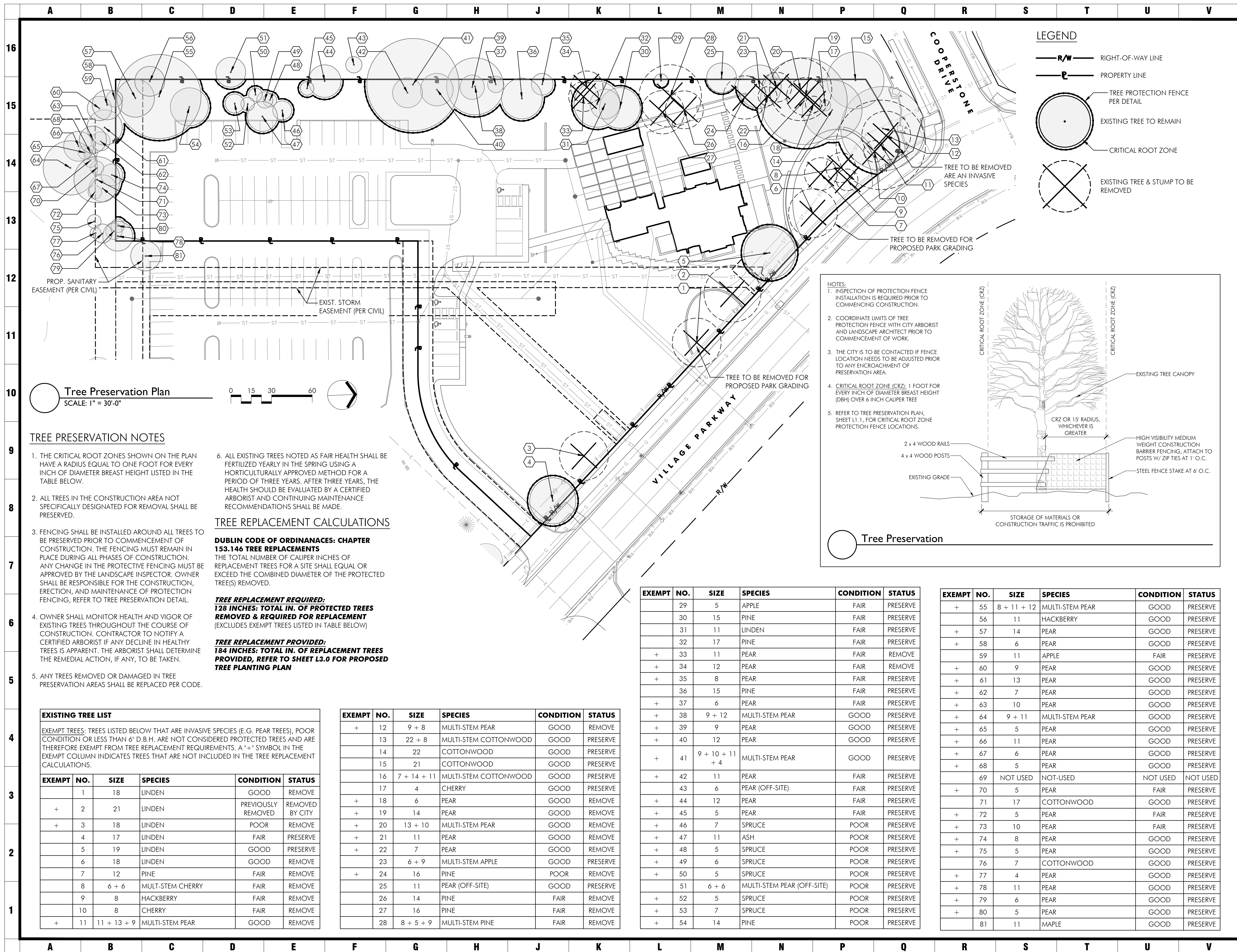
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PROGRESS PRINT	11.03.23
PROGRESS PRINT	03.06.24
PROGRESS PRINT	03.27.24
FDP Submittal	04.30.24
FDP Resubmittal	07.17.24
FDP Resubmittal	08.28.24

SHEET TITLE  
**SITE REFERENCE PLAN**  
 PROJECT TITLE  
**PENZONE LIVE-WORK**  
 Dublin, OH



MEYERS+ASSOCIATES PROJECT NUMBER:  
**2023-06**

SHEET NUMBER  
**L0.1**

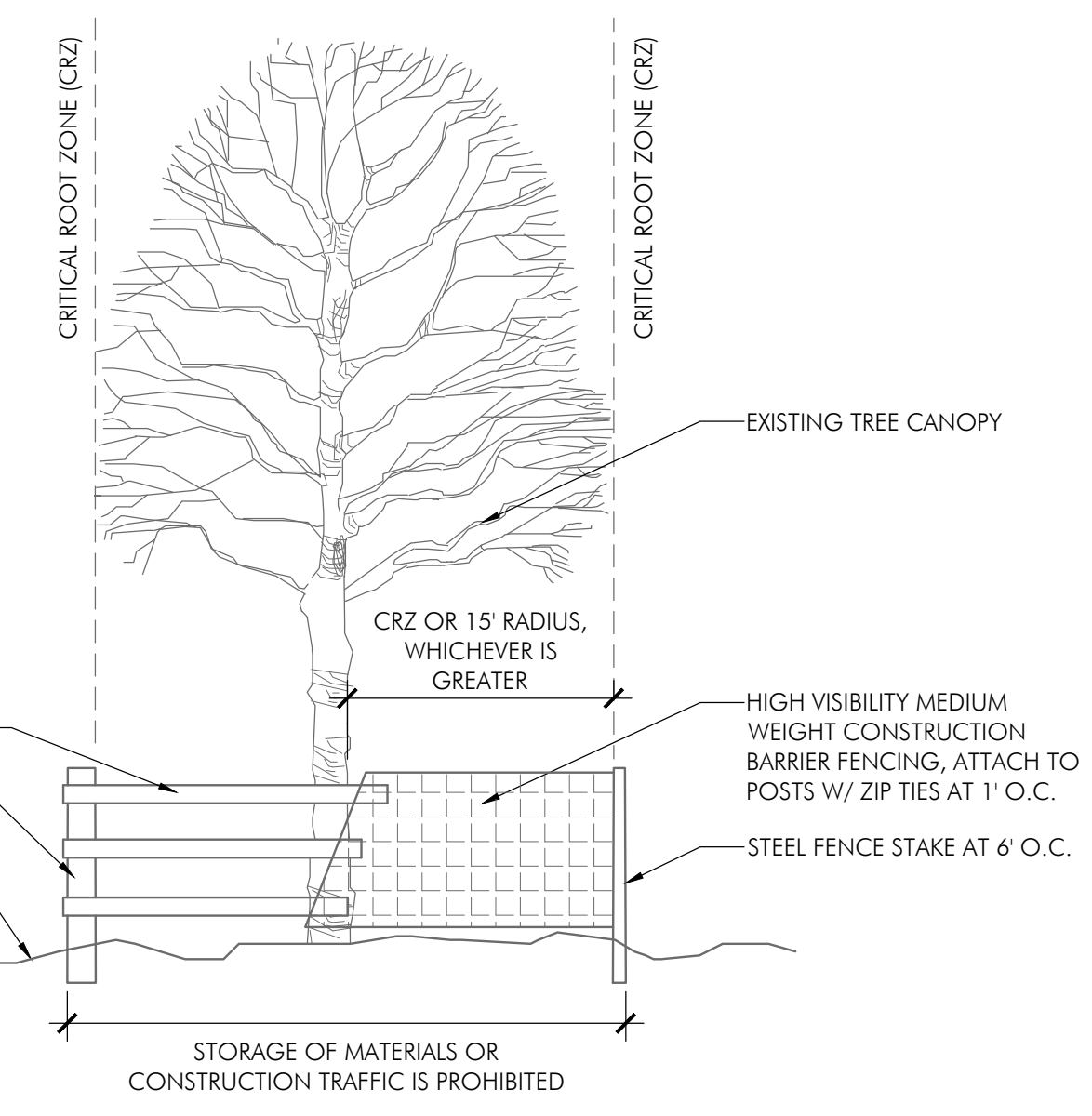


**LEGEND**

- R/W — RIGHT-OF-WAY LINE
- PROPERTY LINE
- TREE PROTECTION FENCE PER DETAIL
- EXISTING TREE TO REMAIN
- CRITICAL ROOT ZONE
- ⊗ EXISTING TREE & STUMP TO BE REMOVED

**NOTES:**

- INSPECTION OF PROTECTION FENCE INSTALLATION IS REQUIRED PRIOR TO COMMENCING CONSTRUCTION.
- COORDINATE LIMITS OF TREE PROTECTION FENCE WITH CITY ARBORIST AND LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- THE CITY IS TO BE CONTACTED IF FENCE LOCATION NEEDS TO BE ADJUSTED PRIOR TO ANY ENCROACHMENT OF PRESERVATION AREA.
- CRITICAL ROOT ZONE (CRZ): 1 FOOT FOR EVERY INCH OF DIAMETER BREST HEIGHT (DBH) OVER 6 INCH CALIPER TREE
- REFER TO TREE PRESERVATION PLAN, SHEET L1.1, FOR CRITICAL ROOT ZONE PROTECTION FENCE LOCATIONS.



**Tree Preservation Plan**  
SCALE: 1" = 30'-0"

**TREE PRESERVATION NOTES**

- THE CRITICAL ROOT ZONES SHOWN ON THE PLAN HAVE A RADIUS EQUAL TO ONE FOOT FOR EVERY INCH OF DIAMETER BREST HEIGHT LISTED IN THE TABLE BELOW.
- ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED.
- FENCING SHALL BE INSTALLED AROUND ALL TREES TO BE PRESERVED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION. ANY CHANGE IN THE PROTECTIVE FENCING MUST BE APPROVED BY THE LANDSCAPE INSPECTOR. OWNER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION, ERECTION, AND MAINTENANCE OF PROTECTION FENCING, REFER TO TREE PRESERVATION DETAIL.
- OWNER SHALL MONITOR HEALTH AND VIGOR OF EXISTING TREES THROUGHOUT THE COURSE OF CONSTRUCTION. CONTRACTOR TO NOTIFY A CERTIFIED ARBORIST IF ANY DECLINE IN HEALTHY TREES IS APPARENT. THE ARBORIST SHALL DETERMINE THE REMEDIAL ACTION, IF ANY, TO BE TAKEN.
- ANY TREES REMOVED OR DAMAGED IN TREE PRESERVATION AREAS SHALL BE REPLACED PER CODE.
- ALL EXISTING TREES NOTED AS FAIR HEALTH SHALL BE FERTILIZED YEARLY IN THE SPRING USING A HORTICULTURALLY APPROVED METHOD FOR A PERIOD OF THREE YEARS. AFTER THREE YEARS, THE HEALTH SHOULD BE EVALUATED BY A CERTIFIED ARBORIST AND CONTINUING MAINTENANCE RECOMMENDATIONS SHALL BE MADE.

**TREE REPLACEMENT CALCULATIONS**

**DUBLIN CODE OF ORDINANCES: CHAPTER 153.146 TREE REPLACEMENTS**  
THE TOTAL NUMBER OF CALIPER INCHES OF REPLACEMENT TREES FOR A SITE SHALL EQUAL OR EXCEED THE COMBINED DIAMETER OF THE PROTECTED TREE(S) REMOVED.

**TREE REPLACEMENT REQUIRED:**  
**128 INCHES: TOTAL IN. OF PROTECTED TREES REMOVED & REQUIRED FOR REPLACEMENT**  
(EXCLUDES EXEMPT TREES LISTED IN TABLE BELOW)

**TREE REPLACEMENT PROVIDED:**  
**184 INCHES: TOTAL IN. OF REPLACEMENT TREES PROVIDED, REFER TO SHEET L3.0 FOR PROPOSED TREE PLANTING PLAN**

**EXISTING TREE LIST**

EXEMPT TREES: TREES LISTED BELOW THAT ARE INVASIVE SPECIES (E.G. PEAR TREES), POOR CONDITION OR LESS THAN 6" D.B.H. ARE NOT CONSIDERED PROTECTED TREES AND ARE THEREFORE EXEMPT FROM TREE REPLACEMENT REQUIREMENTS. A "+" SYMBOL IN THE EXEMPT COLUMN INDICATES TREES THAT ARE NOT INCLUDED IN THE TREE REPLACEMENT CALCULATIONS.

EXEMPT	NO.	SIZE	SPECIES	CONDITION	STATUS
	1	18	LINDEN	GOOD	REMOVE
+	2	21	LINDEN	PREVIOUSLY REMOVED	REMOVED BY CITY
+	3	18	LINDEN	POOR	REMOVE
	4	17	LINDEN	FAIR	PRESERVE
	5	19	LINDEN	GOOD	PRESERVE
	6	18	LINDEN	GOOD	REMOVE
	7	12	PINE	FAIR	REMOVE
	8	6 + 6	MULTI-STEM CHERRY	FAIR	REMOVE
	9	8	HACKBERRY	FAIR	REMOVE
	10	8	CHERRY	FAIR	REMOVE
+	11	11 + 13 + 9	MULTI-STEM PEAR	GOOD	REMOVE

EXEMPT	NO.	SIZE	SPECIES	CONDITION	STATUS
+	12	9 + 8	MULTI-STEM PEAR	GOOD	REMOVE
	13	22 + 8	MULTI-STEM COTTONWOOD	GOOD	PRESERVE
	14	22	COTTONWOOD	GOOD	PRESERVE
	15	21	COTTONWOOD	GOOD	PRESERVE
	16	7 + 14 + 11	MULTI-STEM COTTONWOOD	GOOD	PRESERVE
	17	4	CHERRY	GOOD	PRESERVE
+	18	6	PEAR	GOOD	REMOVE
+	19	14	PEAR	GOOD	REMOVE
+	20	13 + 10	MULTI-STEM PEAR	GOOD	REMOVE
+	21	11	PEAR	GOOD	REMOVE
+	22	7	PEAR	GOOD	REMOVE
	23	6 + 9	MULTI-STEM APPLE	GOOD	PRESERVE
+	24	16	PINE	POOR	REMOVE
	25	11	PEAR (OFF-SITE)	GOOD	PRESERVE
	26	14	PINE	FAIR	REMOVE
	27	16	PINE	FAIR	REMOVE
	28	8 + 5 + 9	MULTI-STEM PINE	FAIR	REMOVE

EXEMPT	NO.	SIZE	SPECIES	CONDITION	STATUS
	29	5	APPLE	FAIR	PRESERVE
	30	15	PINE	FAIR	PRESERVE
	31	11	LINDEN	FAIR	PRESERVE
	32	17	PINE	FAIR	PRESERVE
+	33	11	PEAR	FAIR	REMOVE
+	34	12	PEAR	FAIR	REMOVE
+	35	8	PEAR	FAIR	PRESERVE
+	36	15	PINE	FAIR	PRESERVE
+	37	6	PEAR	FAIR	PRESERVE
+	38	9 + 12	MULTI-STEM PEAR	GOOD	PRESERVE
+	39	9	PEAR	GOOD	PRESERVE
+	40	12	PEAR	GOOD	PRESERVE
+	41	9 + 10 + 11 + 4	MULTI-STEM PEAR	GOOD	PRESERVE
+	42	11	PEAR	FAIR	PRESERVE
	43	6	PEAR (OFF-SITE)	FAIR	PRESERVE
+	44	12	PEAR	FAIR	PRESERVE
+	45	5	PEAR	FAIR	PRESERVE
+	46	7	SPRUCE	POOR	PRESERVE
+	47	11	ASH	POOR	PRESERVE
+	48	5	SPRUCE	POOR	PRESERVE
+	49	6	SPRUCE	POOR	PRESERVE
+	50	5	SPRUCE	POOR	PRESERVE
	51	6 + 6	MULTI-STEM PEAR (OFF-SITE)	POOR	PRESERVE
+	52	5	SPRUCE	POOR	PRESERVE
+	53	7	SPRUCE	POOR	PRESERVE
+	54	14	PINE	POOR	PRESERVE

EXEMPT	NO.	SIZE	SPECIES	CONDITION	STATUS
+	55	8 + 11 + 12	MULTI-STEM PEAR	GOOD	PRESERVE
	56	11	HACKBERRY	GOOD	PRESERVE
+	57	14	PEAR	GOOD	PRESERVE
+	58	6	PEAR	GOOD	PRESERVE
	59	11	APPLE	FAIR	PRESERVE
+	60	9	PEAR	GOOD	PRESERVE
+	61	13	PEAR	GOOD	PRESERVE
+	62	7	PEAR	GOOD	PRESERVE
+	63	10	PEAR	GOOD	PRESERVE
+	64	9 + 11	MULTI-STEM PEAR	GOOD	PRESERVE
+	65	5	PEAR	GOOD	PRESERVE
+	66	11	PEAR	GOOD	PRESERVE
+	67	6	PEAR	GOOD	PRESERVE
+	68	5	PEAR	GOOD	PRESERVE
	69	NOT USED	NOT-USED	NOT USED	NOT USED
+	70	5	PEAR	FAIR	PRESERVE
	71	17	COTTONWOOD	GOOD	PRESERVE
+	72	5	PEAR	FAIR	PRESERVE
+	73	10	PEAR	FAIR	PRESERVE
+	74	8	PEAR	GOOD	PRESERVE
+	75	5	PEAR	GOOD	PRESERVE
	76	7	COTTONWOOD	GOOD	PRESERVE
+	77	4	PEAR	GOOD	PRESERVE
+	78	11	PEAR	GOOD	PRESERVE
+	79	6	PEAR	GOOD	PRESERVE
+	80	5	PEAR	GOOD	PRESERVE
	81	11	MAPLE	GOOD	PRESERVE

**meyers+ associates**  
ARCHITECTURE - INTERIOR DESIGN

232 N. THIRD STREET, SUITE 300  
COLUMBUS, OH 43215  
614.221.9433  
MEYERSARCHITECTS.COM

**POD design**

330 WEST SPRING ST., STE. 300  
COLUMBUS, OH 43215  
TEL: (614) 255 3399

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PROGRESS PRINT	03.27.24
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FDP Resubmittal	08.28.24

**TREE PRESERVATION PLAN**

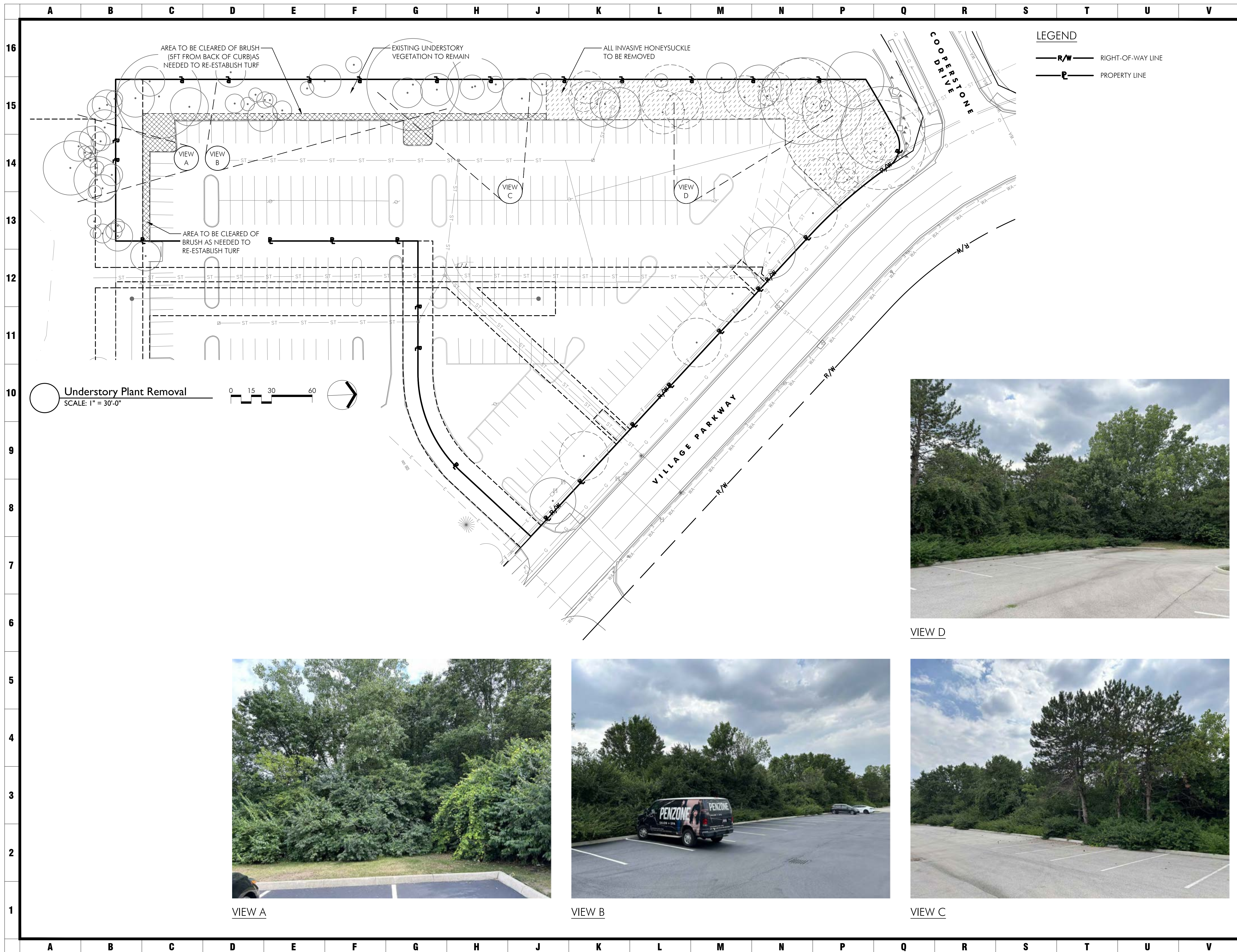
**PENZONE LIVE-WORK**

Dublin, OH

**NOT FOR CONSTRUCTION**

MEYERS+ASSOCIATES PROJECT NUMBER:  
**2023-06**

SHEET NUMBER  
**L1.1**



**LEGEND**  
 — R/W — RIGHT-OF-WAY LINE  
 — P — PROPERTY LINE

○ Understory Plant Removal  
 SCALE: 1" = 30'-0"  
 0 15 30 60

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 232 N. THIRD STREET, SUITE 300  
 COLUMBUS, OH 43215  
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VIEW D



VIEW A

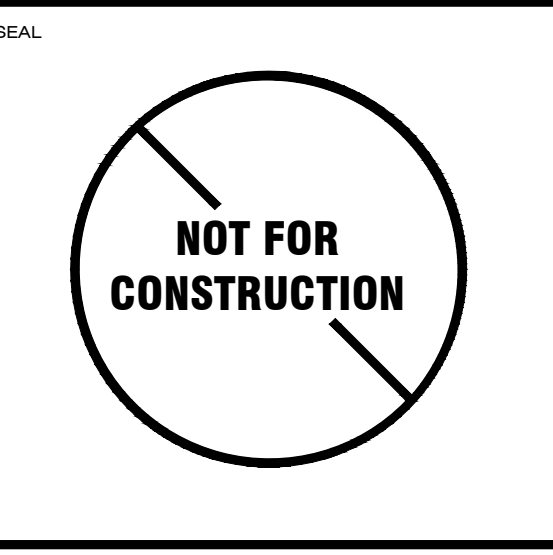


VIEW B



VIEW C

**UNDERSTORY PLANT REMOVAL**  
**PENZONE LIVE-WORK**  
 Dublin, OH



MEYERS+ASSOCIATES PROJECT NUMBER:  
**2023-06**  
 SHEET NUMBER  
**L1.0**







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**associates**  
ARCHITECTURE - INTERIOR DESIGN

232 N. THIRD STREET, SUITE 300  
COLUMBUS, OH 43215  
614.221.9433  
MEYERSARCHITECTS.COM

**POD design**

330 WEST SPRING ST., STE. 300  
COLUMBUS, OH 43215  
TEL: (614) 255  
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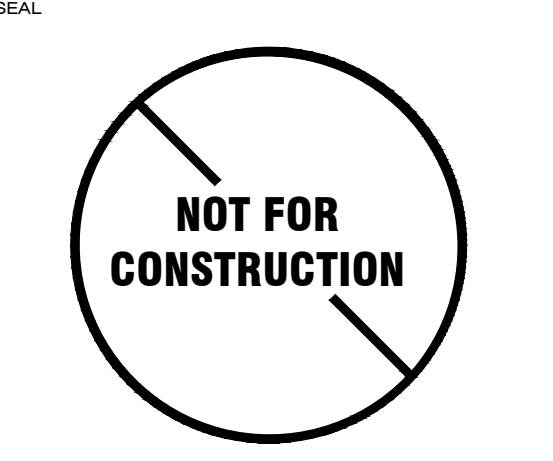
**LEGEND**

- R/W RIGHT-OF-WAY LINE
- PROPERTY LINE
- PROP. FENCE PER LAYOUT PLANS
- SODDED LAWN
- 00 XX XX PLANT LABEL, SEE LIST ON SHEET L3.2

**NOTE**

- SEE CODE OF ORDINANCES TABLE ON SHEET L3.2 SUMMARIZING CALCULATIONS FOR ALL CODE REQUIRED LANDSCAPING.
- CONTRACTOR SHALL CONTACT THE CITY FORESTER, JEFF MYERS, AT (614) 410-4701 PRIOR TO ORDERING & PLANTING STREET TREES. FINAL SITING TO BE DETERMINED BY CITY FORESTER.

**PLANTING PLAN**  
**PENZONE LIVE-WORK**  
 Dublin, OH



MEYERS+ASSOCIATES PROJECT NUMBER:  
**2023-06**

SHEET NUMBER  
**L3.0**

Planting Plan  
SCALE: 1" = 10'-0"

PLANT INSTALLATION NOTES

- CONTRACTOR SHALL VERIFY WITH THE OWNER AND UTILITY COMPANIES THE LOCATIONS OF THE EXISTING UTILITIES PRIOR TO STARTING WORK. CALL THE OHIO UTILITIES PROTECTION SERVICE AT (800) 362-2764. CONTRACTOR TO REPAIR ALL DAMAGES TO EXISTING UTILITIES, CURBS, PAVEMENTS, ETC. RESULTING FROM LANDSCAPE INSTALLATIONS WHICH OCCUR DURING THE CONSTRUCTION OF THE PROJECT.
- PLANT MATERIAL SHALL BE FURNISHED IN THE QUANTITIES AND/OR SPACING AS SHOWN OR NOTED. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.
- CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL SITE ELEMENTS AND IMMEDIATELY INFORM THE OWNER AND THE LANDSCAPE ARCHITECT OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND/OR SPECIFICATIONS AND ACTUAL CONDITIONS. NO WORK SHALL BE DONE IN ANY AREA WHERE THERE IS A DISCREPANCY WITHOUT OWNERS APPROVAL.
- CONTACT THE OWNER TO REQUEST ELECTRONIC FILES FOR LAYOUT AND STAKING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISH GRADING IN THE PROJECT REQUIRED TO PROVIDE A PROPER SOD AND PLANTING BED.
- CONTRACTOR SHALL PROVIDE THE FOLLOWING SOIL AMENDMENTS:  
SOIL AMENDMENT:  
'COM-TIL' ORGANIC COMPOST (OR EQUAL)  
7000 STATE ROUTE 104  
SOUTH LOCKBOURNE, OHIO 43137  
(614) 645-3152  
  
PERENNIAL BED AREAS:  
SPREAD 3" OF 'COM-TIL' OVER NEW LANDSCAPE AREAS AND INCORPORATE INTO THE TOP 8" OF THE SOIL BY MECHANICAL TILLER.  
  
TREES AND SHRUBS:  
MIX 30% 'COM-TIL' TO 70% EXISTING SOIL FROM PLANT PIT EXCAVATION. IF EXCAVATED SOIL IS NOT SUITABLE, SUPPLEMENT WITH IMPORTED TOPSOIL.  
  
TURF: TBD
- ALL PLANT MATERIAL TO MEET OR EXCEED THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-2014, AS SET FORTH BY AMERICAN ASSOCIATION OF NURSERYMEN
- ALL PLANT MATERIALS SUBJECT TO INSPECTION PRIOR, DURING AND AFTER INSTALLATION. ANY PLANT NOT MEETING THE REQUIREMENTS WILL BE CAUSE FOR REJECTION BY THE OWNER. ALL REJECTED PLANTS SHALL BE IMMEDIATELY REMOVED AND DISPOSED OF BY THE CONTRACTOR AND THE REPLACEMENT MATERIAL SHALL BE PROVIDED.
- ALL SUBSTITUTIONS AND PLANT CHANGES MUST BE APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT PRIOR TO ANY ACTION TAKEN. TREES SHALL BE PROTECTED AND HANDLED CAREFULLY AT ALL TIMES DURING TRANSPORT & HANDLING TO PREVENT DRYING OF TREE OR ROOT BALL BY WINDS AND TO PREVENT ANY DAMAGE OR BREAKAGE OF THE ROOT BALL. BARK SHALL BE PROTECTED FROM BRUISING OR ABRASION.
- WATER TREES IMMEDIATELY AFTER PLANTING AND CONTINUE TO WATER BY MEANS OF TEMPORARY SLOW-RELEASE IRRIGATION DEVICE (GATOR BAGS) FOR ALL TREES AND KEEP FILLED UNTIL IRRIGATION IS ACTIVE OR UNTIL FINAL ACCEPTANCE BY OWNER.
- PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO PLANT INSTALLATION.
- BED LINE TO BE 18" FROM BASE OF PLANT MATERIAL UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- ALL SHRUB AND BED AREAS TO BE MULCHED WITH TWO INCHES (2") DEPTH MINIMUM SHREDDED HARDWOOD MULCH. SUBMIT SAMPLE TO OWNER FOR APPROVAL.
- ALL AREAS OUTSIDE OF PLANTING BEDS SHALL BE SODDED AS SHOWN AND NOTED .
- FINISHED TURF (SOD) TO BE FLUSH WITH TOP OF ADJACENT CURB OR WALK. COORDINATE WITH OWNER IN FIELD AS REQUIRED.
- THE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS AND GROUND COVERS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE. REPLACE MATERIAL WITHIN SEVEN (7) DAYS OF NOTIFICATION OF THE OWNER.
- PERFORM CLEANING DURING INSTALLATION OF LANDSCAPE WORK AND UPON COMPLETION. REMOVE FROM SITE ALL EXCESS LANDSCAPE RELATED MATERIAL, SOIL DEBRIS AND EQUIPMENT. REPAIR DAMAGE RESULTING FROM LANDSCAPING OPERATIONS. SWEEP AND HOSE DOWN PAVED SURFACES AFFECTED BY LANDSCAPING OPERATIONS. COORDINATE WITH OWNER AND OTHER CONTRACTORS FOR FINAL CLEANUP PRIOR TO CLEANING.
- MAINTENANCE: THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE COMPLETED LANDSCAPE AND IRRIGATION SYSTEMS UNTIL THE DATE OF FINAL ACCEPTANCE.
  - MOWING - MINIMUM ONCE PER WEEK.
  - TRIMMING - SHRUBS, TREES, AND GROUND COVERS MINIMUM TWO TIMES PER YEAR OR AS REQUIRED.
  - FERTILIZING - APPLY FERTILIZER AT A RATE EQUAL TO 1 LB. OF ACTUAL NITROGEN/1000 S.F. IN THE SPRING AND FALL TO ALL TURF AND PLANTINGS.
  - BED EDGING - EDGE ALL BEDS BY HAND, SPADE AT LEAST TWO TIMES PER YEAR AND TOP-MULCH WITH DRESS WOOD MULCH IN FALL AND SPRING.

PLANT LIST

SYMBOL	BOTANICAL & COMMON NAMES	SIZE	COND.	REMARKS
DECIDUOUS TREES				
AC SA	<i>Acer saccharum</i> 'Commemoration' Commemoration Sugar Maple	3" CAL.	B&B	
BE NI	<i>Betula nigra</i> 'Heritage' Heritage River Birch	14' HT.	B&B	MULTI-STEM, 4" CAL. TOTAL
CA BE	<i>Carpinus betulus</i> European Hornbeam	3" CAL.	B&B	
GI BI	<i>Ginkgo biloba</i> 'Princeton Sentry' Princeton Sentry Ginkgo	3" CAL.	B&B	
GL TR	<i>Gleditsia triacanthos</i> 'Skycole' Skyline Honey Locust	3" CAL.	B&B	
PL AC	<i>Plantanus x acerfolia</i> 'Morton Circle' Exclamation London Planetree	3" CAL.	B&B	
QU MA	<i>Quercus macrocarpa</i> Bur Oak	3" CAL.	B&B	
QU PA	<i>Quercus palustris</i> 'Green Pillar' Green Pillar Pin Oak	3" CAL.	B&B	
TA DI	<i>Taxodium distichum</i> Bald Cypress	3" CAL.	B&B	
UL PA	<i>Ulmus parvifolia</i> Chinese Elm	3" CAL.	B&B	
UL FR	<i>Ulmus</i> 'Frontier' Frontier Elm	3" CAL.	B&B	
ORNAMENTAL TREES				
CE CA	<i>Cercis canadensis</i> Eastern Redbud	2" CAL.	B&B	
CO KO	<i>Cornus Kousa</i> Kousa Dogwood	2" CAL.	B&B	
MA GR	<i>Magnolia grandiflora</i> 'Brackens Brown Beauty' Brackens Brown Beauty Southern Magnolia	10' HT.	B&B	MULTI-STEM, 3" CAL. TOTAL
SHRUBS				
AE PA	<i>Aesculus parviflora</i> Bottlebrush Buckeye	24" HT.	CONT.	AS SHOWN
AR AR	<i>Aronia arbutifolia</i> Red Chokeberry	24" HT.	CONT.	AS SHOWN
CO SE	<i>Cornus sericea</i> 'Bailei' Redosier Dogwood	24" HT.	CONT.	AS SHOWN
FO GA	<i>Fothergilla gardenii</i> Dwarf Fothergilla	18" HT.	CONT.	AS SHOWN
HA IN	<i>Hamamelis x intermedia</i> 'Arnold Promise' Arnold Promise Witchhazel	36" HT.	B&B	AS SHOWN
HY AN	<i>Hydrangea anomala</i> ssp. <i>petiolaris</i> Climbing Hydrangea	#2	CONT.	AS SHOWN
HY PA	<i>Hydrangea paniculata</i> 'LVOBO' Bobo Hydrangea	24" HT.	CONT.	AS SHOWN
HY QU	<i>Hydrangea quercifolia</i> 'Ruby Slippers' Ruby Slippers Oakleaf Hydrangea	24" HT.	CONT.	AS SHOWN
JU CH	<i>Juniperus chinensis</i> 'Nick's Compact' Nick's Compact Juniper	24" HT.	CONT.	AS SHOWN
LI BE	<i>Lindera benzoin</i> Spicebush	30" HT.	B&B	AS SHOWN
MY PE	<i>Myrica pensylvanica</i> Northern Bayberry	30" HT.	B&B	AS SHOWN
TH PL	<i>Thuja plicata</i> 'Green Giant' Green Giant Arborvitae	6' HT.	B&B	AS SHOWN
TA DE	<i>Taxus x media</i> 'Densifomis' Dense Yew	24" HT.	CONT.	AS SHOWN
TA HI	<i>Taxus x media</i> 'Hicksii' Hicks Yew	36" HT.	CONT.	AS SHOWN
VI AC	<i>Viburnum acerifolium</i> Mapleleaf Viburnum	36" HT.	CONT.	AS SHOWN
VI CA	<i>Viburnum carlesii</i> Korean Spice Viburnum	36" HT.	CONT.	AS SHOWN
VI RH	<i>Viburnum rhytidophyllum</i> Leatherleaf Viburnum	36" HT.	CONT.	AS SHOWN

PLANT LIST

SYMBOL	BOTANICAL & COMMON NAMES	SIZE	COND.	REMARKS
PERENNIALS/ ORNAMENTAL GRASSES/ GROUNDCOVERS				
EU FO	<i>Euonymus fortunei</i> 'Colorata' Purpleleaf Wintercreeper	#1	CONT.	18" O.C.
HA MA	<i>Hakonechloa macra</i> 'All Gold' All Gold Japanese Forest Grass	#1	CONT.	18" O.C.
HE FU	<i>Hemerocallis fulva</i> Tawny Daylily	#1	CONT.	24" O.C.
HE PM	<i>Hemerocallis</i> 'Pardon Me' Pardon Me Daylily	#1	CONT.	24" O.C.
HY CA	<i>Hypericum calycinum</i> St. John's Wort Groundcover	6" HT.	CONT.	12" O.C.
LI SP	<i>Liriope spicata</i> Creeping Lily Turf	#1	CONT.	12" O.C.
PE AL	<i>Pennisetum alopecuroides</i> Fountain Grass	#2	CONT.	30" O.C.
PE AT	<i>Perovskia atriplicifolia</i> 'Little Spire' Little Spire Russian Sage	#1	CONT.	24" O.C.
SP HE	<i>Sporobolus heterolepis</i> Prairie Dropseed	#1	CONT.	24" O.C.

\*PLANT SUBSTITUTIONS MAY BE REQUIRED DEPENDING ON PLANT AVAILABILITY. ANY SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT AND SHALL MEET MINIMUM CODE REQUIREMENTS AT TIME OF INSTALLATION.

CODE OF ORDINANCES - LANDSCAPING

**STREET TREES - 153.065(D)(3)(a)(1)**  
A MINIMUM OF ONE TREE IS REQUIRED PER 40 LINEAR FEET OF STREET FRONTAGE. THE MINIMUM TRUNK CALIPER SHALL BE NO LESS THAN TWO AND ONE HALF INCHES. MEDIUM TREES FROM THE APPROVED URBAN STREET TREE LIST FOR DUBLIN SHALL BE SPACED AT 30 - 35 FT.

REQUIRED	PROVIDED
VILLAGE PARKWAY STREET FRONTAGE. EIGHT (8) TREES REQUIRED PER CITY FORESTER COMMENTS ON FDP PLAN REVIEW (08/27/24).	8 LARGE TREES PROVIDED ALONG VILLAGE PARKWAY.

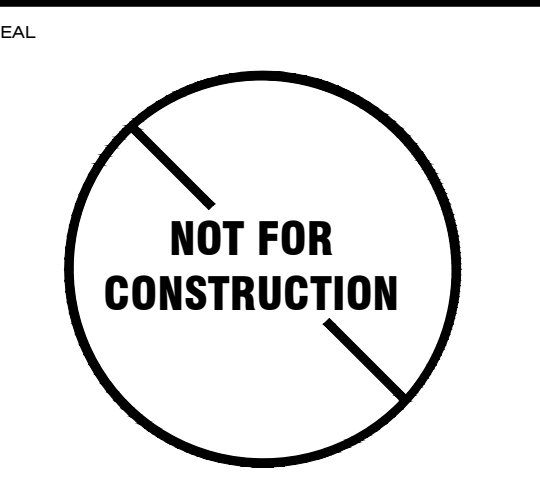
**SURFACE PARKING INTERIOR LANDSCAPING - 153.065(D)(5)(c)**  
FOR ALL SURFACE PARKING LOTS CONTAINING TEN OR MORE PARKING SPACES, A MINIMUM OF 5% OF THE INTERIOR PARKING LOT AREA, CALCULATED AS THE TOTAL OF THE AREA IN ALL PARKING SPACES AND DRIVE AISLES, SHALL BE LANDSCAPED.

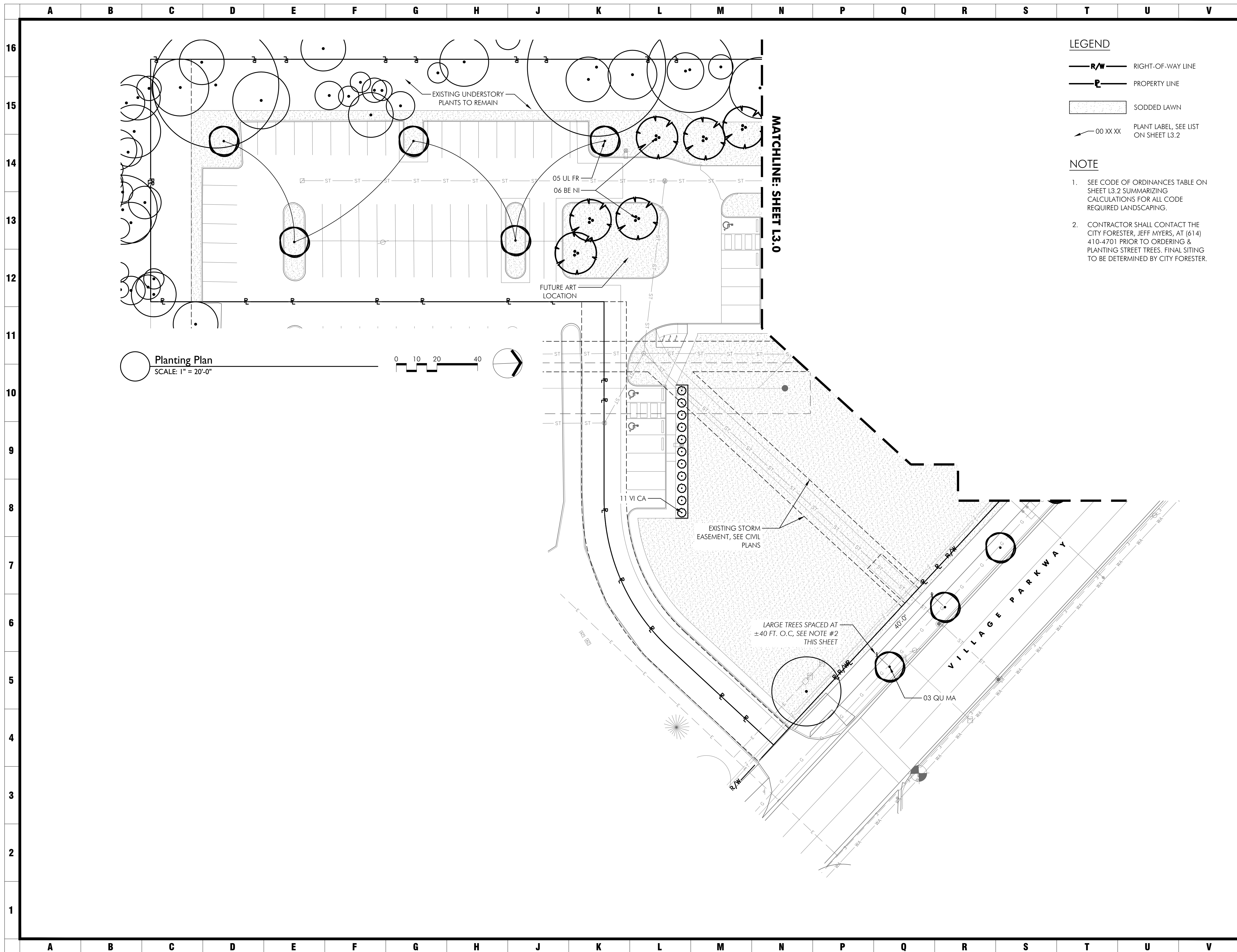
OPTION A: LANDSCAPE PENINSULA OR ISLAND - THE MINIMUM WIDTH OF A LANDSCAPE PENINSULA OR ISLAND SHALL BE TEN FEET WITH A MINIMUM AREA OF 150 SQUARE FEET, WITH A MAXIMUM RUN OF 12 PARKING SPACES PERMITTED WITHOUT A TREE ISLAND. ONE MEDIUM DECIDUOUS TREE AS DEFINED BY APPENDIX E OR AS OTHERWISE APPROVED BY THE CITY FORESTER SHALL BE PLANTED FOR EVERY 12 PARKING SPACES.  
OPTION C: LARGE CONSOLIDATED ISLAND - THE MINIMUM DIMENSIONS OF A LARGE CONSOLIDATED LANDSCAPE ISLAND INTERIOR TO THE PARKING LOT SHALL BE A MINIMUM OF 36 FEET WIDE WITH A MINIMUM AREA OF 1,300 SQUARE FEET. ONE MEDIUM OR LARGE DECIDUOUS TREE AS DEFINED BY APPENDIX E, OR AS OTHERWISE APPROVED BY THE CITY FORESTER, SHALL BE PLANTED FOR EVERY 12 PARKING SPACES.

REQUIRED	PROVIDED
PARKING LOT AREA = 24,280 SF x 5% = 1,214 SF LANDSCAPING REQUIRED	2,640 SF USING LANDSCAPE PENINSULAS & A LARGE CONSOLIDATED ISLAND FROM OPTIONS A & C ABOVE
1 TREE REQUIRED PER 12 SPACES (MIN. 1 TREE PER ISLAND) 62 PARKING SPACES / 12 = 5 TREES REQ.	5 TREES PROVIDED.

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SHEET TITLE  
**PLANTING NOTES**  
 PROJECT TITLE  
**PENZONE LIVE-WORK**  
 Dublin, OH





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ARCHITECTURE - INTERIOR DESIGN

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COLUMBUS, OH 43215  
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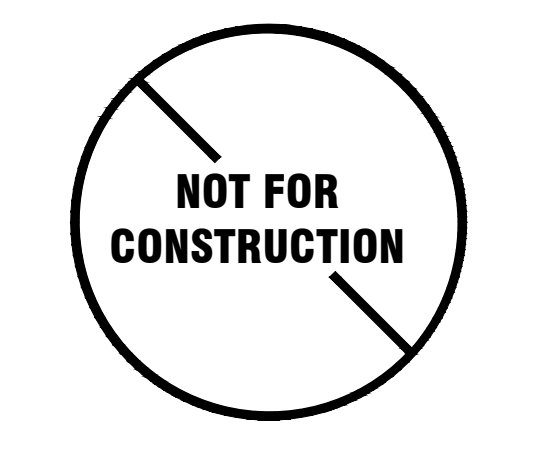
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**PLANTING PLAN**

**PENZONE LIVE-WORK**

Dublin, OH



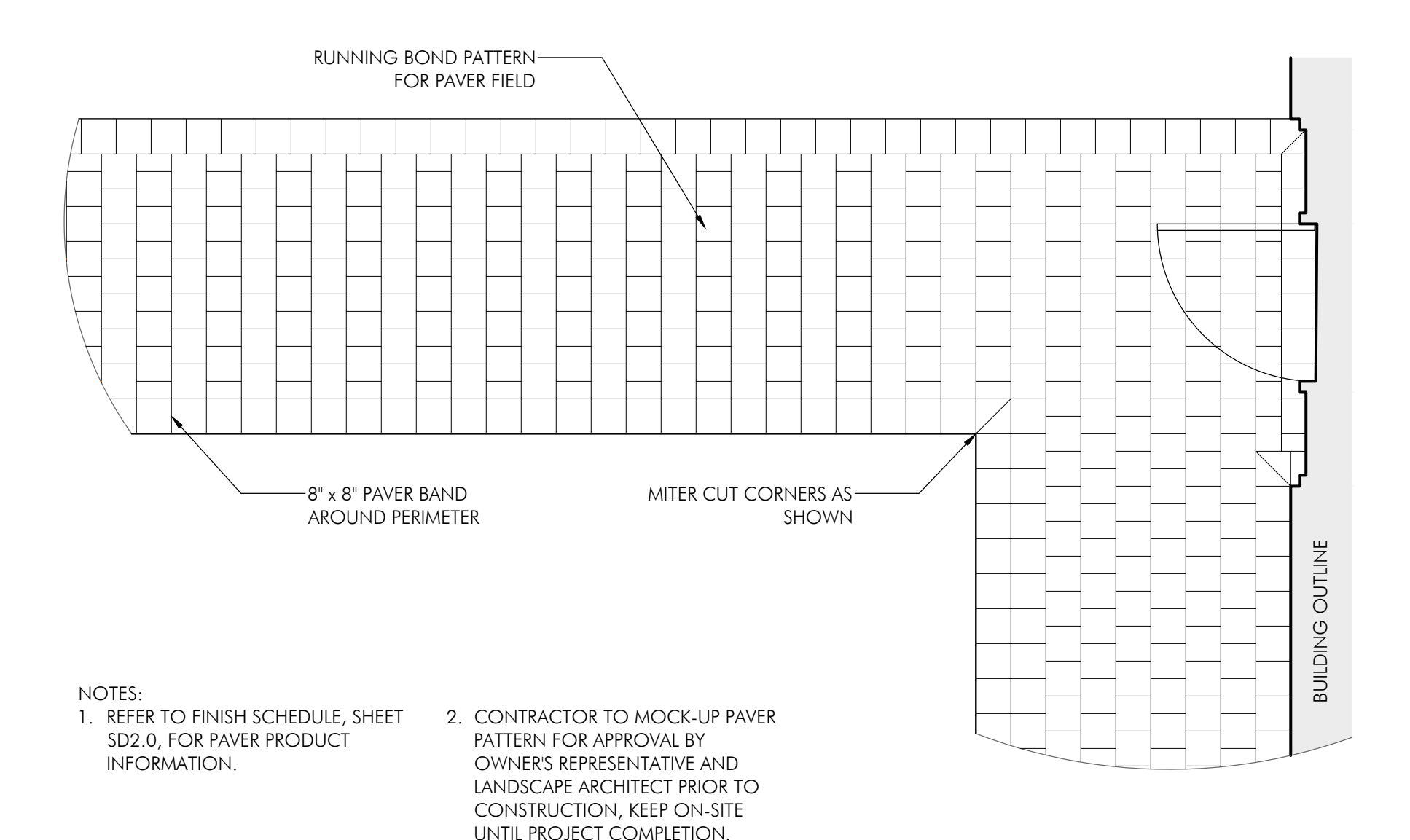
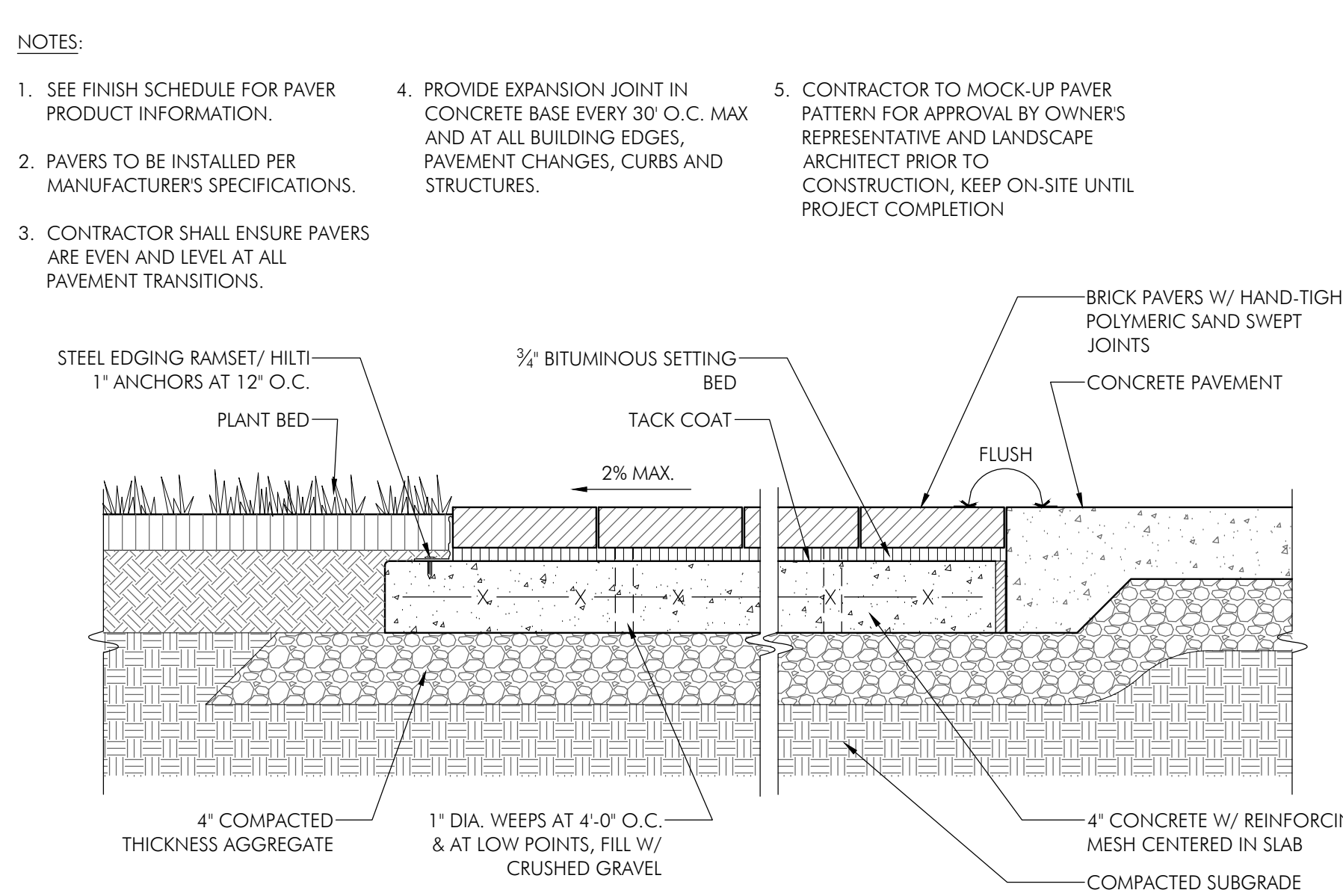
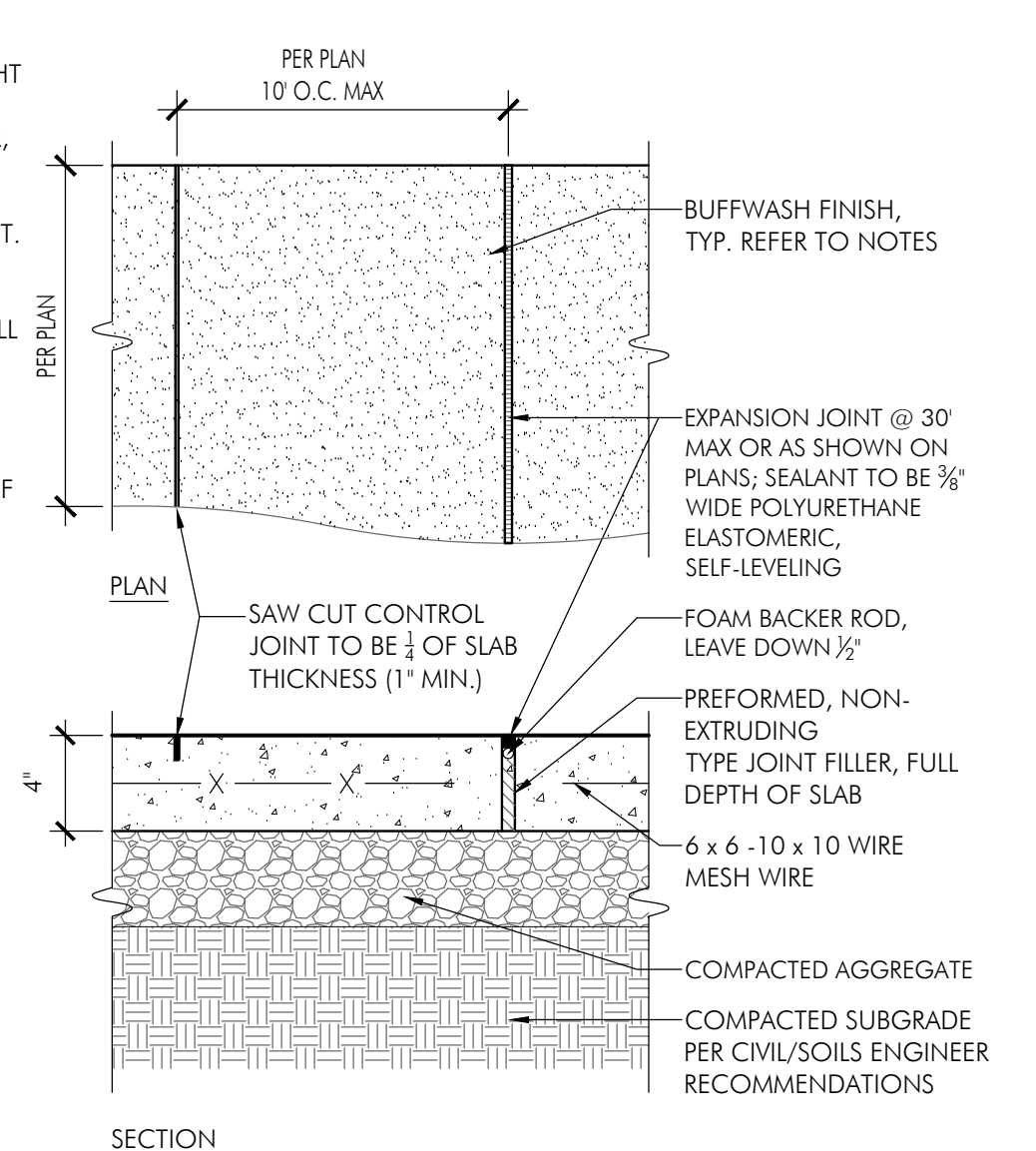
MEYERS+ASSOCIATES PROJECT NUMBER:  
**2023-06**

SHEET NUMBER  
**L3.1**





- NOTES:**
- CONTRACTOR SHALL PROVIDE A 5' x 5' x 4" THICK MOCKUP FOR OWNER AND LANDSCAPE ARCHITECT APPROVAL. MOCKUP MAY NOT BE A PART OF COMPLETED WORK.
  - REFER TO LAYOUT PLAN FOR SCORING PATTERNS.
  - CONCRETE SHALL BE NATURAL CONCRETE COLOR.
  - BUFFWASH FINISH: FINE AGGREGATES EXPOSED IN PAVEMENT SURFACE BY MEANS OF AN APPLIED CHEMICAL RETARDER. RETARDER SHALL BE A WATER SOLUBLE, LIQUID SET RETARDER CAPABLE OF TEMPORARILY DELAYING FINAL HARDENING OF CONCRETE TO A DEPTH OF 3/8" TO 1/2" FOR A MONOLITHIC LIGHT EXPOSED-AGGREGATE FINISH.
  - SEALING: SEAL SURFACE OF LIGHT EXPOSED-AGGREGATE USING APPROVED PENETRATING SEALER, FOLLOW SEALER MANUFACTURER'S DIRECTIONS WHEN APPLYING THEIR PRODUCT.
  - FINAL CLEANING, CAULKING, AND SEALING OPERATIONS SHALL NOT COMMENCE UNTIL THE LIGHT EXPOSED-AGGREGATE SURFACES HAVE BEEN COMPLETELY AND PROPERLY CURED OR REACHED 28 DAYS OF BEING IN PLACE WHICHEVER IS LATER.

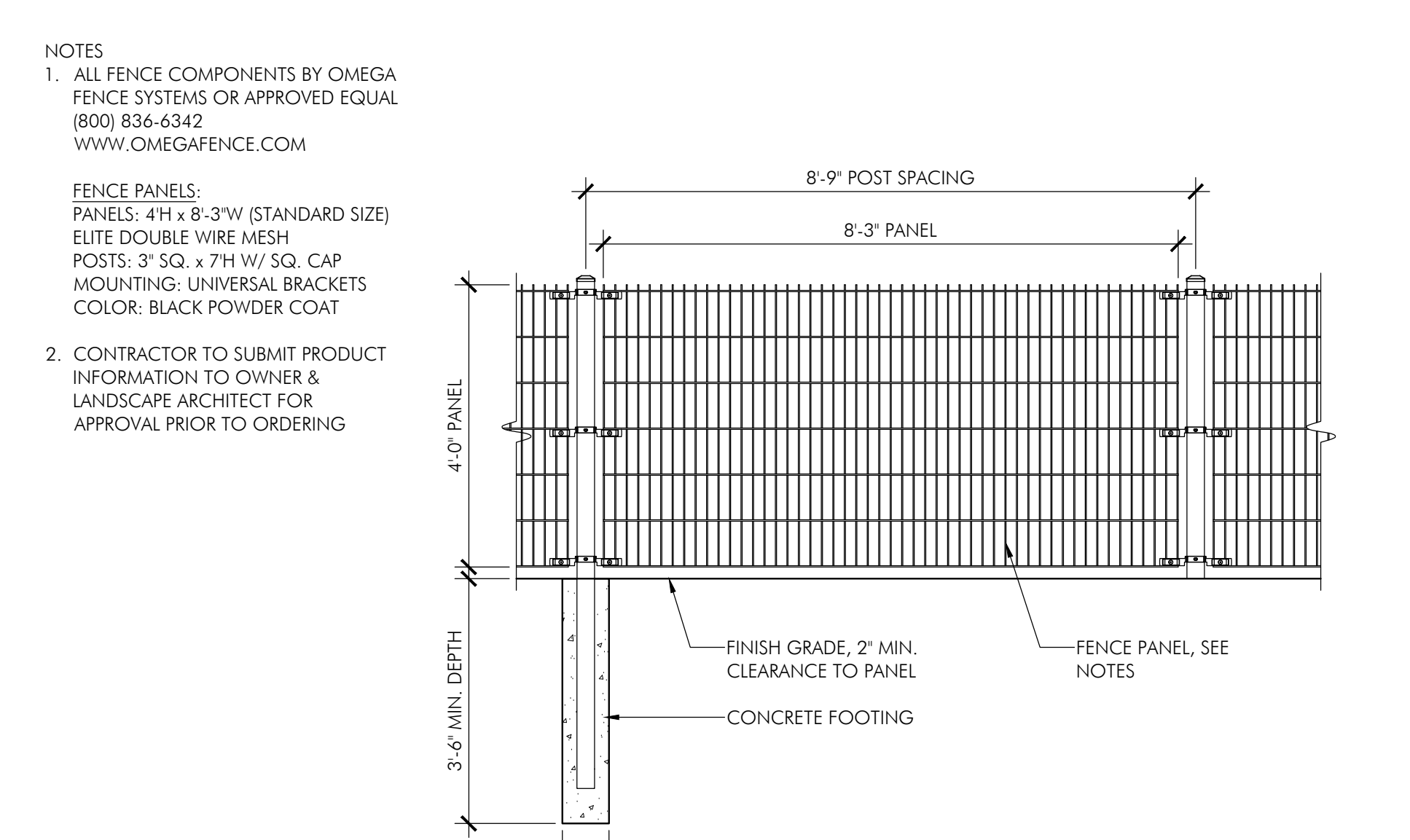
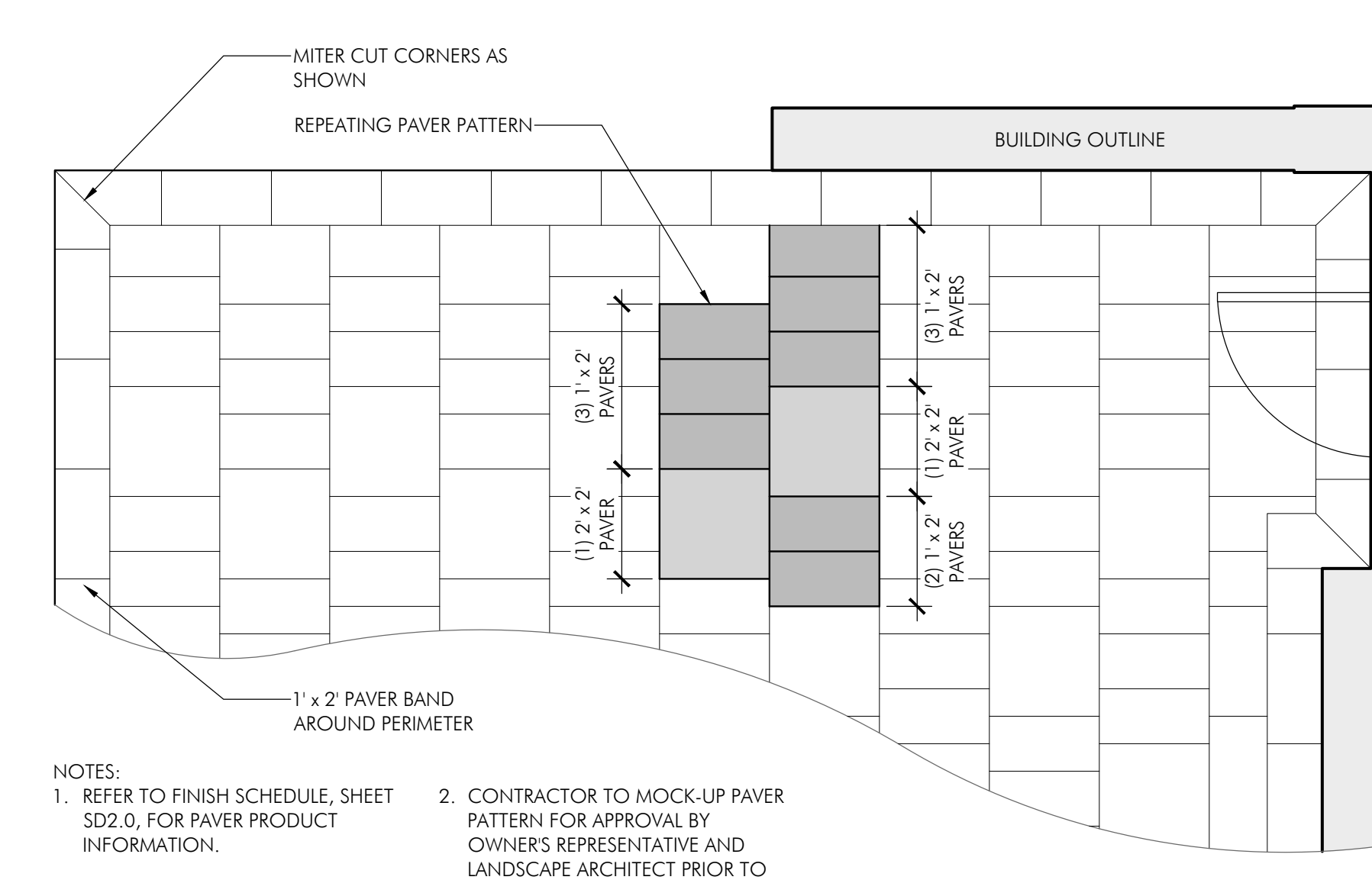
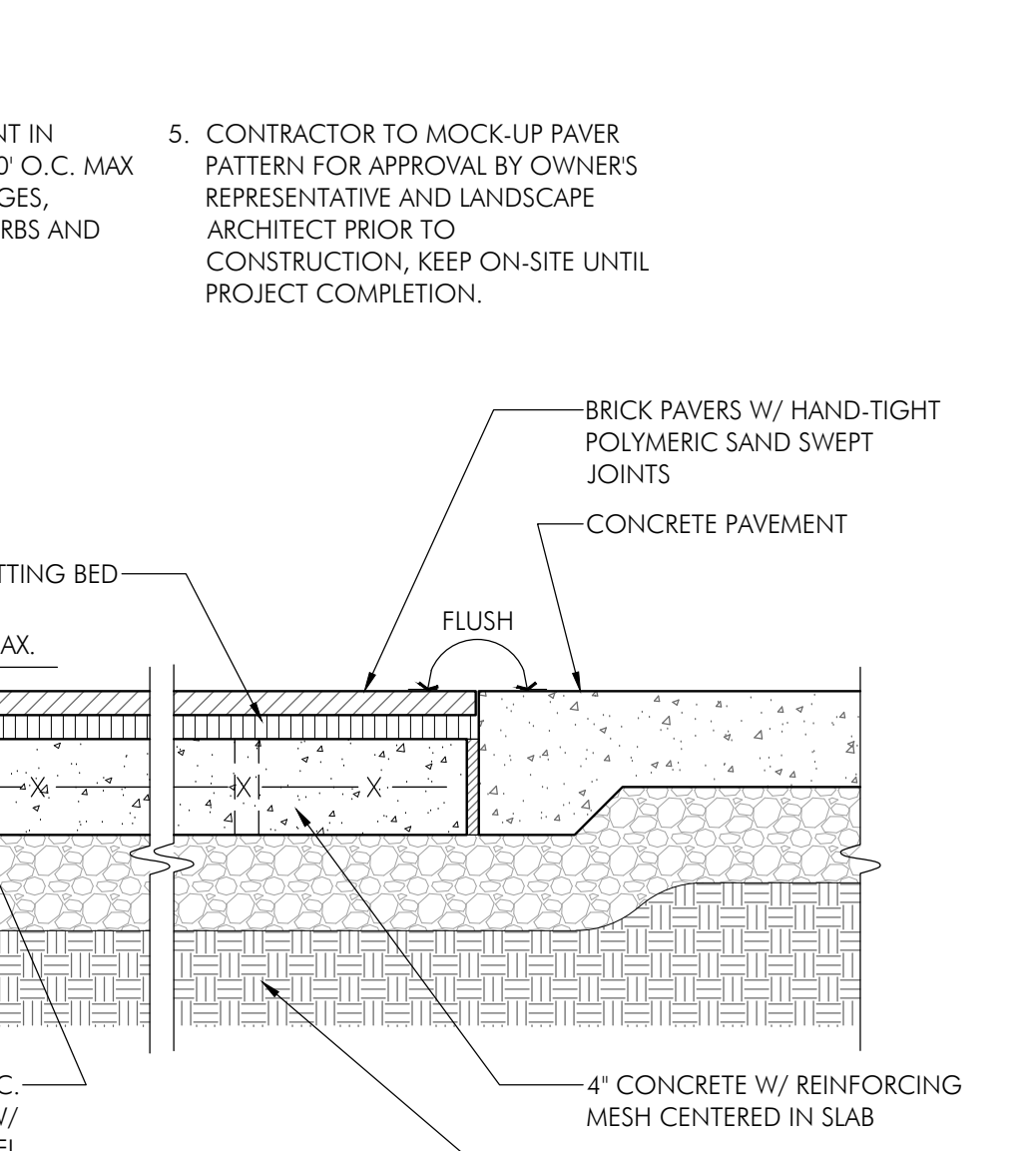


**1 Buffwash Concrete**  
1/2" = 1'-0"

**2 Brick Pavers**  
1/2" = 1'-0"

**3 Brick Paver Pattern**  
3/8" = 1'-0"

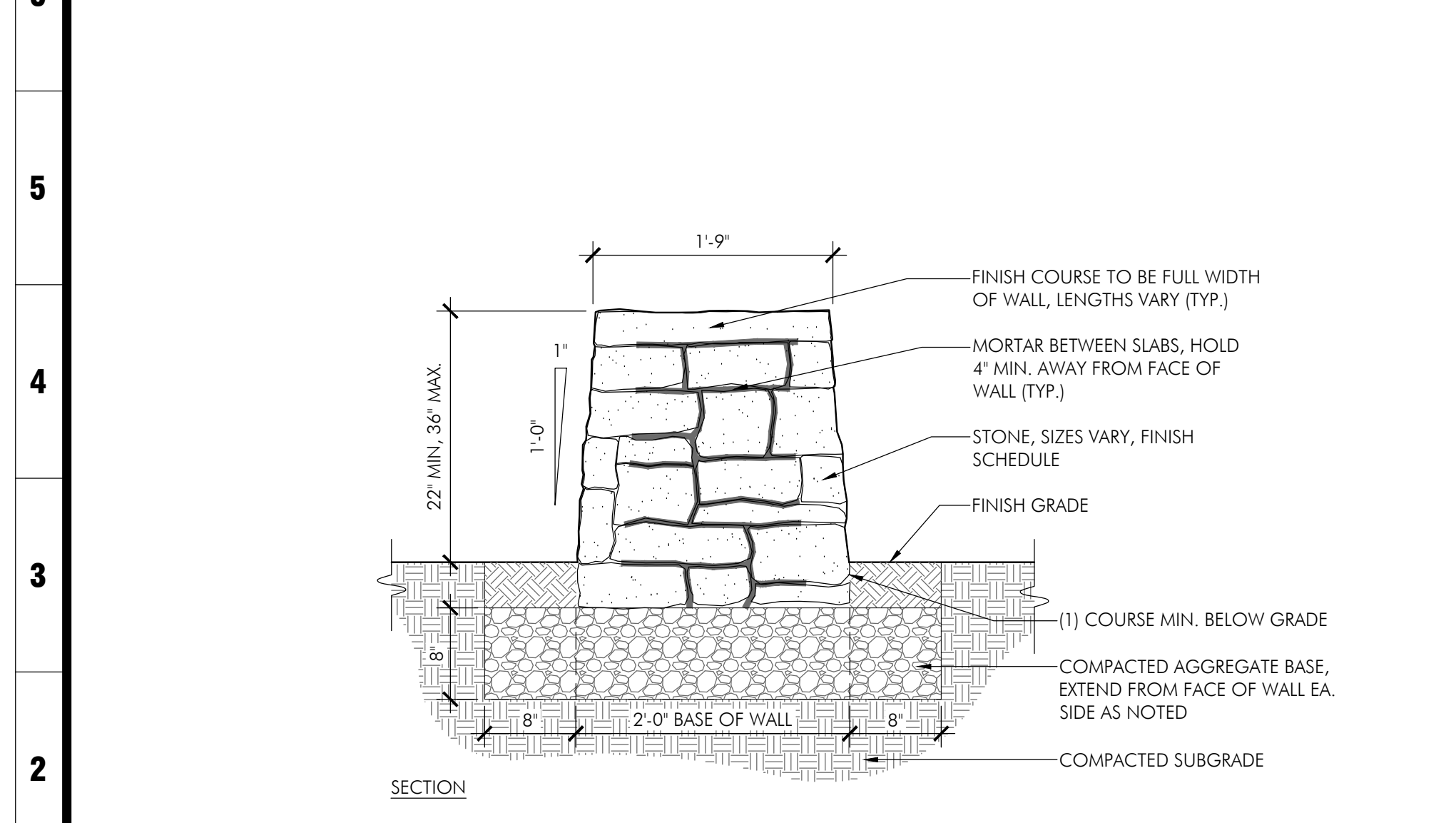
- NOTES:**
- SEE FINISH SCHEDULE FOR PAVER PRODUCT INFORMATION.
  - PAVERS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
  - CONTRACTOR SHALL ENSURE PAVERS ARE EVEN AND LEVEL AT ALL PAVEMENT TRANSITIONS.
  - PROVIDE EXPANSION JOINT IN CONCRETE BASE EVERY 30' O.C. MAX AND AT ALL BUILDING EDGES, PAVEMENT CHANGES, CURBS AND STRUCTURES.
  - CONTRACTOR TO MOCK-UP PAVER PATTERN FOR APPROVAL BY OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION, KEEP ON-SITE UNTIL PROJECT COMPLETION.



**4 Bluestone Pavers**  
1/2" = 1'-0"

**5 Bluestone Paver Pattern**  
3/8" = 1'-0"

**6 Omega Fence**  
1/2" = 1'-0"



**7 Dry-Stack Stone Seat Wall**  
1" = 1'-0"

**meyers+ associates**  
ARCHITECTURE - INTERIOR DESIGN

292 N. THIRD STREET, SUITE 300  
COLUMBUS, OH 43215  
614.221.9433  
MEYERSARCHITECTS.COM

**POD design**

330 WEST SPRING ST., STE. 300  
COLUMBUS, OH 43215  
TEL: (614) 255 3399

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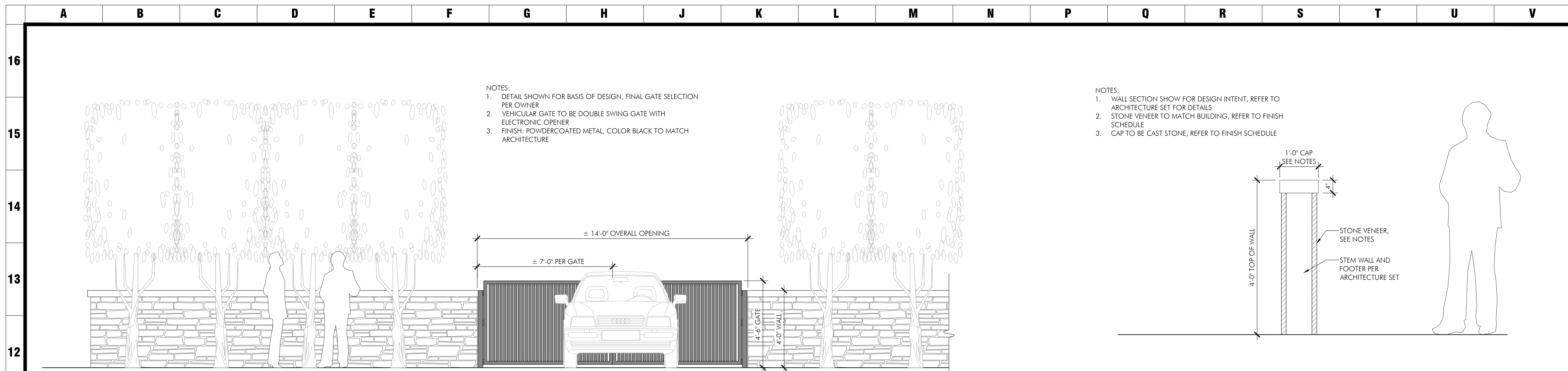
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PROGRESS PRINT	11.03.23
PROGRESS PRINT	03.06.24
PROGRESS PRINT	03.27.24
FDP Submittal	04.30.24
FDP Resubmittal	07.17.24
FDP Resubmittal	08.28.24

SHEET TITLE: **SITE DETAILS**

PROJECT TITLE: **PENZONE LIVE-WORK**

Dublin, OH

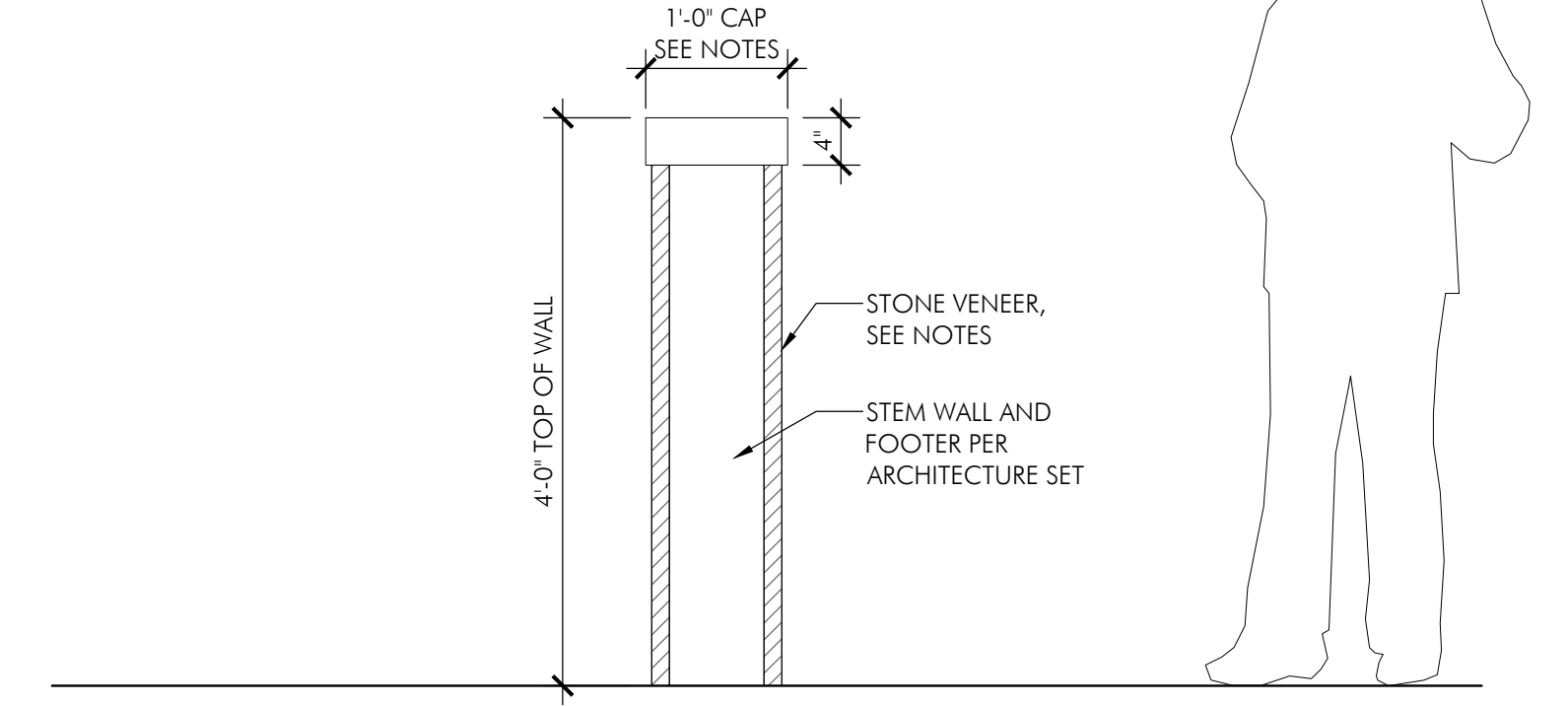
SEAL: **NOT FOR CONSTRUCTION**



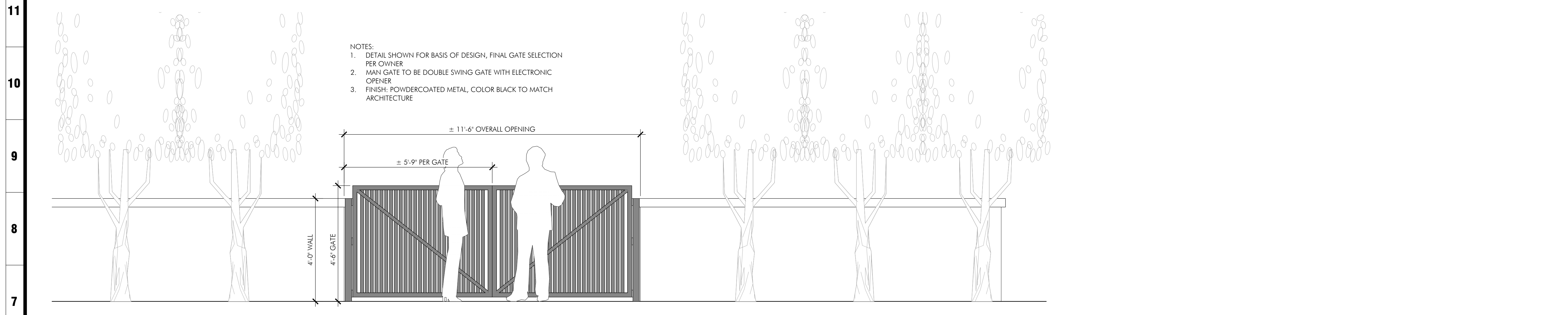
**1 Vehicular Double Swing Gate**  
3/8"=1'-0"

NOTES:  
 1. DETAIL SHOWN FOR BASIS OF DESIGN, FINAL GATE SELECTION PER OWNER  
 2. VEHICULAR GATE TO BE DOUBLE SWING GATE WITH ELECTRONIC OPENER  
 3. FINISH: POWDERCOATED METAL, COLOR BLACK TO MATCH ARCHITECTURE

NOTES:  
 1. WALL SECTION SHOW FOR DESIGN INTENT, REFER TO ARCHITECTURE SET FOR DETAILS  
 2. STONE VENEER TO MATCH BUILDING, REFER TO FINISH SCHEDULE  
 3. CAP TO BE CAST STONE, REFER TO FINISH SCHEDULE

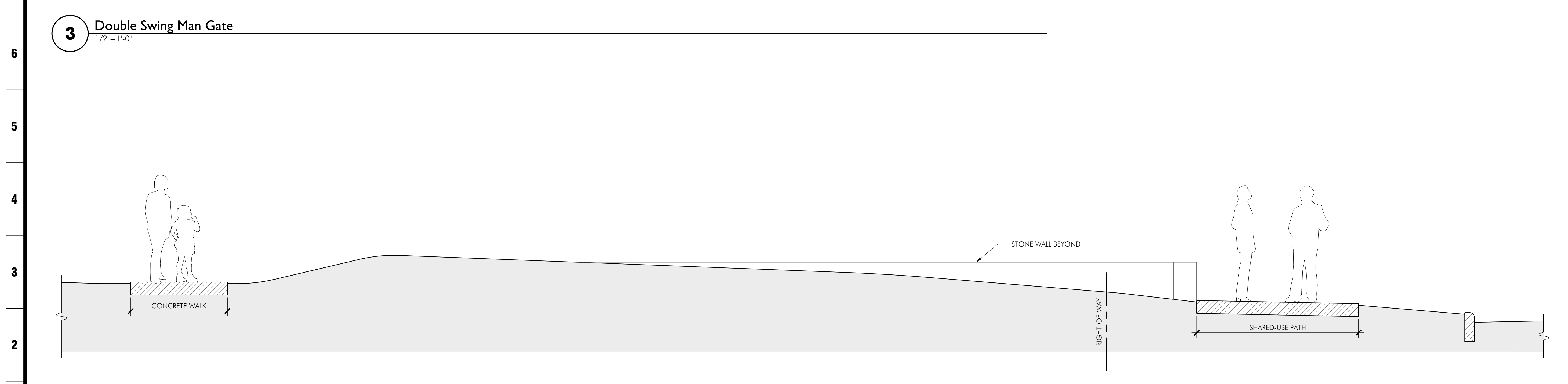


**2 Screen Wall Section**  
3/4"=1'-0"



**3 Double Swing Man Gate**  
1/2"=1'-0"

NOTES:  
 1. DETAIL SHOWN FOR BASIS OF DESIGN, FINAL GATE SELECTION PER OWNER  
 2. MAN GATE TO BE DOUBLE SWING GATE WITH ELECTRONIC OPENER  
 3. FINISH: POWDERCOATED METAL, COLOR BLACK TO MATCH ARCHITECTURE

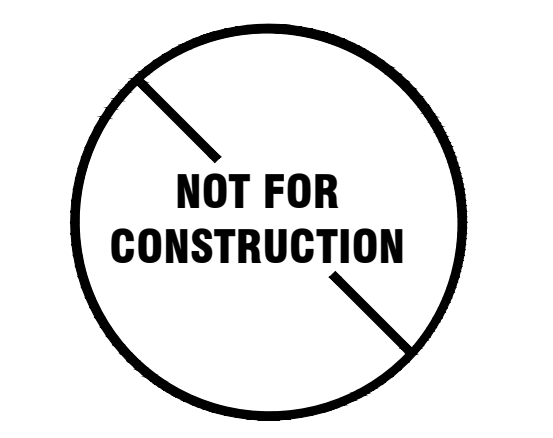


**4 Section - Park**  
3/8"=1'-0"

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SHEET TITLE  
**SITE DETAILS**  
PROJECT TITLE  
**PENZONE LIVE-WORK**  
Dublin, OH



MEYERS+ASSOCIATES PROJECT NUMBER:  
**2023-06**  
SHEET NUMBER

**SD 1.1**



**SITE MATERIALS**



**BUFFWASH CONCRETE**  
 COLOR: NATURAL COLOR  
 FINISH: BUFFWASH (LIGHT EXPOSED AGGREGATE)



**FREESTANDING WALL CAP**  
 MANUFACTURER: READING ROCK  
 PRODUCT: ROCKCAST WALL CAP  
 SIZE: 48" L W/ 2" OVERHANG EA. SIDE OF WALL (VERIFY WALL THICKNESS), INCLUDE DRIP EDGES  
 SHAPE: CO-200  
 COLOR: RIESLING

AVAILABLE FROM:  
 READING ROCK  
 (513) 404-0233  
 WWW.READINGROCK.COM



**BLUESTONE PAVERS**  
 SUPPLIER: LANG STONE  
 PRODUCT: NATURAL CLEFT BLUESTONE  
 SIZE: 12" x 24", 24" x 24"

AVAILABLE FROM:  
 LANG STONE  
 (614) 228-5489  
 WWW.LANGSTONE.COM



**GLASS STOREFRONT**  
 MANUFACTURER: KAWNEER TRIFAB  
 VERSAGLAZE  
 PRODUCT: TRIFAB VG 451  
 FINISH: ARCHITECTURAL CLASS 1 BLACK ANODIZED ALUMINUM  
 GLAZING: 1" INSULATED CLEAR

**SITE STRUCTURES**



**BRICK PAVERS**  
 MANUFACTURER: BELDEN BRICK CO.  
 PRODUCT: CITY LINE SERIES  
 SIZE: 8 x 8  
 COLOR: CARBON BLACK

AVAILABLE FROM:  
 HAMILTON PARKER (SUPPLIER)  
 KIM EHA  
 (614) 358-7851  
 WWW.BELDENBRICK.COM



**STRUXURE PERGOLA**  
 COLOR: BLACK  
 SIZE: 12' x 20'  
 WWW.STRUXURE.COM



**DRY STACK STONE WALL**  
 SUPPLIER: LANG STONE  
 PRODUCT: SHORELINE BLUE VEIN THIN LANDSCAPE STONE

AVAILABLE FROM:  
 LANG STONE  
 (614) 228-5489  
 WWW.LANGSTONE.COM



**BIKE RACKS**  
 MANUFACTURER: LANDSCAPE FORMS  
 PRODUCT: LOOP BIKE RACK  
 COLOR: BLACK  
 AVAILABLE FROM:  
 LANDSCAPE FORMS  
 KENDRA BROWN  
 (269) 276-4440  
 WWW.LANDSCAPEFORMS.COM



**FREESTANDING WALL VENEER**  
 MANUFACTURER: ELDORADO STONE (WESTLAKE ROYAL STONE SOLUTIONS)  
 PRODUCT: VANTAGE30 STONE VENEER  
 COLOR: WHITE ELM

AVAILABLE FROM:  
 ELDORADO STONE  
 (800) 925-1491  
 WWW.ELDORADOSTONE.COM



**SITE FENCE**  
 MANUFACTURER: OMEGA FENCE SYSTEMS  
 PRODUCT: ELITE DOUBLE WIRE  
 PANEL SIZE: 48" HT. x 98" L  
 COLOR: POWDERCOATED BLACK

AVAILABLE FROM:  
 HAMILTON PARKER (SUPPLIER)  
 KIM EHA  
 (614) 358-7851  
 WWW.BELDENBRICK.COM

**SITE LIGHTING**



**TREE UPLIGHT**  
 MANUFACTURER: KICHLER LIGHTING  
 PRODUCT: LANDSCAPE LED ACCENT LIGHT (16152BKT30)  
 SPECS: 12V, 2.5W, 60° FLOOD  
 COLOR TEMP: 3,000K  
 FIXTURE COLOR: TEXTURED BLACK  
 MOUNTING: STAKE

AVAILABLE FROM:  
 KICHLER LIGHTING  
 (866) 558-5706  
 WWW.KICHLER.COM



**WALL WASH LIGHT**  
 MANUFACTURER: KICHLER LIGHTING  
 PRODUCT: SIX GROOVE ACCENT LIGHT (15361BKT)  
 SPECS: 12V, 24.4W  
 FIXTURE COLOR: TEXTURED BLACK  
 MOUNTING: STAKE

AVAILABLE FROM:  
 KICHLER LIGHTING  
 (866) 558-5706  
 WWW.KICHLER.COM



**LIGHT BOLLARD**  
 MANUFACTURER: SOLAVANTI LIGHTING  
 PRODUCT: JUDD BOLLARD (D67470A)  
 SPECS: 120V, LED  
 FIXTURE COLOR: BLACK

AVAILABLE FROM:  
 SOLAVANTI LIGHTING  
 SOLAVANTILIGHTING.COM



**LIGHT POLE (PER MEP PLANS)**  
 MANUFACTURER: LITHONIA LIGHTING  
 PRODUCT: KADR-LED

\*LIGHT POLES ARE EXISTING & TO BE RELOCATED



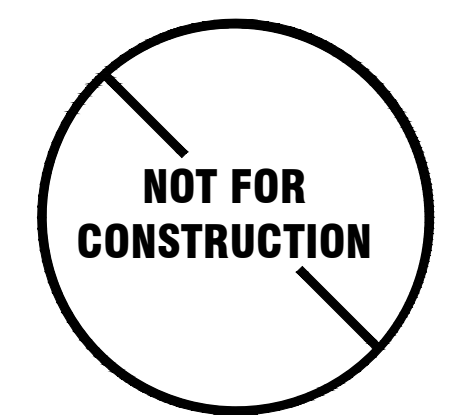
**WALL LIGHT (PER MEP PLANS)**  
 MANUFACTURER: TECH LIGHTING LLC  
 PRODUCT: ASPEN 26 OUTDOOR WALL  
 SPECS: 3000K  
 FIXTURE COLOR: CHARCOAL

AVAILABLE FROM:  
 TECH LIGHTING, LLC  
 TECHLIGHTING.COM

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**FINISH SCHEDULE**  
**PENZONE LIVE-WORK**  
 Dublin, OH





# Penzone Live-Work

6671 Village Parkway  
Dublin, Ohio

---

## Preliminary Development Plan

**Owners**  
Charles & Debbie Penzone

Penzone Salons  
6671 Village Parkway  
Dublin, Ohio 43017  
t. 614.898.1169

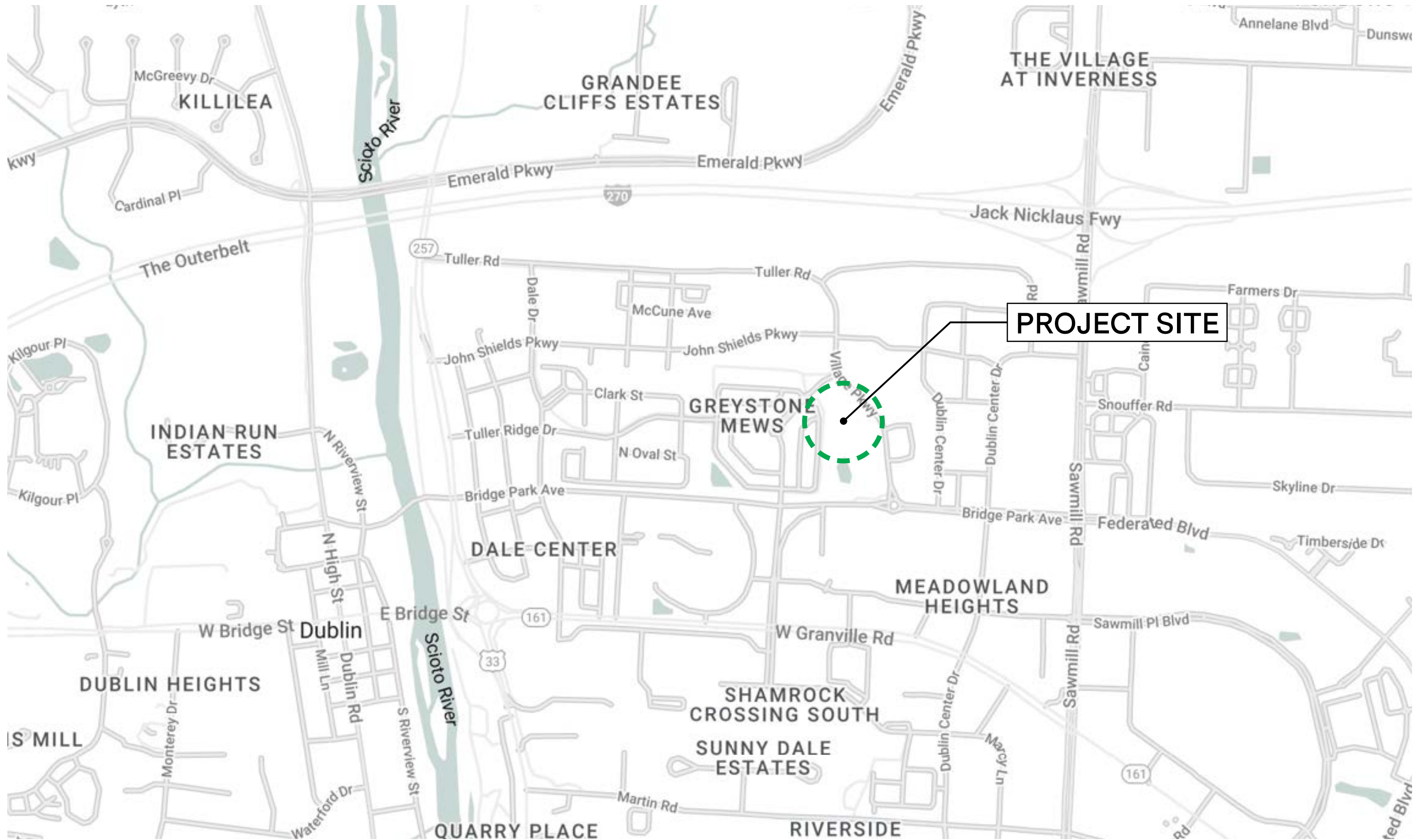
**Project Representative**  
Christopher Meyers, AIA LEED AP  
Principal Architect

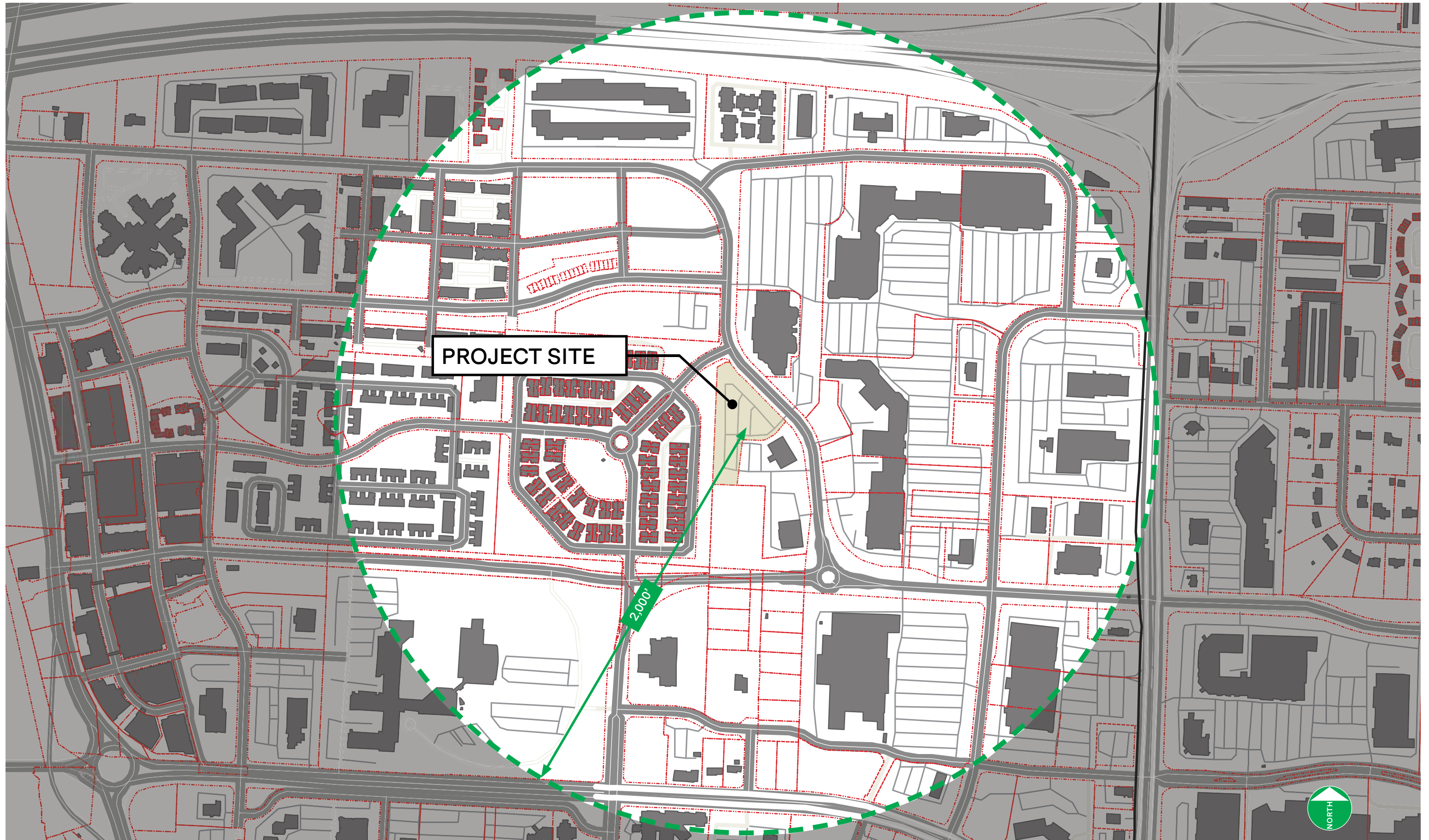
Meyers+Associates  
232 N. Third St., Suite 300  
Columbus, Ohio 43215  
t. 614.221.9433  
e. cmeyers@meyersarchitects.com



Penzone Live-Work

# Vicinity and Context







DUBLIN VILLAGE CENTER



ACM DUBLIN VILLAGE 18



GREYSTONE MEWS NEIGHBORHOOD



GREYSTONE MEWS NEIGHBORHOOD



EXISTING PARKING LOT NORTH



EXISTING PARKING LOT SOUTH



PENZONE BASE ONE



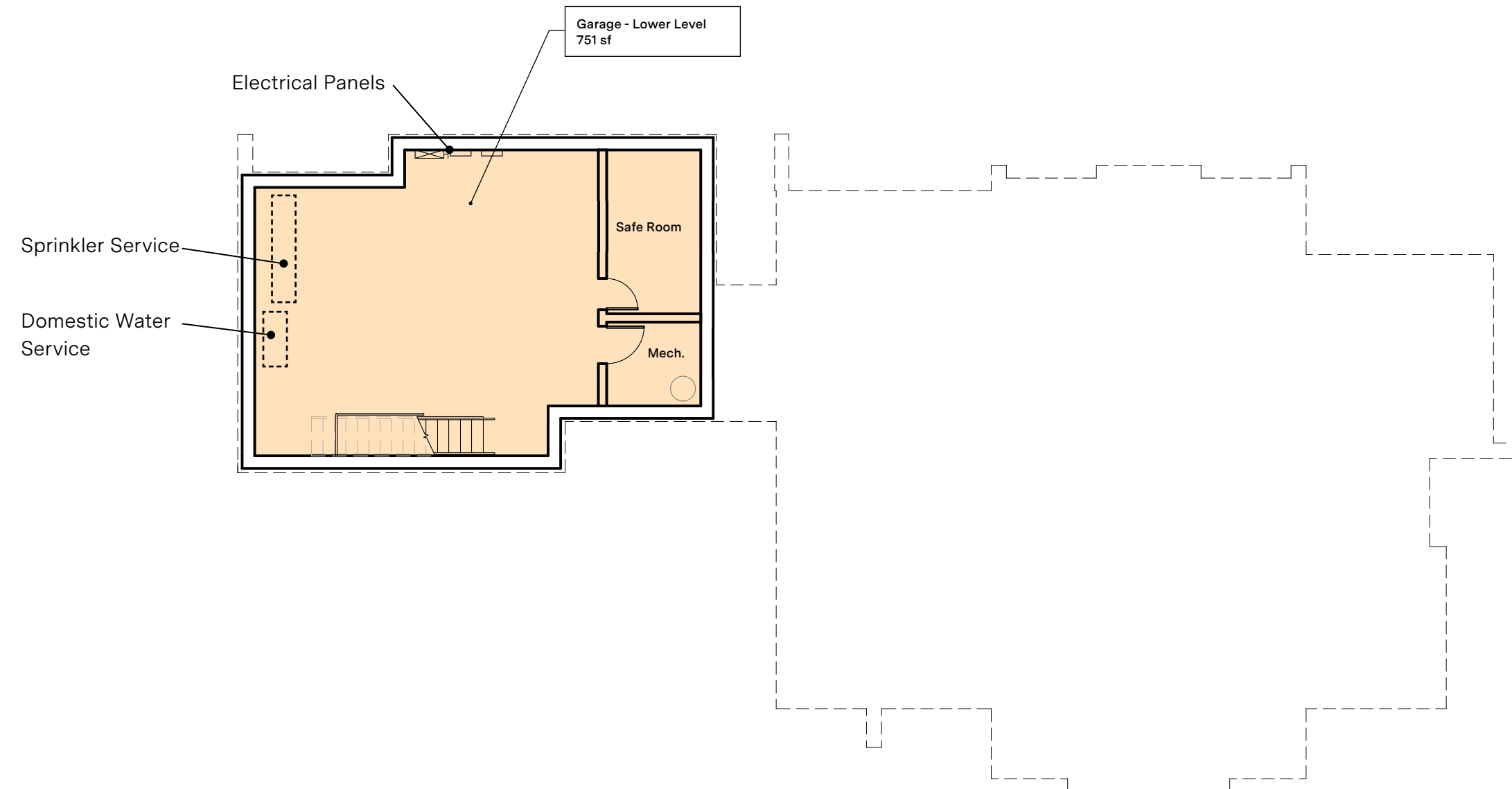
PENZONE SALON + SPA



Penzone Live-Work

Architecture

- LIVE
- WORK
- GARAGE
- STORAGE



**Live-Work Unit:**

Per OBC 2024 Section 508.5

Limitations (508.5.1)	<u>Actual</u>
I. Limited to 3,000 sf	<b>2,978 sf</b>
II. Nonresidential use 50% max.	<b>27%</b>

- III. Nonresidential limited to first floor
- IV. Max. nonresidential worker occ. of 5

Occupancy (508.5.2)

- I. Group R-2 occupancy; separation requirements shall not apply
- II. Group H or S are not permitted

Fire protection (508.5.7)

- I. Fire alarm system where required by Section 907.2.9
- II. Automatic sprinkler system in accordance with Section 903.2.8

Per BSD Development Code

Limitations

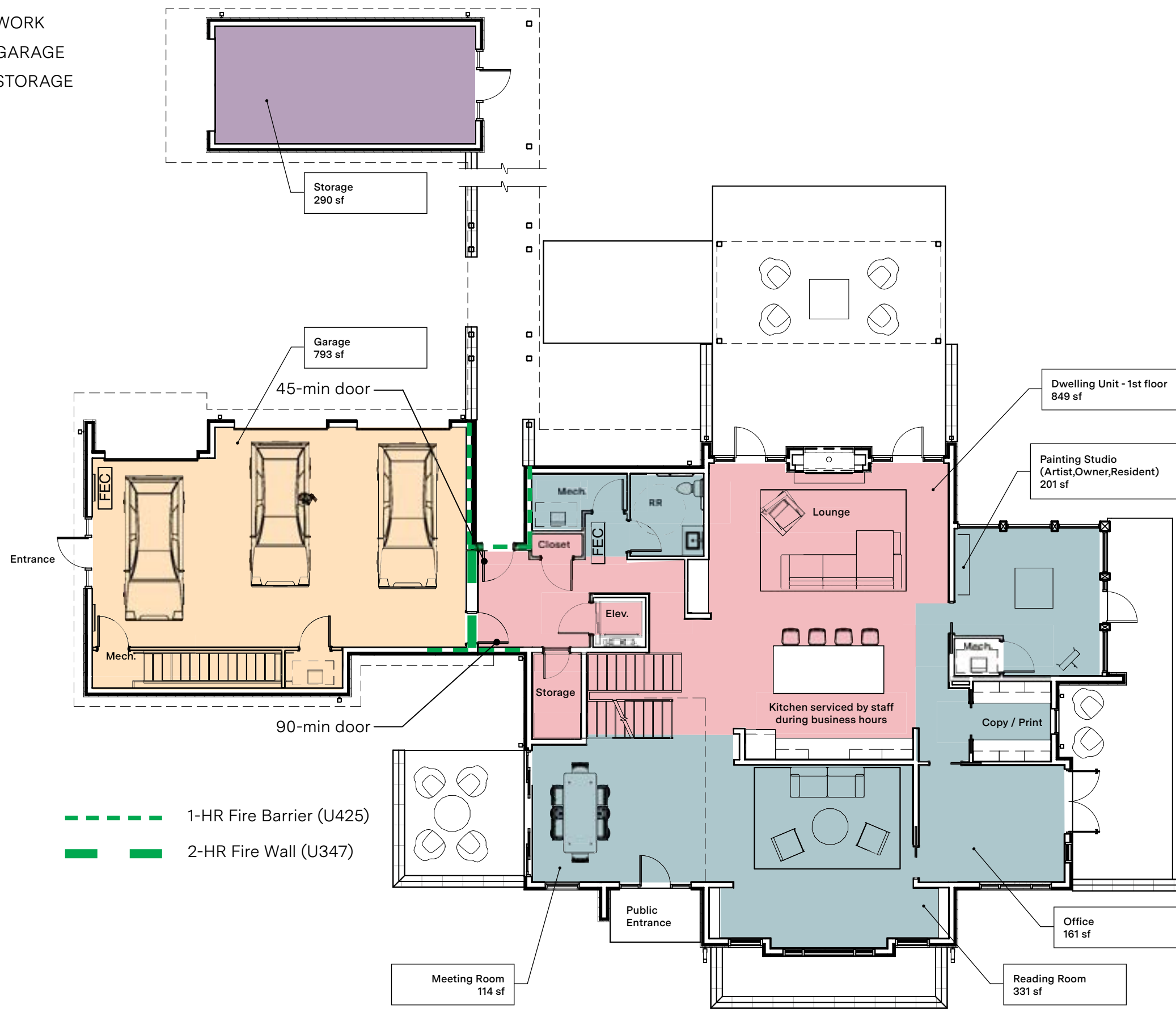
- I. Max. nonresidential worker occ. of 2
- II. Nonresidential use operated by resident of live-work dwelling unit.
- III. Parking: 2 (min.) - 3 (max.) per dwelling unit

**Area Breakdown:**

Shed	<b>290 sf</b>
Garage	
Lower Level	<b>751 sf</b>
First Floor	<b>793 sf</b>
Live-Work	
First Floor	
Residential	<b>1,000 sf</b>
Non-residential	<b>808 sf</b>
Second Floor	
Residential	<b>1,170 sf</b>
Non-residential	<b>0 sf</b>
Total Live-Work Area:	<b>2,978 sf</b>



- LIVE
- WORK
- GARAGE
- STORAGE



**Live-Work Unit:**

Per OBC 2024 Section 508.5  
 Limitations (508.5.1) Actual  
 I. Limited to 3,000 sf **2,978 sf**  
 II. Nonresidential use 50% max. **27%**  
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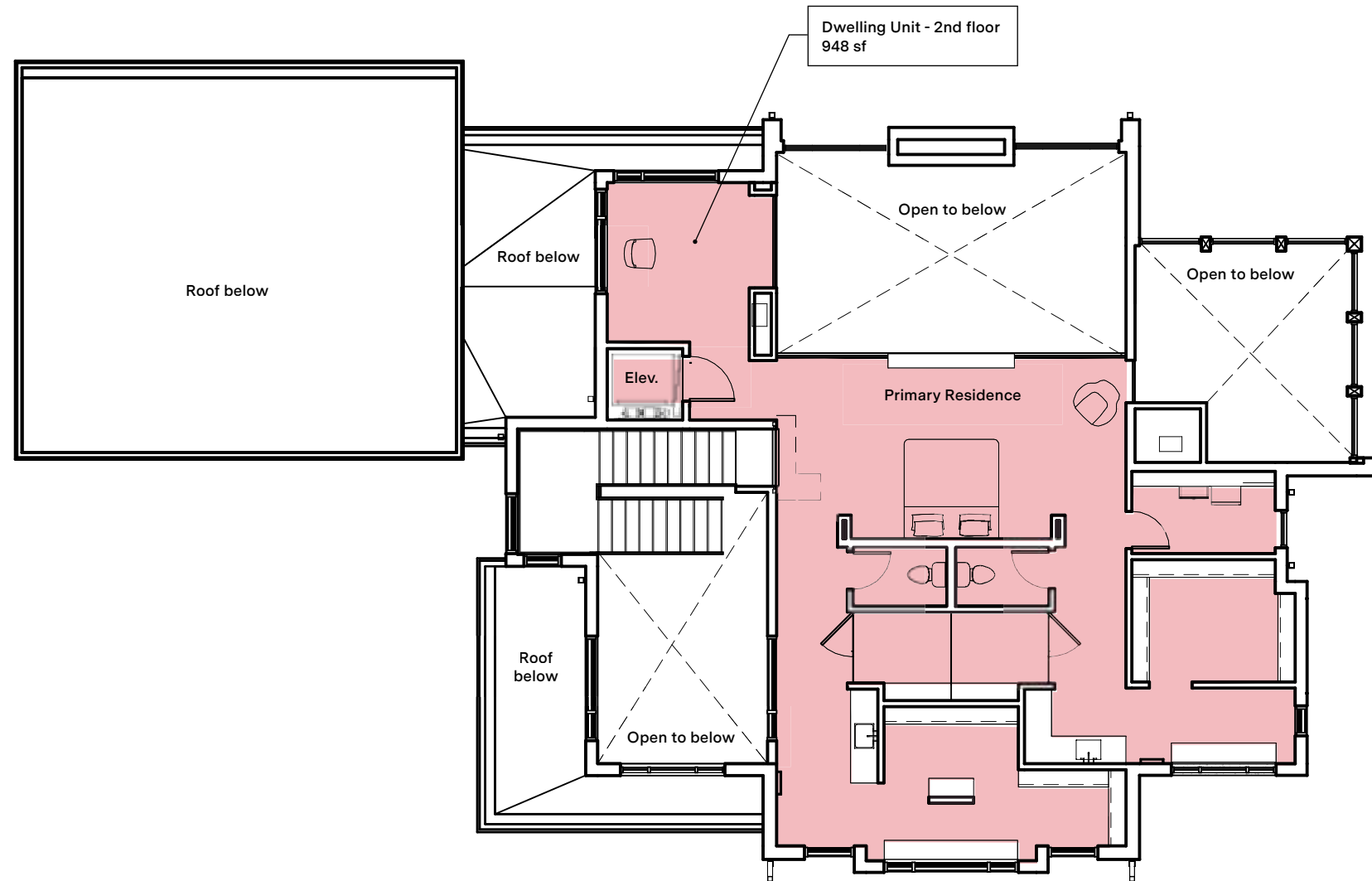
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	Non-residential	<b>0 sf</b>
	<b>Total Live-Work Area:</b>	<b>2,978 sf</b>

- LIVE
- WORK
- GARAGE
- STORAGE



SECOND FLOOR PLAN  
Scale: 3/32" = 1'-0"

**Live-Work Unit:**

Per OBC 2024 Section 508.5

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Per BSD Development Code

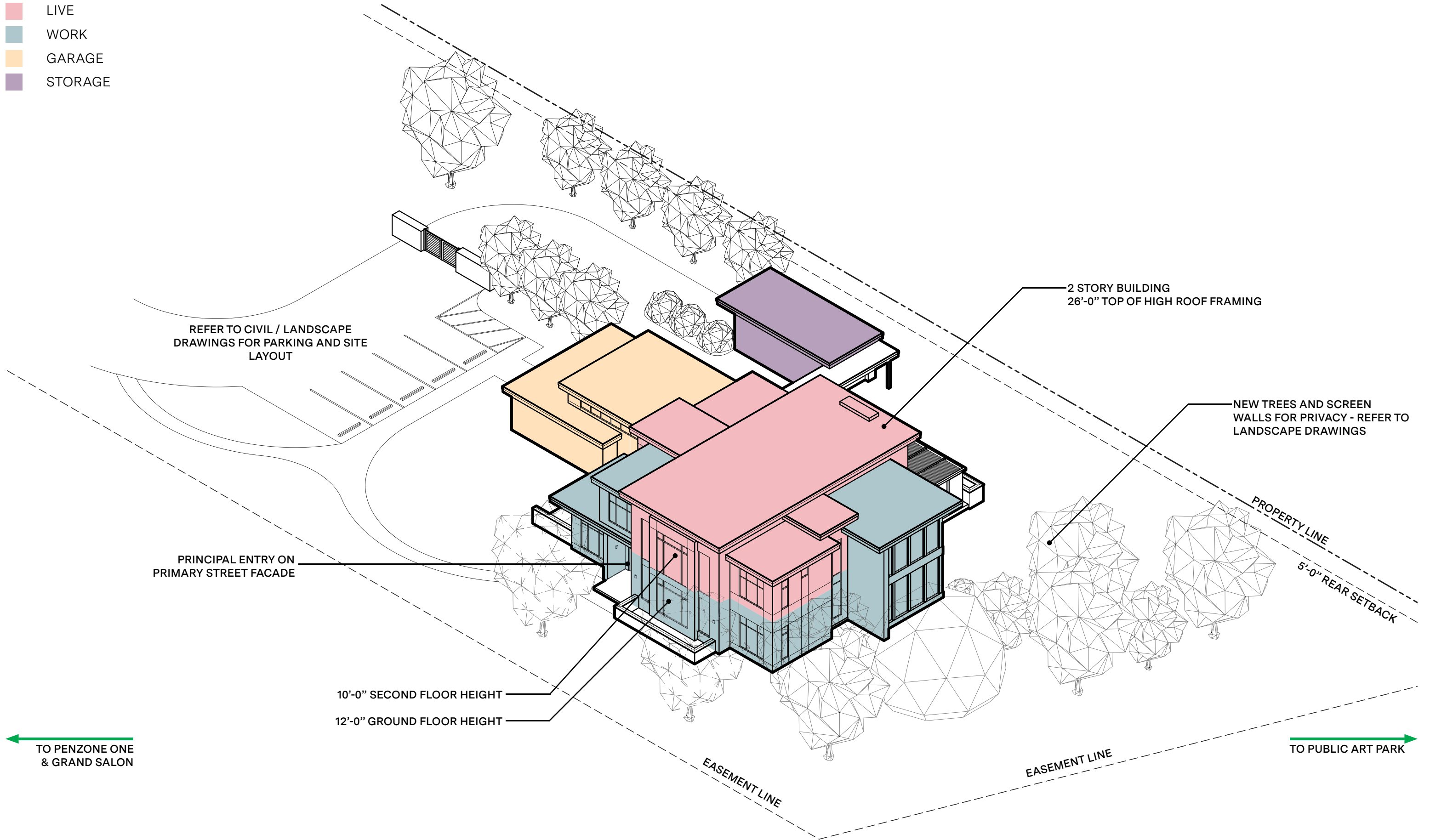
Limitations

- I. Max. nonresidential worker occ. of 2
- II. Nonresidential use operated by resident of live-work dwelling unit.
- III. Parking: 2 (min.) - 3 (max.) per dwelling unit

**Area Breakdown:**




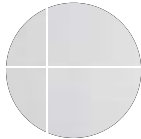


Shed	<b>290 sf</b>
Garage	
Lower Level	<b>751 sf</b>
First Floor	<b>793 sf</b>
Live-Work	
First Floor	
Residential	<b>1,000 sf</b>
Non-residential	<b>808 sf</b>
Second Floor	
Residential	<b>1,170 sf</b>
Non-residential	<b>0 sf</b>
Total Live-Work Area:	<b>2,978 sf</b>

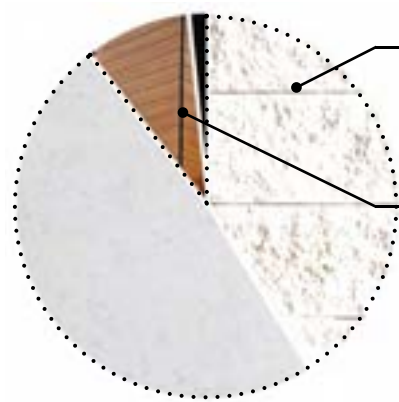
- LIVE
- WORK
- GARAGE
- STORAGE



NORTH ELEVATION CALCULATIONS (STREET FACING)



- 
**Metal**  
 Manufacturer: DMI  
 Product: DynaClad  
 Color: Dark Bronze
- 
**Stacked Stone Veneer**  
 Manufacturer: Eldorado Stone  
 Product: Vantage30  
 Color: White Elm
- 
**Wood Siding**  
 Manufacturer: Trespa  
 Product: Pura NFC  
 Color: Romantic Walnut
- 
**Engineered Stone Panel**  
 Manufacturer: Petrarch  
 Product: Adhesive Secret Fixed System  
 Color: Alabaster Smooth
- 
**Glass Storefront System**  
 Manufacturer: Kawneer Trifab VersaGlaze  
 Product: Trifab VG 451  
 Finish: Architectural Class 1 Black Anodized Aluminum  
 Glazing: 1" Insulated clear
- 
**Exterior Wall Sconce**  
 Manufacturer: Tech Lighting  
 Product: Aspen 26  
 Finish: Charcoal



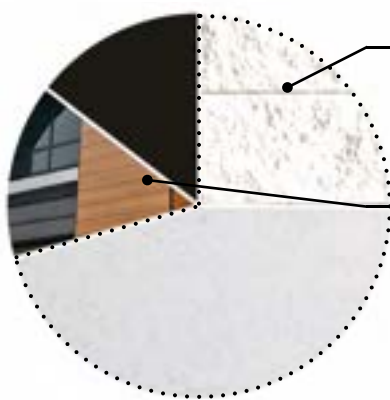
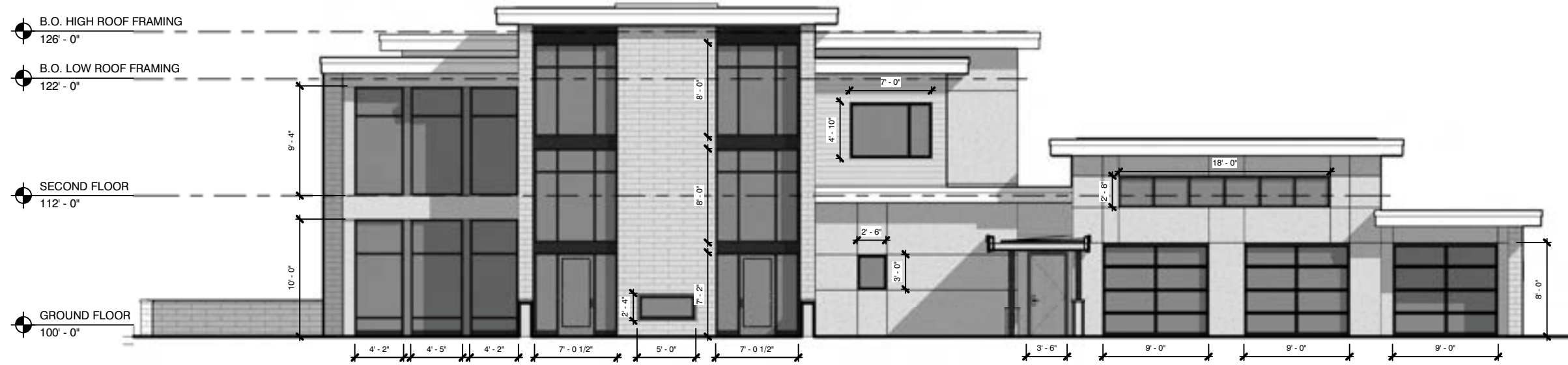
Primary Materials:	1,174 sf	<b>89%</b>
Stacked Stone -	541 sf	
Stone Panel -	633 sf	
Secondary Materials:	139 sf	<b>11%</b>
Wood -	118 sf	
Metal -	21 sf	

Ground Story Transparency:	<b>62%</b> Transparency
Glass (Area) -	200 sf
Total (Area) -	322 sf
Full Facade Transparency:	<b>45%</b> Transparency
Glass (Area) -	554 sf
Total (Area) -	1,238 sf

Required Primary Materials: **80%**

Required Transparency: **60%**

SOUTH ELEVATION CALCULATIONS



Primary Materials:	877 sf	<b>82%</b>
Stacked Stone -	323 sf	
Stone Panel -	554 sf	
Secondary Materials:	191 sf	<b>18%</b>
Wood -	78 sf	
Metal -	113 sf	

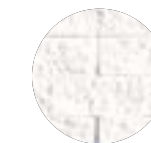
Required Primary Materials: **80%**

Full Facade Transparency:	<b>48%</b> Transparency
Glass (Area) -	956 sf
Total (Area) -	1,986 sf

Required Transparency: **20%**



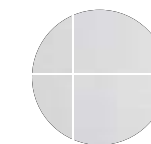
**Metal**  
 Manufacturer: DMI  
 Product: DynaClad  
 Color: Dark Bronze



**Stacked Stone Veneer**  
 Manufacturer: Eldorado Stone  
 Product: Vantage30  
 Color: White Elm



**Wood Siding**  
 Manufacturer: Trespa  
 Product: Pura NFC  
 Color: Romantic Walnut



**Engineered Stone Panel**  
 Manufacturer: Petrarch  
 Product: Adhesive Secret Fixed System  
 Color: Alabaster Smooth



**Glass Storefront System**  
 Manufacturer: Kawneer Trifab VersaGlaze  
 Product: Trifab VG 451  
 Finish: Architectural Class 1 Black Anodized Aluminum  
 Glazing: 1" Insulated clear



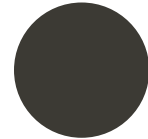


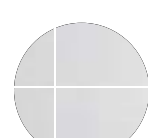

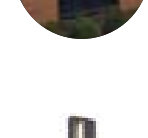
**Exterior Wall Sconce**  
 Manufacturer: Tech Lighting  
 Product: Aspen 26  
 Finish: Charcoal

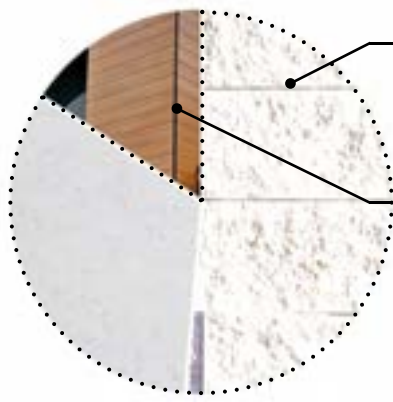
EAST ELEVATION CALCULATIONS



HEIGHT: 1' - 8 1/2"  
 WIDTH: 4' - 6 1/2"  
 TOTAL SF: 7.76 SF



- 
**Metal**  
 Manufacturer: DMI  
 Product: DynaClad  
 Color: Dark Bronze
- 
**Stacked Stone Veneer**  
 Manufacturer: Eldorado Stone  
 Product: Vantage30  
 Color: White Elm
- 
**Wood Siding**  
 Manufacturer: Trespa  
 Product: Pura NFC  
 Color: Romantic Walnut
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**Engineered Stone Panel**  
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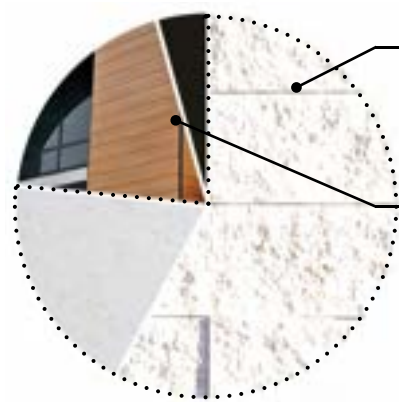
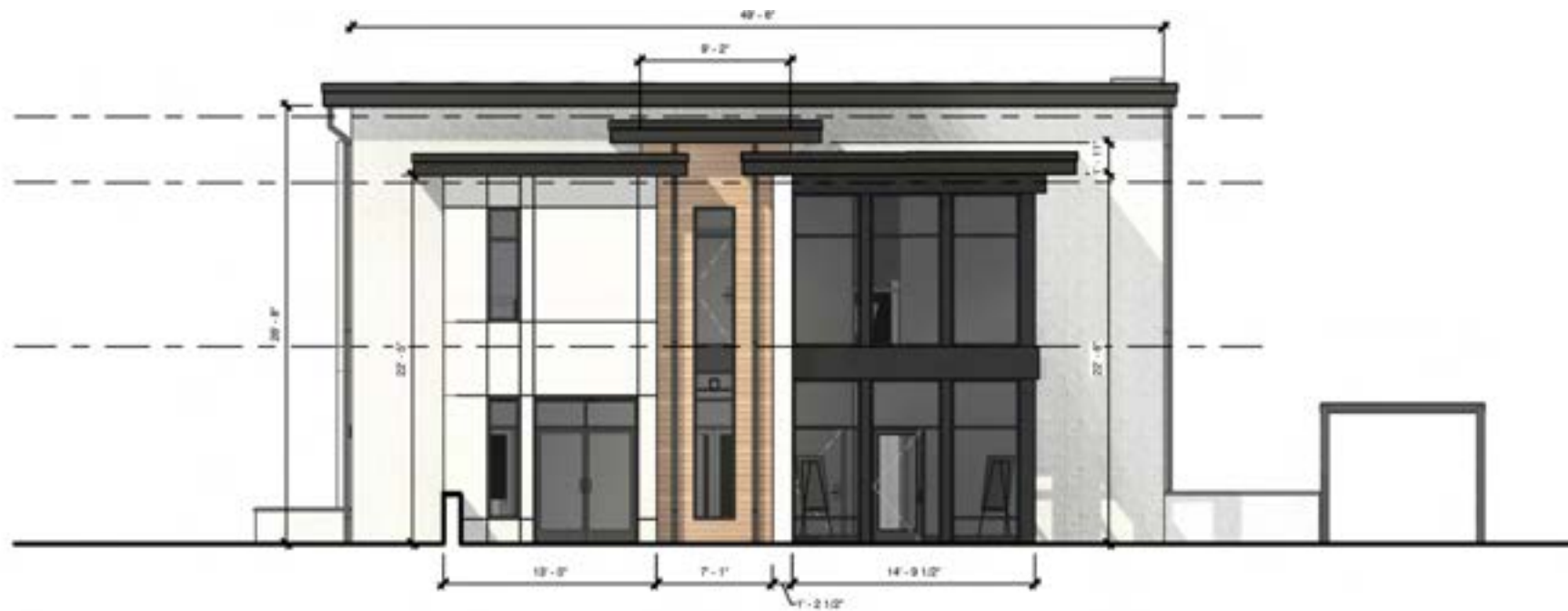
Primary Materials:	929 sf	<b>84%</b>
Stacked Stone -	567 sf	
Stone Panel -	362 sf	
Secondary Materials:	174 sf	<b>16%</b>
Wood -	174 sf	
Metal -	0 sf	

Full Facade Transparency:	<b>28%</b> Transparency
Glass (Area) -	299 sf
Total (Area) -	1, 71 sf

Required Primary Materials: **80%**

Required Transparency: **20%**

WEST ELEVATION CALCULATIONS




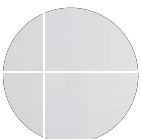




Primary Materials:	706 sf	<b>76%</b>
Stacked Stone -	499 sf	
Stone Panel -	207 sf	
Secondary Materials:	229 sf	<b>24%</b>
Wood -	166 sf	
Metal -	63 sf	

Required Primary Materials: **80%**

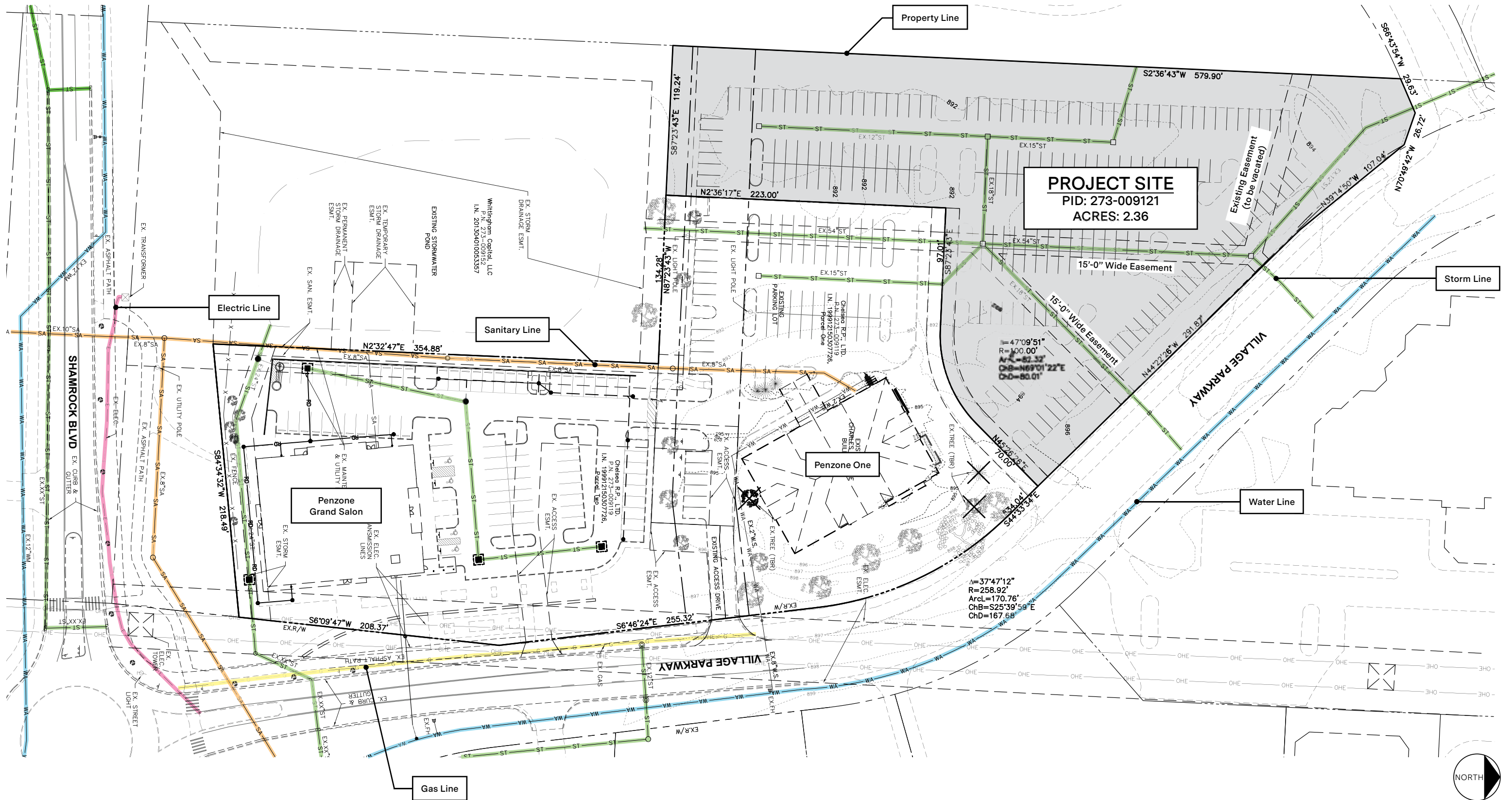
Full Facade Transparency:	<b>32%</b> Transparency
Glass (Area) -	402 sf
Total (Area) -	1,254 sf

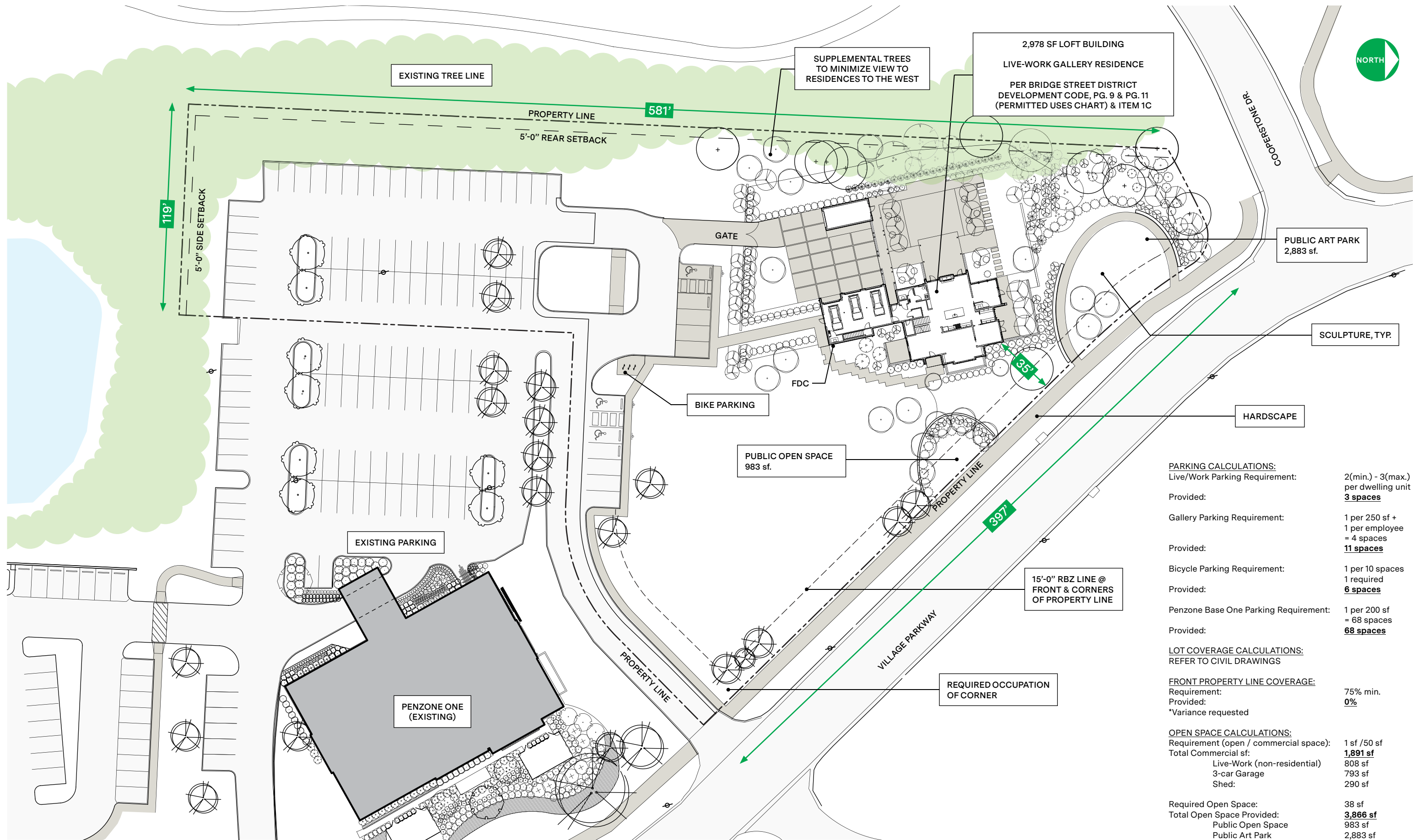
Required Transparency: **20%**

- 
**Metal**  
 Manufacturer: DMI  
 Product: DynaClad  
 Color: Dark Bronze
- 
**Stacked Stone Veneer**  
 Manufacturer: Eldorado Stone  
 Product: Vantage30  
 Color: White Elm
- 
**Wood Siding**  
 Manufacturer: Trespa  
 Product: Pura NFC  
 Color: Romantic Walnut
- 
**Engineered Stone Panel**  
 Manufacturer: Petrarch  
 Product: Adhesive Secret Fixed System  
 Color: Alabaster Smooth
- 
**Glass Storefront System**  
 Manufacturer: Kawneer Trifab VersaGlaze  
 Product: Trifab VG 451  
 Finish: Architectural Class 1 Black Anodized Aluminum  
 Glazing: 1" Insulated clear
- 
**Exterior Wall Sconce**  
 Manufacturer: Tech Lighting  
 Product: Aspen 26  
 Finish: Charcoal









**PARKING CALCULATIONS:**

Live/Work Parking Requirement:	2(min.) - 3(max.) per dwelling unit
Provided:	<b>3 spaces</b>
Gallery Parking Requirement:	1 per 250 sf + 1 per employee = 4 spaces
Provided:	<b>11 spaces</b>
Bicycle Parking Requirement:	1 per 10 spaces
Provided:	<b>6 spaces</b>
Penzone Base One Parking Requirement:	1 per 200 sf = 68 spaces
Provided:	<b>68 spaces</b>

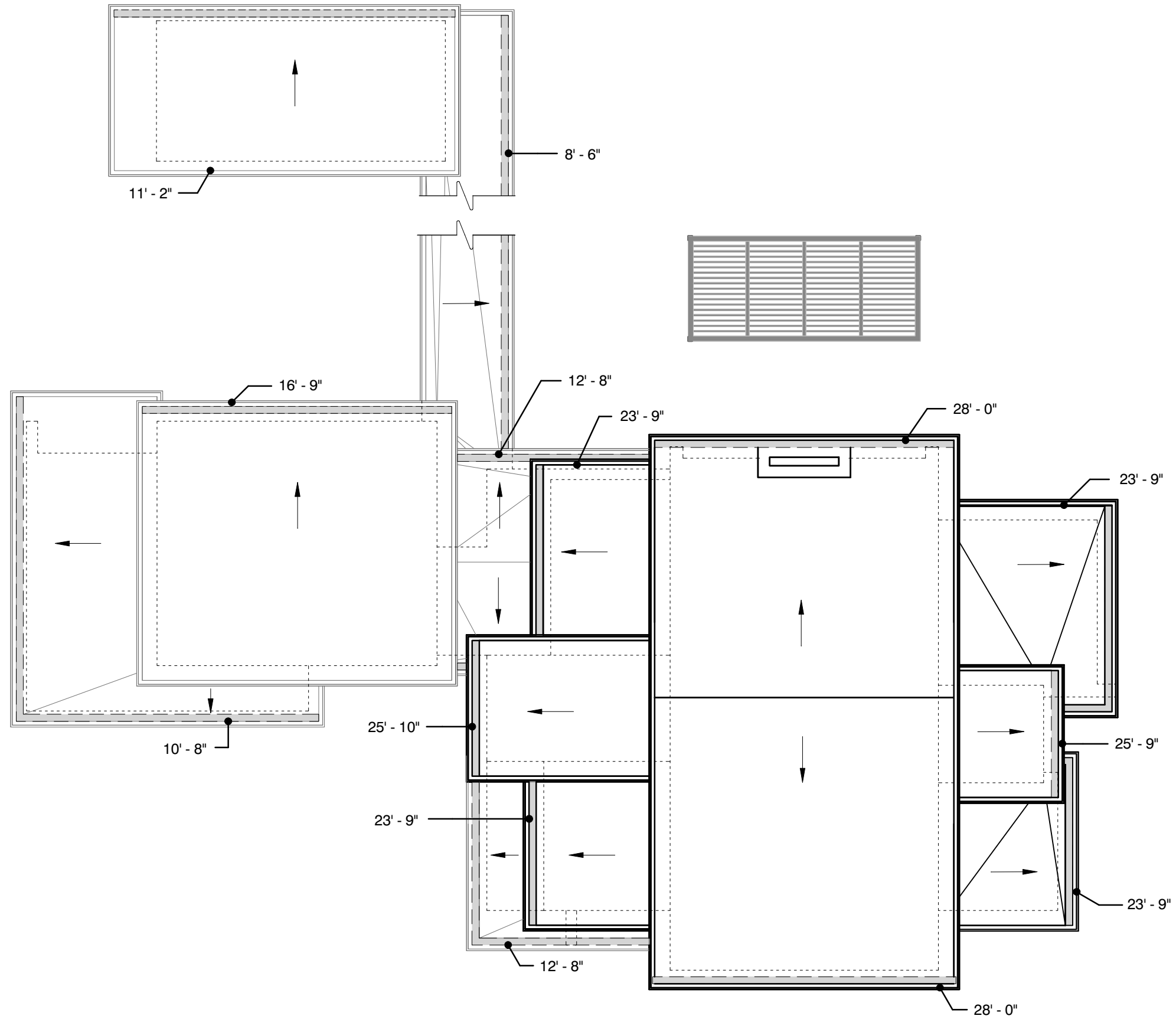
**LOT COVERAGE CALCULATIONS:**  
REFER TO CIVIL DRAWINGS

**FRONT PROPERTY LINE COVERAGE:**

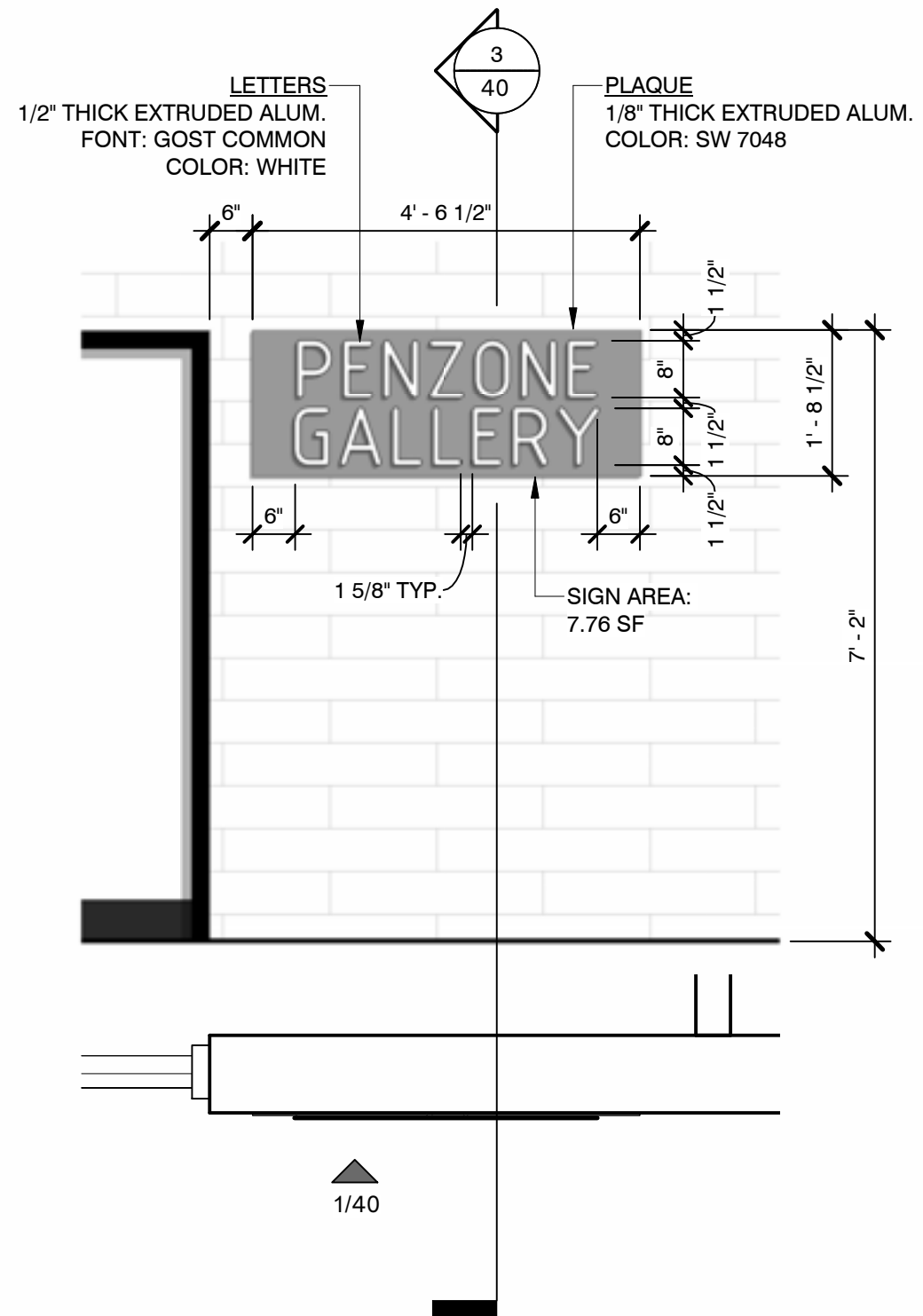
Requirement:	75% min.
Provided:	<b>0%</b>
*Variance requested	

**OPEN SPACE CALCULATIONS:**

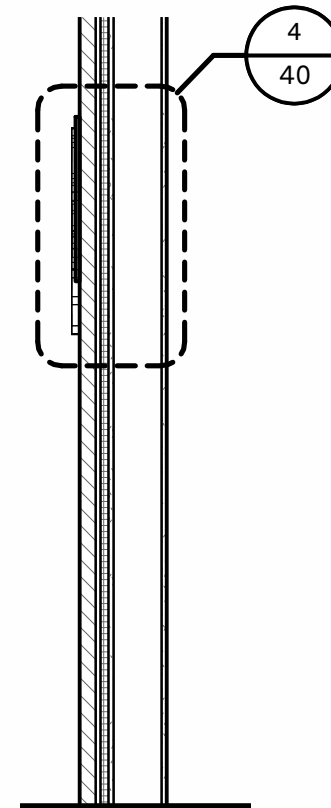
Requirement (open / commercial space):	1 sf / 50 sf
Total Commercial sf:	<b>1,891 sf</b>
Live-Work (non-residential)	808 sf
3-car Garage	793 sf
Shed:	290 sf
Required Open Space:	38 sf
Total Open Space Provided:	<b>3,866 sf</b>
Public Open Space	983 sf
Public Art Park	2,883 sf



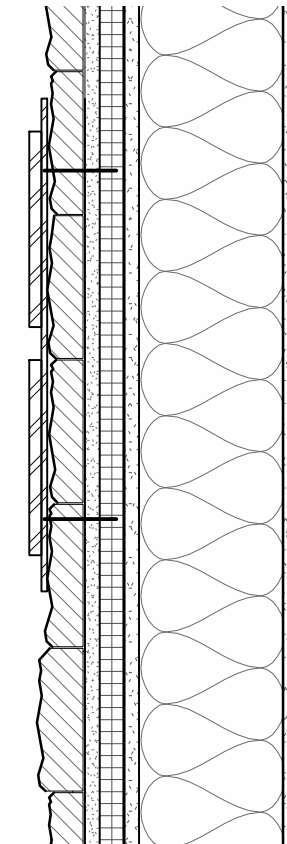
ROOF PLAN  
Scale: 3/32" = 1'-0"



1 | SIGN ELEVATION / 2 | PLAN  
Scale: 1/2" = 1'-0"



3 | SIGN SECTION  
Scale: 1/2" = 1'-0"



4 | SIGN DETAIL  
Scale: 1 1/2" = 1'-0"

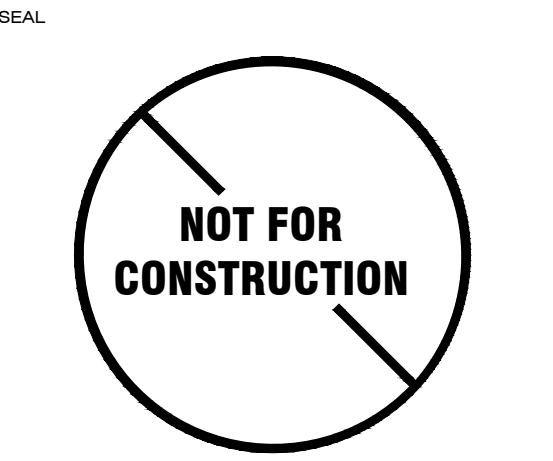
**M-Engineering**  
 750 Brookside Blvd.  
 Westerville, Ohio 43081  
 phone: 614.839.4639  
 fax: 614.839.2222  
 www.mengineering.us.com

**meyers+associates**  
 ARCHITECTURE · INTERIOR DESIGN  
 232 N. THIRD STREET, SUITE 300  
 COLUMBUS, OH 43215  
 614.221.9433  
 MEYERSARCHITECTS.COM

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DESCRIPTION	DATE
PROGRESS PRINT	11.03.23
PROGRESS PRINT	03.06.24
PROGRESS PRINT	05.02.24

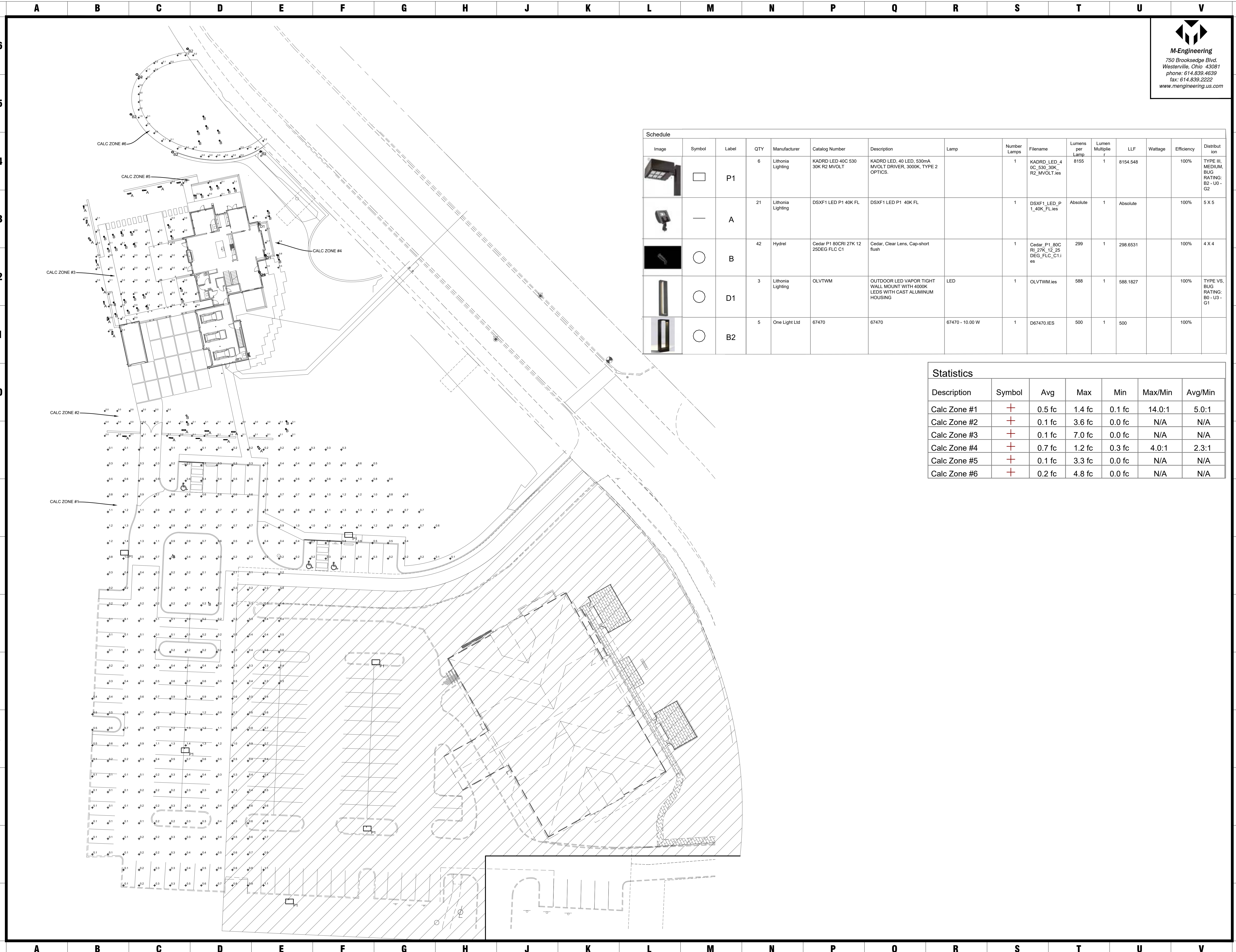
SHEET TITLE  
**SITE LIGHTING PHOTOMETRIC CALCULATION**  
 PROJECT TITLE  
**PENZONE LIVE-WORK**  
 Dublin, OH



MEYERS+ASSOCIATES PROJECT NUMBER  
**2023-06**  
 SHEET NUMBER  
**SL-100**

Image	Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	Lumen Multiple	LLF	Wattage	Efficiency	Distribution
	□	P1	6	Lithonia Lighting	KADR LED 40C 530 30K R2 MVOLT	KADR LED, 40 LED, 530mA MVOLT DRIVER, 3000K, TYPE 2 OPTICS.		1	KADR_LED_40C_530_30K_R2_MVOLT.ies	8155	1	8154.548		100%	TYPE III, MEDIUM, BUG RATING: B2 - U0 - G2
	—	A	21	Lithonia Lighting	DSXF1 LED P1 40K FL	DSXF1 LED P1 40K FL		1	DSXF1_LED_P1_40K_FL.ies	Absolute	1	Absolute		100%	5 X 5
	○	B	42	Hydrel	Cedar P1 80CRI 27K 12 25DEG FLC C1	Cedar, Clear Lens, Cap-short flush		1	Cedar_P1_80CRI_27K_12_25DEG FLC_C1.ies	299	1	298.6531		100%	4 X 4
	○	D1	3	Lithonia Lighting	OLVTWM	OUTDOOR LED VAPOR TIGHT WALL MOUNT WITH 4000K LEDES WITH CAST ALUMINUM HOUSING	LED	1	OLVTWM.ies	588	1	588.1827		100%	TYPE VS, BUG RATING: B0 - U3 - G1
	○	B2	5	One Light Ltd	67470	67470	67470 - 10.00 W	1	D67470.IES	500	1	500		100%	

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.5 fc	1.4 fc	0.1 fc	14.0:1	5.0:1
Calc Zone #2	+	0.1 fc	3.6 fc	0.0 fc	N/A	N/A
Calc Zone #3	+	0.1 fc	7.0 fc	0.0 fc	N/A	N/A
Calc Zone #4	+	0.7 fc	1.2 fc	0.3 fc	4.0:1	2.3:1
Calc Zone #5	+	0.1 fc	3.3 fc	0.0 fc	N/A	N/A
Calc Zone #6	+	0.2 fc	4.8 fc	0.0 fc	N/A	N/A





Penzone Live-Work

# Visualization





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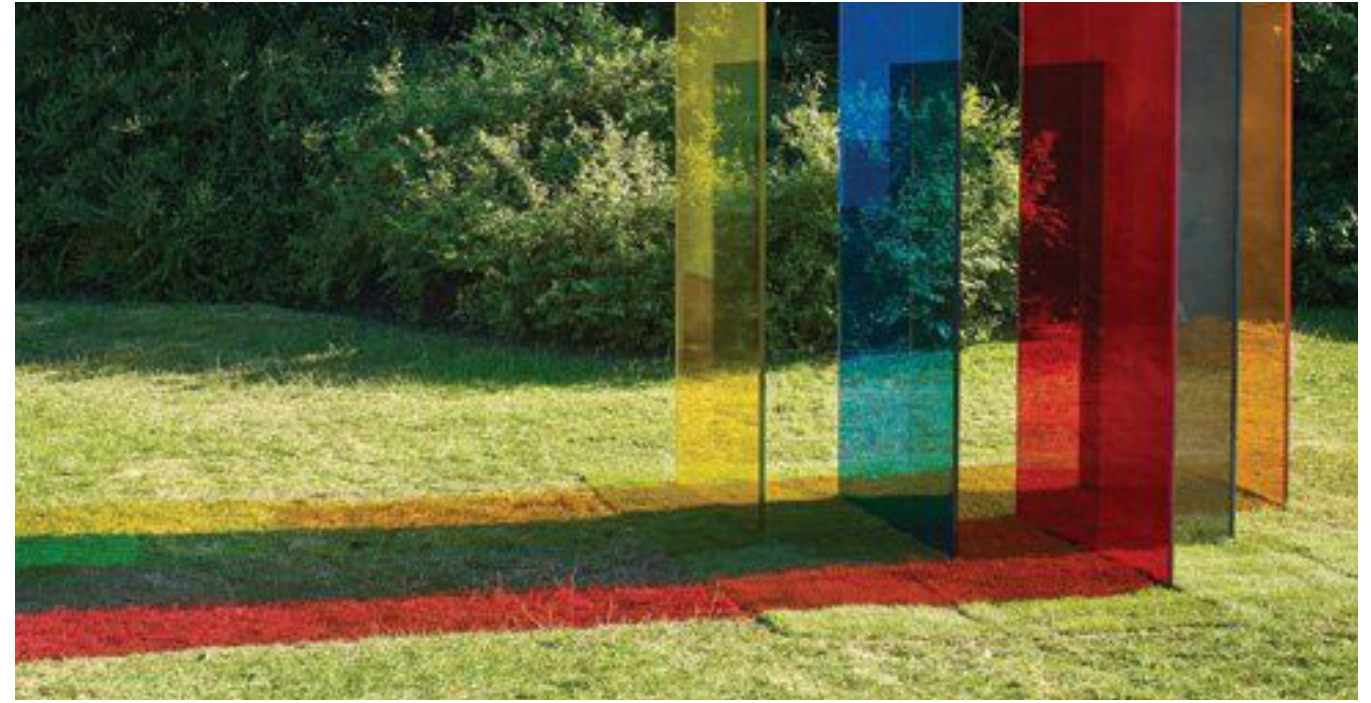
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