

ALTA/NSPS LAND TITLE SURVEY

SITUATED IN:
 VIRGINIA MILITARY SURVEY NUMBER 2542
 AND ORIGINAL PLAT OF DUBLIN (P.B. 3, PG. 199)
 CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

LEGAL DESCRIPTION

PARCEL ID: 273-000042 **PROPERTY ADDRESS: 37 N. Riverview Street, Dublin, OH 43017**
 Situated in the State of Ohio, County of Franklin and in the City of Dublin:
 Being Lot Number One Hundred Thirteen (113) of said Village, as the same is numbered and delineated on the recorded plat thereof, of record in Plat Book No. 1, page 193, and Plat Book 3, page 199, Recorder's Office, Franklin County, Ohio.

PARCEL ID: 273-000073 **PROPERTY ADDRESS: 45 N. Riverview Street, Dublin, OH 43017**
 Situated in the State of Ohio, County of Franklin and in the City of Dublin formerly Village of Dublin:
 Being Lot Number One Hundred Fourteen (114) of said Village of Dublin and being the same premises conveyed to Amelia Wing and husband Marian J. Shipman by deed dated March 23, 1880.

PARCEL ID: 273-000098 **PROPERTY ADDRESS: 53 N. Riverview Street, Dublin, OH 43017**
 Situated in the County of Franklin, State of Ohio, and in the City of Dublin, formerly the Village of Dublin:
 Being Lot Number One Hundred Fifteen (115) in said City (formerly Village) of Dublin, as said lot is numbered and delineated on the recorded plat of said Village of record in Plat Book 3, page 199, in the Recorder's Office, Franklin County, Ohio.

PARCEL ID: 273-005565 **PROPERTY ADDRESS: 62 N. Riverview Street, Dublin, OH 43017**
 Situated in the State of Ohio, County of Franklin, City of Dublin, in Virginia Military Survey No. 2542, and being a portion of a 0.829 acre tract of land conveyed to Thomas L. and William H. Bassett by deed of record in Official Record 8438 E19, Recorder's Office, Franklin County, Ohio, and bounded and described as follows:

Beginning at a 3/4 inch I.D. iron pipe set at the intersection of the north line of Darby Street (66 feet wide) with the east line of Riverview Street (formerly Lower Street) (32 feet wide), at the northwest corner of said 0.829 acre tract, in a south line of a 9.253 acre tract of land (by recent survey by others) conveyed to Rivers Edge Two by deed of record in Official Record 6494 G09, Recorder's Office, Franklin County, Ohio and at the northwest corner of the easterly 18.00 feet of Riverview Street (originally 50 feet wide), as said 18.00 feet was vacated by Ordinance No. 3-46 of the Council of the Village of Dublin, Ohio, passed March 4, 1946;

Thence South 83° 48' 20" East along the north line of said 0.829 acre tract, along the north line of said vacated strip and along a portion of the south line of said 9.253 acre tract, a distance of 18.00 feet to a 1/4 inch I.D. iron pipe set at a corner of said 0.829 acre tract, at the northeast corner of said vacated strip and at a said 9.253 acre tract;

Thence North 10° 32' 00" West, along a west line of said 0.829 acre tract and along a line of said 9.253 acre tract, a distance of 21.93 feet to a 3/4 inch I.D. iron pipe set in an old stone wall, at a northwest corner of said 0.829 acre tract and at a corner of said 9.253 acre tract;

Thence South 89° 30' 48" East, along said old stone wall, along a north line of said 0.829 acre tract and along a south line of said 9.253 acre tract, a distance of 356.00 feet to a point on the approximate west bank of the Scioto River and the northeast corner of said 0.829 acre tract (passing a 1/4 inch I.D. iron pipe set in said old stone wall at 283.12 feet);

Thence South 0° 01' 26" West down the approximate west bank of the Scioto River and along a portion of east line of said 0.829 acre tract, a distance of 74.37 feet to a point;

Thence North 89° 30' 48" West, parallel with and 74.37 feet southerly by perpendicular measurement from said old stone wall, from a north line of said 0.829 acre tract and from a south line of said 9.253 acre tract and crossing said 0.829 acre tract a distance of 360.46 feet to a point in the east line of Riverview Street, in a west line of said 0.829 acre tract and in west line of said vacated strip;

Thence North 10° 32' 00" West along the east line of Riverview Street, along a portion of the west line of said 0.829 acre tract and parallel with and 18.00 feet westerly by perpendicular measurement from the original east line of Riverview Street, a distance of 55.76 feet to a Place of Beginning, CONTAINING 0.619 ACRE OF LAND, more or less.

PARCEL ID: 273-005564 **PROPERTY ADDRESS: N. Riverview Street, Dublin, OH 43017**
 Situated in the State of Ohio, County of Franklin, City of Dublin, in Virginia Military Survey No. 2542, and being 0.210 acre out of a 0.829 acre tract of land conveyed to Thomas L. and William H. Bassett by deed of record in Official Record 8438, Page E19, Recorder's Office, Franklin County, Ohio, and 0.976 acre out of a 2.351 acre tract of land conveyed to Thomas L. and William H. Bassett by deed of record in Official Record 8438, Page E14, Recorder's Office, Franklin County, Ohio, and bounded and described as follows:

Beginning, for reference, at a 3/4 inch I.D. iron pipe set at the intersection of the North line of Darby Street (66 feet wide) with the east line of Riverview Street (formerly Lower Street) (32 feet wide), at the Northwest corner of said 0.829 acre tract, in a north line of a 9.253 acre tract of land (by recent survey by others) conveyed to Rivers Edge Two by deed of record in Official Record 6494, Page G09, Recorder's Office, Franklin County, Ohio, and at the Northwest corner of the Easterly 18.00 feet of Riverview Street (originally 50 feet wide), as said 18.00 feet was vacated by Ordinance No. 3-46 of the Council of the Village of Dublin, passed March 4, 1946;

Thence S 10 deg, 32'00" E along the East line of Riverview Street, along a portion of a West line of said 0.829 acre tract and parallel with and 18.00 feet Westerly by perpendicular measurement from the original East line of Riverview Street a distance of 55.78 feet to a point at the true beginning of the tract herein intended to be described;

Thence South 89 deg, 30'48" E parallel with and 76.37 feet Southerly by perpendicular measurement from a North line of said 0.829 acre tract and from a South line of said 9.253 acre tract and crossing said 0.829 acre tract a distance of 360.44 feet to a point on the approximate West bank of the Scioto River and in the East line of said 0.829 acre tract;

Thence S 0 deg, 01' 26" W down the approximate West bank of the Scioto River along a portion of the East line of said 0.829 acre tract and along an East line of said 2.351 acre tract a distance of 52.38 feet to a point at the corner of said 2.351 acre tract (passing a point at the Southeast corner of said 0.829 acre tract and at a Northeast corner of said 2.351 acre tract at 29.63 feet);

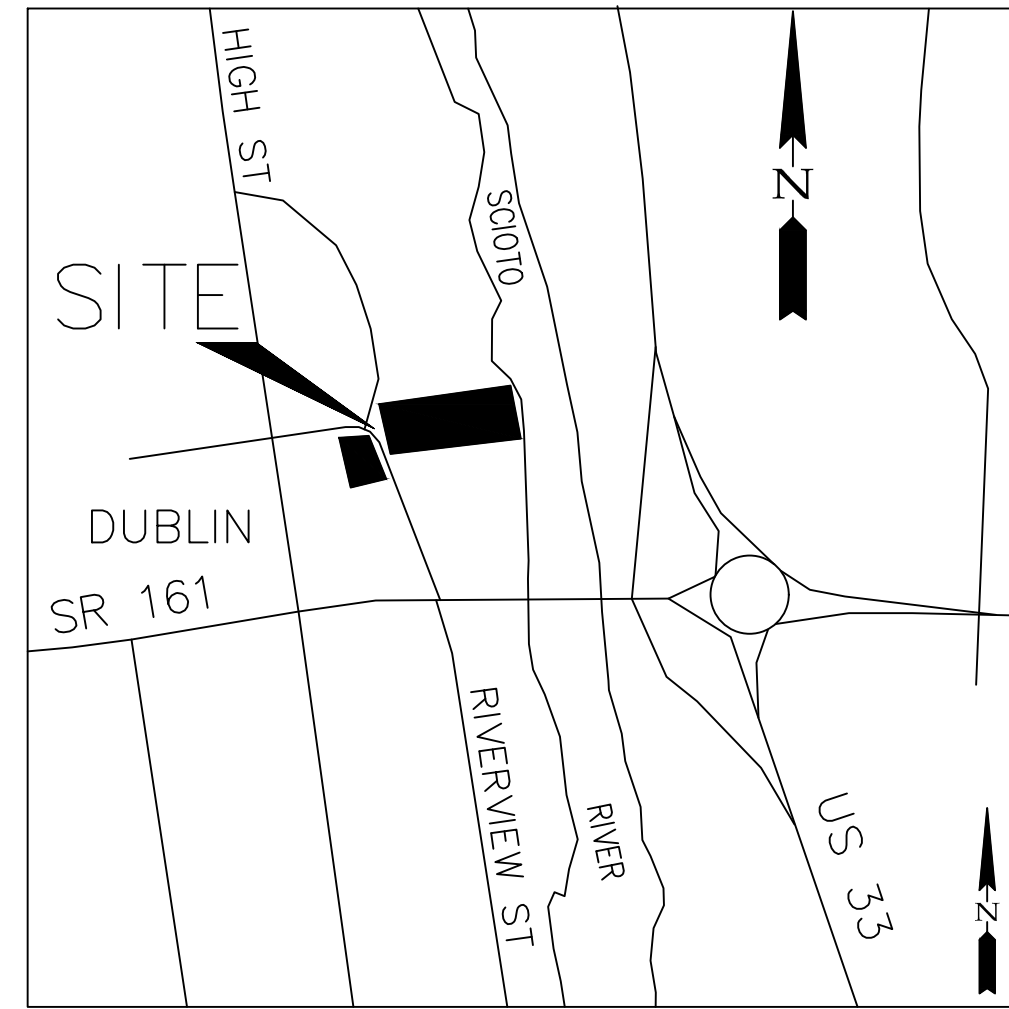
Thence S 89 deg 27' 27" E along a North line of said 2.351 acre tract a distance of 10.80 feet to a point on the approximate West bank of the Scioto River and at the Northeast corner of said 2.351 acre tract;

Thence S 5 deg, 18' 43" W down the approximate West bank of the Scioto River and along a portion of an East line of said 2.351 acre tract a distance of 95.18 feet to a point;

Thence N 89 deg, 30' 48" W parallel with a North line of said 0.829 acre tract and parallel with a South line of said 9.253 acre tract and crossing said 2.351 acre tract a distance of 325.00 feet to a point in the East line of Riverview Street, in a West line of said 2.351 acre tract and in the West line of said vacated strip;

Thence N. 10 deg, 32' 00" W along the East line of Riverview Street, along a portion of the West line of said 2.351 acre tract, along a portion of the West line of said 0.829 acre tract and parallel with and 18.00 feet Westerly by perpendicular measurement from the original East line of Riverview Street a distance of 150.00 feet to the Place of beginning (passing a point at the Northwest corner of said 2.351 acre tract and at the Southwest corner of said 0.829 acre tract at 123.39 feet);

Containing 1.186 acres of land, more or less.



LAT: 40°06'03"N / LON: 83°06'46"W

VICINITY MAP
(NOT TO SCALE)

LEGEND

- | | | |
|-----------------------|------------------|-------------------|
| R/W ROAD RIGHT-OF-WAY | VERTICAL BM | STORM MANHOLE |
| PROPERTY LINE | IRON PIPE FOUND | STORM CATCH BASIN |
| DECIDUOUS TREE | IRON PIN FOUND | SANITARY MANHOLE |
| EVERGREEN TREE | IRON PIN SET | SANITARY CLEANOUT |
| BUSH | DRILL HOLE SET | POWER POLE |
| MAILBOX | MAG SPIKE SET | TEL. POLE |
| HYDRANT | SIGN | GUY ANCHOR |
| WATER VALVE | TRAFFIC PULL BOX | ELECTRIC BOX |
| WATER METER | GAS METER | TEL./CABLE BOX |
| WATER WELL | GAS VALVE | |

STORM AND SANITARY SEWER INVERT INFORMATION

- | | | |
|--|---|---|
| #216 STORM MANHOLE
COULD NOT OPEN; INV. PER PLAN
T/C EL.=801.84
INV. 15" WEST EL.=796.16
INV. 36" NORTH EL.=794.59
INV. 36" EAST EL.=794.52 | #130 CATCH BASIN
INLET EL.=801.39
INV. 18" WEST EL.=795.40
INV. 18" EAST EL.=795.48 | #132 SANITARY MANHOLE
T/C EL.=801.84
INV. 8" WEST EL.=790.94
INV. 36" NORTH EL.=789.90
INV. 36" SOUTH EL.=789.77 |
| #247 STORM MANHOLE
COULD NOT OPEN; INV. PER PLAN
T/C EL.=801.99
INV. 15" NORTH EL.=797.29
INV. 18" WEST EL.=796.99
INV. 18" EAST EL.=796.94 | #215 CATCH BASIN
INLET EL.=801.50
INV. 36" WEST EL.=794.36
INV. 36" EAST EL.=793.63 | #657 SANITARY MANHOLE
T/C EL.=808.26
INV. 8" WEST EL.=800.96
INV. 8" NORTH EL.=799.34
INV. 8" SOUTH EL.=799.47
INV. 36" EAST EL.=799.40 |
| #893 STORM MANHOLE
COULD NOT OPEN; INV. PER PLAN
T/C EL.=803.96
INV. 36" WEST EL.=796.23
INV. 36" SOUTH EL.=796.24 | #217 CATCH BASIN
INLET EL.=801.53
INV. 6" WEST EL.=799.50
INV. 6" NORTH EL.=799.44
INV. 24" EAST EL.=796.60 | #883 SANITARY MANHOLE
T/C EL.=805.32
COULD NOT MEASURE; RUSHING WATER; INV. PER PLAN
INV. 24" WEST EL.=790.94
INV. 36" NORTH EL.=790.87
INV. 36" SOUTH EL.=790.87 |
| #894 STORM MANHOLE
COULD NOT OPEN; INV. PER PLAN
T/C EL.=805.32
INV. 36" WEST EL.=796.59
INV. 36" EAST EL.=796.71 | #654 CATCH BASIN
INLET EL.=807.92
INV. 12" SOUTH EL.=802.87 | #892 SANITARY MANHOLE
T/C EL.=804.23
INV. 36" NORTH EL.=790.38
INV. 36" SOUTH EL.=790.20 |
| #943 STORM MANHOLE
COULD NOT OPEN; INV. PER PLAN
T/C EL.=808.38
INV. 15" NORTHWEST EL.=800.58
INV. 15" SOUTH EL.=802.28
INV. 36" WEST EL.=798.49
INV. 36" EAST EL.=798.32 | #655 CATCH BASIN
INLET EL.=808.18
INV. 12" NORTH EL.=802.73
INV. 18" SOUTH EL.=802.65
INV. 18" EAST EL.=802.13 | #942 SANITARY MANHOLE
T/C EL.=808.47
INV. 24" WEST EL.=798.62
INV. 24" EAST EL.=798.36 |
| | #656 CATCH BASIN
INLET EL.=808.36
INV. 18" SOUTH EL.=802.92
INV. 18" NORTH EL.=802.88 | |
| | #813 CATCH BASIN
INLET EL.=808.30
INV. 8" WEST EL.=803.92
INV. 15" NORTH EL.=804.15 | |
| | #989 CATCH BASIN
INLET EL.=809.70
INV. 12" SOUTHEAST EL.=803.64 | |

HORIZONTAL CONTROL

HORIZONTAL DATUM: STATE PLANE
 OHIO SOUTH ZONE
 NAD83(2023), US SURVEY FEET

CONTROL POINT 107: 8" MAG HUB
 N: 765836.20 E: 1796982.46

CONTROL POINT 109: 8" MAG HUB
 N: 765565.99 E: 1797092.24

CONTROL POINT 115: 8" MAG HUB
 N: 765904.81 E: 1797246.93

CONTROL POINT 405: 8" MAG HUB
 N: 765578.82 E: 1796984.54

CONTROL POINT 589: 8" MAG HUB
 N: 765708.31 E: 1796950.76

CONTROL POINT 1094: 8" MAG HUB
 N: 765872.46 E: 1797068.44

VERTICAL BENCHMARKS

VERTICAL DATUM: NAVD '88

SITE BM A: A CHISELED "X" SET ON THE EAST RIM OF THE SANITARY MANHOLE LOCATED ON THE EAST SIDE OF THE INTERSECTION OF NORTH RIVERVIEW STREET AND NORTH STREET.
 ELEV=805.32

SITE BM B: A CHISELED "X" SET ON THE NORTH RIM OF THE SANITARY MANHOLE LOCATED AT THE INTERSECTION OF NORTH RIVERVIEW STREET AND WING HILL ALLEY.
 ELEV=801.81

FLOOD NOTE

FLOODPLAIN BOUNDARIES SHOWN PER F.E.M.A. FIRM No. 39049C0151K, WITH AN EFFECTIVE DATE OF 6/17/2008. SUBJECT PROPERTY WITHIN ZONES X AND AE.

ZONING

PARCELS 273-000042, 273-000073, AND 273-000098 ARE CURRENTLY ZONED HD-HR: HISTORICAL RESIDENTIAL.
 PARCELS 273-005564 AND 273-005565 ARE CURRENTLY ZONED HD-P: HD PUBLIC.

SURVEY NOTES

- BEARINGS HERON BASED ON N251°17'W FOR THE EASTERLY RIGHT OF WAY LINE OF N. RIVERVIEW ST., PER AN OHIO RTN. SURVEY, SPCS GRID, OHIO SOUTH ZONE, NAD83, 2023 ADJUSTMENT, US SURVEY FEET.
- UTILITIES SHOWN HEREON BASED ON FIELD EVIDENCE, RECORD PLANS AND MARKINGS THROUGH CALL TO OUPS, TICKET Nos. A400801291, A400801278, B400800626, AND A400801252.

TITLE NOTES

ITEMS LISTED BELOW AND PLOTTED HEREON ARE AS LISTED IN SCHEDULE B, PART II EXCEPTION OF AMERITITLE, A DIVISION OF CHICAGO TITLE INSURANCE COMPANY, TITLE COMMITMENT No. C24010003, DATED 01/04/2024.

ITEM 16: TEMPORARY EASEMENT FOR CONSTRUCTION AS SET FORTH IN DOCUMENT: DEED BOOK 3511, PAGE 872
 GRANTED TO: THE VILLAGE OF DUBLIN, OHIO

ITEM 22: EASEMENTS, IF ANY, FOR PUBLIC UTILITIES, PIPELINES OR FACILITIES IN ANY PORTION OF VACATED RIVERVIEW STREET, LYING WITHIN THE LAND, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS TO REPAIR, MAINTAIN, REPLACE AND REMOVE THE SAME.

CERTIFICATION

TO COHATCH LLC, AMERITITLE, A DIVISION OF CHICAGO TITLE INSURANCE COMPANY, TALON TITLE AGENCY AND TELHIO CREDIT UNION, INC., ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTEREST MAY APPEAR:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-9, 11, 13, 15-18, OF TABLE A THEREOF.
 THE FIELDWORK WAS COMPLETED ON 01/24/2024.

DATE OF PLAT OR MAP: 01/30/2024

EXISTING
 CONDITIONS

DRAWING NO.
C002

SHEET
 1/2

ALTA/NSPS LAND TITLE SURVEY
 37, 45, 53 & 62 N. RIVERVIEW ST.
 DUBLIN, OH 43017

REVISIONS

SCALE: 1"=20'

WLS JOB No.: 23-321

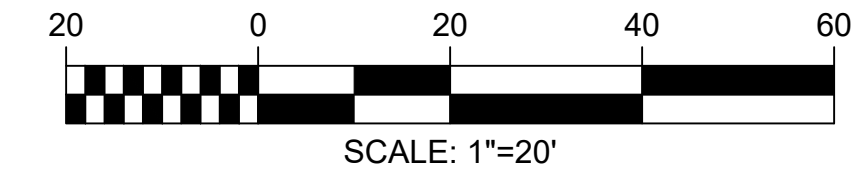
DATE: 01/30/2024

CLIENT: COHATCH

F.B./P.C.: 44/1-14

8850 COMMERCE LOOP DR
 COLUMBUS, OH 43240
 (614) 899-2209

SITUATED IN:
 VIRGINIA MILITARY SURVEY NUMBER 2542
 AND ORIGINAL PLAT OF DUBLIN (P.B. 3, PG. 199)
 CITY OF DUBLIN, FRANKLIN COUNTY, OHIO



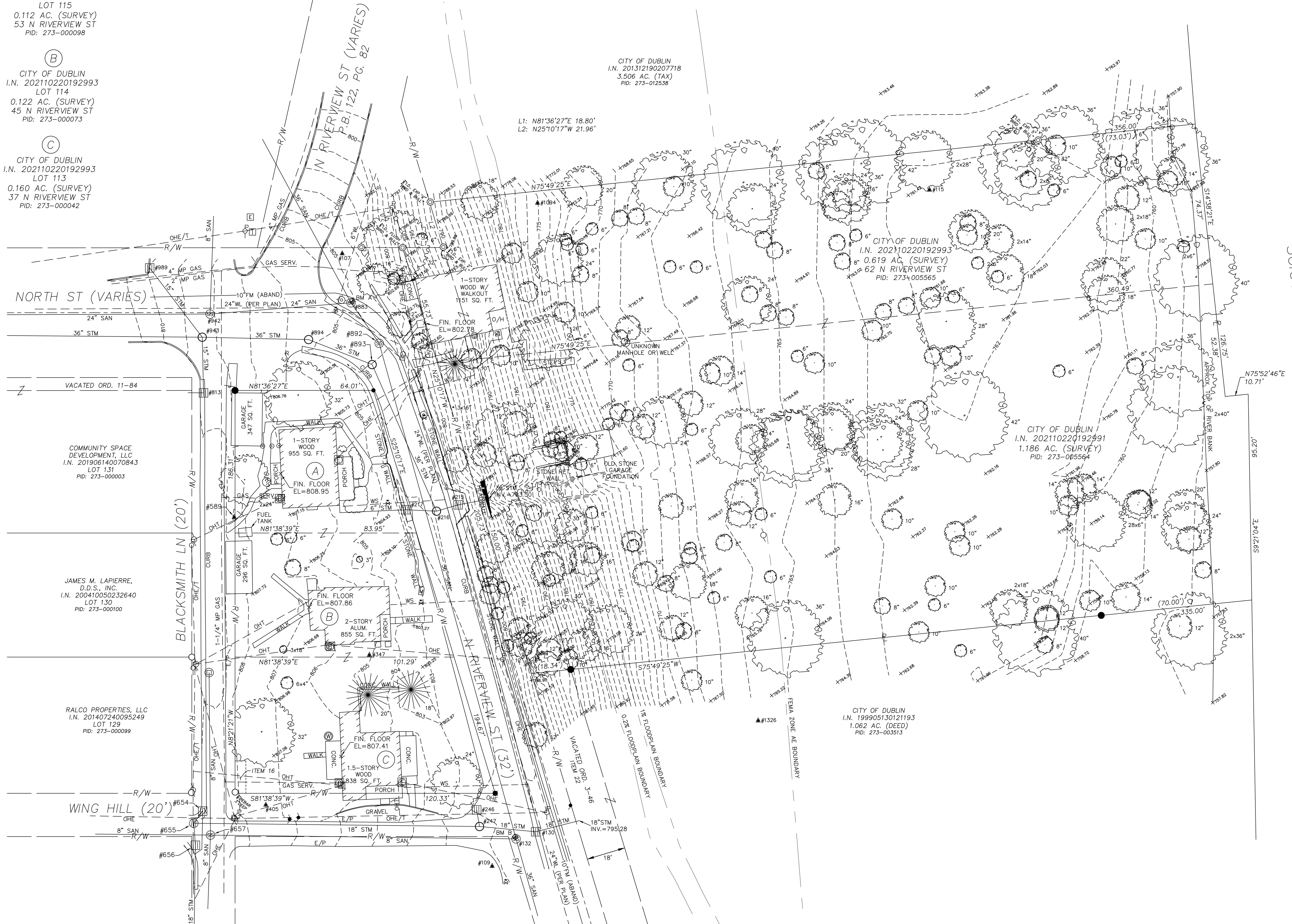
(A)
 CITY OF DUBLIN
 I.N. 202110220192992
 LOT 115
 0.112 AC. (SURVEY)
 53 N RIVERVIEW ST
 PID: 273-000098

(B)
 CITY OF DUBLIN
 I.N. 202110220192993
 LOT 114
 0.122 AC. (SURVEY)
 45 N RIVERVIEW ST
 PID: 273-000073

(C)
 CITY OF DUBLIN
 I.N. 202110220192993
 LOT 113
 0.160 AC. (SURVEY)
 37 N RIVERVIEW ST
 PID: 273-000042

CITY OF DUBLIN
 I.N. 201312190207718
 3.506 AC. (TAX)
 PID: 273-012538

L1: N81°36'27"E 18.80'
 L2: N25°10'17"W 21.96'



SCIOTO RIVER

SCALE: 1"=20'
 WLS JOB No.: 23-321
 DATE: 1/30/2024
 CLIENT: COHATCH
 F.B./P.C.: 44/1-14

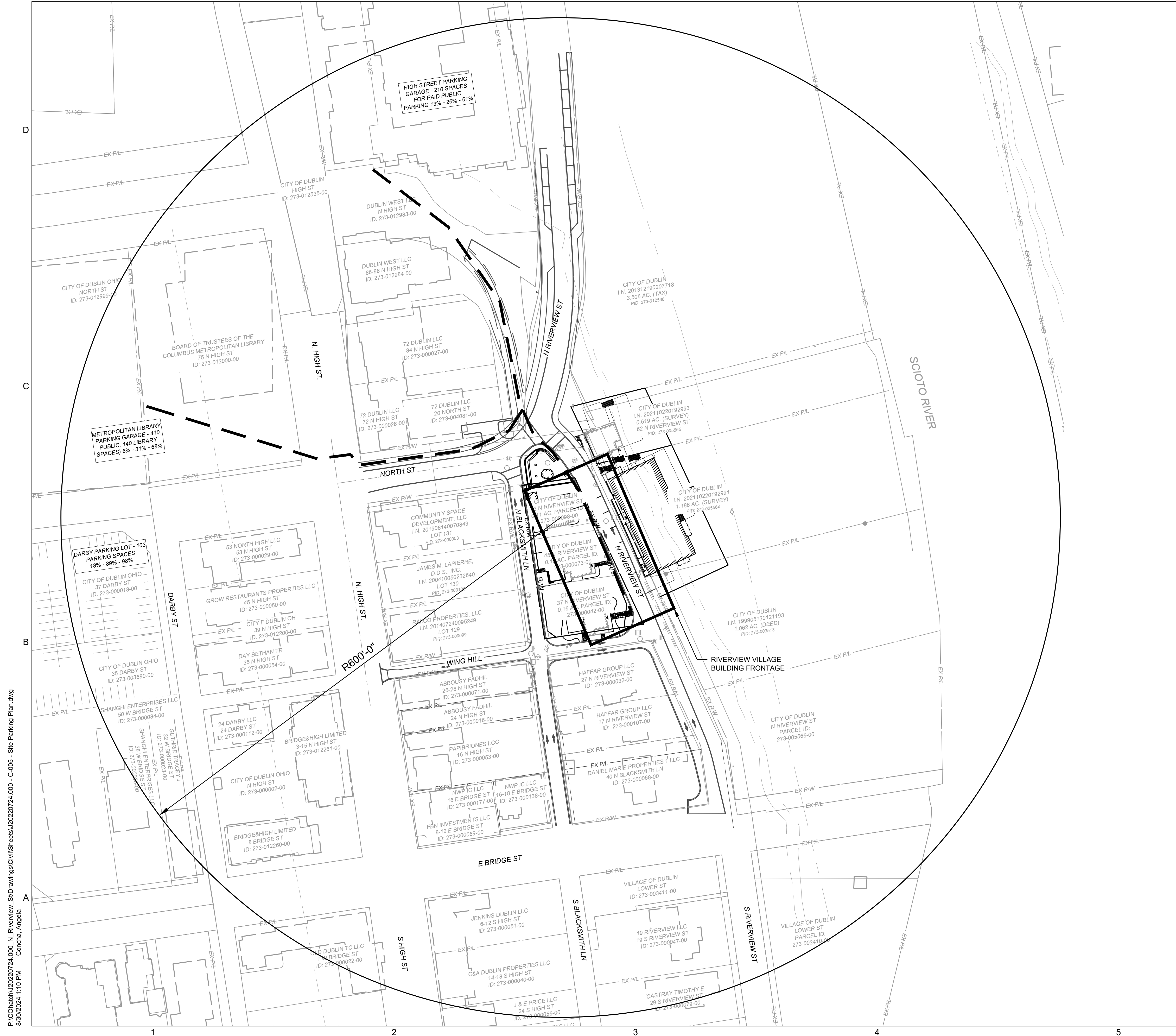
8850 COMMERCE LOOP DR
 COLUMBUS, OH 43240
 (614) 899-2209

ALTA/NSPS LAND TITLE SURVEY
 37, 45, 53 & 62 N. RIVERVIEW ST.
 DUBLIN, OH 43017

EXISTING
 CONDITIONS

DRAWING NO.
C003

SHEET
 2/2



SITE PARKING PLAN LEGEND:

— PATH TO PARKING

ADJACENT PARCEL IDENTIFICATION NUMBER:

273-013000	273-012538	273-000098	273-012260	273-000107
273-000028	273-005565	273-000016	273-000023	273-005566
273-000029	273-005564	273-000053	273-000036	273-003410
273-000050	273-003513	273-000069	273-000084	273-003411
273-000002	273-000032	273-000138	273-003680	273-000177
273-000027	273-000071	273-000051	273-000018	273-000099
273-000028	273-000003	273-000040	273-000022	273-000054
273-004081	273-000100	273-000056	273-000047	273-012200
273-012984	273-000042	273-000112	273-000079	273-012999
273-012983	273-000073	273-012261	273-000068	273-012535

COMMERCIAL PARKING REQUIREMENTS:

RESTAURANT REQUIRED: 10 SPACES PER 1,000 SF
 RESTAURANT AREA = 6,613 SF
 REQUIRED SPACES: 67 SPACES
 OFFICE, GENERAL REQUIRED: 2.5 SPACES PER 1,000 SF
 OFFICE, GENERAL AREA = 15,225 SF
 REQUIRED SPACES: 40 SPACES
 EXISTING SPACES IN PARKING GARAGE AND LOT: 651 SPACES
 AVAILABLE SPACES IN PARKING GARAGE AND LOT: 465 SPACES
 AVAILABLE SPACES IN PARKING GARAGE AND LOT AT 50%: 284 SPACES

PARKING SUMMARY:

PARKING ZONING ORDINANCE REQUIRES 10 PARKING SPACE PER 1,000 SF FOR RESTAURANT BUILDINGS, REQUIRING 67 PARKING SPACES AND 2.5 PARKING SPACES PER 1,000 SF FOR OFFICE, GENERAL BUILDINGS REQUIRING 40 PARKING SPACES, GIVING A TOTAL OF 107 SPACES. DUE TO RESTRICTED SPACE IN THE PROPERTY THE SITE DOES NOT MEET THE ZONING ORDINANCE. THE METROPOLITAN LIBRARY HAS A TOTAL OF 550 EXISTING PARKING OF WHICH 140 ARE RESERVED FOR THE LIBRARY AND 410 ARE FOR PUBLIC. HIGH STREET PARKING GARAGE HAS A TOTAL OF 210 EXISTING PARKING SPACES.

THE OVERALL HISTORIC DOWNTOWN DUBLIN AREA CAN BE LOOKED AT AS A "MIXED-USE" DEVELOPMENT. AS SUCH, THERE DEVELOPMENTS UTILIZE SHARED PARKING FOR THE SURROUNDING GARAGES. COHATCH WILL BE UTILIZING THE AVAILABLE PUBLIC PARKING SPACES DURING TYPICAL BUSINESS HOURS.

PARKING UTILIZATION:

10AM / 1PM / 7PM

Building	Spaces Required	On-Street along Frontage	Off-Site Required	Offsite Proposed	Proposed Off-Site Location	Walking Distance (Feet) to Offsite Location	Time (Minutes) to Walk at 3 Ft/Sec Avg
37 N. Riverview	3	0	3	3	High St Garage	688	3.8
					Library Garage	796	4.4
45 N. Riverview	3	0	3	3	High St Garage	617	3.4
					Library Garage	718	4.0
53 N. Riverview	3	0	3	0	High St Garage	546	3.0
					Library Garage	640	3.6
62 N. Riverview	45	0	45	25	High St Garage	473	2.6
					Library Garage	572	3.2
New Build	53	5	53	20	High St Garage	570	3.2
					Library Garage	680	3.8
Total	107	5	107	107			

Total Riverview Village Offsite Allocated to High St Garage = 47 44%
 Total Riverview Village Offsite Allocated to Library Garage = 60 56%

Location/Time	Public Spaces	Occupied %	Occupied #	Available	Less Riverview Village Offsite	Remaining Available
High Street Garage						
10am Weekday		13%	27	177	-47	130
1pm Weekday	204	26%	53	151	-47	104
7pm Weekday		61%	124	80	-47	33
Library Garage						
10am Weekday		6%	25	385	-60	325
1pm Weekday	410	31%	127	283	-60	223
7pm Weekday		68%	279	131	-60	71



DUBLIN - RIVERVIEW VILLAGE DEVELOPMENT

COHATCH
 CITY OF DUBLIN OHIO

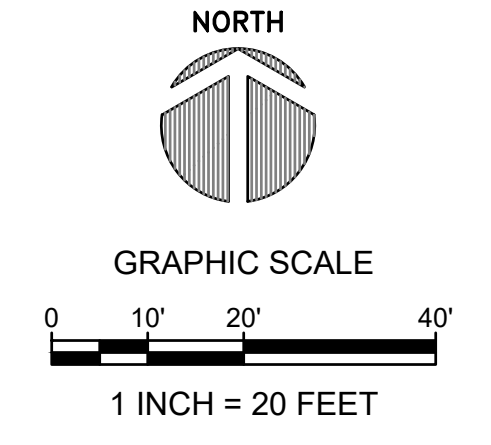
TAG	ISSUED	DATE
-	PDP SUBMITTAL	8/30/24

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DRAWN BY: ABC
 CHECKED BY: WMD
 CLIENT PROJ NO. OSBORN PROJ NO. J20220724.000

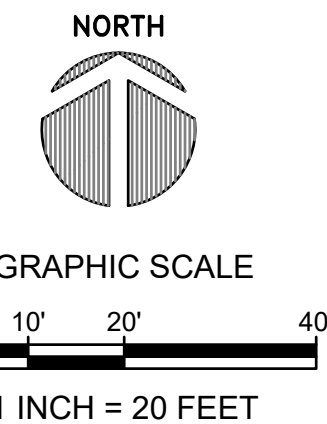
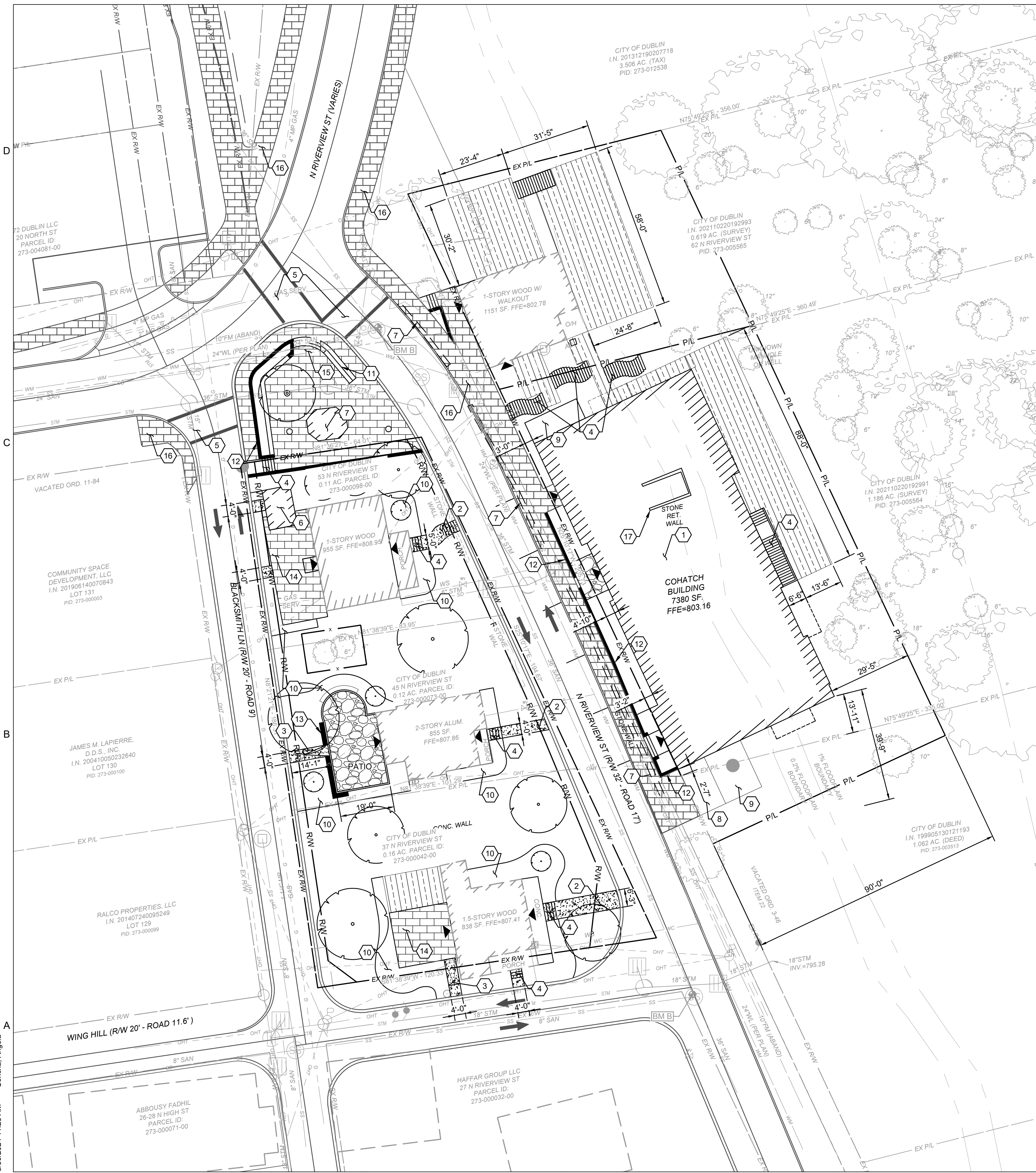
SITE PARKING PLAN

DRAWING NO.
C004



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 Concha, Angela

P:\COHatch\J20220724_000_N_Riverview_SiteDrawings\Civil\Sheets\J20220724_000 - C-100 - Site Plan.dwg
8/30/2024 11:23 AM
Concha, Angela



ABBREVIATION LEGEND:

- EX - EXISTING
- C/L - CENTER LINE
- R/W - RIGHT OF WAY
- P/L - PROPERTY LINE
- FFE - FINISH FLOOR ELEVATION
- OHE - OVERHEAD ELECTRIC
- SS - SANITARY SEWER
- CS - COMBINED SEWER
- UGE - UNDERGROUND ELECTRIC
- WM - WATERMAIN
- WC - WATER CONNECTION
- STM - STORM SEWER
- G - GAS
- MH - MANHOLE
- TC - TOP OF CURB
- EP - EDGE OF PAVEMENT
- DND - DO NOT DISTURB
- UGL - UNDERGROUND LIGHT

SITE LAYOUT PLAN CODED NOTES:

1. PROPOSED BUILDING (SEE ARCHITECTURAL PLANS FOR DETAILS).
2. PROPOSED CONCRETE WALK.
3. PROPOSED CONCRETE RAMP.
4. PROPOSED STEPS.
5. PROPOSED CROSSWALK (SEE R/W IMPROVEMENT PLANS, BY OTHERS).
6. PROPOSED SHED (SEE ARCHITECTURAL PLANS FOR DETAILS).
7. PROPOSED KIOSK (SEE ARCHITECTURAL PLANS FOR DETAILS).
8. PROPOSED TRASH LOCATION (SEE ARCHITECTURAL PLANS FOR DETAILS).
9. PROPOSED MECHANICAL YARD.
10. PROPOSED PLANTING BED (SEE LANDSCAPE PLANS FOR DETAILS).
11. PROPOSED WOOD BENCH (SEE ARCHITECTURAL PLANS FOR DETAILS).
12. PROPOSED STONE RETAINING WALL (SEE ARCHITECTURAL PLANS FOR DETAILS).
13. PROPOSED FREESTANDING STONE WALL (SEE ARCHITECTURAL PLANS FOR DETAILS).
14. PROPOSED PATIO (SEE ARCHITECTURAL PLANS FOR DETAILS).
15. PROPOSED PLAZA (SEE ARCHITECTURAL PLANS FOR DETAILS).
16. PROPOSED BRICK SIDEWALK (SEE R/W IMPROVEMENT PLANS, BY OTHERS).
17. EXISTING STONE FOUNDATION TO BE REMOVED AND SALVAGED FOR RELOCATION IN ADJACENT PARK.

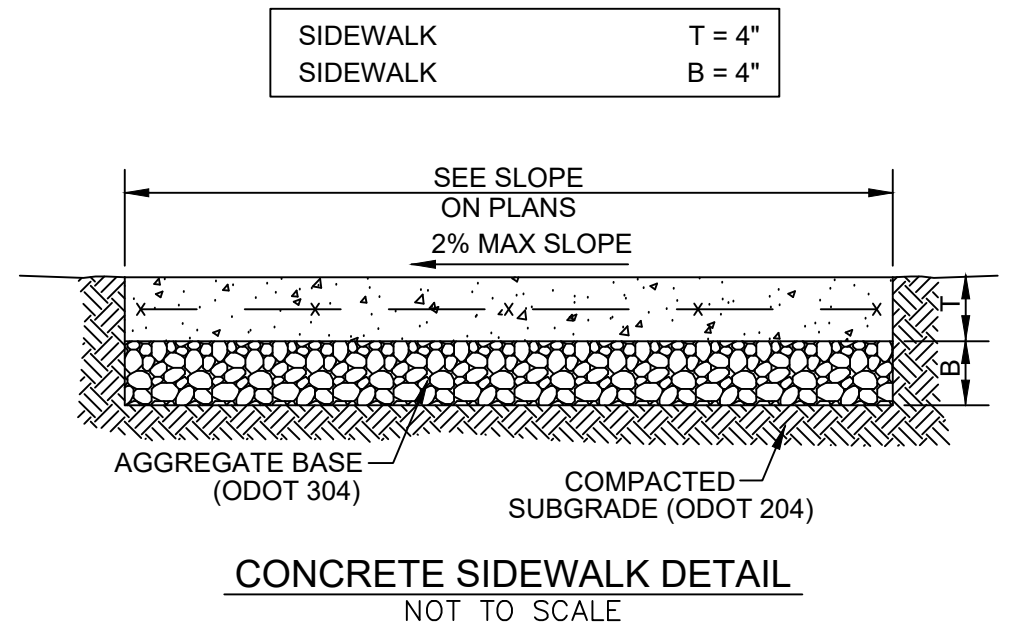
SITE LAYOUT PLAN LEGEND:

- CONCRETE PAVEMENT.
- BRICK PAVEMENT.
- WOOD DECK PATIO (SEE ARCHITECTURAL PLANS FOR DETAILS).
- GRAVEL.
- EXISTING TREE.
- PROPOSED TREE (SEE LANDSCAPE PLANS FOR DETAILS).
- PROTECTIVE TREE FENCE.

SITE LAYOUT PLAN GENERAL NOTES

1. DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.
2. EXISTING PAVEMENT GRADES TO MATCH (FLUSH) WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
3. PAVEMENT JOINT WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT TO BE SEALED WITH HOT APPLIED JOINT SEALER.
4. ALL RADIUS TO BE 4 FT UNLESS NOTED OTHERWISE.

- NOTES**
- 1) USE 3/8"x 4" EXPANSION JOINTS AT CHANGE OF DIRECTIONS, CURBS, RIGID STRUCTURES, AND RIGID PAVEMENT. ON STRAIGHT RUNS PROVIDE EXPANSION JOINTS EVERY 20 FEET.
 - 2) CONCRETE-
SIDEWALKS- USE READY-MIX CONCRETE WITH 4,000 PSI STRENGTH @ 28 DAYS.
SIDEWALKS WITHIN RIGHT-OF-WAY SHALL BE COC CLASS 5 (4500 PSI)
 - 3) USE REINFORCEMENT - 6x 6 - W1.4x W1.4 W.W.M.
 - 4) TOOL ALL EXPOSED EDGES AND JOINTS TO 3/4" RADIUS.
 - 5) BROOM FINISH ACROSS DIRECTION OF TRAVEL.
 - 6) REFERENCE CITY OF COLUMBUS STANDARD DRAWING 2300 WHEN SIDEWALK IMPROVEMENTS ARE WITHIN RIGHT-OF-WAY.



DUBLIN - RIVERVIEW VILLAGE DEVELOPMENT

COHATCH
CITY OF DUBLIN OHIO

TAG	ISSUED	DATE
-	PDP SUBMITTAL	8/30/24

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DRAWN BY: ABC
CHECKED BY: WMD
CLIENT PROJ NO.: OSBORN PROJ NO. J20220724.000

SITE STAKING PLAN

DRAWING NO.
C100

COHATCH RIVERVIEW

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DUBLIN, OH 43017

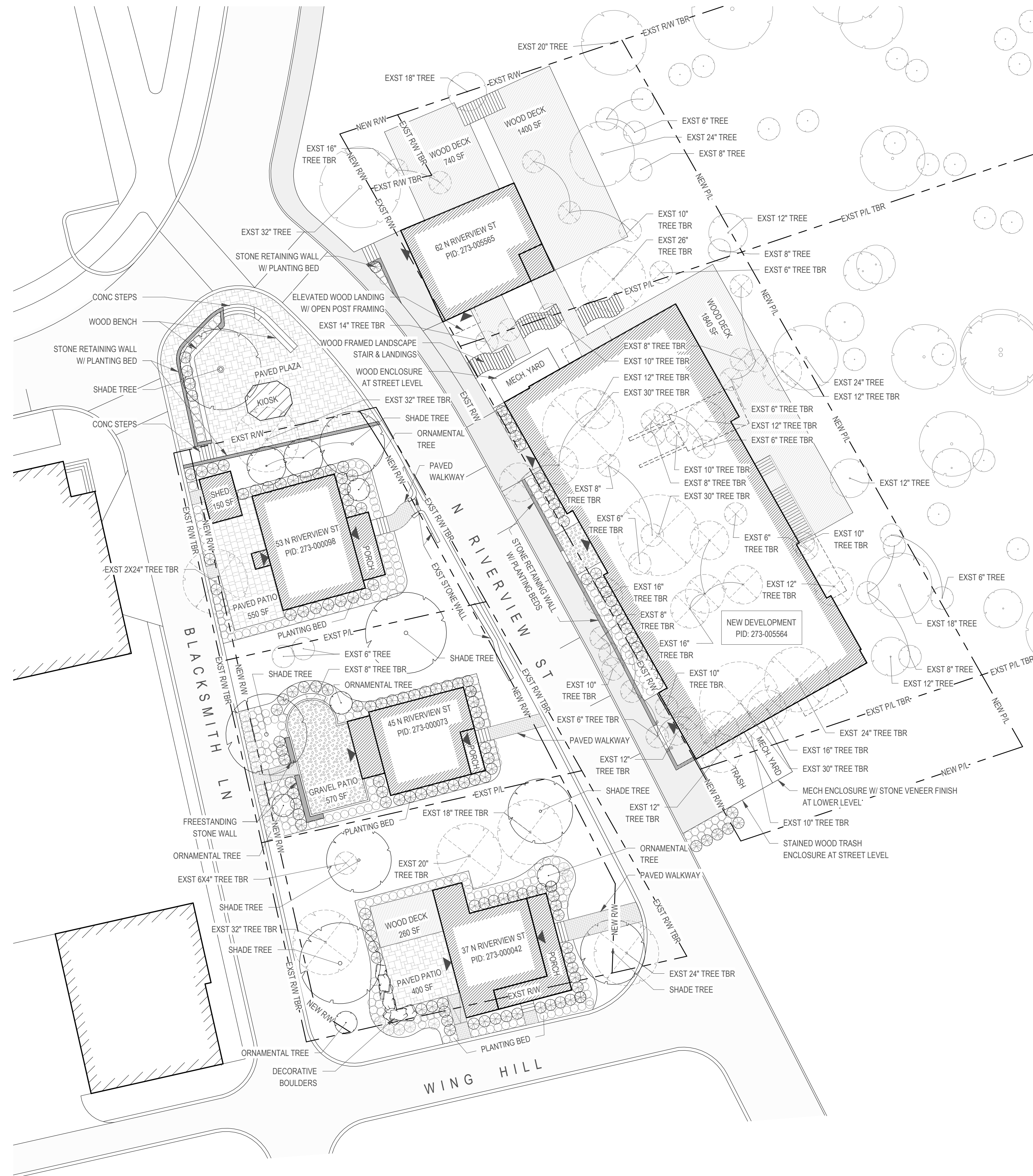


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1 LANDSCAPE PLAN

1" = 20'-0"



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LANDSCAPE PLAN

PROJECT # 23115

DATE 08/30/24

DRAWN BY: JF REVIEWED BY: JF

SHEET #

L101

COHATCH RIVERVIEW

COHATCH RIVERVIEW

37 N. RIVERVIEW ST
DUBLIN, OH 43017



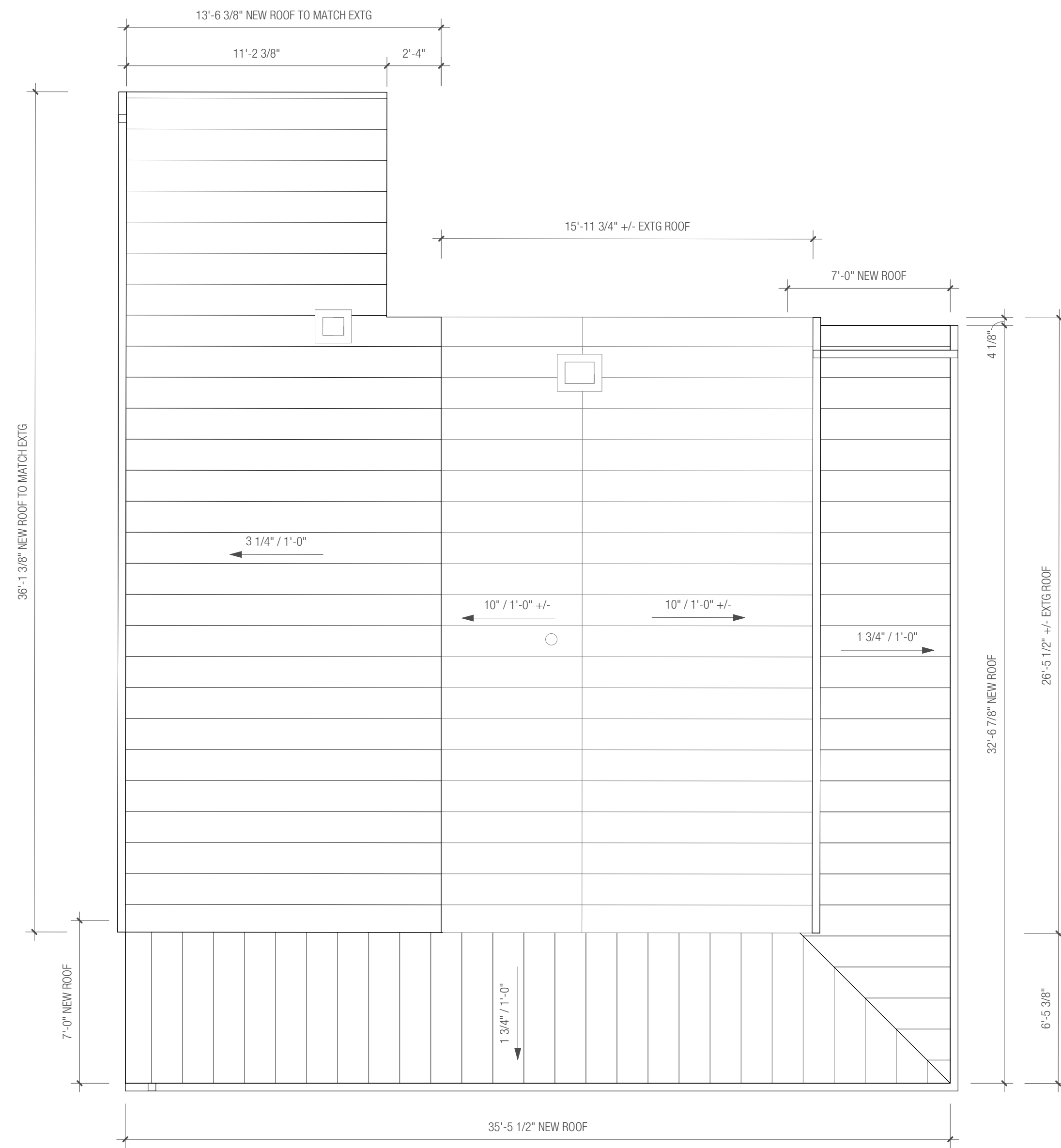
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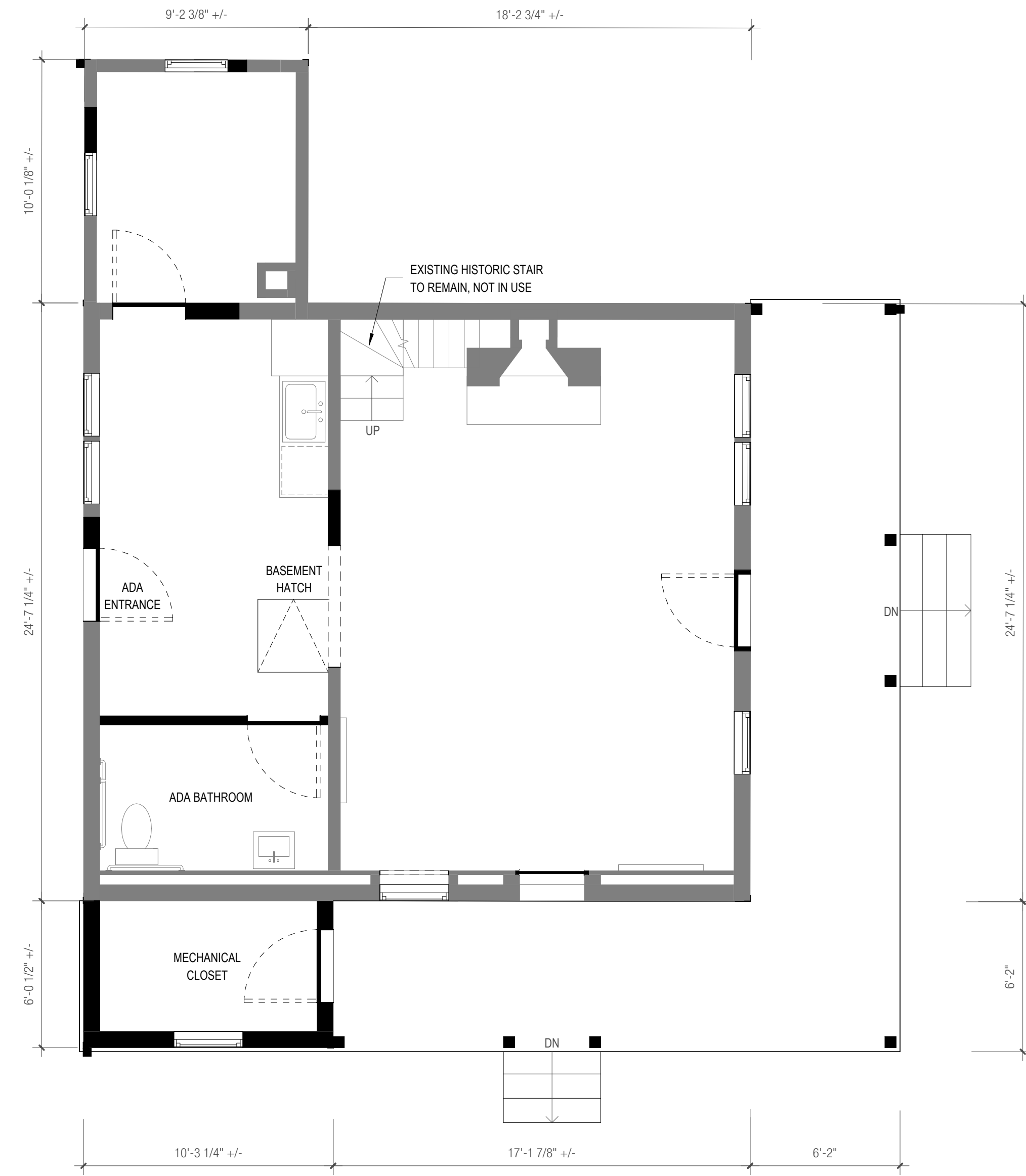
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2 ROOF PLAN
1/4" = 1'-0"



1 FIRST FLOOR PLAN
1/4" = 1'-0"
0 1 2 4 8

PRELIMINARY DOCUMENTS
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37 FIRST FLOOR &
ROOF PLAN

PROJECT # 23115
DATE 08/30/24
DRAWN BY: AG REVIEWED BY: JF

SHEET #

A110

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COHATCH RIVERVIEW

45 N. RIVERVIEW ST
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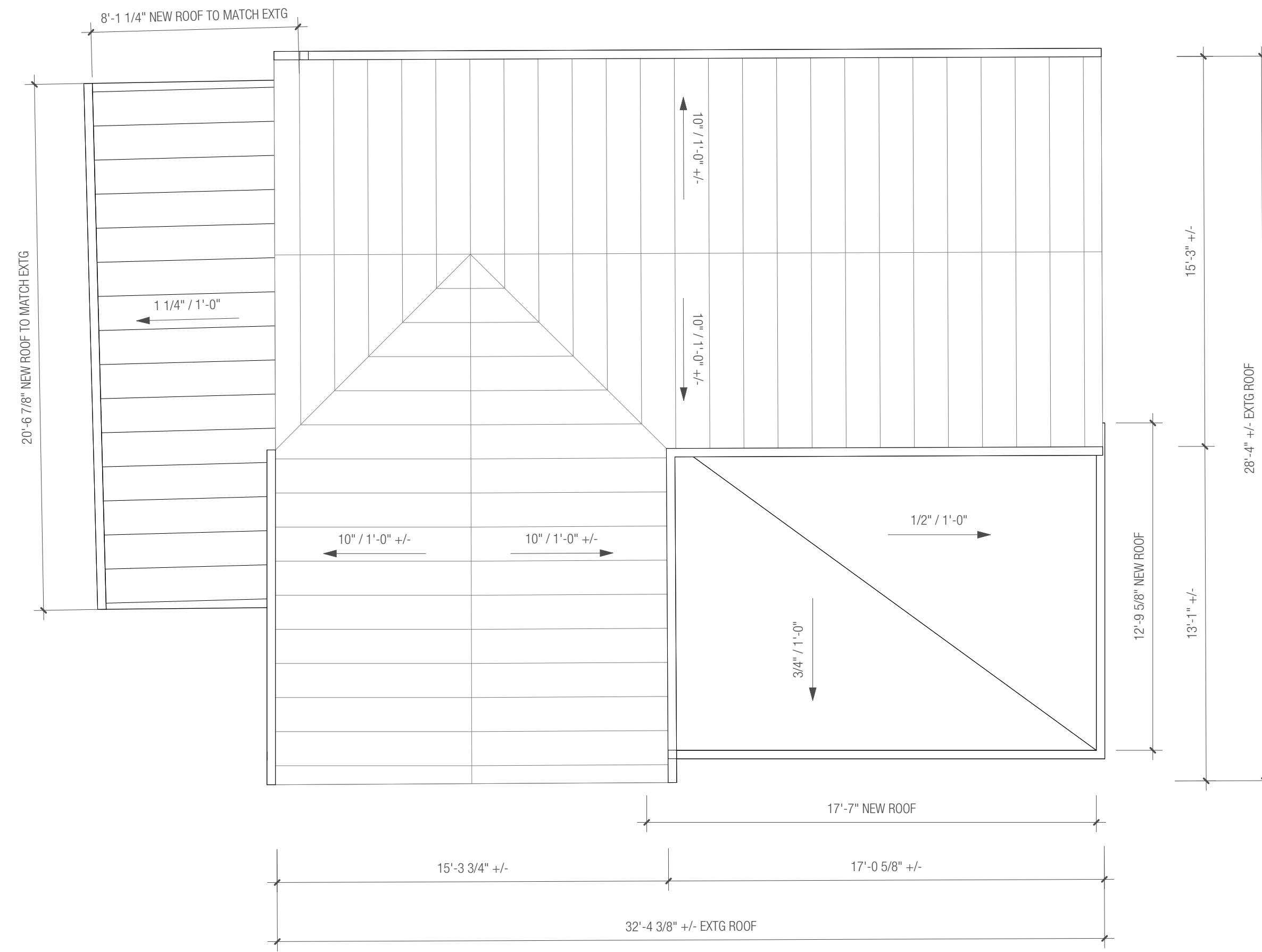


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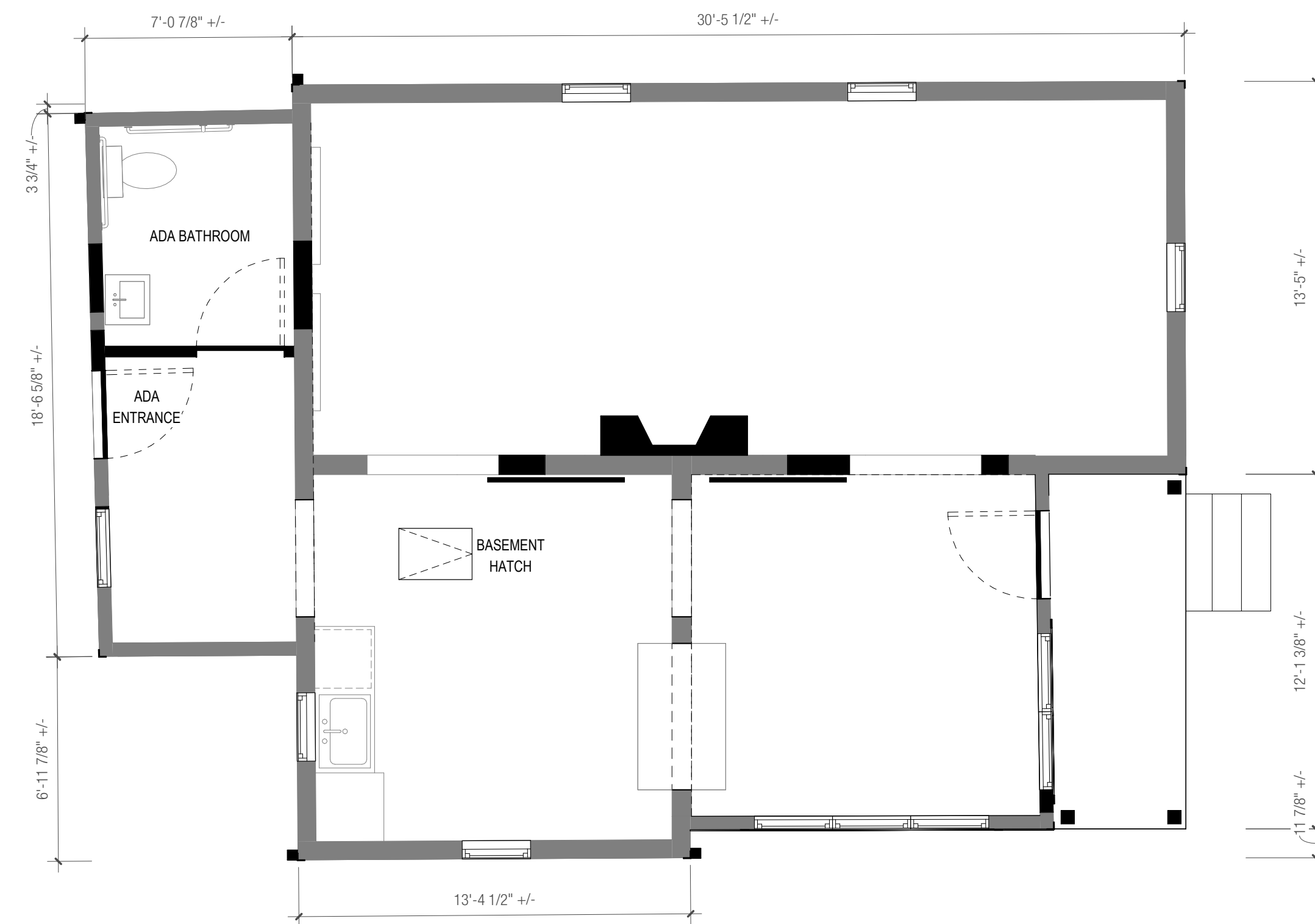
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2 ROOF PLAN
1/4" = 1'-0"



1 FIRST FLOOR PLAN
1/4" = 1'-0"
0 1 2 4 8

PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

45 FIRST FLOOR &
ROOF PLAN

PROJECT #	23115
DATE	08/30/24
DRAWN BY:	AG
REVIEWED BY:	JF

SHEET #

A111

COHATCH RIVERVIEW

COHATCH RIVERVIEW

62 N. RIVERVIEW ST
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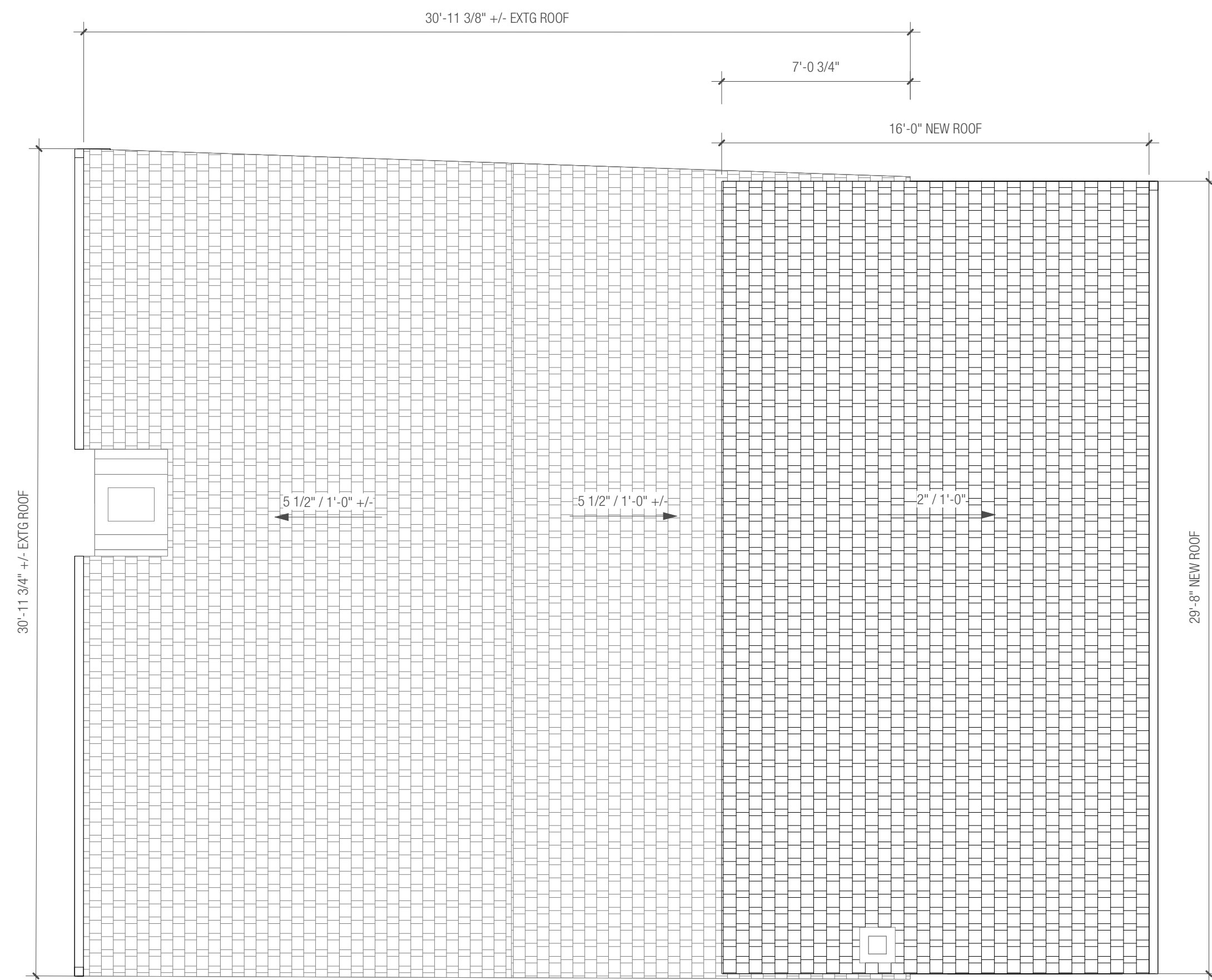


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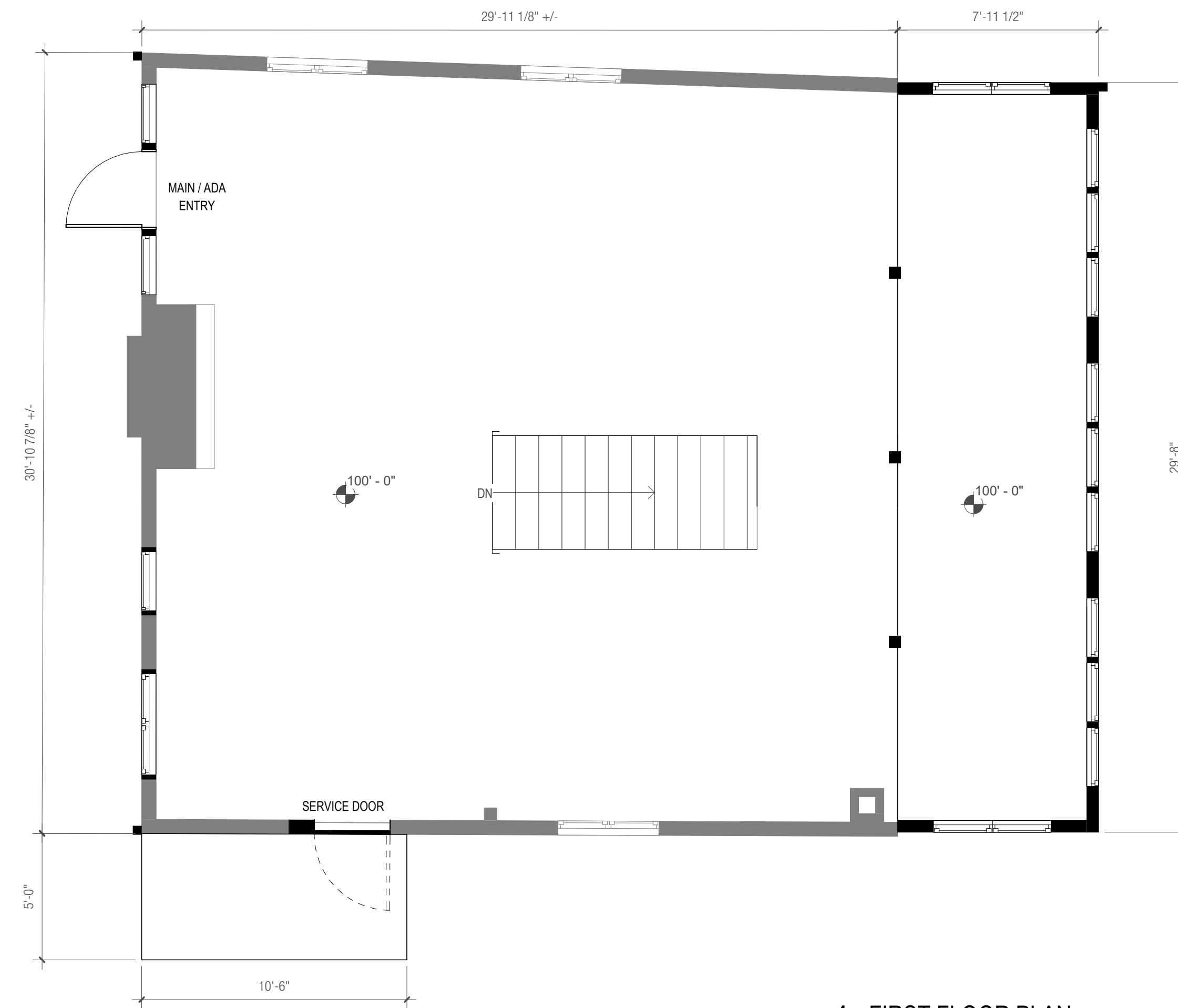
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2 ROOF PLAN
1/4" = 1'-0"



1 FIRST FLOOR PLAN
1/4" = 1'-0"
0' 1' 2' 4' 8'

PRELIMINARY DOCUMENTS
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62 FIRST FLOOR &
ROOF PLAN

PROJECT #	23115
DATE	08/30/24
DRAWN BY:	AG
REVIEWED BY:	JF

SHEET #

A113

COHATCH RIVERVIEW

COHATCH RIVERVIEW

62 N. RIVERVIEW ST
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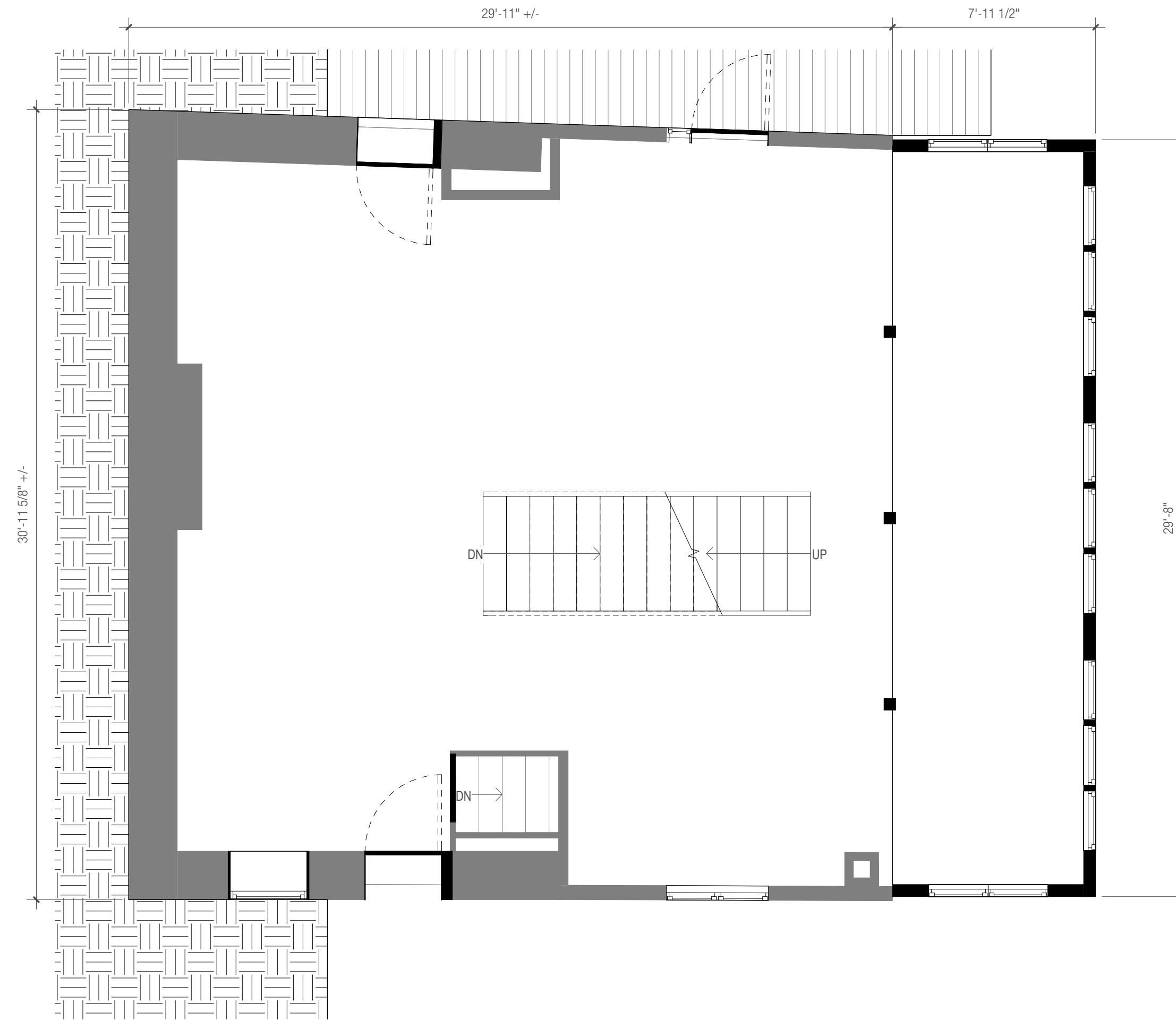
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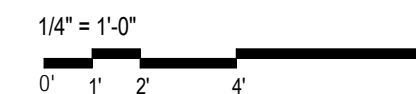
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1 NEW B1 PLAN



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62 B1 PLAN

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DATE	08/14/24
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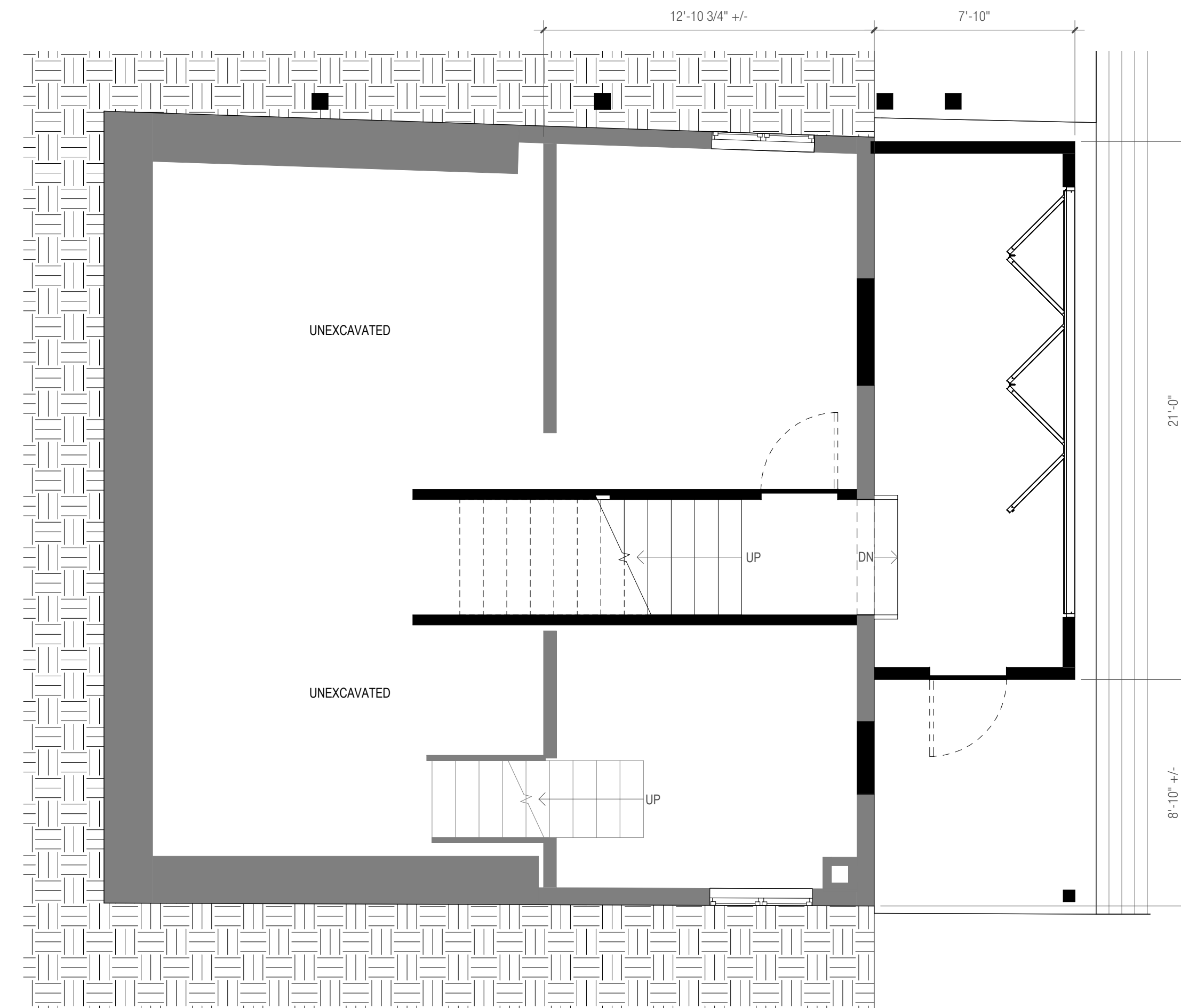
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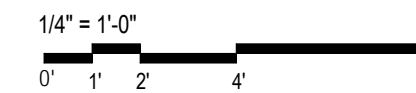
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1 NEW B2 PLAN



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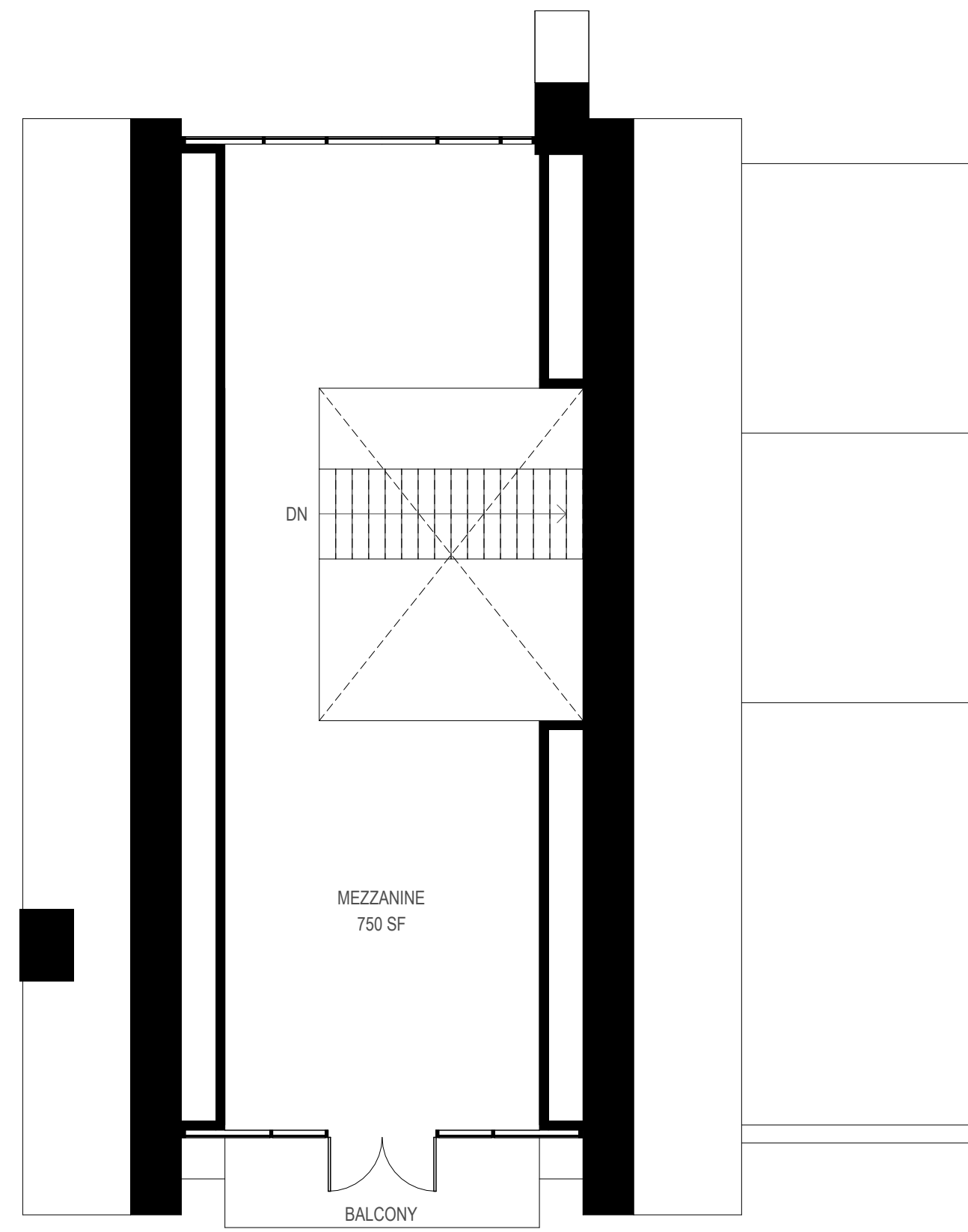
62 B2 PLAN

PROJECT #	23115
DATE	08/14/24
DRAWN BY: AG	REVIEWED BY: JF

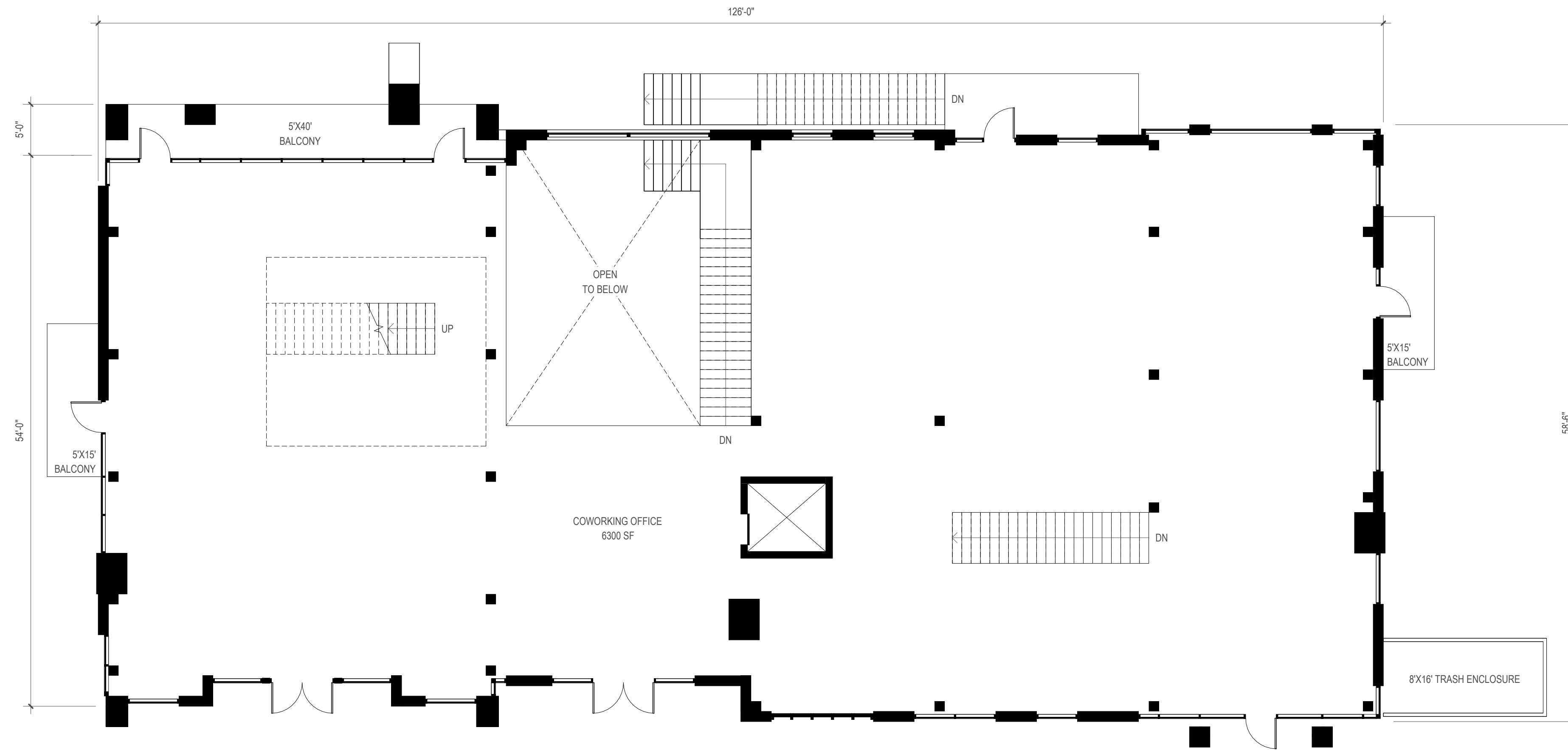
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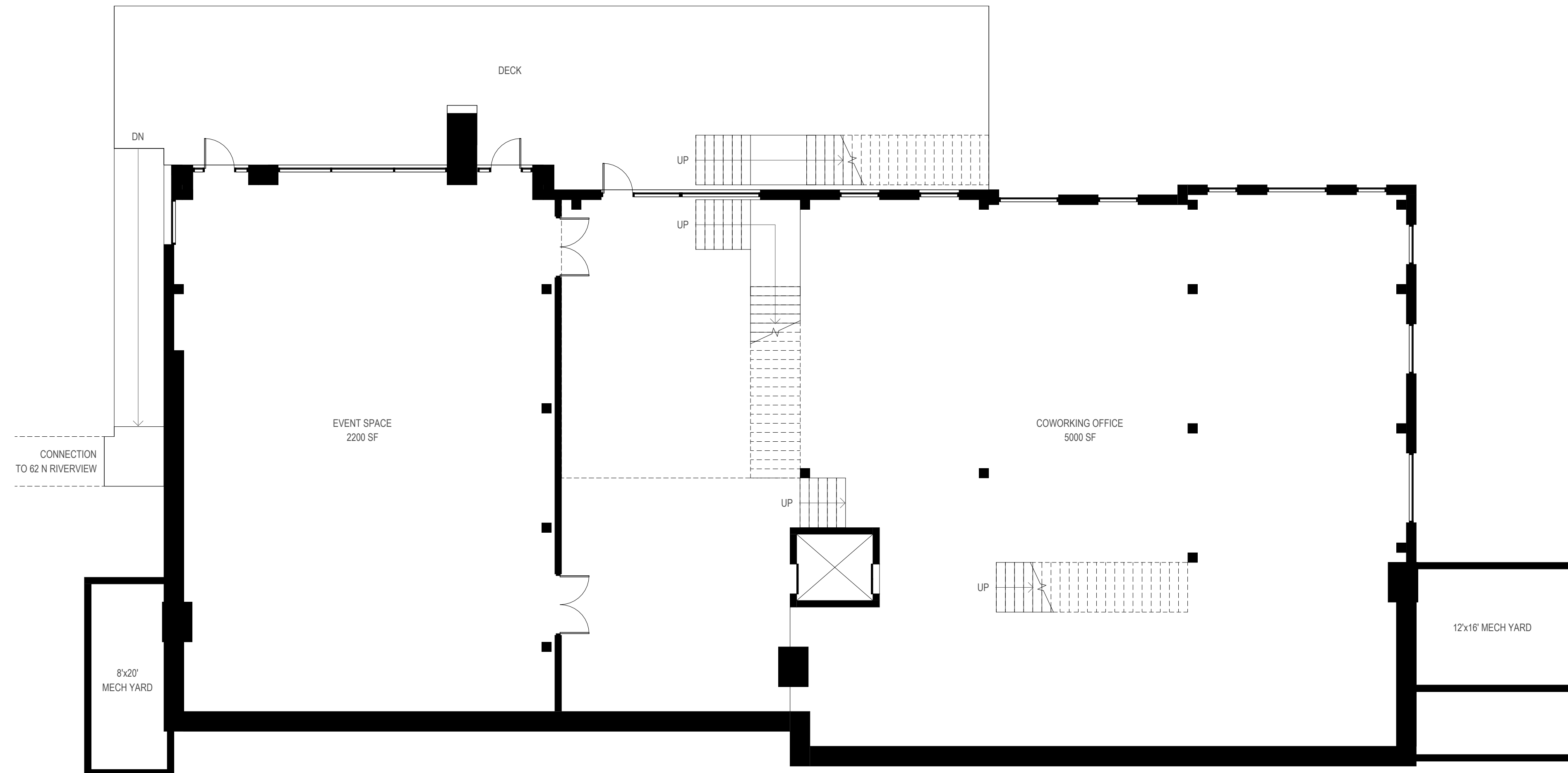
COHATCH RIVERVIEW



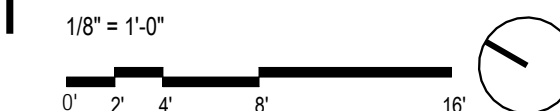
3 MEZZANINE FLOOR PLAN
1/8" = 1'-0"



2 FIRST FLOOR PLAN
1/8" = 1'-0"



1 LOWER FLOOR PLAN
1/8" = 1'-0"



COHATCH RIVERVIEW

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**NEW BUILD CONCEPT
PLANS**

PROJECT # 23111
DATE 08/14/24
DRAWN BY: JF REVIEWED BY: JF

SHEET #

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COHATCH RIVERVIEW

COHATCH RIVERVIEW

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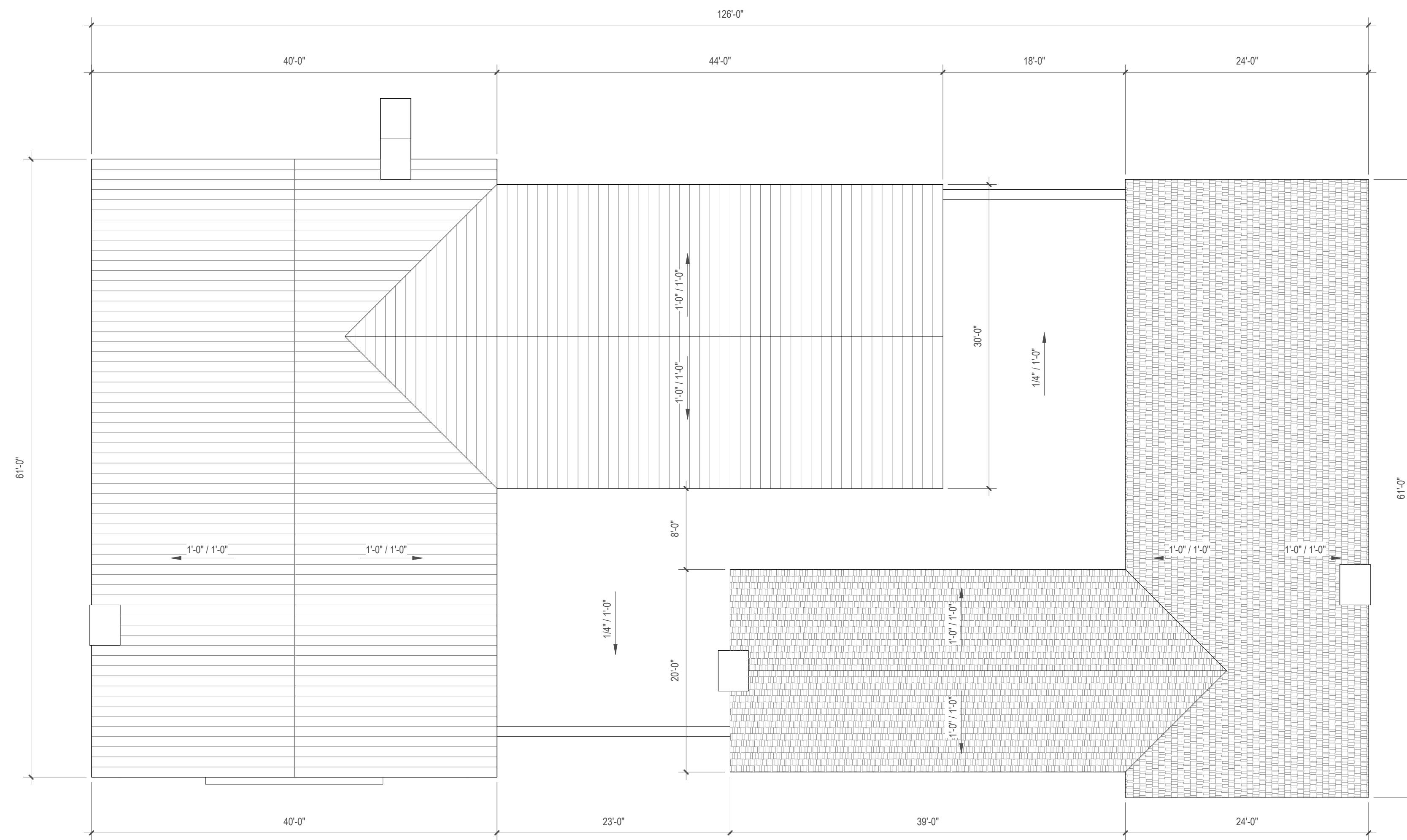
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1 ROOF PLAN
1/8" = 1'-0"
0 2 4 8 16'

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NEW BUILD CONCEPT
PLANS

PROJECT #	23111
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COHATCH RIVERVIEW

