SURVEY NOTES

- 1. BEARINGS HERON BASED ON N25°10'17"W FOR THE EASTERLY RIGHT OF WAY LINE OF N. RIVERVIEW ST., PER AN OHIO RTN SURVEY, SPCS GRID, OHIO SOUTH ZONE, NAD83, 2023 ADJUSTMENT, US SURVEY FEET.
- 2. UTILITIES SHOWN HEREON BASED ON FIELD EVIDENCE, RECORD PLANS AND MARKINGS THROUGH CALL TO OUPS, TICKET Nos. A400801291, A400801278, B400800626, AND A400801252.

BASIS OF BEARINGS

SURVEY COORDINATE SYSTEM REFERENCED TO STATE PLANE GRID, OHIO SOUTH ZONE, PER AN OHIO RTN SURVEY.

VERTICAL DATUM

ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

BENCHMARKS

- A. A CHISELED "X" SET ON THE EAST RIM OF THE SANITARY MANHOLE LOCATED ON THE EAST SIDE OF THE INTERSECTION OF NORTH RIVERVIEW STREET AND NORTH STREET. ELEV=805.32
- B. A CHISELED "X" SET ON THE NORTH RIM OF THE SANITARY MANHOLE LOCATED AT THE INTERSECTION OF NORTH RIVERVIEW STREET AND WING HILL ALLEY. ELEV=801.81

COMMERCIAL BUILDING SUMMARY TABLE							
	BUILDING	OFFICE & RESTAURANT					
BL	JILDING TYPE	HISTORIC	MIXED USE				
EATING A	AND DRINKING AREA	6,61	3 SF				
C	OFFICE AREA	15,22	25 SF				
	COMMERCIAL PARKIN	IG CALCULATION	N				
BUILDING	USE/SQUARE FOOTAGE	MINIMUM SPACES	MAXIMUM SPACES				
53 N RIVERVIEW ST	OFFICE, GENERAL / 1,130 SF	2.5:1000 SF = 3 SPACES					
45 N RIVERVIEW ST	OFFICE, GENERAL / 915 SF	2.5:1000 SF = 3 SPACES					
37 N RIVERVIEW ST OFFICE, GENERAL / 1,130 SF		2.5:1000 SF = 3 SPACES					
	RESTAURANT / 2,270 SF	10:1000 SF = 23 SPACES					
62 N RIVERVIEW ST	PATIO / 2,143 SF	10:1000 SF = 22 SPACES					
NEW BULDING	EVENT SPACE = 2,200 SF	10:1000 SF = 22 SPACES	N/A				
NEW BOEDING	OFFICE, GENERAL = 12,050 SF	2.5:1000 SF = 31 SPACES	N/A				
REQ	UIRED PARKING	107 SPACES					
PROI	POSED PARKING	0 SPACES					
REQUIRED AD	DA PARKING (VAN/TOTAL)	1/2					
PROVIDED ADA PARKING (VAN/TOTAL)		0					
REQUI	RED BIKE PARKING	1:10 SPACES = 11	N/A				
PROPO	SED BIKE PARKING	0					



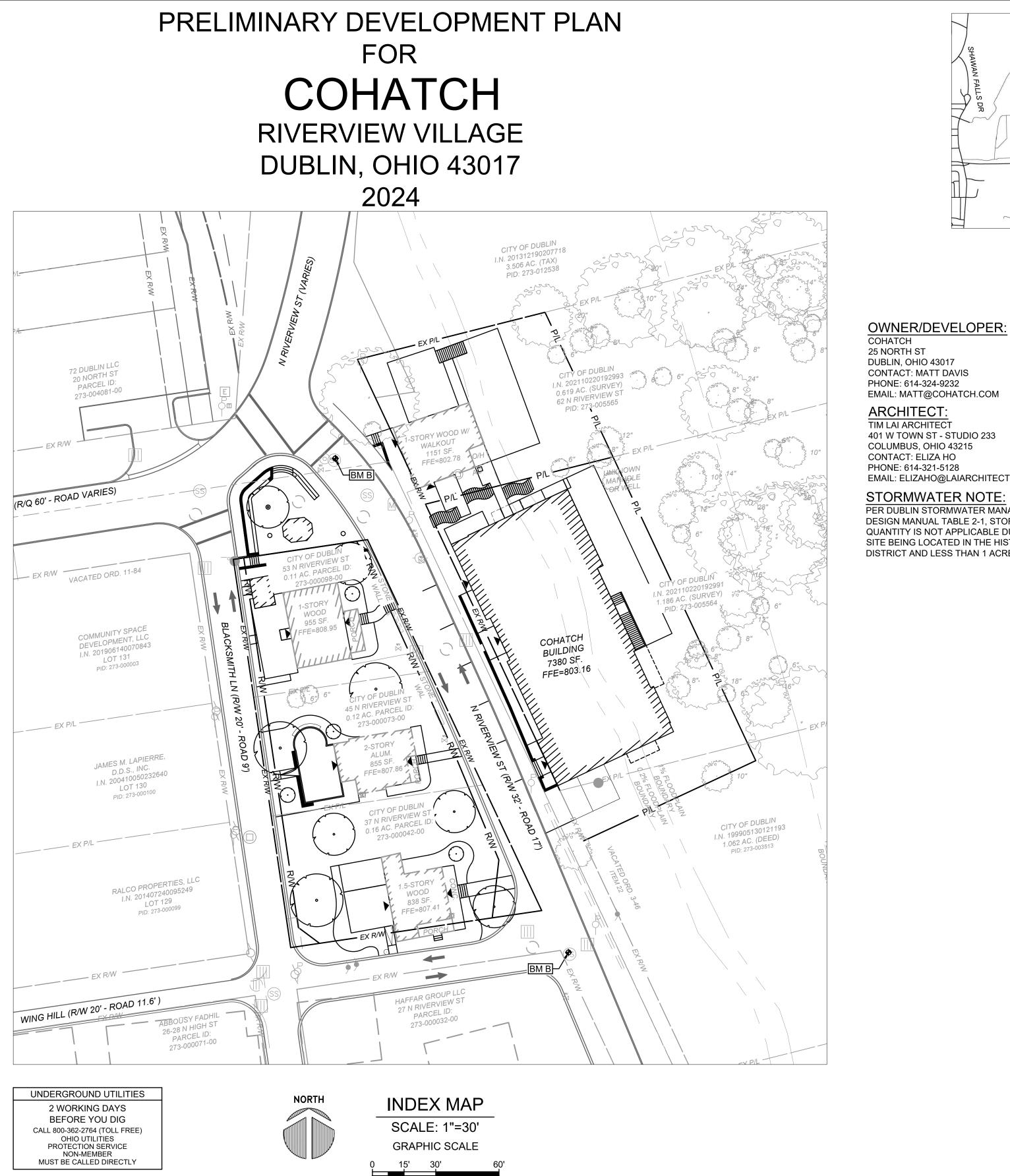
8 0 0

PM 100

202

BUILDING SUMMARY TABLE					
ZONING CLASSIFICATION/ DISTRICT	BSD-HC: BRIDGE STREET DISTRICT - HISTORIC CORE				
MAXIMUM BUILDING HEIGHT	30'-0"				
BUILDING HEIGHT	30'-0"				
MAXIMUM LOT COVERAGE	85 %				
LOT COVERAGE (53 N RIVERVIEW ST)	50.6%				
LOT COVERAGE (45 N RIVERVIEW ST)	35.8%				
LOT COVERAGE (37 N RIVERVIEW ST)	30.2%				
LOT COVERAGE (62 N RIVERVIEW ST)	53.2%				
LOT COVERAGE (NEW BUILDING)	66.8%				
REQUIRED SETBACK (FRONT/SIDE/REAR)	0' / 0' / 5'				
SETBACK (53 N RIVERVIEW ST - FRONT/NORTH/SOUTH/REAR)	14.8' / 17.8' / 12' / 11.1'				
SETBACK (45 N RIVERVIEW ST - FRONT/NORTH/SOUTH/REAR)	21.9' / 24.7' / 5.5' / 29.66'				
SETBACK (37 N RIVERVIEW ST - FRONT/NORTH/SOUTH/REAR)	21.33' / 25.58' / -3' / 43.25'				
SETBACK (62 N RIVERVIEW ST - FRONT/NORTH/SOUTH/REAR)	0' / 31.25' / 10.9' / 51.8'				
SETBACK (NEW BUILDING - FRONT/NORTH/SOUTH/REAR)	0' / 14.5' / 37.5' / 25.8'				

	SITE DATA TABLE
13.46	TOTAL SITE AREA (AC)
0.40	TOTAL DISTURBED PROPERTY AREA (AC)
0.05	TOTAL DISTURBED R/W AREA (AC)
0.12	PRE-DEVELOPED IMPERVIOUS (AC)
0.40	POST-DEVELOPED IMPERVIOUS (AC)
0.89	EXISTING PERCENT IMPERVIOUS
3.00	PROPOSED PERCENT IMPERVIOUS

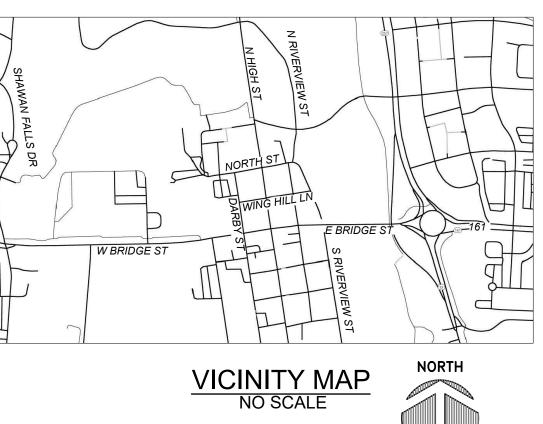


1 INCH = 30 FEET

4

3

5



EMAIL: ELIZAHO@LAIARCHITECT.COM

PER DUBLIN STORMWATER MANAGEMENT DESIGN MANUAL TABLE 2-1, STORMWATER QUANTITY IS NOT APPLICABLE DUE TO THE

SITE BEING LOCATED IN THE HISTORIC DISTRICT AND LESS THAN 1 ACRE.

DESIGN ENGINEER: OSBORN ENGINEERING 130 E CHESTNUT ST - SUITE 401 COLUMBUS, OHIO 43215 CONTACT: WES DAVIS, P.E PHONE: 614-556-4272 EMAIL: WDAVIS@OSBORN-ENG.COM

FLOOD DESIGNATION: ACCORDING TO F.E.M.A. FLOOD INSURANCE RATE MAP #39049C0151K, DATED june 17, 2008 FOR COMMUNITY NUMBER 390673, THE MAJORITY OF THIS PROPERTY IS IN ZONE AE AND A PART OF IT IS IN ZONE X.

PROJECT DESCRIPTION: REDEVELOPMENT OF OFFICE USE BUILDINGS AND ADDITION OF A NEW BUILDING ALONG WITH THE ASSOCIATED UTILITY IMPROVEMENTS.

C001	TITLE SHEET
C002	EXISTING CONDITIONS
C003	EXISTING CONDITIONS
C003.1	DEMOLITION PLAN

INDEX OF SHEETS

C004 SITE PARKING PLAN C100 SITE STAKING PLAN C101 SITE STAKING PLAN EXHIBI C200 SITE UTILITY PLAN C300 SITE GRADING PLAN

C301 FLOODPLAIN EXHIBIT C401 AUTOTURN EXHIBIT

	CO HATCH WORK · MEET · LIVE
	TM TM TM TM TM TM TM TM TM TM
	DUBLIN - RIVERVIEW VILLAGE DEVELOPMENT
8	COHATCH
6	CITY OF DUBLIN OHIO
	TAG ISSUED DATE - PDP SUBMITTAL 8/30/24
	Unless otherwise stated in Contract, The Osborn Engineering Company retains copyright ownership. Instruments of Service may only be used for the purpose described in the Contract. The Osborn Engineering Company may grant specific usage rights under license, and / or may transfer copyright ownership / assignment in writing. Reproduction, re-use or re-distribution of Instruments of Service is prohibited.
	DRAWN BYABCCHECKED BYWMDCLIENT PROJ NO.OSBORN PROJ NO.J20220724.000
	TITLE SHEET
IT	
	DRAWING NO.

LEGAL DESCRIPTION

PROPERTY ADDRESS: 37 N. Riverview Street, Dublin, OH 43017 PARCEL ID: 273-000042 Situated in the State of Ohio, County of Franklin and in the City of Dublin: Being Lot Number One Hundred Thirteen (113) of said Village, as the same is numbered and delineated on the recorded plat thereof, of record in Plat Book No. 1, page 193, and Plat Book 3, page 199, Recorder's Office, Franklin County, Ohio.

PARCEL ID: 273-000073 PROPERTY ADDRESS: 45 N. Riverview Street, Dublin, OH 43017 Situated in the State of Ohio, County of Franklin and in the City of Dublin formerly Village of Dublin: Being Lot Number One Hundred Fourteen (114) of said Village of Dublin and being the same premises conveyed to Amelia Wing and husband Marian J. Shipman by deed dated March 23, 1880.

PARCEL ID: 273-000098 PROPERTY ADDRESS: 53 N. Riverview Street, Dublin, OH 43017 Situated in the County of Franklin, State of Ohio, and in the City of Dublin, formerly the Village of Dublin: Being Lot Number One Hundred Fifteen (115) in said City (formerly Village) of Dublin, as said lot is numbered and delineated on the recorded plat of said Village of record in Plat Book 3, page 199, in the Recorder's Office, Franklin County, Ohio.

PROPERTY ADDRESS: 62 N. Riverview Street, Dublin, OH 43017 PARCEL ID: 273-005565 Situated in the State of Ohio, County of Franklin, City of Dublin, in Virginia Military Survey No. 2542, and being a portion of a 0.829 acre tract of land conveyed to Thomas L. and William H. Bassett by deed of record in Official Record 8438 E19, Recorder's Office, Franklin County, Ohio, and bounded and described as follow:

Beginning at a $\frac{3}{4}$ inch I.D. iron pipe set at the intersection of the north line of Darby Street (66 feet wide) with the east line of Riverview Street (formerly Lower Street) (32 feet wide), at the northwest corner of said 0.829 acre tract, in a south line of a 9.253 acre tract of land (by recent survey by others) conveyed to Rivers Edge Two by deed of record in Official Record 6494 G09, Recorder's Office, Franklin County, Ohio and at the northwest corner of the easterly 18.00 feet of Riverview Street (originally 50 feet wide), as said 18.00 feet was vacated by Ordinance No. 3-46 of the Council of the Village of Dublin, Ohio, passed March 4, 1946;

Thence South 83° 48' 20" East along the north line of said 0.829 acre tract, along the north line of said vacated strip and along a portion of the south line of said 9.253 acre tract, a distance of 18.00 feet to a $\frac{3}{4}$ inch I.D. iron pipe set at a corner of said 0.829 acre tract, at the northeast corner of said vacated strip and at a said 9.253 acre tract;

Thence North 10° 32' 00" West, along a west line of said 0.829 acre tract and along a line of said 9.253 acre tract, a distance of 21.93 feet to a $\frac{3}{4}$ inch I.D. iron pipe set in an old stone wall, at a northwest corner of said 0.829 acre tract and at a corner of said 9.253 acre tract;

Thence South 89° 30' 48" East, along said old stone wall, along a north line of said 0.829 acre tract and along a south line of said 9.253 acre tract, a distance of 356.00 feet to a point on the approximate west bank of the Scioto River and the northeast corner of said 0.829 acre tract (passing a ¾ inch I.D. iron pipe set in said old stone wall at 283.12 feet);

Thence South 0° 01' 26" West down the approximate west bank of the Scioto River and along a portion of east line of said 0.829 acre tract, a distance of 74.37 feet to a point;

Thence North 89° 30' 48" West, parallel with and 74.37 feet southerly by perpendicular measurement from said old stone wall, from a north line of said 0.829 acre tract and from a south line of said 9.253 acre tract and crossing said 0.829 acre tract a distance of 360.46 feet to a point in the east line of Riverview Street in a west line of said 0.829 acre tract and in west line of said vacated strip;

Thence North 10° 32' 00" West along the east line of Riverview Street, along a portion of the west line of said 0.829 acre tract and parallel with and 18.00 feet westerly by perpendicular measurement from the original east line of Riverview Street, a distance of 55.76 feet to a Place of Beginning, CONTAINING 0.619 ACRE OF LAND, more or

PARCEL ID: 273-005564 PROPERTY ADDRESS: N. Riverview Street, Dublin, OH 43017 Situated in the State of Ohio, County of Franklin, City of Dublin, in Virginia Military Survey No. 2542, and being 0.210 acre out of a 0.829 acre tract of land conveyed to Thomas L. and William H. Bassett by deed of record in Official Record 8438, Page E19, Recorder's Office, Franklin County, Ohio, and 0.976 acre out of a 2.351 acre tract of land conveyed to Thomas L. and William H. Bassett by deed of record in Official Record 8438, Page E14, Recorder's Office, Franklin County, Ohio, and bounded and described as follows:

Beginning, for reference, at a 3/4 inch I.D. iron pipe set at the intersection of the North line of Darby Street (66 feet wide) with the east line of Riverview Street (formerly Lower Street) (32 feet wide), at the Northwest corner of said 0.829 acre tract, in a South line of a 9.253 acre tract of land (by recent survey by others) conveyed to Rivers Edge Two by deed of record in Official Record 6494, Page G09, Recorder's Office, Franklin County, Ohio, and at the Northwest corner of the Easterly 18.00 feet of Riverview Street (originally 50 feet wide), as said 18.00 feet was vacated by Ordinance No. 3-46 of the Council of the Village of Dublin, passed March 4, 1946;

Thence S 10 deg. 32'00" E along the East line of Riverview Street, along a portion of a West line of said 0.829 acre tract and parallel with and 18.00 feet Westerly by perpendicular measurement from the original East line of Riverview Street a distance of 55.78 feet to a point at the true beginning of the tract herein intended to be described;

Thence South 89 deg. 30'48" E parallel with and 76.37 feet Southerly by perpendicular measurement from a North line of said 0.829 acre tract and from a South line of said 9.253 acre tract and crossing said 0.829 acre tract a distance of 360.44 feet to a point on the approximate West bank of the Scioto River and in the East line of said 0.829 acre tract:

Thence S 0 deg. 01' 26" W down the approximate West bank of the Scioto River along a portion of the East line of said 0.829 acre tract and along an East line of said 2.351 acre tract a distance of 52.38 feet to a point at the corner of said 2.351 acre tract (passing a point at the Southeast corner of said 0.829 acre tract and at a Northeast corner of said 2.351 acre tract at 25.63 feet);

Thence S 89 deg 27' 27" E along a North line of said 2.351 acre tract a distance of 10.80 feet to a point on the approximate West bank of the Scioto River and at the Northeast corner of said 2.351 acre tract;

of said 2.351 acre tract a distance of 95.18 feet to a point; Thence N 89 deg. 30' 48" W parallel with a North line of said 0.829 acre tract and parallel with a South line of said 9.253 acre tract and crossing said 2.351 acre tract a distance of 325.00 feet to a point in the East line of Riverview

Thence S 5 deg. 18' 43" W down the approximate West bank of the Scioto River and along a portion of an East line

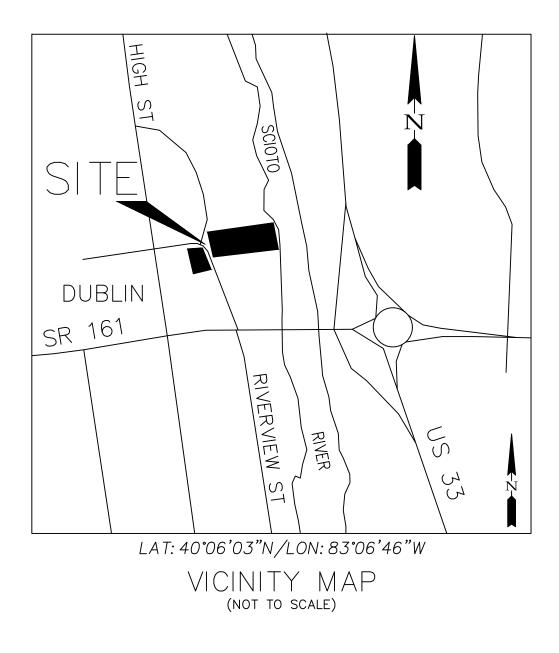
Thence N. 10 deg. 32' 00" W along the East line of Riverview Street, along a portion of the West line of said 2.351 acre tract, along a portion of the West line of said 0.829 acre tract and parallel with and 18.00 feet Westerly by perpendicular measurement from the original East line of Riverview Street a distance of 150.00 feet to the Place of beginning (passing a point at the Northwest corner of said 2.351 acre tract and at the Southwest corner of said 0.829 acre tract at 123.39 feet);

Street, in a West line of said 2.351 acre tract and in the West line of said vacated strip;

Containing 1.186 acres of land, more or less.

ALTA/NSPS LAND TITLE SURVEY

situated in: VIRGINIA MILITARY SURVEY NUMBER 2542 AND ORIGINAL PLAT OF DUBLIN (P.B. 3, PG. 199) CITY OF DUBLIN, FRANKLIN COUNTY, OHIO



LEGEND

R/W	ROAD RIGHT-OF-WAY	¢
P	PROPERTY LINE	0
	DECIDUOUS TREE	C

EVERGREEN TREE

E BUSH

- M MAILBOX
- HYDRANT
- WATER VALVE
- WATER METER WATER WELL

- VERTICAL BM
- IRON PIPE FOUND
- IRON PIN SET
- DRILL HOLE SET
- MAG SPIKE SET
- SIGN TC TRAFFIC PULL BOX
- G GAS METER
- GAS VALVE
- STORM MANHOLE STORM CATCH BASIN O IRON PIN FOUND SS SANITARY MANHOLE SANITARY CLEANOUT POWER POLE Ò TEL. POLE GUY ANCHOR E ELECTRIC BOX
 - TEL./CABLE BOX

STORM AND SANITARY SEWER INVERT INFORMATION

- #216 STORM MANHOLE COULD NOT OPEN; INV. PER PLAN
- T/C EL.=801.84
- INV. 15" WEST EL.=796.16 INV. 36" NORTH EL.=794.59
- INV. 36" EAST EL.=794.52
- #247 STORM MANHOLE COULD NOT OPEN; INV. PER PLAN T/C EL.=801.99 INV. 15" NORTH EL.=797.29 INV. 18" WEST EL.=796.99
- INV. 18" EAST EL.=796.94
- #893 STORM MANHOLE COULD NOT OPEN; INV. PER PLAN T/C EL.=803.96 INV. 36" WEST EL.=796.23
- INV. 36" SOUTH EL.=796.24
- #894 STORM MANHOLE COULD NOT OPEN; INV. PER PLAN T/C EL.=805.32 INV. 36" WEST EL.=796.59
- INV. 36" EAST EL.=796.71 #943 STORM MANHOLE
- COULD NOT OPEN; INV. PER PLAN T/C EL.=808.38
- INV. 15" NORTHWEST EL.=800.58 INV. 15" SOUTH EL.=802.28
- INV. 36" WEST EL.=798.49
- INV. 36" EAST EL.=798.32

- #130 CATCH BASIN INLET EL.=801.39
- INV. 18" WEST EL.=795.40 INV. 18" EAST EL.=795.48 #215 CATCH BASIN INLET EL.=801.50
- INV. 36" WEST EL.=794.36 INV. 36" EAST EL.=793.63 #217 CATCH BASIN INLET EL.=801.53
- INV. 6" WEST EL.=799.50 INV. 6" NORTH EL.=799.44 INV. 24" EAST EL.=796.60
- #246 CATCH BASIN INLET EL.=801.93 INV. 12" SOUTH EL.=797.54
- #654 CATCH BASIN INLET EL.=807.92 INV. 12" SOUTH EL.=802.87
- #655 CATCH BASIN INLET EL.=808.18 INV. 12" NORTH EL.=802.73 INV. 18" SOUTH EL.=802.65 INV. 18" EAST EL.=802.13
- #656 CATCH BASIN INLET EL.=808.36 INV. 18" SOUTH EL.=802.92 INV. 18" NORTH EL.=802.88
- #813 CATCH BASIN INLET EL.=808.30 INV. 8" WEST EL.=803.92 INV. 15" NORTH EL.=804.15
- #989 CATCH BASIN INLET EL.=809.70 INV. 12" SOUTHEAST EL.=803.64

- #132 SANITARY MANHOLE T/C EL.=801.84 INV. 8" WEST EL.=790.94 INV. 36" NORTH EL.=789.90 INV. 36" SOUTH EL.=789.77
- #657 SANITARY MANHOLE T/C EL.=808.26 INV. 8" WEST EL.=800.96 INV. 8" NORTH EL.=799.34 INV. 8" SOUTH EL.=799.47 INV. 8" EAST EL.=799.40
- #883 SANITARY MANHOLE T/C EL.=805.32 COULD NOT MEASURE; RUSHIING WATER; INV. PER PLAN INV. 24" WEST EL.=790.94 INV. 36" NORTH EL.=790.87 INV. 36' SOUTH EL.=790.87
- #892 SANITARY MANHOLE T/C EL.=804.23 INV. 36" NORTH EL.=790.38 INV. 36" SOUTH EL.=790.20
- #942 SANITARY MANHOLE T/C EL.=808.47 INV. 24" WEST EL.=798.62 INV. 24" EAST EL.=798.36

		REVISIONS					
ONTAL CONTROL al datum: state plane th zone 23), us survey feet Point 107: 8" mag hub .20 E:1796982.46 Point 109: 8" mag hub .99 E:1797092.24		.(23-321	/2024		-14	
POINT 115: 8" MAG HUB .81 E:1797246.93 POINT 405: 8" MAG HUB .82 E:1796984.54 POINT 589: 8" MAG HUB .31 E:1796950.76		SCALE: 1"=20	WLS JOB No.: 2	OP DR DATE: 01/30/	tO CLIENT: COHAT	F.B./PG.: 44/1	
POINT 1094: 8" MAG HUB .46 E:1797068.44 L BENCHMARKS 8 (" SET ON THE EAST RIM OF THE SANITARY E EAST SIDE OF THE INTERSECTION OF AND NORTH STREET.					8850 COMMERCE LOOP COLUMBUS, OH 43240 (614) 899–2209		
" SET ON THE NORTH RIM OF THE ED AT THE INTERSECTION OF NORTH IG HILL ALLEY. _OOD NOTE WN PER F.E.M.A. FIRM №. 39049C0151K, WI B. SUBJECT PROPERTY WITHIN ZONES X A							
ZONING DO073, AND 273-000098 ARE CURRENTLY SIDENTIAL 3-005565 ARE CURRENTLY ZONED HD-P: RVEY NOTES							
I N25°10'17"W FOR THE EASTERLY RIGHT OF AN OHIO RTN SURVEY, SPCS GRID, OHIO INT, US SURVEY FEET. ASED ON FIELD EVIDENCE, RECORD PLANS OUPS, TICKET Nos. A400801291, A4008012 2.	SOUTH		<u> </u>	+ (、 へ		
TLE NOTES HEREON ARE AS LISTED IN SCHEDULE B, PART II ON OF CHICAGO TITLE INSURANCE COMPANY, TITLE O 01/04/2024. OR CONSTRUCTION AS SET FORTH IN DOCUMENT: B72 SE OF DUBLIN, OHIO PUBLIC UTILITIES, PIPELINES OR FACILITIES IN ANY VERVIEW STREET, LYING WITHIN THE LAND, TOGETHER ESS AND EGRESS TO REPAIR, MAINTAIN, REPLACE					VERVIEW	43017	
FICATION ISION OF CHICAGO TITLE INSURANCE COMPANY, TALON NION, INC., ITS SUCCESSORS AND/OR ASSIGNS AS OR PLAT AND THE SURVEY ON WHICH IT IS BASED HE 2021 MINIMUM STANDARD DETAIL D TITLE SURVEYS, JOINTLY A AND NSPS, AND INCLUDES					J∠ N. K.	DUBLIN. OH 4	
A AND NSPS, AND INCLUDES A THEREOF. 01/24/2024. 4	EVICTINIC		ALIA/NSPS		/,40,00&C) C	
	EXISTING CONDITIONS DRAWING NO.		S	N HE		Γ	
	C002		1		1 0	$\overline{}$	

C002

HORIZC HORIZONTA OHIO SOUTI NAD83(202 CONTROL P N: 765836.2

CONTROL P N: 765565.9

CONTROL P N: 765904.8

CONTROL P N: 765578.8

CONTROL P N: 765708.

CONTROL P N: 765872.4

VERTICAL

VERTICAL DATUM: NAVD '88

SITE BM A: A CHISELED "X" MANHOLE LOCATED ON THE NORTH RIVERVIEW STREET A ELEV=805.32

SITE BM B: A CHISELED "X" SANITARY MANHOLE LOCATE RIVERVIEW STREET AND WING ELEV=801.81

FΙ

FLOODPLAIN BOUNDARIES SHOWN EFFECTIVE DATE OF 6/17/2008.

PARCELS 273-000042, 273-000 ZONED HD-HR: HISTORICAL RES PARCELS 273-005564 AND 273 PUBLIC.

SUR

1. BEARINGS HERON BASED ON LINE OF N. RIVERVIEW ST., PER ZONE, NAD83, 2023 ADJUSTMEN

2. UTILITIES SHOWN HEREON BA MARKINGS THROUGH CALL TO C B400800626, AND A400801252.

TIT

ITEMS LISTED BELOW AND PLOTTED H EXCEPTION OF AMERITITLE, A DIVISION COMMITMENT No. C24010003. DATED

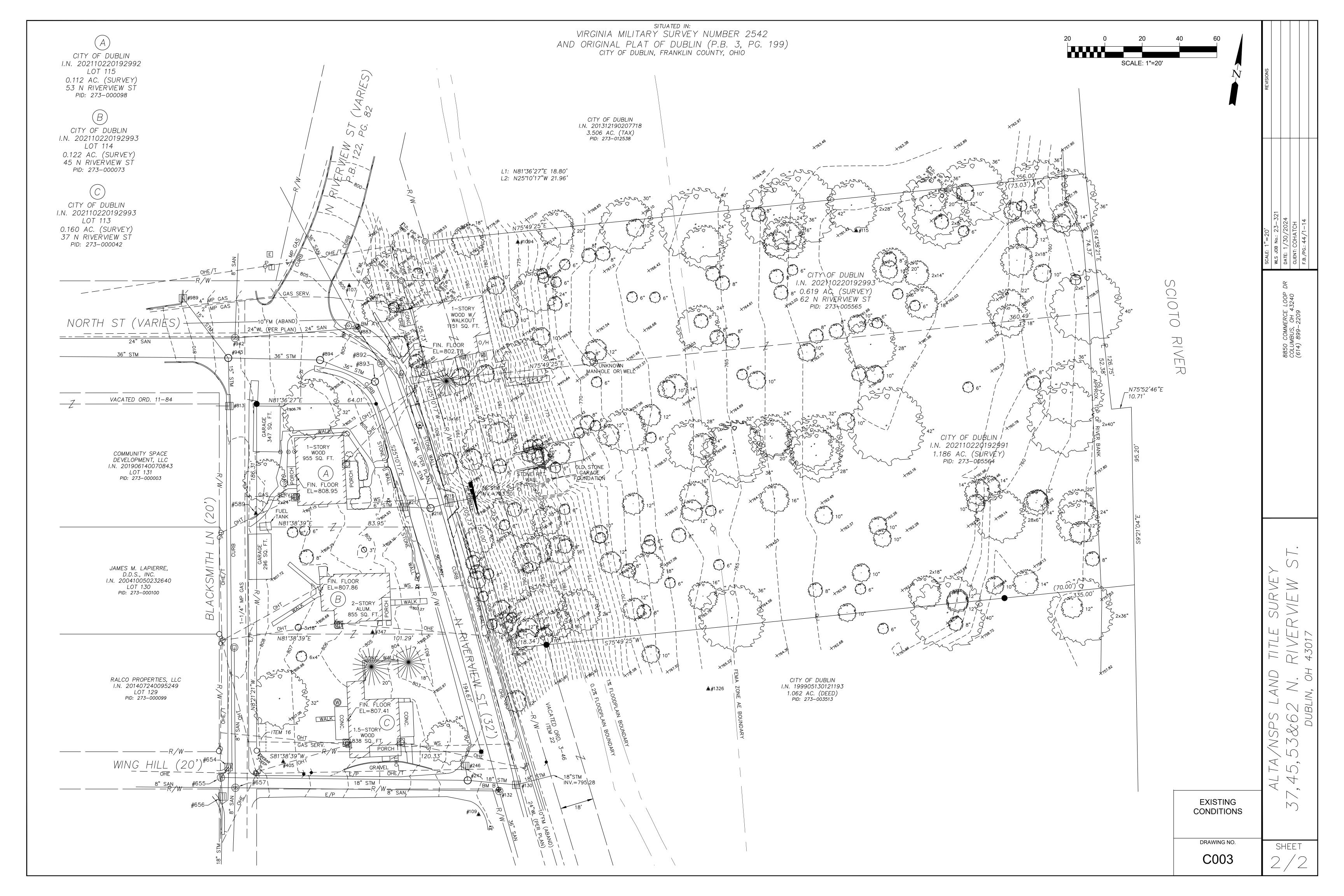
ITEM 16: TEMPORARY EASEMENT FOR DEED BOOK 3511, PAGE 87 GRANTED TO: THE VILLAGE

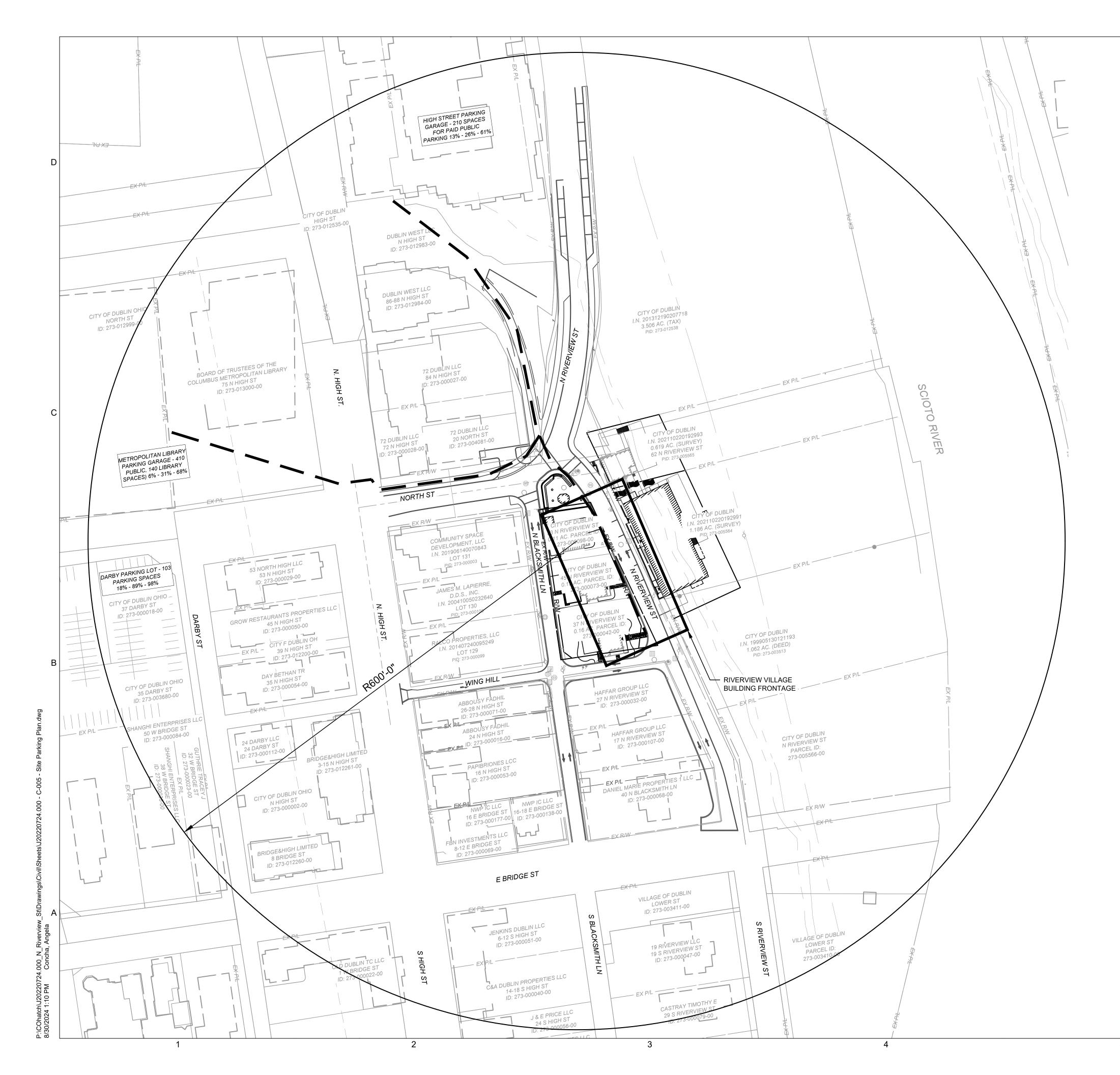
ITEM 22: EASEMENTS, IF ANY, FOR I PORTION OF VACATED RIVE WITH THE RIGHT OF INGRES AND REMOVE THE SAME.

CERTIF

TO COHATCH LLC, AMERITITLE, A DIVIS TITLE AGENCY AND TELHIO CREDIT UNI THEIR INTEREST MAY APPEAR: THIS IS TO CERTIFY THAT THIS MAP C WERE MADE IN ACCORDANCE WITH THE REQUIREMENTS FOR ALTA/NSPS LAND ESTABLISHED AND ADOPTED BY ALTA ITEMS 1-9, 11, 13, 15-18, OF TABLE THE FIELDWORK WAS COMPLETED ON

DATE OF PLAT OR MAP: 01/30/2024







SITE PARKING PLAN LEGEND:

PATH TO PARKING

ADJACENT PARCEL IDENTIFICATION NUMBER:

273-013000	273-012538	273-000098	273-012260	273-000107
273-000028	273-005565	273-000016	273-000023	273-005566
273-000029	273-005564	273-000053	273-000036	273-003410
273-000050	273-003513	273-000069	273-000084	273-003411
273-000002	273-000032	273-000138	273-003680	273-000177
273-000027	273-000071	273-000051	273-000018	273-000099
273-000028	273-000003	273-000040	273-000022	273-000054
273-004081	273-000100	273-000056	273-000047	273-012200
273-012984	273-000042	273-000112	273-000079	273-012999
273-012983	273-000073	273-012261	273-000068	273-012535

COMMERCIAL PARKING REQUIREMENTS:

RESTAURANT REQUIRED: 10 SPACES PER 1,000 SF RESTAURANT AREA = 6,613 SF REQUIRED SPACES: 67 SPACES OFFICE, GENERAL REQUIRED: 2.5 SPACES PER 1,000 SF OFFICE, GENERAL AREA = 15,225 SF REQUIRED SPACES: 40 SPACES

EXISTING SPACES IN PARKING GARAGE AND LOT: 651 SPACES

AVAILABLE SPACES IN PARKING GARAGE AND LOT: 465 SPACES AVAILABLE SPACES IN PARKING GARAGE AND LOT AT 50%: 284 SPACES

PARKING SUMMARY:

PARKING ZONING ORDINANCE REQUIRES 10 PARKING SPACE PER 1,000 SF FOR RESTAURANT BUILDINGS, REQUIRING 67 PARKING SPACES AND 2.5 PARKING SPACES PER 1,000 SF FOR OFFICE, GENERAL BUILDINGS REQUIRING 40 PARKING SPACES, GIVING A TOTAL OF 107 SPACES. DUE TO RESTRICTED SPACE IN THE PROPERTY THE SITE DOES NOT MEET THE ZONING ORDINANCE . THE METROPOLITAN LIBRARY HAS A TOTAL OF 550 EXISTING PARKING OF WHICH 140 ARE RESERVED FOR THE LIBRARY AND 410 ARE FOR PUBLIC. HIGH STREET PARKING GARAGE HAS A TOTAL OF 210 EXISTING PARKING SPACES.

THE OVERALL HISTORIC DOWTOWN DUBLIN AREA CAN BE LOOKED AT AS A "MIXED-USE" DEVELOPMENT. AS SUCH, THERE DEVELOPMENTS UTILIZE SHARED PARKING FOR THE SURROUNDING GARAGES. COHATCH WILL BE UTILIZING THE AVAILABLE PUBLIC PARKING SPACES DURING TYPICAL BUSINESS HOURS.

PARKING UTILIZATION:

10AM / 1PM / 7PM

Building	Spaces Required	On-Street along Frontage	Off-Site Required	Offsite Proposed	Proposed Off-Site Location	Walking Distance (Feet) to Offsite Location	Time (Minutes) to Walk at 3 Ft/Sec Avg
37 N. Riverview	3	0	3	3	High St Garage	688	3.8
57 IN, KIVEFVIEW	3	U	2%	0	Library Garage	796	4.4
45 N. Riverview	3		3	3	High St Garage	617	3.4
TO IN. KIVERVIEW	2	0 0	2	0	Library Garage	718	4.0
53 N. Riverview	3		3	0	High St Garage	546	3.0
53 IN. KIVETVIEW			2	3	Library Garage	640	3.6
	45		45	25	High St Garage	473	2.6
52 N. Riverview	43	Q	43	28	Library Garage	572	3.2
NETTODAL	52	F	53	20	High St Garage	570	3.2
New Build	53	:5	53	35	Library Garage	680	3.8
Total =	107	5	107	107	··	<u>8 8</u>	1

 Total Riverview Village Offsite Allocated to High St Garage =
 44%

 Total Riverview Village Offsite Allocated to Library Garage =
 60

Location/Time	Public Spaces	Occupied %	Occupied #	Available	Less Riverview Village Offsite	Remaining Available
High Street Garage						
10am Weekday		13%	27	177	-47	130
1pm Weekday	204	26%	53	151	-47	104
7pm Weekday		61%	124	80	-47	33
Library Garage						
10am Weekday		6%	25	385	-60	325
1pm Weekday	410	31%	127	283	-60	223
7pm Weekday		68%	279	131	-60	71

NORTH
GRAPHIC SCALE
10' 20'

ı _	20	

1 INCH = 20 FEET

	OHIO	
TAG		DATE
-	PDP SUBMITTAL	8/30/24
Unle	l ess otherwise stated in C	ontract,
The	e Osborn Engineering Co retains copyright owners	
used	ruments of Service may I for the purpose describe	ed in the
Coi	ntract. The Osborn Engir mpany may grant specific	usage
	hts under license, and / c ransfer copyright owners	
	gnment in writing. Repro	
	of Service is prohibited	d. ABC
CHE	CKED BY	WMD
	ENT PROJ NO. ORN PROJ NO. J20220)724.000
SI	TE PARKING P	PLAN
	DRAWING NO.	
	C004	

HATCH

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DUBLIN -

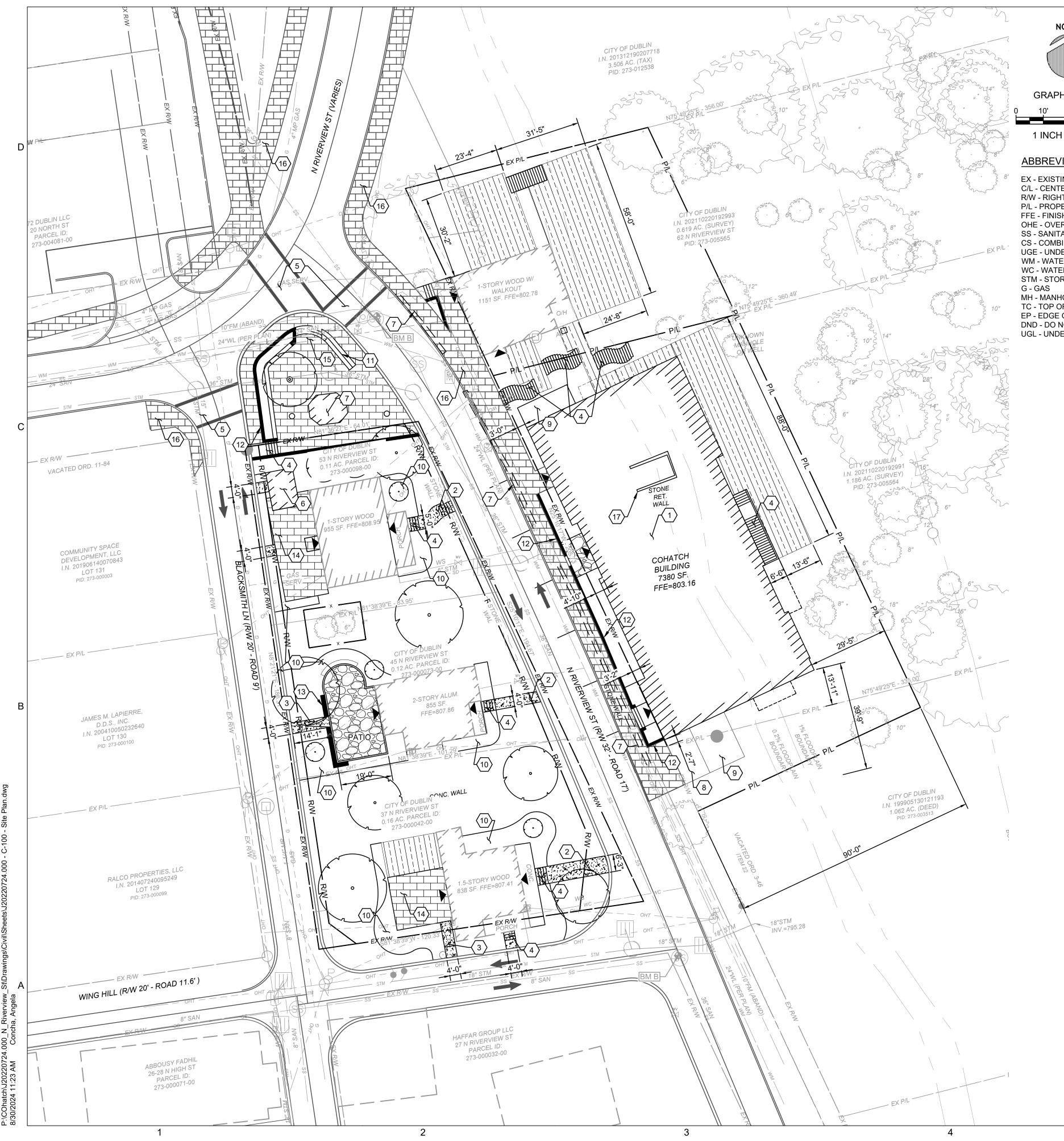
RIVERVIEW

VILLAGE

DEVELOPMENT

COHATCH

CITY OF DUBLIN



NORTH **SITE LAYOUT PLAN CODED NOTES:** 1. PROPOSED BUILDING (SEE ARCHITECTURAL PLANS FOR DETAILS). 2. PROPOSED CONCRETE WALK. **GRAPHIC SCALE** 3. PROPOSED CONCRETE RAMP. 4. PROPOSED STEPS. 5. PROPOSED CROSSWALK (SEE R/W IMPROVEMENT PLANS, BY OTHERS). 1 INCH = 20 FEET 6. PROPOSED SHED (SEE ARCHITECTURAL PLANS FOR DETAILS). ABBREVIATION LEGEND: 7. PROPOSED KIOSK (SEE ARCHITECTURAL PLANS FOR DETAILS). EX - EXISTING C/L - CENTER LINE 8. PROPOSED TRASH LOCATION (SEE ARCHITECTURAL PLANS FOR DETAILS). R/W - RIGHT OF WAY 9. PROPOSED MECHANICAL YARD. P/L - PROPERTY LINE FFE - FINISH FLOOR ELEVATION 10. PROPOSED PLANTING BED (SEE LANDSCAPE PLANS FOR DETAILS). **OHE - OVERHEAD ELECTRIC** SS - SANITARY SEWER 11. PROPSOSED WOOD BENCH (SEE ARCHITECTURAL PLANS FOR DETAILS). **CS - COMBINED SEWER UGE - UNDERGROUND ELECTRIC** WM - WATERMAIN WC - WATER CONNECTION STM - STORM SEWER 14. PROPOSED PATIO (SEE ARCHITECTURAL PLANS FOR DETAILS). MH - MANHOLE TC - TOP OF CURB 15. PROPOSED PLAZA (SEE ARCHITECTURAL PLANS FOR DETAILS). **EP - EDGE OF PAVEMENT** 16. PROPOSED BRICK SIDEWALK (SEE R/W IMPROVEMENT PLANS, BY OTHERS). DND - DO NOT DISTURB UGL - UNDERGROUND LIGHT 17. EXISTING STONE FOUNDATION TO BE REMOVED AND SALVAGED FOR RELOCATION IN ADJACENT PARK. SITE LAYOUT PLAN LEGEND: CONCRETE PAVEMENT. BRICK PAVEMENT. WOOD DECK PATIO (SEE ARCHITECTURAL PLANS FOR DETAILS). GRAVEL. EXISTING TREE. PROPOSED TREE (SEE LANDSCAPE PLANS FOR DETAILS). ------ × ------ PROTECTIVE TREE FENCE. SITE LAYOUT PLAN GENERAL NOTES 2. PAVEMENT 3. HOT APPLIED JOINT SEALER. 4. ALL RADIUS TO BE 4 FT UNLESS NOTED OTHERWISE.

NOTES 2) CONCRETE-



5

- 12. PROPOSED STONE RETAINING WALL (SEE ARCHITECTURAL PLANS FOR DETAILS).
- 13. PROPOSED FREESTANDING STONE WALL (SEE ARCHITECTURAL PLANS FOR DETAILS).

DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.

EXISTING PAVEMENT GRADES TO MATCH (FLUSH) WHERE NEW PAVEMENT MEETS EXISTING

PAVEMENT JOINT WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT TO BE SEALED WITH

1) USE 3/8"x 4" EXPANSION JOINTS AT CHANGE OF DIRECTIONS, CURBS, RIGID STRUCTURES, AND RIGID PAVEMENT. ON STRAIGHT RUNS PROVIDE EXPANSION JOINTS EVERY 20 FEET.

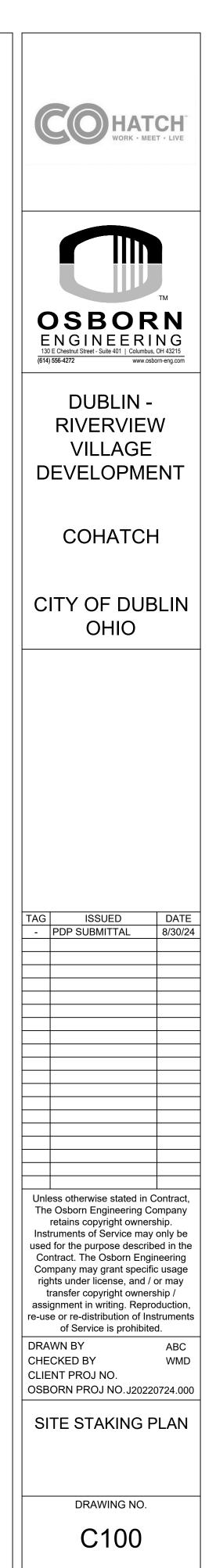
SIDEWALKS- USE READY-MIX CONCRETE WITH 4,000 PSI STRENGTH @ 28 DAYS. SIDEWALKS WITHIN RIGHT-OF-WAY SHALL BE COC CLASS 5 (4500 PSI)

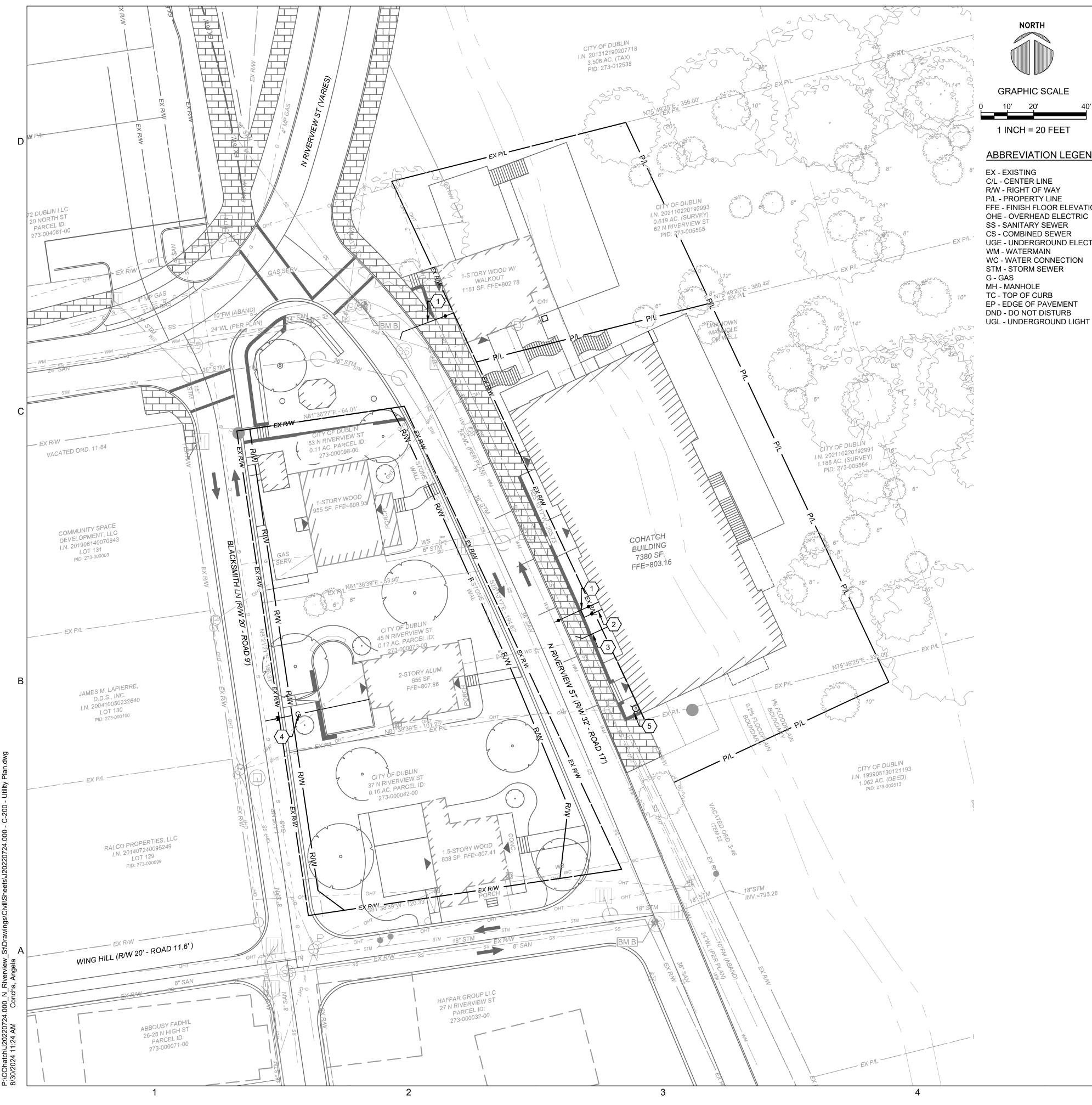
3) USE REINFORCEMENT - 6x 6 - W1.4x W1.4 W.W.M. 4) TOOL ALL EXPOSED EDGES AND JOINTS TO 3/4" RADIUS.

5) BROOM FINISH ACROSS DIRECTION OF TRAVEL.

6) REFERENCE CITY OF COLUMBUS STANDARD DRAWING 2300 WHEN SIDEWALK IMPROVEMENTS ARE WITHIN RIGHT-OF-WAY.

	SIDEWALK		T = 4"		
	SIDEWALK		B = 4"		
	055				
		SLOPE		•	ł
	ON I	PLANS			
	2% N	IAX SLOPE			
, <u> </u>		×۲ <u>۵</u> هم در ۲	× · · · · · · · · · · · · · · · · · · ·	X	∭⊢
UXIXIX	IXIXIXIXIXI	XXXXXXX	UKIKU,	XXX	XX
GREGAT (ODC	E BASE — DT 304)	COMPAC SUBGRADE (4)	****
_C(ONCRETE SI	DEWALK E 0 scale	DETAIL	-	





ABBREVIATION LEGEND:

40

FFE - FINISH FLOOR ELEVATION OHE - OVERHEAD ELECTRIC CS - COMBINED SEWER UGE - UNDERGROUND ELECTRIC WC - WATER CONNECTION STM - STORM SEWER

4. PROPOSED GAS SERVICE. G GAS VALVE

$\langle \# \rangle$ UTILITY LAYOUT PLAN CODED NOTES:

1. PROPOSED WATER SERVICE.

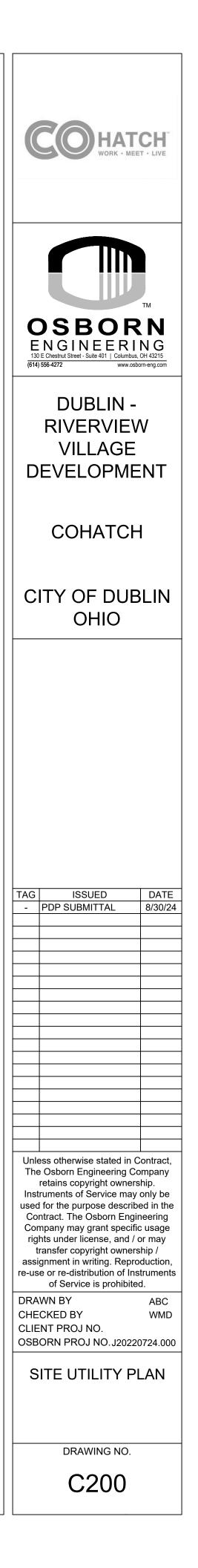
2. PROPOSED FIRE SERVICE.

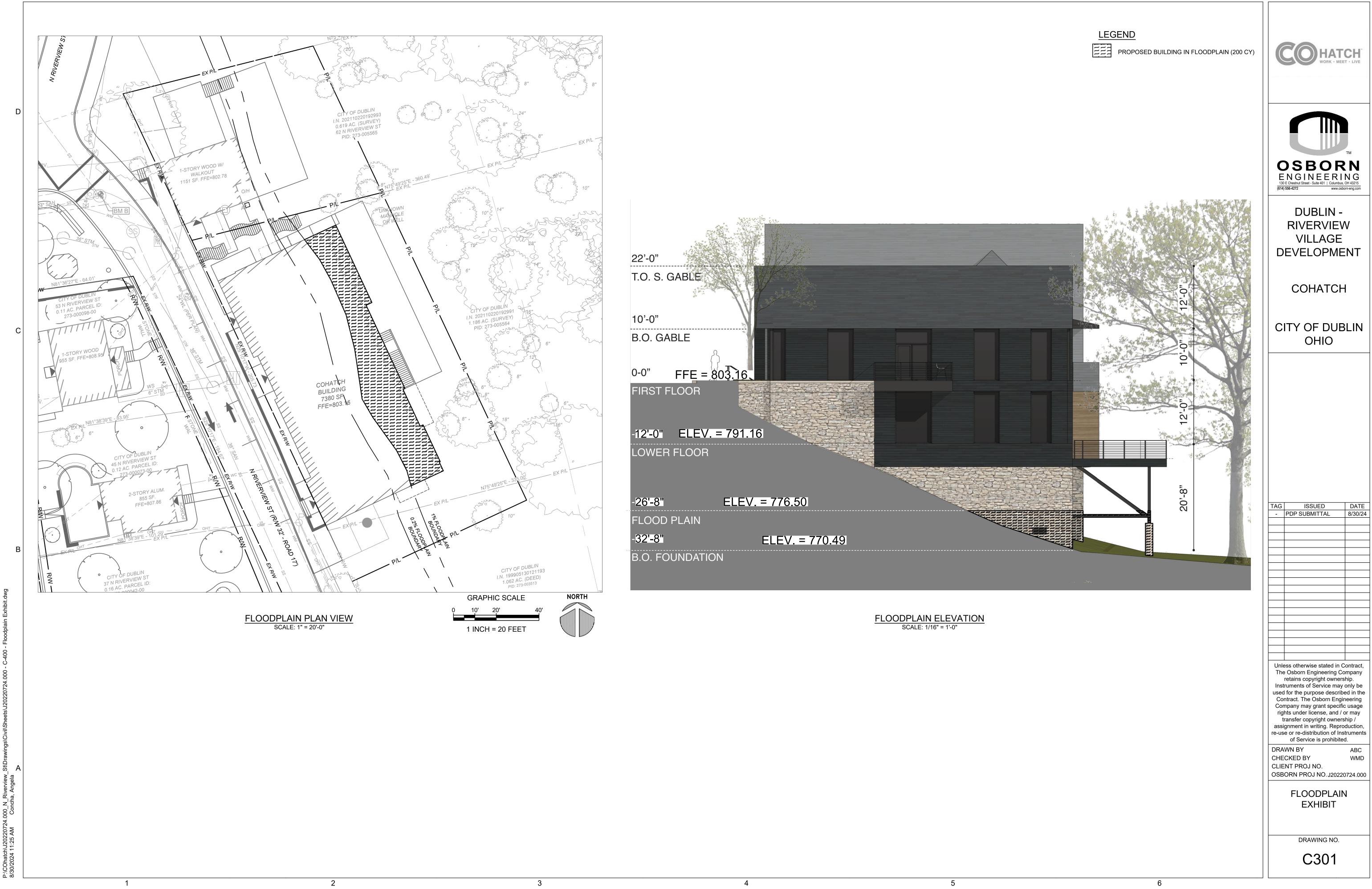
3. PROPOSED SANITARY SERVICE LATERAL.

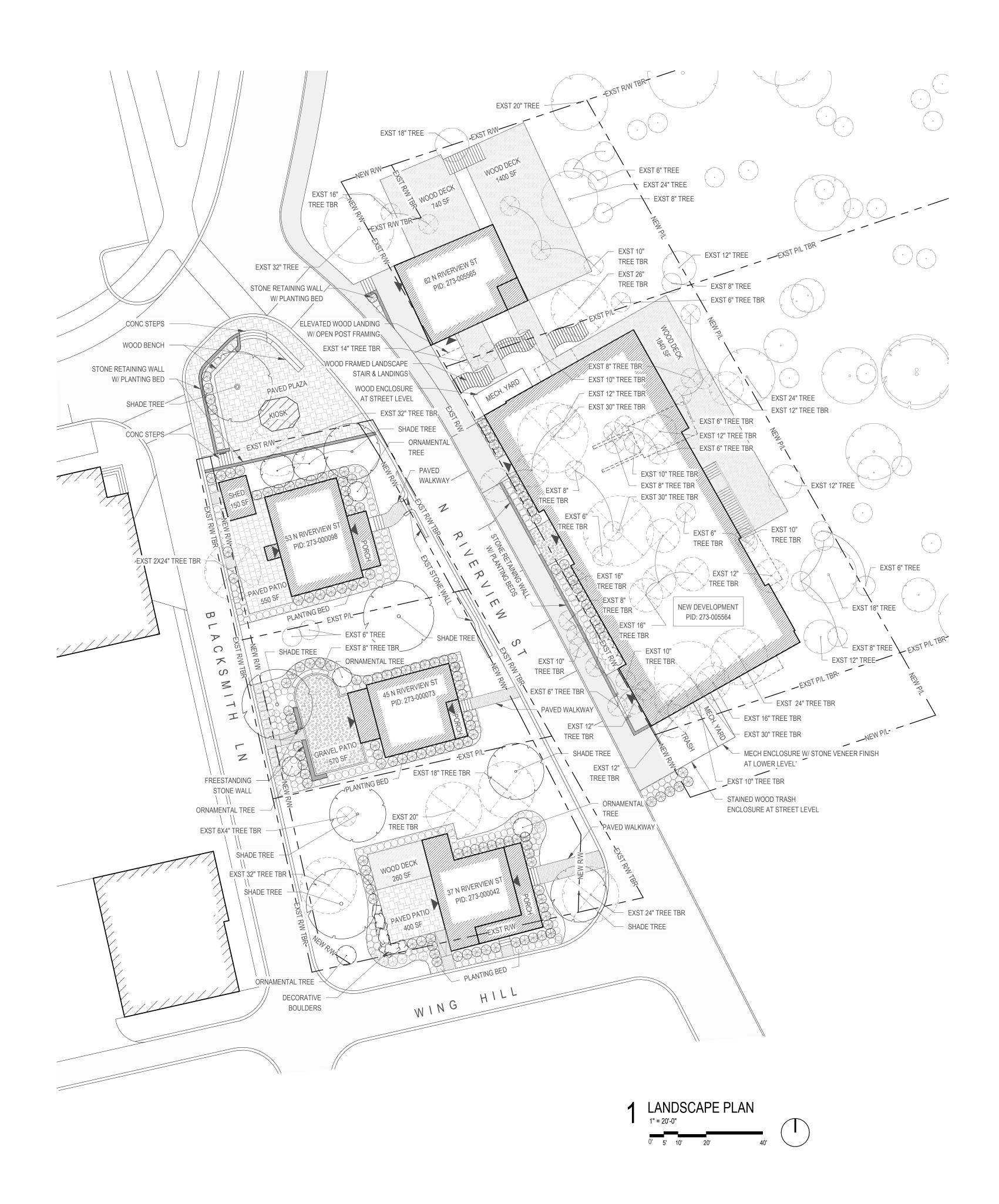
5. PROPOSED FIRE DEPARTMENT CONNECTION LOCATION.

UTILITY LAYOUT PLAN LEGEND:

(FDC) FIRE DEPARTMENT CONNECTION







N. RIVERVIEW STREET DUBLIN, OH 43017



Tim Lai ArchitecT

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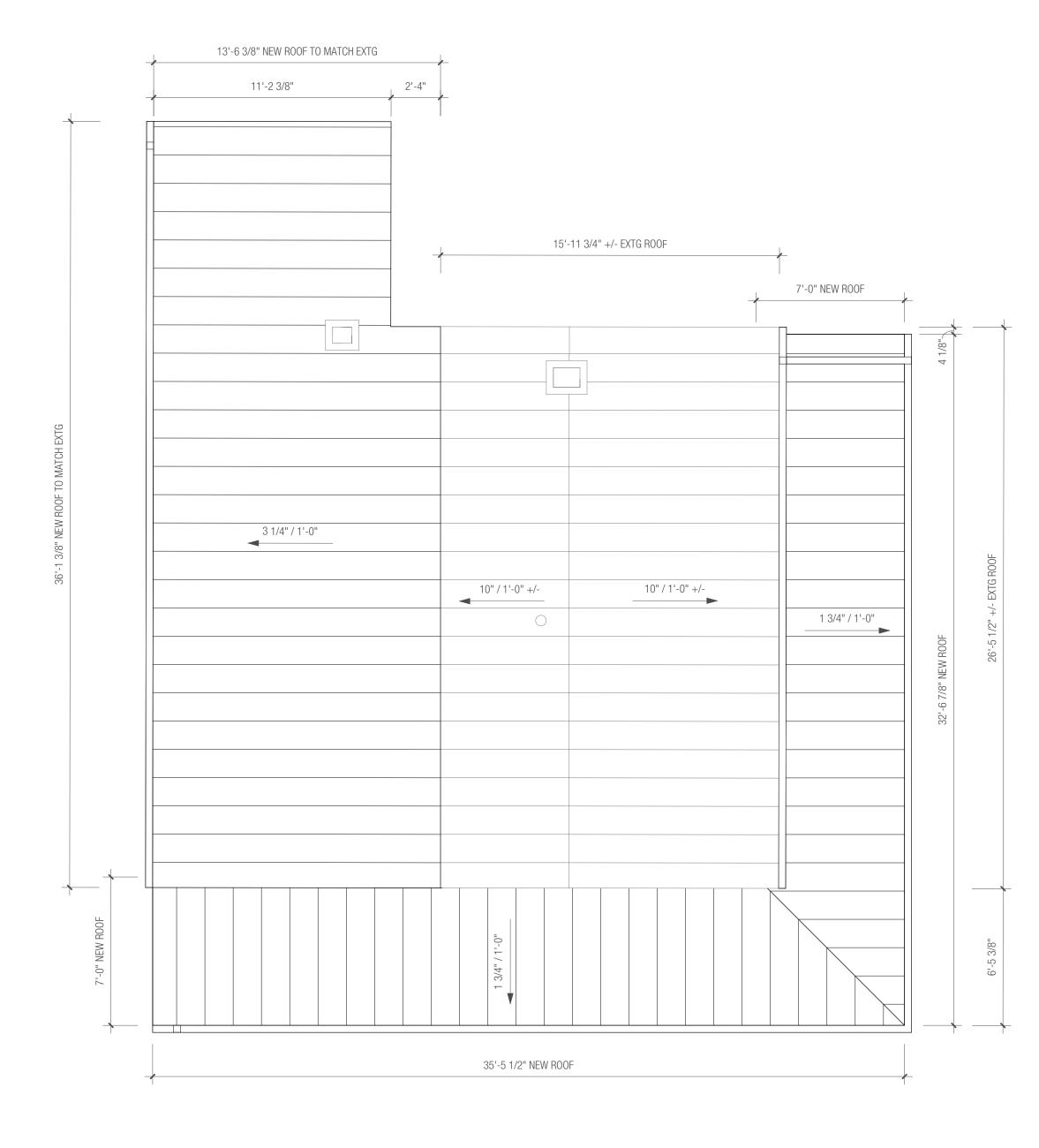
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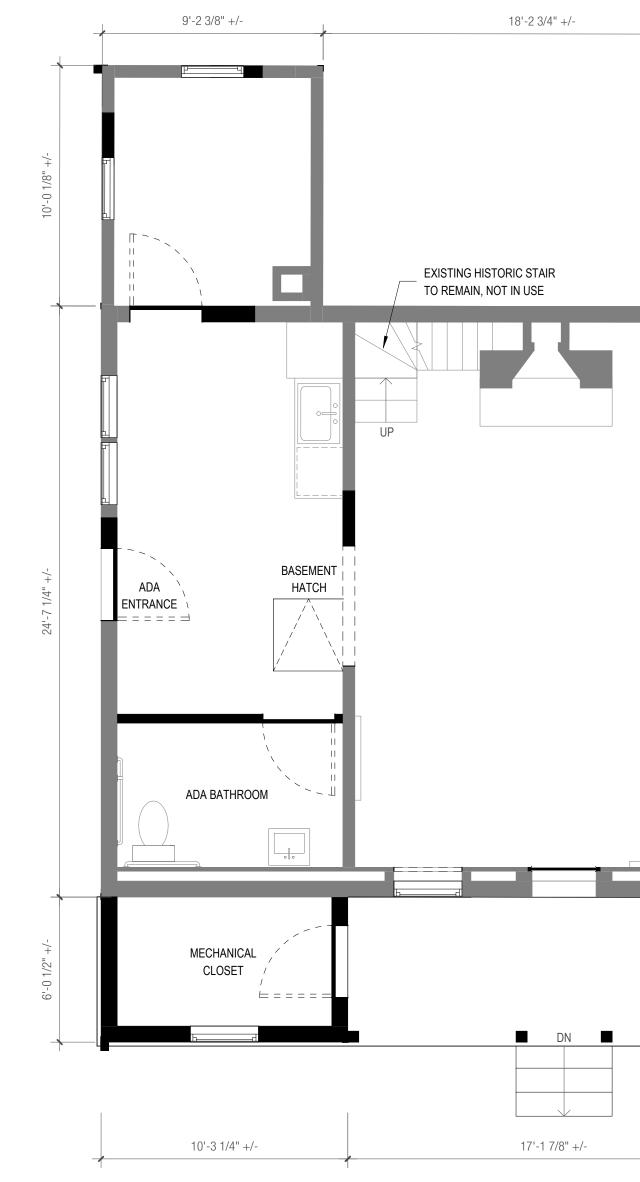
PRELIMINARY DEVELOPMENT PLAN 08/30/24

PRELIMINARY DOCUMENTS NOT FOR CONSTRUCTION

LANDSCAPE PLAN

PROJECT #	23115			
DATE	08/30/24			
DRAWN BY: JF	REVIEWED BY: JF			
SHEET #				
L101				
COHATCH RIVERVIEW				





2 ROOF PLAN

37 N. RIVERVIEW ST DUBLIN, OH 43017

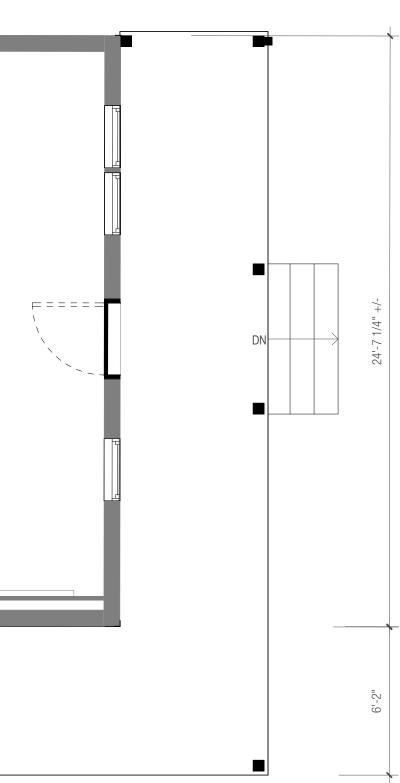


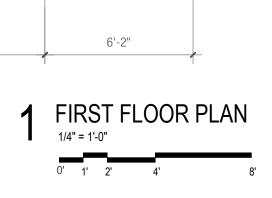
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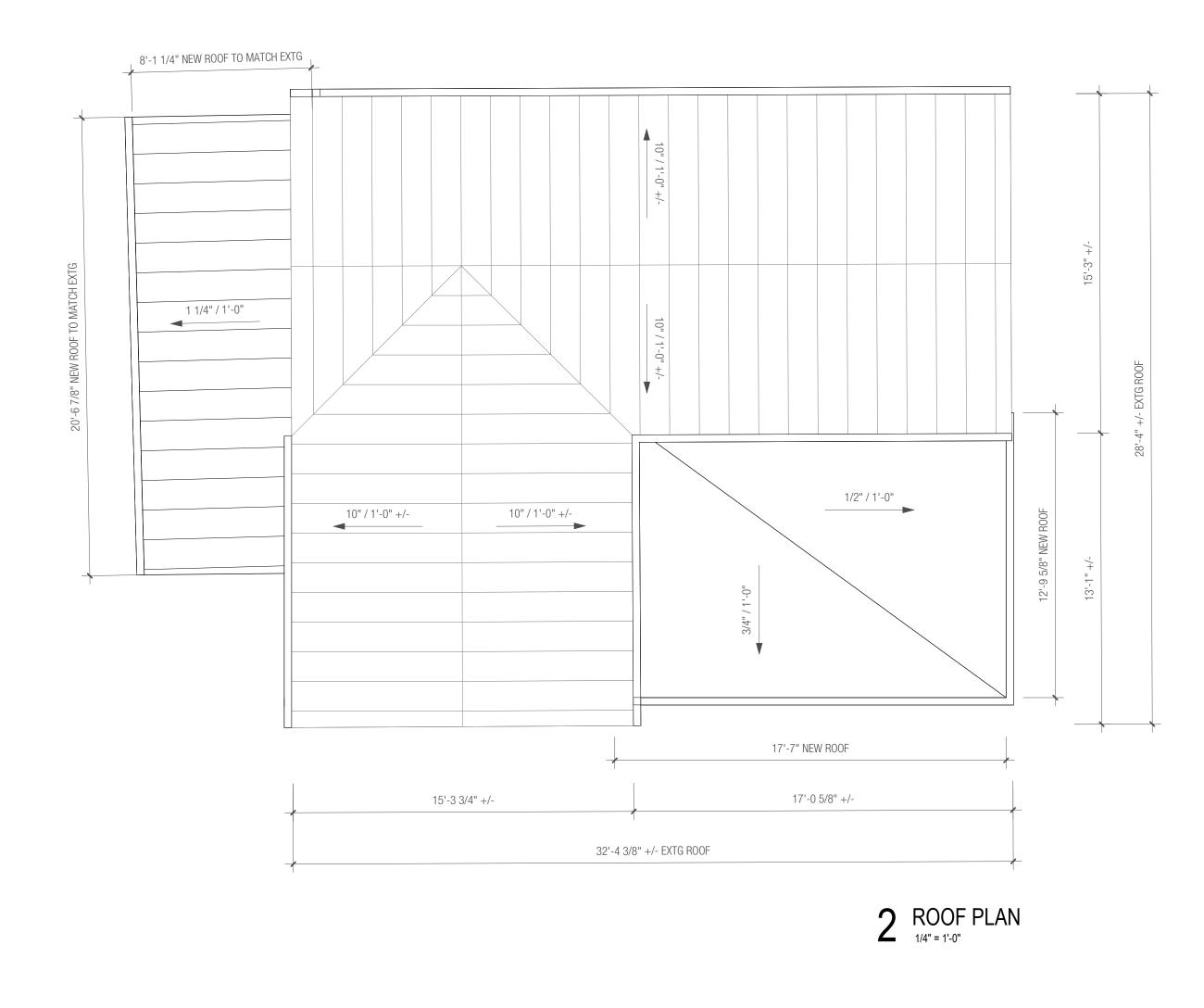


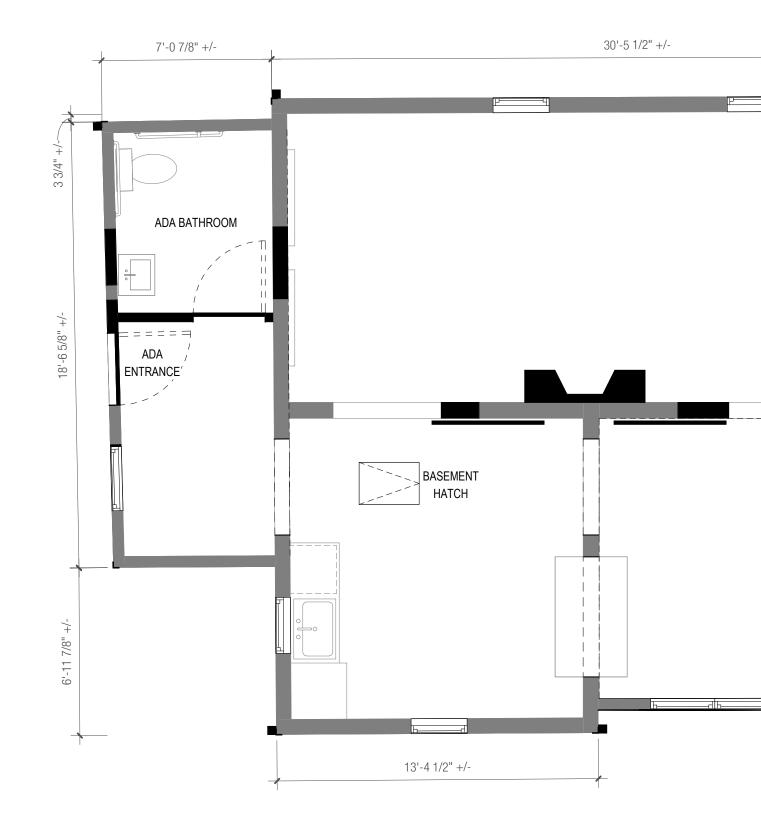
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37 FIRST FLOOR & ROOF PLAN

PROJECT #	23115
DATE	08/30/24
DRAWN BY: AG	REVIEWED BY: JF

SHEET #





45 N. RIVERVIEW ST DUBLIN, OH 43017

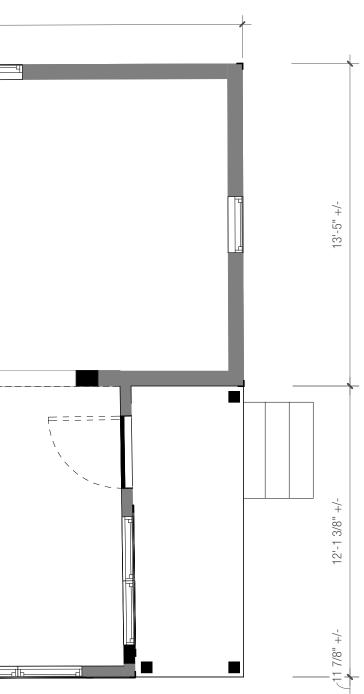


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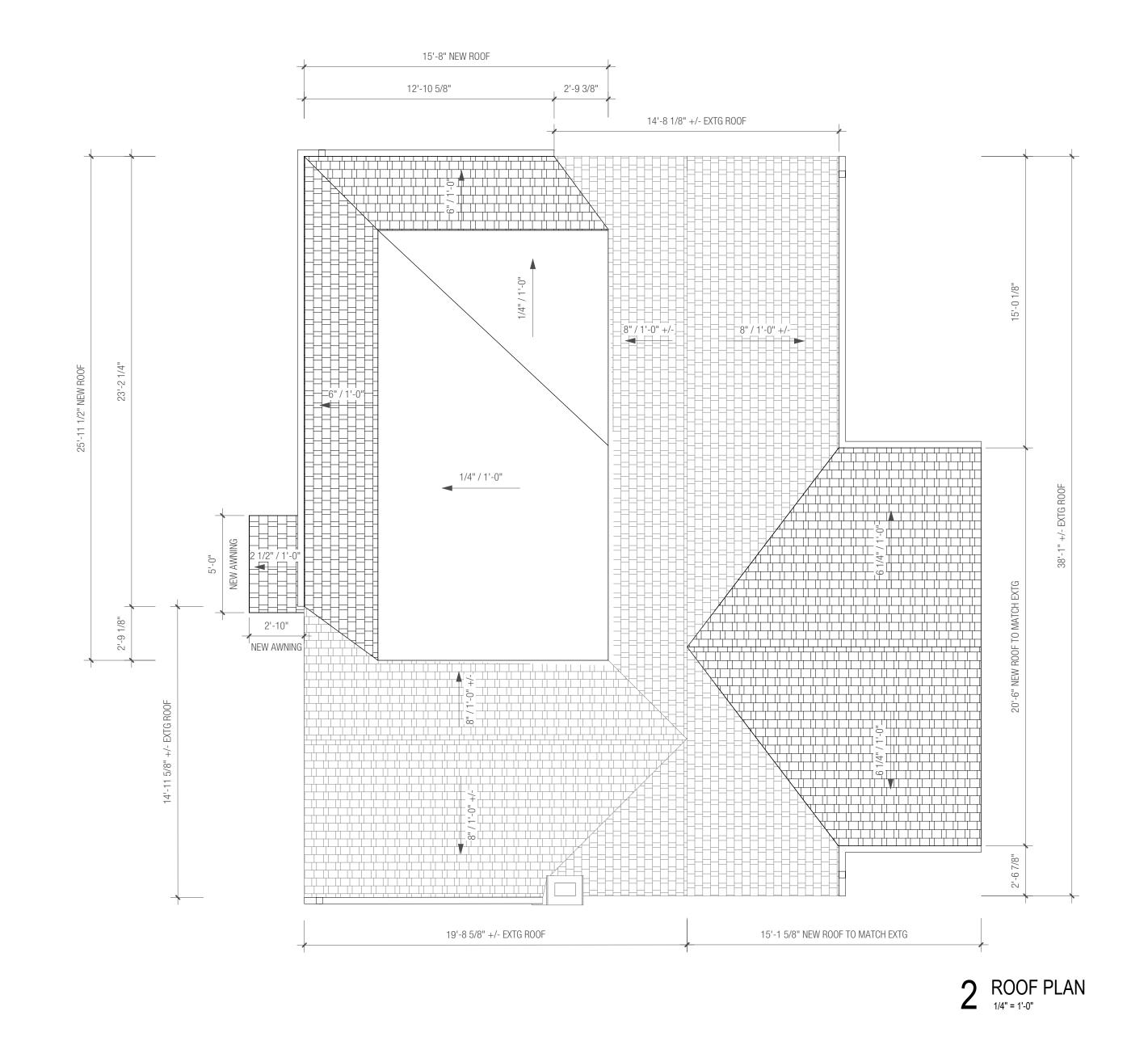
1 FIRST FLOOR PLAN 1/4" = 1'-0" 0' 1' 2' 4' 8'

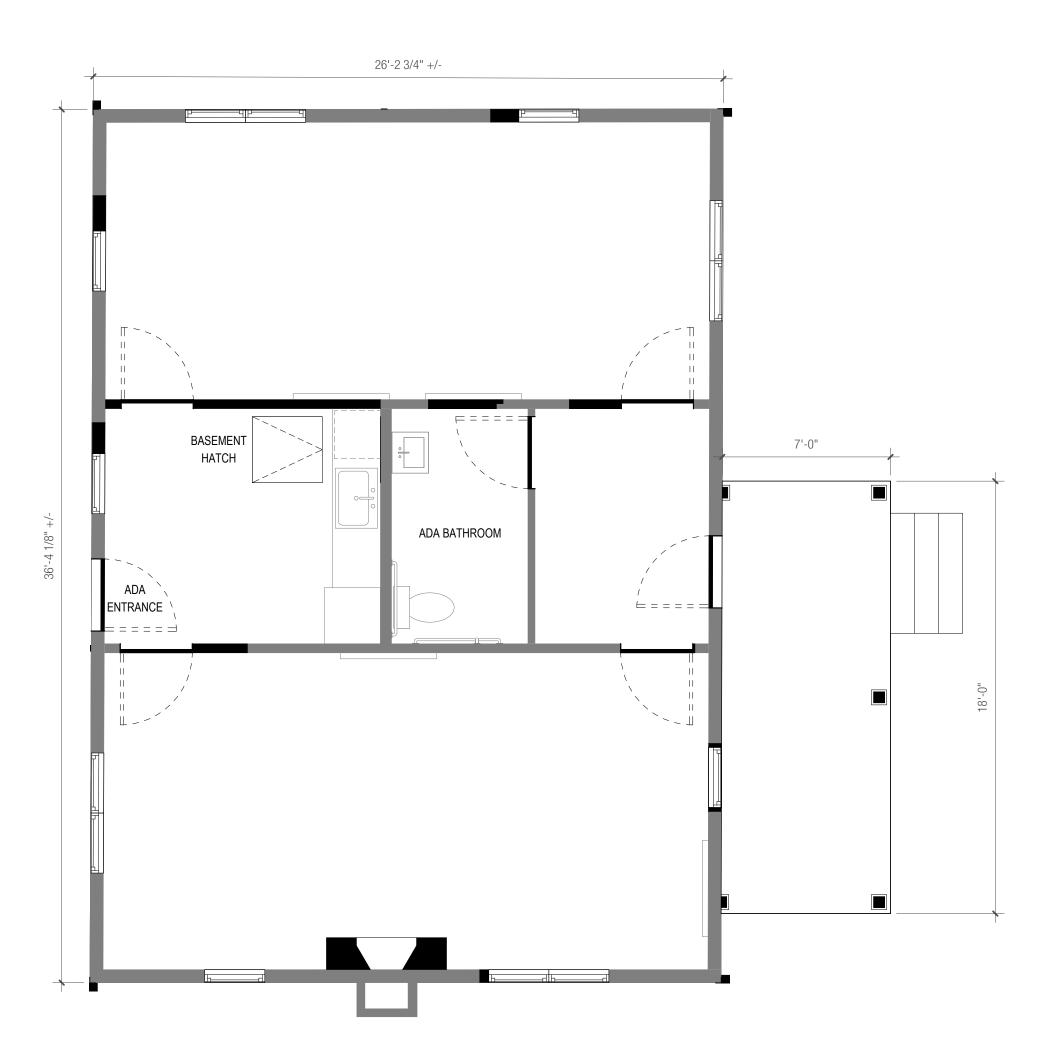
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45 FIRST FLOOR & ROOF PLAN

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DATE	08/30/24
DRAWN BY: AG	REVIEWED BY: JF

SHEET #





53 N. RIVERVIEW ST DUBLIN, OH 43017



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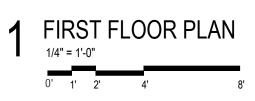
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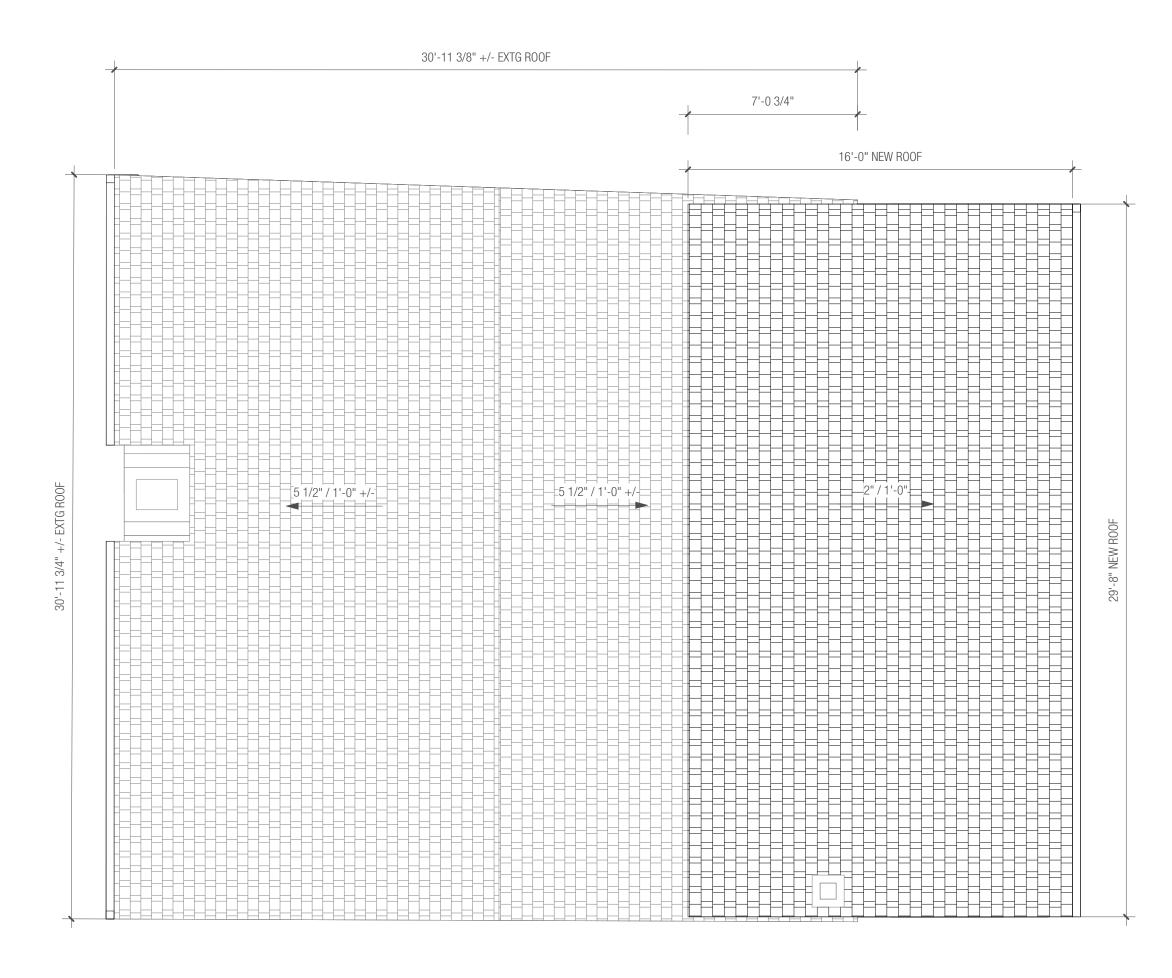


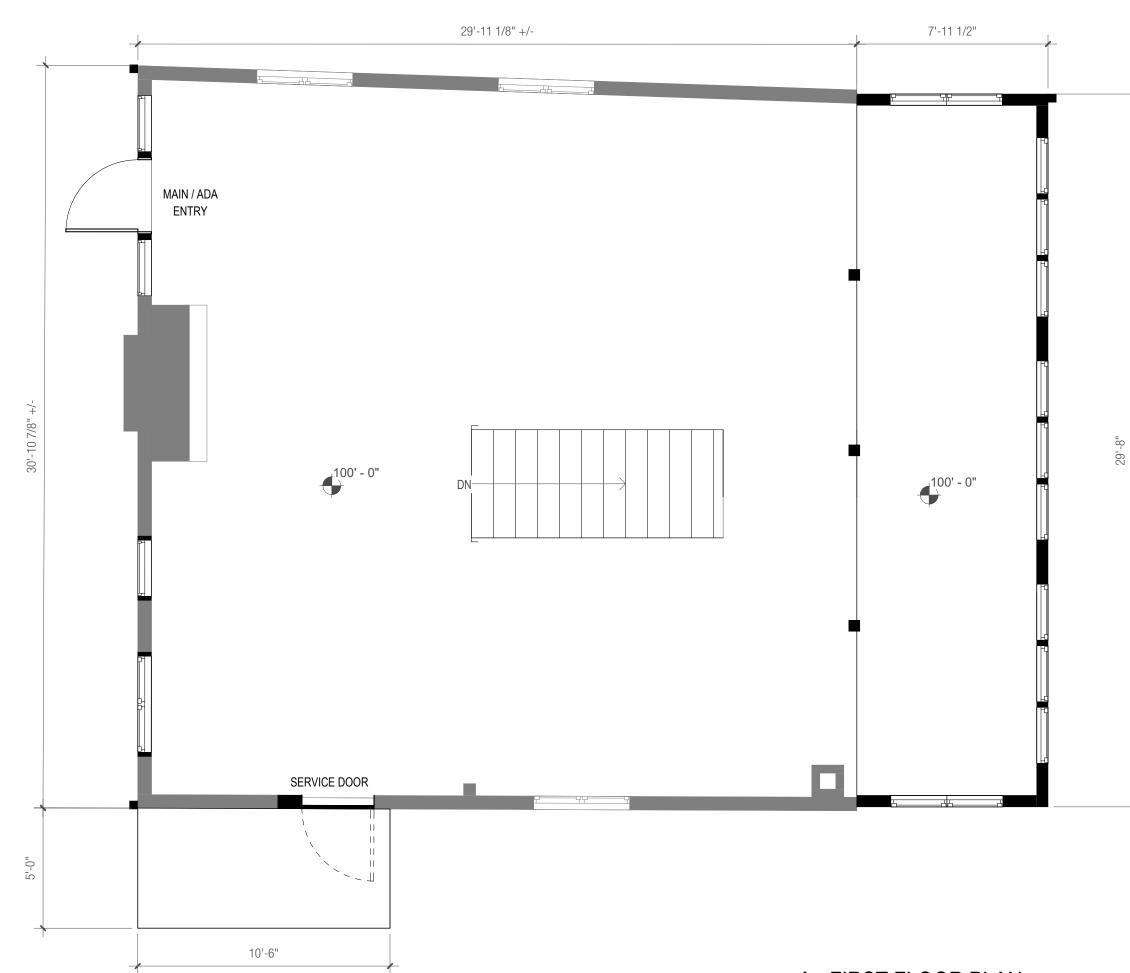
PRELIMINARY DOCUMENTS NOT FOR CONSTRUCTION

53 FIRST FLOOR & ROOF PLAN

PROJECT #		23115
DATE		08/30/24
DRAWN BY:	AG	REVIEWED BY: JF

SHEET #





2 ROOF PLAN

62 N. RIVERVIEW ST DUBLIN, OH 43017



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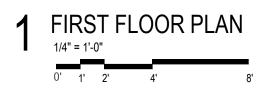
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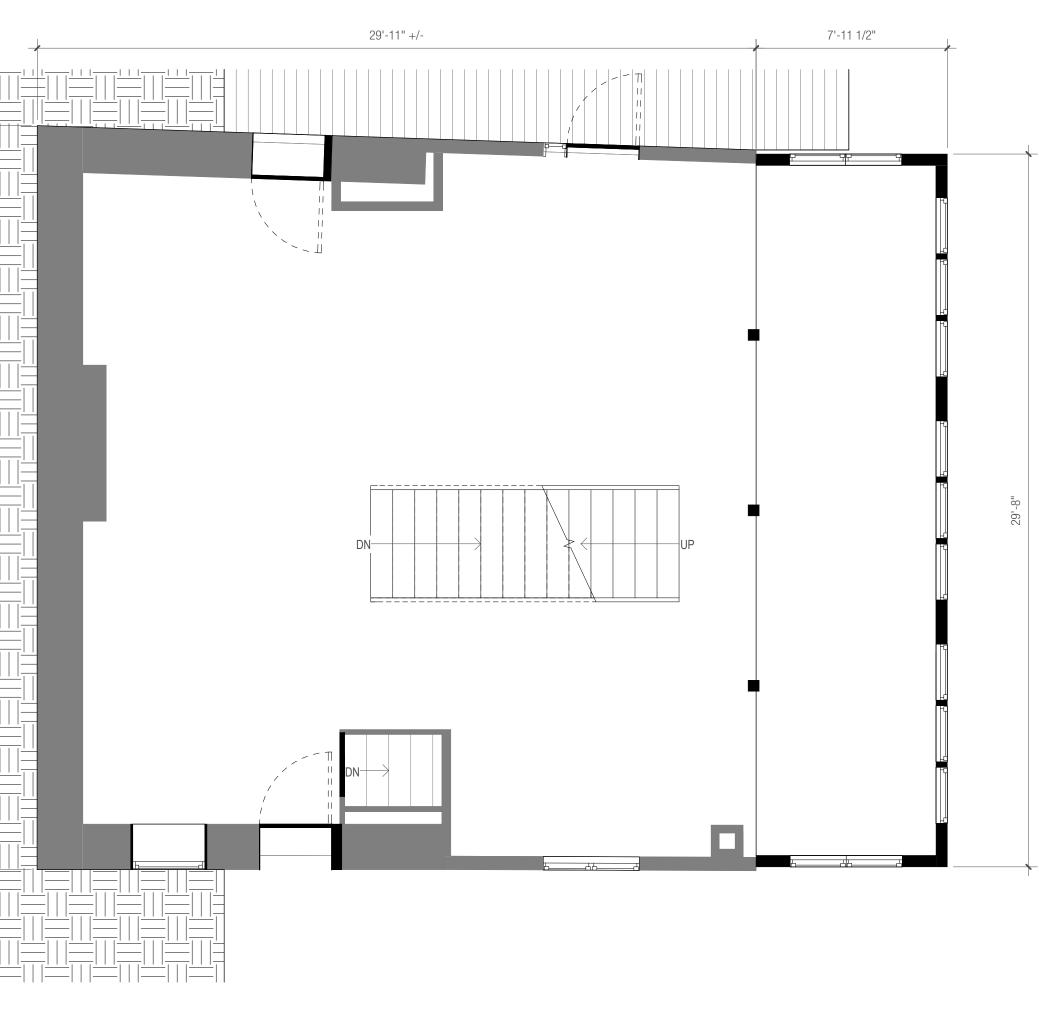
62 FIRST FLOOR & ROOF PLAN

PROJECT #		23115
DATE		08/30/24
DRAWN BY:	AG	REVIEWED BY: JF

SHEET #



0'-11 5/8" +/-



1 NEW B1 PLAN 1/4" = 1'-0" 0' 1' 2' 4' 8

COHATCH RIVERVIEW

62 N. RIVERVIEW ST DUBLIN, OH 43017



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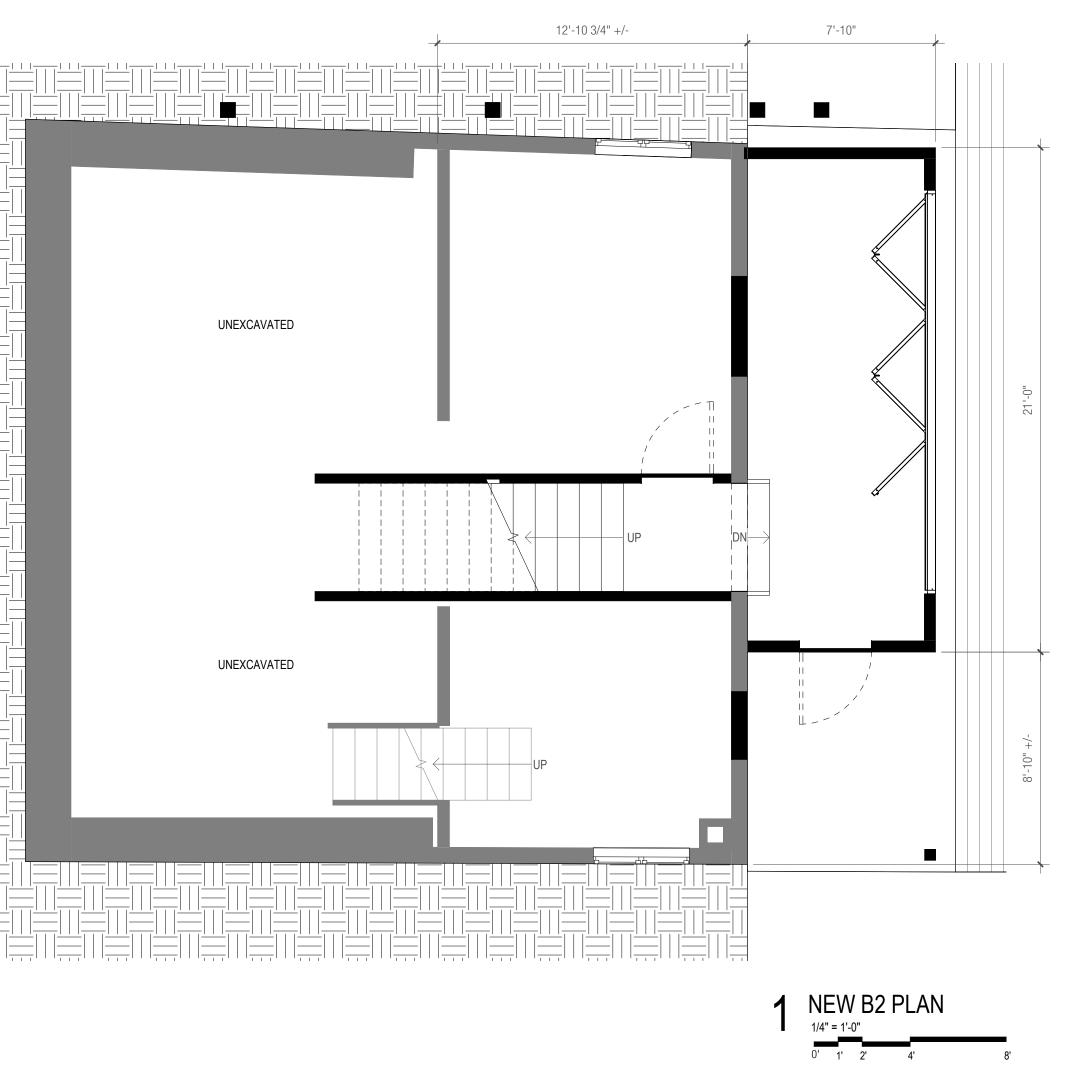
PRELIMINARY DEVELOPMENT PLAN 08/14/24

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62 B1 PLAN

PROJECT #	23115
DATE	08/14/24
DRAWN BY: AG	REVIEWED BY: JF

SHEET # A114 COHATCH RIVERVIEW



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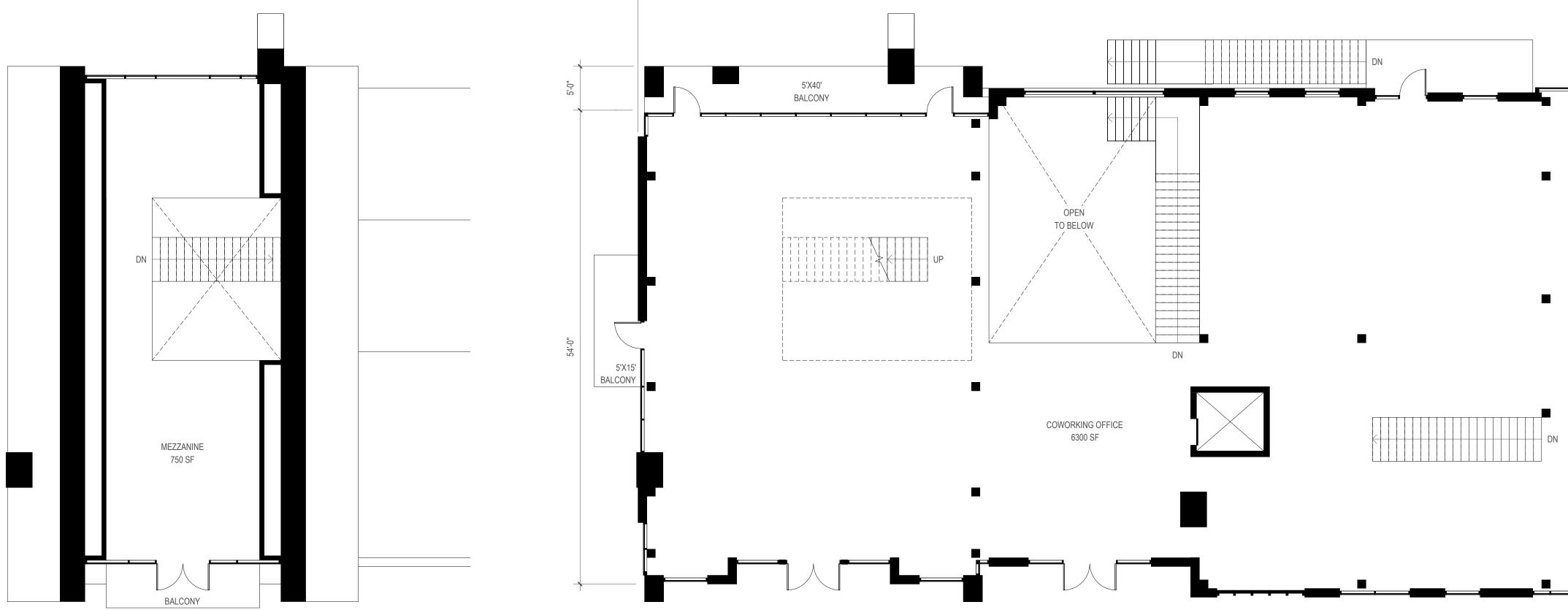
PRELIMINARY DEVELOPMENT PLAN 08/14/24

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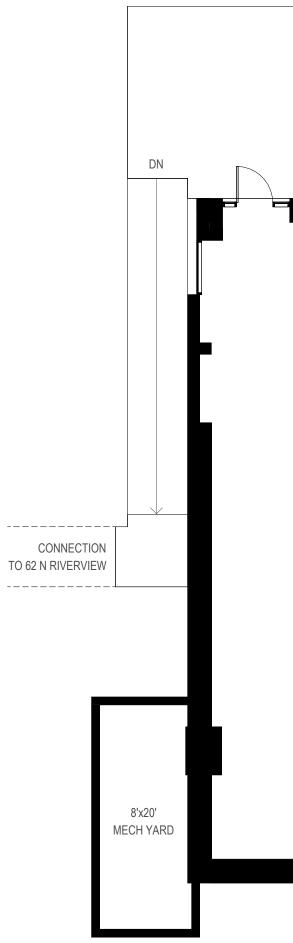
62 B2 PLAN

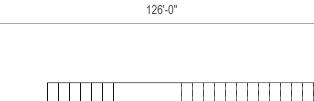
PROJECT #	23115
DATE	08/14/24
DRAWN BY: AG	REVIEWED BY: JF
SHEET #	

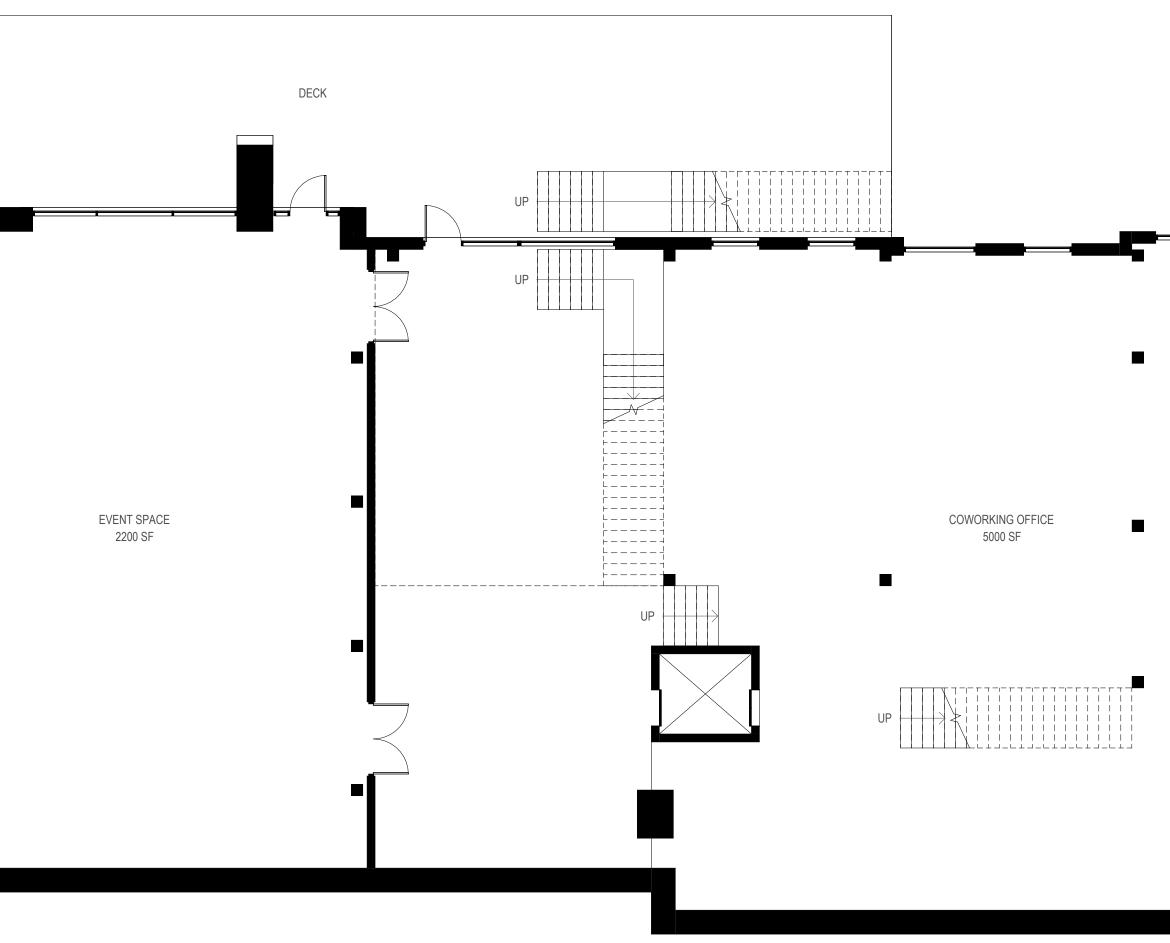
A115 COHATCH RIVERVIEW

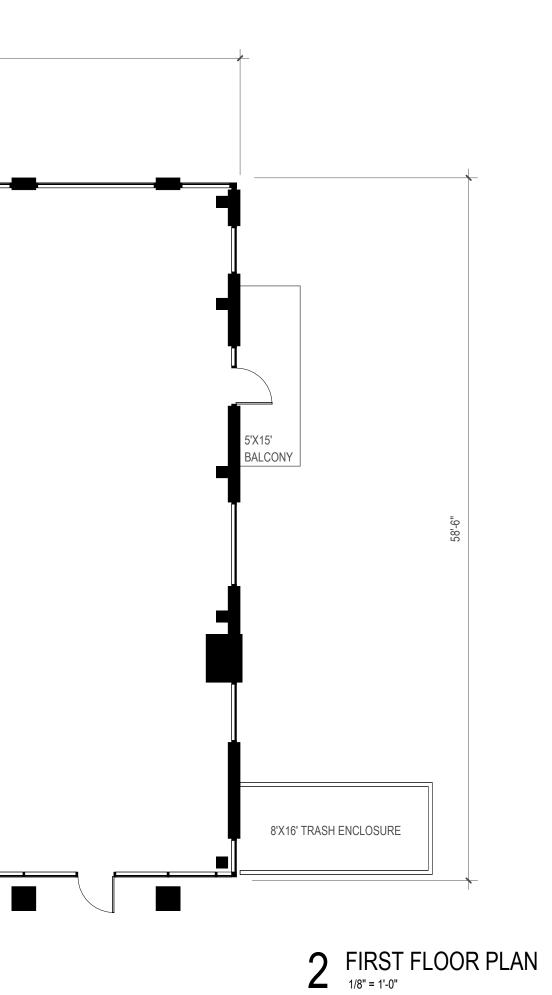












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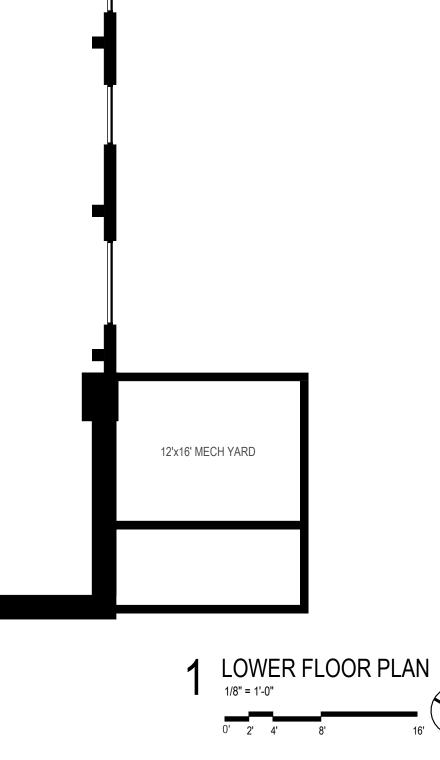


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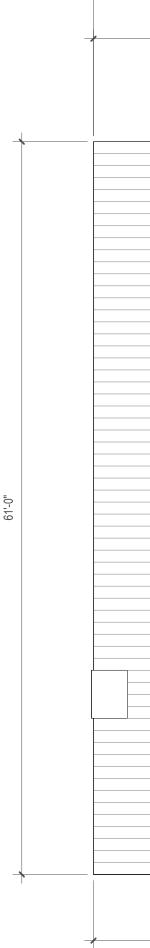
PRELIMINARY DOCUMENTS NOT FOR CONSTRUCTION

NEW BUILD CONCEPT PLANS

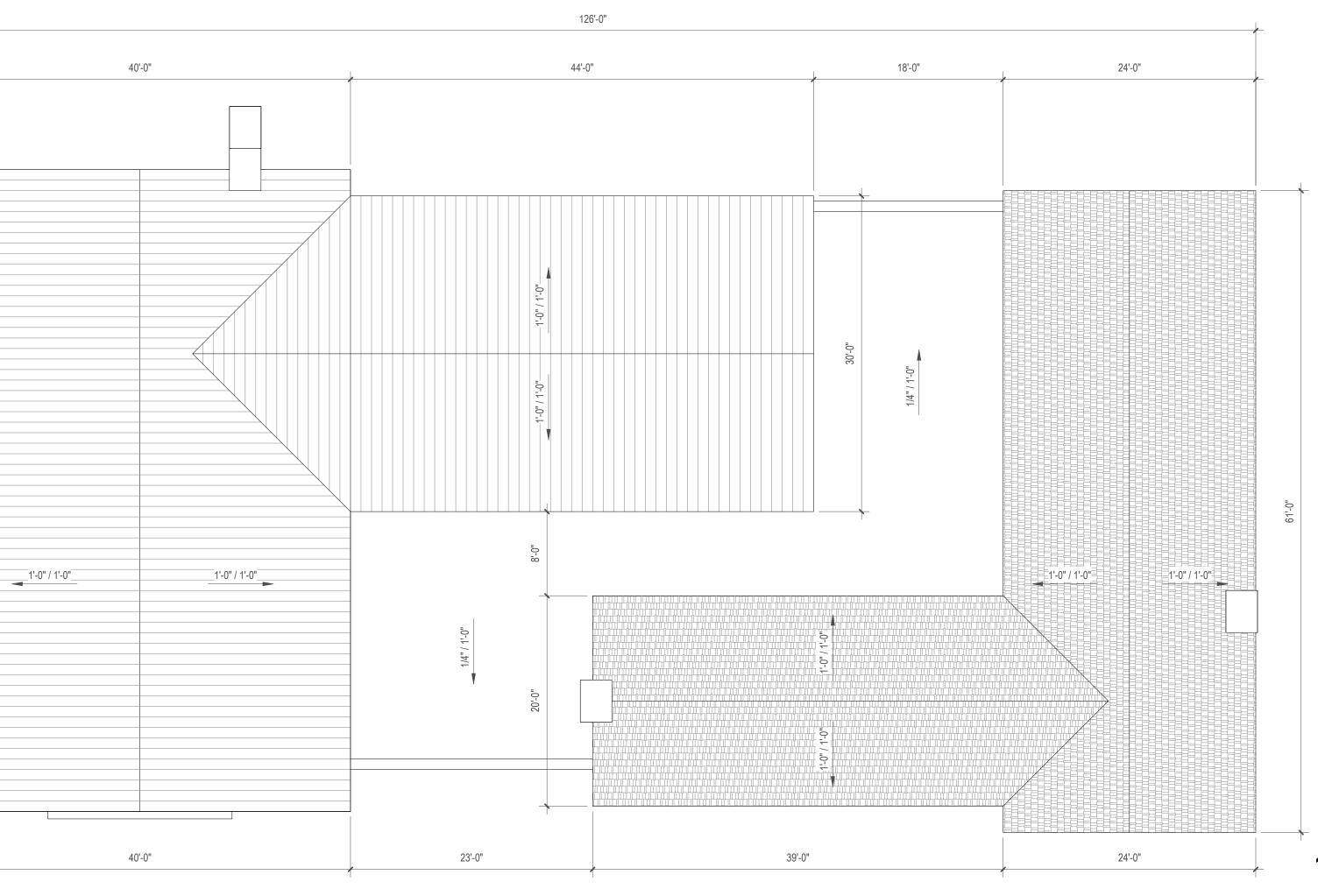
PROJECT #	23111
DATE	08/14/24
DRAWN BY: JF	REVIEWED BY: JF

SHEET # A116

COHATCH RIVERVIEW



-1-----



COHATCH RIVERVIEW

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PRELIMINARY DEVELOPMENT PLAN 08/30/24

1 ROOF PLAN 1/8" = 1'-0" 0' 2' 4' 8' 16' PRELIMINARY DOCUMENTS NOT FOR CONSTRUCTION

NEW BUILD CONCEPT PLANS

PROJECT #	23111
DATE	08/30/24
DRAWN BY: JF	REVIEWED BY: JF

SHEET # A117

COHATCH RIVERVIEW



NORTH	(#)	DEN 1. 2. 3.	OLITION CODE EXISTING FUEL TANK S EXISTING CONCRETE EXISTING STONE FOUL
GRAPHIC SCALE 0 10' 20' 40' 1 INCH = 20 FEET ABBREVIATION LEGEND:		4. 5. <u>DEN</u>	EXISTING HEADWALL ⁻ EXISTING BUSHES TO MOLITION LEGEN TREE TO BE REMOVED
EX - EXISTING C/L - CENTER LINE R/W - RIGHT OF WAY P/L - PROPERTY LINE FFE - FINISH FLOOR ELEVATION OHE - OVERHEAD ELECTRIC SS - SANITARY SEWER CS - COMBINED SEWER UGE - UNDERGROUND ELECTRIC WM - WATERMAIN	x -		CONCRETE PAVEMENT BUILDING TO BE REMO PROTECTIVE TREE FE DEMOLITION LIMITS
WC - WATER CONNECTION STM - STORM SEWER G - GAS MH - MANHOLE TC - TOP OF CURB EP - EDGE OF PAVEMENT DND - DO NOT DISTURB UGL - UNDERGROUND LIGHT		1.	ALL DEBRIS SHALL NO REMOVED FROM THE LAWS AND ORDINANCE
		2. 3. 4.	IT IS THE RESPONSIBIL PERFORMING ANY WC OF 48 HOURS IN ADVA CONTRACTOR SHALL I ITEMS DESIGNATED FO ARE FURNISHED WITH GIVEN, THE CONTRAC
		5.	OWNER'S REPRESENT THE SIZE AND LOCATIO SHOWN HERE HAVE B OBSERVATION HAS BE VERIFYING THE LOCATION THE LOCATION THE LOCATION FOR FOR THE LOCAT
		6. 7.	THE CONTRACTOR SH COORDINATE DISCON THE CONTRACTOR SH ARE INTENDED TO CO PLAN OR NOT.
		8.	UPON DISCOVERY OF IMMEDIATELY NOTIFY SOILS SHALL OCCUR U
		9. 10.	ALL EARTHWORK, SUE LATEST CITY OF DUBL EXISTING ABANDONED POSSIBLE. IF SUCH UT ABANDONED IN PLACE FILLED WITH LOW STR SHOULD THE UTILITIES SHOULD BE BACKFILL
		11.	DETAILS AND SPECIFIC ALL MATERIAL, EXCEP SALVAGE, SHALL BECO THE OWNER OF WATE AND THE CONTRACTO COMPLIANCE WITH LO
		12.	THE DEMOLITION PLAN AS SHOWN ON THE SU MISCELLANEOUS ITEM THAT MAY NEED TO BI
		13.	ALL EXISTING CONDIT PROJECT SHALL BE IM
		14.	THE CONTRACTOR SH POINTS AND STAKES.
		15.	ANY DAMAGE CAUSED OVERHEAD UTILITIES, ADJACENT PROPERTIE RELATED COSTS BEIN
		16.	WHERE NECESSARY T DEPTH IN NEAT, STRA JOINT.
		17.	ALL PAVEMENT AND/O PROPERLY.
		18.	EROSION & SEDIMENT

ED NOTES

STRUCTURE TO BE REMOVED.

WALL TO BE REMOVED.

JNDATION TO BE REMOVED AND SALVAGED FOR RELOCATION.

TO BE REMOVED.

BE REMOVED.

ND

NT OT BE REMOVED.

OVED.

ENCE.

OT BE BURIED ON THE SITE. ALL UNSUITABLE MATERIAL AND DEBRIS SHALL BE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL CES.

ILITY OF THE CONTRACTOR TO FIELD LOCATE ANY AND ALL UTILITIES PRIOR TO ORK. CONTACT THE APPLICABLE UTILITIES PROTECTION SERVICE AT A MINIMUM ANCE OF WORK TO BE DONE NEAR ANY EXISTING UTILITY MAIN.

NOT DISTURB EXISTING PAVEMENT OUTSIDE OF DEMOLITION AREA.

FOR DEMOLITION SHALL NOT BE DISTURBED BY THE CONTRACTOR UNTIL THEY H NOTICE TO PROCEED BY THE OWNER. AS SOON AS SUCH NOTICE HAS BEEN CTOR SHALL PERFORM THE DEMOLITION UNDER THE DIRECTION OF THE TATIVE.

ION OF BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. VERIFICATION BY FIELD EEN CONDUCTED WHERE POSSIBLE. THE CONTRACTOR IS RESPONSIBLE FOR ATIONS AND DEPTHS OF ALL EXISTING UTILITIES PRIOR TO CONSTRICTION. THE ENGINEER OF ANY DISCREPANCIES.

HALL CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO DEMOLITION TO NECTION AND REMOVAL OF EXISTING UTILITIES WITHIN THE AREA OF WORK.

HALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES THAT ONTINUE TO PROVE SERVICE WHETHER THESE UTILITIES ARE SHOWN ON THE

F UNDERGROUND TANKS OR CONTAMINATED SOILS, THE CONTRACTOR SHALL THE OWNER'S REPRESENTATIVE. NO REMOVAL OF TANKS OR CONTAMINATED UNTIL AUTHORIZED BY THE OWNER AND PROPER AUTHORITIES.

BGRADE PREPARATION AND BACKFILL REQUIREMENTS SHALL BE PER THE LIN AND DOT STANDARD DETAILS AND SPECIFICATIONS.

D UTILITIES WITHIN THE PROPOSED WORK LIMITS SHALL BE REMOVED IF TILITIES ARE PRESENT, THEY SHOULD BE REMOVED AND RELOCATED OR E. IF ABANDONED IN PLACE, IT IS RECOMMENDED THAT THE UTILITIES PIPE BE RENGTH MORTAR GROUT TO AVOID POTENTIAL COLLAPSE IN THE FUTURE. ES LINES BE REMOVED FROM THE SITE, THE RESULTANT TRENCH EXCAVATIONS LED AND COMPACTED IN ACCORDANCE WITH THE LATEST MAG STANDARD ICATIONS.

PT THAT BELONGING TO A PUBLIC UTILITY COMPANY OR DENOTED FOR COME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY ER, ELECTRIC OR GAS METERS WHEN THE METERS ARE READY FOR REMOVAL, OR SHALL BE RESPONSIBLE FOR DISCONNECTING ALL UTILITIES IN OCAL REQUIREMENTS.

AN IS INTENDED TO SHOW REMOVAL OF KNOWN SITE FEATURES AND UTILITES URVEY. THERE MAY BE OTHER SITE FEATURES, UTILITIES, STRUCTURES AND MS BOTH BURIED AND ABOVE GROUND THAT ARE WITHIN THE LIMITS OF WORK BE REMOVED FOR THE PROPOSED PROJECT THAT ARE NOT SHOWING HEREON.

TIONS WITHIN THE RIGHT-OF-WAY DISTURBED BY THE CONSTRUCTION OF THIS MMEDIATELY RESTORED TO THE PRE-CONSTRUCTION CONDITION OR BETTER.

HALL CAREFULLY PRESERVE BENCHMARKS, PROPERTY CORNERS, REFERENCE

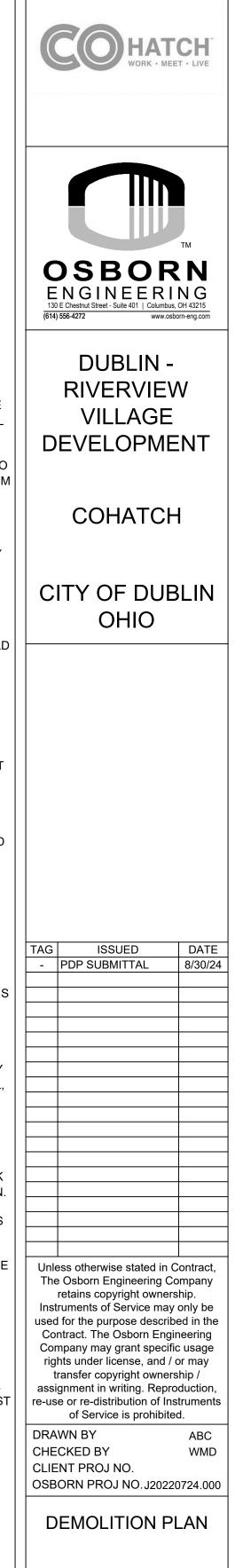
ED TO THE PAVEMENT, DRIVE, DRAINAGE SYSTEMS, UNDERGROUND OR , PIPE LINES OR LANDSCAPING, EITHER WITHIN THE RIGHT-OF-WAY OR ON IES, SHALL BE FULLY RESTORED PROMPTLY BY THE CONTRACTOR WITH ALL NG THE FULL RESPONSIBILITY OF THE CONTRACTOR.

TO REMOVE PAVEMENTS OR DRIVES, THE PAVEMENT SHALL BE SAWCUT FULL AIGHT LINES, WHERE REMOVED IN WALK AREAS, SHALL BE SAWCUT AT NEAREST

OR FOUNDATIONS THAT ARE REMOVED SHALL BE DISPOSED OF OFFSITE

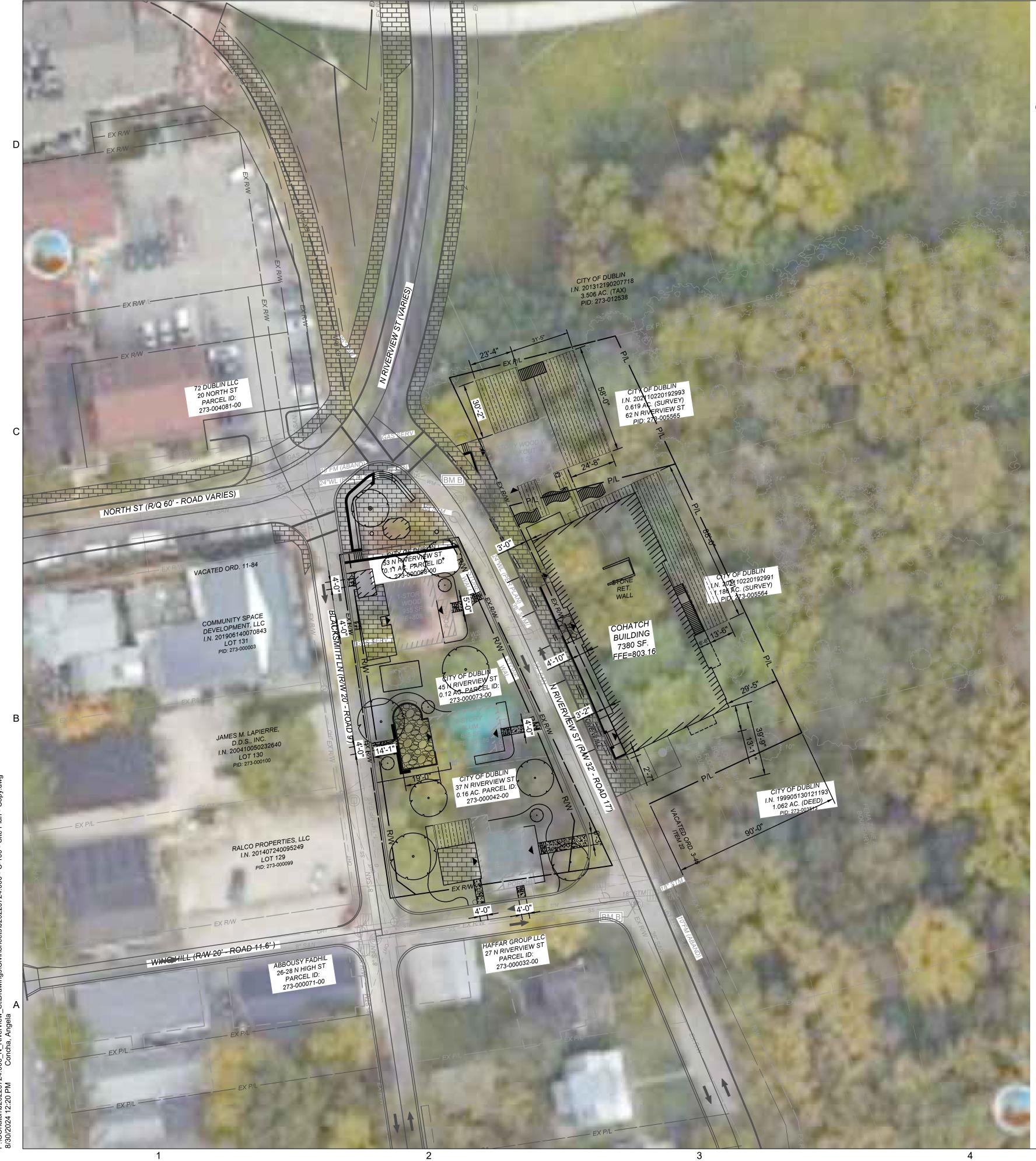
CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED DURING DEMOLITION ACTIVITIES.

19. THE PURPOSE OF THIS DRAWING IS TO CONVEY THE OVERALL SCOPE OF WORK AND IT IS NOT INTENDED TO COVER ALL DETAILS OR SPECIFICATIONS REQUIRED TO COMPLY WITH GENERALLY ACCEPTED DEMOLITION PRACTICES. THE CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH THE SITE, SCOPE OF WORK AND ALL EXISTING CONDITIONS AT THE SITE PRIOR TO BIDDING AND COMMENCING THE WORK. THE DEMOLITION CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, OR PROCEDURES USED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND IS LIABLE FOR THE SAFETY OF THE PUBLIC OR CONTRACTOR'S EMPLOYEES DURING THE COURSE OF THE PROJECT.

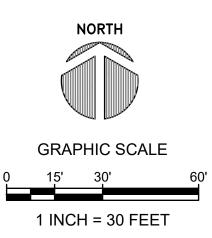


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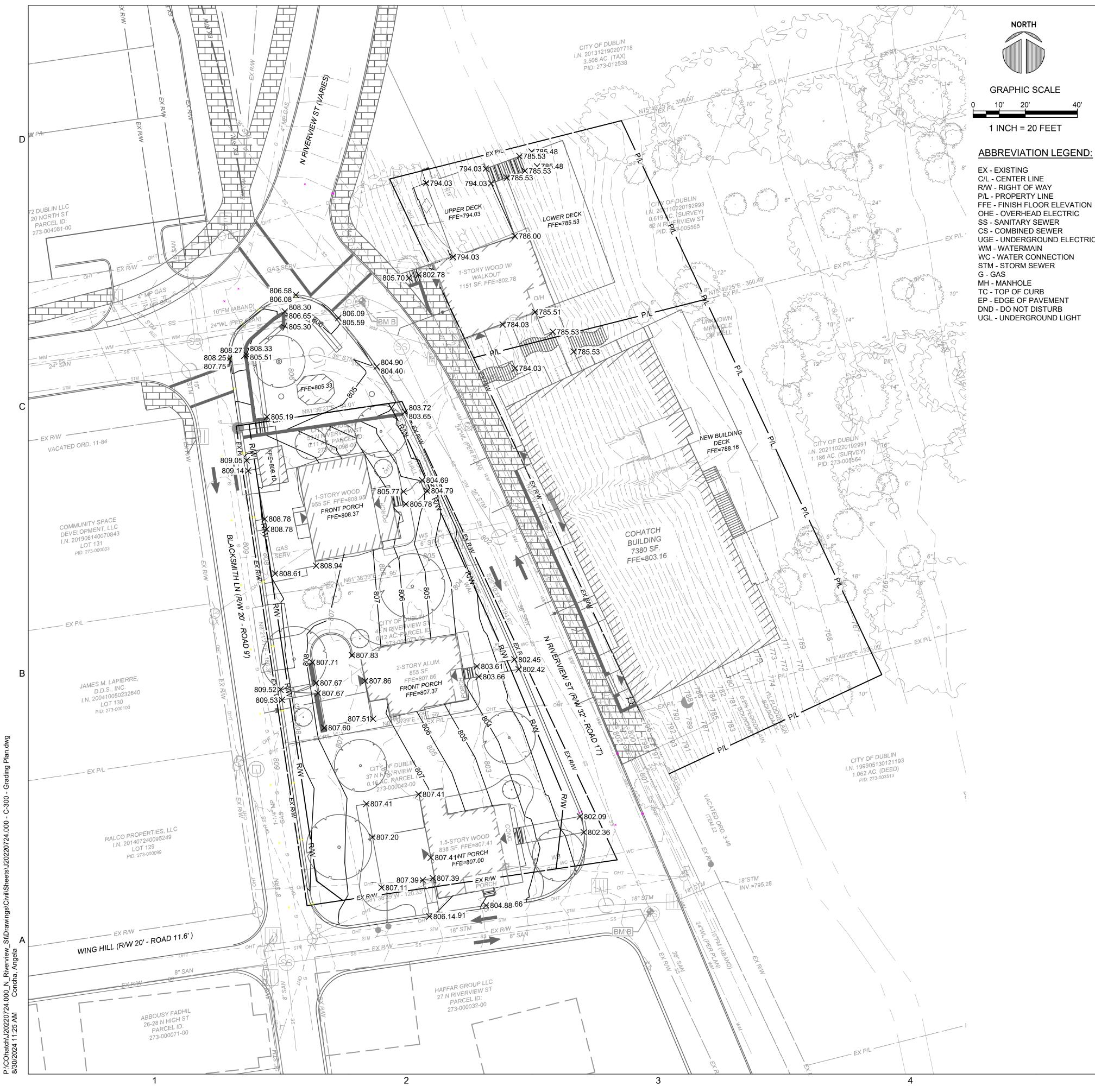
12:20



ABBREVIATION LEGEND:

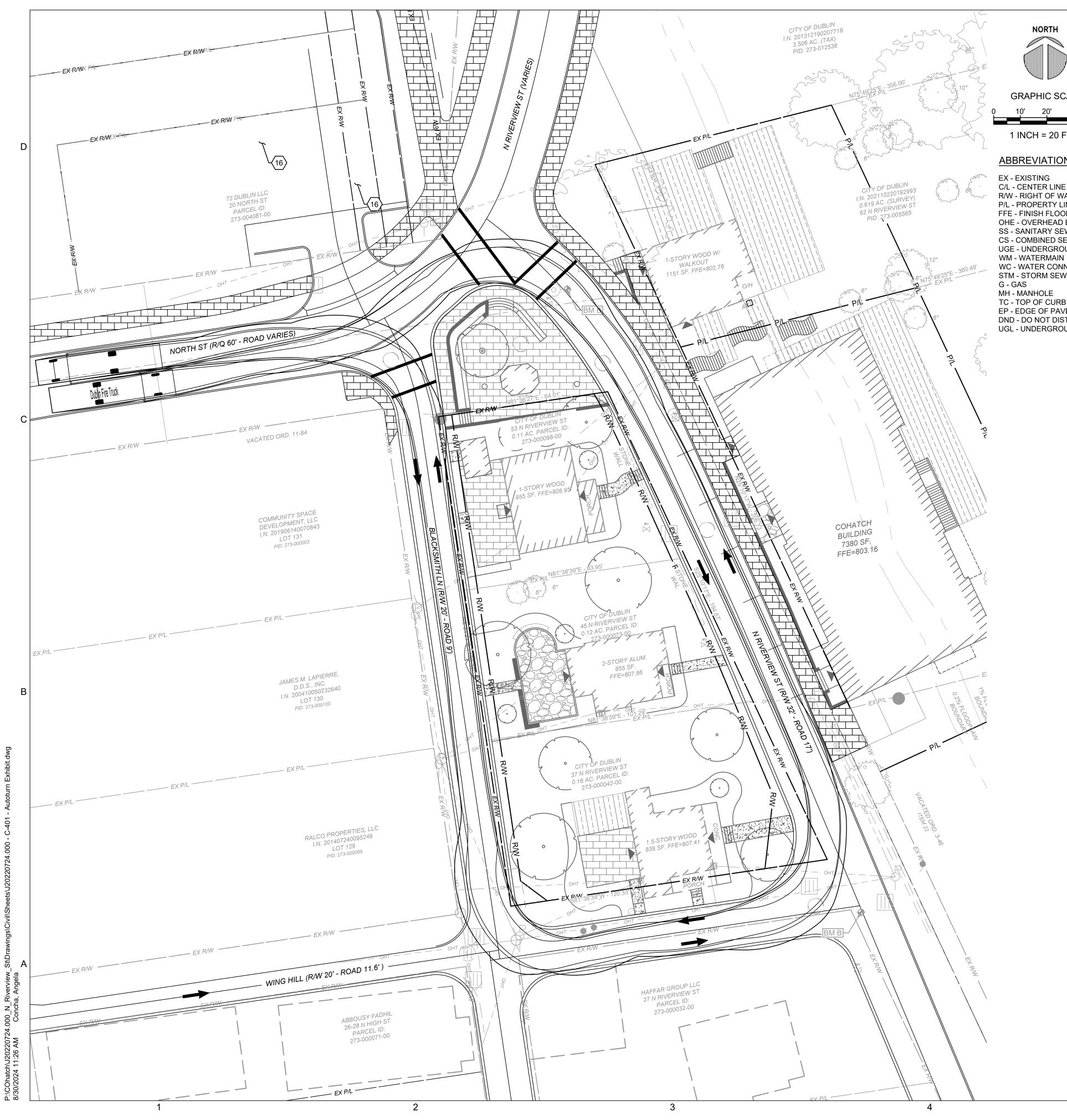
EX - EXISTING C/L - CENTER LINE R/W - RIGHT OF WAY P/L - PROPERTY LINE FFE - FINISH FLOOR ELEVATION OHE - OVERHEAD ELECTRIC SS - SANITARY SEWER CS - COMBINED SEWER UGE - UNDERGROUND ELECTRIC WM - WATERMAIN WC - WATER CONNECTION STM - STORM SEWER G - GAS MH - MANHOLE TC - TOP OF CURB EP - EDGE OF PAVEMENT DND - DO NOT DISTURB UGL - UNDERGROUND LIGHT

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E 130	CONTROL OF	NG	
DUBLIN - RIVERVIEW VILLAGE DEVELOPMENT			
COHATCH			
CITY OF DUBLIN OHIO			
		DATE	
TAG -	ISSUED PDP SUBMITTAL	DATE 8/30/24	
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drawing no.			



FFE - FINISH FLOOR ELEVATION OHE - OVERHEAD ELECTRIC UGE - UNDERGROUND ELECTRIC

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E 130	E Chestnut Street - Suite 401 Columbus,	NG	
DUBLIN - RIVERVIEW VILLAGE DEVELOPMENT			
COHATCH CITY OF DUBLIN OHIO			
TAG	ISSUED PDP SUBMITTAL	DATE 8/30/24	
The	ess otherwise stated in C Osborn Engineering Co retains convright owners	mpany	
retains copyright ownership. Instruments of Service may only be used for the purpose described in the Contract. The Osborn Engineering Company may grant specific usage rights under license, and / or may transfer copyright ownership / assignment in writing. Reproduction, re-use or re-distribution of Instruments of Service is prohibited.			
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GRAPHIC SCALE

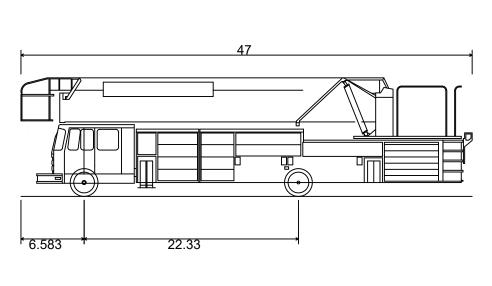
1 INCH = 20 FEET

ABBREVIATION LEGEND:

40'

EX - EXISTING C/L - CENTER LINE R/W - RIGHT OF WAY P/L - PROPERTY LINE FFE - FINISH FLOOR ELEVATION OHE - OVERHEAD ELECTRIC SS - SANITARY SEWER CS - COMBINED SEWER UGE - UNDERGROUND ELECTRIC WC - WATER CONNECTION STM - STORM SEWER

TC - TOP OF CURB EP - EDGE OF PAVEMENT DND - DO NOT DISTURB UGL - UNDERGROUND LIGHT



Dublin Fire Truck Overall Length Overall Width Overall Body Height Min Body Ground Clearance Track Width Lock-to-lock time Curb to Curb Turning Radius



