

FINAL DEVELOPMENT PLAN FOR COHATCH - RIVERVIEW VILLAGE 37-62 NORTH RIVERVIEW STREET DUBLIN, OHIO 43017 2024

SURVEY NOTES

- BEARINGS HERON BASED ON N25°10'17"W FOR THE EASTERLY RIGHT OF WAY LINE OF N. RIVERVIEW ST., PER AN OHIO RTN SURVEY, SPCS GRID, OHIO SOUTH ZONE, NAD83, 2023 ADJUSTMENT, US SURVEY FEET.
- UTILITIES SHOWN HEREON BASED ON FIELD EVIDENCE, RECORD PLANS AND MARKINGS THROUGH CALL TO OUPS, TICKET Nos. A400801291, A400801278, B400800626, AND A400801252.

BASIS OF BEARINGS

SURVEY COORDINATE SYSTEM REFERENCED TO STATE PLANE GRID, OHIO SOUTH ZONE, PER AN OHIO RTN SURVEY.

VERTICAL DATUM

ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

BENCHMARKS

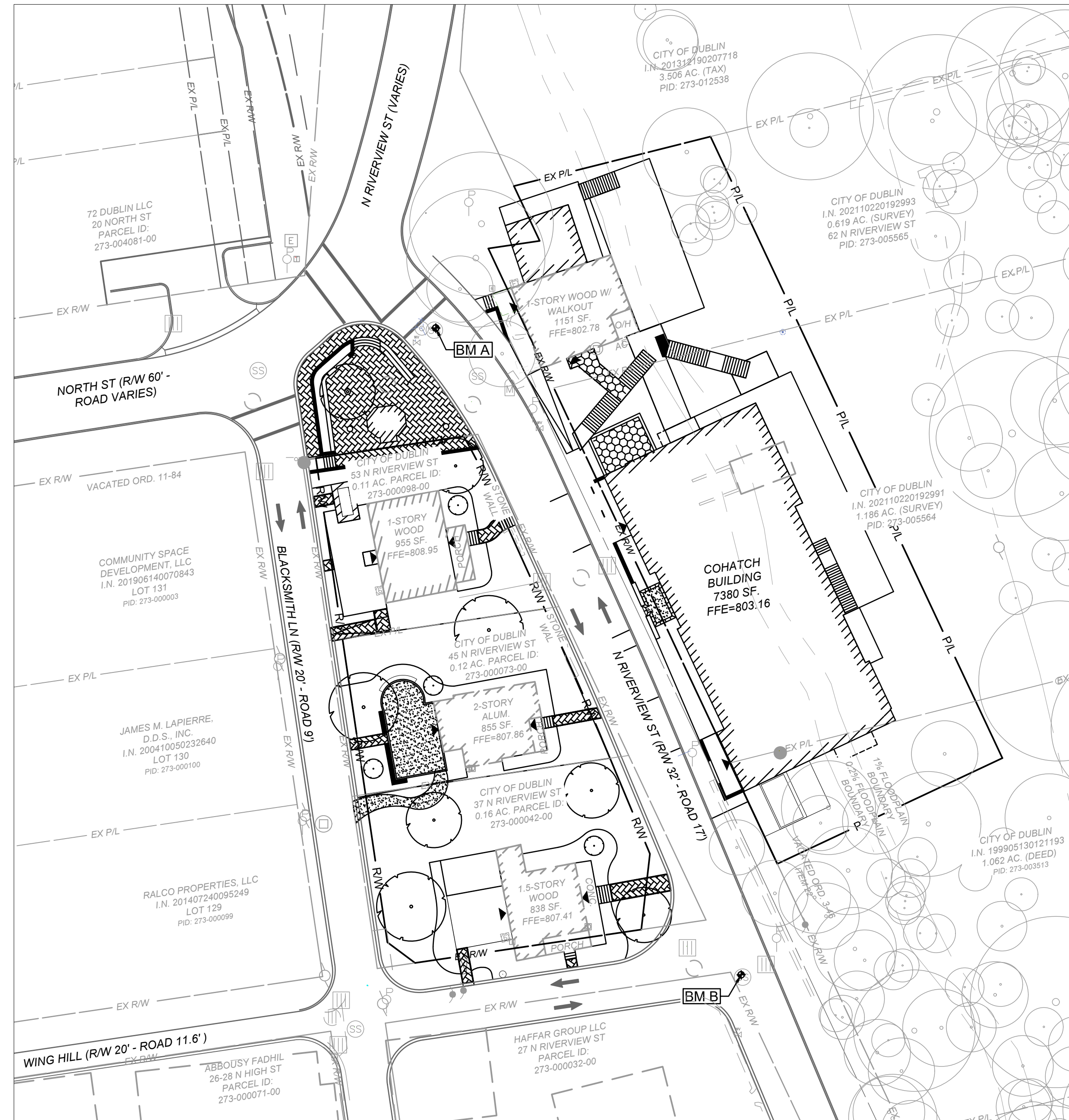
- A CHISELED "X" SET ON THE EAST RIM OF THE SANITARY MANHOLE LOCATED ON THE EAST SIDE OF THE INTERSECTION OF NORTH RIVERVIEW STREET AND NORTH STREET. ELEV=805.32
- A CHISELED "X" SET ON THE NORTH RIM OF THE SANITARY MANHOLE LOCATED AT THE INTERSECTION OF NORTH RIVERVIEW STREET AND WING HILL ALLEY. ELEV=801.81

COMMERCIAL BUILDING SUMMARY TABLE			
BUILDING	OFFICE & RESTAURANT		
BUILDING TYPE	HISTORIC MIXED USE		
EATING AND DRINKING AREA	7,973 SF		
OFFICE AREA	14,095 SF		
COMMERCIAL PARKING CALCULATION			
BUILDING	USE / SQUARE FOOTAGE	MINIMUM SPACES	MAXIMUM SPACES
53 N RIVERVIEW ST	EATING & DRINKING / 1,130 SF	10:1000 SF = 12 SPACES	
45 N RIVERVIEW ST	OFFICE, GENERAL / 915 SF	2.5:1000 SF = 3 SPACES	
37 N RIVERVIEW ST	OFFICE, GENERAL / 1,130 SF	2.5:1000 SF = 3 SPACES	
62 N RIVERVIEW ST	RESTAURANT / 2,830 SF	10:1000 SF = 24 SPACES	
	PATIO / 1,720 SF	10:1000 SF = 23 SPACES	
NEW BUILDING	EVENT SPACE - EATING & DRINKING / 2,200 SF	10:1000 SF = 22 SPACES	N/A
	OFFICE, GENERAL / 12,050 SF	2.5:1000 SF = 31 SPACES	
REQUIRED PARKING		118 SPACES	
PROPOSED PARKING		0 SPACES	
REQUIRED ADA PARKING (VAN/TOTAL)		1 / 2	
PROVIDED ADA PARKING (VAN/TOTAL)		0	
REQUIRED BIKE PARKING		1:10 SPACES = 12	N/A
PROPOSED BIKE PARKING		12	

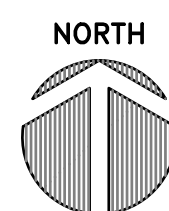
REQUIRED PARKING SPACES, INCLUDING ADA, HAVE BEEN PROVIDED ACCORDING TO PARKING PLAN APPROVED AT PDP.

BUILDING SUMMARY TABLE	
ZONING CLASSIFICATION/ DISTRICT	HD-HC: HISTORIC DISTRICT - HISTORIC CORE
MAXIMUM BUILDING HEIGHT	30'-0"
BUILDING HEIGHT	30'-0"
MAXIMUM LOT COVERAGE	85 %
LOT COVERAGE (53 N RIVERVIEW ST)	50.6%
LOT COVERAGE (45 N RIVERVIEW ST)	35.8%
LOT COVERAGE (37 N RIVERVIEW ST)	30.2%
LOT COVERAGE (62 N RIVERVIEW ST)	53.2%
LOT COVERAGE (NEW BUILDING)	63.9%
REQUIRED SETBACK (FRONT/SIDE/REAR)	0' / 0' / 5'
BUILDING SETBACK (53 N RIVERVIEW ST - FRONT/NORTH/SOUTH/REAR)	14.8' / 17.8' / 12' / 11.1'
SHED SETBACK (53 N RIVERVIEW ST - FRONT/NORTH/SOUTH/REAR)	48.17' / 10' / 41.58' / 4'
BUILDING SETBACK (45 N RIVERVIEW ST - FRONT/NORTH/SOUTH/REAR)	21.9' / 24.7' / 5.5' / 29.66'
DECK SETBACK (45 N RIVERVIEW ST - FRONT/NORTH/SOUTH/REAR)	51' / 17.75' / 4.17' / 10.67'
BUILDING SETBACK (37 N RIVERVIEW ST - FRONT/NORTH/SOUTH/REAR)	21.33' / 25.58' / -3' / 43.25'
PATIO SETBACK (37 N RIVERVIEW ST - FRONT/NORTH/SOUTH/REAR)	51' / 27' / 2.67' / 23.25'
BUILDING SETBACK (62 N RIVERVIEW ST - FRONT/NORTH/SOUTH/REAR)	0' / 31.25' / 10.9' / 51.8'
DECK SETBACK (62 N RIVERVIEW ST - FRONT/NORTH/SOUTH/REAR)	-8.17' / 2.25' / 193.5' / 23.5'
SETBACK (NEW BUILDING - FRONT/NORTH/SOUTH/REAR)	0' / 14.5' / 37.5' / 25.8'
DECK SETBACK (NEW BUILDING - FRONT/NORTH/SOUTH/REAR)	64.5' / 90.75' / 51.17' / 10.25'

SITE DATA TABLE	
TOTAL SITE AREA (AC)	0.913
TOTAL DISTURBED PROPERTY AREA (AC)	0.40
TOTAL DISTURBED R/W AREA (AC)	0.05
PRE-DEVELOPED IMPERVIOUS (AC)	0.12
POST-DEVELOPED IMPERVIOUS (AC)	0.44
EXISTING PERCENT IMPERVIOUS	13.14
PROPOSED PERCENT IMPERVIOUS	48.19



UNDERGROUND UTILITIES
2 WORKING DAYS BEFORE YOU DIG
CALL 800-362-2764 (TOLL FREE)
OHIO UTILITIES PROTECTION SERVICE
NON-MEMBER
MUST BE CALLED DIRECTLY



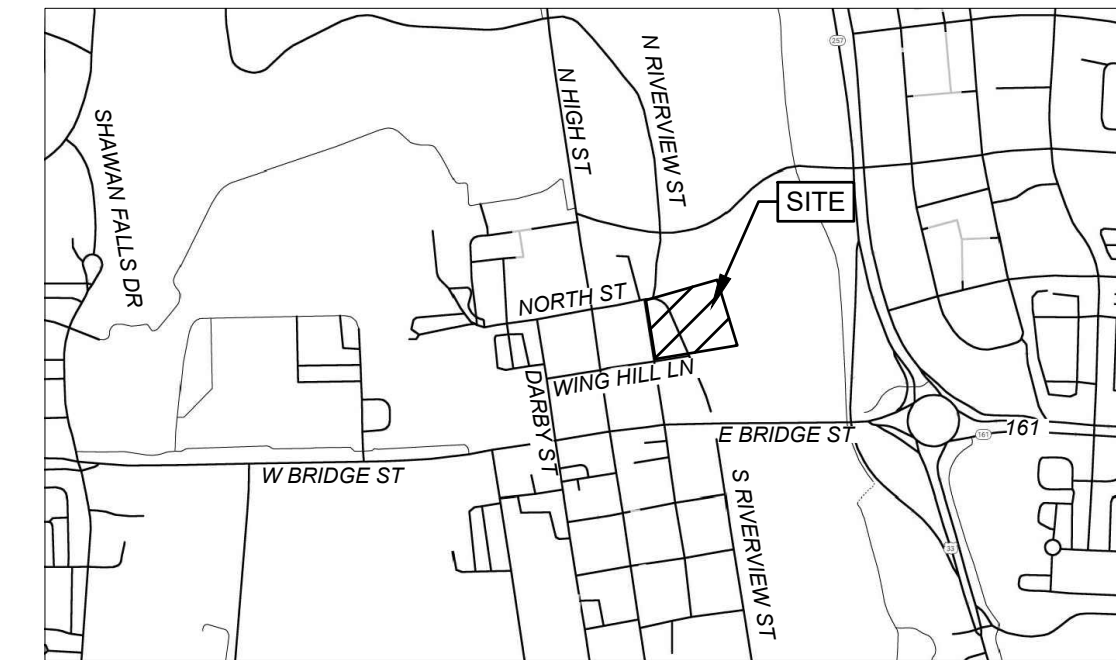
INDEX MAP

SCALE: 1"=30'

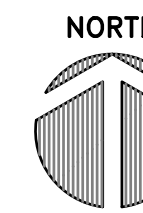
GRAPHIC SCALE



1 INCH = 30 FEET



VICINITY MAP
NO SCALE



OWNER/DEVELOPER:

COHATCH
25 NORTH ST
DUBLIN, OHIO 43017
CONTACT: MATT DAVIS
PHONE: 614-324-8232
EMAIL: MATT@COHATCH.COM

ARCHITECT:

TIM LAI ARCHITECT
401 W TOWN ST - STUDIO 233
COLUMBUS, OHIO 43215
CONTACT: ELIZA HO
PHONE: 614-321-5128
EMAIL: ELIZAH@LAIARCHITECT.COM

STORMWATER NOTE:

PER DUBLIN STORMWATER MANAGEMENT DESIGN MANUAL TABLE 2-1, STORMWATER QUANTITY IS NOT APPLICABLE DUE TO THE SITE BEING LOCATED IN THE HISTORIC DISTRICT AND LESS THAN 1 ACRE.

DESIGN ENGINEER:

OSBORN ENGINEERING
130 E CHESTNUT ST - SUITE 401
COLUMBUS, OHIO 43215
CONTACT: WES DAVIS, P.E.
PHONE: 614-556-4272
EMAIL: WDAVIS@OSBORN-ENG.COM

SURVEYOR:

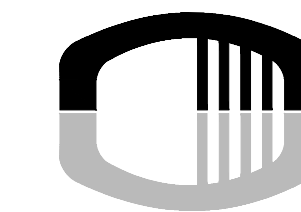
PRO BOUNDARY LAND SURVEYORS
8850 COMMERCE LOOP DR
COLUMBUS, OHIO 43240
CONTACT:
PHONE: 614-899-2209
EMAIL: TIM@PROBOUNDARY.COM

FLOOD DESIGNATION:

ACCORDING TO F.E.M.A. FLOOD INSURANCE RATE MAP #39049C0151K, DATED JUNE 17, 2008 FOR COMMUNITY NUMBER 390673, THE MAJORITY OF THIS PROPERTY IS IN ZONE AE AND A PART OF IT IS IN ZONE X.

PROJECT DESCRIPTION:

REDEVELOPMENT OF OFFICE USE BUILDINGS AND ADDITION OF A NEW BUILDING ALONG WITH THE ASSOCIATED UTILITY IMPROVEMENTS.

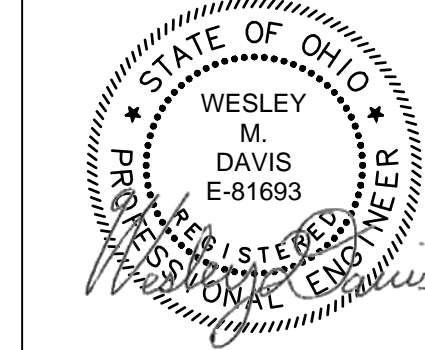


OSBORN ENGINEERING
130 E Chestnut Street - Suite 401 | Columbus, OH 43215
(614) 556-4272 | www.osborn-eng.com

DUBLIN - RIVERVIEW VILLAGE DEVELOPMENT

COHATCH - RIVERVIEW VILLAGE

CITY OF DUBLIN OHIO



TAG	ISSUED	DATE
-	PDP SUBMITTAL	8/30/24
-	PDP SUBMITTAL	9/18/24
-	FDP SUBMITTAL	10/3/24
-	FDP SUBMITTAL	11/8/24

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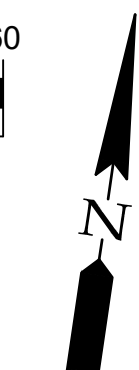
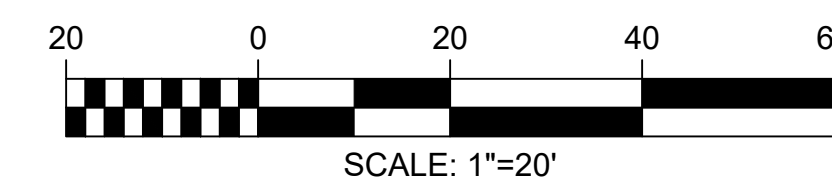
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CHECKED BY: WMD
CLIENT PROJ NO.: OSBORN PROJ NO. J20220724.000

TITLE SHEET

DRAWING NO.

C001

SITUATED IN:
 VIRGINIA MILITARY SURVEY NUMBER 2542
 AND ORIGINAL PLAT OF DUBLIN (P.B. 3, PG. 199)
 CITY OF DUBLIN, FRANKLIN COUNTY, OHIO



(A)
 CITY OF DUBLIN
 I.N. 202110220192992
 LOT 115
 0.112 AC. (SURVEY)
 53 N RIVERVIEW ST
 PID: 273-000098

(B)
 CITY OF DUBLIN
 I.N. 202110220192993
 LOT 114
 0.122 AC. (SURVEY)
 45 N RIVERVIEW ST
 PID: 273-000073

(C)
 CITY OF DUBLIN
 I.N. 202110220192993
 LOT 113
 0.160 AC. (SURVEY)
 37 N RIVERVIEW ST
 PID: 273-000042

CITY OF DUBLIN
 I.N. 201312190207718
 3.506 AC. (TAX)
 PID: 273-012538

L1: N81°36'27\"/>

NORTH ST (VARIES)

SCIOTO RIVER

VACATED ORD. 11-84

COMMUNITY SPACE
 DEVELOPMENT, LLC
 I.N. 201906140070843
 LOT 131
 PID: 273-000003

JAMES M. LAPIERRE,
 D.D.S., INC.
 I.N. 200410050232640
 LOT 130
 PID: 273-000100

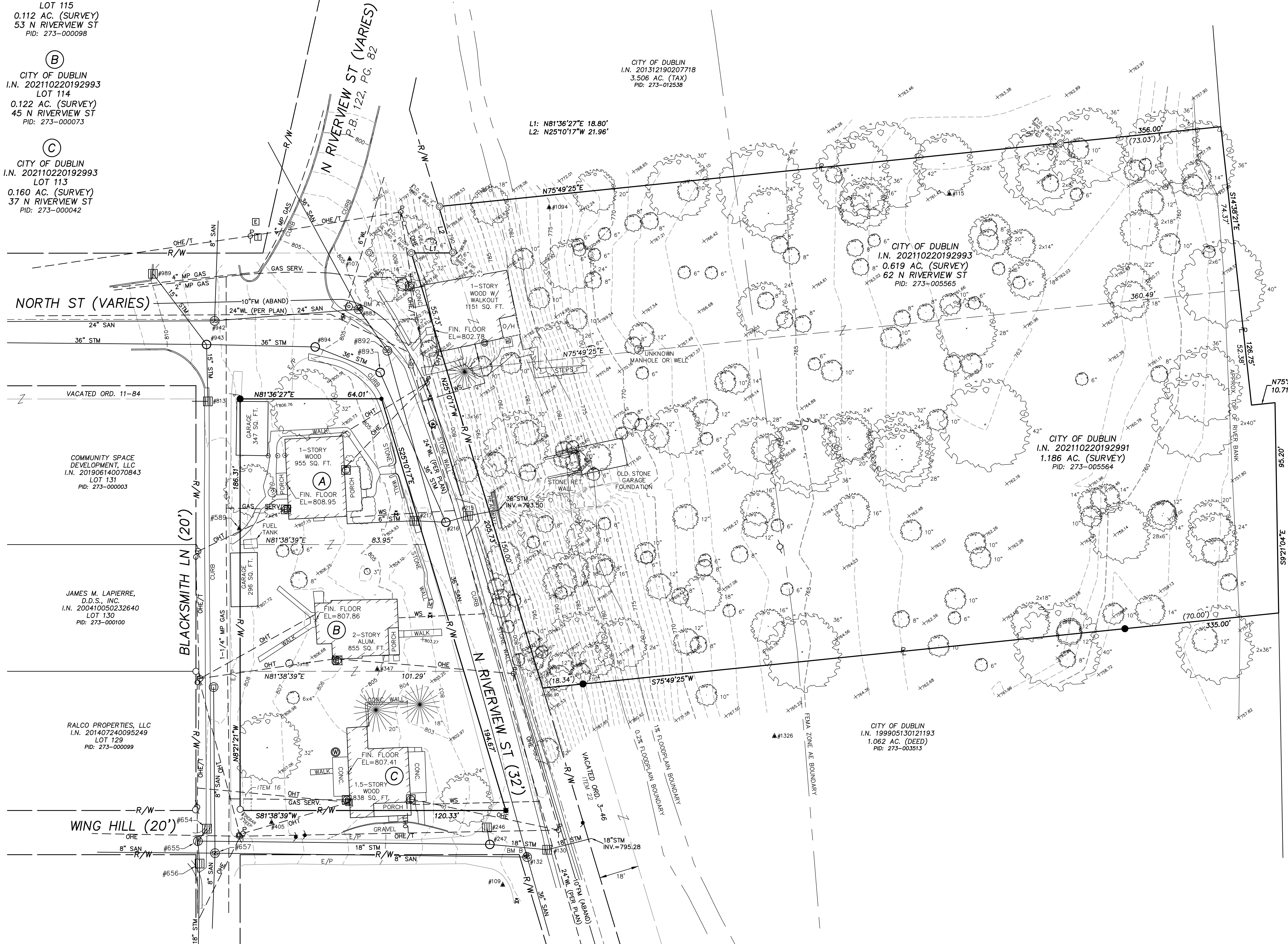
RALCO PROPERTIES, LLC
 I.N. 201407240095249
 LOT 129
 PID: 273-000099

WING HILL (20')

BLACKSMITH LN (20')

N RIVERVIEW ST (32')

N RIVERVIEW ST (VARIES)
 P.B. 122, PG. 82



EXISTING
 CONDITIONS

DRAWING NO.
C003

REVISIONS

SCALE: 1"=20'

WLS JOB No.: 23-321

DATE: 1/30/2024

CLIENT: COHATCH

F.B./P.C.: 44/1-14

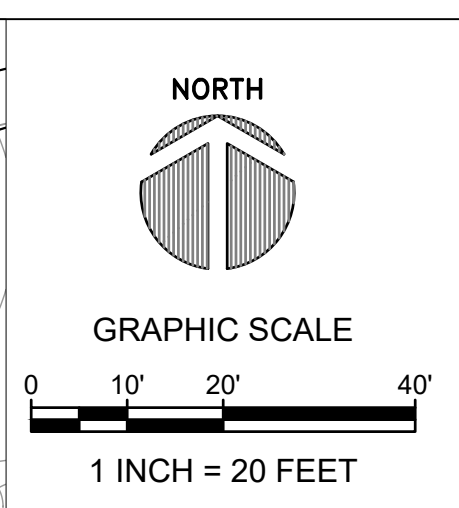
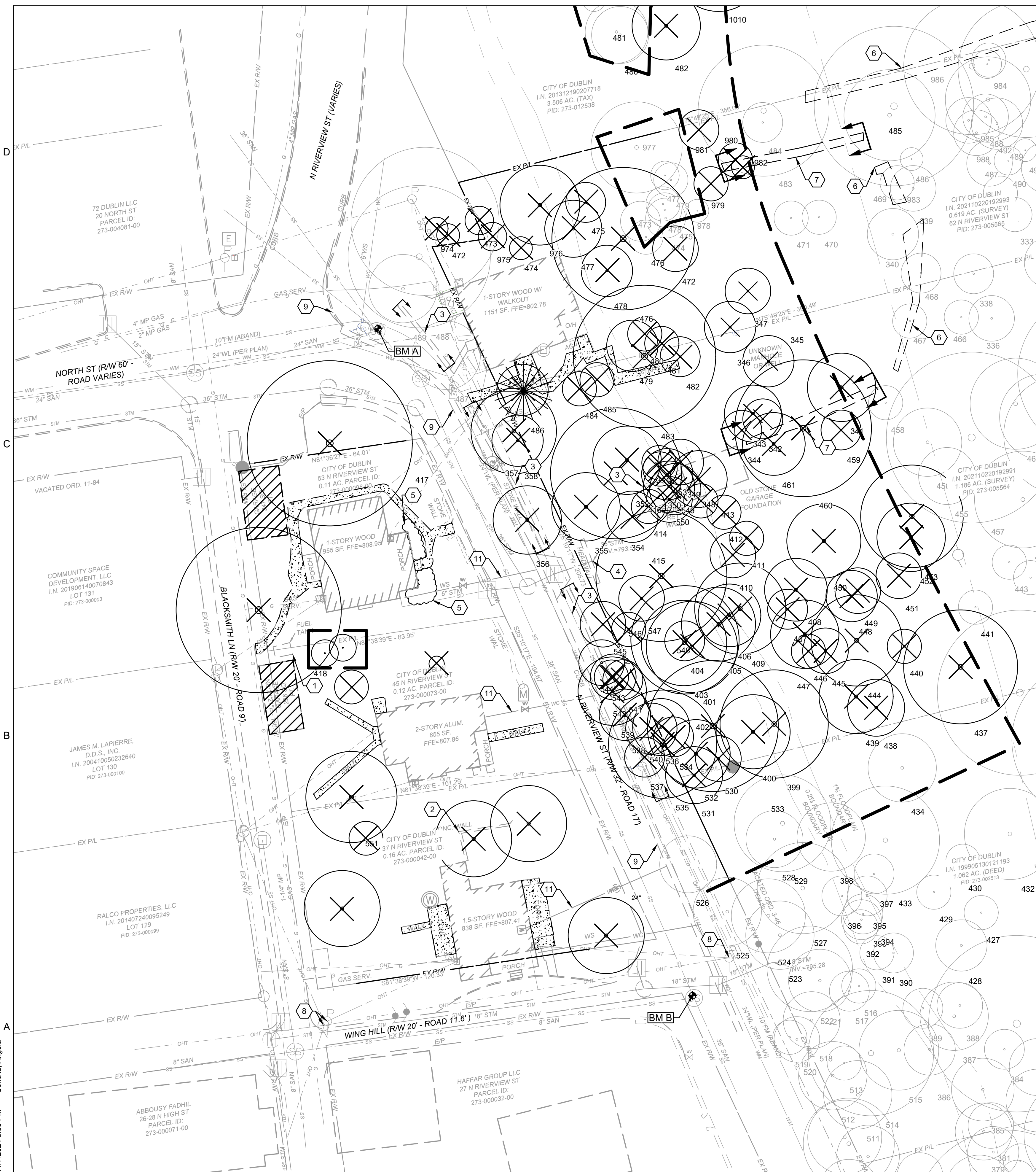
8850 COMMERCE LOOP DR
 COLUMBUS, OH 43240
 (614) 899-2209



ALTA/NSPS LAND TITLE SURVEY
 37, 45, 53 & 62 N. RIVERVIEW ST.
 DUBLIN, OH 43017

SHEET
 2/2

P:\COHatch\J20220724\000_N_Riverview_SiteDrawings\Civil\Sheets\J20220724\000 - C-004 - Demolition Plan.dwg
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 Concha, Angela



ABBREVIATION LEGEND:

- EX - EXISTING
- C/L - CENTER LINE
- R/W - RIGHT OF WAY
- P/L - PROPERTY LINE
- FFE - FINISH FLOOR ELEVATION
- OHE - OVERHEAD ELECTRIC
- SS - SANITARY SEWER
- CS - COMBINED SEWER
- UGE - UNDERGROUND ELECTRIC
- WM - WATERMAIN
- WC - WATER CONNECTION
- STM - STORM SEWER
- G - GAS
- MH - MANHOLE
- TC - TOP OF CURB
- EP - EDGE OF PAVEMENT
- DND - DO NOT DISTURB
- UGL - UNDERGROUND LIGHT

DEMOLITION CODED NOTES

1. EXISTING FUEL TANK STRUCTURE TO BE REMOVED.
2. EXISTING CONCRETE WALL TO BE REMOVED.
3. EXISTING STONE FOUNDATION TO BE REMOVED AND SALVAGED FOR RELOCATION.
4. EXISTING HEADWALL TO BE REMOVED.
5. EXISTING BUSHES TO BE REMOVED.
6. EXISTING WALL TO BE PROTECTED DURING CONSTRUCTION.
7. EXISTING STONE WALL TO BE CAREFULLY REMOVED AND STORED FOR FUTURE USE (SEE MASS EXCAVATION PLAN, SHEET C500 FOR STORAGE LOCATION).
8. EXISTING LIGHT POLE TO BE RELOCATED (SEE R/W IMPROVEMENT PLANS, BY OTHERS).
9. EXISTING CURB TO BE REMOVED (SEE R/W IMPROVEMENT PLANS, BY OTHERS).
10. EXISTING FIRE HYDRANT TO BE RELOCATED (SEE SHEET C200 FOR NEW LOCATION).
11. EXISTING WATER SERVICE CONNECTION TO BE ABANDONED, PER WSPXXXX.

DEMOLITION LEGEND

- TREE TO BE REMOVED. (SEE MASS EXCAVATION PLAN, SHEETS C300 AND C301).
- CONCRETE PAVEMENT TO BE REMOVED.
- BUILDING TO BE REMOVED.
- PROTECTIVE TREE/CONSTRUCTION FENCE. (SEE MASS EXCAVATION PLAN, SHEET C300 FOR DETAIL).
- HISTORIC STONE WALL DEMOLITION LIMITS (SEE CODED NOTE 7).

DEMOLITION NOTES

1. ALL DEBRIS SHALL NOT BE BURIED ON THE SITE. ALL UNSUITABLE MATERIAL AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL LAWS AND ORDINANCES.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD LOCATE ANY AND ALL UTILITIES PRIOR TO PERFORMING ANY WORK. CONTACT THE APPLICABLE UTILITIES PROTECTION SERVICE AT A MINIMUM OF 48 HOURS IN ADVANCE OF WORK TO BE DONE NEAR ANY EXISTING UTILITY MAIN.
3. CONTRACTOR SHALL NOT DISTURB EXISTING PAVEMENT OUTSIDE OF DEMOLITION AREA.
4. ITEMS DESIGNATED FOR DEMOLITION SHALL NOT BE DISTURBED BY THE CONTRACTOR UNTIL THEY ARE FURNISHED WITH NOTICE TO PROCEED BY THE OWNER. AS SOON AS SUCH NOTICE HAS BEEN GIVEN, THE CONTRACTOR SHALL PERFORM THE DEMOLITION UNDER THE DIRECTION OF THE OWNER'S REPRESENTATIVE.
5. THE SIZE AND LOCATION OF BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HERE HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED WHERE POSSIBLE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
6. THE CONTRACTOR SHALL CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO DEMOLITION TO COORDINATE DISCONNECTION AND REMOVAL OF EXISTING UTILITIES WITHIN THE AREA OF WORK.
7. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES THAT ARE INTENDED TO CONTINUE TO PROVIDE SERVICE WHETHER THESE UTILITIES ARE SHOWN ON THE PLAN OR NOT.
8. UPON DISCOVERY OF UNDERGROUND TANKS OR CONTAMINATED SOILS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE. NO REMOVAL OF TANKS OR CONTAMINATED SOILS SHALL OCCUR UNTIL AUTHORIZED BY THE OWNER AND PROPER AUTHORITIES.
9. ALL EARTHWORK, SUBGRADE PREPARATION AND BACKFILL REQUIREMENTS SHALL BE PER THE LATEST CITY OF DUBLIN AND DOT STANDARD DETAILS AND SPECIFICATIONS.
10. EXISTING ABANDONED UTILITIES WITHIN THE PROPOSED WORK LIMITS SHALL BE REMOVED IF POSSIBLE. IF SUCH UTILITIES ARE PRESENT, THEY SHOULD BE REMOVED AND RELOCATED OR ABANDONED IN PLACE. IF ABANDONED IN PLACE, IT IS RECOMMENDED THAT THE UTILITIES PIPE BE FILLED WITH LOW STRENGTH MORTAR GROUT TO AVOID POTENTIAL COLLAPSE IN THE FUTURE. SHOULD THE UTILITIES LINES BE REMOVED FROM THE SITE, THE RESULTANT TRENCH EXCAVATIONS SHOULD BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE LATEST MAG STANDARD DETAILS AND SPECIFICATIONS.
11. ALL MATERIAL, EXCEPT THAT BELONGING TO A PUBLIC UTILITY COMPANY OR DENOTED FOR SALVAGE, SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE OWNER OF WATER, ELECTRIC OR GAS METERS WHEN THE METERS ARE READY FOR REMOVAL, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTING ALL UTILITIES IN COMPLIANCE WITH LOCAL REQUIREMENTS.
12. THE DEMOLITION PLAN IS INTENDED TO SHOW REMOVAL OF KNOWN SITE FEATURES AND UTILITIES AS SHOWN ON THE SURVEY. THERE MAY BE OTHER SITE FEATURES, UTILITIES, STRUCTURES AND MISCELLANEOUS ITEMS BOTH BURIED AND ABOVE GROUND THAT ARE WITHIN THE LIMITS OF WORK THAT MAY NEED TO BE REMOVED FOR THE PROPOSED PROJECT THAT ARE NOT SHOWING HEREON.
13. ALL EXISTING CONDITIONS WITHIN THE RIGHT-OF-WAY DISTURBED BY THE CONSTRUCTION OF THIS PROJECT SHALL BE IMMEDIATELY RESTORED TO THE PRE-CONSTRUCTION CONDITION OR BETTER.
14. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, PROPERTY CORNERS, REFERENCE POINTS AND STAKES.
15. ANY DAMAGE CAUSED TO THE PAVEMENT, DRIVE, DRAINAGE SYSTEMS, UNDERGROUND OR OVERHEAD UTILITIES, PIPE LINES OR LANDSCAPING, EITHER WITHIN THE RIGHT-OF-WAY OR ON ADJACENT PROPERTIES, SHALL BE FULLY RESTORED PROMPTLY BY THE CONTRACTOR WITH ALL RELATED COSTS BEING THE FULL RESPONSIBILITY OF THE CONTRACTOR.
16. WHERE NECESSARY TO REMOVE PAVEMENTS OR DRIVES, THE PAVEMENT SHALL BE SAWCUT FULL DEPTH IN NEAT, STRAIGHT LINES, WHERE REMOVED IN WALK AREAS, SHALL BE SAWCUT AT NEAREST JOINT.
17. ALL PAVEMENT AND/OR FOUNDATIONS THAT ARE REMOVED SHALL BE DISPOSED OF OFFSITE PROPERLY.
18. EROSION & SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED DURING DEMOLITION ACTIVITIES.
19. THE PURPOSE OF THIS DRAWING IS TO CONVEY THE OVERALL SCOPE OF WORK AND IT IS NOT INTENDED TO COVER ALL DETAILS OR SPECIFICATIONS REQUIRED TO COMPLY WITH GENERALLY ACCEPTED DEMOLITION PRACTICES. THE CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH THE SITE, SCOPE OF WORK AND ALL EXISTING CONDITIONS AT THE SITE PRIOR TO BIDDING AND COMMENCING THE WORK. THE DEMOLITION CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, OR PROCEDURES USED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND IS LIABLE FOR THE SAFETY OF THE PUBLIC OR CONTRACTOR'S EMPLOYEES DURING THE COURSE OF THE PROJECT.



DUBLIN - RIVERVIEW VILLAGE DEVELOPMENT
COHATCH - RIVERVIEW VILLAGE
CITY OF DUBLIN OHIO



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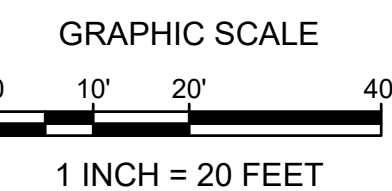
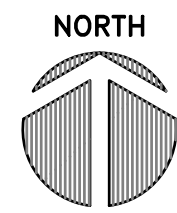
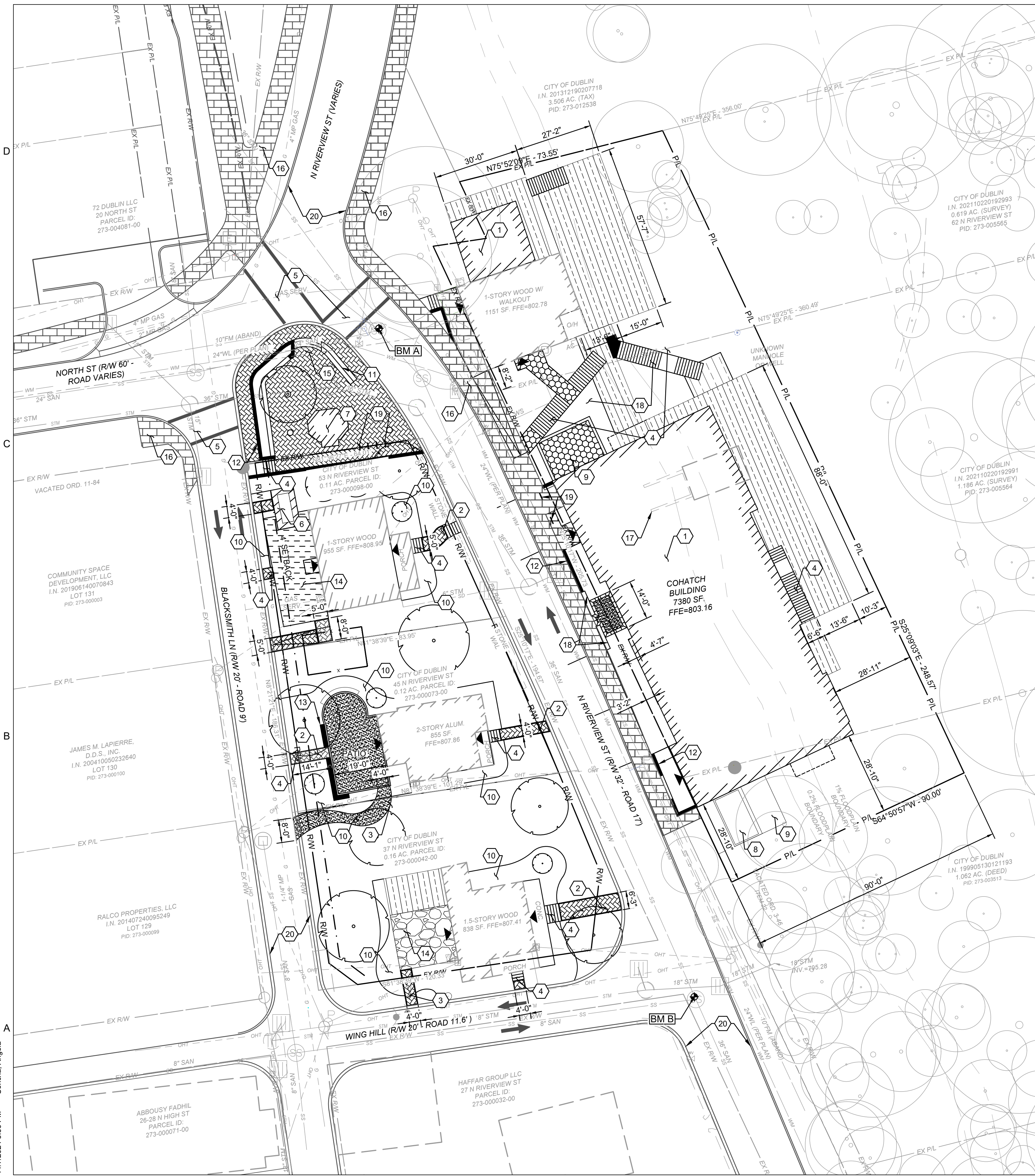
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 CHECKED BY: WMD
 CLIENT PROJ NO.: OSBORN PROJ NO. J20220724.000

DEMOLITION PLAN

DRAWING NO.
C004

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Concha, Angela



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- TC - TOP OF CURB
- EP - EDGE OF PAVEMENT
- DND - DO NOT DISTURB
- UGL - UNDERGROUND LIGHT

SITE LAYOUT PLAN CODED NOTES:

1. PROPOSED BUILDING (SEE ARCHITECTURAL PLANS FOR DETAILS).
2. PROPOSED BRICK WALK (SEE LANDSCAPE PLANS FOR DETAILS).
3. PROPOSED BRICK RAMP (SEE LANDSCAPE PLANS FOR DETAILS).
4. PROPOSED STEPS.
5. PROPOSED CROSSWALK (SEE R/W IMPROVEMENT PLANS, BY OTHERS).
6. PROPOSED SHED (SEE ARCHITECTURAL PLANS FOR DETAILS).
7. PROPOSED KIOSK (SEE ARCHITECTURAL PLANS FOR DETAILS).
8. PROPOSED TRASH LOCATION (SEE ARCHITECTURAL PLANS FOR DETAILS).
9. PROPOSED MECHANICAL YARD.
10. PROPOSED PLANTING BED (SEE LANDSCAPE PLANS FOR DETAILS).
11. PROPOSED WOOD BENCH (SEE ARCHITECTURAL PLANS FOR DETAILS).
12. PROPOSED STONE RETAINING WALL (SEE ARCHITECTURAL PLANS FOR DETAILS).
13. PROPOSED FREESTANDING STONE WALL (SEE ARCHITECTURAL PLANS FOR DETAILS).
14. PROPOSED PATIO (SEE ARCHITECTURAL PLANS FOR DETAILS).
15. PROPOSED PLAZA (SEE ARCHITECTURAL PLANS FOR DETAILS).
16. PROPOSED BRICK SIDEWALK (SEE R/W IMPROVEMENT PLANS, BY OTHERS, FOR DETAILS).
17. EXISTING STONE RETAINING WALL AND FOUNDATION TO REMAIN AS PART OF DESIGN AND TO BE PROTECTED DURING CONSTRUCTION.
18. PROPOSED RAISED PLANTERS (SEE LANDSCAPE PLANS FOR DETAILS).
19. BIKE RACK LOCATION (SEE LANDSCAPE PLANS FOR DETAILS).
20. PROPOSED CURB (SEE R/W IMPROVEMENT PLANS, BY OTHERS, FOR DETAILS).

SITE LAYOUT PLAN LEGEND:

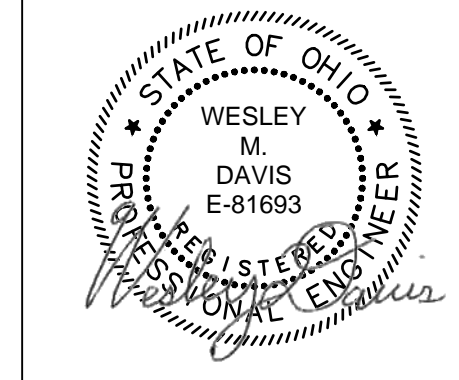
- CONCRETE PAVEMENT.
- BRICK PAVEMENT (SEE R/W IMPROVEMENT PLANS, BY OTHERS, FOR DETAILS).
- PORCELAIN PAVEMENT (SEE LANDSCAPE PLANS FOR DETAILS).
- WOOD DECK PATIO (SEE ARCHITECTURAL PLANS FOR DETAILS).
- FLAGSTONE PAVERS (SEE LANDSCAPE PLANS FOR DETAILS).
- PEA GRAVEL PAVERS (SEE LANDSCAPE PLANS FOR DETAILS).
- GREY BLOCK BRICK PAVERS (SEE LANDSCAPE PLANS FOR DETAILS).
- STEEL GRATE (SEE LANDSCAPE PLANS FOR DETAILS).
- EXISTING TREE.
- PROPOSED TREE (SEE LANDSCAPE PLANS FOR DETAILS).
- PROTECTIVE TREE FENCE.



DUBLIN - RIVERVIEW VILLAGE DEVELOPMENT

COHATCH - RIVERVIEW VILLAGE

CITY OF DUBLIN OHIO



TAG	ISSUED	DATE
-	PDP SUBMITTAL	8/30/24
-	PDP SUBMITTAL	9/18/24
-	FDP SUBMITTAL	10/3/24
-	FDP SUBMITTAL	11/8/24

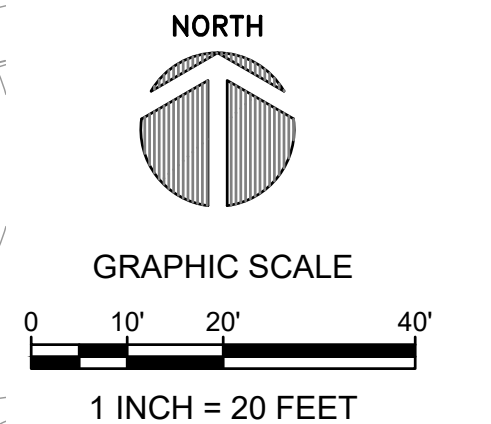
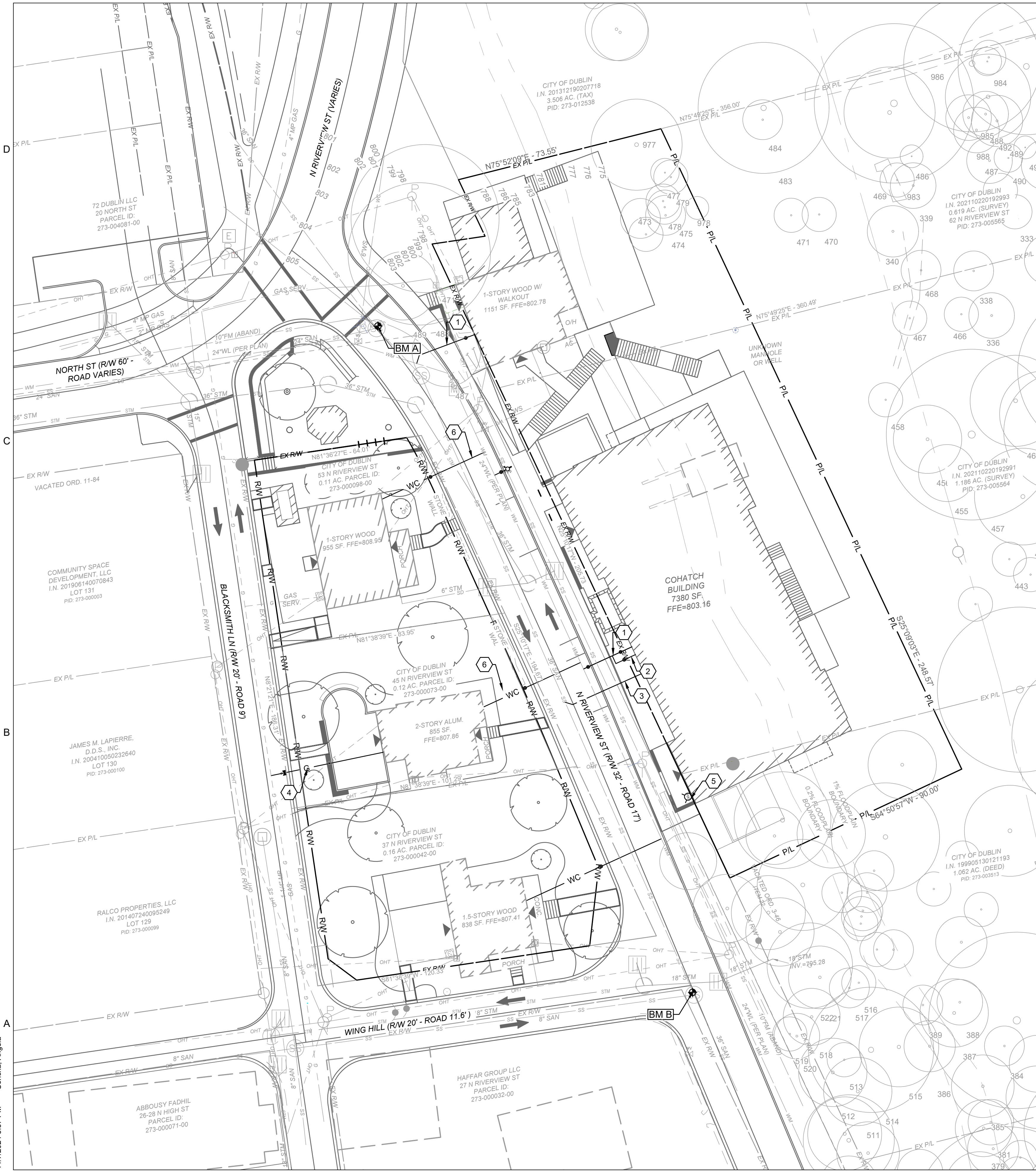
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CHECKED BY: WMD
CLIENT PROJ NO.: OSBORN PROJ NO. J20220724.000

SITE STAKING PLAN

DRAWING NO.
C100

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ABBREVIATION LEGEND:

- EX - EXISTING
- C/L - CENTER LINE
- R/W - RIGHT OF WAY
- P/L - PROPERTY LINE
- FFE - FINISH FLOOR ELEVATION
- OHE - OVERHEAD ELECTRIC
- SS - SANITARY SEWER
- CS - COMBINED SEWER
- UGE - UNDERGROUND ELECTRIC
- WM - WATERMAIN
- WC - WATER CONNECTION
- STM - STORM SEWER
- G - GAS
- MH - MANHOLE
- TC - TOP OF CURB
- EP - EDGE OF PAVEMENT
- DND - DO NOT DISTURB
- UGL - UNDERGROUND LIGHT

UTILITY LAYOUT PLAN CODED NOTES:

1. PROPOSED WATER SERVICE.
2. PROPOSED FIRE SERVICE.
3. PROPOSED SANITARY SERVICE LATERAL.
4. PROPOSED GAS SERVICE.
5. PROPOSED FIRE DEPARTMENT CONNECTION LOCATION.
6. PROPOSED WATER SERVICE WITH BACKFLOW PREVENTER INSIDE THE BUILDING.

UTILITY LAYOUT PLAN LEGEND:

- WATER VALVE.
- GAS VALVE.
- FIRE DEPARTMENT CONNECTION.
- FIRE HYDRANT.



DUBLIN - RIVERVIEW VILLAGE DEVELOPMENT
COHATCH - RIVERVIEW VILLAGE
CITY OF DUBLIN OHIO



TAG	ISSUED	DATE
-	PDP SUBMITTAL	8/30/24
-	PDP SUBMITTAL	9/18/24
-	FDP SUBMITTAL	10/3/24
-	FDP SUBMITTAL	11/8/24

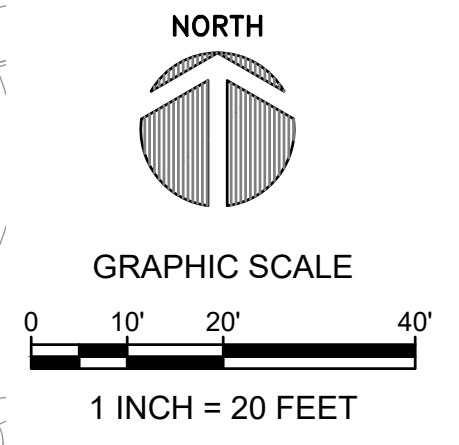
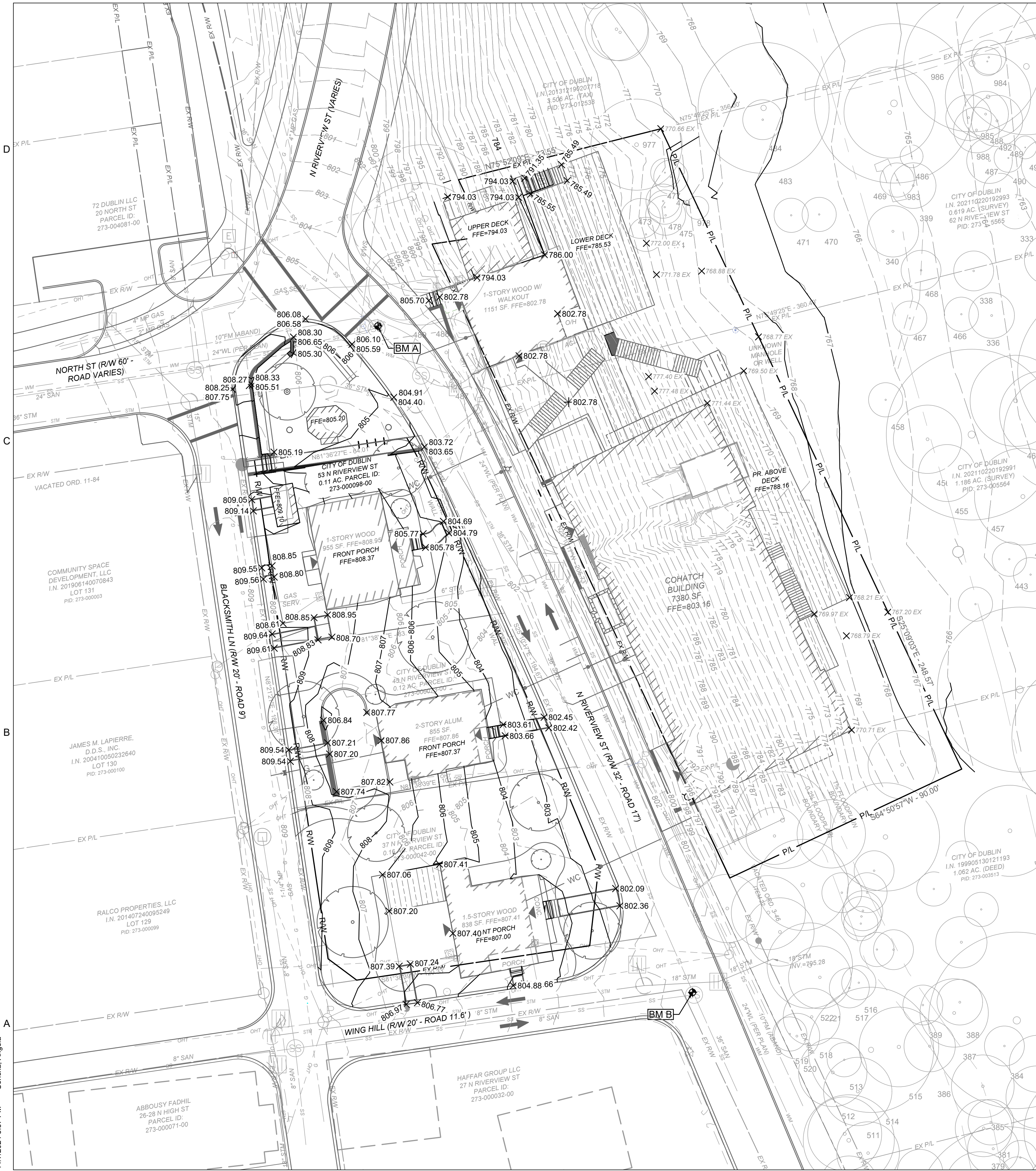
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SITE UTILITY PLAN

DRAWING NO.
C200

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 Concha, Angela



ABBREVIATION LEGEND:

- EX - EXISTING
- C/L - CENTER LINE
- R/W - RIGHT OF WAY
- P/L - PROPERTY LINE
- FFE - FINISH FLOOR ELEVATION
- OHE - OVERHEAD ELECTRIC
- SS - SANITARY SEWER
- CS - COMBINED SEWER
- UGE - UNDERGROUND ELECTRIC
- WM - WATERMAIN
- WC - WATER CONNECTION
- STM - STORM SEWER
- G - GAS
- MH - MANHOLE
- TC - TOP OF CURB
- EP - EDGE OF PAVEMENT
- DND - DO NOT DISTURB
- UGL - UNDERGROUND LIGHT

GRADING LEGEND

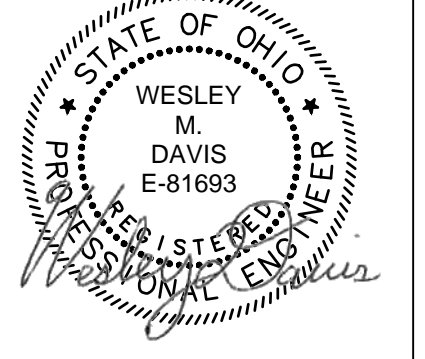
- 801.88 PROPOSED ELEVATION
- 793.95 EXISTING ELEVATION
- 793.95 ME MEET EXISTING ELEVATION
- 1.5% PROPOSED SLOPE
- 795 PROPOSED CONTOUR
- 795 EXISTING CONTOUR

SITE GRADING PLAN NOTES

1. ANY MATERIALS CONSISTING OF VEGETATION AND ORGANIC MATTER SHALL BE WASTED OFF-SITE OR RE-SPREAD IN THE LANDSCAPED AREAS UPON COMPLETION OF GRADING OPERATIONS.
2. ALL EXISTING FOUNDATIONS, FLOOR SLABS, PAVEMENTS AND OTHER STRUCTURAL INTERFERENCES SHALL BE COMPLETELY REMOVED FROM THE PROPOSED BUILDING AREA AND TO A DEPTH OF AT LEAST 2 FEET BELOW THE FINISHED SUBGRADE ELEVATIONS WITHIN PROPOSED PARKING LOT AREAS.
3. REMOVAL AND/OR RELOCATION OF ANY "TO BE ABANDONED" UTILITIES, AS WELL AS INSTALLATION OF NEW UNDERGROUND UTILITIES, SHALL BE PERFORMED ONCE UNSUITABLE MATERIALS ARE REMOVED.
4. ALL GRADES ARE FINISH PAVEMENT GRADES UNLESS OTHERWISE NOTED.
5. REFER TO SHEET C-002 FOR SURVEY LEGEND
6. PAVEMENT IMMEDIATELY ADJACENT TO DOORS TO BE FLUSH WITH FFE
7. CONTRACTOR TO APPLY FOR GRADING PERMIT PRIOR TO BEGINNING CONSTRUCTION WORK
8. AS-BUILT DRAWINGS TO BE PROVIDED TO THE BOROUGH OF PLEASANT HILLS AFTER CONSTRUCTION FOR THEIR RECORDS



DUBLIN - RIVERVIEW VILLAGE DEVELOPMENT
COHATCH - RIVERVIEW VILLAGE
 CITY OF DUBLIN OHIO



TAG	ISSUED	DATE
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-	PDP SUBMITTAL	9/18/24
-	FDP SUBMITTAL	10/3/24
-	FDP SUBMITTAL	11/8/24

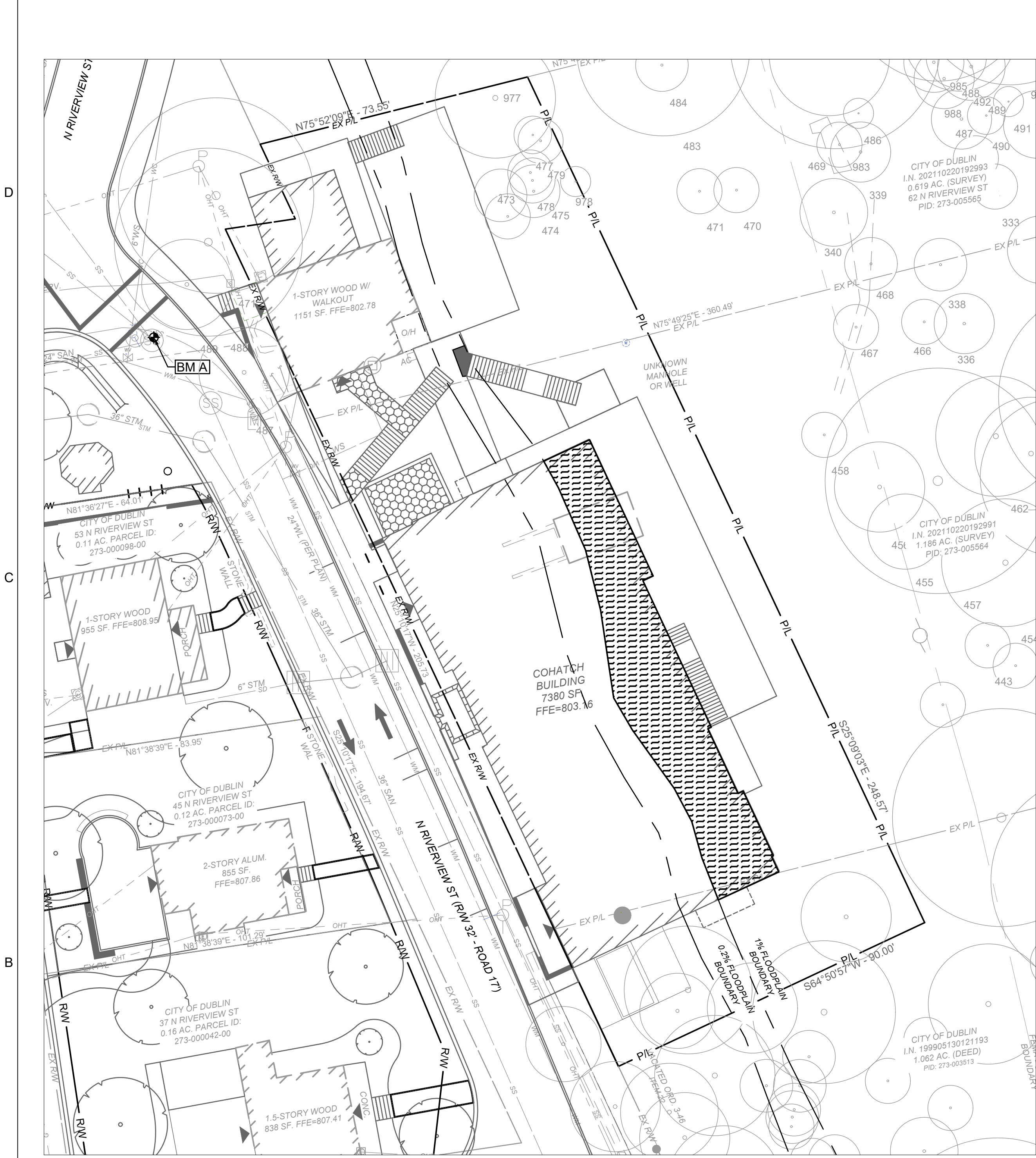
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 CLIENT PROJ NO.: OSBORN PROJ NO. J20220724.000

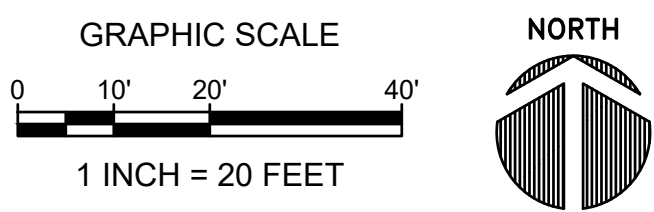
SITE GRADING PLAN

DRAWING NO.
C300

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Concha, Angela



FLOODPLAIN PLAN VIEW
SCALE: 1" = 20'-0"

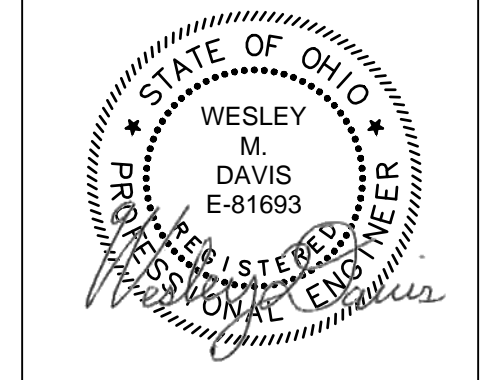


FLOODPLAIN ELEVATION
SCALE: 1/16" = 1'-0"

LEGEND
[Hatched Box] PROPOSED BUILDING IN FLOODPLAIN (200 CY)



DUBLIN - RIVERVIEW VILLAGE DEVELOPMENT
COHATCH - RIVERVIEW VILLAGE
CITY OF DUBLIN OHIO



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-	FDP SUBMITTAL	11/8/24

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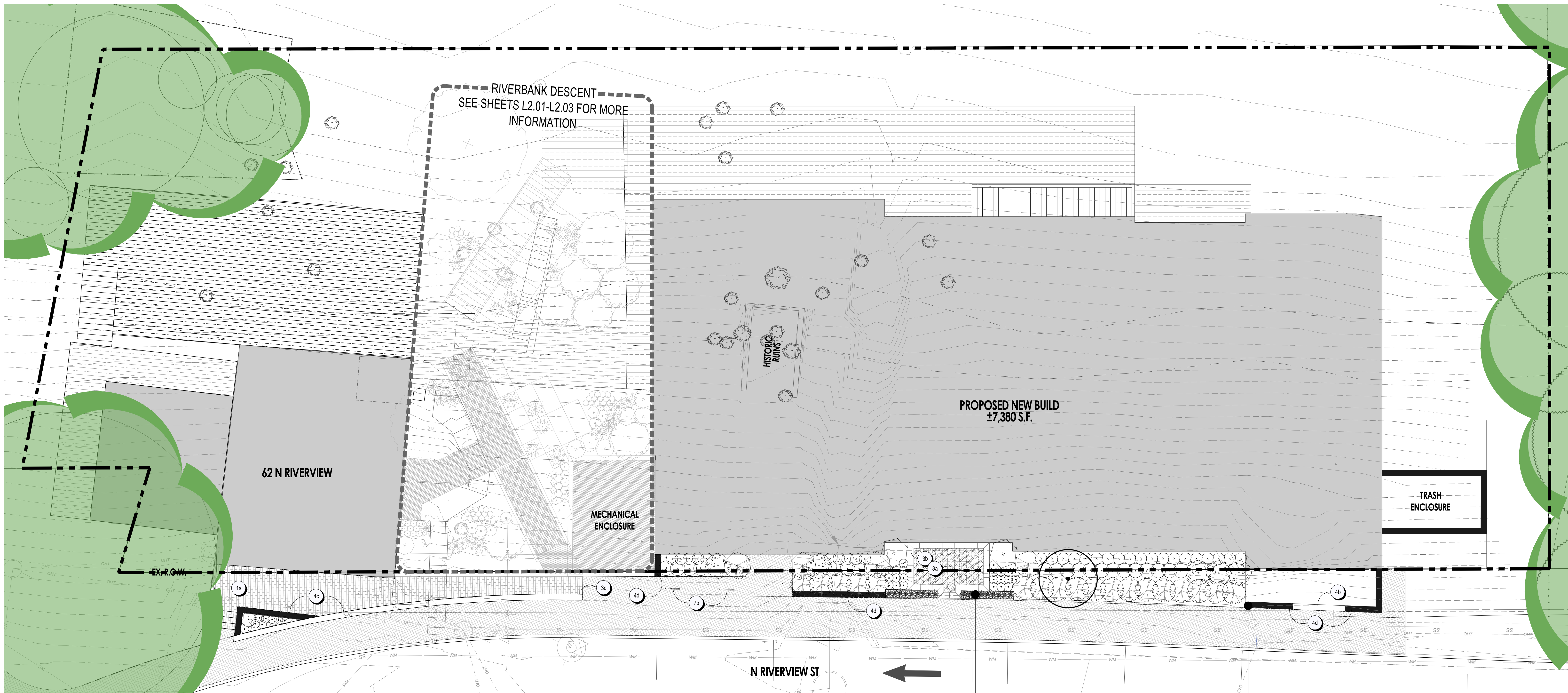
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CLIENT PROJ NO.
OSBORN PROJ NO. J20220724.000

FLOODPLAIN EXHIBIT

DRAWING NO.
C400



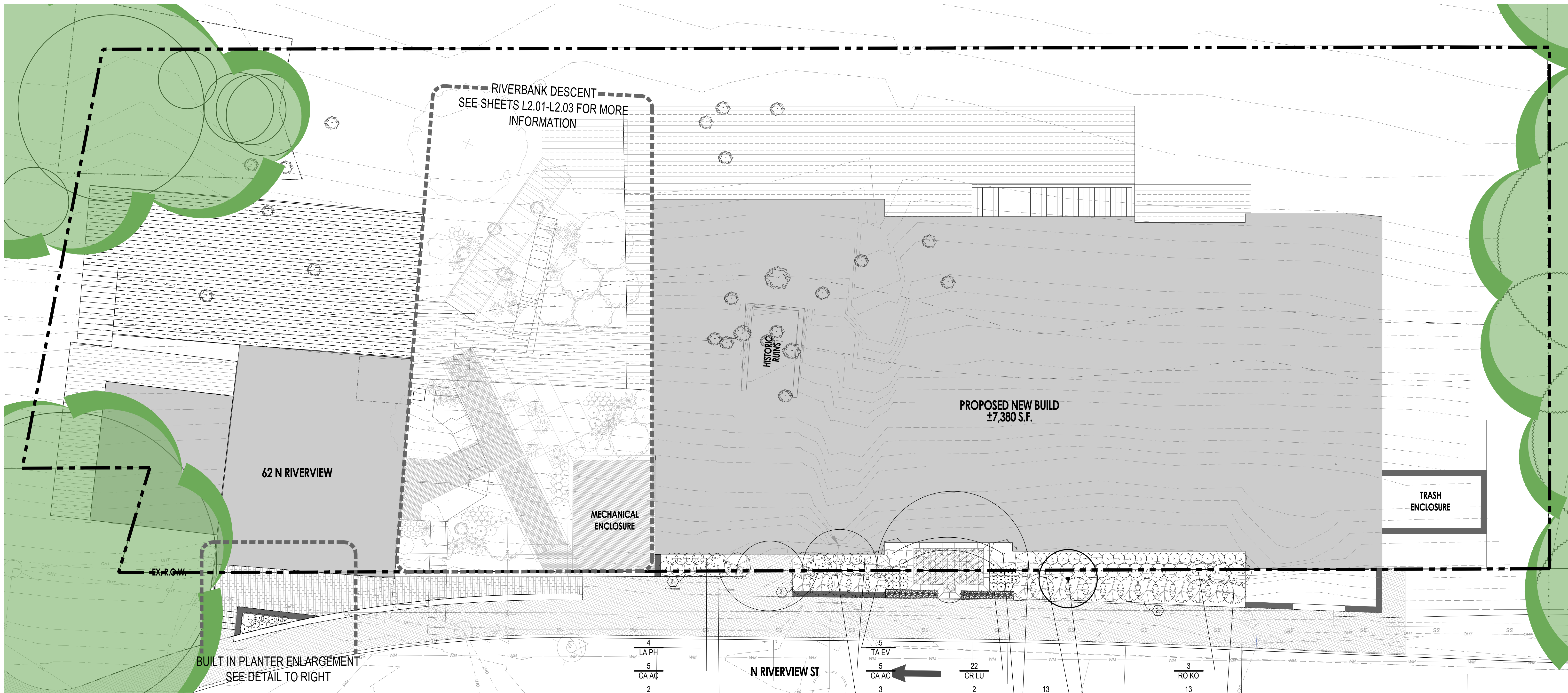
L0.00: Site Key Plan



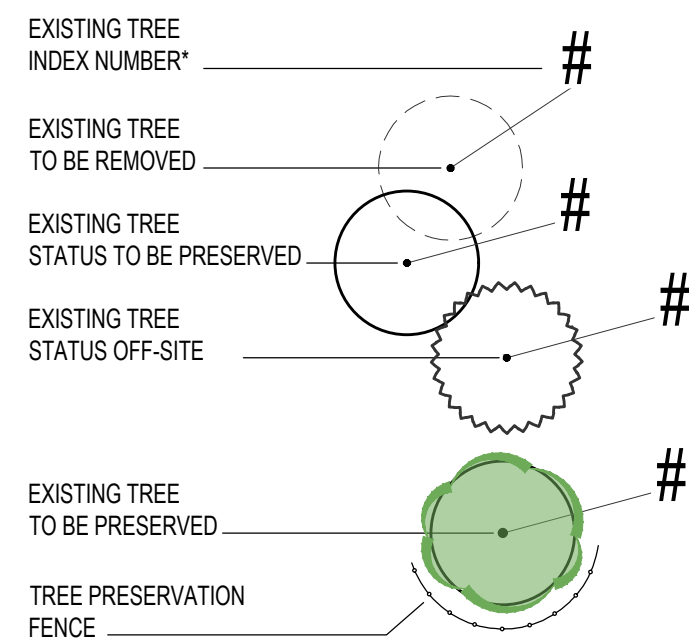
CODED LAYOUT & MATERIALS NOTES

KEY	ITEM	REFERENCE	NOTES	KEY	ITEM	REFERENCE	NOTES
1a	CLAY PAVER 'A'	A L8.02	BELDEN 'BELCREST #530' (OR OWNER-APPROVED EQUAL)	4d	STONE WALL W/ COCK AND HEN COPING	-	'SHORELINE THIN WALLSTONE' (OR OWNER-APPROVED EQUAL) AVAILABLE FROM LANG STONE: 614.228.5489
1b	CLAY PAVER 'B'	A L8.02	BELDEN 'SAXONY BLEND' (OR OWNER-APPROVED EQUAL)	4e	GABION WALL	-	NOT USED
1c	CLAY PAVER 'C'	A L8.02	ENDICOTT 'DARK IRONSPOT' (OR OWNER-APPROVED EQUAL)	5a	STONE WALL WITH WOOD BENCH	E L8.02	'OTTAWA SMOOTH TUMBLED VENEER' (OR OWNER-APPROVED EQUAL) AVAILABLE FROM LANG STONE: 614.228.5489
1d	CLAY PAVER 'D'	A L8.02	ENDICOTT 'MEDIUM IRONSPOT #46' (OR OWNER-APPROVED EQUAL)	5b	GABION WALL WITH WOOD BENCH	-	NOT USED
2a	CONCRETE PAVER 'A'	B L8.02	OBERFIELDS 'JAMESTOWN' PAVER COLOR CHARCOAL (OR OWNER-APPROVED EQUAL)	6a	STEEL STAIRCASE	-	NOT USED
2b	CONCRETE PAVER 'B'	B L8.02	UNILOCK BOULEVARD PAVER 'GRANITE FUSION' - RANDOM (OR OWNER-APPROVED EQUAL)	6b	WOOD STAIRCASE	-	NOT USED
2c	CONCRETE PAVER 'C'	B L8.02	UNILOCK BEACON HILL SMOOTH 'DARK CHARCOAL' - SMALL RECTANGLE (OR OWNER-APPROVED EQUAL)	7a	3' HT. FENCE	F L8.01	ULTRA - 'UAS-100 STD BOTTOM COMMERCIAL SPEAR TOP 6X6 2 RAIL' (OR OWNER-APPROVED EQUAL)
3a	STABILIZED CRUSHED STONE PAVEMENT	C L8.02	KAFKA GRANITE - 'BEIGE BLEND MARBLE' (OR OWNER-APPROVED EQUAL) AVAILABLE FROM KAFKA GRANITE: 715.814.1268	7b	BIKE RACK	E L8.01	MADRAX - 'OPAL BIKE RACK', COLOR: P.C. BRONZE (OR OWNER-APPROVED EQUAL)
3b	4" TUMBLED LIMESTONE EDGING	-	'EDEN FOND DU LAC' (OR OWNER-APPROVED EQUAL) AVAILABLE FROM SEMCO OUTDOOR: 614.861.4668	7c	5' x 5' EXPANDABLE TREE GRATE	G L8.01	IRON AGE DESIGNS 'DIVISADERO 5' x 5' HEEL PROOF' (OR OWNER-APPROVED EQUAL)
3c	4" GRANITE EDGING	-	'STARLIGHT BLACK GRANITE' EDGING (OR OWNER-APPROVED EQUAL) AVAILABLE FROM KAFKA GRANITE: 715.814.1268	8a	SHADE STRUCTURE	A L8.03	SEE DETAIL A, SHEET L8.03 FOR MORE INFORMATION
3d	IRREGULAR FLAGSTONE PAVEMENT	D L8.02	'OTTAWA BUFF SMOOTH' (OR OWNER-APPROVED EQUAL) AVAILABLE FROM LANG STONE: 614.228.5489	8b	FLOATING DECK	B L8.03	SEE DETAIL B, SHEET L8.03 FOR MORE INFORMATION
4a	STONE SLAB WALL	F L8.02	'BEAVERDAM' SLABS (OR OWNER-APPROVED EQUAL) AVAILABLE FROM LANG STONE: 614.228.5489				
4b	#6"x16"x5" LIMESTONE STEPS	-	#6"x16"x5" INDIANA LIMESTONE FULL COLOR AVAILABLE FROM SEMCO OUTDOOR: 614.861.4668				
4c	MORTARED STONE WALL	E L8.02	'OTTAWA SMOOTH TUMBLED VENEER' (OR OWNER-APPROVED EQUAL) AVAILABLE FROM LANG STONE: 614.228.5489				





TREE PRESERVATION KEY

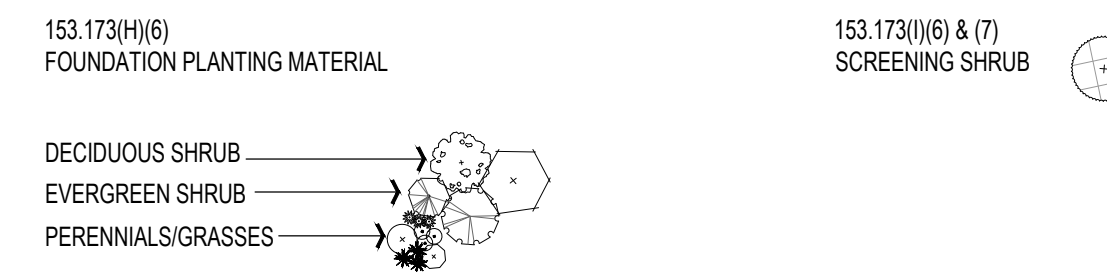


*SEE SHEETS L7.01 & L7.02 FOR MORE INFORMATION

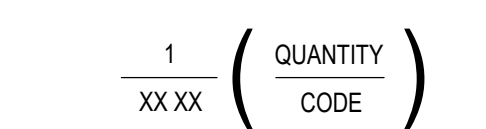
PLANT LIST (Contractor is responsible to provide all plant quantities shown on plan)

QTY.	CODE	BOT. NAME/COMMON NAME	SIZE	COND.	SPACING	NOTES
ORNAMENTAL TREES						
1	ZE MU	Zelkova serrata 'Musashino' Musashino Zelkova	1.75" CAL.	B&B	PER PLAN	
EVERGREEN SHRUBS						
18	TA EV	Taxus x media 'Everlow' Everlow Yew	18" SPRD.	#3 CONT.	PER PLAN	
4	BU GM	Buxus 'Green Mountain' Green Mountain Boxwood	24-30" HT.	B&B	PER PLAN	
FLOWERING/DECIDUOUS SHRUBS						
5	RO KO	Rosa 'RADTKO' Double Red Knockout Rose	24" HT.	#5 CONT.	PER PLAN	
2	HY RS	Hydrangea quercifolia 'Ruby Slippers' Ruby Slippers Oakleaf Hydrangea	24" HT.	#5 CONT.	PER PLAN	
GRASSES, PERENNIALS, GROUNDCOVERS, & VINES						
29	CA AC	Calamagrostis x acutiflora 'Karl Foerster' Karl Foerster Grass		#1 CONT.	PER PLAN	
21	LA PH	Lavandula x intermedia 'Niko' Phenomenal French Lavender		#1 CONT.	PER PLAN	
18	BO GR	Bouteloua gracilis Blue Grama Grass		#1 CONT.	PER PLAN	
22	CR LU	Crococsmia 'Lucifer' Lucifer Crocosmia		#1 CONT.	PER PLAN	
8	CO JT	Coreopsis 'Jethro Tull' Jethro Tull Tickseed		#1 CONT.	PER PLAN	

LANDSCAPE REQUIREMENTS SYMBOL KEY

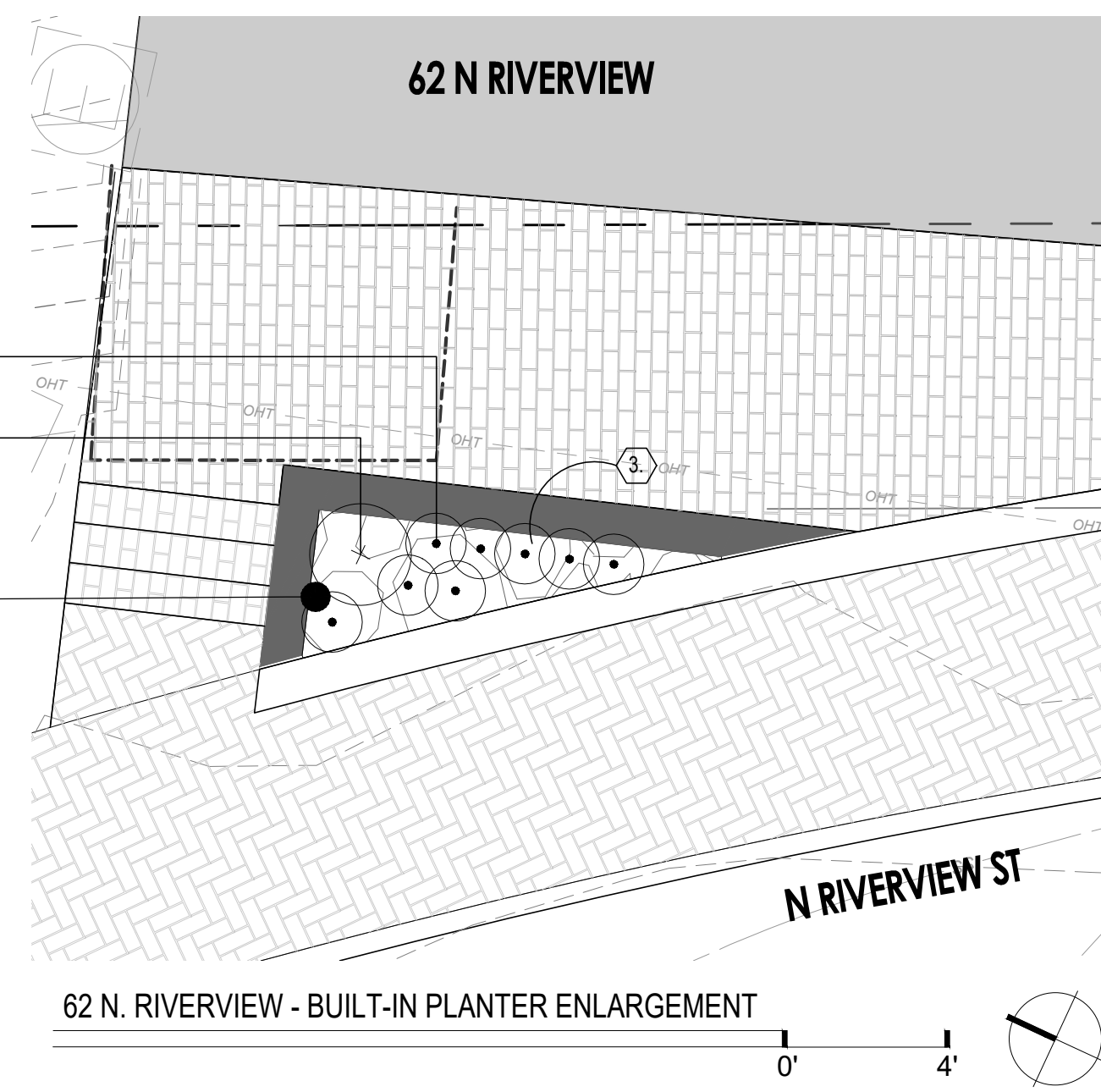
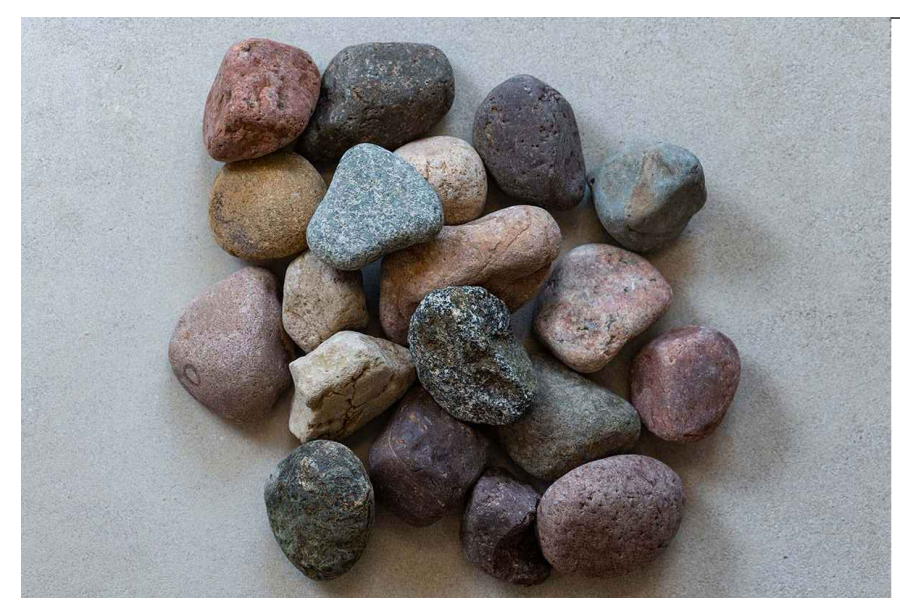


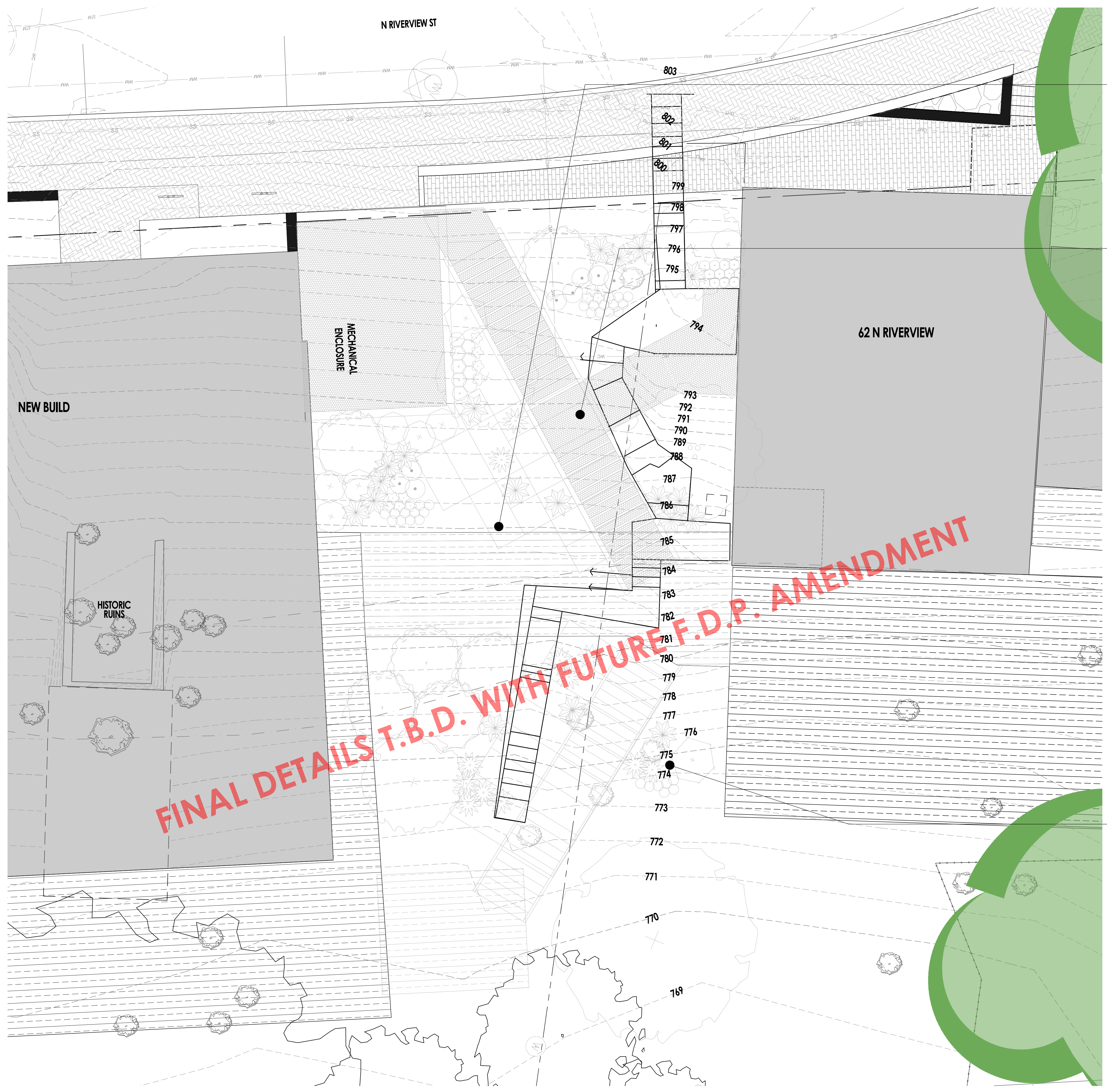
PLANT LABEL KEY

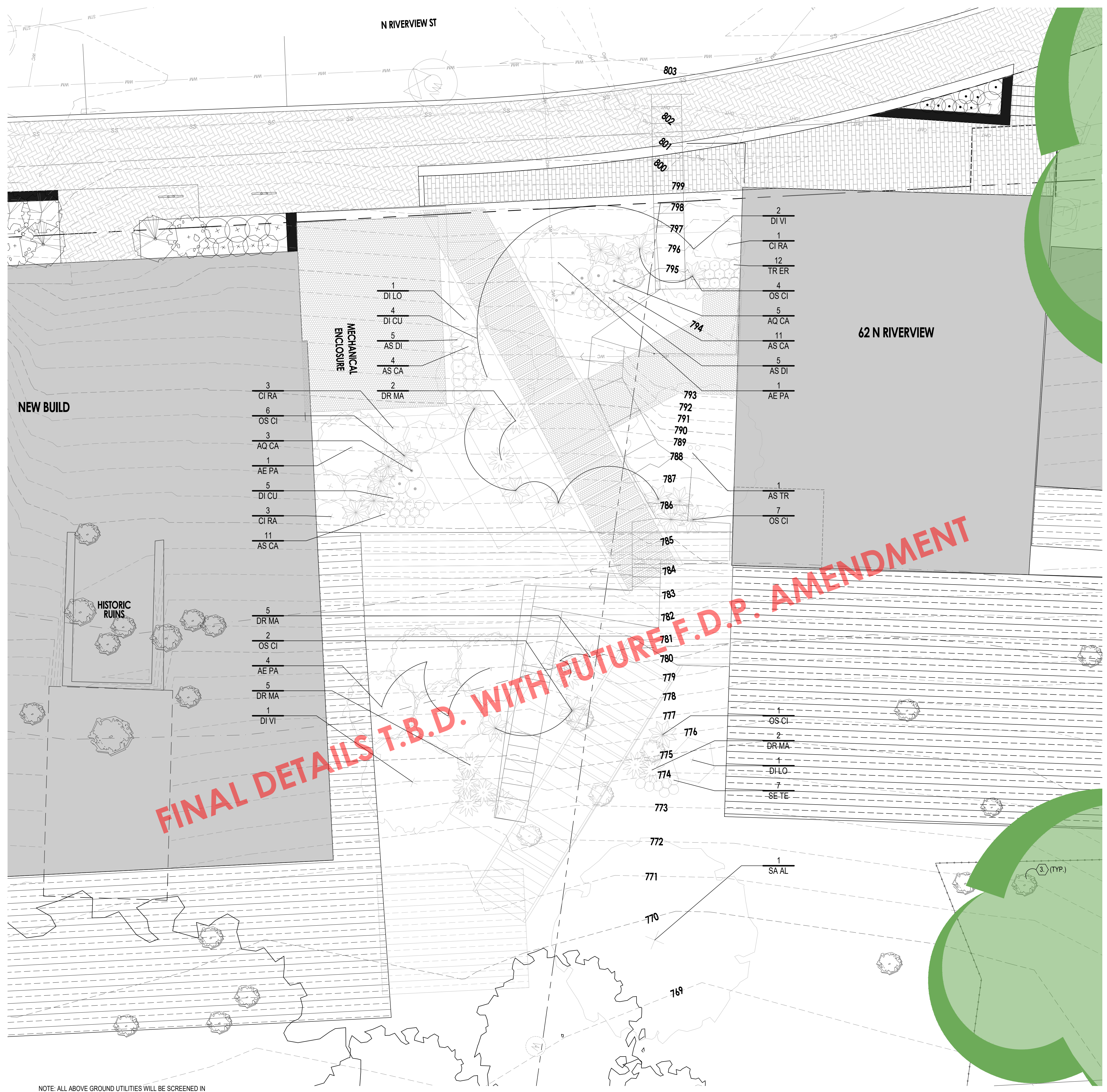


CODED LANDSCAPE NOTES

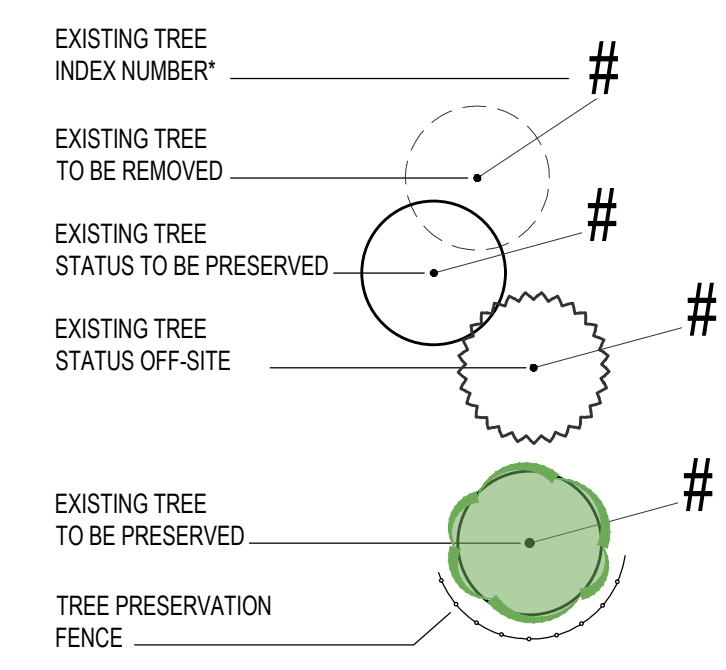
- (2) LANDSCAPE BED - PROVIDE 3" DEPTH HARDWOOD MULCH, POSITIVE DRAINAGE IN ALL DIRECTIONS. HAND SPADE EDGE.
- (3) LANDSCAPE BED - RED FLINT DECORATIVE GRAVEL MULCH.







TREE PRESERVATION KEY

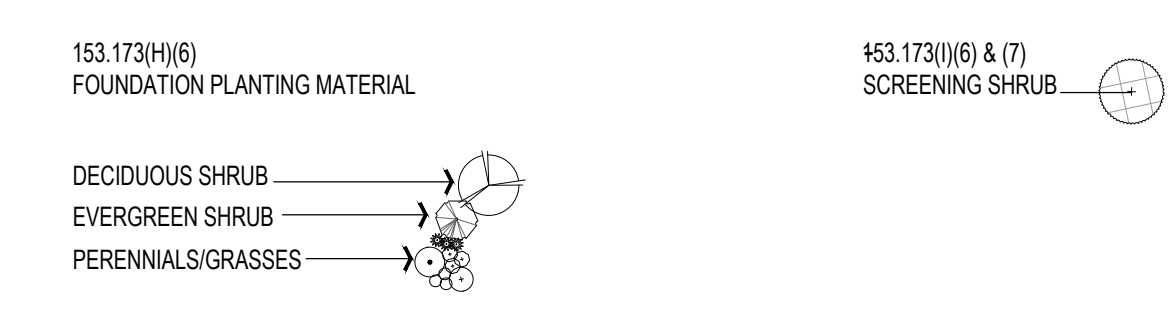


*(SEE SHEETS L7.01 & L7.02 FOR MORE INFORMATION)

PLANT LIST (Contractor is responsible to provide all plant quantities shown on plan)

QTY.	CODE	BOT. NAME/COMMON NAME	SIZE	COND.	SPACING	NOTES
DECIDUOUS TREES						
1	AS TR	Asimina triloba Paw Paw	2" CAL.	B&B	AS SHOWN	Match Form
3	DI VI	Diospyros virginiana American Persimmon	2" CAL.	B&B	AS SHOWN	Match Form
1	SA AL	Sassafras albidum Sassafras	2" CAL.	B&B	AS SHOWN	Match Form
FLOWERING/DECIDUOUS SHRUBS						
6	AE PA	Aesculus parviflora Botlebrush Buckeye	24" HT.	#5 CONT.	PER PLAN	
2	DI LO	Dierilla lonicera Native Bush Honeysuckle	18" HT.	#3 CONT.	PER PLAN	
GRASSES, PERENNIALS, GROUNDCOVERS, & VINES						
26	AS CA	Asarum canadense Wild Ginger	-	#1 CONT.	AS SHOWN	Match Form
5	AS DI	Aster divaricatus Whitewood Aster	-	#1 CONT.	AS SHOWN	Match Form
8	AQ CA	Aquilegia canadense Wild Columbine	-	#1 CONT.	AS SHOWN	Match Form
7	CI RA	Cimifuga racemosa 'Hillside Black Beauty' Hillside Blac Beauty Snakeroot	-	#1 CONT.	AS SHOWN	Match Form
9	DI CU	Dicentra cucullaria Dutchman's Breeches	-	#1 CONT.	AS SHOWN	Match Form
14	DR MA	Dryopteris marginalis Leatherwood Fern	-	#1 CONT.	AS SHOWN	Match Form
19	OS CI	Osmundastrum cinnamomeum Cinnamon Fern	-	#1 CONT.	AS SHOWN	Match Form
7	SE TE	Sedum ternatum 'Lairnem Park' Woodland Stonecrop	-	#1 CONT.	AS SHOWN	Match Form
12	TR ER	Trillium erectum Purple Trillium	-	#1 CONT.	AS SHOWN	Match Form

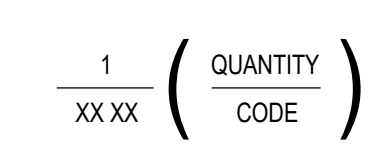
LANDSCAPE REQUIREMENTS SYMBOL KEY



CODED LANDSCAPE NOTES

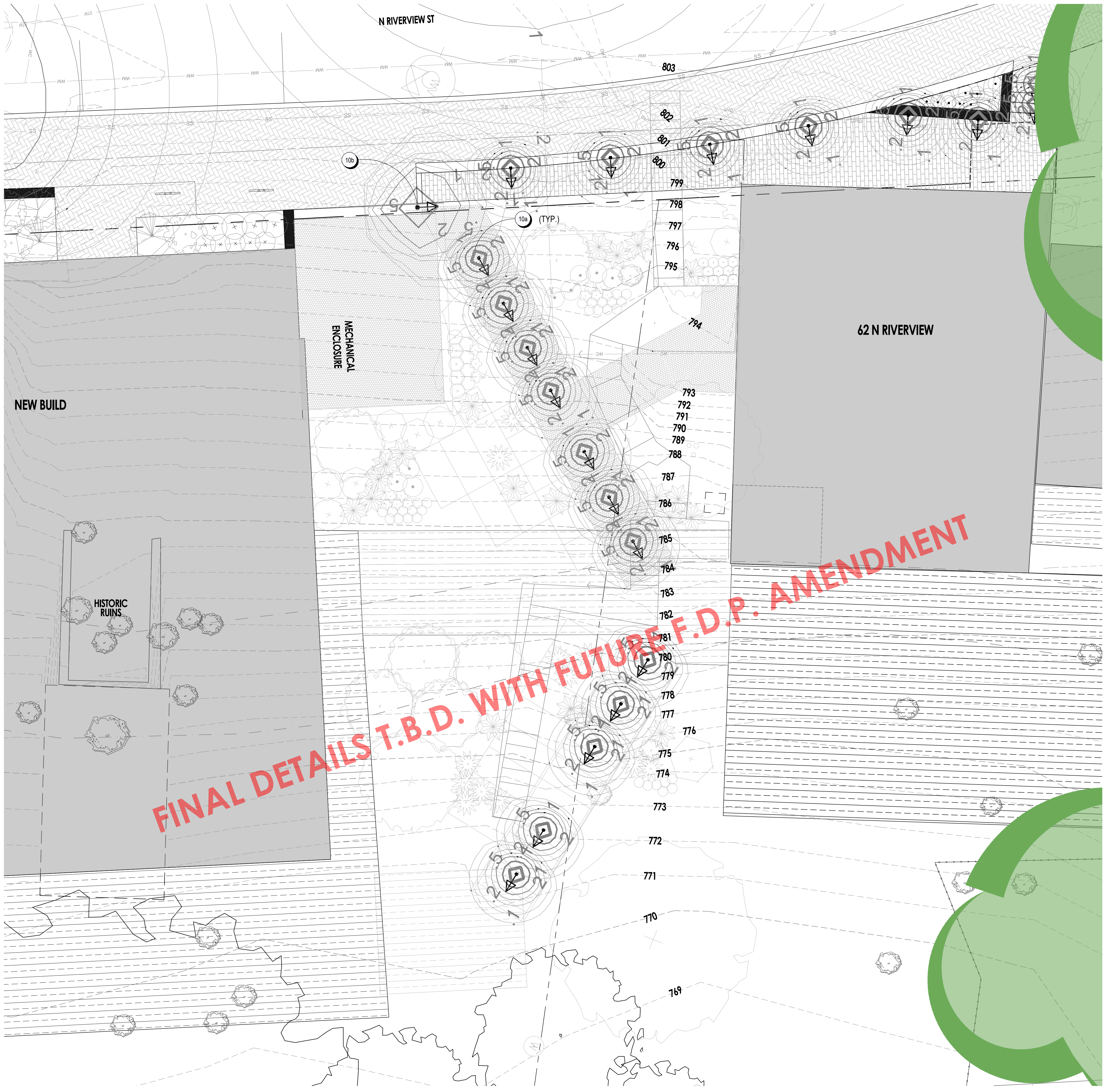
- ② LANDSCAPE BED - PROVIDE 3" DEPTH HARDWOOD MULCH. POSITIVE DRAINAGE IN ALL DIRECTIONS. HAND SPADE EDGE.
- ③ EXISTING TREE STUMP TO REMAIN

PLANT LABEL KEY



NOTE: ALL ABOVE GROUND UTILITIES WILL BE SCREENED IN ACCORDANCE WITH 153.173(I) OF THE CITY OF DUBLIN ZONING CODE





FC OUTDOOR LIGHTING

FCSL2041

Specifications

Dimensions	12" W x 4.5" H x 2.5" D
Weight	5 lbs
Material	Marine grade, corrosion resistant, heavy walled, high pressure, die-cast aluminum with snap-in screen for easy removal. Screen is made of stainless steel mesh (304) with 1/8" openings. Back is made of high strength, black polypropylene with UV protection (A, 745C rated) and flame rated (UL94 V-0).
Finish	White gloss paint
Mounting	Concrete post, masonry, wall compatible, special construction, and drywall construction mounting kit included. Mount for hanging or wall.
Lighting protection	Optional clear lens is PPS rated dry, dusty or wet locations. All seals are injection molded silicone.
Finishplate finish	Die cast aluminum finishplate. Six stage chemical paint/plasma conversion pre-treatment. Polyester powder coat finish, 10 yr maximum thickness, 5000 hour salt spray test (ASTM B117) compliant with Florida, ANSI, ISO, and other specifications.

Performance

Color	2700K, 3000K, 3500K, 4000K, 4500K, 5000K, 5500K, 6000K, 6500K, 7000K, 8000K, 9000K, 10000K, 15000K, 20000K, 25000K, 30000K, 35000K, 40000K, 45000K, 50000K, 55000K, 60000K, 65000K, 70000K, 75000K, 80000K, 85000K, 90000K, 95000K, 100000K
Life time	L70 > 70,000 hours
Color consistency	3 SDCM, 60 CRI (White Light)
Operating temperature	-20°F to 140°F (-4°C to 60°C)
Warranty	5-year limited warranty (refer to website for details)

Electrical

Input voltage	Universal 120 - 277 VAC
Power supply	Integral, electronic, high-power factor > 94% @ 100% THD at < 25% dUTm
Standards	cULus, ENEC, CE, RoHS, REACH, IEC, DALI-2, DMX512, DMX512-R, DMX512-A, DMX512-B, DMX512-C, DMX512-D, DMX512-E, DMX512-F, DMX512-G, DMX512-H, DMX512-I, DMX512-J, DMX512-K, DMX512-L, DMX512-M, DMX512-N, DMX512-O, DMX512-P, DMX512-Q, DMX512-R, DMX512-S, DMX512-T, DMX512-U, DMX512-V, DMX512-W, DMX512-X, DMX512-Y, DMX512-Z
Power consumption	13W (20W max, 19W 200 hrs)
Dimming	Optional: TRIAC dimming (1-10V), 0-10V dimming (1% minimum)

FC Lighting 3600 Sisson Ave • Columbus, OH 43219 • 614.881.1111 | www.fc-lighting.com | 800.830.7100

Specification Sheet AG-10-081924

A WALL/STEPS LIGHTS
(OR OWNER-APPROVED EQUAL)

Basics Wei Strip BA42WET | IP65 Rated Contractor Grade Linear LED - 24 VDC

Features

- BA42WET series is a Contractor Grade, affixed, field configurable and durable waterproof LED strip suitable for wet applications.
- Mounting: BA42WET is pre-equipped with 3M™ adhesive transfer tape.
- Applications: Outdoor and wet locations - cone lighting, architectural accent, handrail, wall bars.
- Approvals: Class 2 - wet listed.

Technical Information

TYPE	BA42WET
OUTPUT OPTIONS	SO HO VWD
Linear Output (2000h)	144 lm/ft 200 lm/ft 444 lm/ft
Power (2000h)	2.2 W/ft 3.2 W/ft 4.4 W/ft
Efficiency	73 lm/W 76 lm/W 74 lm/W
Cable (included)	1.8m
Max Temp	50°C
Max Run Length (in air) SO	14.9 7.4 4.9
Max Run Length (in air) HO	41.3 16.8 10.9
Max Run Length (in air) VWD	20.9 20.9 24.9
Dimensions	4.7mm x 2.5mm
Operating Temperature	-40°F (-40°C) to 104°F (40°C)

Ordering code

MODEL	OUTPUT	CC	SECTION START	SECTION END	LENGTH
BA42WET - Basics P53 Strip	SO (day) HO (night) VWD (night)	2000 3000 4000	Enter blank for field	Enter blank for field	816' - 100' 800' - 100' 800' - 100'
			PPS (Submersible wet view P71) MC (P53 Connector)	PPS (Submersible wet view P71) MC (P53 Connector)	Typical length 17.9' maximum

C LED TAPE LIGHT
(OR OWNER-APPROVED EQUAL)

CODED LAYOUT & MATERIALS NOTES

KEY	ITEM	REFERENCE	NOTES
10a	WALL/STEP LIGHT	A	SEE DETAIL A, THIS SHEET FOR MORE INFORMATION
10b	BOLLARD LIGHT	B	SEE DETAIL B, THIS SHEET FOR MORE INFORMATION
10c	LED TAPE LIGHT	C	SEE DETAIL C, THIS SHEET FOR MORE INFORMATION

UCO-10127
Columbus 2 Bollard

LIGMAN LIGHTING USA

Construction

The Columbus Bollard is constructed with a unique waterproof exterior finish having a compartment for a stainless steel security bolt. The bolt is located at the top of the post to stop water and dust from entering the bollard compartment. The bolt is secured with a stainless steel nut and washer. The bolt is secured with a stainless steel nut and washer. The bolt is secured with a stainless steel nut and washer.

Specifications

Dimensions	12" W x 4.5" H x 2.5" D
Weight	5 lbs
Material	Marine grade, corrosion resistant, heavy walled, high pressure, die-cast aluminum with snap-in screen for easy removal. Screen is made of stainless steel mesh (304) with 1/8" openings. Back is made of high strength, black polypropylene with UV protection (A, 745C rated) and flame rated (UL94 V-0).
Finish	White gloss paint
Mounting	Concrete post, masonry, wall compatible, special construction, and drywall construction mounting kit included. Mount for hanging or wall.
Lighting protection	Optional clear lens is PPS rated dry, dusty or wet locations. All seals are injection molded silicone.
Finishplate finish	Die cast aluminum finishplate. Six stage chemical paint/plasma conversion pre-treatment. Polyester powder coat finish, 10 yr maximum thickness, 5000 hour salt spray test (ASTM B117) compliant with Florida, ANSI, ISO, and other specifications.

Performance

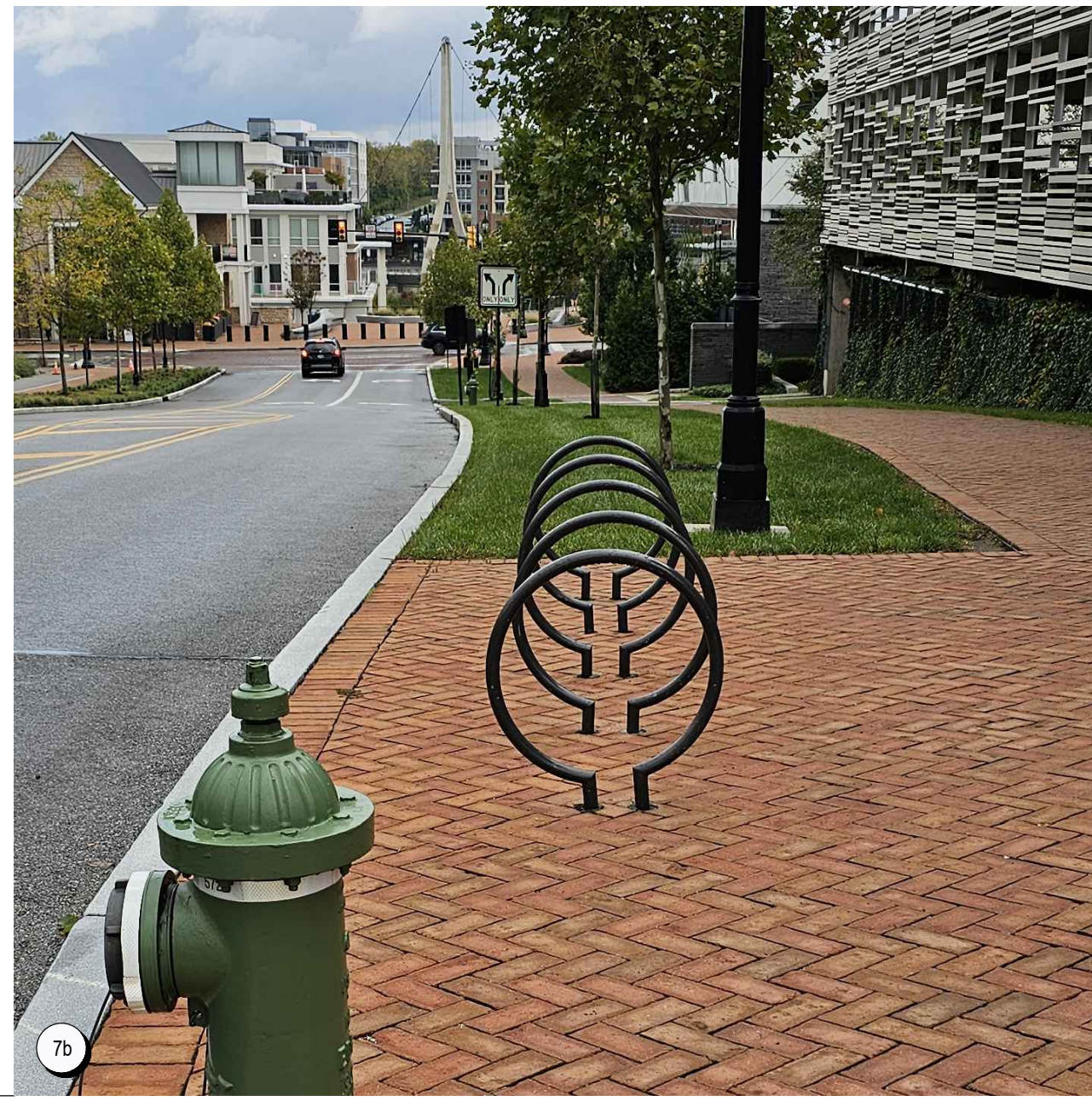
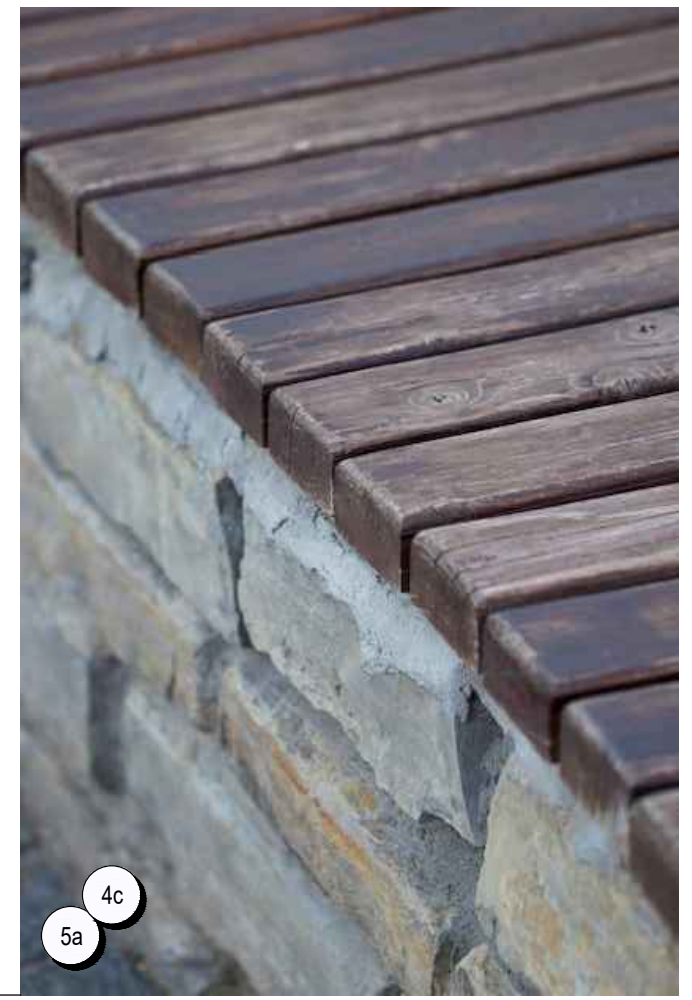
Color	2700K, 3000K, 3500K, 4000K, 4500K, 5000K, 5500K, 6000K, 6500K, 7000K, 8000K, 9000K, 10000K, 15000K, 20000K, 25000K, 30000K, 35000K, 40000K, 45000K, 50000K, 55000K, 60000K, 65000K, 70000K, 75000K, 80000K, 85000K, 90000K, 95000K, 100000K
Life time	L70 > 70,000 hours
Color consistency	3 SDCM, 60 CRI (White Light)
Operating temperature	-20°F to 140°F (-4°C to 60°C)
Warranty	5-year limited warranty (refer to website for details)

Electrical

Input voltage	Universal 120 - 277 VAC
Power supply	Integral, electronic, high-power factor > 94% @ 100% THD at < 25% dUTm
Standards	cULus, ENEC, CE, RoHS, REACH, IEC, DALI-2, DMX512, DMX512-R, DMX512-A, DMX512-B, DMX512-C, DMX512-D, DMX512-E, DMX512-F, DMX512-G, DMX512-H, DMX512-I, DMX512-J, DMX512-K, DMX512-L, DMX512-M, DMX512-N, DMX512-O, DMX512-P, DMX512-Q, DMX512-R, DMX512-S, DMX512-T, DMX512-U, DMX512-V, DMX512-W, DMX512-X, DMX512-Y, DMX512-Z
Power consumption	13W (20W max, 19W 200 hrs)
Dimming	Optional: TRIAC dimming (1-10V), 0-10V dimming (1% minimum)

Ligman Lighting 3600 Sisson Ave • Columbus, OH 43219 • 614.881.1111 | www.ligmanlighting.com | 800.830.7100

B BOLLARD LIGHT
(OR OWNER-APPROVED EQUAL)

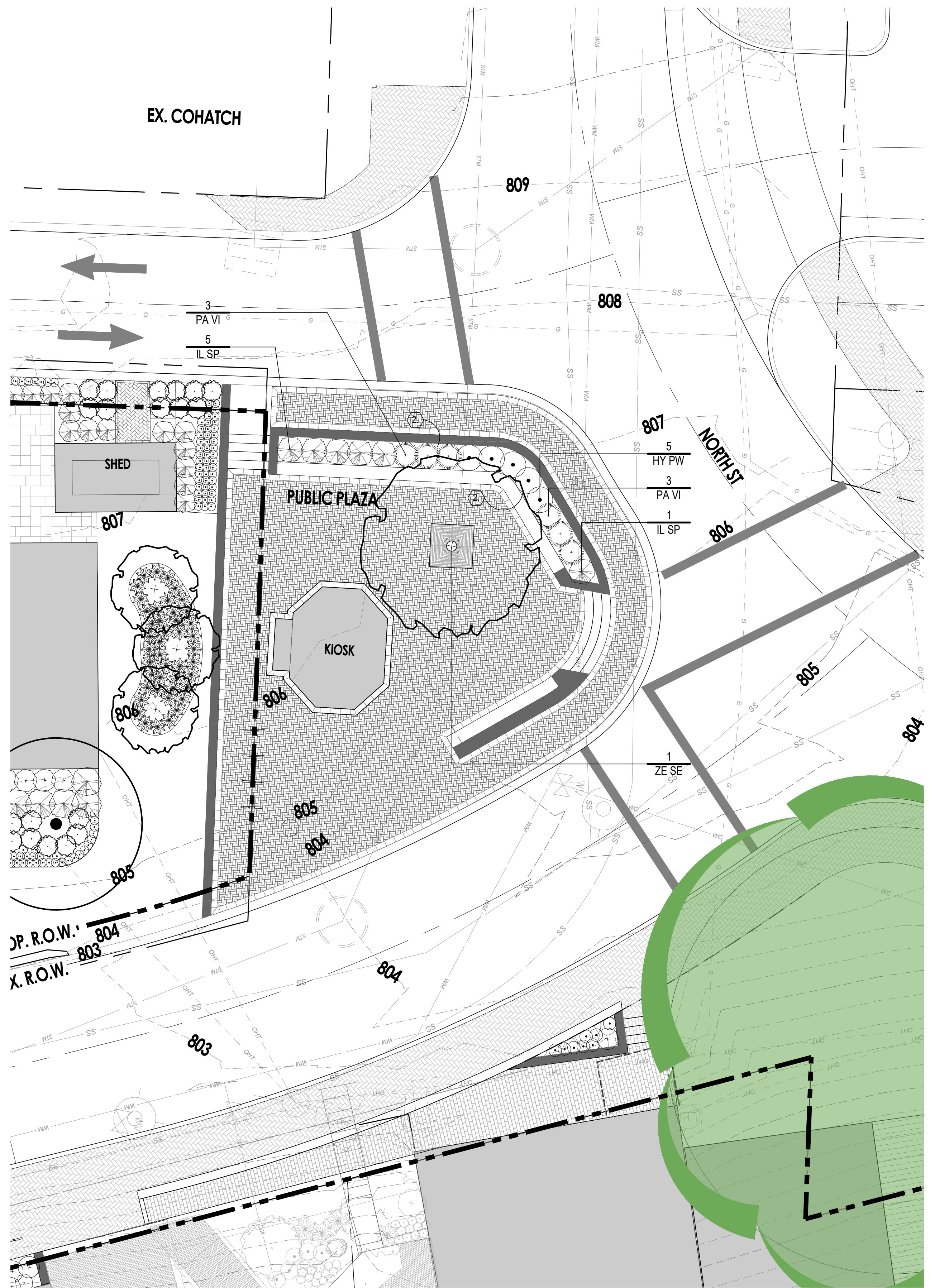


CODED LAYOUT & MATERIALS NOTES

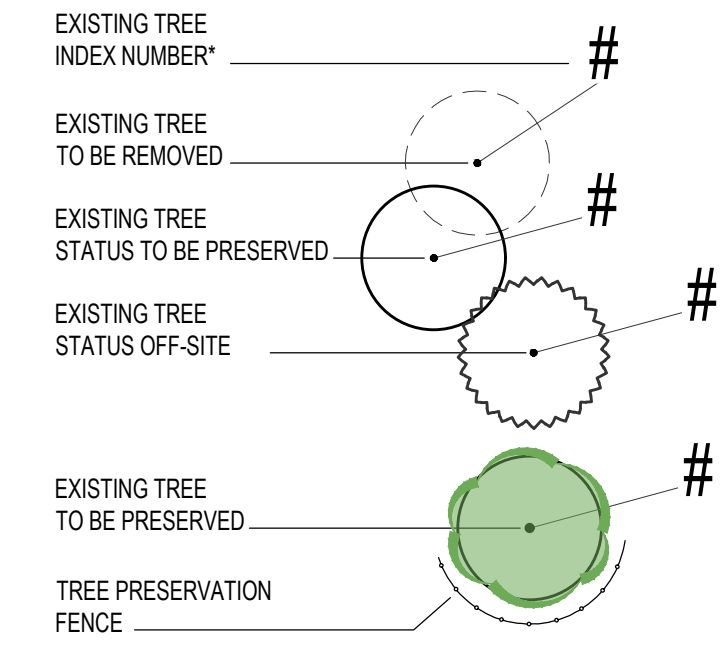
KEY	ITEM	REFERENCE	NOTES
1c	CLAY PAVER 'C' (CONC. PAVER 'A' ALTERNATE)	A L8.02	ENDICOTT 'DARK IRONSPOT' (OR OWNER-APPROVED EQUAL)
1d	CLAY PAVER 'D' (CONC. PAVER 'A' ALTERNATE)	A L8.02	ENDICOTT 'MEDIUM IRONSPOT #46' (OR OWNER-APPROVED EQUAL)
2a	CONCRETE PAVER 'A'	B L8.02	OBERFIELDS 'JAMESTOWN' PAVER COLOR CHARCOAL (OR OWNER-APPROVED EQUAL)
2b	CONCRETE PAVER 'B'	B L8.02	UNILOCK BOULEVARD PAVER 'GRANITE FUSION' - RANDOM (OR OWNER-APPROVED EQUAL)
2c	CONCRETE PAVER 'C'	B L8.02	UNILOCK BEACON HILL SMOOTH 'DARK CHARCOAL' - SMALL RECTANGLE (OR OWNER-APPROVED EQUAL)
4c	MORTARED STONE WALL	E L8.02	'OTTAWA SMOOTH TUMBLED VENEER' (OR OWNER-APPROVED EQUAL) AVAILABLE FROM LANG STONE: 614.228.5489
4d	STONE WALL W/ COCK AND HEN COPING	-	'SHORELINE THIN WALLSTONE' (OR OWNER-APPROVED EQUAL) AVAILABLE FROM LANG STONE: 614.228.5489
5a	STONE WALL WITH WOOD BENCH	E L8.02	'OTTAWA SMOOTH TUMBLED VENEER' (OR OWNER-APPROVED EQUAL) AVAILABLE FROM LANG STONE: 614.228.5489
7b	BIKE RACK	E L8.01	MADRAX - 'OPAL BIKE RACK', COLOR: P. C. BRONZE (OR OWNER-APPROVED EQUAL)
7c	5' x 5' EXPANDABLE TREE GRATE	G L8.01	IRON AGE DESIGNS 'DIVISADERO 5' x 5' HEEL PROOF' (OR OWNER-APPROVED EQUAL)

PUBLIC PLAZA - LAYOUT & MATERIALS PLAN ENLARGEMENT

L3.01: Public Plaza - LAYOUT & MATERIALS PLAN



TREE PRESERVATION KEY

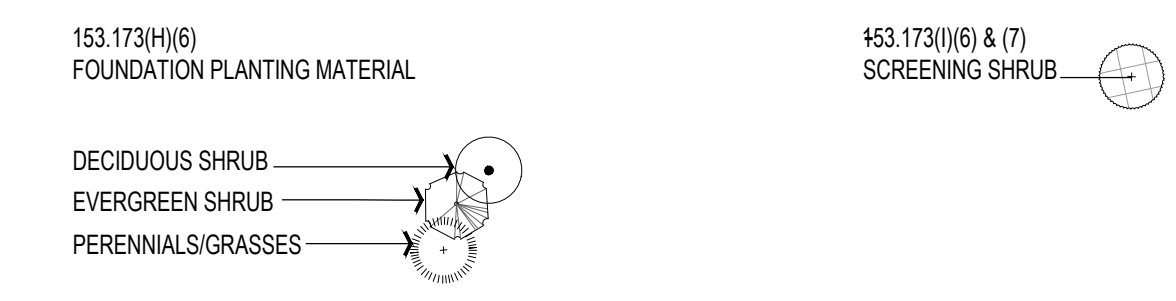


*(SEE SHEETS L7.01 & L7.02 FOR MORE INFORMATION)

PLANT LIST (Contractor is responsible to provide all plant quantities shown on plan)

QTY.	CODE	BOT. NAME/COMMON NAME	SIZE	COND.	SPACING	NOTES
DECIDUOUS SHADE TREE						
1	ZE SE	Zelkova serrata 'Green Vase' Green Vase Zelkova	2.5" CAL.	B&B	AS SHOWN	
EVERGREEN SHRUBS						
6	IL SP	Ilex crenata 'Sky Pencil' Sky Pencil Holly	24-30" HT.	#3 CONT.	PER PLAN	
FLOWERING/DECIDUOUS SHRUBS						
5	HY PW	Hydrangea quercifolia 'Pee Wee' Pee Wee Oakleaf Hydrangea	14-16" HT.	#3 CONT.	PER PLAN	
GRASSES, PERENNIALS, GROUNDCOVERS, & VINES						
6	PA VI	Panicum virgatum 'Northwind' Northwind Switchgrass		#3 CONT.	AS SHOWN	Match Form

LANDSCAPE REQUIREMENTS SYMBOL KEY



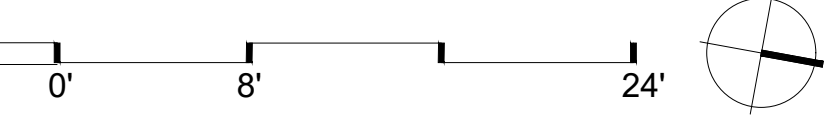
CODED LANDSCAPE NOTES

② LANDSCAPE BED - PROVIDE 3" DEPTH HARDWOOD MULCH, POSITIVE DRAINAGE IN ALL DIRECTIONS. HAND SPADE EDGE.

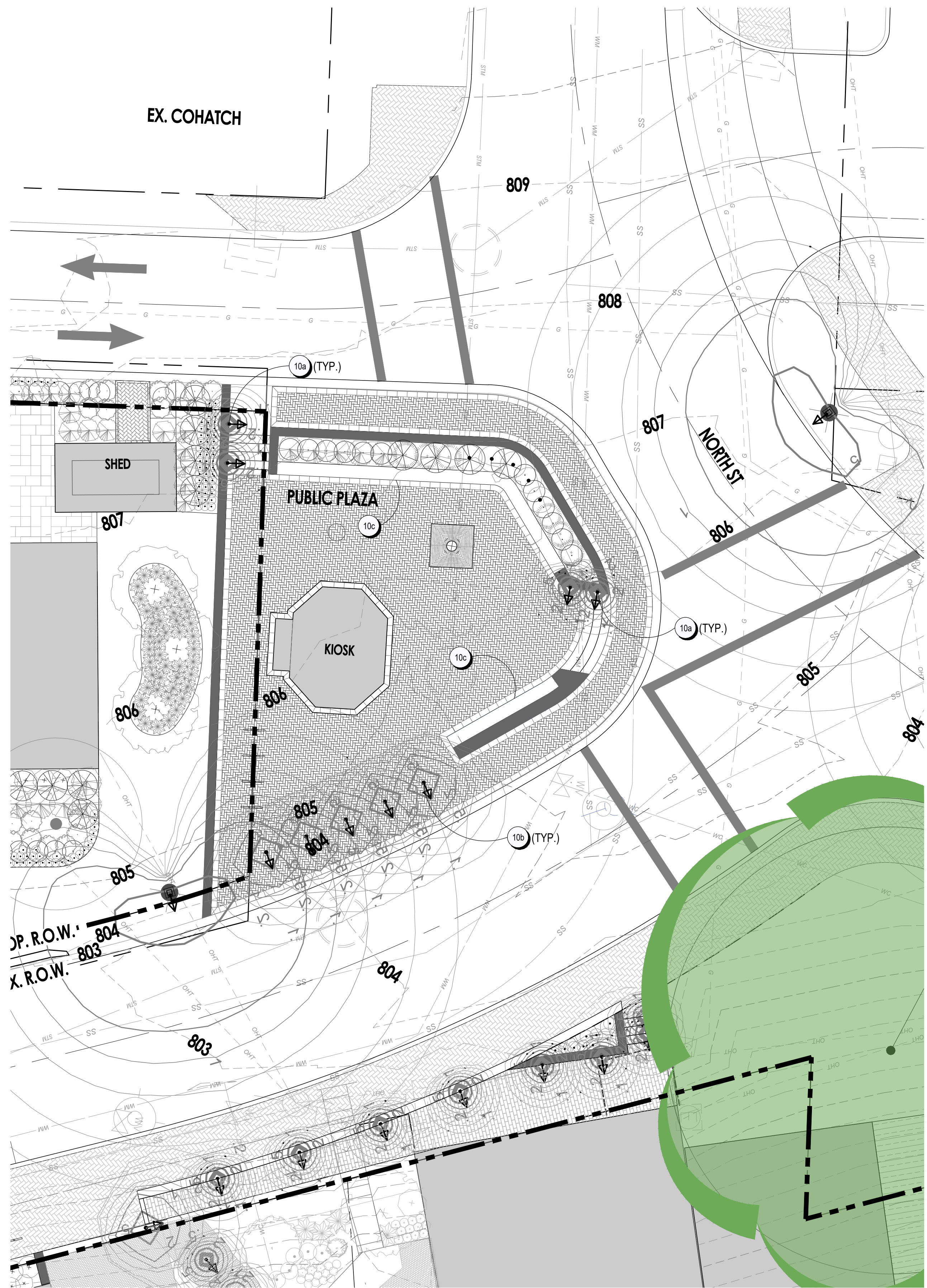
PLANT LABEL KEY

$$\frac{1}{XX.XX} \left(\frac{\text{QUANTITY}}{\text{CODE}} \right)$$

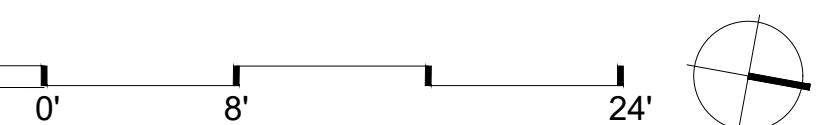
PUBLIC PLAZA - LANDSCAPE PLAN ENLARGEMENT



NOTE: ALL ABOVE GROUND UTILITIES WILL BE SCREENED IN ACCORDANCE WITH 153.173(I) OF THE CITY OF DUBLIN ZONING CODE



PUBLIC PLAZA - LIGHTING PLAN ENLARGEMENT



FCSL2041

PHYSICAL	
dimensions	17" W x 4.5" H x 3.7" D
weight	5.8 lb
finishing	Marine grade, corrosion resistant, heavy walled, high pressure, die-cast aluminum with anodized in Screenston fluoropolymer standard. Optional anodized or powder coated finishes. Back size is high strength, black Polyethylene with UV protection. (A. 246C rated F1) and flame rated (UL94 V-0).
base	White glass base
mounting	Concrete post, masonry, wall compatible, special construction, and drywall construction mounting kit included. Hangar for mounting additional.
ingress protection	Optional gasket with IP68 rated dry, damp or wet locations. All seals are injection molded silicone.
finishes	Die cast aluminum finishes. Six stage chemical prep/photocatalytic conversion pre-treatment. Polyester powder coat finish, 10 pin minimum thickness, 5,000 hour salt spray test (ASTM B117) compliant with Florida, AIAA, MIL-STD specifications.
PERFORMANCE	
color	2700K, 3000K, 3500K, 4000K, 5000K, Ambient, Red, Blue
lifetime	L75 = 75,000 hours
color consistency	3 SDCM, 5% DR (Delta Light)
operating temperature	-25°F to 140°F (-3°C to 60°C)
warranty	5-Year limited warranty (refer to website for details)
ELECTRICAL	
input voltage	Universal 120 - 277 VAC
power supply	Integrated, electronic, high-power factor > 94% @ 100% THD at < 25% dLtan
standards	cETLus
power consumption	13W (30W req. 19W 500 hrs)
dimming	Optional, TRIAC dimming (120V only), 0-10V dimming (1% minimum)

A WALL/STEPS LIGHTS
(OR OWNER-APPROVED EQUAL)

Basics Wei Strip BA42WET IP68 Rated Contractor Grade Linear LED - 24 VDC

FEATURES	
Mounting	8in. strip equipped with 3M™ adhesive transfer tape.
Applications	Closets and wall locations - coat lighting, architectural accent, handrail, exit signs.
Approvals	Class 2 - wall listed

TECHNICAL INFORMATION		
TYPE	BA42WET	
OUTPUT OPTIONS	50	100
Length (Overall)	144 in (L)	288 in (L)
Width	0.31 in (W)	0.31 in (W)
Height	73 in (H)	73 in (H)
Cable connector	1.8m	
Weight	1.0 lb	
Max Run Length @ 500mA	14.9	29.8
Max Run Length @ 1000mA	41.3	82.6
Max Run Length @ 1500mA	20.9	41.8
Dimensions	8.4 in (L) x 0.7 in (W) x 0.3 in (H)	
Operating Temperature	-40°F (-40°C) to 104°F (40°C)	

Ordering code: BA42WET-Basics-IP68-Strip

C LED TAPE LIGHT
(OR OWNER-APPROVED EQUAL)

CODED LAYOUT & MATERIALS NOTES

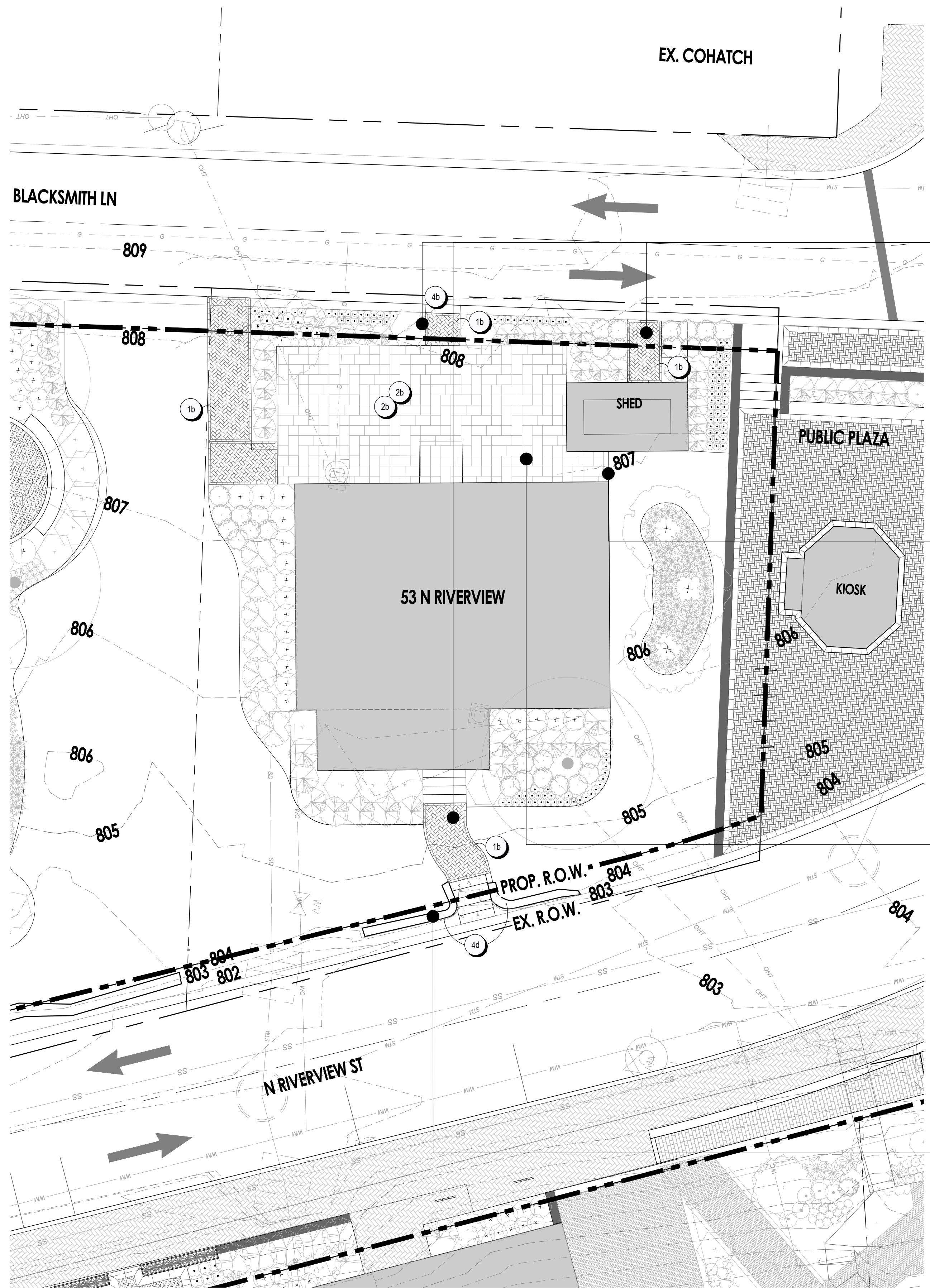
KEY	ITEM	REFERENCE	NOTES
10a	WALL/STEP LIGHT	A	SEE DETAIL A, THIS SHEET FOR MORE INFORMATION
10b	BOLLARD LIGHT	B	SEE DETAIL B, THIS SHEET FOR MORE INFORMATION
10c	LED TAPE LIGHT	C	SEE DETAIL C, THIS SHEET FOR MORE INFORMATION

UCO-10127
Columbus 2 Bollard

CONSTRUCTION
Capacitors for electronic ballast that is suitable for both modern and classic architecture. Ideal for creating visual balance with sophisticated street furniture. The product was designed to complement the classic styling of street lights, wall sconces and post tops. This sleek shape provides distinctive styling effect for high-end decorative street lighting applications.

CO-EFFECTIVE CLASSIC EXTERIOR BOLLARD RANGE
Designed for classic exterior bollard lighting. The bollard is available in a variety of finishes and colors. The bollard is available in a variety of finishes and colors. The bollard is available in a variety of finishes and colors. The bollard is available in a variety of finishes and colors.

B BOLLARD LIGHT
(OR OWNER-APPROVED EQUAL)



EX. COHATCH

BLACKSMITH LN

53 N RIVERVIEW

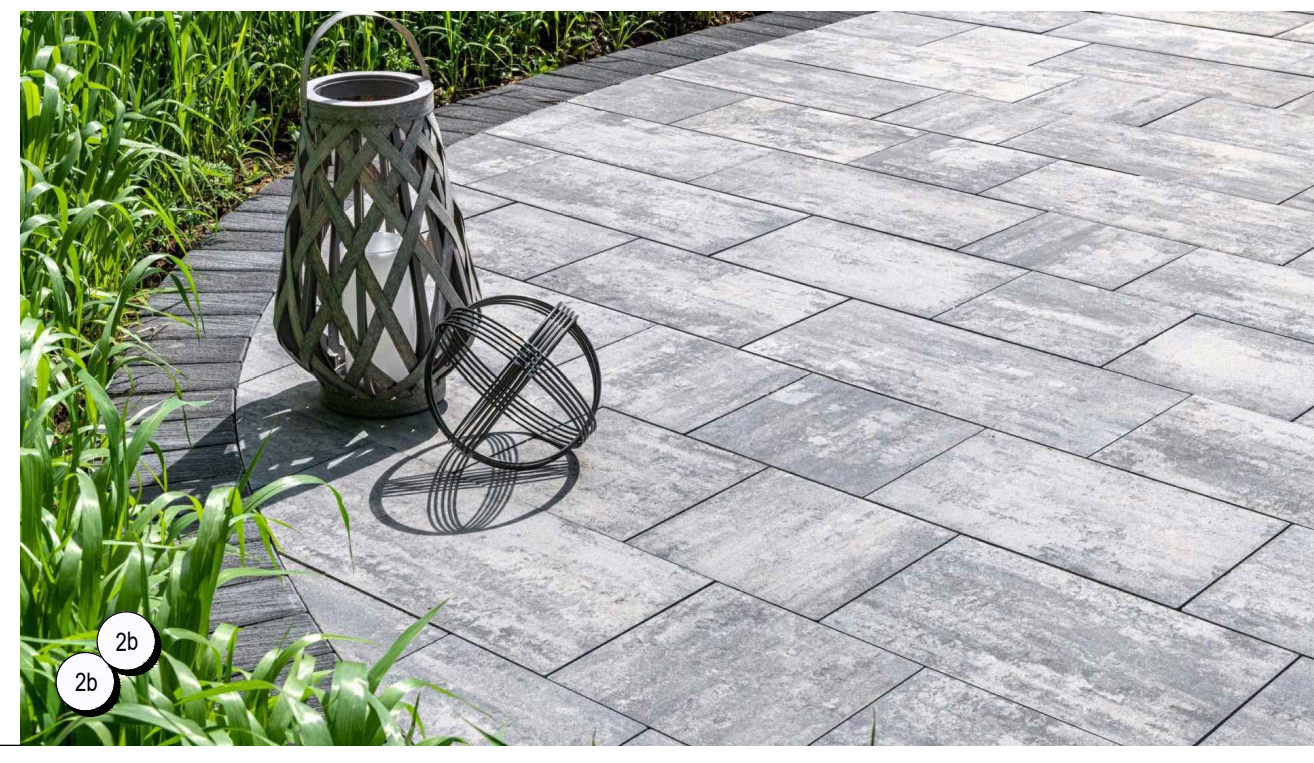
PUBLIC PLAZA

KIOSK

PROP. R.O.W. 804

EX. R.O.W. 803

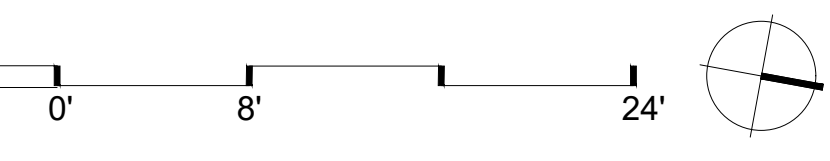
N RIVERVIEW ST



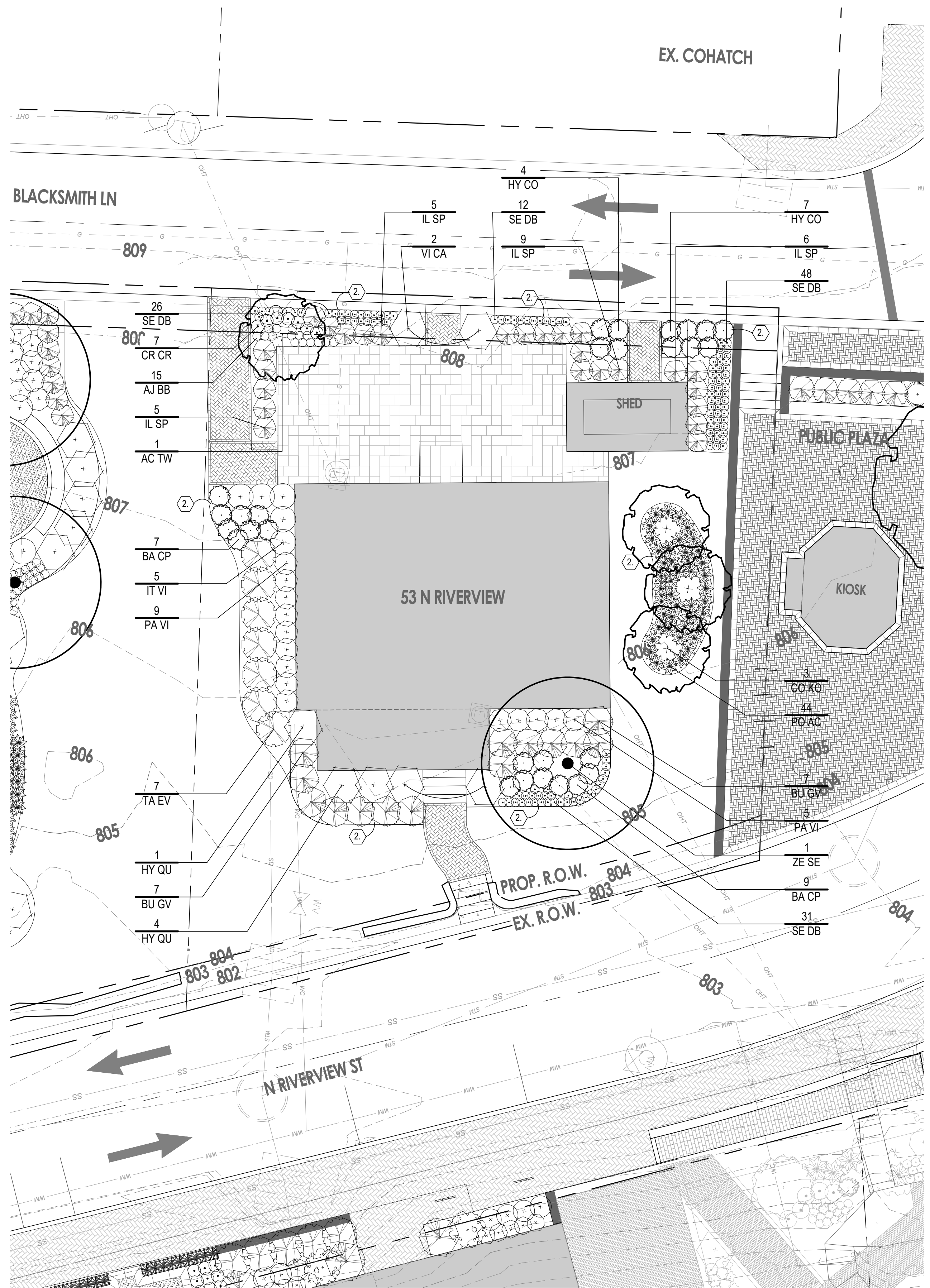
KEY	ITEM	REFERENCE	NOTES
1b	CLAY PAVER 'B'	A L8.02	BELDEN "SAXONY BLEND" (OR OWNER-APPROVED EQUAL)
1c	CLAY PAVER 'C' (CONC. PAVER 'A' ALTERNATE)	A L8.02	ENDICOTT "DARK IRONSPOT" (OR OWNER-APPROVED EQUAL)
1d	CLAY PAVER 'D' (CONC. PAVER 'A' ALTERNATE)	A L8.02	ENDICOTT "MEDIUM IRONSPOT #46" (OR OWNER-APPROVED EQUAL)
2a	CONCRETE PAVER 'A'	B L8.02	OBERFIELDS "JAMESTOWN" PAVER COLOR CHARCOAL (OR OWNER-APPROVED EQUAL)
2b	CONCRETE PAVER 'B'	B L8.02	UNILOCK BOULEVARD PAVER "GRANITE FUSION" - RANDOM (OR OWNER-APPROVED EQUAL)
2c	CONCRETE PAVER 'C'	B L8.02	UNILOCK BEACON HILL SMOOTH "DARK CHARCOAL" - SMALL RECTANGLE (OR OWNER-APPROVED EQUAL)
4b	#6"x16"x5" LIMESTONE STEPS	-	#6"x16"x5" INDIANA LIMESTONE FULL COLOR AVAILABLE FROM SEMCO OUTDOOR: 614.861.4668
4c	MORTARED STONE WALL	E L8.02	"OTTAWA SMOOTH TUMBLED VENEER" (OR OWNER-APPROVED EQUAL) AVAILABLE FROM LANG STONE: 614.228.5489
4d	STONE WALL W/ COCK AND HEN COPING	-	"SHORELINE THIN WALLSTONE" (OR OWNER-APPROVED EQUAL) AVAILABLE FROM LANG STONE: 614.228.5489
5a	STONE WALL WITH WOOD BENCH	E L8.02	"OTTAWA SMOOTH TUMBLED VENEER" (OR OWNER-APPROVED EQUAL) AVAILABLE FROM LANG STONE: 614.228.5489
7a	3' HT. FENCE	F L8.01	ULTRA - "UAS-100 STD BOTTOM COMMERCIAL SPEAR TOP 6X6 2 RAIL" (OR OWNER-APPROVED EQUAL)



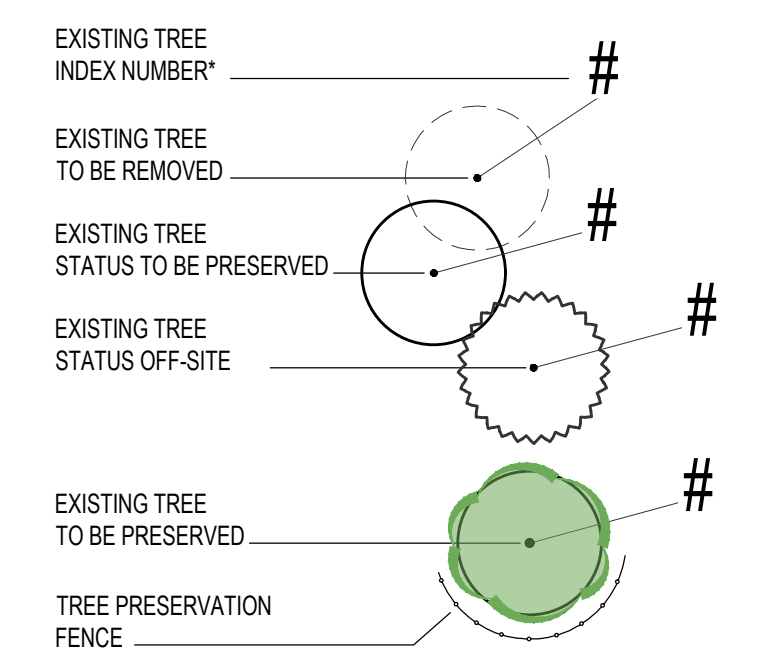
53 N RIVERVIEW - LAYOUT & MATERIALS PLAN ENLARGEMENT



L4.01: 53 N. Riverview - LAYOUT & MATERIALS PLAN



TREE PRESERVATION KEY

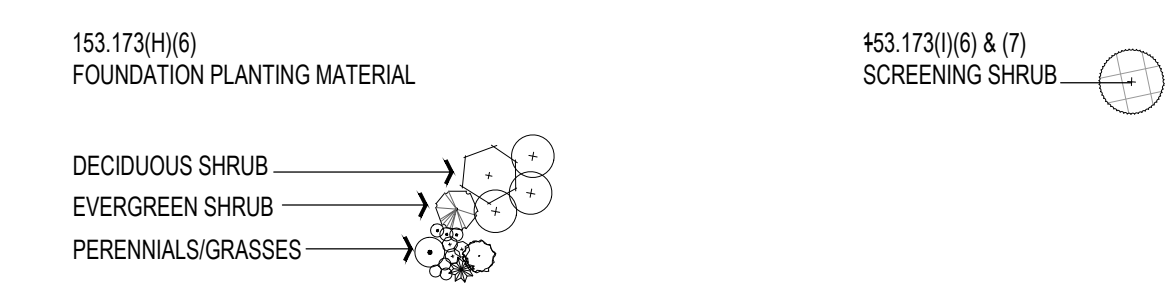


*(SEE SHEETS L7.01 & L7.02 FOR MORE INFORMATION)

PLANT LIST (Contractor is responsible to provide all plant quantities shown on plan)

QTY.	CODE	BOT. NAME/COMMON NAME	SIZE	COND.	SPACING	NOTES
DECIDUOUS TREES						
1	ZE SE	Zelkova serrata 'Green Vase' Green Vase Zelkova	2" CAL.	B&B	AS SHOWN	
ORNAMENTAL TREES						
1	AC TW	Acer palmatum 'Twombly's Red Sentinel' Twombly's Red Sentinel Japanese Maple	1.75" CAL.	B&B	AS SHOWN	
3	CO KO	Cornus kousa Kousa Dogwood	1.75" CAL.	B&B	AS SHOWN	
EVERGREEN SHRUBS						
25	IL SP	Ilex crenata 'Sky Pencil' Sky Pencil Holly	24-30" HT.	B&B	AS SHOWN	
14	BU GV	Buxus 'Green Velvet' Green Velvet Boxwood	16-18" HT.	#5 CONT.	PER PLAN	
FLOWERING/DECIDUOUS SHRUBS						
2	VI CA	Viburnum carlesii Korean Spice Viburnum	24-30" HT.	#3 CONT.	AS SHOWN	Match Form
5	IT VI	Itea virginiana 'Henry's Garnet' Henry's Garnet Itea	16-18" HT.	#3 CONT.	AS SHOWN	Match Form
11	HY CO	Hypericum kalmianum 'Cobalt-n-Gold' Cobalt-n-Gold St. John's Wort	14-16" HT.	#3 CONT.	AS SHOWN	Match Form
5	HY QU	Hydrangea quercifolia 'Alice' Alice Oakleaf Hydrangea	24-30" HT.	B&B	AS SHOWN	Match Form
FLOWERING/DECIDUOUS SHRUBS						
7	CR CR	Crocosmia 'Lucifer' Lucifer Crocosmia	-	#1 CONT.	PER PLAN	
117	SE DB	Sedum spurium 'Dragon's Blood' Dragon's Blood Sedum	-	#1 CONT.	AS SHOWN	
15	AJ BB	Ajuga reptans 'Bronze Beauty' Bronze Beauty Bugleweed	-	#1 CONT.	AS SHOWN	
16	BA CB	Baptisia 'Cherries Jubilee' Cherries Jubilee False Indigo	-	#1 CONT.	PER PLAN	
44	PO AC	Polystichum acrostichoides Christmas Fern	-	#1 CONT.	PER PLAN	
14	PA VI	Panicum virgatum 'Northwind' Northwind Switchgrass	-	#1 CONT.	PER PLAN	

LANDSCAPE REQUIREMENTS SYMBOL KEY



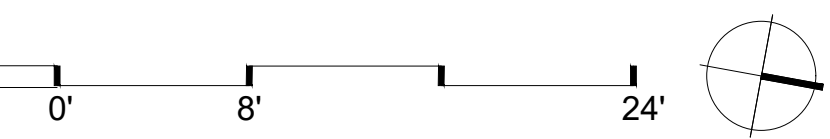
CODED LANDSCAPE NOTES

② LANDSCAPE BED - PROVIDE 3" DEPTH HARDWOOD MULCH. POSITIVE DRAINAGE IN ALL DIRECTIONS. HAND SPADE EDGE.

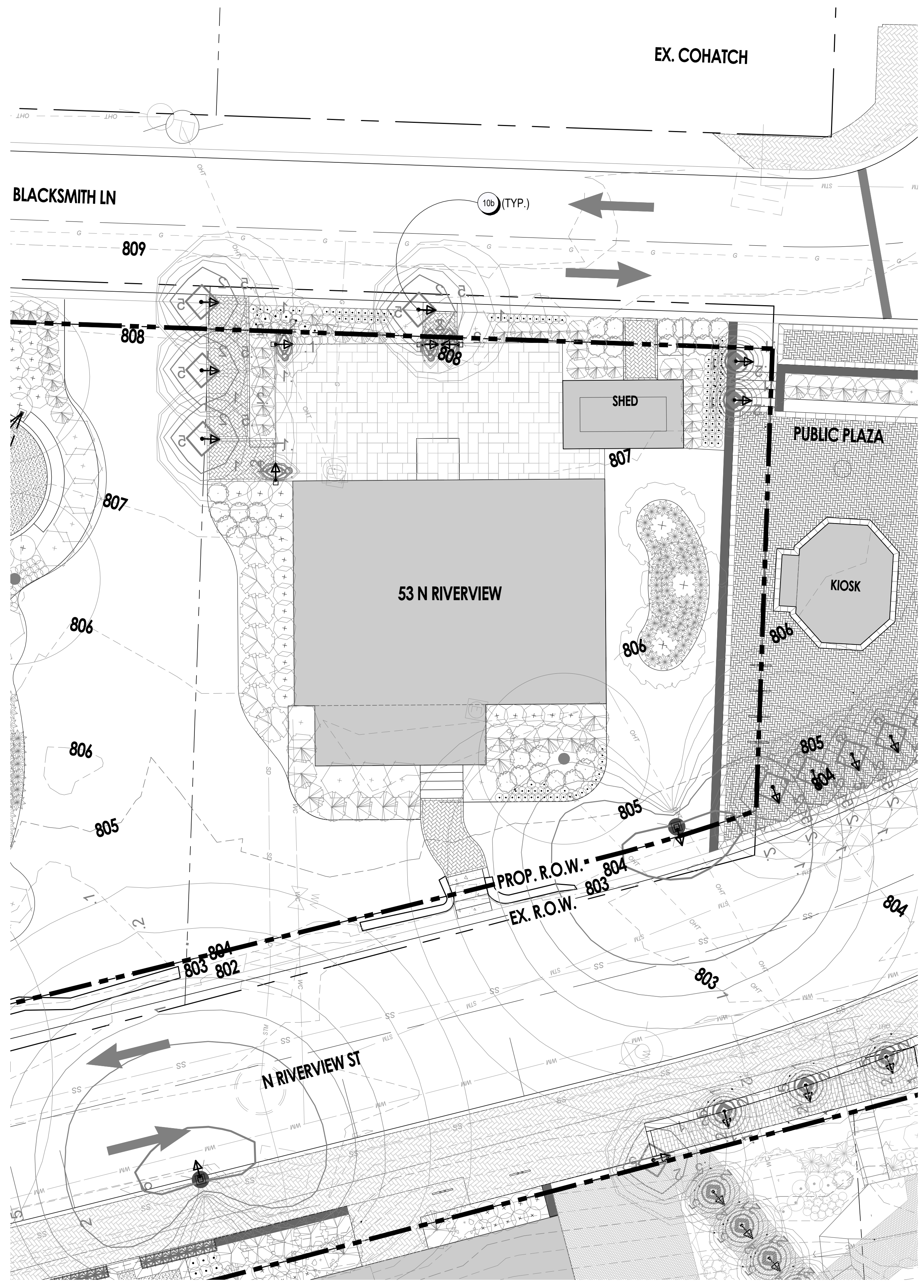
PLANT LABEL KEY

$\frac{1}{XX XX} \left(\frac{QUANTITY}{CODE} \right)$

53 N RIVERVIEW - LANDSCAPE PLAN ENLARGEMENT





NOTE: ALL ABOVE GROUND UTILITIES WILL BE SCREENED IN ACCORDANCE WITH 153.173(I) OF THE CITY OF DUBLIN ZONING CODE



53 N RIVERVIEW - LIGHTING PLAN ENLARGEMENT

UCO-10127
Columbus 2 Bollard





Key Features:
 • The Columbus Bollard is available in a variety of finishes, including powder coated aluminum, stainless steel, and bronze.
 • The bollard is available in a variety of heights, including 30", 40", and 50".
 • The bollard is available in a variety of colors, including white, black, and bronze.
 • The bollard is available in a variety of finishes, including powder coated aluminum, stainless steel, and bronze.

Construction:
 The Columbus Bollard is constructed from heavy-duty, weather-resistant materials. The bollard is designed to withstand harsh weather conditions and is available in a variety of finishes, including powder coated aluminum, stainless steel, and bronze.

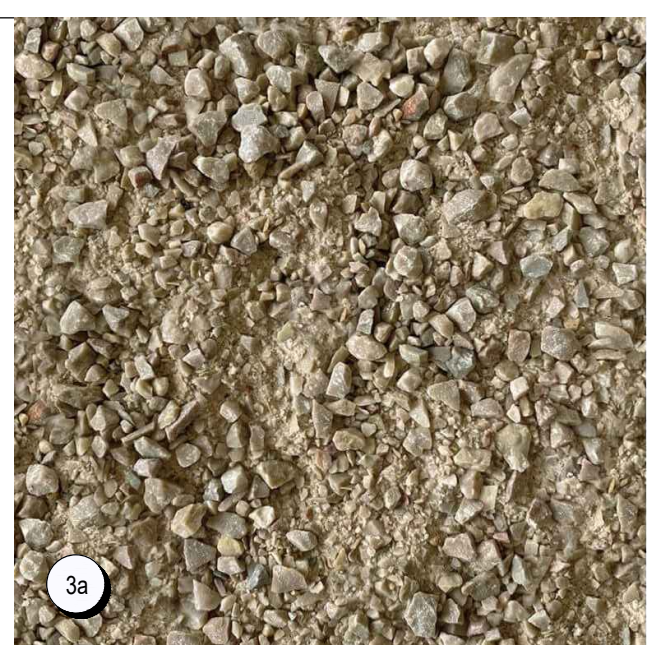
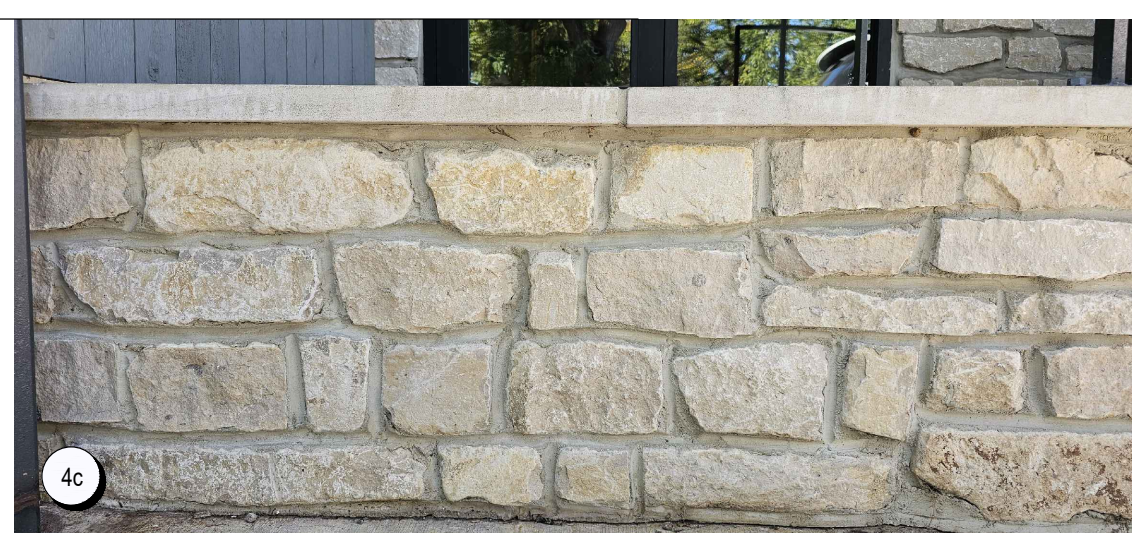
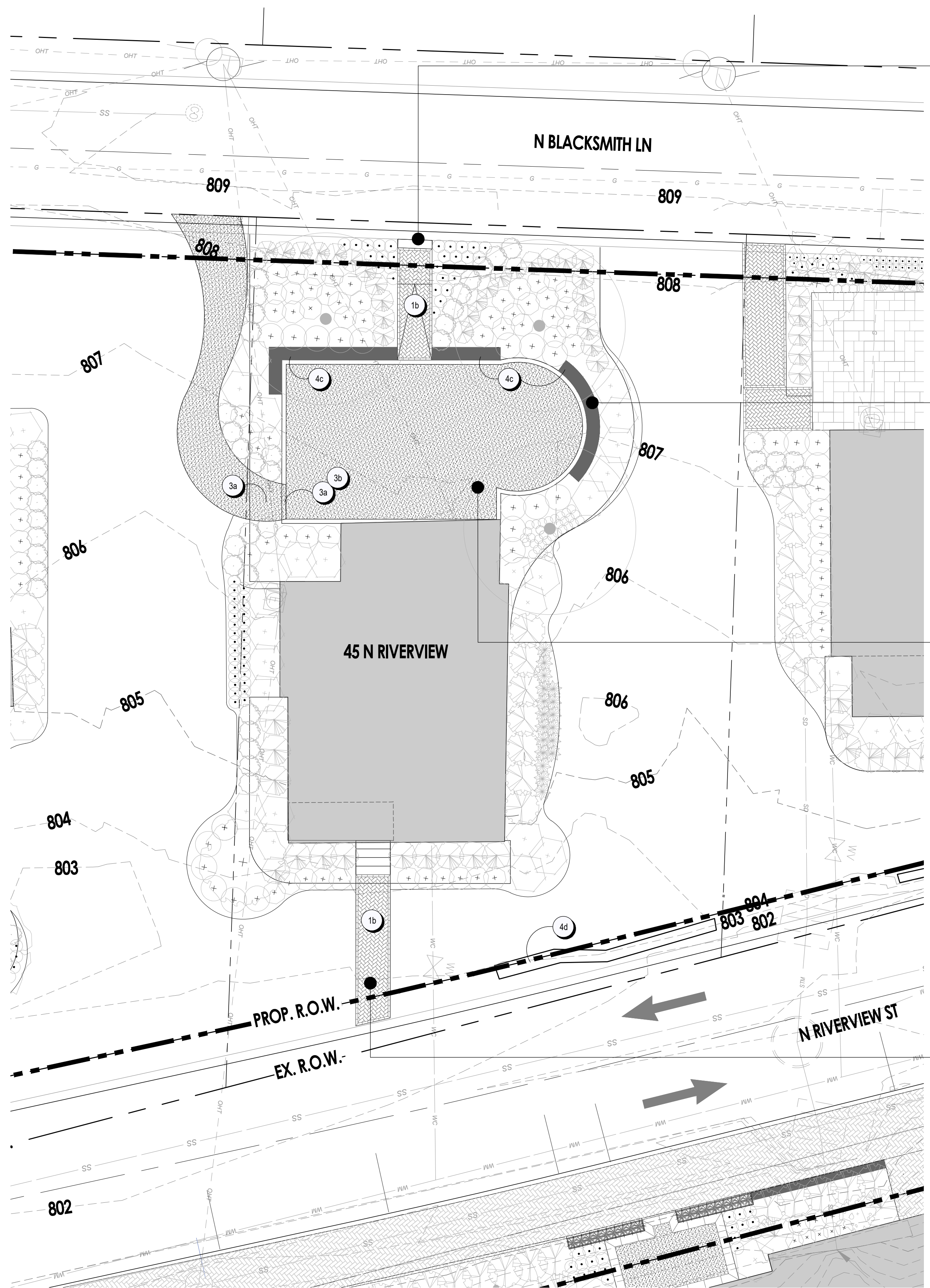
Installation:
 The Columbus Bollard is designed for easy installation. The bollard is available in a variety of heights, including 30", 40", and 50".

Additional Features:
 • The bollard is available in a variety of finishes, including powder coated aluminum, stainless steel, and bronze.
 • The bollard is available in a variety of colors, including white, black, and bronze.
 • The bollard is available in a variety of finishes, including powder coated aluminum, stainless steel, and bronze.

B BOLLARD LIGHT
(OR OWNER-APPROVED EQUAL)

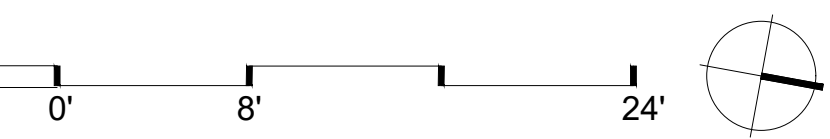
CODED LAYOUT & MATERIALS NOTES

KEY	ITEM	REFERENCE	NOTES
10b	BOLLARD LIGHT	B	SEE DETAIL B, THIS SHEET FOR MORE INFORMATION

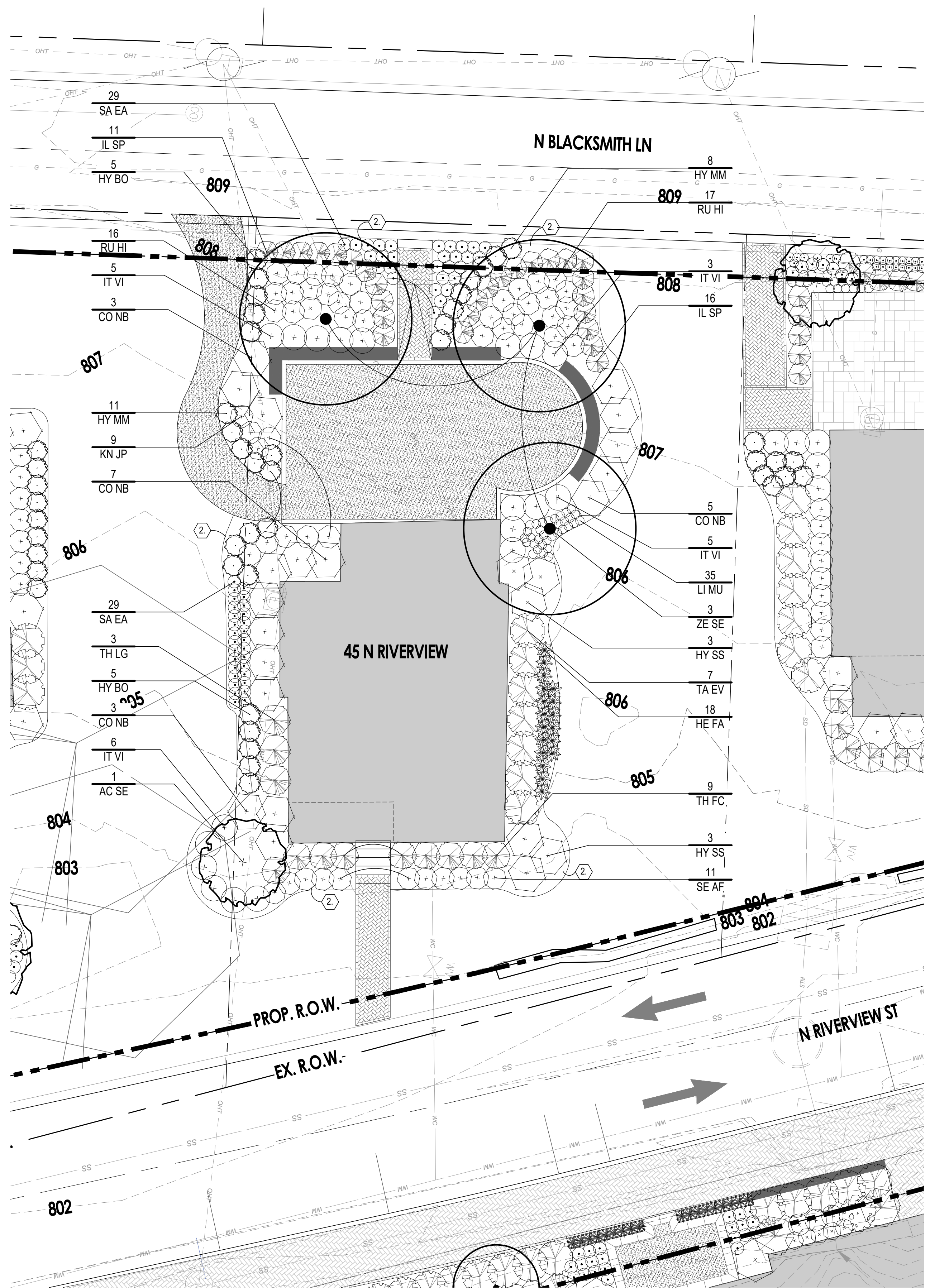


KEY	ITEM	REFERENCE	NOTES
1b	CLAY PAVER 'B'	A L8.02	BELDEN 'SAXONY BLEND' (OR OWNER-APPROVED EQUAL)
3a	STABILIZED CRUSHED STONE PAVEMENT	C L8.02	KAFKA GRANITE - 'BEIGE BLEND MARBLE' (OR OWNER-APPROVED EQUAL) AVAILABLE FROM KAFKA GRANITE: 715.814.1268
3b	4" TUMBLED LIMESTONE EDGING	-	'EDEN FOND DU LAC' (OR OWNER-APPROVED EQUAL) AVAILABLE FROM SEMCO OUTDOOR: 614.861.4668
4b	±6"x16"xS' LIMESTONE STEPS	-	±6"x16"xS' INDIANA LIMESTONE FULL COLOR AVAILABLE FROM SEMCO OUTDOOR: 614.861.4668
4c	MORTARED STONE WALL	E L8.02	'OTTAWA SMOOTH TUMBLED VENEER' (OR OWNER-APPROVED EQUAL) AVAILABLE FROM LANG STONE: 614.228.5489
4d	STONE WALL W/ COCK AND HEN COPING	-	'SHORELINE THIN WALLSTONE' (OR OWNER-APPROVED EQUAL) AVAILABLE FROM LANG STONE: 614.228.5489

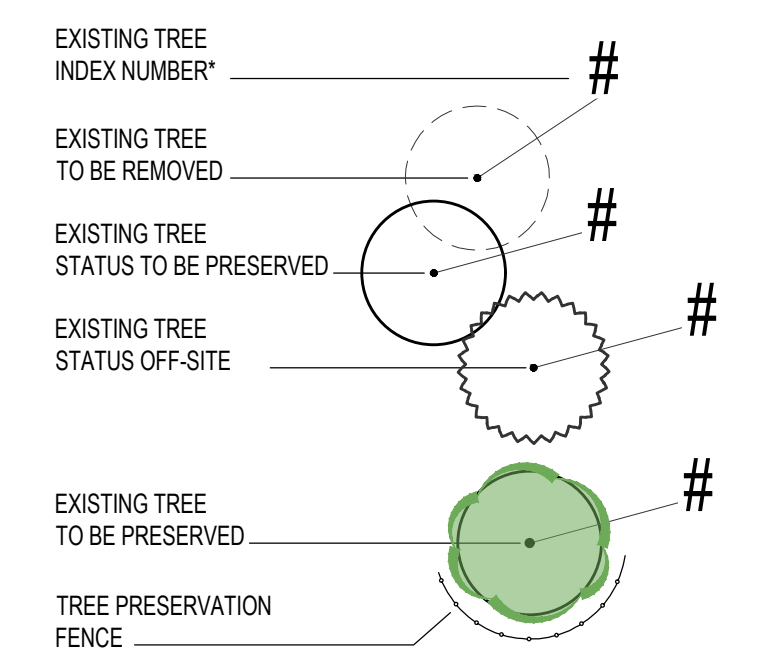
45 N RIVERVIEW - LAYOUT & MATERIALS PLAN ENLARGEMENT



L5.01: 45 N. Riverview - LAYOUT & MATERIALS PLAN



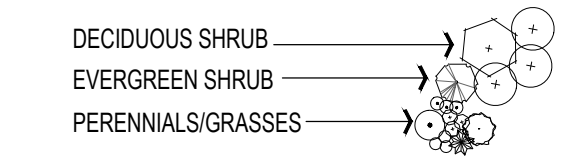
TREE PRESERVATION KEY



(SEE SHEETS L7.01 & L7.02 FOR MORE INFORMATION)

PLANT LIST (Contractor is responsible to provide all plant quantities shown on plan)

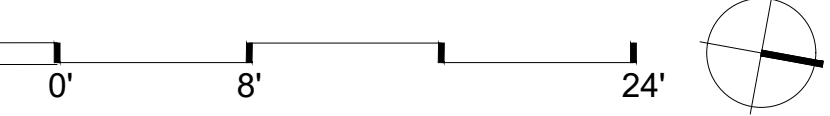
QTY.	CODE	BOT. NAME/COMMON NAME	SIZE	COND.	SPACING	NOTES
DECIDUOUS TREES						
3	ZE SE	Zelkova serrata 'Green Vase' Green Vase Zelkova	2" CAL.	B&B	AS SHOWN	
ORNAMENTAL TREES						
1	AC SE	Acer palmatum 'Seiryu' Seiryu Japanese Maple	1.75" CAL.	B&B	AS SHOWN	
EVERGREEN SHRUBS						
9	TH FC	Thuja occidentalis 'Congabe' Fire Chief Arborvitae	14-16" HT.	#3 CONT.	PER PLAN	
27	IL SP	Ilex crenata 'Sky Pencil' Sky Pencil Holly	18-24" HT.	#3 CONT.	PER PLAN	
3	TH LG	Thuja occidentalis 'Little Giant' Little Giant Arborvitae	24" HT.	#5 CONT.	PER PLAN	
7	TA EV	Taxus x media 'Everlow' Everlow Yew	24" HT.	#5 CONT.	PER PLAN	
FLOWERING/DECIDUOUS SHRUBS						
10	HY BO	Hydrangea paniculata 'Ivobob' Bobo Hydrangea	16-18" HT.	#3 CONT.	PER PLAN	
6	HY SS	Hydrangea paniculata 'Strawberry Sundae' Strawberry Sundae Hydrangea	24-30" HT.	#5 CONT.	AS SHOWN	Match Form
19	HY MM	Hypericum 'Kalmiglow' Magical Midnight Glow St. John's Wort	16-18" HT.	#3 CONT.	AS SHOWN	Match Form
18	CO NB	Cornus alba 'ByBoughen' Neon Burst Red Twig Dogwood	24-28" HT.	#5 CONT.	AS SHOWN	Match Form
19	IT VI	Itea virginiana 'Henry's Garnet' Henry's Garnet Itea	16-18" HT.	#3 CONT.	AS SHOWN	Match Form
FLOWERING/DECIDUOUS SHRUBS						
33	RU HI	Rudbeckia hirta 'Indian Summer' Indian Summer Black Eyed Susan	-	#1 CONT.	PER PLAN	
58	SA EA	Salvia pratensis 'Evening Attire' Evening Attire Garden Sedge	-	#1 CONT.	PER PLAN	
9	KN JP	Kniphofia 'Jackpot' Jackpot Red Hot Poker	-	#1 CONT.	PER PLAN	
11	SE AF	Sedum spectabile 'Autumn Fire' Autumn Fire Sedum	-	#1 CONT.	PER PLAN	
35	LI MU	Liriope muscari 'Big Blue' Big Blue Liriope	-	#1 CONT.	PER PLAN	
18	HE FA	Heuchera 'Fire Alarm' Fire Alarm Coral Bells	-	#1 CONT.	PER PLAN	



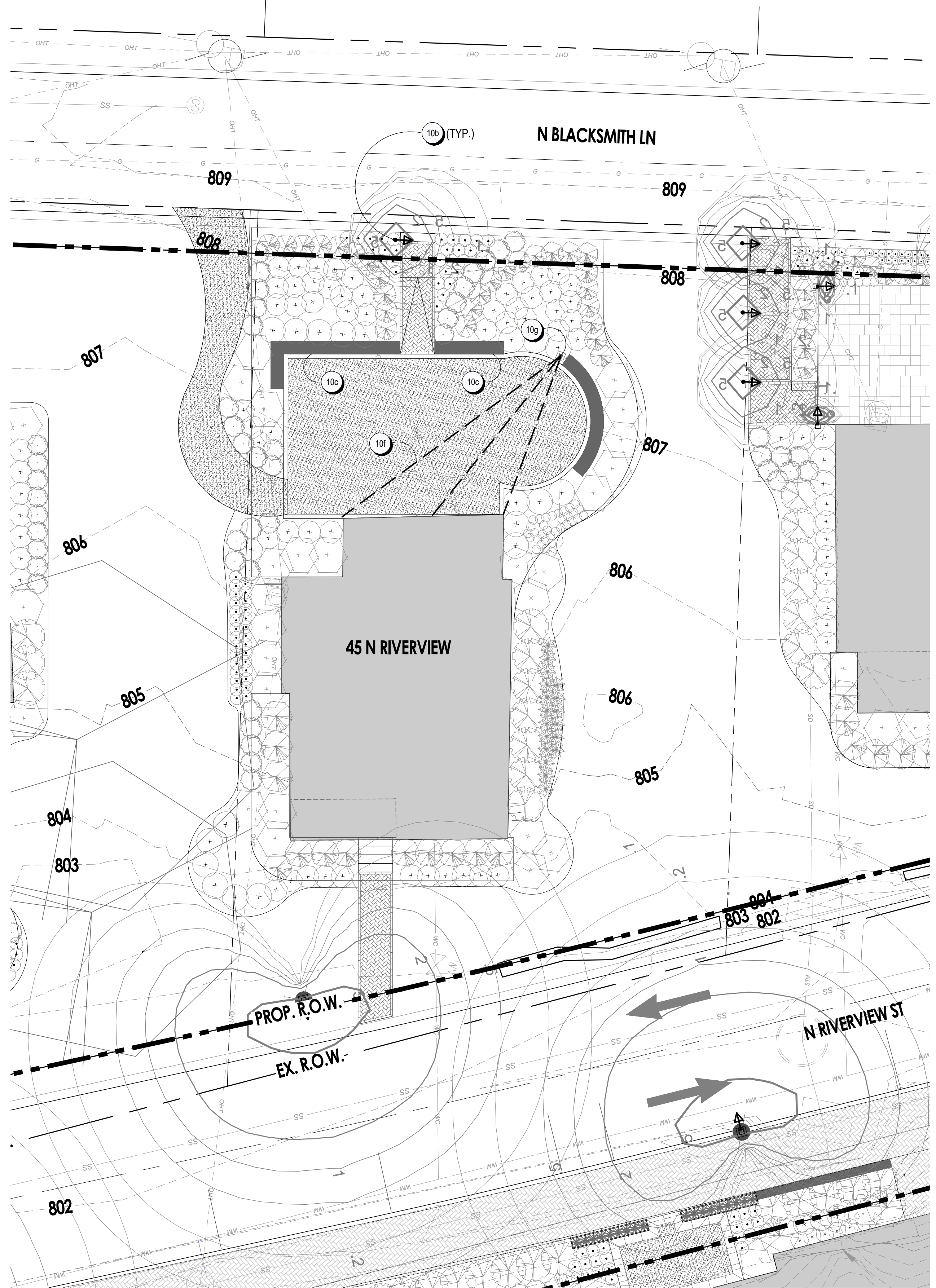
2) LANDSCAPE BED - PROVIDE 3" DEPTH HARDWOOD MULCH. POSITIVE DRAINAGE IN ALL DIRECTIONS. HAND SPADE EDGE.

$$\frac{1}{XX XX} \left(\frac{QUANTITY}{CODE} \right)$$

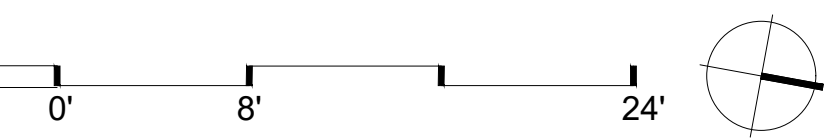
45 N RIVERVIEW - LANDSCAPE PLAN ENLARGEMENT



NOTE: ALL ABOVE GROUND UTILITIES WILL BE SCREENED IN ACCORDANCE WITH 153.173(I) OF THE CITY OF DUBLIN ZONING CODE



45 N RIVERVIEW - LIGHTING PLAN ENLARGEMENT



UCO-10127
Columbus 2 Bollard

LIGMAN LIGHTING USA

Construction
The Columbus 2 bollard is constructed from a heavy-duty, cast aluminum body with a stainless steel top. The bollard is designed for use in pedestrian areas, parking lots, and other outdoor environments. It is available in two heights: 36" and 48".

Cost-effective classic exterior bollard design. Designed for use with lateral light sources and optional top covers.
The Columbus 2 bollard is designed for use with lateral light sources and optional top covers. It is available in two heights: 36" and 48".

Technical Information

TYPE	36" H	48" H
Overall Height	36" (914mm)	48" (1219mm)
Overall Width	6" (152mm)	6" (152mm)
Weight	15 lbs (6.8kg)	25 lbs (11.3kg)
Material	Cast Aluminum	Cast Aluminum
Finish	Black	Black
Mounting	Post-Mount	Post-Mount

B BOLLARD LIGHT
(OR OWNER-APPROVED EQUAL)

Basics Wet Strip BA42WET | IP65 Rated Contractor Grade Linear LED - 24 VDC

Basics
BY LIGHTING

Features
BA42WET series is a Contractor Grade, efficient, field configurable and durable waterproof LED strip suitable for wet locations.

Mounting
BA42WET is equipped with 3M™ adhesive transfer tape.

Applications
Cabinet and wall locations, cove lighting, architectural accent, track, wall bars.

Approvals
Class 2, wet listed.

Operating Voltage
24 VDC
Life: 50,000 hours
Warranty: 3 years

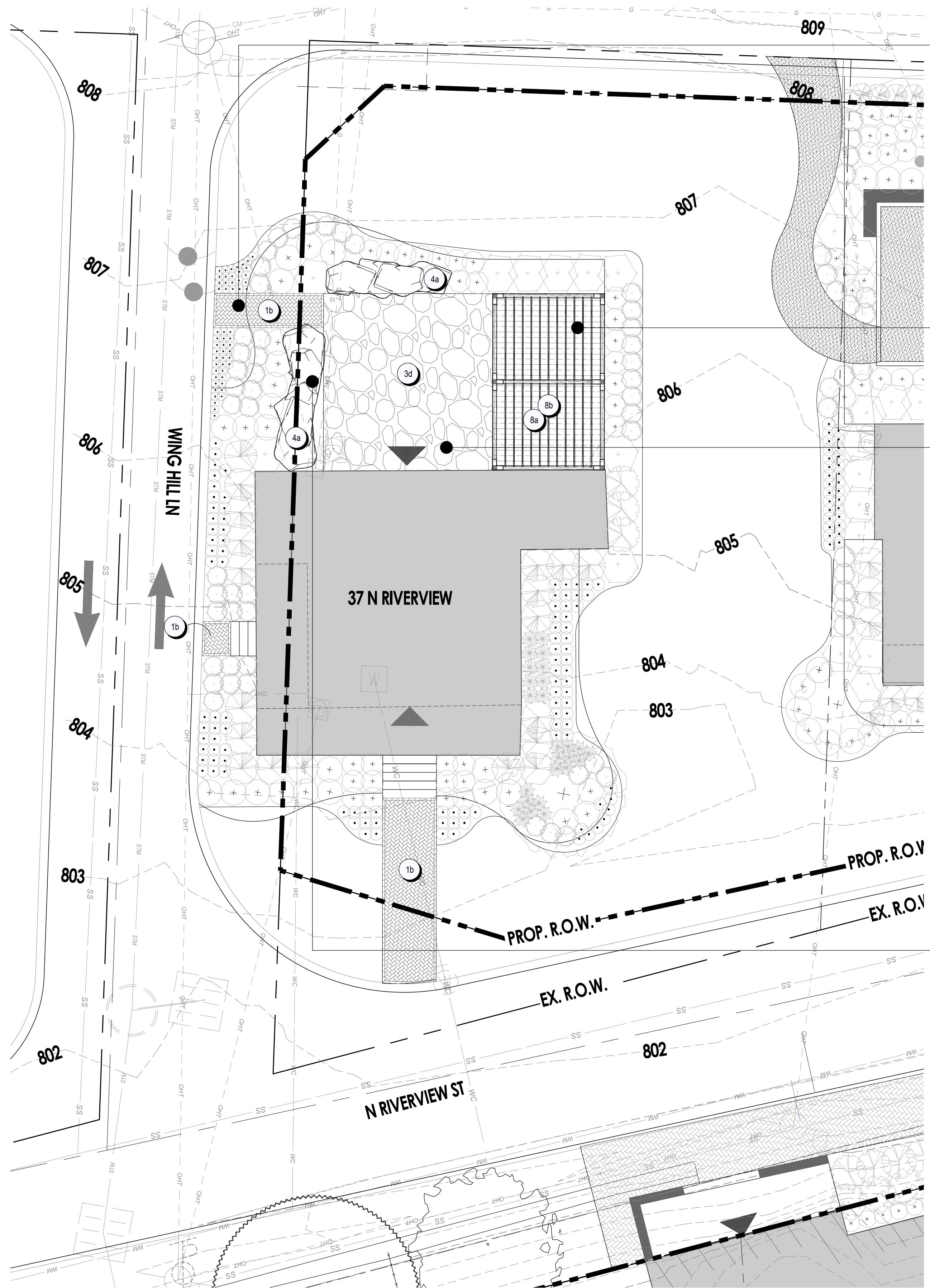
Technical Information

TYPE	BA42WET
LED Type	3535
Beam Angle	120°
Color Temperature	3000K, 4000K, 5000K
Power Consumption	2.0 W/m (5.7 W/ft)
Operating Temperature	-20°C to 40°C (-4°F to 104°F)
IP Rating	IP65
Dimensions	8.5mm x 3.5mm x 1.5mm (0.33" x 0.14" x 0.06")

C LED TAPE LIGHT
(OR OWNER-APPROVED EQUAL)

CODED LAYOUT & MATERIALS NOTES

KEY	ITEM	REFERENCE	NOTES
10b	BOLLARD LIGHT	B	SEE DETAIL B, THIS SHEET FOR MORE INFORMATION
10c	LED TAPE LIGHT	C	SEE DETAIL C, THIS SHEET FOR MORE INFORMATION
10f	CATENARY LIGHT	-	SEE ARCHITECTURAL MATERIAL BOARDS
10g	CATENARY LIGHT POLE	-	SEE ARCHITECTURAL MATERIAL BOARDS

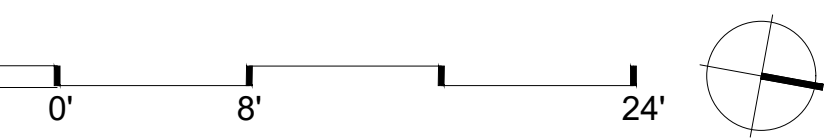


CODED LAYOUT & MATERIALS NOTES

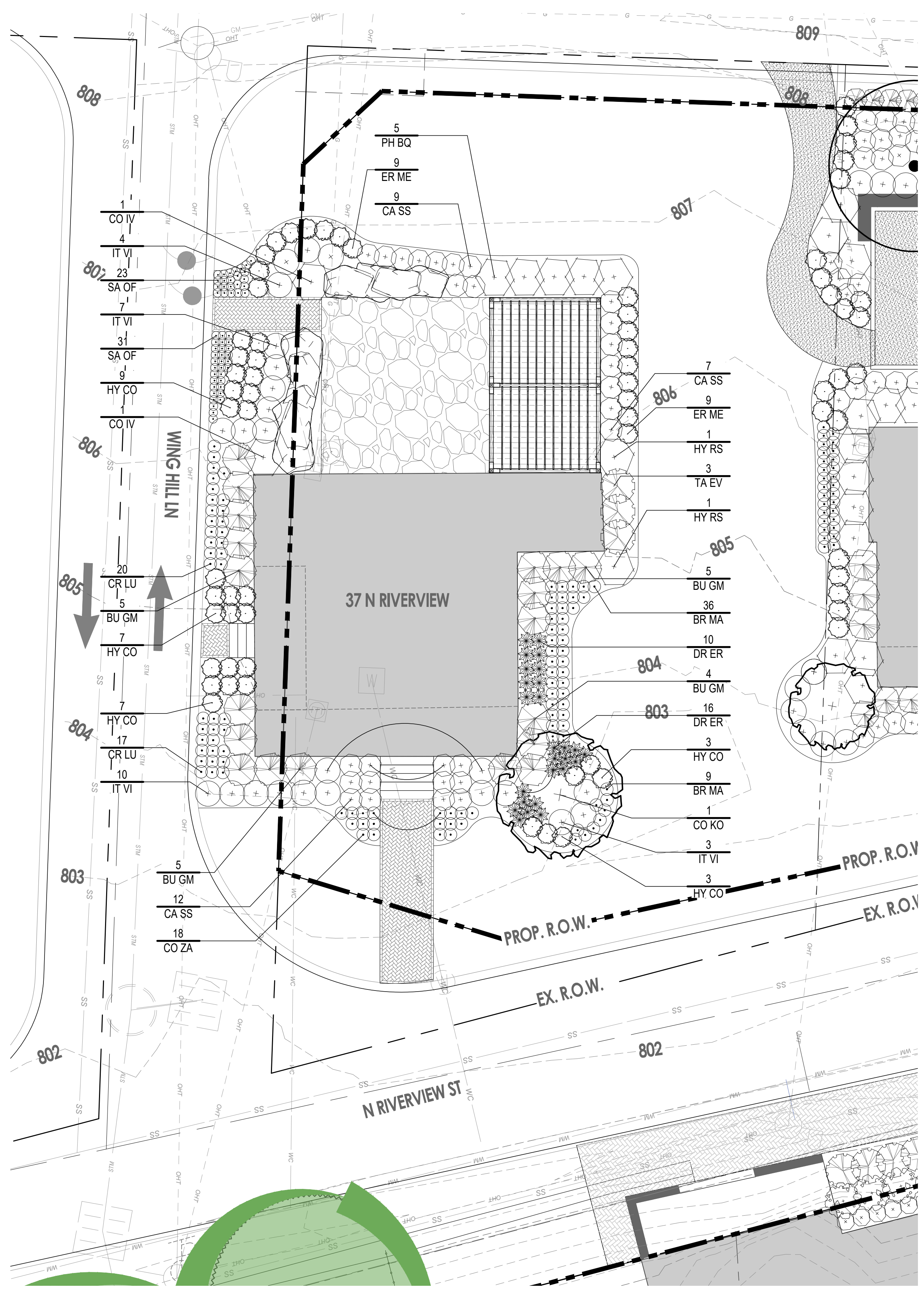
KEY	ITEM	REFERENCE	NOTES
1b	CLAY PAVER 'B'	A L8.02	BELDEN "SAXONY BLEND" (OR OWNER-APPROVED EQUAL)
3d	IRREGULAR FLAGSTONE PAVEMENT	D L8.02	"OTTAWA BUFF SMOOTH" (OR OWNER-APPROVED EQUAL) AVAILABLE FROM LANG STONE: 614.228.5489
4b	#6"x16"x6" LIMESTONE STEPS	-	#6"x16"x6" INDIANA LIMESTONE FULL COLOR AVAILABLE FROM SEMCO OUTDOOR: 614.861.4668
4c	MORTARED STONE WALL	E L8.02	"OTTAWA SMOOTH TUMBLED VENEER" (OR OWNER-APPROVED EQUAL) AVAILABLE FROM LANG STONE: 614.228.5489
4d	STONE WALL W/ COCK AND HEN COPING	-	"SHORELINE THIN WALLSTONE" (OR OWNER-APPROVED EQUAL) AVAILABLE FROM LANG STONE: 614.228.5489
4a	STONE SLAB WALL	F L8.02	"BEAVERDAM" SLABS (OR OWNER-APPROVED EQUAL) AVAILABLE FROM LANG STONE: 614.228.5489
8a	SHADE STRUCTURE	A L8.03	SEE DETAIL A, SHEET L8.03 FOR MORE INFORMATION
8b	FLOATING DECK	B L8.03	SEE DETAIL B, SHEET L8.03 FOR MORE INFORMATION



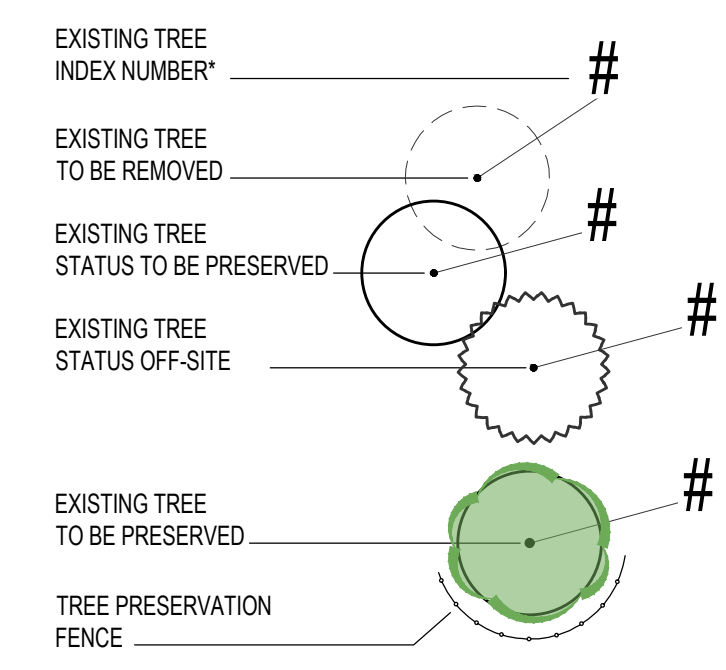
37 N RIVERVIEW - LAYOUT & MATERIALS PLAN ENLARGEMENT



L6.01: 37 N. Riverview - LAYOUT & MATERIALS PLAN



TREE PRESERVATION KEY

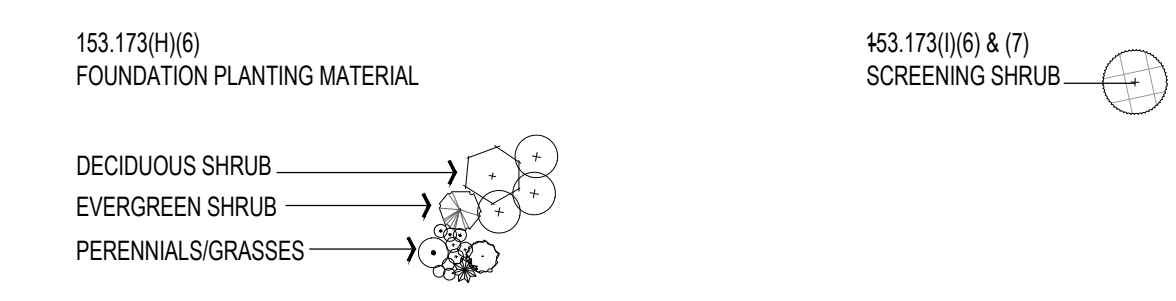


(SEE SHEETS L7.01 & L7.02 FOR MORE INFORMATION)

PLANT LIST (Contractor is responsible to provide all plant quantities shown on plan)

QTY.	CODE	BOT. NAME/COMMON NAME	SIZE	COND.	SPACING	NOTES
ORNAMENTAL TREES						
1	CO KO	Cornus kousa Kousa Dogwood	1.75" CAL.	B&B	PER PLAN	
EVERGREEN SHRUBS						
19	BU GM	Buxus 'Green Mountain' Green Mountain Boxwood	16-18" HT.	#5 CONT.	PER PLAN	
3	TA EV	Taxus x media 'Everlow' Everlow Yew	24" HT.	#5 CONT.	PER PLAN	
FLOWERING/DECIDUOUS SHRUBS						
28	CA SS	Caryopteris x clandonensis 'Blauer Platz' Sapphire Surf Caryopteris	24" HT.	#5 CONT.	PER PLAN	
18	ER ME	Erica x darleyensis 'Mediterranean Pink' Darley Dale Heath	12" HT.	#3 CONT.	AS SHOWN	Match Form
2	CO IV	Cornus alba 'Ivory Halo' Ivory Halo Dogwood	24-30" HT.	#5 CONT.	AS SHOWN	Match Form
5	PH BQ	Philadelphus 'Buckley's Quill' Buckley's Quill Mock Orange	24-30" HT.	#5 CONT.	AS SHOWN	Match Form
21	IT VI	Itea virginiana 'Henry's Garnet' Henry's Garnet Itea	16-18" HT.	#3 CONT.	AS SHOWN	Match Form
29	HY CO	Hypericum kalmianum 'Cobalt-n-Gold' Cobalt-n-Gold St. John's Wort	14-16" HT.	#3 CONT.	AS SHOWN	Match Form
2	HY RS	Hydrangea quercifolia 'Ruby Slippers' Ruby Slippers Oakleaf Hydrangea	24" HT.	#5 CONT.	AS SHOWN	Match Form
FLOWERING/DECIDUOUS SHRUBS						
18	CO ZA	Coreopsis verticillata 'Zagreb' Zagreb Coreopsis	-	#1 CONT.	PER PLAN	
26	DR ER	Dryopteris erythrosora 'Autumn Brilliance' Autumn Brilliance Fern	-	#1 CONT.	PER PLAN	
54	SA OF	Saponaria officinalis Soapwort	-	#1 CONT.	PER PLAN	
37	CR LU	Crocosmia 'Lucifer' Lucifer Crocosmia	-	#1 CONT.	PER PLAN	
45	BR MA	Brunnera macrophylla 'Jack Frost' Jack Frost Brunnera	-	#1 CONT.	PER PLAN	

LANDSCAPE REQUIREMENTS SYMBOL KEY



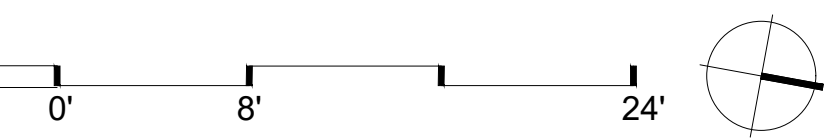
CODED LANDSCAPE NOTES

(2) LANDSCAPE BED - PROVIDE 3" DEPTH HARDWOOD MULCH, POSITIVE DRAINAGE IN ALL DIRECTIONS. HAND SPADE EDGE.

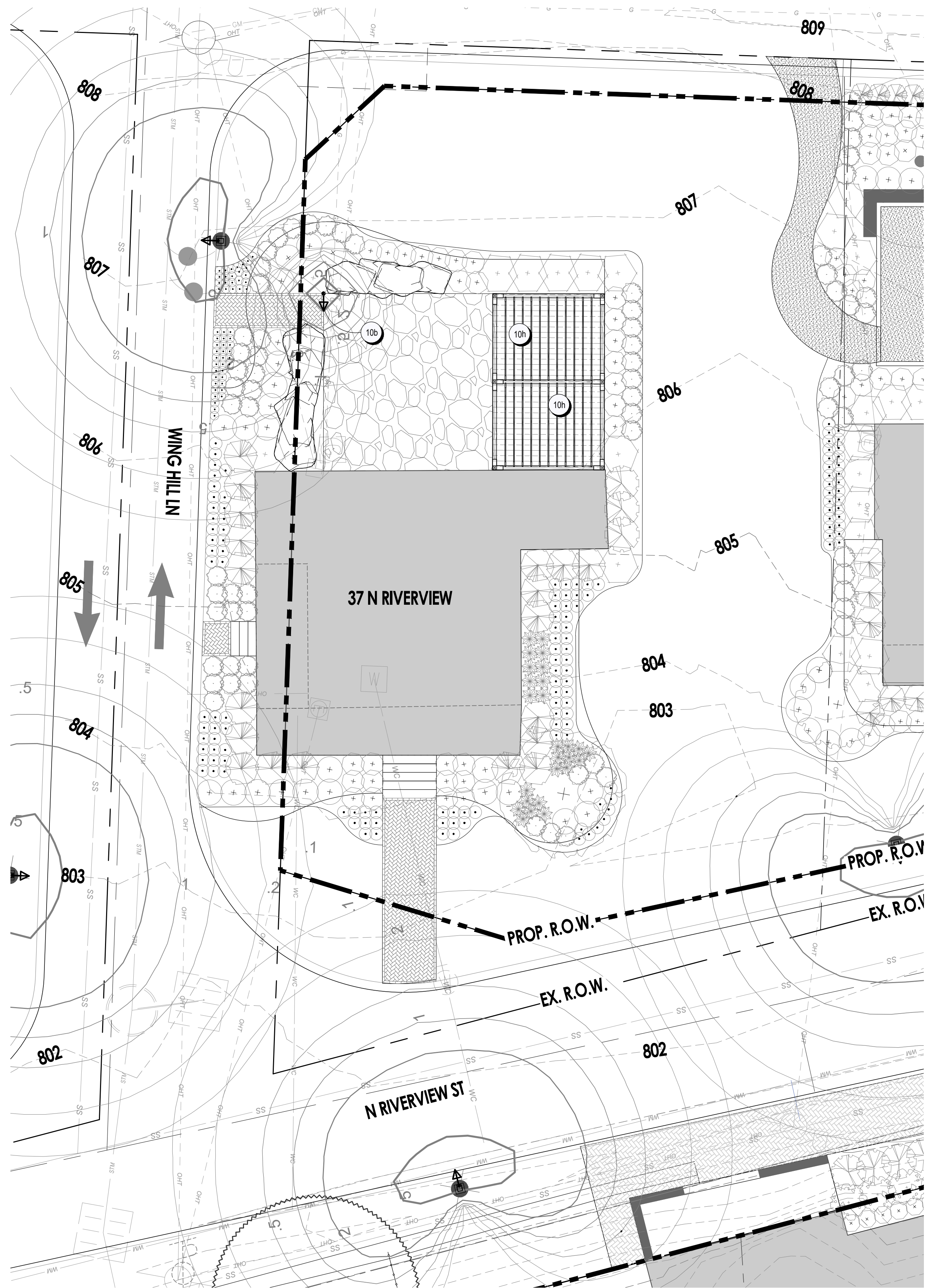
PLANT LABEL KEY

$$\frac{1}{XX XX} \left(\frac{QUANTITY}{CODE} \right)$$

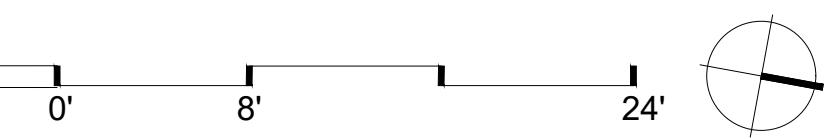
37 N RIVERVIEW - LANDSCAPE PLAN ENLARGEMENT



NOTE: ALL ABOVE GROUND UTILITIES WILL BE SCREENED IN ACCORDANCE WITH 153.173(I) OF THE CITY OF DUBLIN ZONING CODE



37 N RIVERVIEW - LIGHTING PLAN ENLARGEMENT



UCO-10127
Columbus 2 Bollard

LIGMAN LIGHTING USA

Construction
The bollard is constructed from a cast aluminum alloy. The bollard is finished with a powder coat finish. The bollard is designed for outdoor use and is suitable for use in all climates. The bollard is designed to be installed in a concrete base. The bollard is designed to be installed in a concrete base. The bollard is designed to be installed in a concrete base.

Cost-effective classic exterior bollard range. Designed urban form with lateral light access and optional top covers.
Columbus 2 bollard is a classic exterior bollard that is suitable for both modern and classic architecture. The bollard is designed to be installed in a concrete base. The bollard is designed to be installed in a concrete base. The bollard is designed to be installed in a concrete base.

Details
The bollard is available in a range of heights and finishes. The bollard is available in a range of heights and finishes. The bollard is available in a range of heights and finishes.

Options
The bollard is available with a range of options. The bollard is available with a range of options. The bollard is available with a range of options.

B BOLLARD LIGHT
(OR OWNER-APPROVED EQUAL)

CODED LAYOUT & MATERIALS NOTES

KEY	ITEM	REFERENCE	NOTES
10b	BOLLARD LIGHT	B	SEE DETAIL B, THIS SHEET FOR MORE INFORMATION
10h	PENDANT LIGHT	H	SEE ARCHITECTURAL MATERIAL BOARDS

TREE PRESERVATION KEY

- EXISTING TREE INDEX NUMBER' ——— #
- EXISTING TREE TO BE REMOVED ——— #
- EXISTING TREE STATUS TO BE PRESERVED ——— #
- EXISTING TREE STATUS OFF-SITE ——— #
- EXISTING TREE TO BE PRESERVED ——— #
- TREE PRESERVATION FENCE ———

(*SEE SHEET L7.01 FOR EXISTING TREE INDEX)



SCIOTO RIVER

L7.00: Tree Preservation Plan

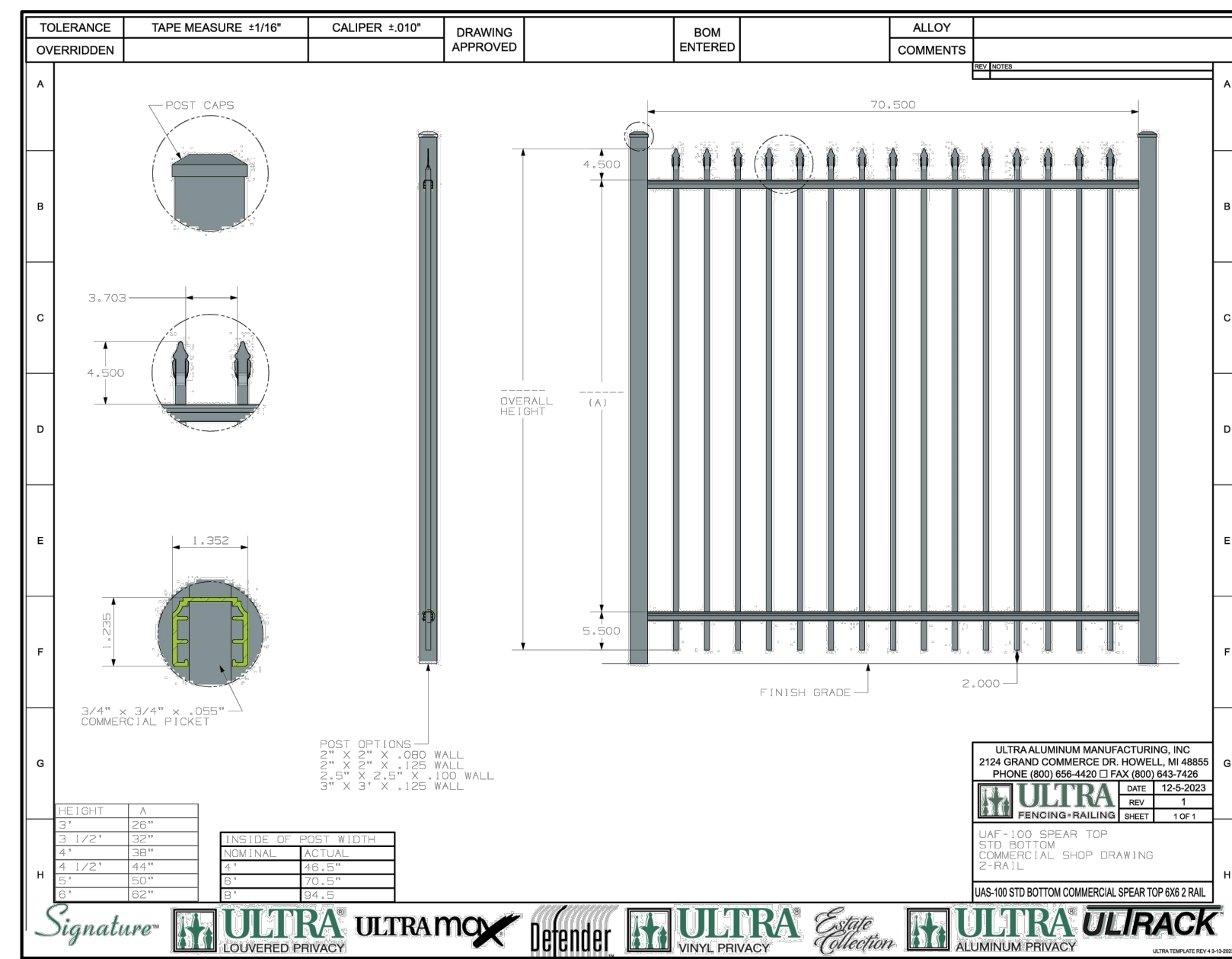


TREE #	D. B. H.	SPECIES	CONDITION	STATUS
339a	8	Box Elder	Good	OFF-SITE
341	12	Box Elder	Good	REMOVE
342	7	Tree of Heaven	Good	REMOVE
343	10	Tree of Heaven	Good	REMOVE
344	7	Tree of Heaven	Good	REMOVE
345	9	Box Elder	Good	REMOVE
346	9	Eastern Redbud	Good	REMOVE
347	21	Wild Crabapple	Good	REMOVE
348	10	Tree of Heaven	Good	REMOVE
349	8	Tree of Heaven	Good	REMOVE
350	9	Tree of Heaven	Good	REMOVE
351	6	Tree of Heaven	Good	REMOVE
352	12	Common Hackberry	Good	REMOVE
353	6	Sugar Maple	Good	REMOVE
354	23	Sugar Maple	Good	REMOVE
355	12	Common Hackberry	Good	REMOVE
356	12	Common Hackberry	Good	REMOVE
357	39	Black Walnut	Good	REMOVE
358	9	Common Hackberry	Good	REMOVE
398	12	Common Hackberry	Good	OFF-SITE
399	19	Tree of Heaven	Good	REMOVE
400	13	Tree of Heaven	Good	REMOVE
401	16	Tree of Heaven	Good	REMOVE
402	19	Tree of Heaven	Good	REMOVE
403	15	Tree of Heaven	Good	REMOVE
404	7	Tree of Heaven	Good	REMOVE
405	13	Tree of Heaven	Good	REMOVE
406	11	Common Hackberry	Good	REMOVE
407	7	Common Hackberry	Good	REMOVE
408	11	Common Hackberry	Good	REMOVE
409	16	Common Hackberry	Good	REMOVE
410	8	Sugar Maple	Good	REMOVE
411	6	Tree of Heaven	Good	REMOVE
412	6	Tree of Heaven	Good	REMOVE
413	6	Tree of Heaven	Good	REMOVE
414	6	Common Hackberry	Good	REMOVE
415	9	Common Hackberry	Good	REMOVE
416	8	Tree of Heaven	Good	REMOVE
417	29	Silver Maple	Good	REMOVE
418	51	Silver Maple	Good	REMOVE
419	13	Box Elder	Good	REMOVE
433	19	Common Hackberry	Good	OFF-SITE
434	12	Sugar Maple	Fair	REMOVE
437	20	Black Walnut	Good	REMOVE
438	10	Tree of Heaven	Good	REMOVE
439	13	Tree of Heaven	Good	REMOVE
440	6	Tree of Heaven	Good	REMOVE
444	16	Tree of Heaven	Good	REMOVE
445	8	Tree of Heaven	Fair	REMOVE
446	6	Tree of Heaven	Good	REMOVE
447	12	Tree of Heaven	Good	REMOVE
448	9	Tree of Heaven	Good	REMOVE
449	8	Tree of Heaven	Good	REMOVE
450	13	Box Elder	Poor	REMOVE
451	8	Tree of Heaven	Good	REMOVE
452	12	Black Walnut	Good	REMOVE
453	18	Common Hackberry	Good	REMOVE
459	7	Box Elder	Good	REMOVE
460	24	Black Walnut	Fair	REMOVE
461	11	Common Hackberry	Fair	REMOVE
469a	12	Tree of Heaven	Good	OFF-SITE
470	6	Box Elder	Good	OFF-SITE
471a	6	Box Elder	Good	OFF-SITE
472a	8	Box Elder	Good	REMOVE
473a	7	Tree of Heaven	Good	REMOVE
474a	7	Box Elder	Good	PRESERVE
475a	6	Box Elder	Good	PRESERVE
476a	25	Black Locust	Good	REMOVE
477a	10	Tree of Heaven	Good	REMOVE
478a	15	Eastern Redbud	Good	REMOVE
479a	9	Box Elder	Good	REMOVE
480a	6	Box Elder	Good	REMOVE
481a	6	Box Elder	Good	REMOVE
482a	7	Box Elder	Good	REMOVE
483a	25	Black Walnut	Fair	REMOVE
484a	6	Eastern Red Cedar	Fair	REMOVE
485a	13	Eastern Red Cedar	Poor	REMOVE
486a	11	Eastern Red Cedar	Fair	REMOVE
485b	16	Hackberry	Good	OFF-SITE
486b	4	Box Elder	Fair	OFF-SITE
471b	26	Black Walnut	Good	PRESERVE
472b	4	Tree-Of-Heaven	Good	REMOVE

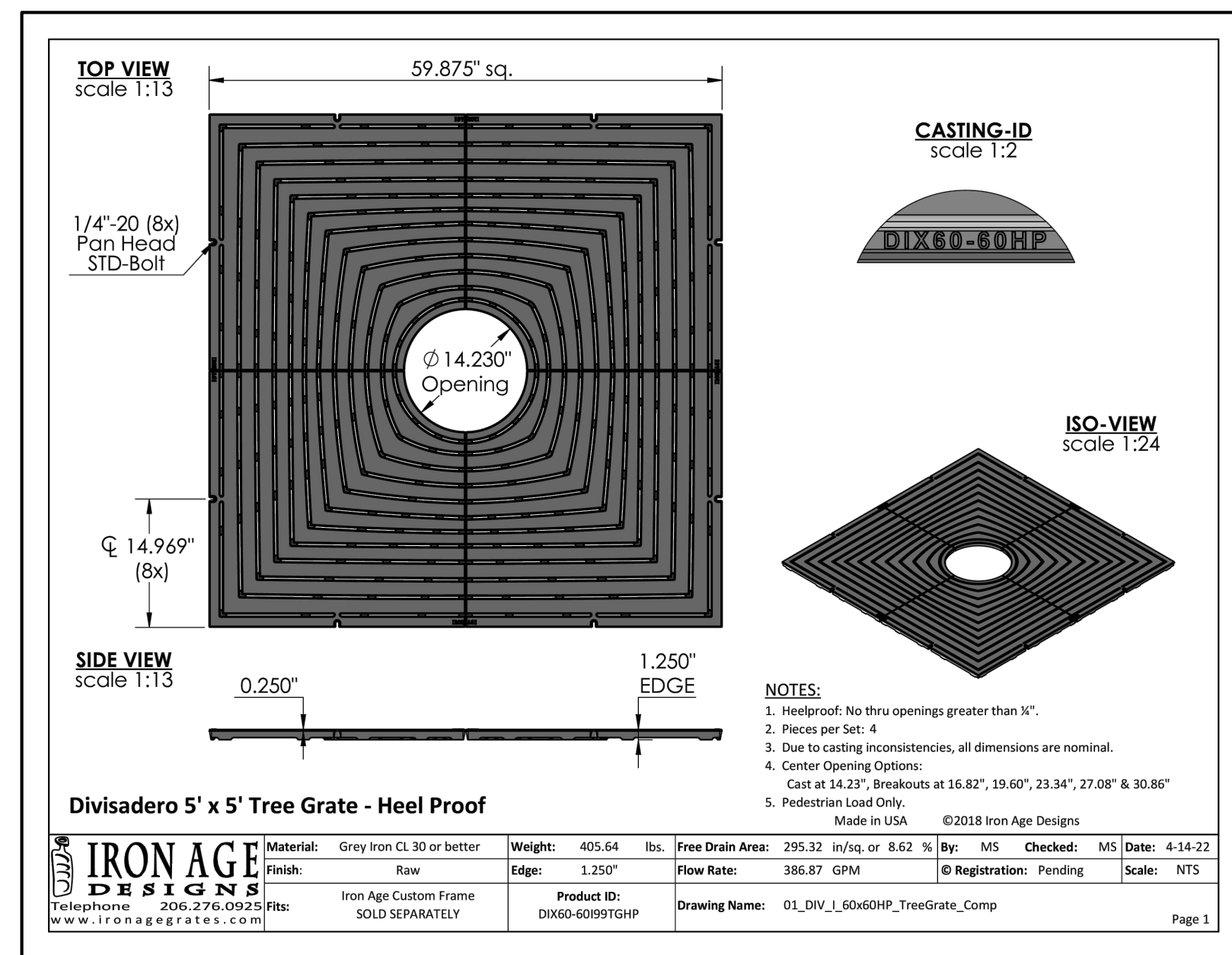
TREE #	D. B. H.	SPECIES	CONDITION	STATUS
473b	5	Tree-Of-Heaven	Good	REMOVE
474b	4	White Pine	Dead	REMOVE
475b	7	Tree-Of-Heaven	Good	REMOVE
476b	6	Tree-Of-Heaven	Good	REMOVE
477b	5	Box Elder	Fair	PRESERVE
478b	6	Box Elder	Fair	PRESERVE
479b	6	Tree-Of-Heaven	Good	REMOVE
482b	12	Sugar Maple	Good	OFF-SITE
483b	23	Hackberry	Good	OFF-SITE
484b	7	Box Elder	Poor	OFF-SITE
516b	16	Black Walnut	Good	OFF-SITE
517b	7	Black Walnut	Fair	OFF-SITE
518b	16	Common Hackberry	Good	OFF-SITE
519b	19	Honey Locust	Dead	OFF-SITE
520b	10	Box Elder	Fair	OFF-SITE
524b	9	Box Elder	Poor	OFF-SITE
524	13	Common Hackberry	Good	OFF-SITE
525	12	Box Elder	Poor	OFF-SITE
526	10	Sugar Maple	Good	REMOVE
527	16	Box Elder	Good	OFF-SITE
528	10	Common Hackberry	Good	REMOVE
529	17	Common Hackberry	Good	REMOVE
530	8	Tree of Heaven	Fair	REMOVE
531	10	Tree of Heaven	Good	REMOVE
532	12	Tree of Heaven	Good	REMOVE
533	23	Tree of Heaven	Good	REMOVE
534	7	Common Hackberry	Good	REMOVE
535	19	Common Hackberry	Good	REMOVE
536	10	Common Hackberry	Good	REMOVE
537	7	Sugar Maple	Fair	REMOVE
538	9	Common Hackberry	Good	REMOVE
539	12	Tree of Heaven	Good	REMOVE
540	9	Common Hackberry	Good	REMOVE
541	7	Tree of Heaven	Good	REMOVE
542	8	Tree of Heaven	Good	REMOVE
543	6	Tree of Heaven	Fair	REMOVE
544	8	Common Hackberry	Good	REMOVE
545	8	Common Hackberry	Fair	REMOVE
546	6	Sugar Maple	Fair	REMOVE
547	8	American Elm	Good	REMOVE
548	23	Sugar Maple	Good	REMOVE
549	9	Tree of Heaven	Good	REMOVE
550	9	Tree of Heaven	Good	REMOVE
551	16,16,16	Sugar Maple	Good	REMOVE
552x	8	Magnolia	Good	REMOVE
553x	32	Silver Maple	Good	REMOVE
554x	20	Spruce	Good	REMOVE
555x	18	Spruce	Good	REMOVE
556x	24	Maple	Good	REMOVE
557x	6	Dogwood	Fair	REMOVE
558x	8	Crabapple	Poor	REMOVE
559x	6	Crabapple	Poor	REMOVE
560x	6	Crabapple	Poor	REMOVE
974b	4	Tree-Of-Heaven	Good	REMOVE
975b	5	Hackberry	Good	REMOVE
976b	14	Box Elder	Fair	REMOVE
977b	16	Ohio Buckeye	Poor	PRESERVE
978b	4	Tree-Of-Heaven	Good	REMOVE
979b	6	Tree-Of-Heaven	Good	REMOVE
980b	6	Tree-Of-Heaven	Good	REMOVE
981b	8	Box Elder	Dead	REMOVE
982b	4	Tree-Of-Heaven	Good	REMOVE
983b	28	Black Walnut	Fair	OFF-SITE
1005b	7	Black Walnut	Good	OFF-SITE
1006b	7	Ohio Buckeye	Good	OFF-SITE
1007b	10	Black Walnut	Good	OFF-SITE
1008b	6	Black Walnut	Good	OFF-SITE
1009b	12	Box Elder	Good	OFF-SITE
1010b	16	Honey Locust	Good	REMOVE

TREE WAIVER POLICY REPLACEMENT CALCULATIONS			
TREE RATING	TREES/INCHES REMOVED	LANDMARK/PRIORITY 1 INCHES PRESERVED	REPLACEMENTS REQ'D
LANDMARK TREES (>24" and "Good" or "Fair" condition) replace 1" for ea. 1" removed with 2.5" min. cal. trees	249"	26"	249"
PRIORITY 1 TREES D.B.H. (>18", not "Landmark" rated)	223"	0"	PER TREE - SEE BELOW
PRIORITY 1 TREES IN ABSOLUTE NUMBERS (>18", not "Landmark" rated) replace with 3 trees @ 2" cal. min. for ea. removed	19 TREES	N/A	57 TREES @ 2" MIN. CAL.
PRIORITY 2 TREES (6" < X < 18") replace with 2 trees @ 2" cal. min. for ea. removed	85 TREES	N/A	170 TREES @ 2" MIN. CAL.
PRIORITY 3 TREES (>6" undesirable species) replace with 1 tree @ 2" cal. min. for ea. removed	5	N/A	5 TREES @ 2" MIN. CAL.
TOTAL LANDMARK TREE REPLACEMENT INCHES REQUIRED* (ACHIEVED WITH 2.5" MIN CAL. TREES)			249"
TOTAL NON-LANDMARK REPLACEMENT TREES REQUIRED* (ACHIEVED WITH 2" MIN CAL. TREES)			232 TREES

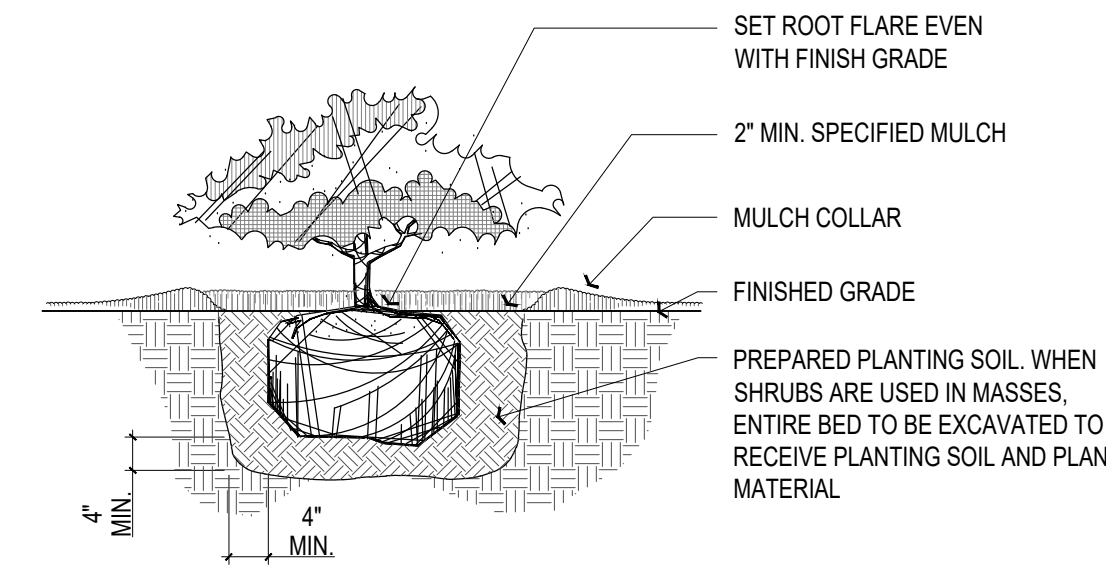
*DEAD, "OFF-SITE" AND "DEM'D BY OTHERS" TREES NOT INCLUDED IN REPLACEMENT CALCULATIONS



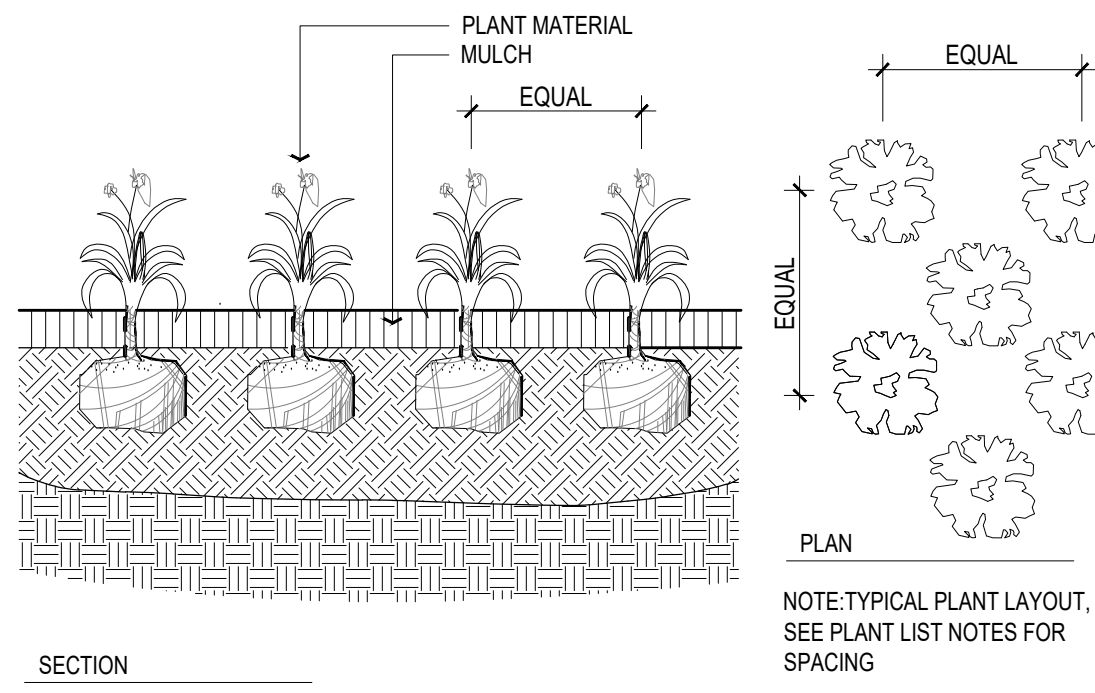
F 3' HT. FENCE
(OR OWNER-APPROVED EQUAL)



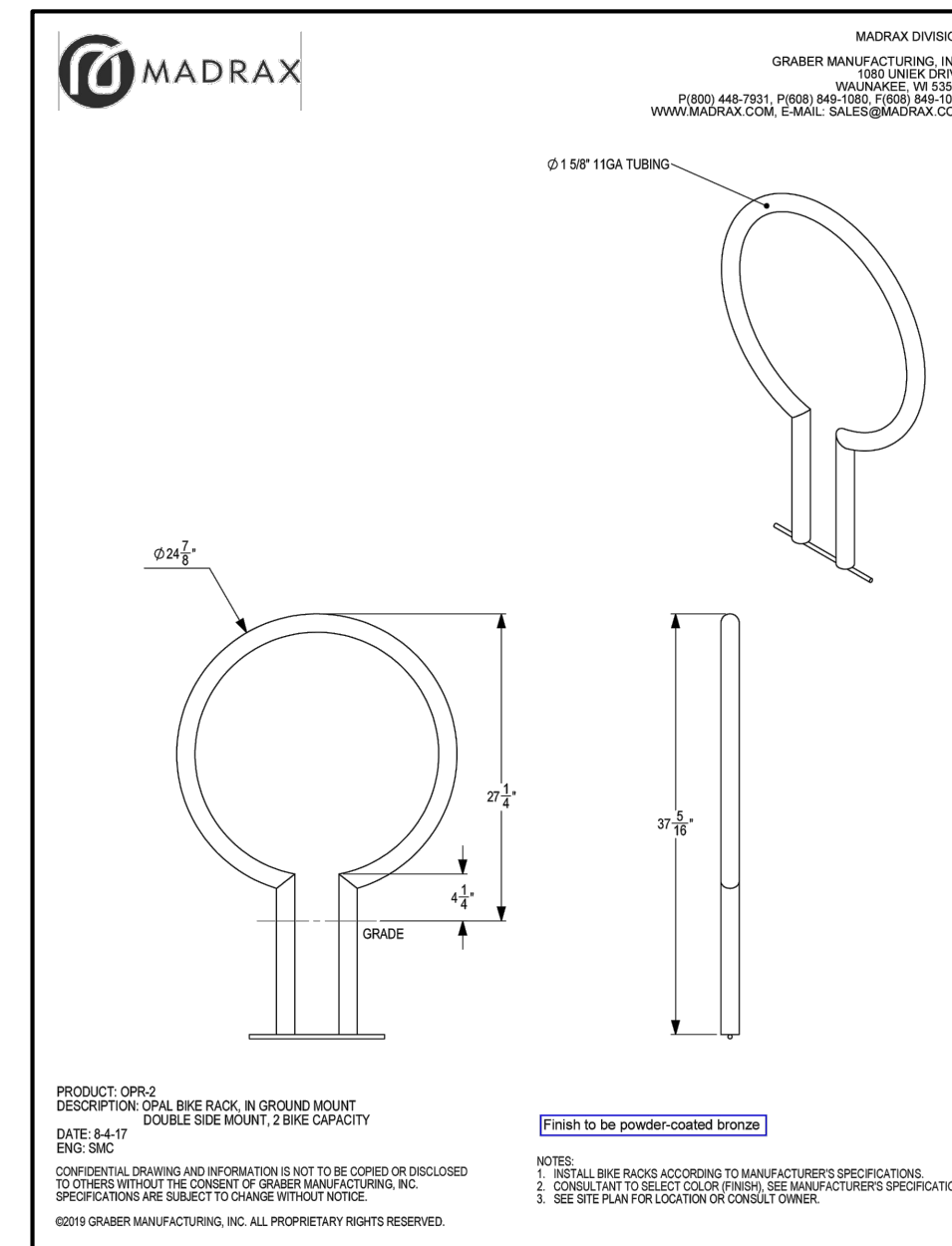
G 5'x5' EXPANDABLE TREE GRATE
(OR OWNER-APPROVED EQUAL)



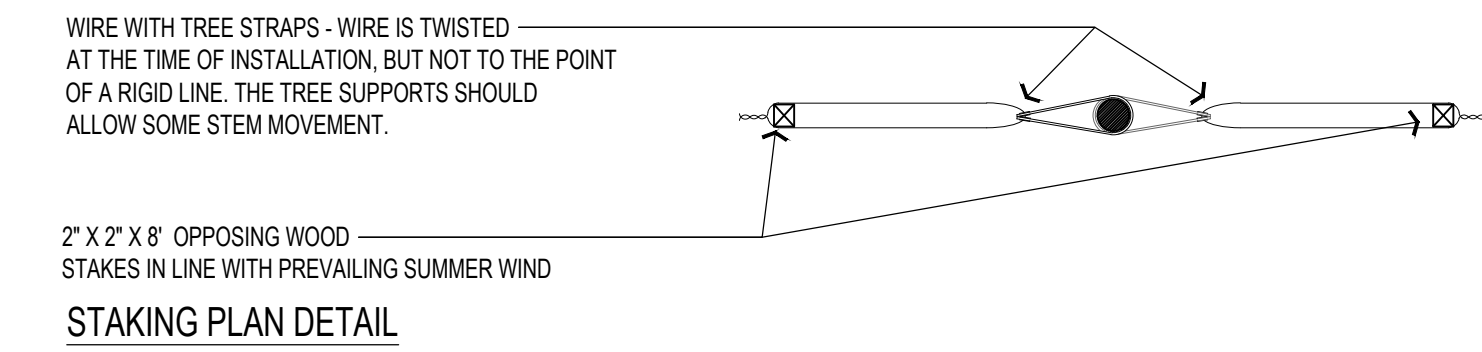
C SHRUB
SCALE: 1/2" = 1'-0"



D PERENNIALS & GROUNDCOVER
SCALE: 1" = 1'-0"



E BIKE RACK
(OR OWNER-APPROVED EQUAL)



NOTES:
THE AMOUNT OF TREE AND SHRUB PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS & BRANCHES. RETAIN NORMAL SHAPE. PLANT TREES AND EVERGREENS SO THE ROOT FLARE IS 2-3" ABOVE FINISH GRADE

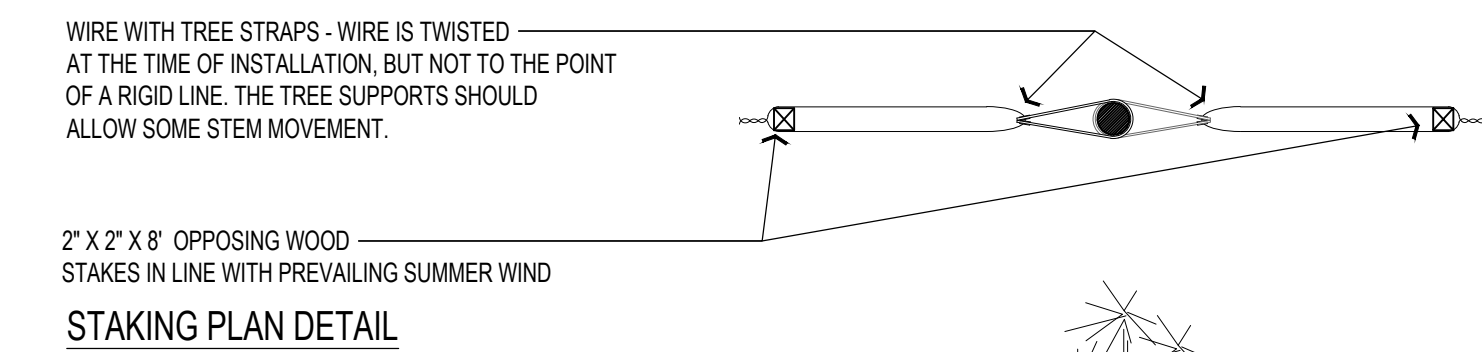
*DIG PLANTING HOLE TWICE THE DIAMETER OF THE ROOTBALL- BACKFILL WITH MIXTURE 4 PARTS NATIVE SOIL AND 1 PART ORGANIC SOIL CONDITIONER (LEAF COMPOST). PULVERIZE OR CHOP SOIL TO REMOVE CLODS AND CLUMPS

WIRE WITH TREE STRAPS. TWO STRAPS PER TREE. ATTACH 1/3 OF THE DISTANCE FROM GROUND TO FIRST BRANCH - SEE PLAN DETAIL ABOVE

2" X 2" X 8" WOOD STAKE. - SEE PLAN DETAIL ABOVE

SET ROOT BALL ON RAISED PEDESTAL OF COMPACTED OR UNDISTURBED SOIL

A DECIDUOUS TREE
SCALE: 1" = 1'-0"



NOTES:
THE AMOUNT OF TREE AND SHRUB PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS & BRANCHES. RETAIN NORMAL SHAPE. PLANT TREES AND EVERGREENS SO THE ROOT FLARE IS 2-3" ABOVE FINISH GRADE

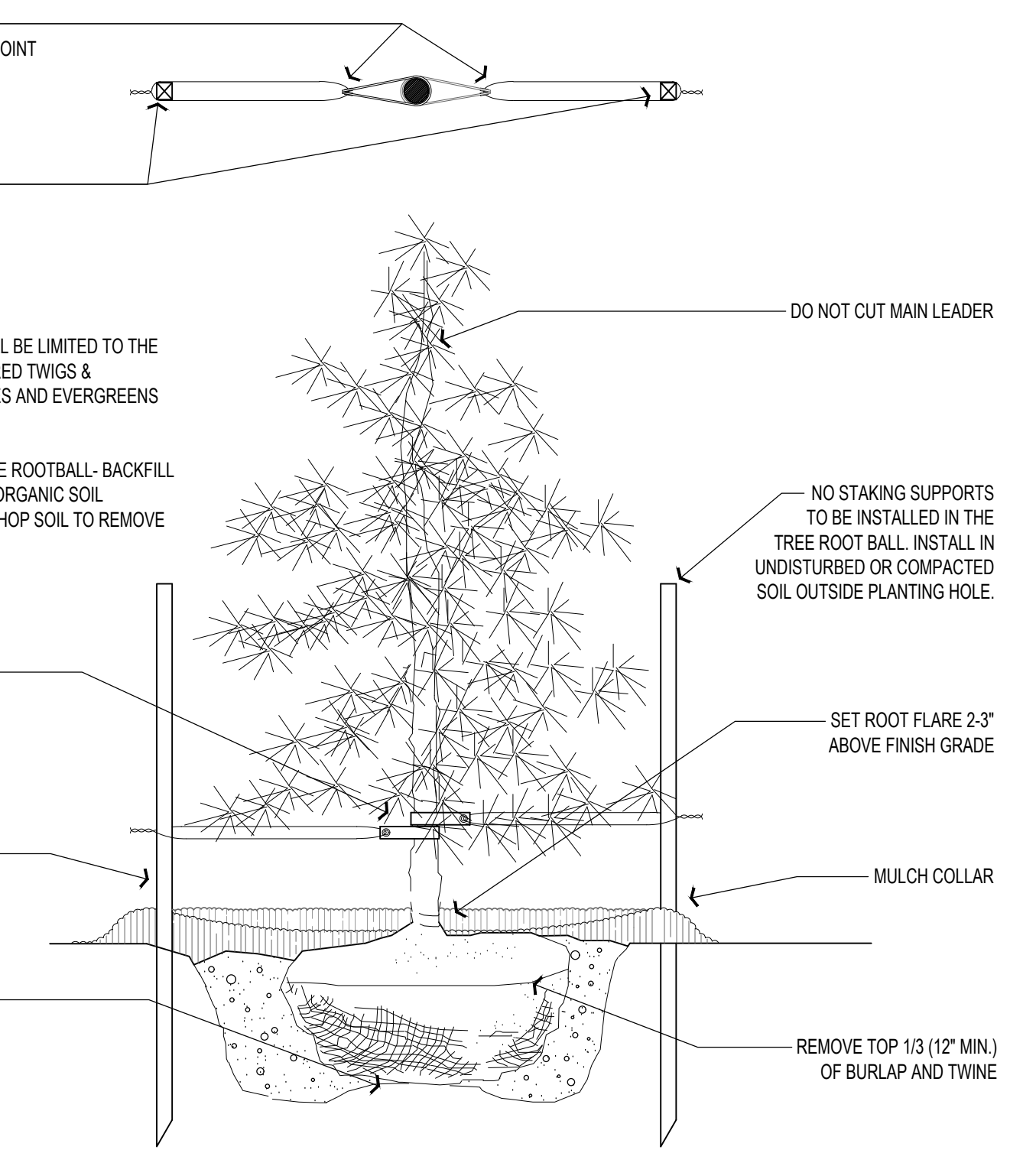
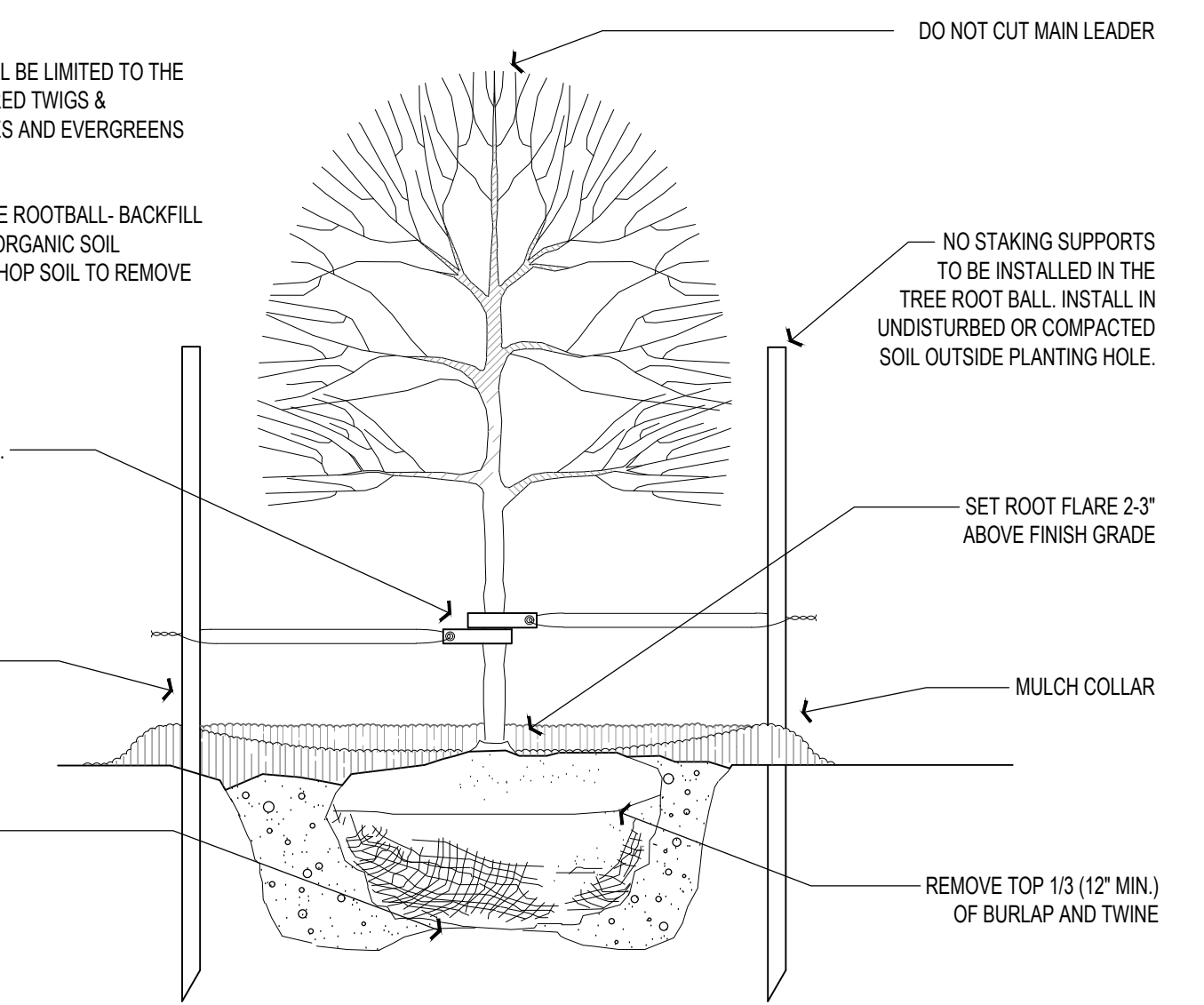
*DIG PLANTING HOLE TWICE THE DIAMETER OF THE ROOTBALL- BACKFILL WITH MIXTURE 4 PARTS NATIVE SOIL AND 1 PART ORGANIC SOIL CONDITIONER (LEAF COMPOST). PULVERIZE OR CHOP SOIL TO REMOVE CLODS AND CLUMPS

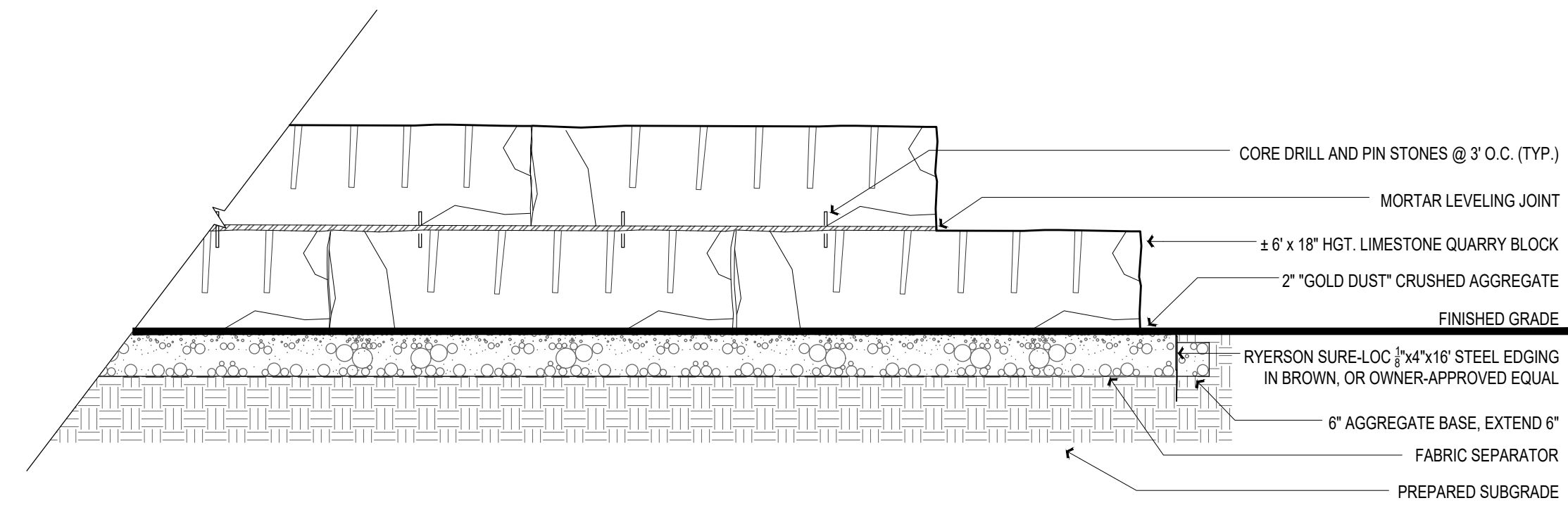
WIRE WITH TREE STRAPS. TWO STRAPS PER TREE. ATTACH AT 1/3 THE HEIGHT OF TREE

2" X 2" X 8" WOOD STAKE. - SEE PLAN DETAIL ABOVE

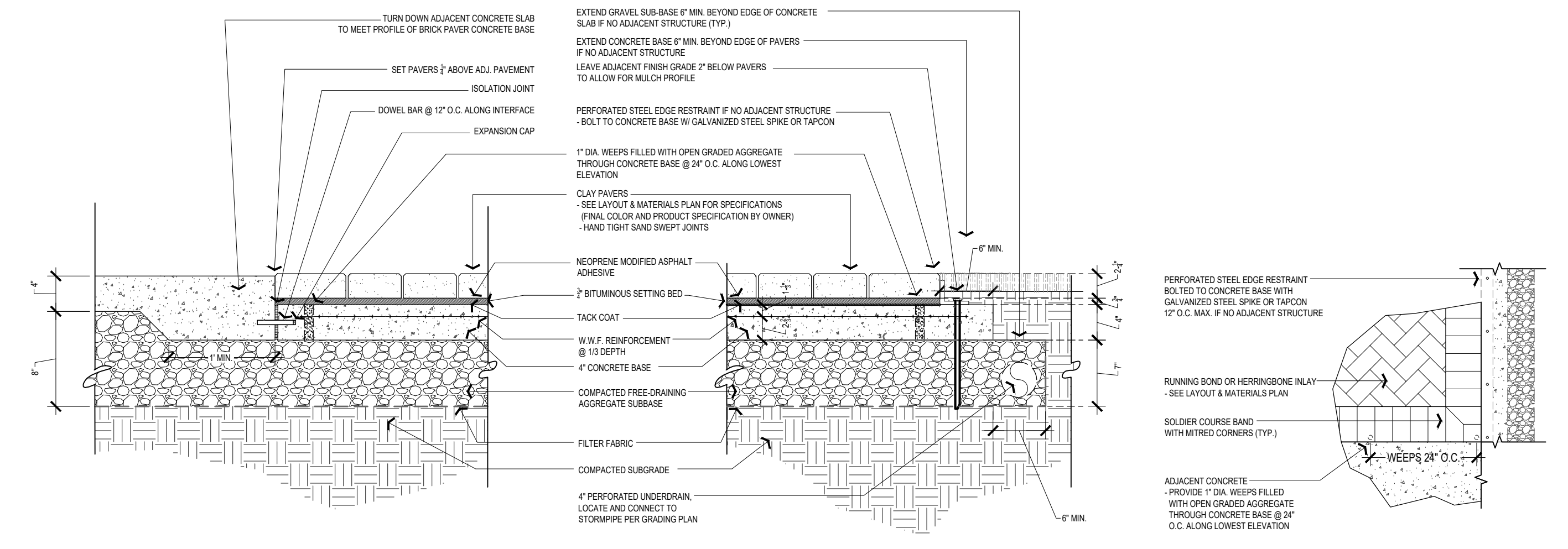
SET ROOT BALL ON RAISED PEDESTAL OF COMPACTED OR UNDISTURBED SOIL

B EVERGREEN TREE
SCALE: 1" = 1'-0"

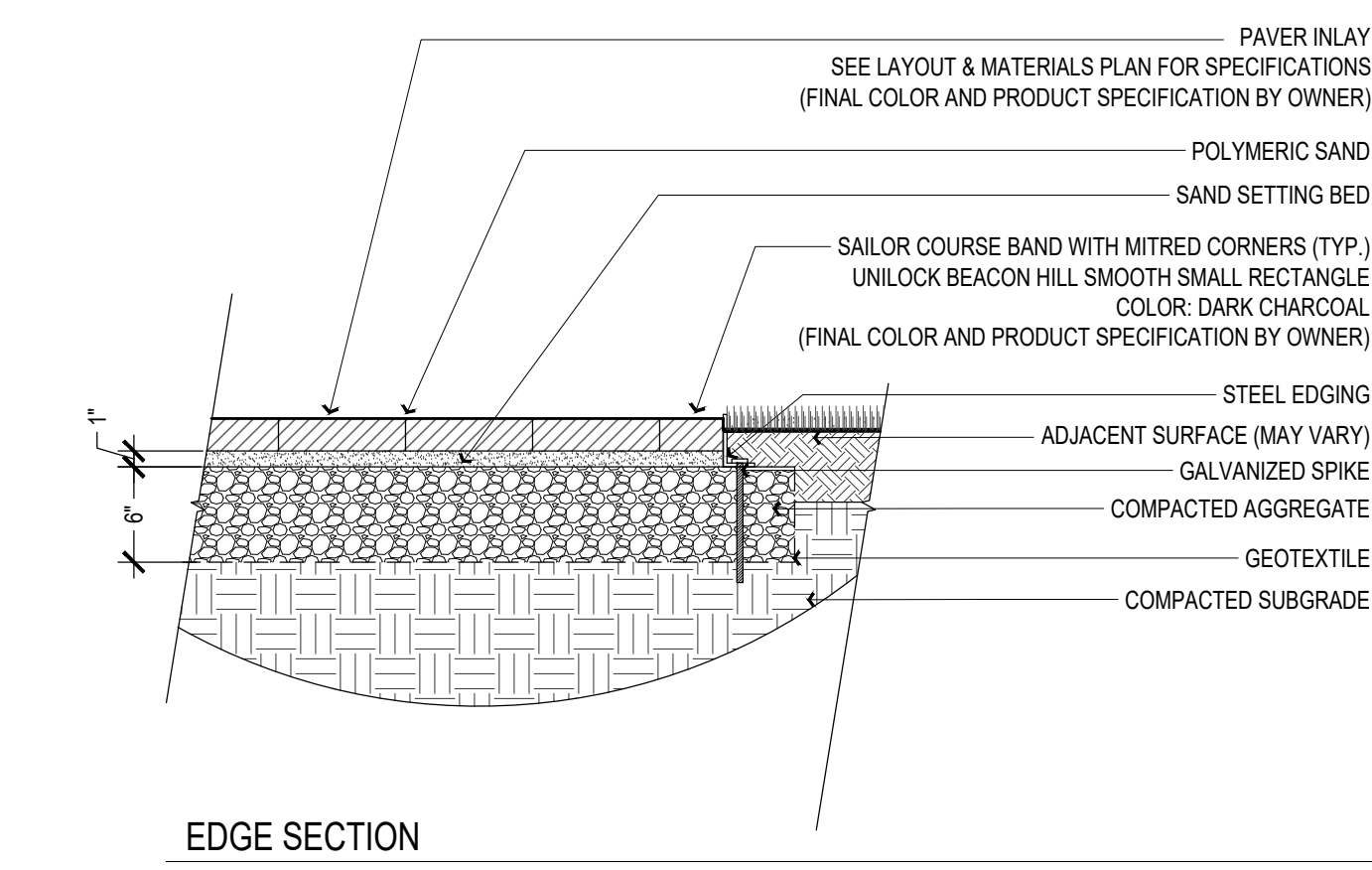




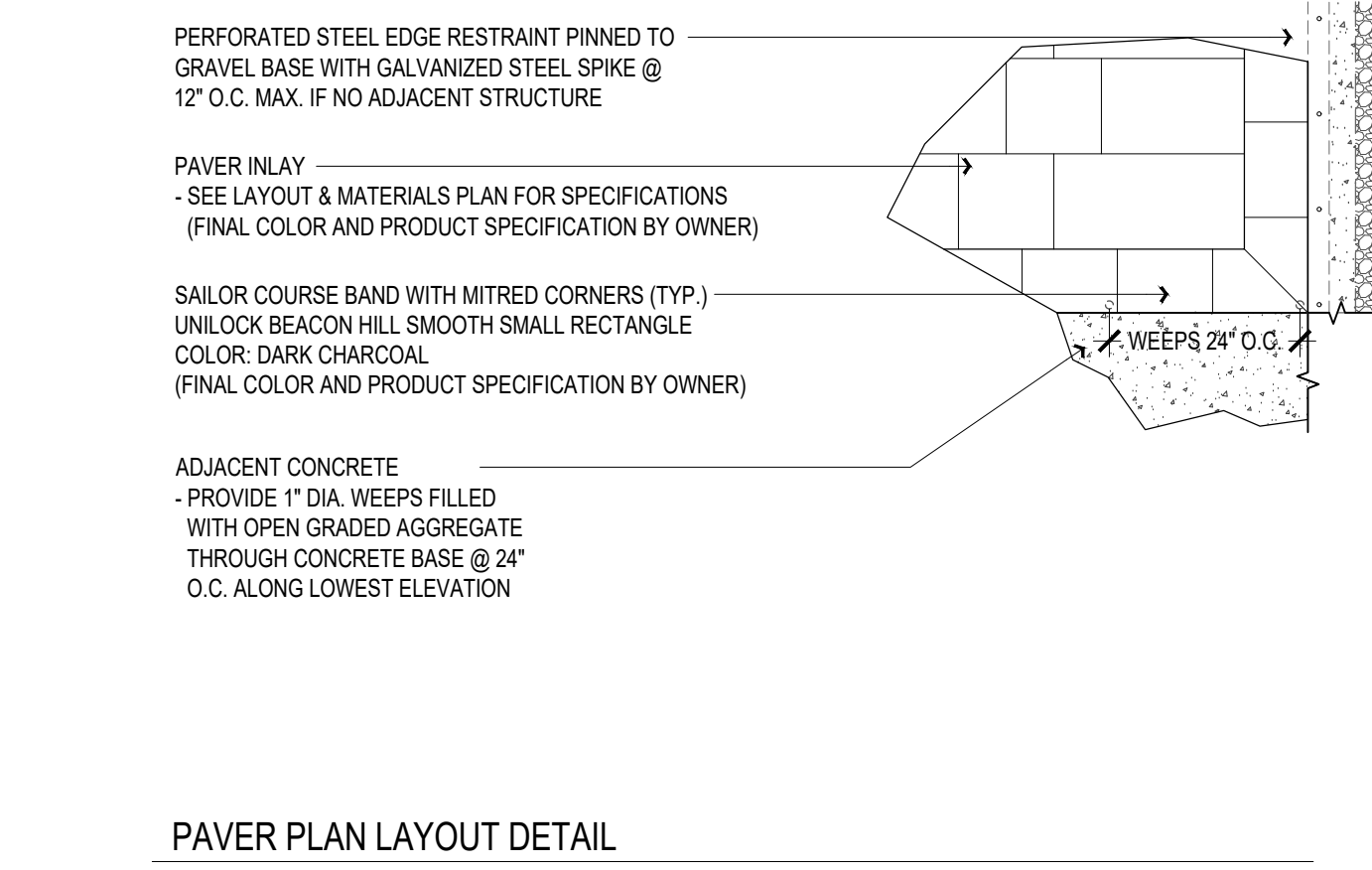
F STONE SLAB WALL
SCALE: 1/2" = 1'-0"



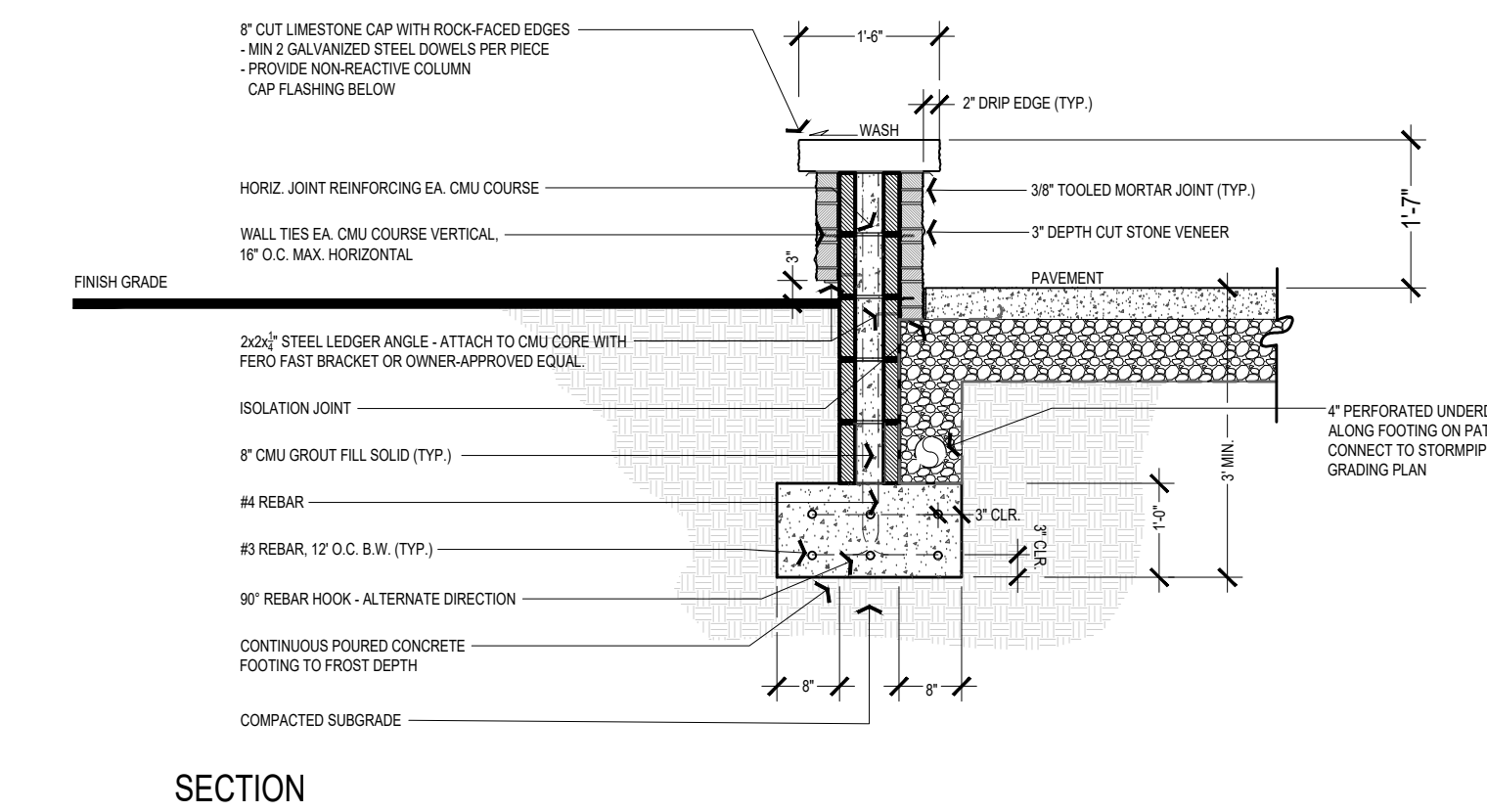
A CLAY PAVER ON CONCRETE BASE
SCALE: 1" = 1'-0"



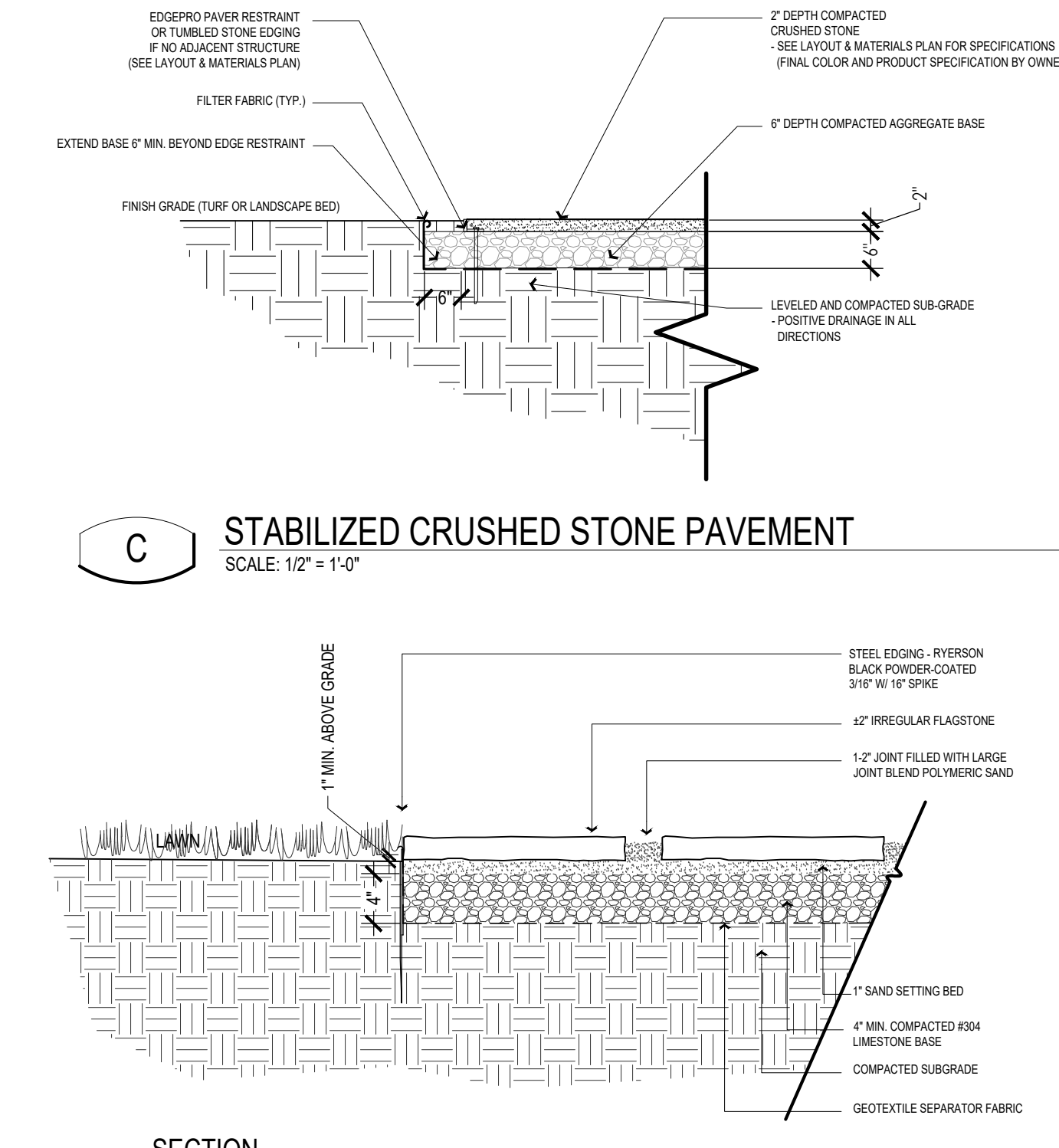
B TYPICAL CONCRETE PAVER
SCALE: 1" = 1'-0"



C STABILIZED CRUSHED STONE PAVEMENT
SCALE: 1/2" = 1'-0"

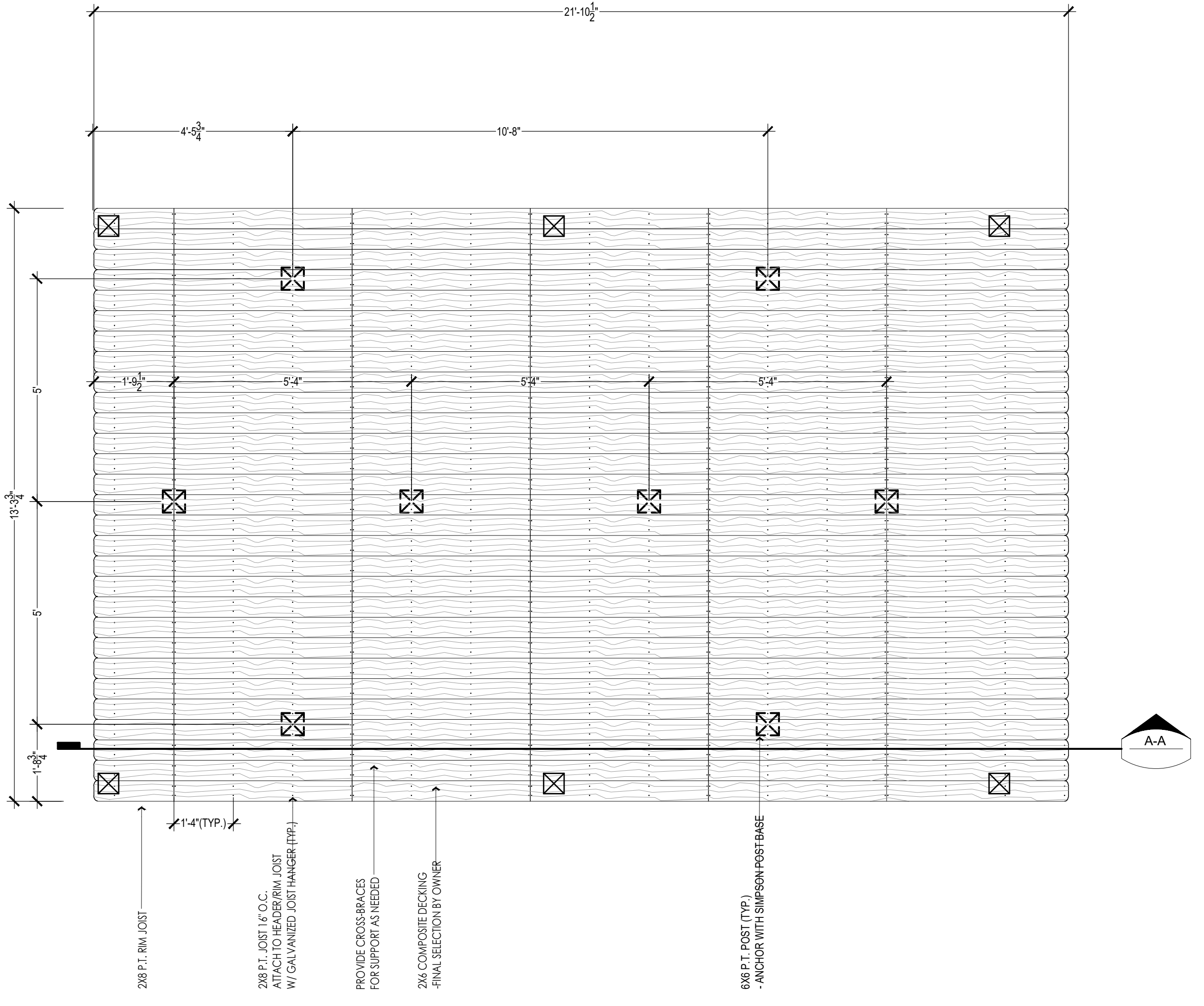


E LIMESTONE-FACED SEAT WALL
SCALE: 1/2" = 1'-0"

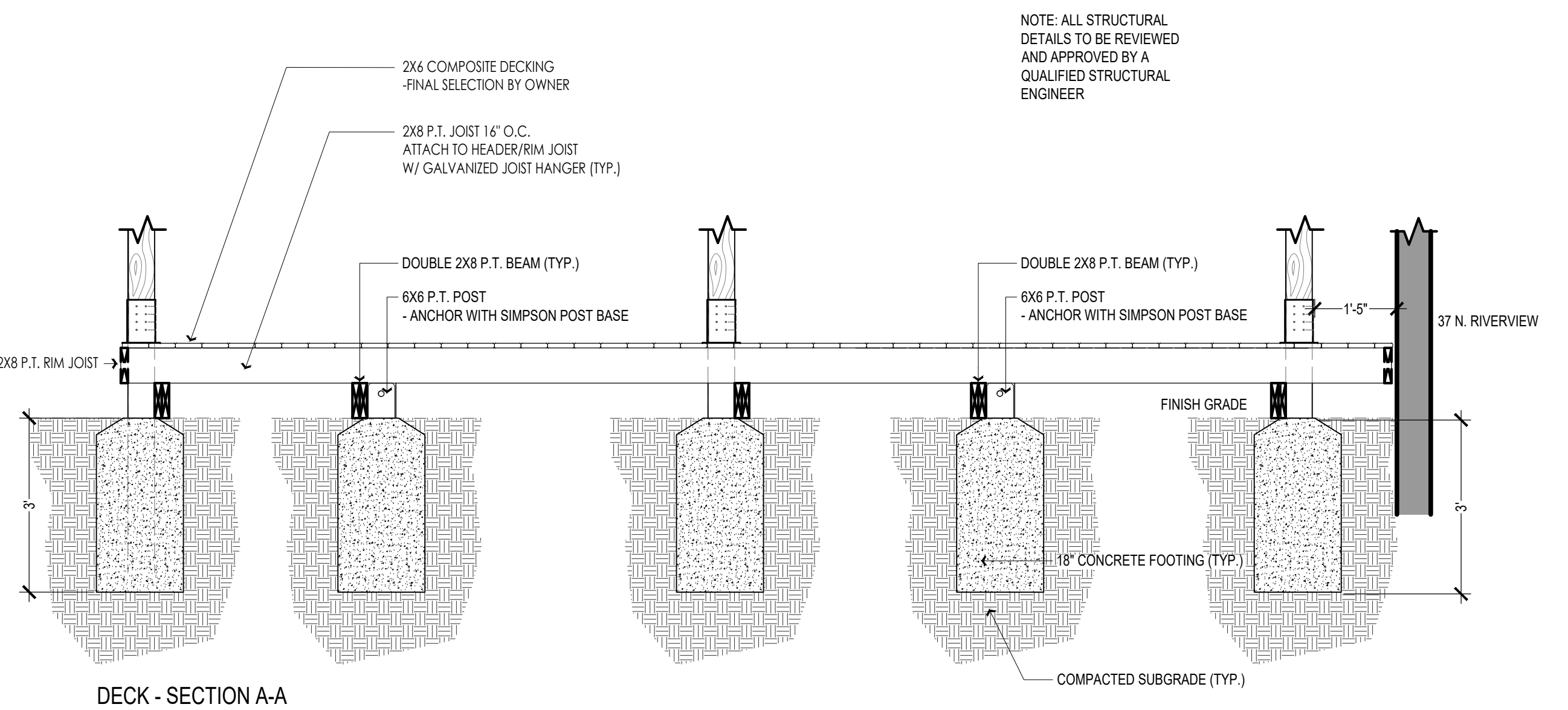


D FLAGSTONE PAVERS
SCALE: 1" = 1'-0"

L8.02: LANDSCAPE DETAILS II

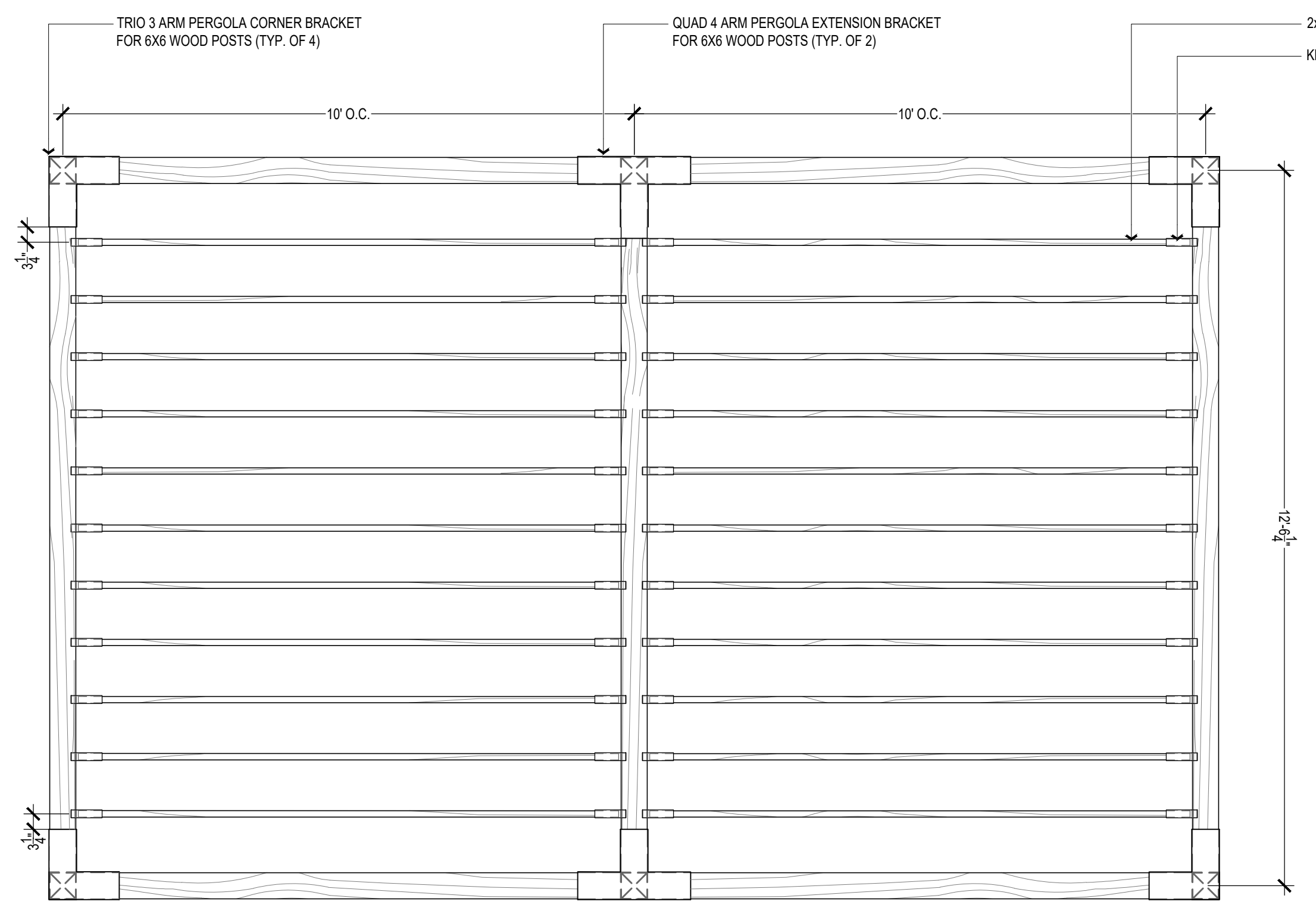


DECK - PLAN VIEW

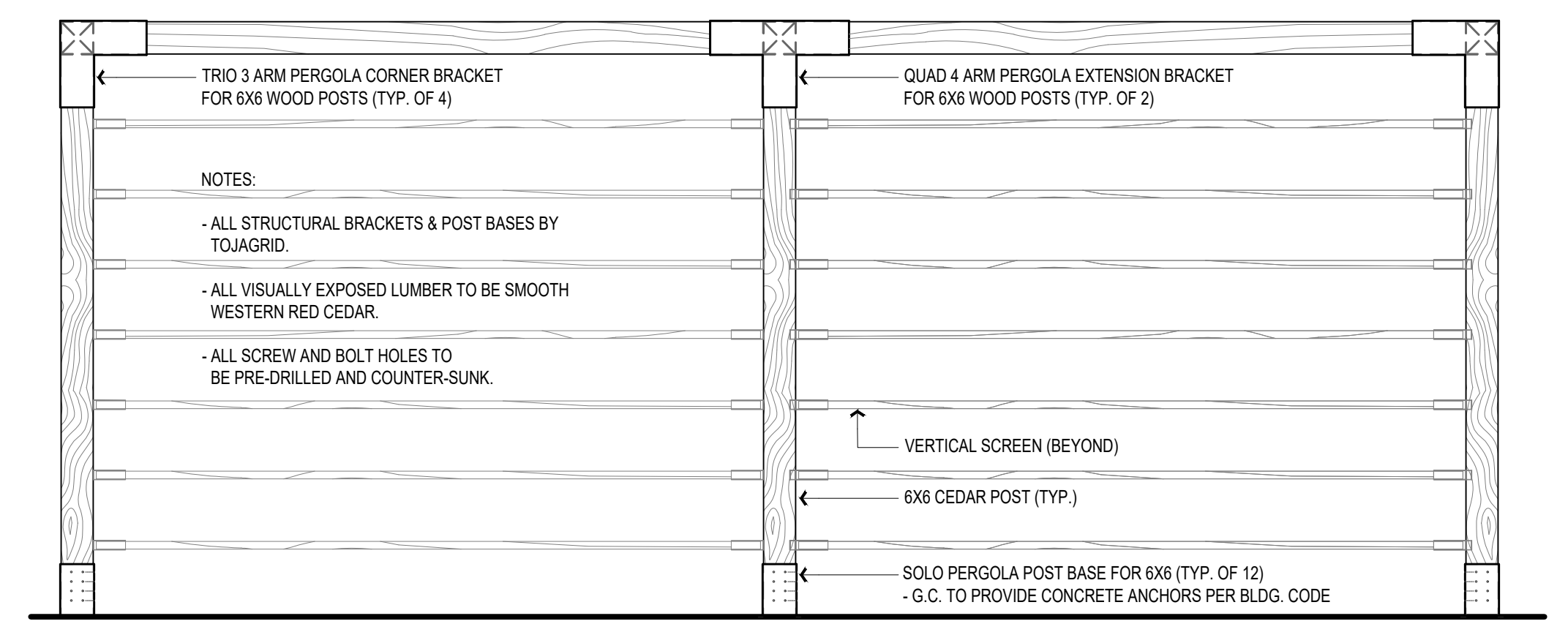


DECK - SECTION A-A

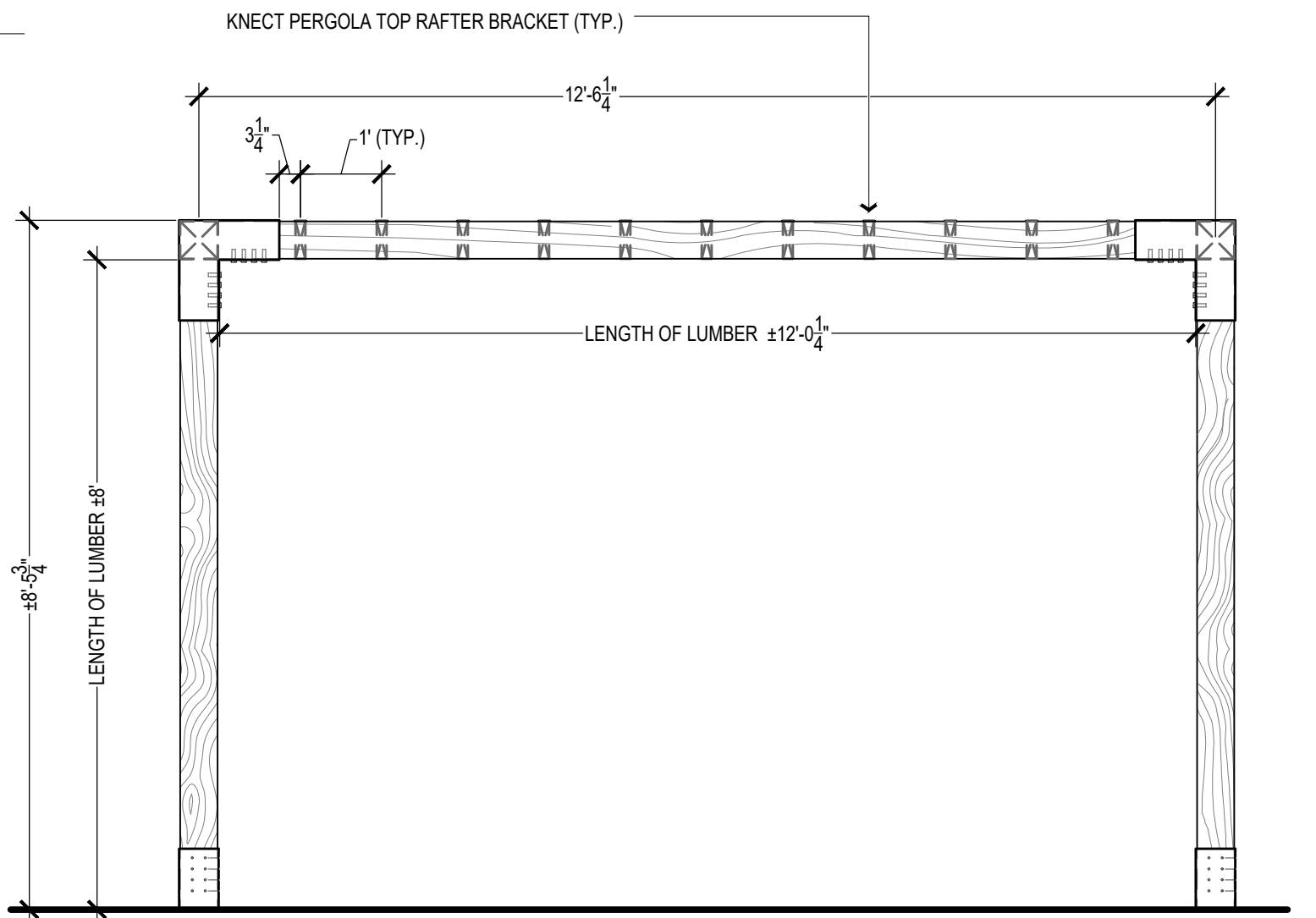
B COMPOSITE FLOATING DECK
SCALE: 1/2" = 1'-0"



PLAN VIEW



FRONT ELEVATION



SIDE ELEVATION

A SHADE STRUCTURE
SCALE: 1/2" = 1'-0"

NOTE: ALL STRUCTURAL DETAILS TO BE REVIEWED AND APPROVED BY A QUALIFIED STRUCTURAL ENGINEER

COHATCH RIVERVIEW

37 N. RIVERVIEW ST
DUBLIN, OH 43017



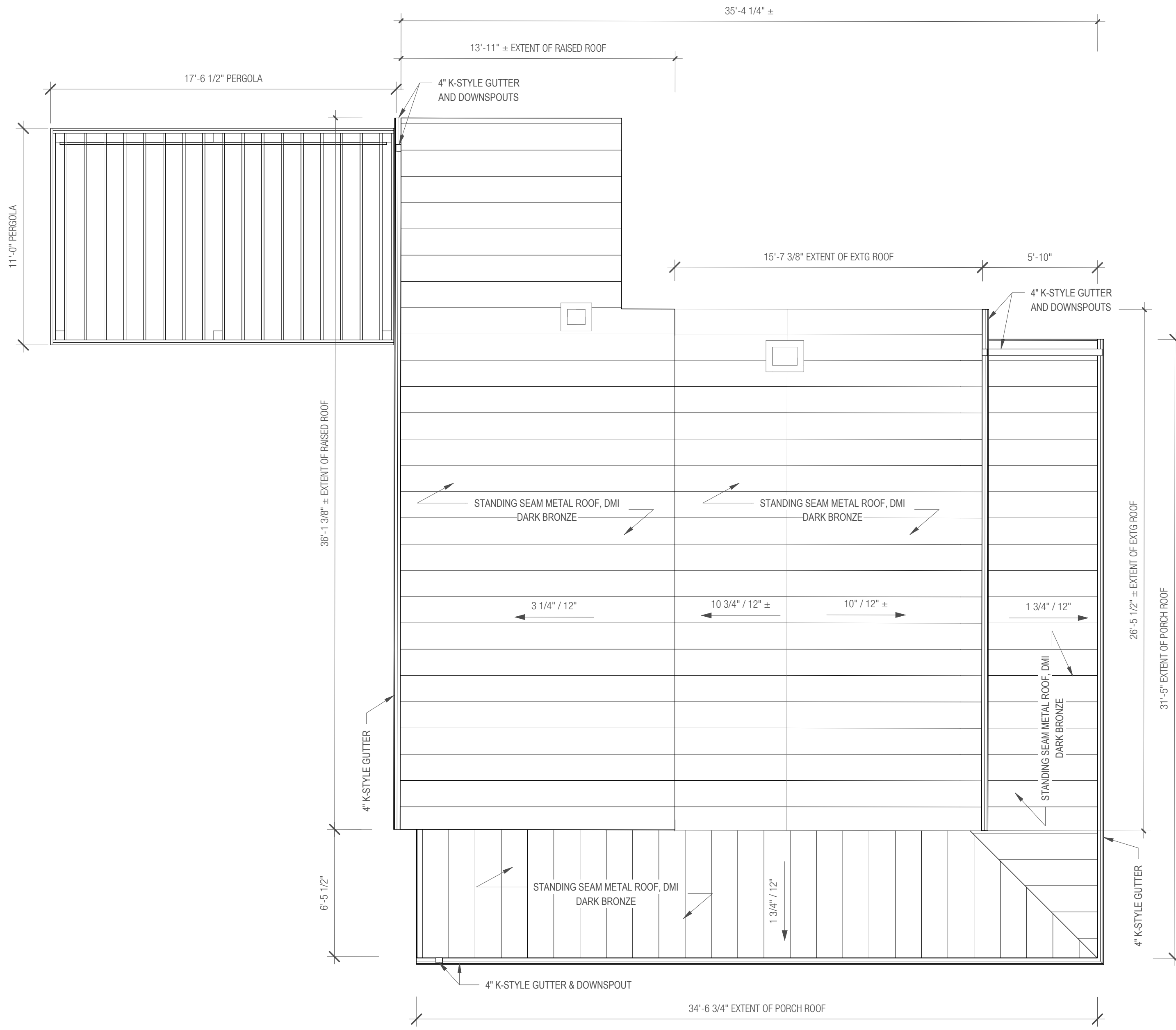
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401 W Town Street,
Columbus, OH 43215
T.614.321.5128 F.614.453.8728
info@laiarchitect.com
www.laiarchitect.com

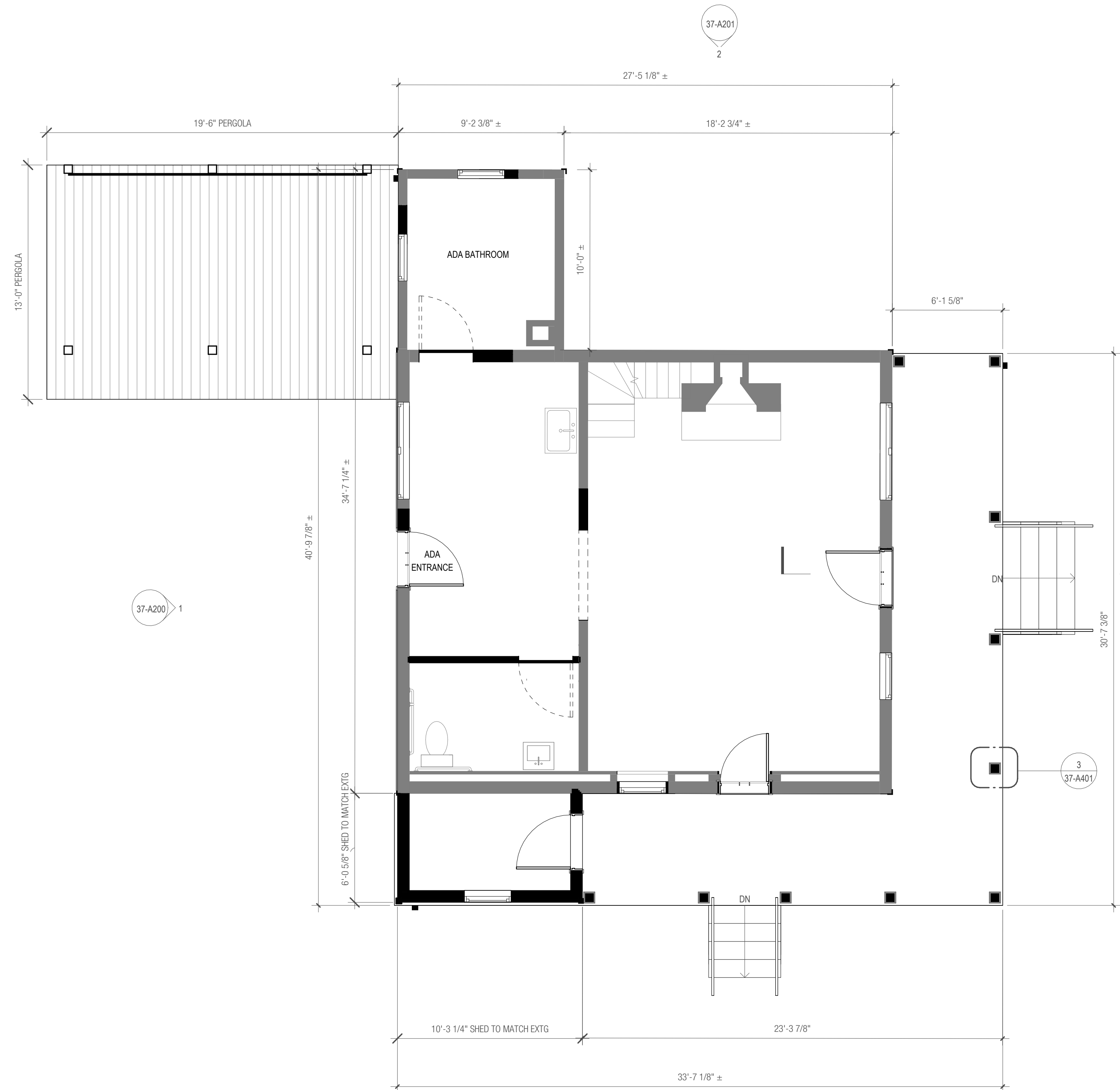
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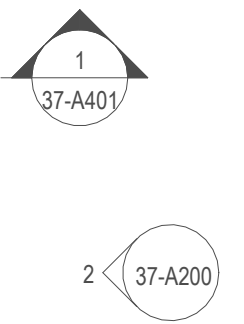
ISSUE DESCRIPTION	DATE
PRELIMINARY DEVELOPMENT PLAN	09/18/2024
FINAL DEVELOPMENT PLAN	10/10/2024
FINAL DEVELOPMENT PLAN R1	11/08/2024



2 ROOF PLAN
1/4" = 1'-0"



1 FIRST FLOOR PLAN
1/4" = 1'-0"
0 1 2 4 8



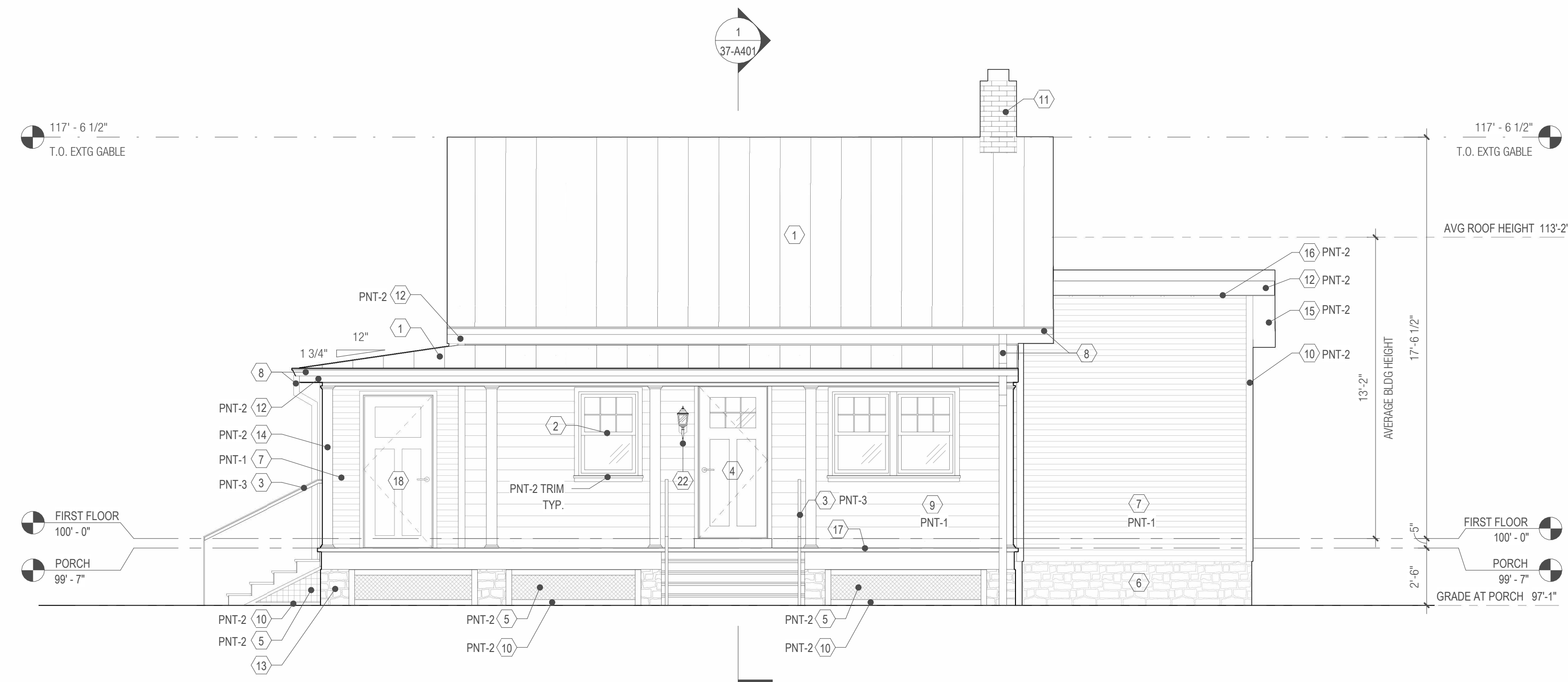
PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

37 FIRST FLOOR &
ROOF PLAN

PROJECT #	23115
DATE	11/08/2024
DRAWN BY:	PF/AG
REVIEWED BY:	TL

SHEET #
37-A100

COHATCH RIVERVIEW



2 EAST ELEVATION
1/4" = 1'-0"



1 WEST ELEVATION
1/4" = 1'-0"



EXTERIOR ELEVATION CODED NOTES

- 1 STANDING SEAM METAL ROOF, DMI DARK BRONZE
- 2 PELLA LIFESTYLE SERIES ALUMINUM CLAD DOUBLE HUNG 6-OVER-1 WINDOW W/ SPACERS BETWEEN GLASS PANELS. WINDOW SASH FINISH IRON ORE. RESTORE WINDOWS IF POSSIBLE, ONLY REPLACE IF NECESSARY.
- 3 1-1/2" X 1/2" STEEL HANDRAIL PNT-3. SEE TYPICAL DETAIL ON SHEET 37-A401
- 4 PELLA FAN LIGHT RECTANGLE FIBERGLASS ENTRY DOOR WITH 6-LIGHT GRILLE AND SPACERS BETWEEN GLASS IN COLOR CLASSIC WHITE
- 5 FRAMED OPEN DIAGONAL PAINTED SOUTHERN PINE LATTICE
- 6 EXISTING STACKED STONE FOUNDATION
- 7 3" HORIZONTAL SMOOTH FIBER CEMENT BOARD LAP SIDING. RESTORE ORIGINAL SIDING IF POSSIBLE, ONLY REPLACE IF NECESSARY
- 8 4" K-STYLE GUTTER & DOWNSPOUT
- 9 6" HORIZONTAL SMOOTH FIBER CEMENT BOARD LAP SIDING. RESTORE ORIGINAL SIDING IF POSSIBLE, ONLY REPLACE IF NECESSARY
- 10 SMOOTH FIBER CEMENT BOARD TRIM
- 11 EXISTING BRICK
- 12 SMOOTH FIBER CEMENT BOARD FASCIA
- 13 STONE VENEER PIER/FOUNDATION TO MATCH EXISTING STACKED STONE FOUNDATION
- 14 6X6 WOOD SQUARE COLUMN WRAP OVER 4X4 POST
- 15 SMOOTH FIBER CEMENT BOARD SOFFIT
- 16 EXPOSED RAFTER TAILS TO MATCH EXISTING
- 17 5/4 X 6 CUMARU WOOD DECKING
- 18 3 PANEL SHAKER EXTERIOR DOOR IN COLOR CLASSIC WHITE
- 19 PELLA LIFESTYLE SERIES ALUMINUM CLAD FIXED 6-OVER-1 WINDOW WITH SPACERS BETWEEN GLASS PANE. WINDOW SASH FINISH IRON ORE. RESTORE WINDOWS IF POSSIBLE, ONLY REPLACE IF NECESSARY.
- 20 WOOD PERGOLA W/ OPEN WOOD RAFTER @ 12" O.C.
- 21 EUROFASE, MARKIS OUTDOOR PENDANT
- 22 SATCO, BRITON OUTDOOR WALL SCONCE, OLD BRONZE FINISH
- 23 6X6 WOOD POST
- 24 2X6 WOOD FRAMING
- 25 2X12 WOOD FRAMING
- 26 FRAMED OPEN ORTHOGONAL PAINTED SOUTHERN PINE LATTICE

FINISH LEGEND

- PNT-1 SHERWIN WILLIAMS, SW2821 DOWNING STONE
- PNT-2 SHERWIN WILLIAMS, SW7002 DOWNY
- PNT-3 SHERWIN WILLIAMS, SW9565 FORGED STEEL

COHATCH RIVERVIEW

37 N. RIVERVIEW ST
DUBLIN, OH 43017



Tim Lai Architect

401 W Town Street,
Columbus, OH 43215
T.614.321.5128 F.614.453.8728
info@laiarchitect.com
www.laiarchitect.com

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FINAL DEVELOPMENT PLAN	10/10/2024
FINAL DEVELOPMENT PLAN R1	11/08/2024

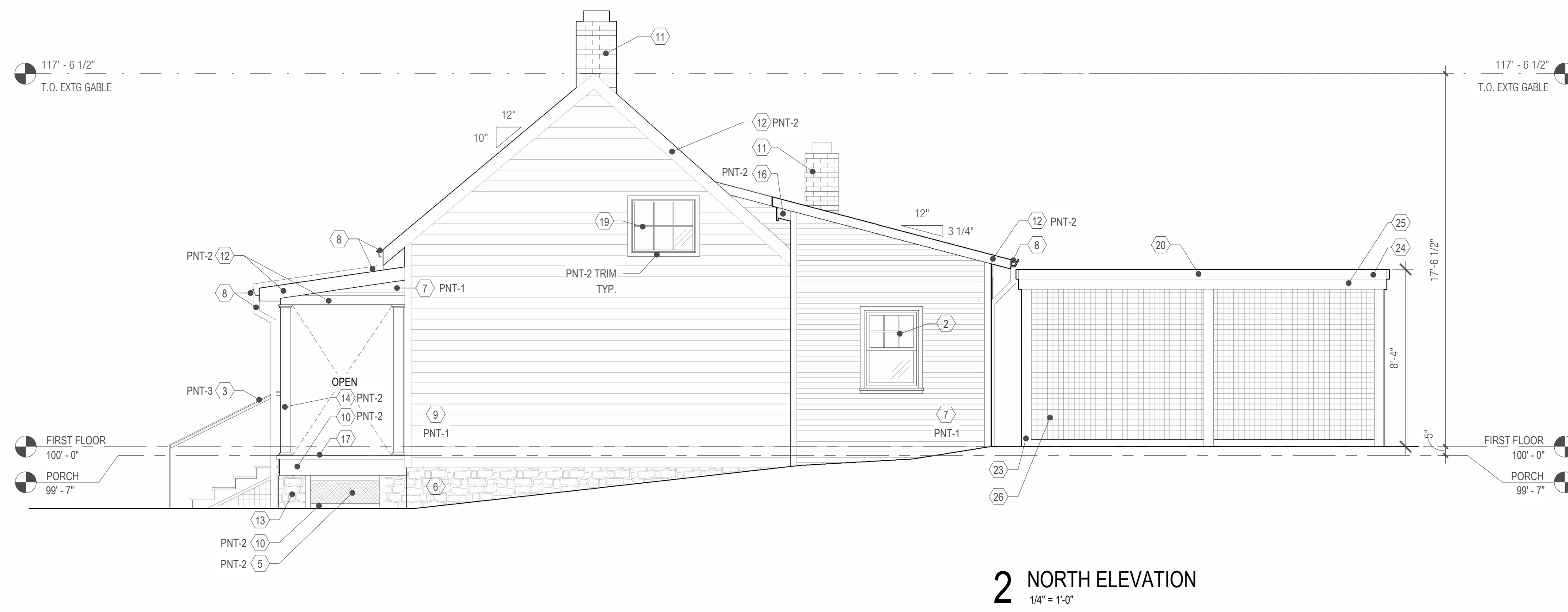
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**37 N RIVERVIEW
ELEVATIONS**

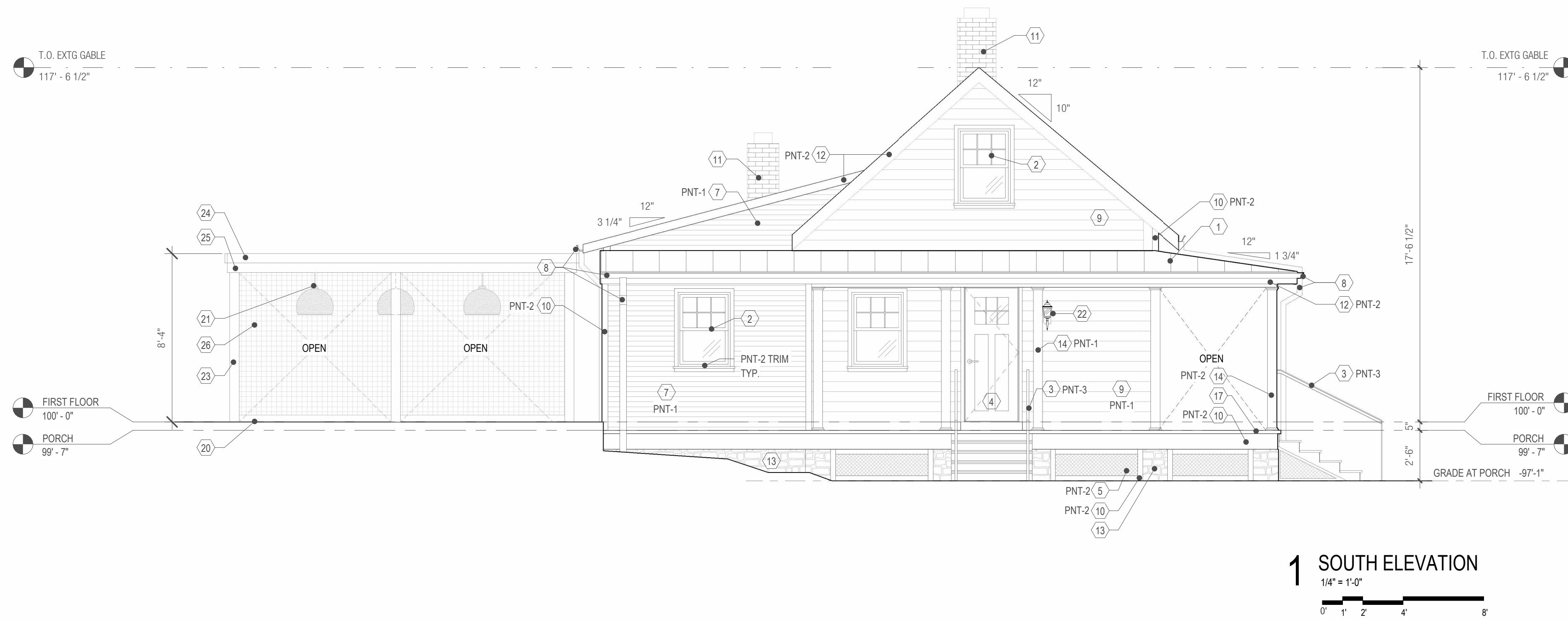
PROJECT # 23115
DATE 11/08/2024
DRAWN BY: PFI/AG REVIEWED BY: TL

SHEET #
37-A200

COHATCH RIVERVIEW



2 NORTH ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"

EXTERIOR ELEVATION CODED NOTES

- 1 STANDING SEAM METAL ROOF, DMI DARK BRONZE
- 2 PELLA LIFESTYLE SERIES ALUMINUM CLAD DOUBLE HUNG 6-OVER-1 WINDOW W/ SPACERS BETWEEN GLASS PANELS. WINDOW SASH FINISH IRON ORE. RESTORE WINDOWS IF POSSIBLE, ONLY REPLACE IF NECESSARY.
- 3 1-1/2" X 1/2" STEEL HANDRAIL PNT-3, SEE TYPICAL DETAIL ON SHEET 37-A401
- 4 PELLA FAN LIGHT RECTANGLE FIBERGLASS ENTRY DOOR WITH 6-LIGHT GRILLE AND SPACERS BETWEEN GLASS IN COLOR CLASSIC WHITE
- 5 FRAMED OPEN DIAGONAL PAINTED SOUTHERN PINE LATTICE
- 6 EXISTING STACKED STONE FOUNDATION
- 7 3" HORIZONTAL SMOOTH FIBER CEMENT BOARD LAP SIDING, RESTORE ORIGINAL SIDING IF POSSIBLE, ONLY REPLACE IF NECESSARY
- 8 4" K-STYLE GUTTER & DOWNSPOUT
- 9 6" HORIZONTAL SMOOTH FIBER CEMENT BOARD LAP SIDING, RESTORE ORIGINAL SIDING IF POSSIBLE, ONLY REPLACE IF NECESSARY
- 10 SMOOTH FIBER CEMENT BOARD TRIM
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- 12 SMOOTH FIBER CEMENT BOARD FASCIA
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- 22 SATCO, BRITON OUTDOOR WALL SCONCE, OLD BRONZE FINISH
- 23 6X6 WOOD POST
- 24 2X6 WOOD FRAMING
- 25 2X12 WOOD FRAMING
- 26 FRAMED OPEN ORTHOGONAL PAINTED SOUTHERN PINE LATTICE

FINISH LEGEND

- PNT-1 SHERWIN WILLIAMS, SW2821 DOWNING STONE
- PNT-2 SHERWIN WILLIAMS, SW7002 DOWNY
- PNT-3 SHERWIN WILLIAMS, SW9565 FORGED STEEL

COHATCH RIVERVIEW

37 N. RIVERVIEW ST
DUBLIN, OH 43017



Tim Lai Architect

401 W Town Street,
Columbus, OH 43215
T.614.321.5128 F.614.453.8728
info@laiarchitect.com
www.laiarchitect.com

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**37 N RIVERVIEW
ELEVATIONS**

PROJECT # 23115
DATE 11/08/2024
DRAWN BY: PFI/AG REVIEWED BY: TL
SHEET #

37-A201

COHATCH RIVERVIEW

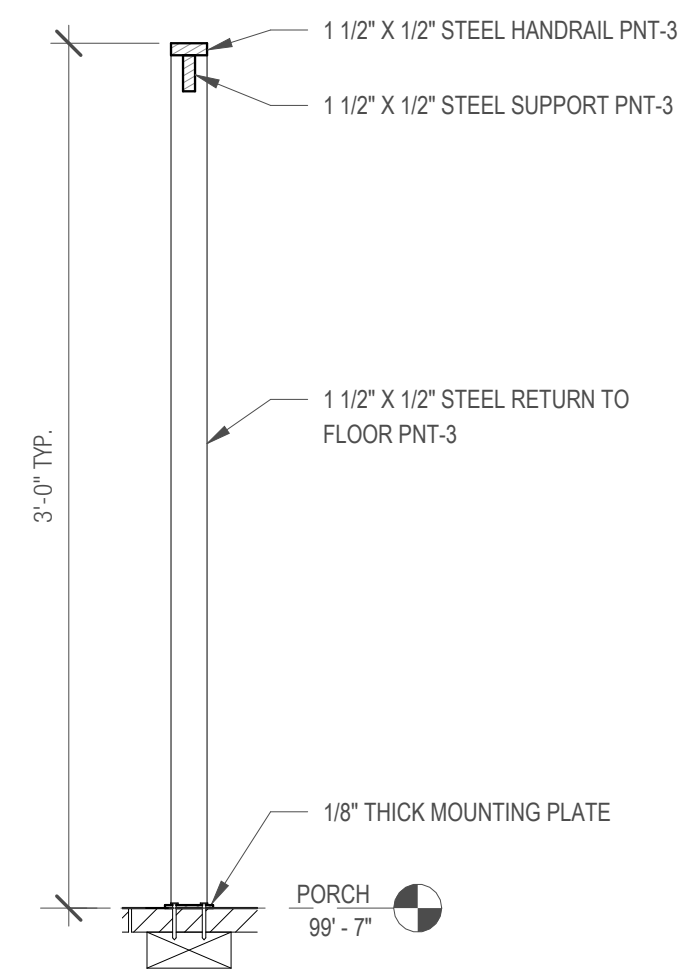


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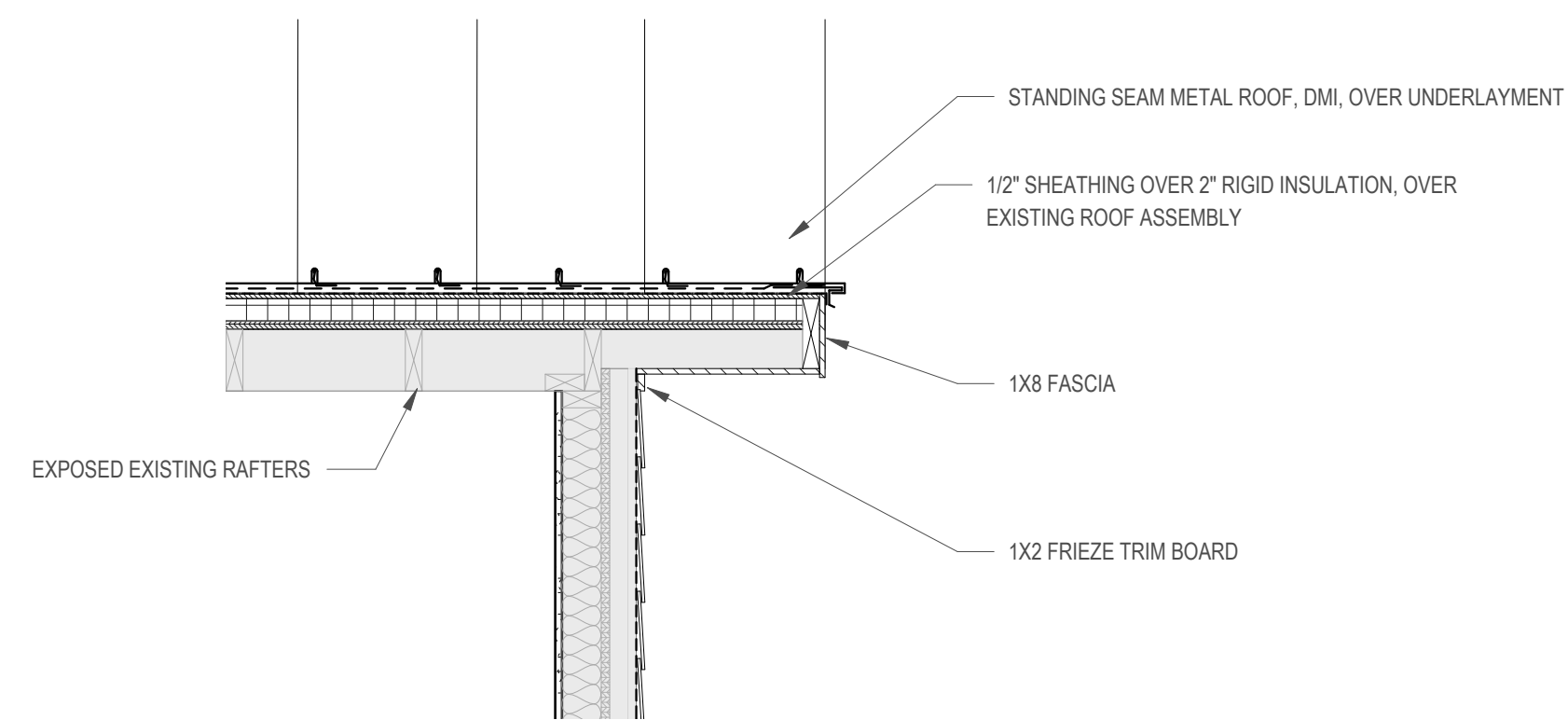
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T.614.321.5128 F.614.453.8728
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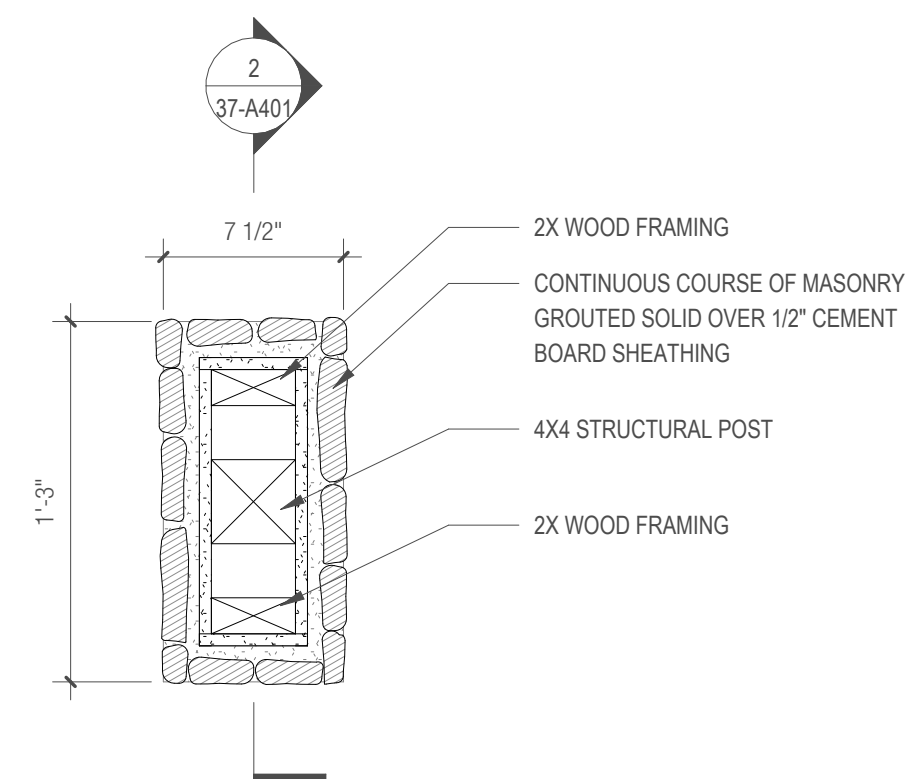
ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024
FINAL DEVELOPMENT PLAN R1	11/08/2024



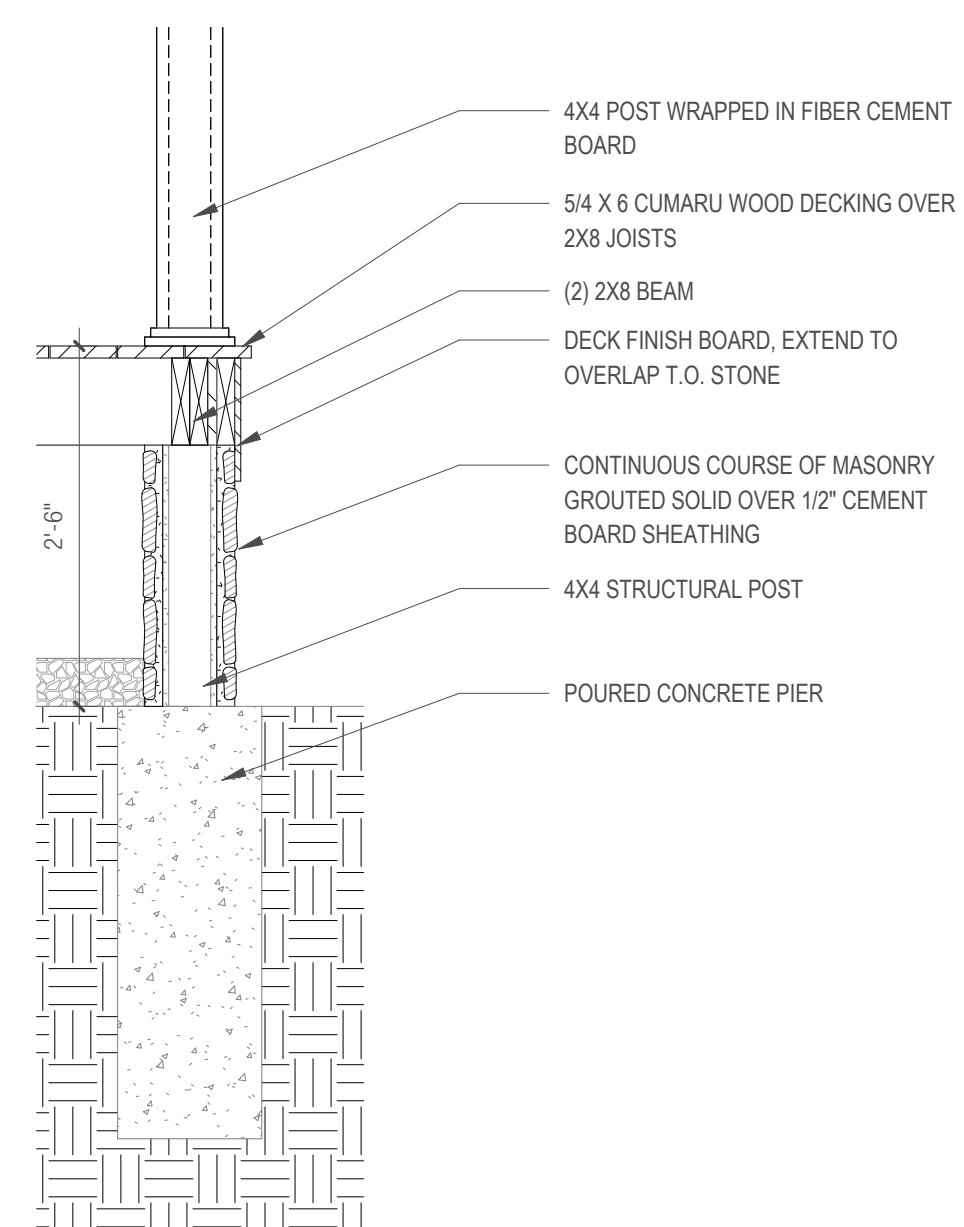
5 STEEL HANDRAIL DETAIL
1 1/2" = 1'-0"



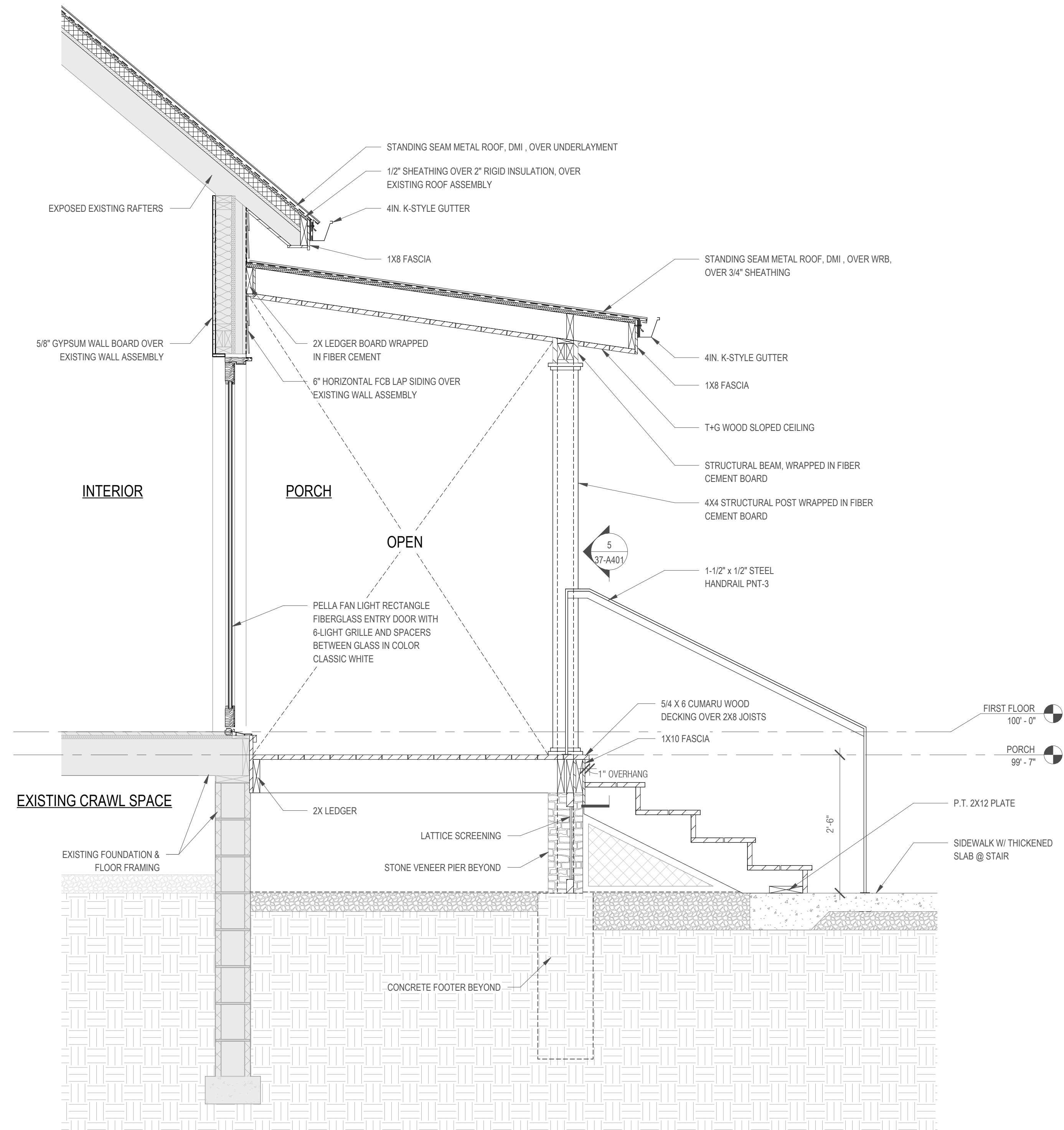
4 GABLE END DETAIL
3/4" = 1'-0"



3 STONE PORCH PIER PLAN DETAIL
1 1/2" = 1'-0"



2 STONE BASE WALL SECTION
3/4" = 1'-0"



1 WALL SECTION @ PORCH ENTRY
3/4" = 1'-0"

PRELIMINARY DOCUMENTS
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**37 N RIVERVIEW
DETAILS**

PROJECT # 23115
DATE 11/08/2024
DRAWN BY: PFI/AG REVIEWED BY: TL

SHEET #
37-A401

COHATCH RIVERVIEW

45 N. RIVERVIEW ST
DUBLIN, OH 43017



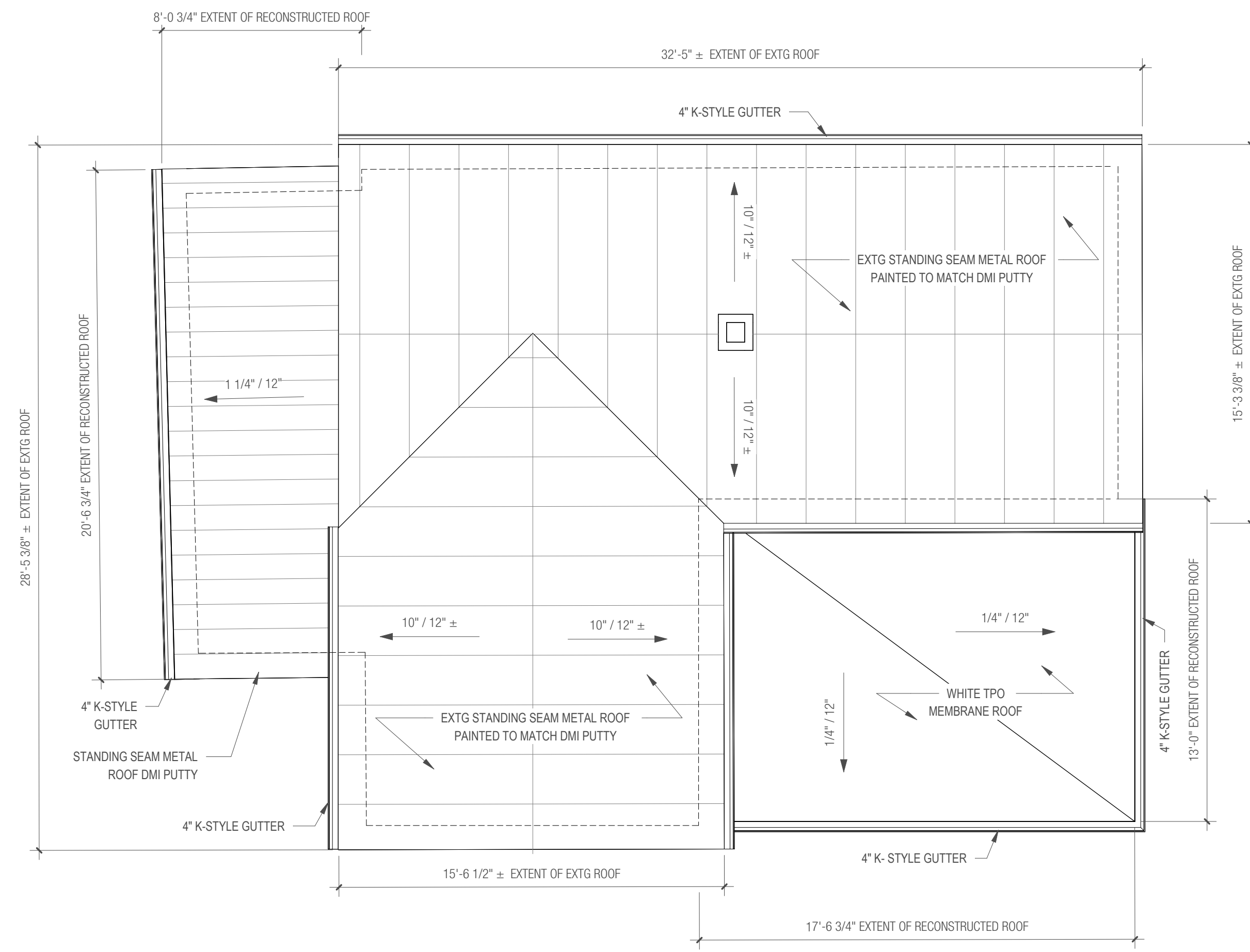
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Columbus, OH 43215
T.614.321.5128 F.614.453.8728
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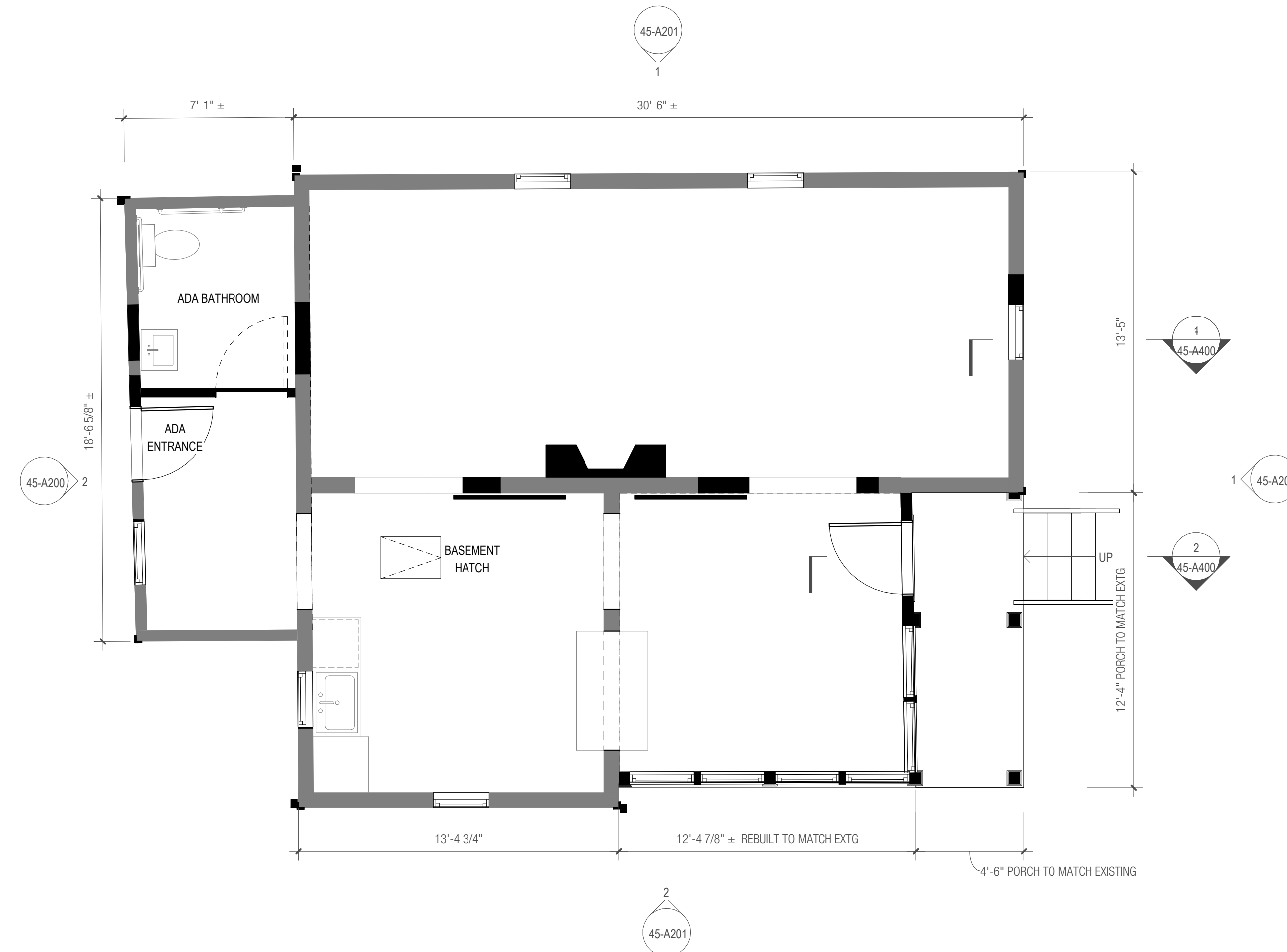
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PRELIMINARY DEVELOPMENT PLAN	09/18/24
FINAL DEVELOPMENT PLAN	10/10/24
FINAL DEVELOPMENT PLAN R1	11/08/24



2 ROOF PLAN
1/4" = 1'-0"



1 FIRST FLOOR PLAN
1/4" = 1'-0"
0' 1' 2' 4' 8'

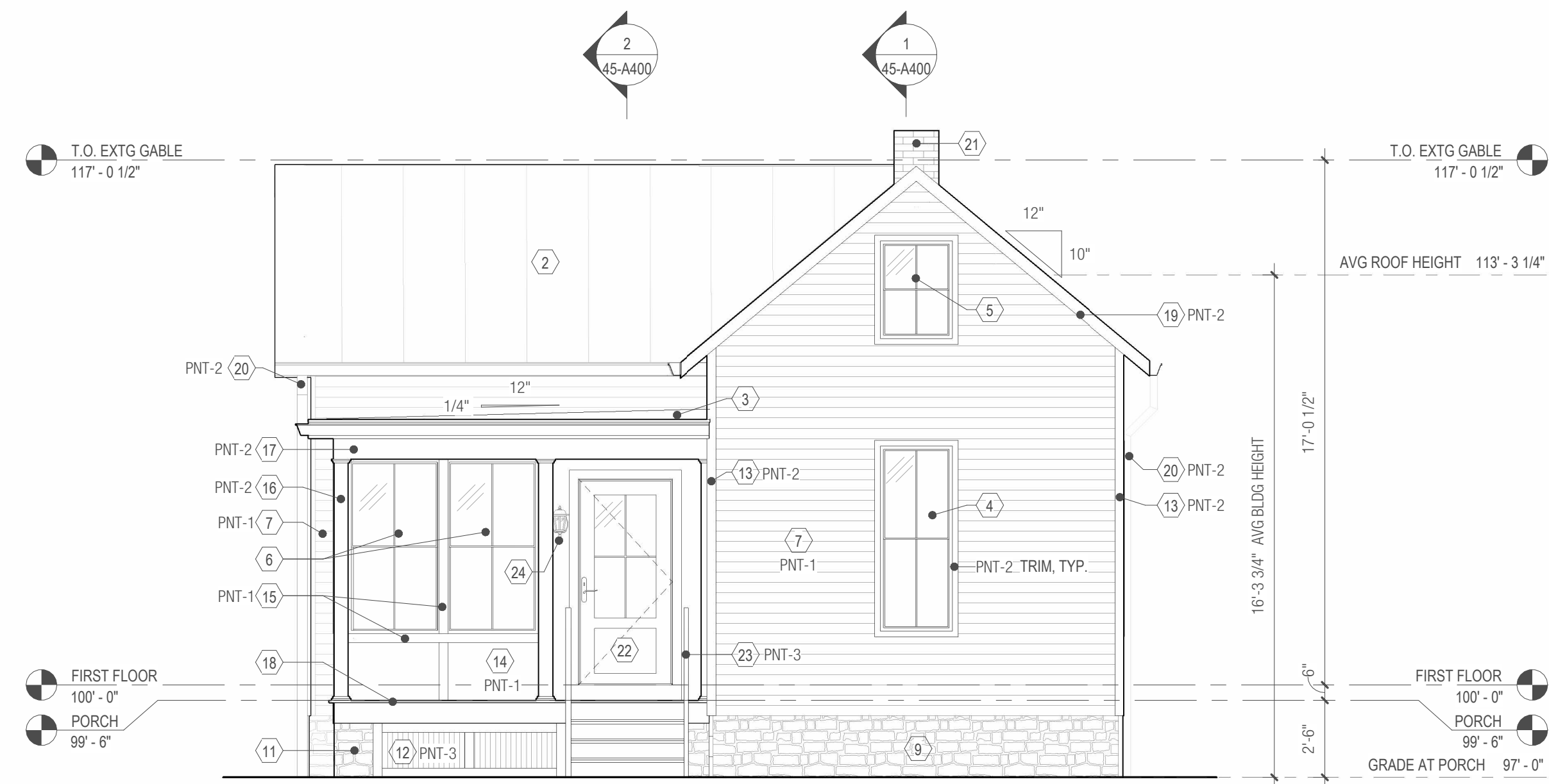
PRELIMINARY DOCUMENTS
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**45 N RIVERVIEW
FLOOR & ROOF PLAN**

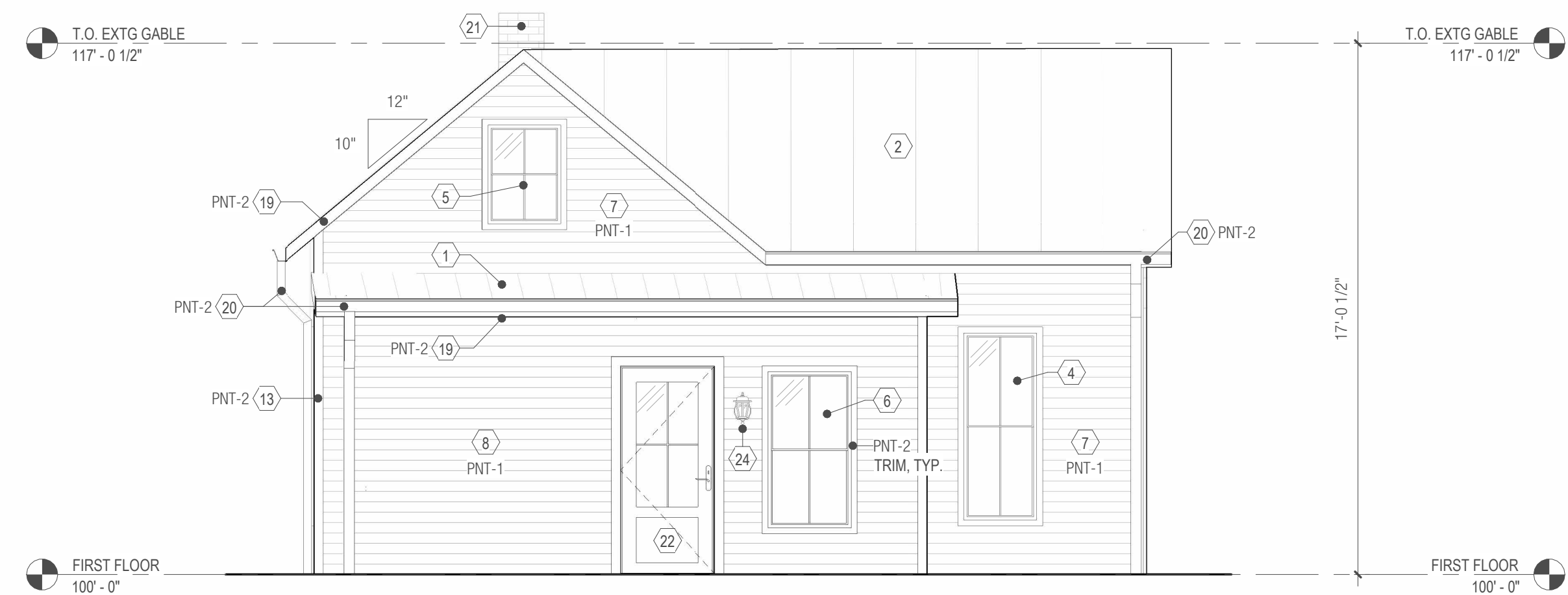
PROJECT # 23115
DATE 11/08/24
DRAWN BY: AG REVIEWED BY: TL

SHEET #
45-A100

COHATCH RIVERVIEW



1 EAST ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"
0' 1' 2' 4' 8'

EXTERIOR ELEVATION CODED NOTES

- 1 STANDING SEAM METAL ROOF DMI PUTTY
- 2 EXTG STANDING SEAM METAL ROOF PAINTED TO MATCH DMI PUTTY
- 3 WHITE TPO MEMBRANE ROOF
- 4 2-OVER-2 FIXED WINDOWS W/ WOOD TRIM CASING & SILL. WINDOW SASH FINISH PORTABELLO. RESTORE WINDOWS IF POSSIBLE, ONLY REPLACE IF NECESSARY
- 5 1-OVER-1 DOUBLE HUNG WINDOWS W/ WOOD TRIM CASING & SILL. WINDOW SASH FINISH PORTABELLO. RESTORE WINDOWS IF POSSIBLE, REPLACE ONLY IF NECESSARY
- 6 PELLA LIFESTYLE SERIES 2-OVER-2 DOUBLE HUNG WINDOWS, ALUMINUM CLAD WITH TRADITIONAL SIMULATED DIVIDED LIGHT GRILLE AND SPACERS BETWEEN GLASS PANELS. WINDOW SASH FINISH PORTABELLO.
- 7 RESTORED HISTORIC 4" CEDAR SIDING
- 8 4" CEDAR SIDING TO MATCH HISTORIC
- 9 EXISTING STACKED STONE FOUNDATION
- 10 STACKED STONE VENEER OVER EXISTING CMU FOUNDATION TO MATCH EXISTING STACKED STONE FOUNDATION
- 11 STACKED STONE PIER TO MATCH EXISTING STACKED STONE FOUNDATION
- 12 FRAMED OPEN VERTICAL PAINTED SOUTHERN YELLOW PINE LATTICE
- 13 RESTORED HISTORIC CEDAR CORNER TRIM
- 14 SMOOTH FIBER CEMENT BOARD CLADDING
- 15 SMOOTH FIBER CEMENT BOARD TRIM
- 16 6X6 COLUMN
- 17 6X8 BEAM
- 18 5/4 X 6 CUMARU WOOD DECKING
- 19 SMOOTH FIBER CEMENT BOARD FASCIA
- 20 4" K-STYLE GUTTER & DOWNSPOUT
- 21 BRICK CHIMNEY TO MATCH EXTG
- 22 TWO PANEL SHAKER EXTERIOR DOOR, PELLA FIBERGLASS ENTRY DOOR W/ TRADITIONAL SIMULATED DIVIDED LIGHT GRILLE AND SPACERS BETWEEN GLASS, IN COLOR RED BRICK OR EQUIVALENT
- 23 1-1/2" X 1/2" STEEL HANDRAIL PNT-3, SEE TYPICAL HANDRAIL DETAIL ON SHEET 37-A401
- 24 HINKLEY LIGHTING, MANOR HOUSE SMALL OUTDOOR WALL LIGHT, BLACK

FINISH LEGEND

- PNT-1 SHERWIN WILLIAMS, SW2848 ROYCROFT BRONZE GREEN
- PNT-2 SHERWIN WILLIAMS, SW7642 PAVESTONE
- PNT-3 SHERWIN WILLIAMS, SW9565 FORGED STEEL

COHATCH RIVERVIEW

45 N. RIVERVIEW ST
DUBLIN, OH 43017



Tim Lai Architect

401 W Town Street,
Columbus, OH 43215
T.614.321.5128 F.614.453.8728
info@laiarchitect.com
www.laiarchitect.com

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ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/24
FINAL DEVELOPMENT PLAN R1	11/08/24

PRELIMINARY DOCUMENTS
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**45 N RIVERVIEW
ELEVATIONS**

PROJECT # 23115
DATE 11/08/24
DRAWN BY: AG REVIEWED BY: TL

SHEET #

45-A200

COHATCH RIVERVIEW

COHATCH RIVERVIEW

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DUBLIN, OH 43017



Tim Lai Architect

401 W Town Street,
Columbus, OH 43215
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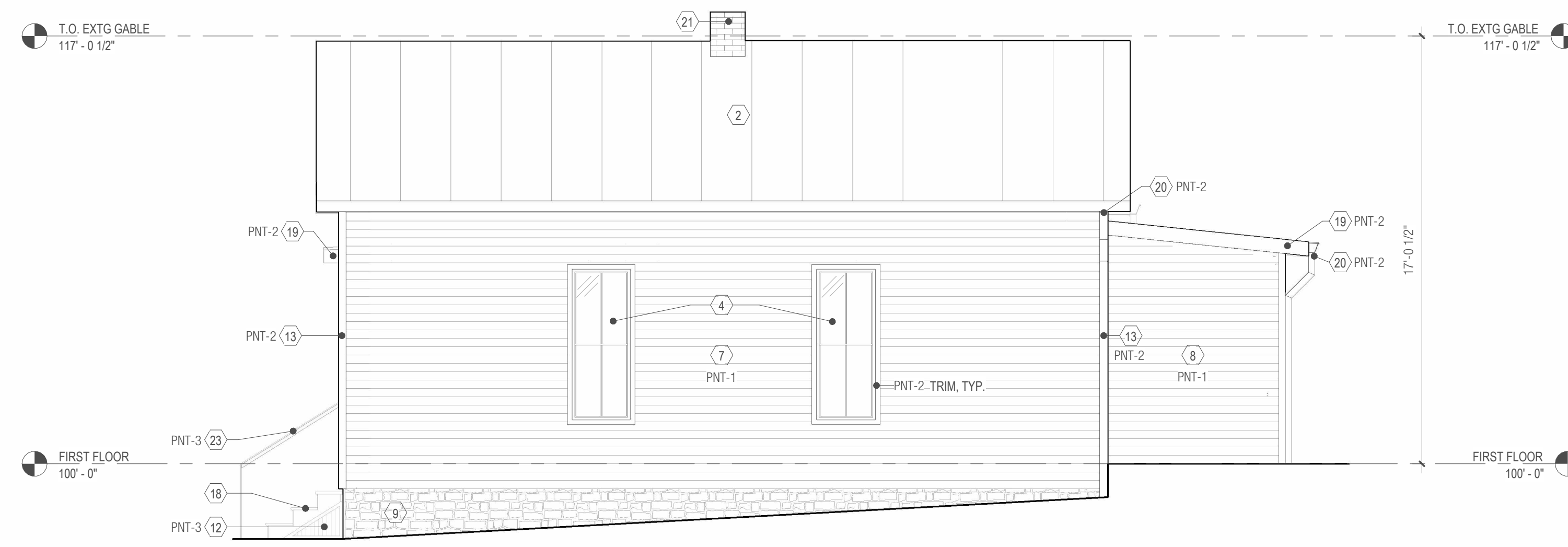
ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/24
FINAL DEVELOPMENT PLAN R1	11/08/24

EXTERIOR ELEVATION CODED NOTES

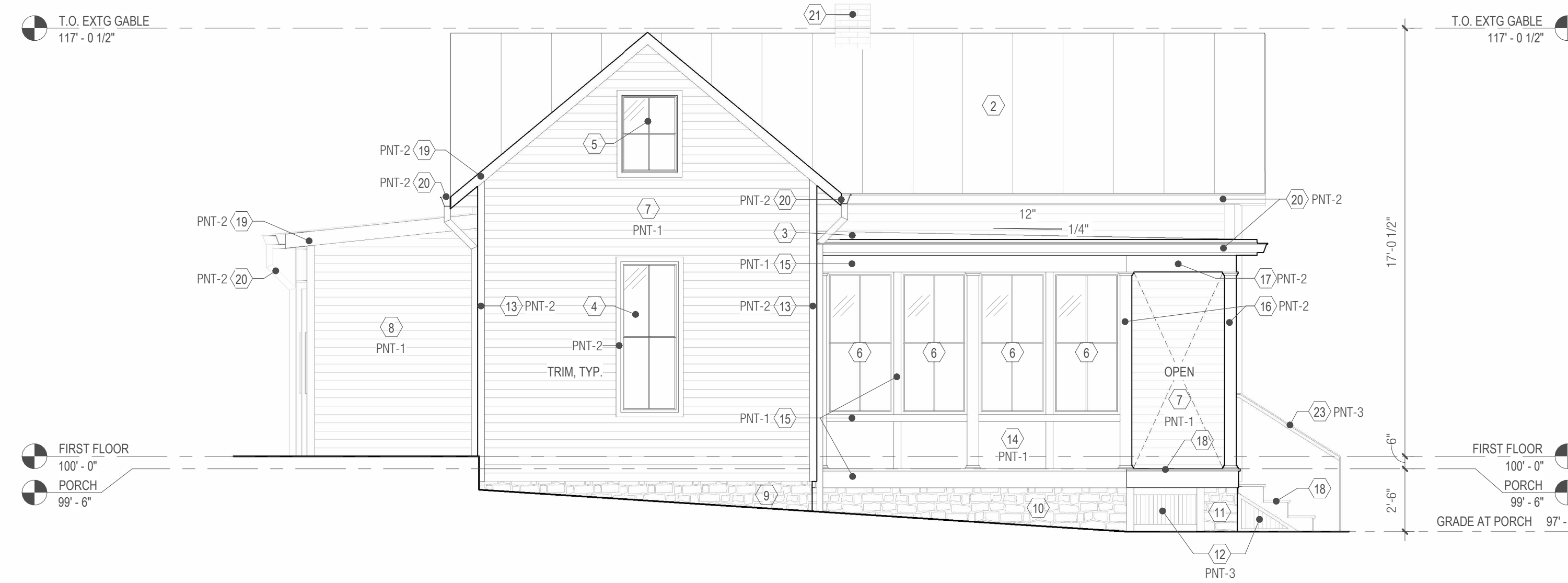
- 1 STANDING SEAM METAL ROOF DMI PUTTY
- 2 EXTG STANDING SEAM METAL ROOF PAINTED TO MATCH DMI PUTTY
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- 23 1-1/2" X 1/2" STEEL HANDRAIL PNT-3, SEE TYPICAL HANDRAIL DETAIL ON SHEET 37-A401
- 24 HINKLEY LIGHTING, MANOR HOUSE SMALL OUTDOOR WALL LIGHT, BLACK

FINISH LEGEND

- PNT-1 SHERWIN WILLIAMS, SW2848 ROYCROFT BRONZE GREEN
 PNT-2 SHERWIN WILLIAMS, SW7642 PAVESTONE
 PNT-3 SHERWIN WILLIAMS, SW9565 FORGED STEEL



1 NORTH ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"



PRELIMINARY DOCUMENTS
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45 N RIVERVIEW
ELEVATIONS

PROJECT #	23115
DATE	11/08/24
DRAWN BY:	AG
REVIEWED BY:	TL

SHEET #

45-A201

COHATCH RIVERVIEW

COHATCH RIVERVIEW

45 N. RIVERVIEW ST
DUBLIN, OH 43017

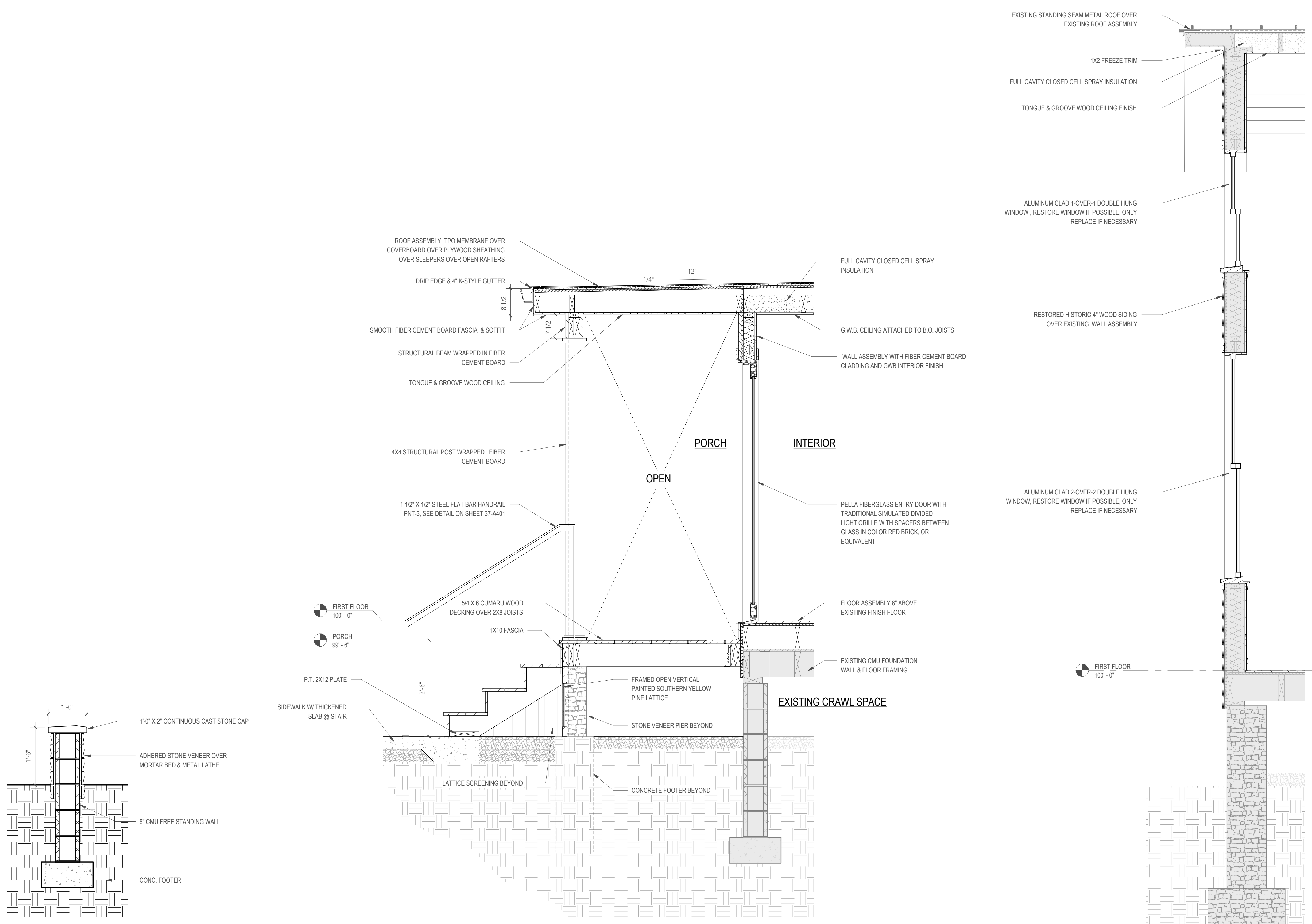


Tim Lai Architect

401 W Town Street,
Columbus, OH 43215
T.614.321.5128 F.614.453.8728
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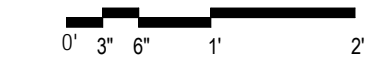
ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/24
FINAL DEVELOPMENT PLAN R1	11/08/24



3 PATIO KNEE WALL SECTION
3/4" = 1'-0"

2 WALL SECTION @ OPEN PORCH
3/4" = 1'-0"

1 WALL SECTION @ EXISTING WALL
3/4" = 1'-0"



PRELIMINARY DOCUMENTS
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45 N RIVERVIEW
DETAILS

PROJECT # 23115
DATE 11/08/24
DRAWN BY: AG REVIEWED BY: JF

SHEET #
45-A400

COHATCH RIVERVIEW

COHATCH RIVERVIEW

53 N. RIVERVIEW ST
DUBLIN, OH 43017

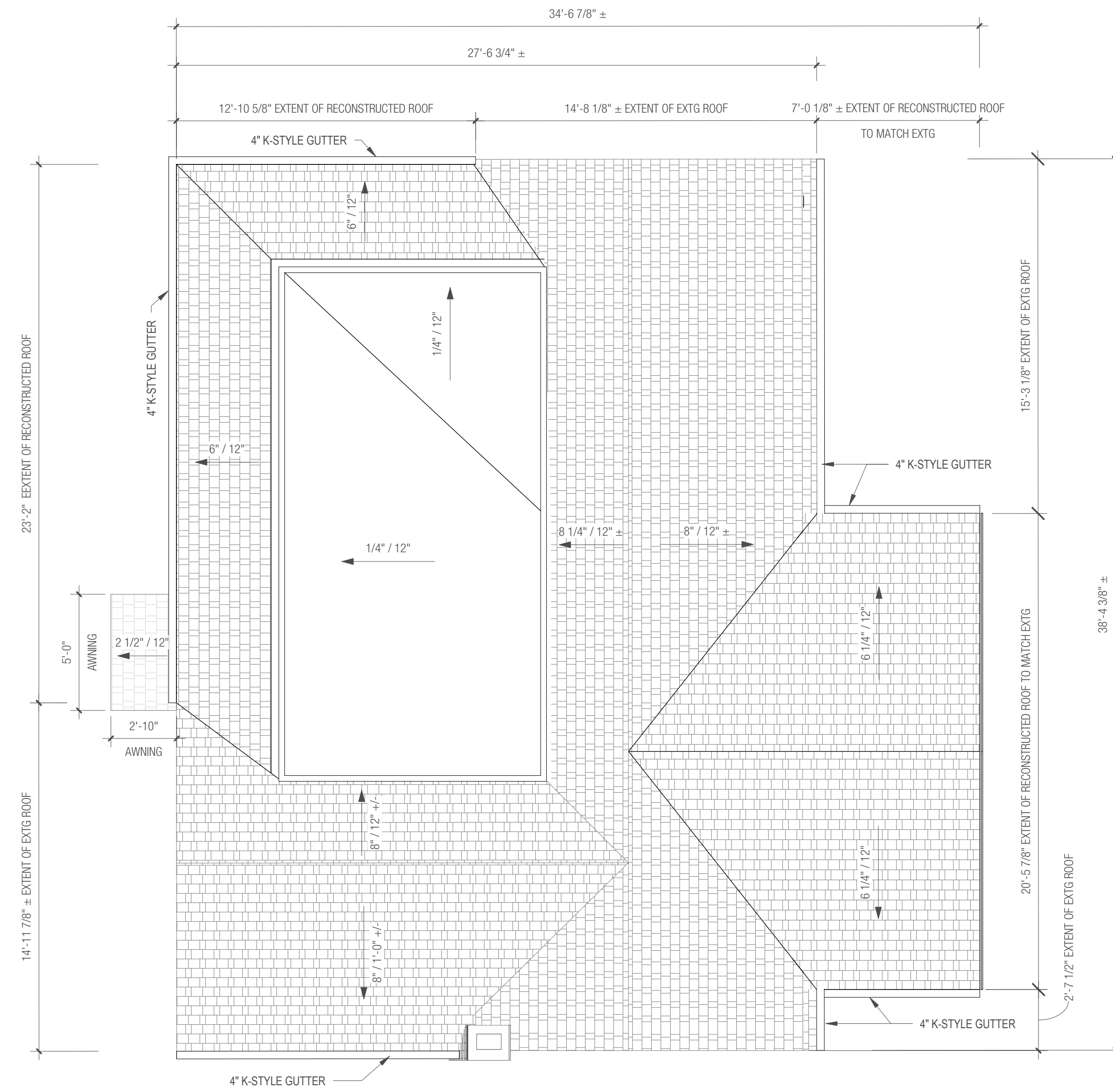


Tim Lai Architect

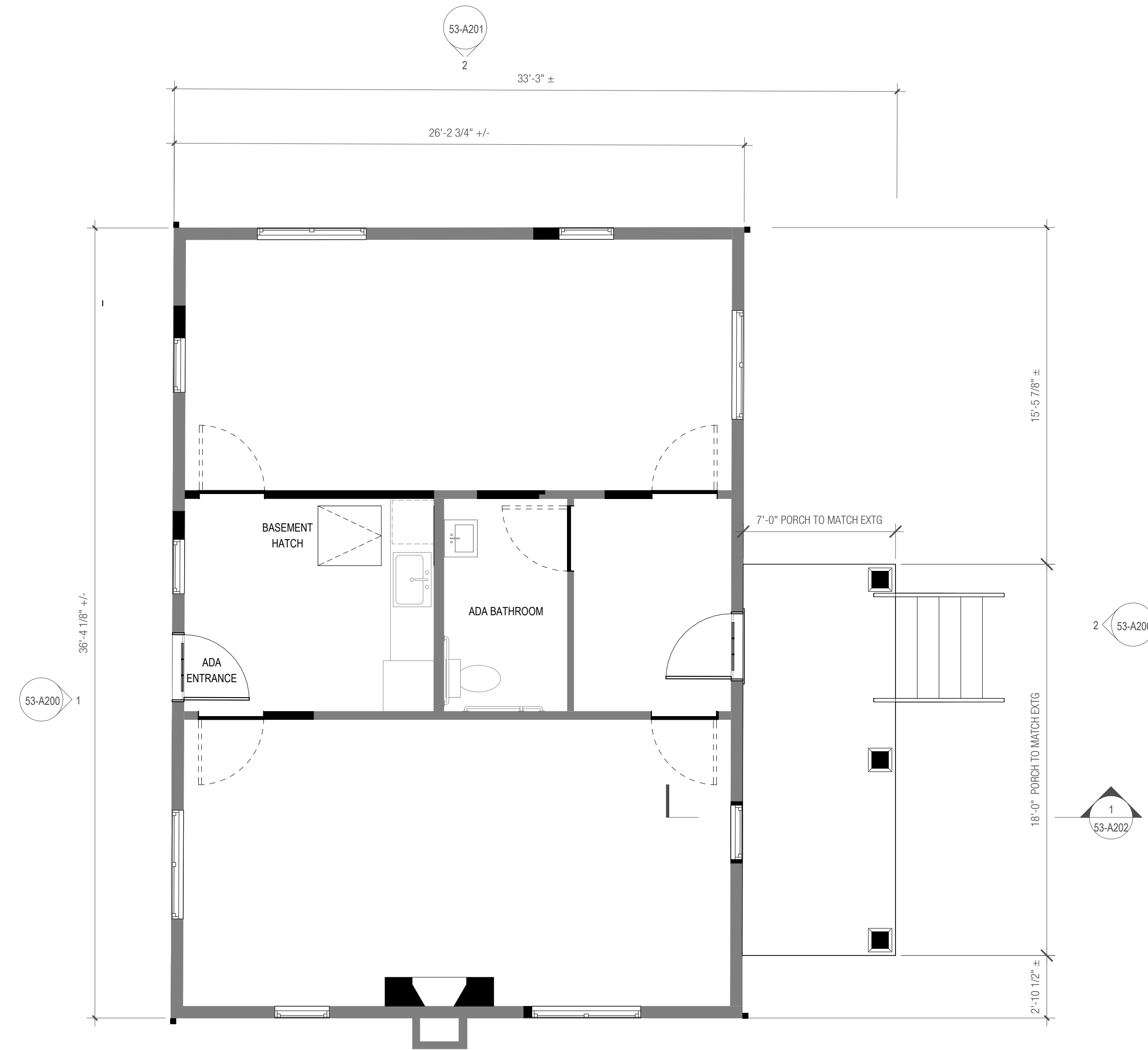
401 W Town Street,
Columbus, OH 43215
T.614.321.5128 F.614.453.8728
info@laiarchitect.com
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ISSUE DESCRIPTION	DATE
PRELIMINARY DEVELOPMENT PLAN	09/18/2024
FINAL DEVELOPMENT PLAN	10/10/2024
FINAL DEVELOPMENT PLAN R1	11/08/2024



2 ROOF PLAN
1/4" = 1'-0"



1 FIRST FLOOR PLAN
1/4" = 1'-0"



PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

53 FIRST FLOOR &
ROOF PLAN

PROJECT #	23115
DATE	11/08/2024
DRAWN BY:	AG
REVIEWED BY:	JF

SHEET #

53-A100

COHATCH RIVERVIEW

COHATCH RIVERVIEW

53 N. RIVERVIEW ST
DUBLIN, OH 43017



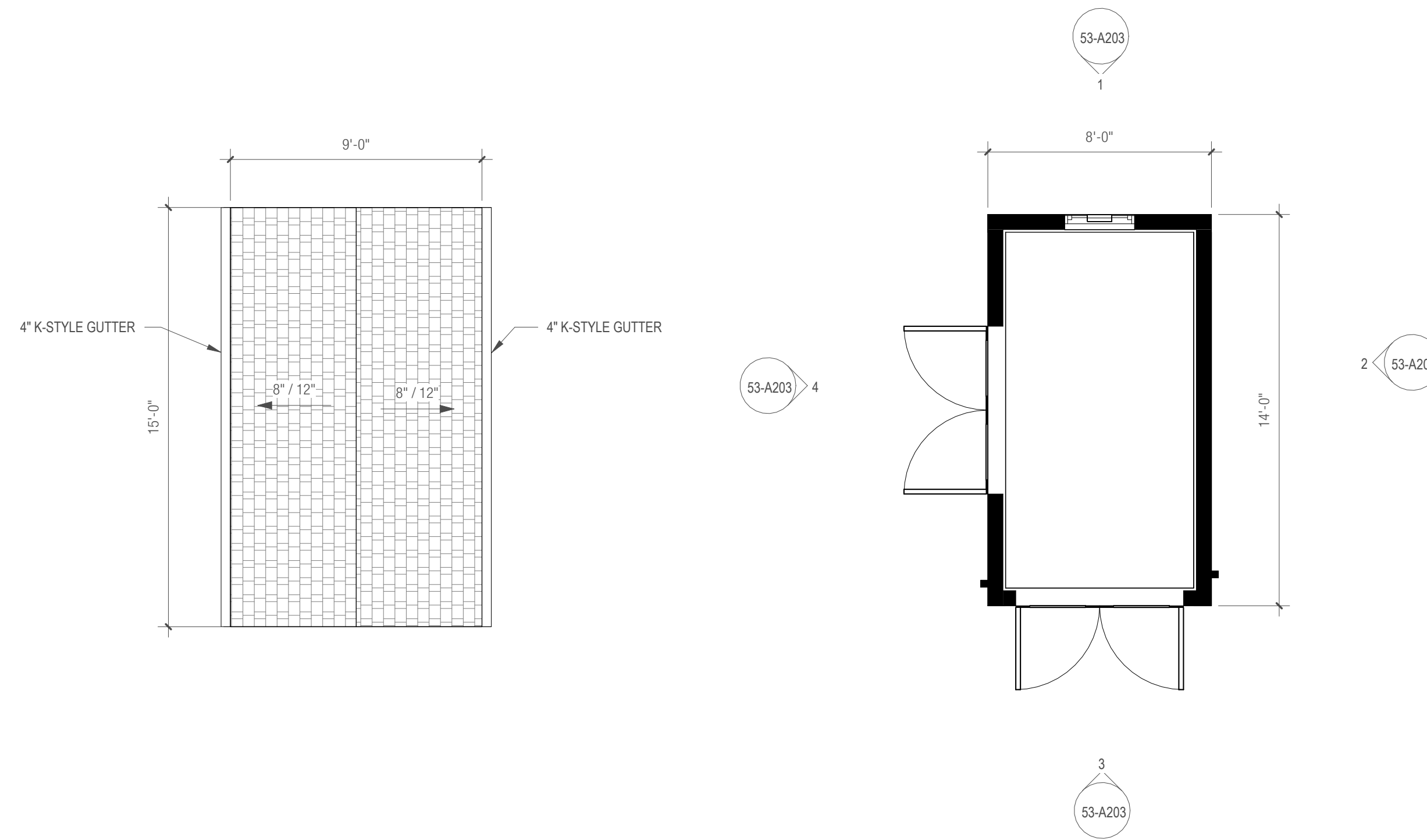
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ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024
FINAL DEVELOPMENT PLAN R1	11/08/2024



2 SHED ROOF PLAN
1/4" = 1'-0"

1 SHED FLOOR PLAN
1/4" = 1'-0"
0' 1' 2' 4' 8'

PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

**53 SHED FLOOR &
ROOF PLAN**

PROJECT # 23115
DATE 11/08/2024
DRAWN BY: PF REVIEWED BY: TL

SHEET #

53-A101

COHATCH RIVERVIEW

COHATCH RIVERVIEW

53 N. RIVERVIEW ST
DUBLIN, OH 43017



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Columbus, OH 43215
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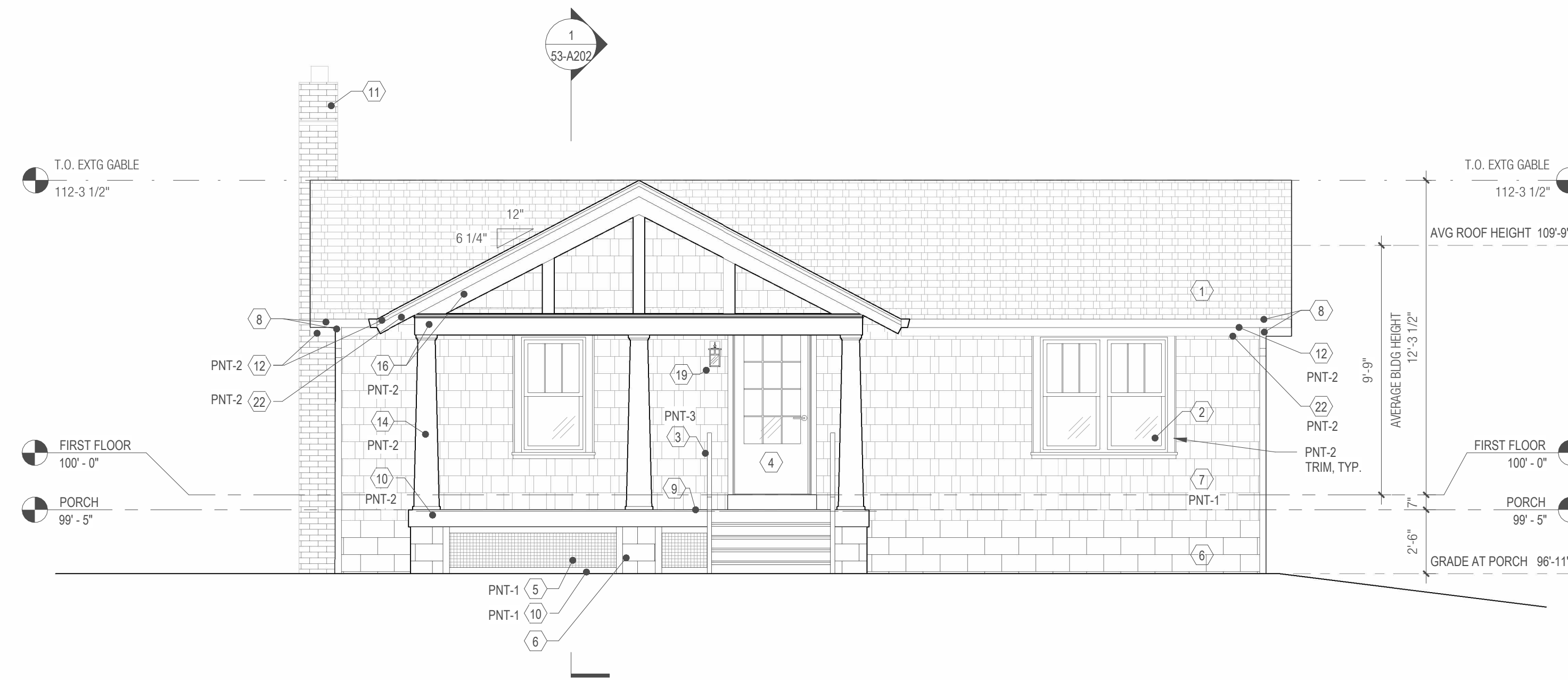
ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024
FINAL DEVELOPMENT PLAN R1	11/08/2024

EXTERIOR ELEVATION CODED NOTES

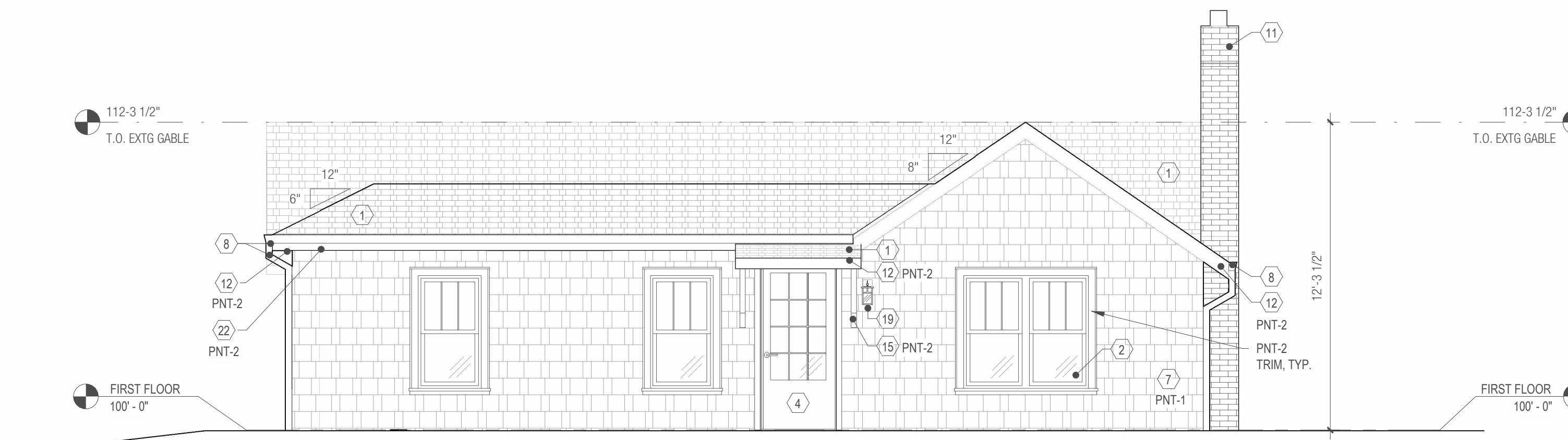
- GAF TIMBERLINE UHZ2 DIMENSIONAL ASPHALT SHINGLES IN COLOR PEWTER GRAY
- PELLA LIFESTYLE SERIES, ALUMINUM CLAD DOUBLE HUNG WINDOW W/ TRADITIONAL SIMULATED DIVIDED LIGHT GRILL OF 3-OVER-1 W/ SPACERS IN BETWEEN GLASS, WINDOW SASH FINISH RED BRICK, RESTORE WINDOWS IF POSSIBLE, ONLY REPLACE IF NECESSARY
- 1-1/2" X 1/2" STEEL HANDRAIL PNT-3, SEE TYPICAL DETAIL ON SHEET 37-A401
- PELLA FIBERGLASS ENTRY DOOR W/ TRADITIONAL SIMULATED DIVIDED LIGHT GRILLE, 3 OVER 4 W/ SPACES IN BETWEEN GLASS, FINISH COLOR-EARLY AMERICAN
- FRAMED OPEN ORTHOGONAL CROSS HATCH, PAINTED SOUTHERN PINE LATTICE
- EXISTING HISTORIC STACKED STONE FOUNDATION WHERE PRESENT, WHEN NOT PRESENT APPLY CLASSIC ROCK FACE BLOCK #201 FACING CAST CONCRETE VENEER OVER CMU
- JAMES HARDIE SIDING, HARDIE SINGLE STRAIGHT EDGE PANEL SIDING, 8IN., RESTORE ORIGINAL SIDING, ONLY REPLACE IF NECESSARY
- 4" K-STYLE GUTTER & DOWNSPOUT
- 5/4 X 6 CUMARU WOOD DECKING
- SMOOTH FIBER CEMENT BOARD TRIM
- EXISTING BRICK
- SMOOTH FIBER CEMENT BOARD FASCIA
- RESTORE ORIGINAL VENTS
- SMOOTH FIBER CEMENT BOARD WRAPPED STRUCTURAL COLUMNS
- ROOF AWNING STRUCTURAL SUPPORTS, WOOD
- PORCH OPEN TRUSS SYSTEM
- BARN DOOR
- CLASSIC WAREHOUSE SHADE WALL LIGHT, BLACK, 12"
- COLDWATER 4053 OUTDOOR WALL LIGHT, MAXIM LIGHTING, BURNISHED FINISH, HONEY SHADE
- BARN DOOR TRACK
- 1X3 TRIM
- EXPOSED RAFTERS @ UNDERSIDE OF EAVE
- VENT TO MATCH ORIGINAL ON MAIN STRUCTURE

FINISH LEGEND

- PNT-1 SHERWIN WILLIAMS, SW2826 COLONIAL REVIVAL GREEN STONE
- PNT-2 SHERWIN WILLIAMS, SW2846 ROYCROFT BRONZE GREEN
- PNT-3 SHERWIN WILLIAMS, SW9565 FORGED STEEL



2 EAST ELEVATION
1/4" = 1'-0"



1 WEST ELEVATION
1/4" = 1'-0"

PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

53 N RIVERVIEW
ELEVATIONS

PROJECT #	23115
DATE	11/08/2024
DRAWN BY: PF	REVIEWED BY: TL

SHEET #

53-A200

COHATCH RIVERVIEW

COHATCH RIVERVIEW

53 N. RIVERVIEW ST
DUBLIN, OH 43017



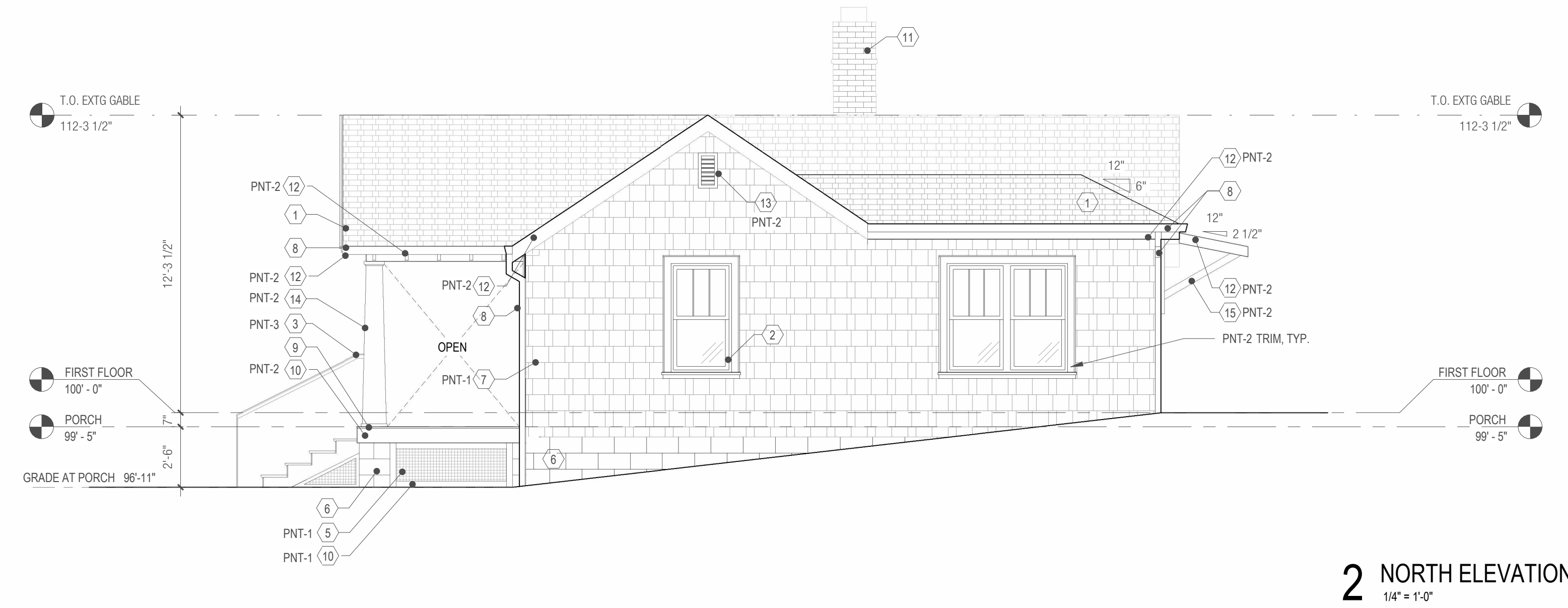
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401 W Town Street,
Columbus, OH 43215
T.614.321.5128 F.614.453.8728
info@laiarchitect.com
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ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024
FINAL DEVELOPMENT PLAN R1	11/08/2024



2 NORTH ELEVATION
1/4" = 1'-0"

EXTERIOR ELEVATION CODED NOTES

- GAF TIMBERLINE UHZ2 DIMENSIONAL ASPHALT SHINGLES IN COLOR PEWTER GRAY
- PELLA LIFESTYLE SERIES, ALUMINUM CLAD DOUBLE HUNG WINDOW W/ TRADITIONAL SIMULATED DIVIDED LIGHT GRILL OF 3-OVER-1 W/ SPACERS IN BETWEEN GLASS, WINDOW SASH FINISH RED BRICK, RESTORE WINDOWS IF POSSIBLE, ONLY REPLACE IF NECESSARY
- 1-1/2" X 1/2" STEEL HANDRAIL PNT-3, SEE TYPICAL DETAIL ON SHEET 37-A401
- PELLA FIBERGLASS ENTRY DOOR W/ TRADITIONAL SIMULATED DIVIDED LIGHT GRILLE, 3 OVER 4 W/ SPACES IN BETWEEN GLASS, FINISH COLOR-EARLY AMERICAN
- FRAMED OPEN ORTHOGONAL CROSS HATCH, PAINTED SOUTHERN PINE LATTICE
- EXISTING HISTORIC STACKED STONE FOUNDATION WHERE PRESENT, WHEN NOT PRESENT APPLY CLASSIC ROCK FACE BLOCK #201 FACING CAST CONCRETE VENEER OVER CMU
- JAMES HARDIE SIDING, HARDIE SINGLE STRAIGHT EDGE PANEL SIDING, 8IN., RESTORE ORIGINAL SIDING, ONLY REPLACE IF NECESSARY
- 4" K-STYLE GUTTER & DOWNSPOUT
- 5/4 X 6 CUMARU WOOD DECKING
- SMOOTH FIBER CEMENT BOARD TRIM
- EXISTING BRICK
- SMOOTH FIBER CEMENT BOARD FASCIA
- RESTORE ORIGINAL VENTS
- SMOOTH FIBER CEMENT BOARD WRAPPED STRUCTURAL COLUMNS
- ROOF AWNING STRUCTURAL SUPPORTS, WOOD
- PORCH OPEN TRUSS SYSTEM
- BARN DOOR
- CLASSIC WAREHOUSE SHADE WALL LIGHT, BLACK, 12"
- COLDWATER 4053 OUTDOOR WALL LIGHT, MAXIM LIGHTING, BURNISHED FINISH, HONEY SHADE
- BARN DOOR TRACK
- 1X3 TRIM
- EXPOSED RAFTERS @ UNDERSIDE OF EAVE
- VENT TO MATCH ORIGINAL ON MAIN STRUCTURE

FINISH LEGEND

- PNT-1 SHERWIN WILLIAMS, SW2826 COLONIAL REVIVAL GREEN STONE
- PNT-2 SHERWIN WILLIAMS, SW2846 ROYCROFT BRONZE GREEN
- PNT-3 SHERWIN WILLIAMS, SW9565 FORGED STEEL



1 SOUTH ELEVATION
1/4" = 1'-0"

PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

53 N RIVERVIEW
ELEVATIONS

PROJECT #	23115
DATE	11/08/2024
DRAWN BY:	PF
REVIEWED BY:	TL

SHEET #

53-A201

COHATCH RIVERVIEW

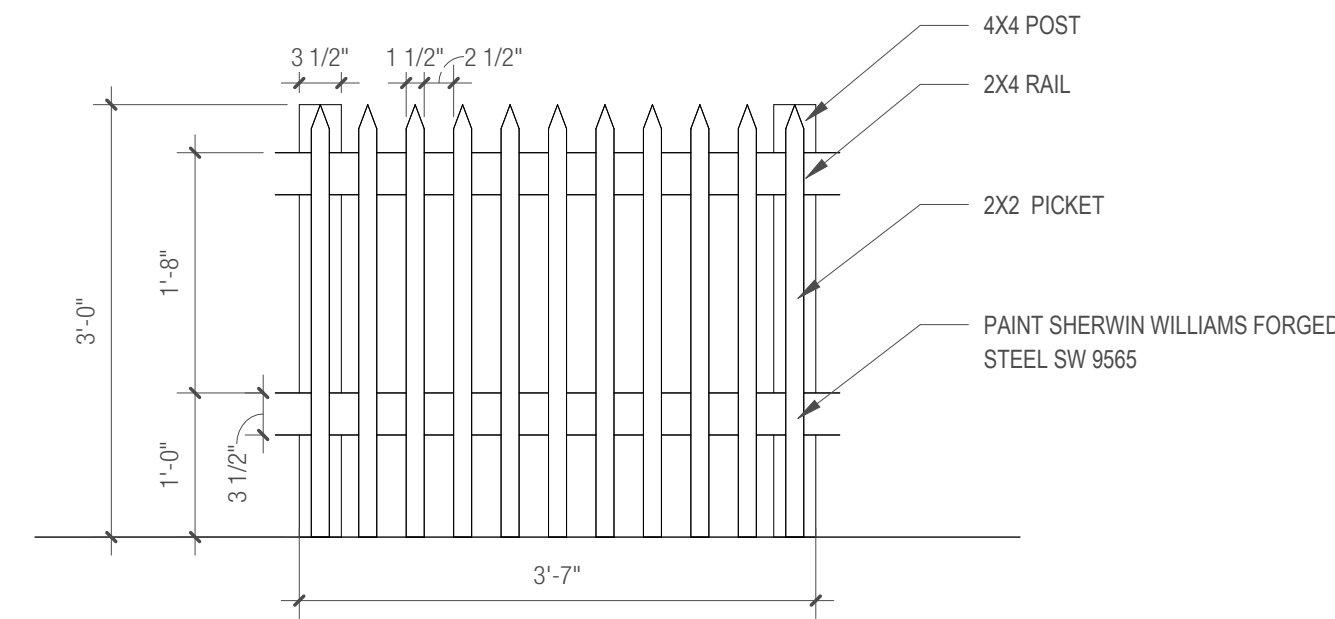


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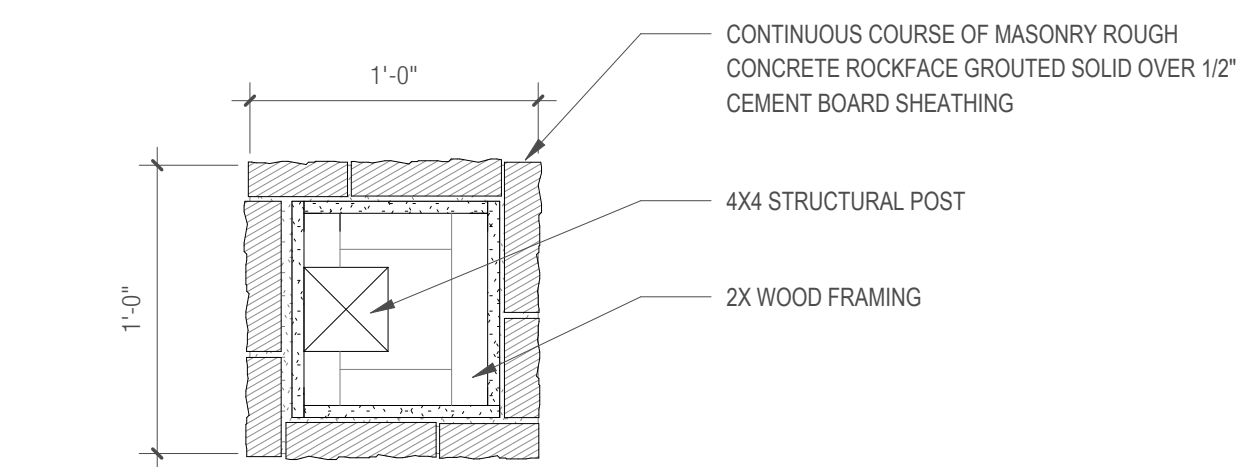
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T.614.321.5128 F.614.453.8728
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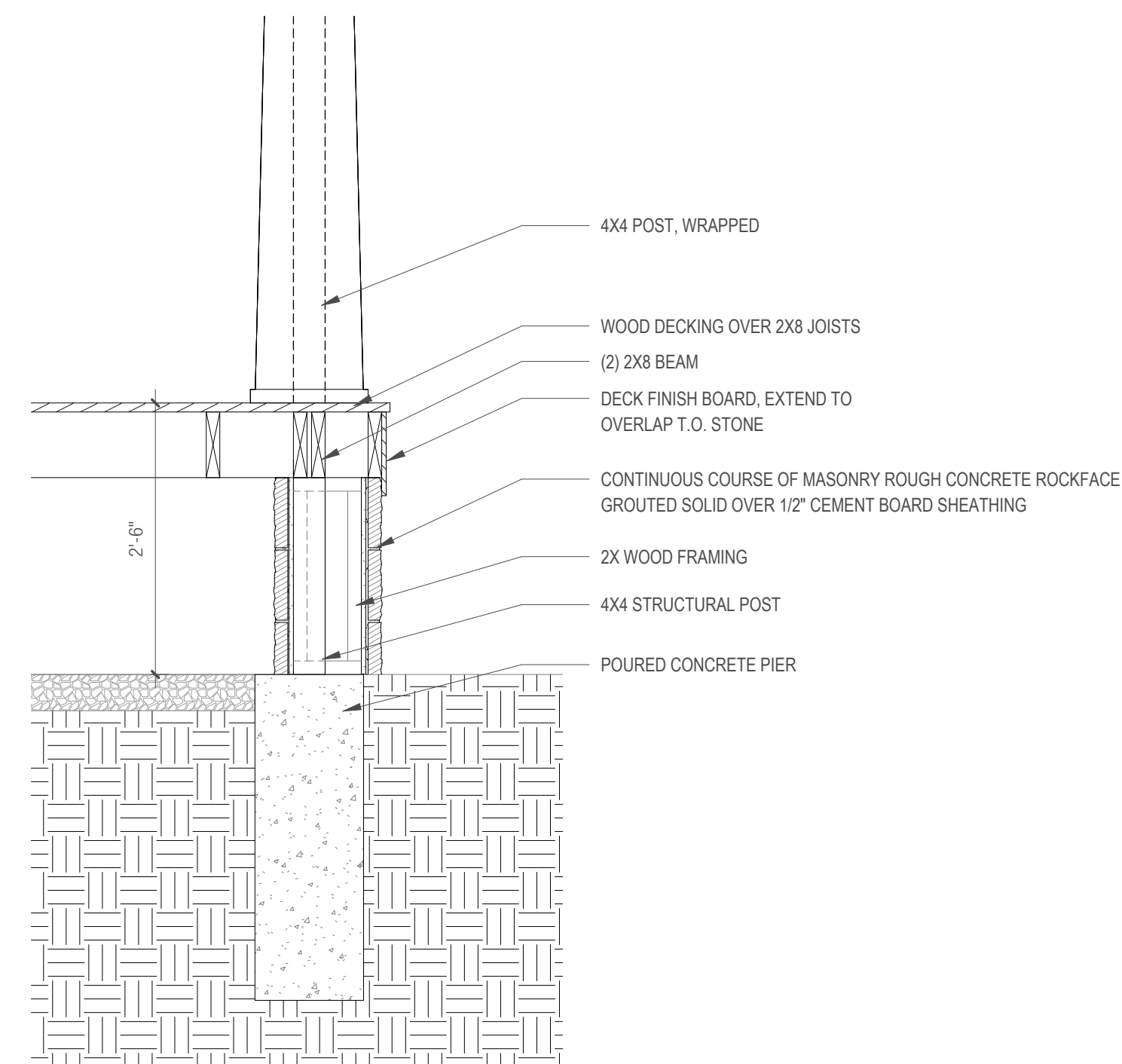
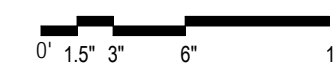
ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024
FINAL DEVELOPMENT PLAN R1	11/08/2024



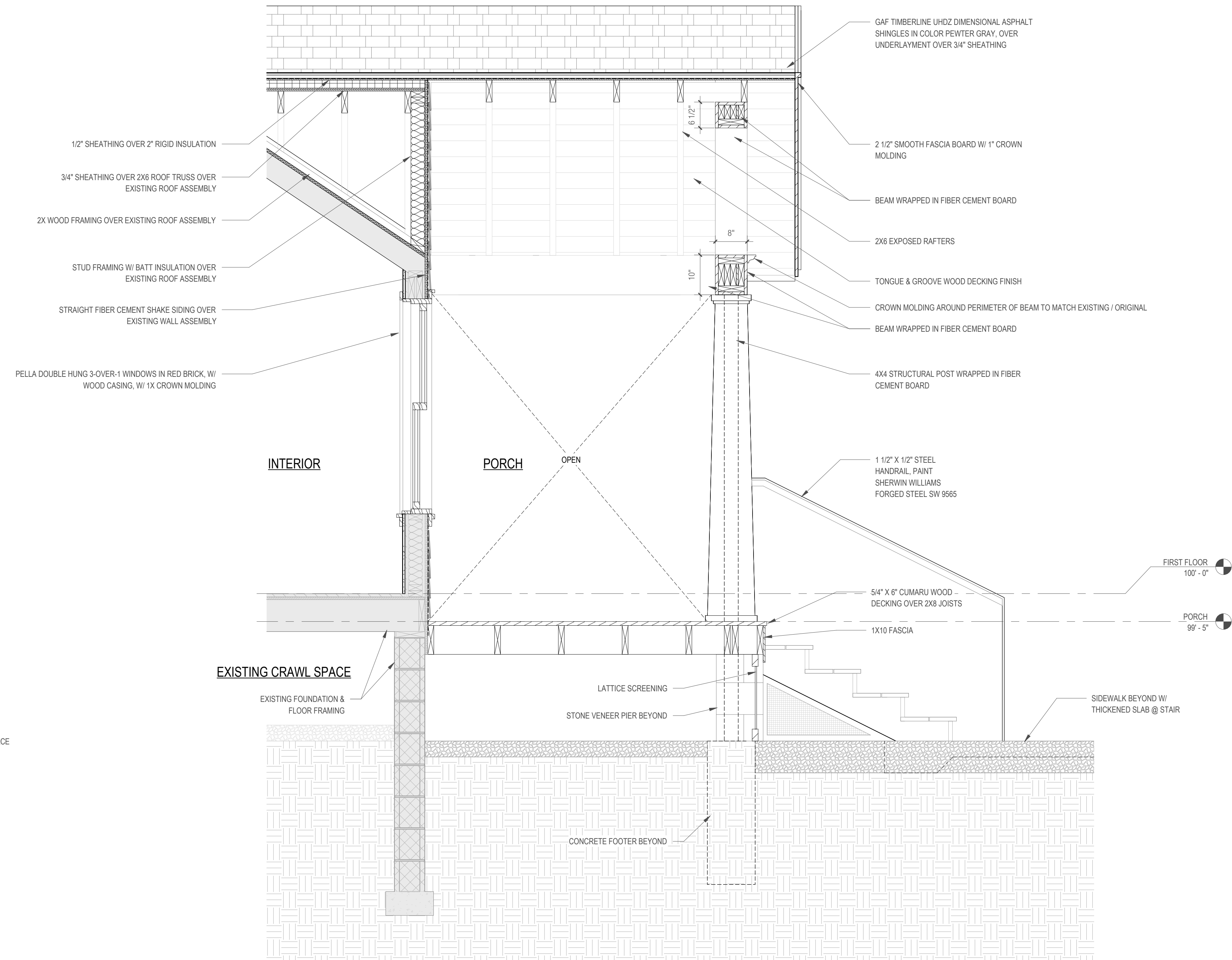
4 PATIO FENCE ELEVATION
3/4" = 1'-0"



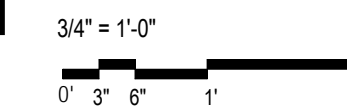
3 STONE PORCH PIER PLAN DETAIL
1 1/2" = 1'-0"



2 STONE BASE WALL SECTION
3/4" = 1'-0"



1 WALL SECTION @PORCH ENTRY



PRELIMINARY DOCUMENTS
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**53 N RIVERVIEW
DETAILS**

PROJECT # 23115
DATE 11/08/2024
DRAWN BY: PF REVIEWED BY: TL

SHEET #

53-A202

COHATCH RIVERVIEW

53 N. RIVERVIEW ST
DUBLIN, OH 43017



Tim Lai Architect

401 W Town Street,
Columbus, OH 43215
T.614.321.5128 F.614.453.8728
info@laiarchitect.com
www.laiarchitect.com

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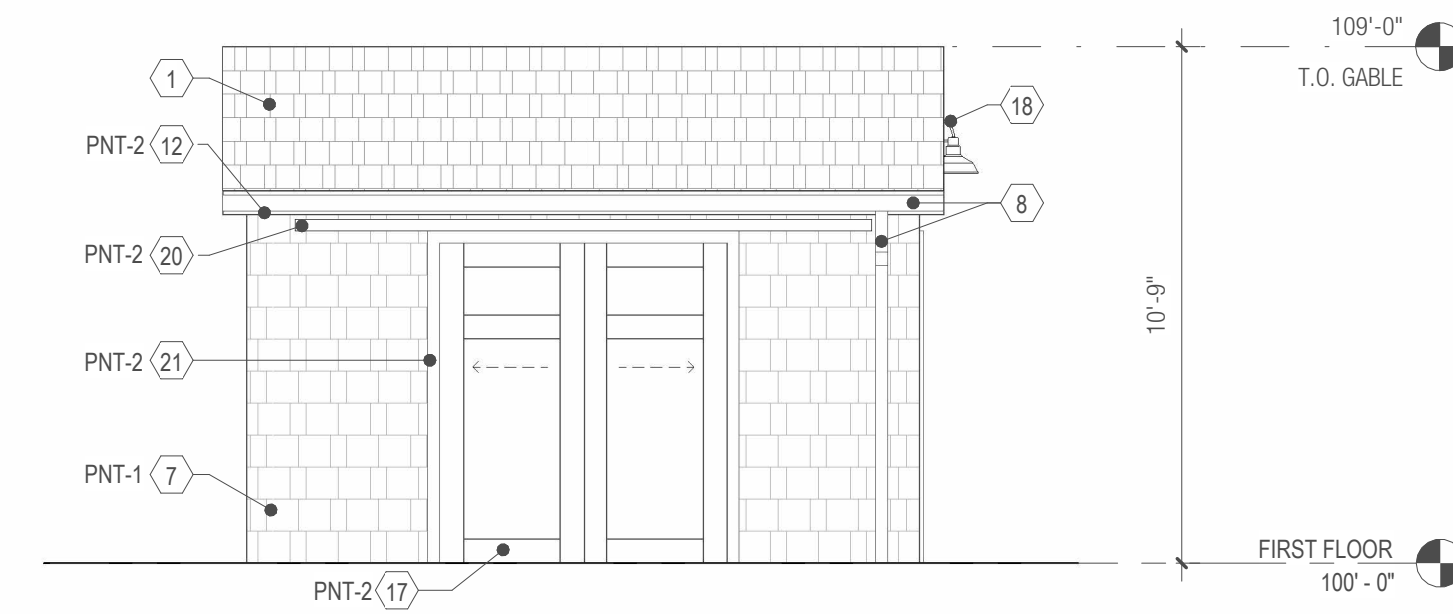
ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024
FINAL DEVELOPMENT PLAN R1	11/08/2024

EXTERIOR ELEVATION CODED NOTES

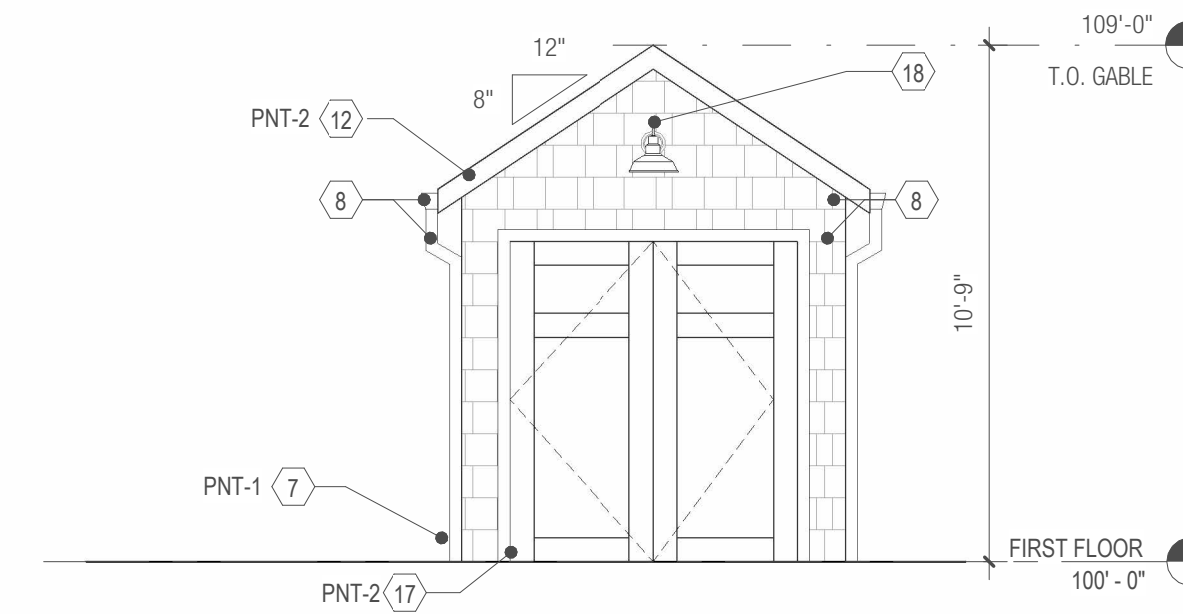
- 1 GAF TIMBERLINE UHZ2 DIMENSIONAL ASPHALT SHINGLES IN COLOR PEWTER GRAY
- 2 PELLA LIFESTYLE SERIES, ALUMINUM CLAD DOUBLE HUNG WINDOW W/ TRADITIONAL SIMULATED DIVIDED LIGHT GRILL OF 3-OVER-1 W/ SPACERS IN BETWEEN GLASS, WINDOW SASH FINISH RED BRICK, RESTORE WINDOWS IF POSSIBLE, ONLY REPLACE IF NECESSARY
- 3 1-1/2" X 1/2" STEEL HANDRAIL PNT-3, SEE TYPICAL DETAIL ON SHEET 37-A401
- 4 PELLA FIBERGLASS ENTRY DOOR W/ TRADITIONAL SIMULATED DIVIDED LIGHT GRILLE, 3 OVER 4 W/ SPACES IN BETWEEN GLASS, FINISH COLOR-EARLY AMERICAN
- 5 FRAMED OPEN ORTHOGONAL CROSS HATCH, PAINTED SOUTHERN PINE LATTICE
- 6 EXISTING HISTORIC STACKED STONE FOUNDATION WHERE PRESENT, WHEN NOT PRESENT APPLY CLASSIC ROCK FACE BLOCK #201 FACING CAST CONCRETE VENEER OVER CMU
- 7 JAMES HARDIE SIDING, HARDIE SINGLE STRAIGHT EDGE PANEL SIDING, 8IN., RESTORE ORIGINAL SIDING, ONLY REPLACE IF NECESSARY
- 8 4" K-STYLE GUTTER & DOWNSPOUT
- 9 5/4 X 6 CUMARU WOOD DECKING
- 10 SMOOTH FIBER CEMENT BOARD TRIM
- 11 EXISTING BRICK
- 12 SMOOTH FIBER CEMENT BOARD FASCIA
- 13 RESTORE ORIGINAL VENTS
- 14 SMOOTH FIBER CEMENT BOARD WRAPPED STRUCTURAL COLUMNS
- 15 ROOF AWNING STRUCTURAL SUPPORTS, WOOD
- 16 PORCH OPEN TRUSS SYSTEM
- 17 BARN DOOR
- 18 CLASSIC WAREHOUSE SHADE WALL LIGHT, BLACK, 12"
- 19 COLDWATER 4053 OUTDOOR WALL LIGHT, MAXIM LIGHTING, BURNISHED FINISH, HONEY SHADE
- 20 BARN DOOR TRACK
- 21 1X3 TRIM
- 22 EXPOSED RAFTERS @ UNDERSIDE OF EAVE
- 23 VENT TO MATCH ORIGINAL ON MAIN STRUCTURE

FINISH LEGEND

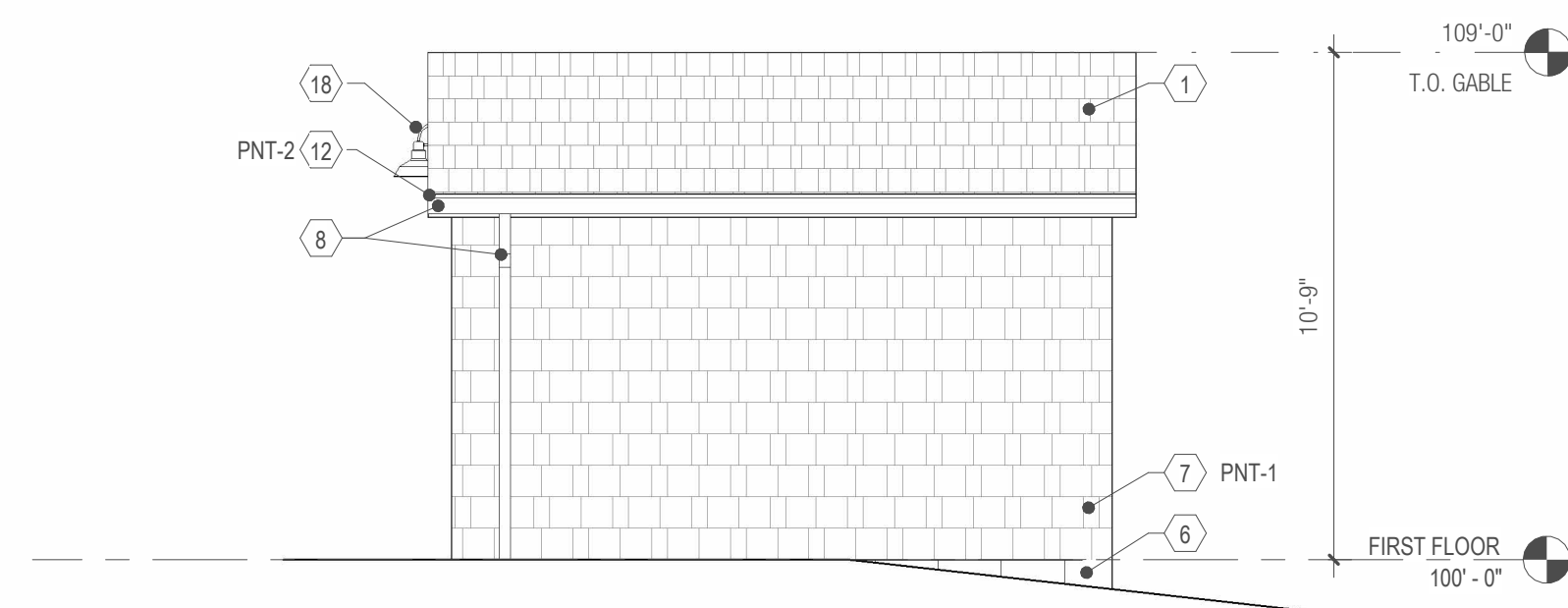
- PNT-1 SHERWIN WILLIAMS, SW2826 COLONIAL REVIVAL GREEN STONE
- PNT-2 SHERWIN WILLIAMS, SW2846 ROYCROFT BRONZE GREEN
- PNT-3 SHERWIN WILLIAMS, SW9565 FORGED STEEL



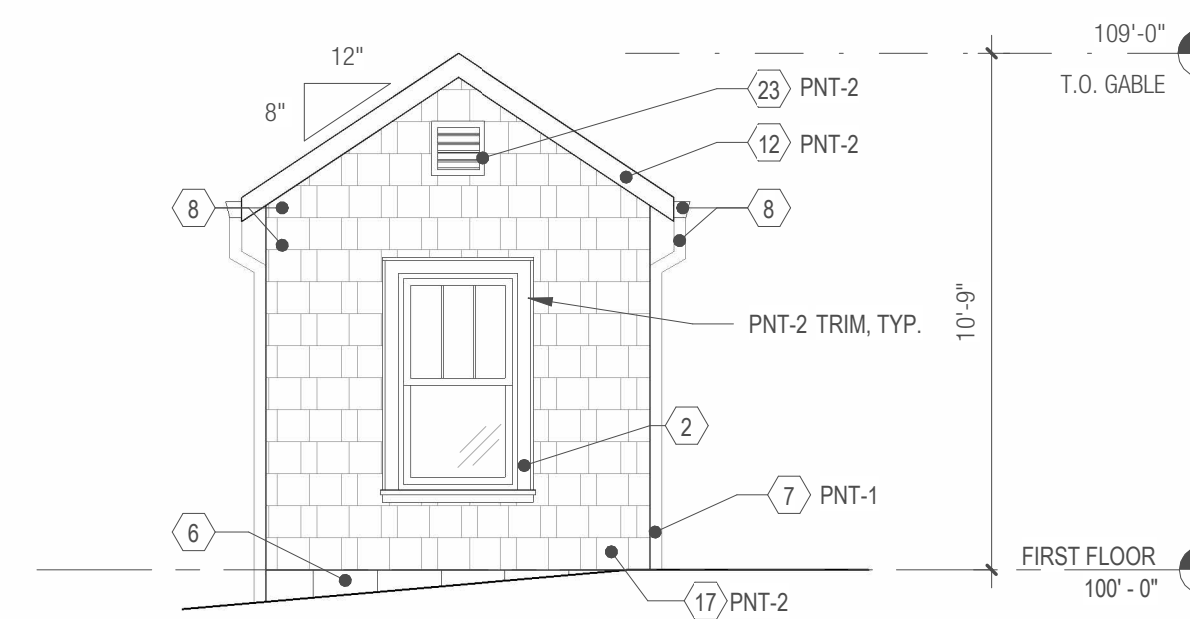
4 SHED WEST ELEVATION
1/4" = 1'-0"



3 SHED SOUTH ELEVATION
1/4" = 1'-0"



2 SHED EAST ELEVATION
1/4" = 1'-0"



1 SHED NORTH ELEVATION
1/4" = 1'-0"
0 1 2 4 8

PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

53 N RIVERVIEW
SHED ELEVATIONS

PROJECT #	23115
DATE	11/08/2024
DRAWN BY: PF	REVIEWED BY: TL

SHEET #

53-A203

COHATCH RIVERVIEW

COHATCH RIVERVIEW

62 N. RIVERVIEW ST
DUBLIN, OH 43017



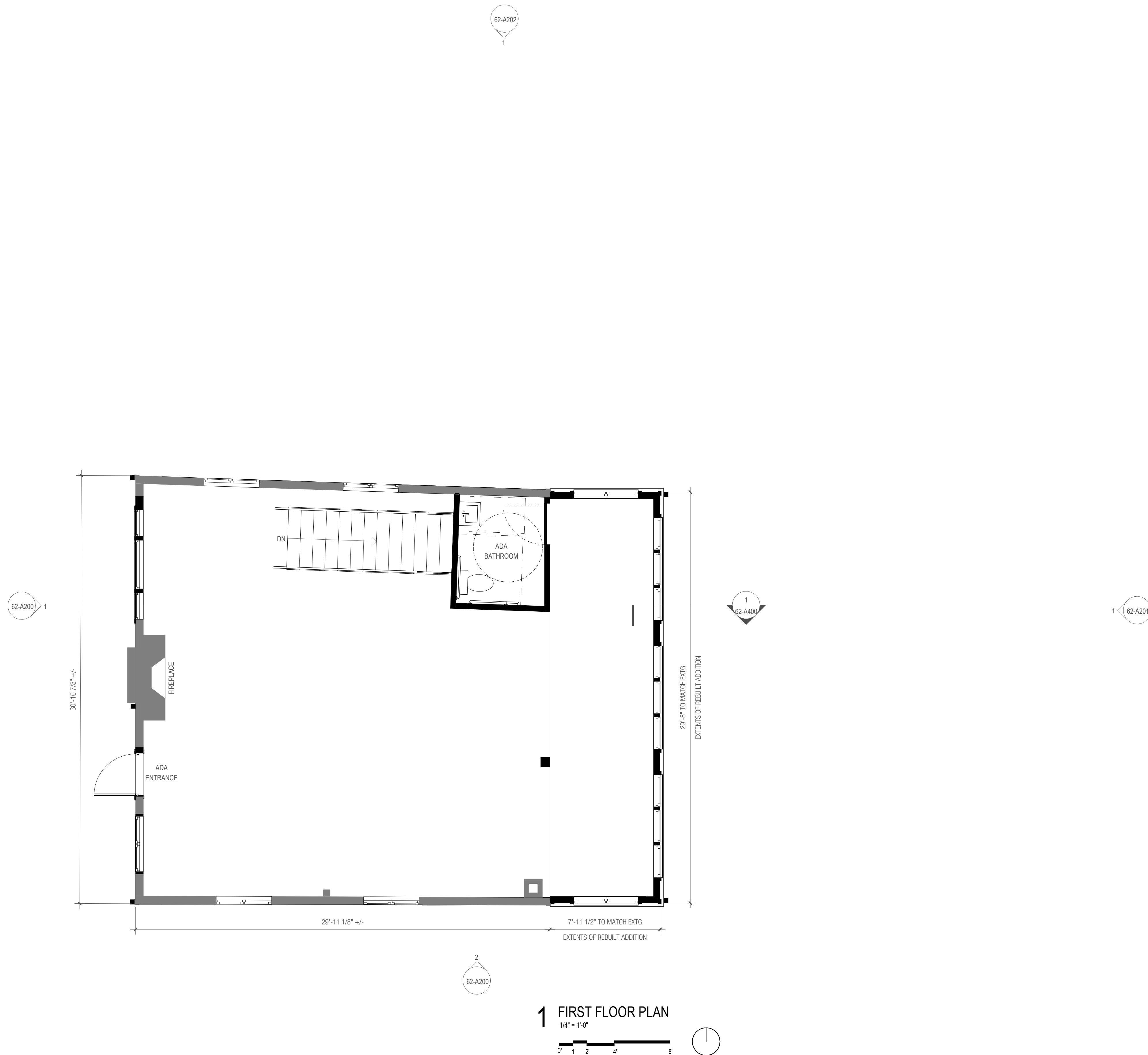
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401 W Town Street,
Columbus, OH 43215
T.614.321.5128 F.614.453.8728
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www.laiarchitect.com

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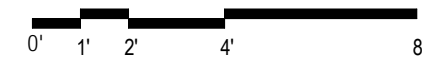
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ISSUE DESCRIPTION	DATE
PRELIMINARY DEVELOPMENT PLAN	09/18/2024
FINAL DEVELOPMENT PLAN	10/10/2024
FINAL DEVELOPMENT PLAN R1	11/08/2024



1 FIRST FLOOR PLAN

1/4" = 1'-0"



PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

**62 N RIVERVIEW
FIRST FLOOR**

PROJECT # 23115
DATE 11/08/2024
DRAWN BY: WO REVIEWED BY: TL

SHEET #

62-A100

COHATCH RIVERVIEW

COHATCH RIVERVIEW

62 N. RIVERVIEW ST
DUBLIN, OH 43017



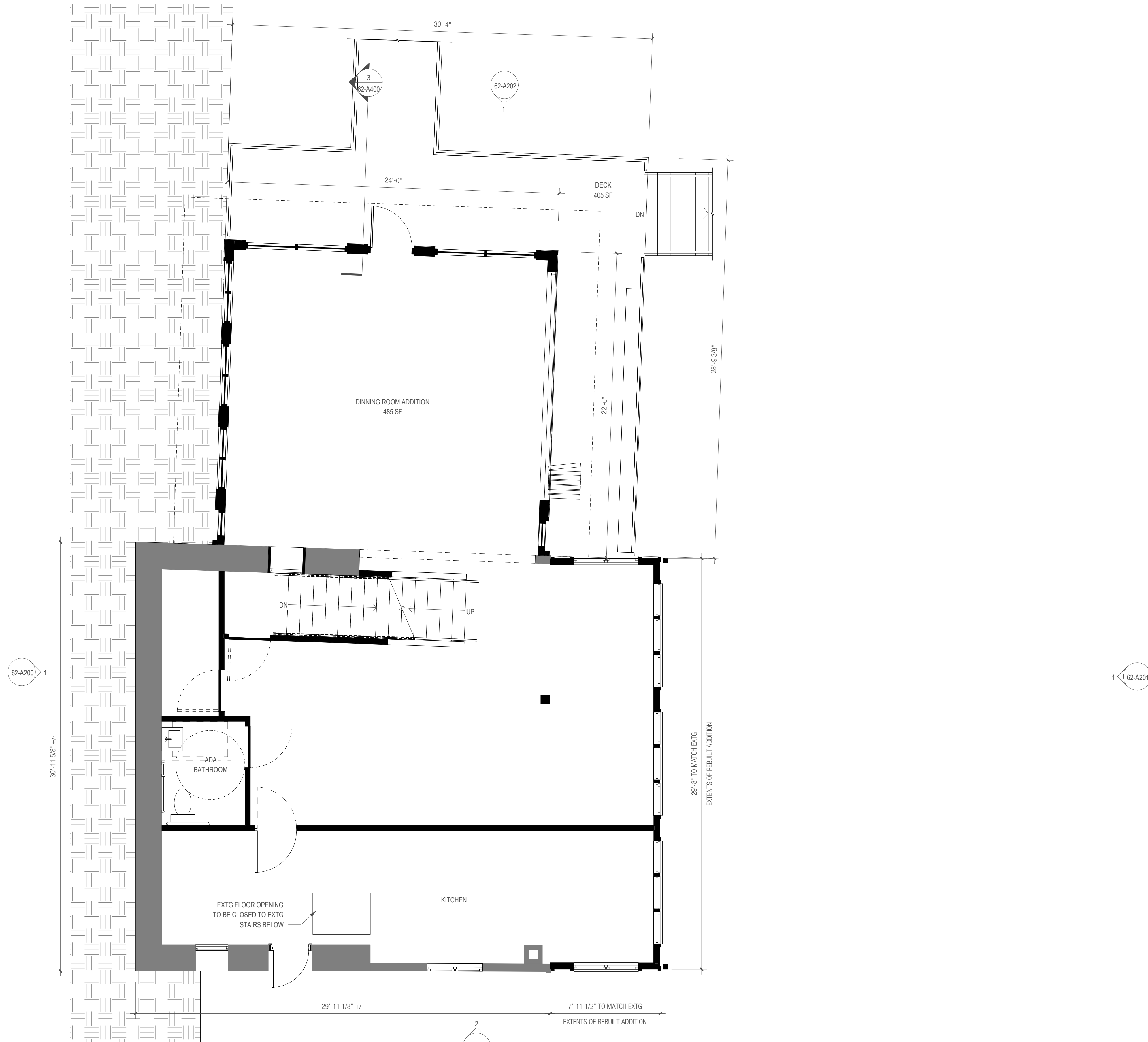
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FINAL DEVELOPMENT PLAN	10/10/2024
FINAL DEVELOPMENT PLAN R1	11/08/2024



1 B1 FLOOR PLAN
1/4" = 1'-0"



PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

**62 N RIVERVIEW B1
PLAN**

PROJECT # 23115
DATE 11/08/2024
DRAWN BY: WO REVIEWED BY: TL

SHEET #
62-A101

COHATCH RIVERVIEW

COHATCH RIVERVIEW

62 N. RIVERVIEW ST
DUBLIN, OH 43017



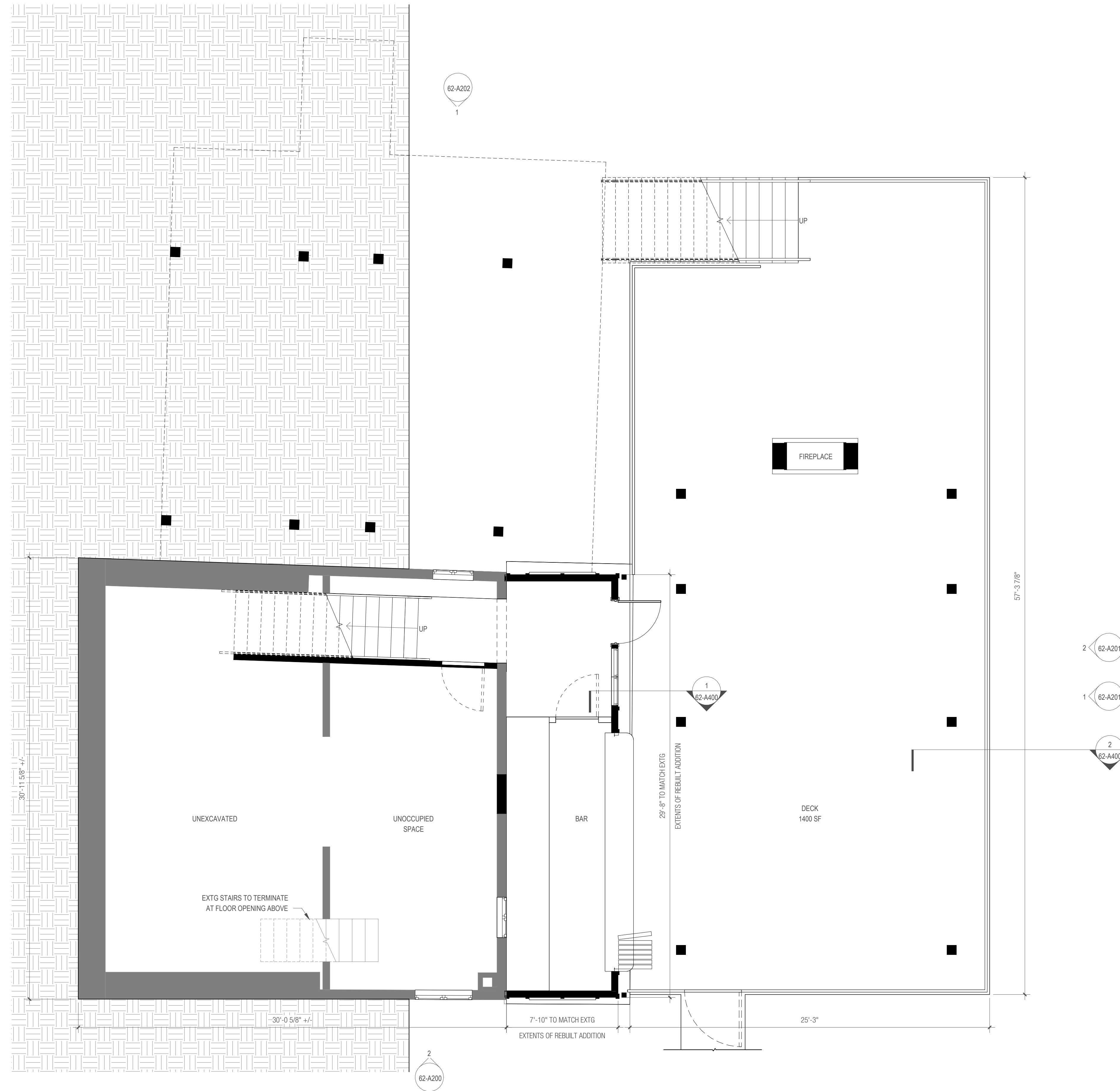
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1 B2 FLOOR PLAN

1/4" = 1'-0"



PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

62 N RIVERVIEW B2
PLAN

PROJECT # 23115
DATE 11/08/2024
DRAWN BY: WO REVIEWED BY: TL

SHEET #

62-A102

COHATCH RIVERVIEW

COHATCH RIVERVIEW

62 N. RIVERVIEW ST
DUBLIN, OH 43017



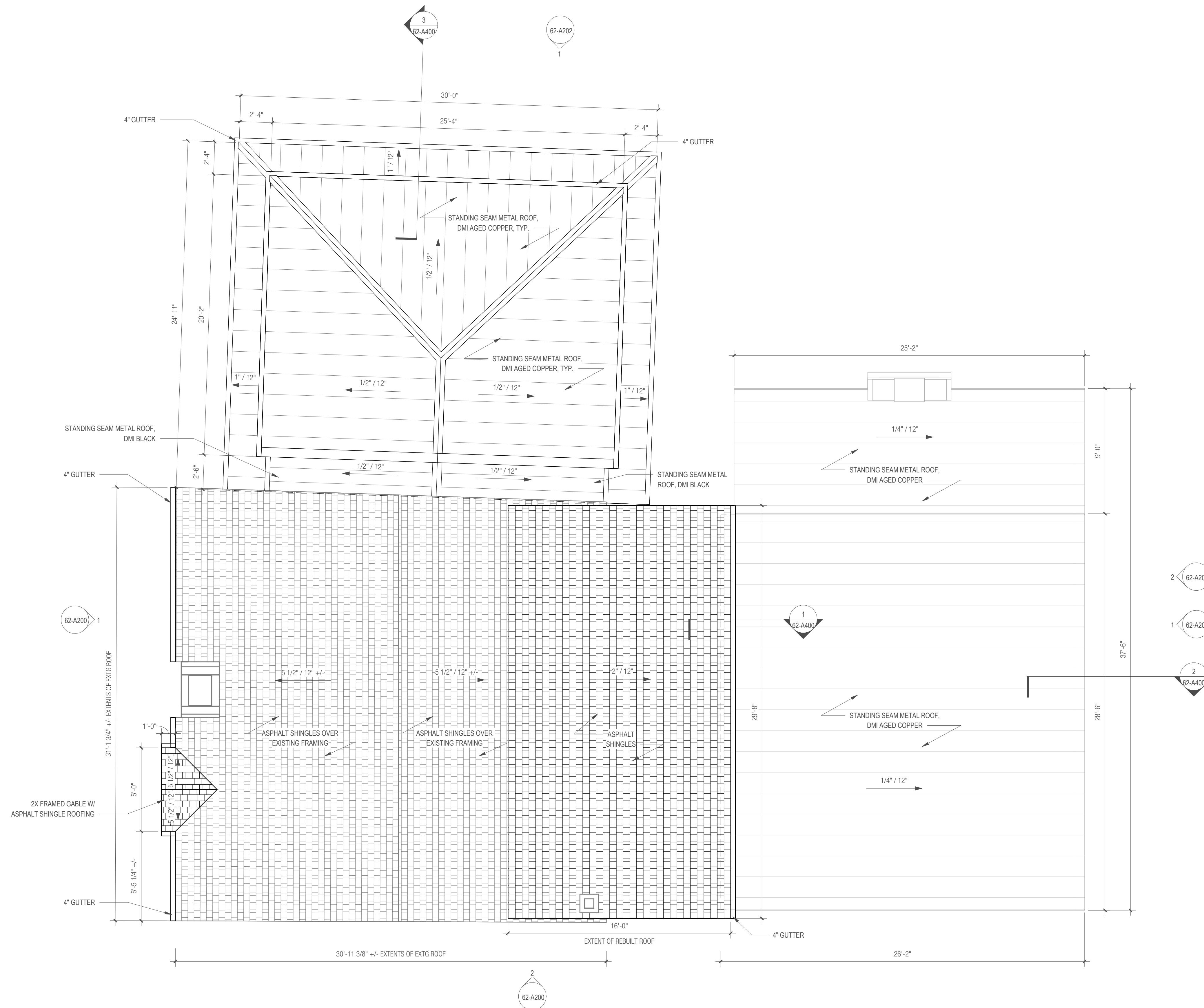
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FINAL DEVELOPMENT PLAN R1	11/08/2024



1 ROOF PLAN

1/4" = 1'-0"



PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

62 N RIVERVIEW
ROOF PLAN

PROJECT #	23115
DATE	11/08/2024
DRAWN BY:	WO
REVIEWED BY:	TL
SHEET #	

62-A103

COHATCH RIVERVIEW

COHATCH RIVERVIEW

62 N. RIVERVIEW ST
DUBLIN, OH 43017



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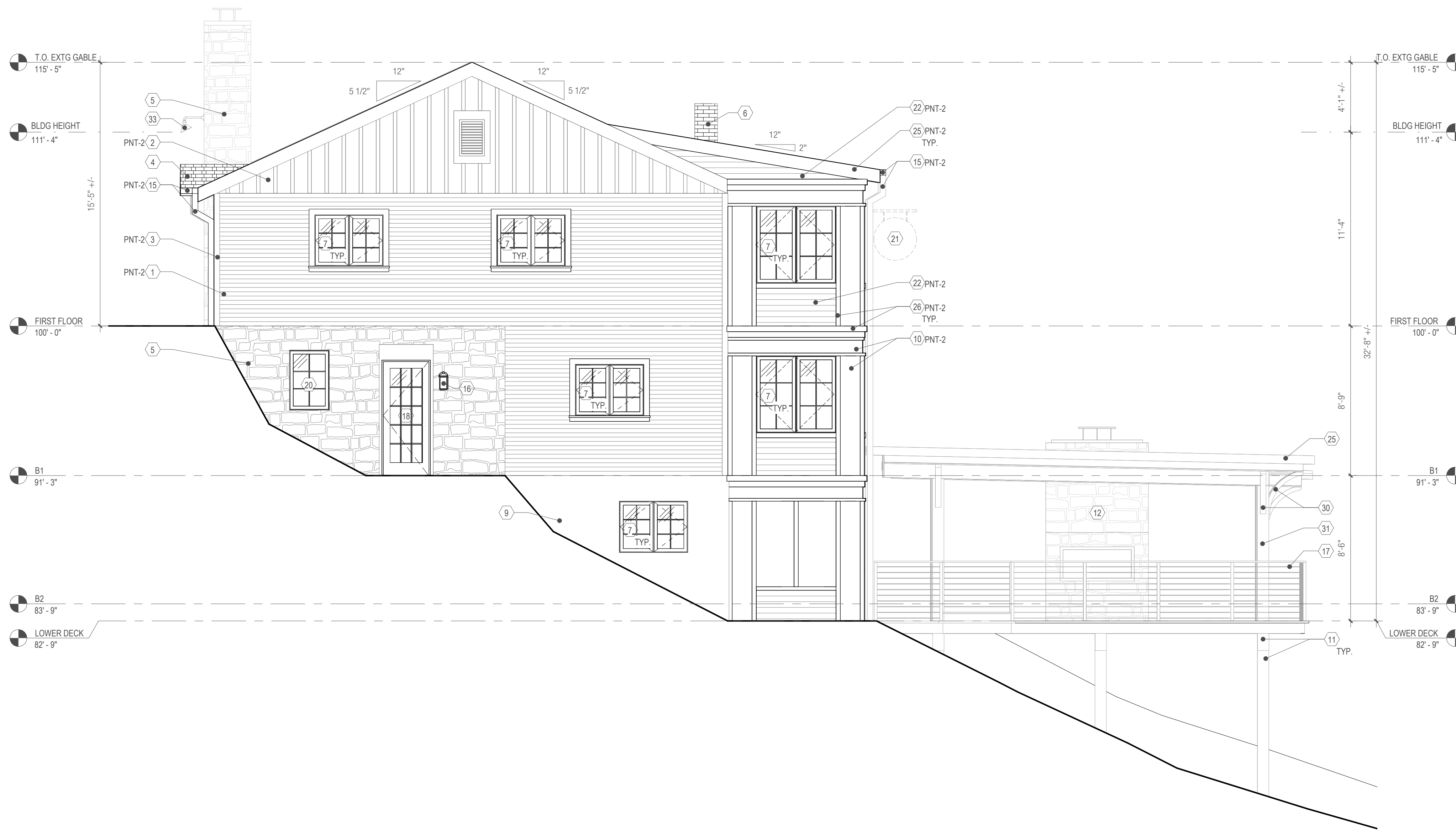
ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024
FINAL DEVELOPMENT PLAN R1	11/08/2024

EXTERIOR ELEVATION CODED NOTES

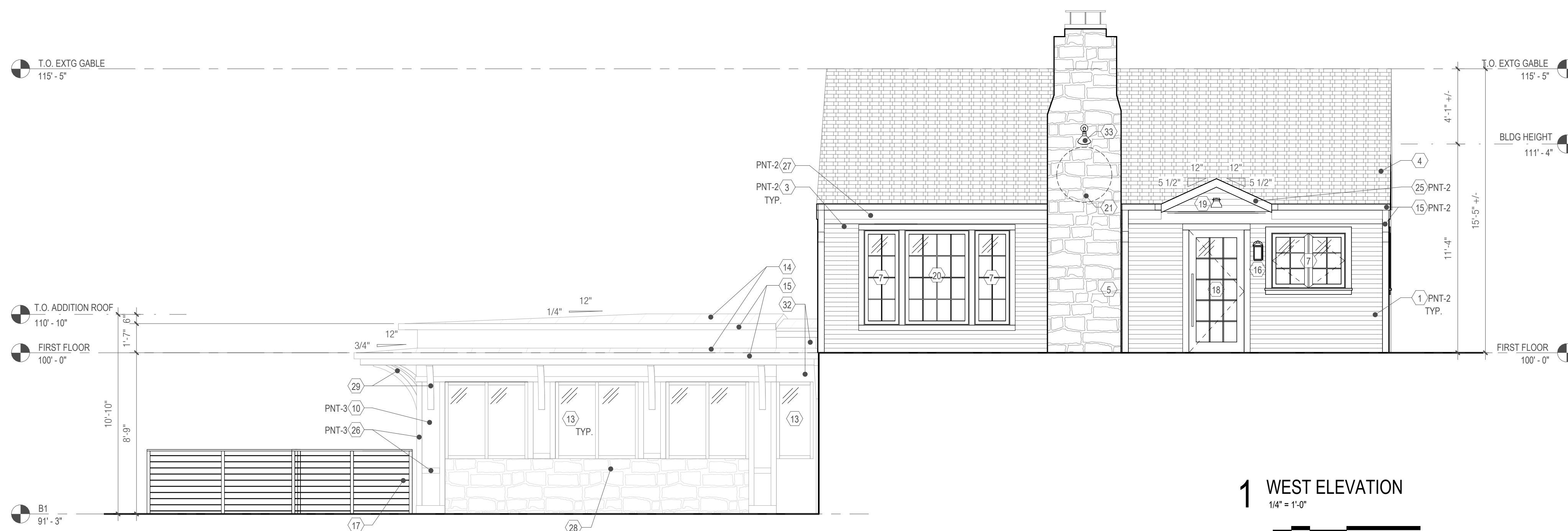
- RESTORED 3" HORIZONTAL CEDAR SIDING, ONLY REPLACE IF NECESSARY
- RESTORED CEDAR BOARD & BATTEN SIDING, ONLY REPLACE IF NECESSARY
- CEDAR TRIM TO MATCH EXISTING
- GAF TIMBERLINE UHZD DIMENSIONAL ASPHALT SHINGLES, PEWTER GRAY
- EXISTING STACKED STONE
- EXISTING BRICK CHIMNEY
- PELLA LIFESTYLE SERIES, ALUMINUM CLAD CASEMENT WINDOW W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN & SPACERS BETWEEN GLASS PANES, BRICK RED. WOOD TRIM, CASING, & SILL TO MATCH PNT-2. RESTORE ORIGINAL IF POSSIBLE, ONLY REPLACE IF NECESSARY ON EXISTING WINDOWS.
- EXISTING CONCRETE FOUNDATION
- JAMES HARDIE, HARDIE PANEL SMOOTH FIBER CEMENT SIDING
- STEEL DECK FRAMING W/ DARK BRONZE FINISH
- FIREPLACE W/ LIMESTONE VENEER
- ALUMINUM STOREFRONT ASSEMBLY, DARK BRONZE FINISH
- STANDING SEAM METAL ROOF
- FORMED METAL GUTTER & DOWNSPOUT
- HINKLEY LIGHT, ANCHORAGE OUTDOOR WALL LIGHT
- STEEL GUARDRAIL W/ DARK BRONZE FINISH
- PELLA FIBERGLASS ENTRY DOOR W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE, BRICK RED. WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- DANBAURY 6" HIGH BLACK DUSK TO DAWN LED OUTDOOR LIGHT
- PELLA LIFESTYLE SERIES, ALUMINUM CLAD FIXED WINDOW W/TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN & SPACERS BETWEEN GLASS PANES, BRICK RED. WOOD TRIM, CASING, & SILL TO MATCH PNT-2. RESTORE ORIGINAL IF POSSIBLE, ONLY REPLACE IF NECESSARY ON EXISTING WINDOWS.
- BUILDING SIGN
- 4" JAMES HARDIE, HARDIE PANEL FIBER CEMENT LAP SIDING
- PELLA ALUMINUM CLAD BIFOLD WINDOW W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN, BRICK RED. WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- PELLA ALUMINUM CLAD BIFOLD WINDOW, DARK BRONZE FINISH. WOOD TRIM, CASING, & SILL TO MATCH FIBER CEMENT TRIM
- FIBER CEMENT BOARD FASCIA
- JAMES HARDIE, HARDIE TRIM BOARDS TO MATCH SIDING
- CONTINUE FASCIA AND FRIEZE TRIM AROUND BAY WINDOW, MATCH EXST ADJACENT DIMENSIONS
- LIMESTONE VENEER
- 2'-5 X 2'-5" CURVED STEEL CORBEL
- 2'-0 X 2'-6" CURVED WOOD CORBEL WITH BLACK FINISH
- 8X8 WOOD POSTS W/ BLACK FINISH
- BLACK METAL PANEL SIDING
- HI-LITE MFG CO., 7" GOOSENECK BLACK WALL SCONCE

FINISH LEGEND

- PNT-1 SW 6335 FIRED BRICK
- PNT-2 SW 6327 BOLD BRICK
- PNT-3 SHERWIN WILLIAMS MEDIUM GRAY PAINT TO MATCH EXISTING COHATCH DUBLIN



2 SOUTH ELEVATION
1/4" = 1'-0"



1 WEST ELEVATION
1/4" = 1'-0"



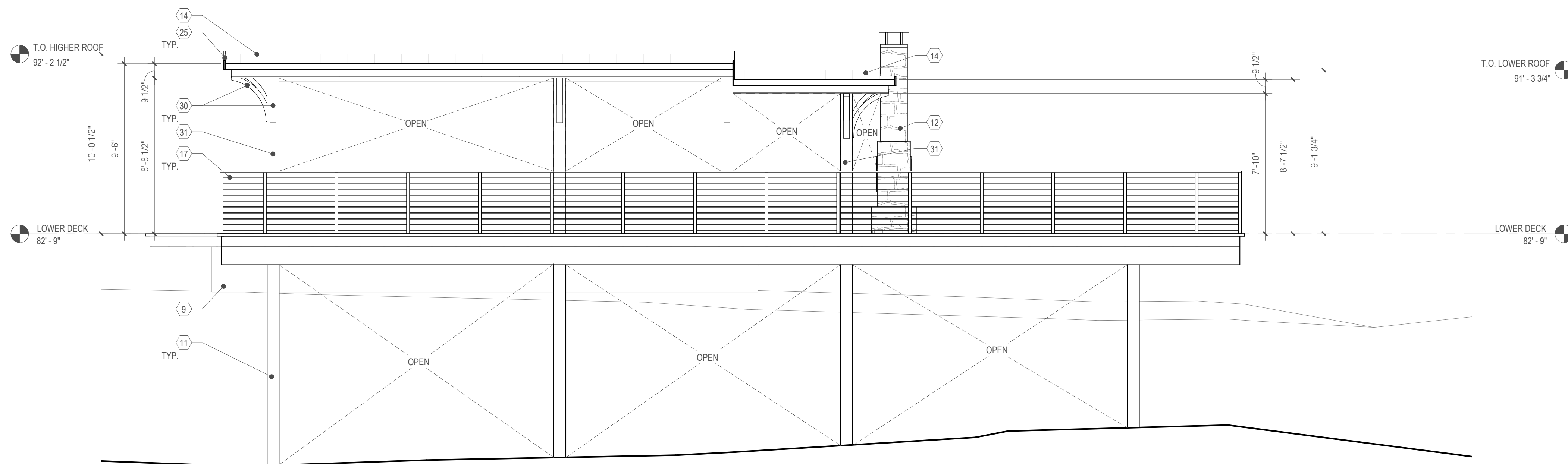
PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

62 N RIVERVIEW
ELEVATIONS

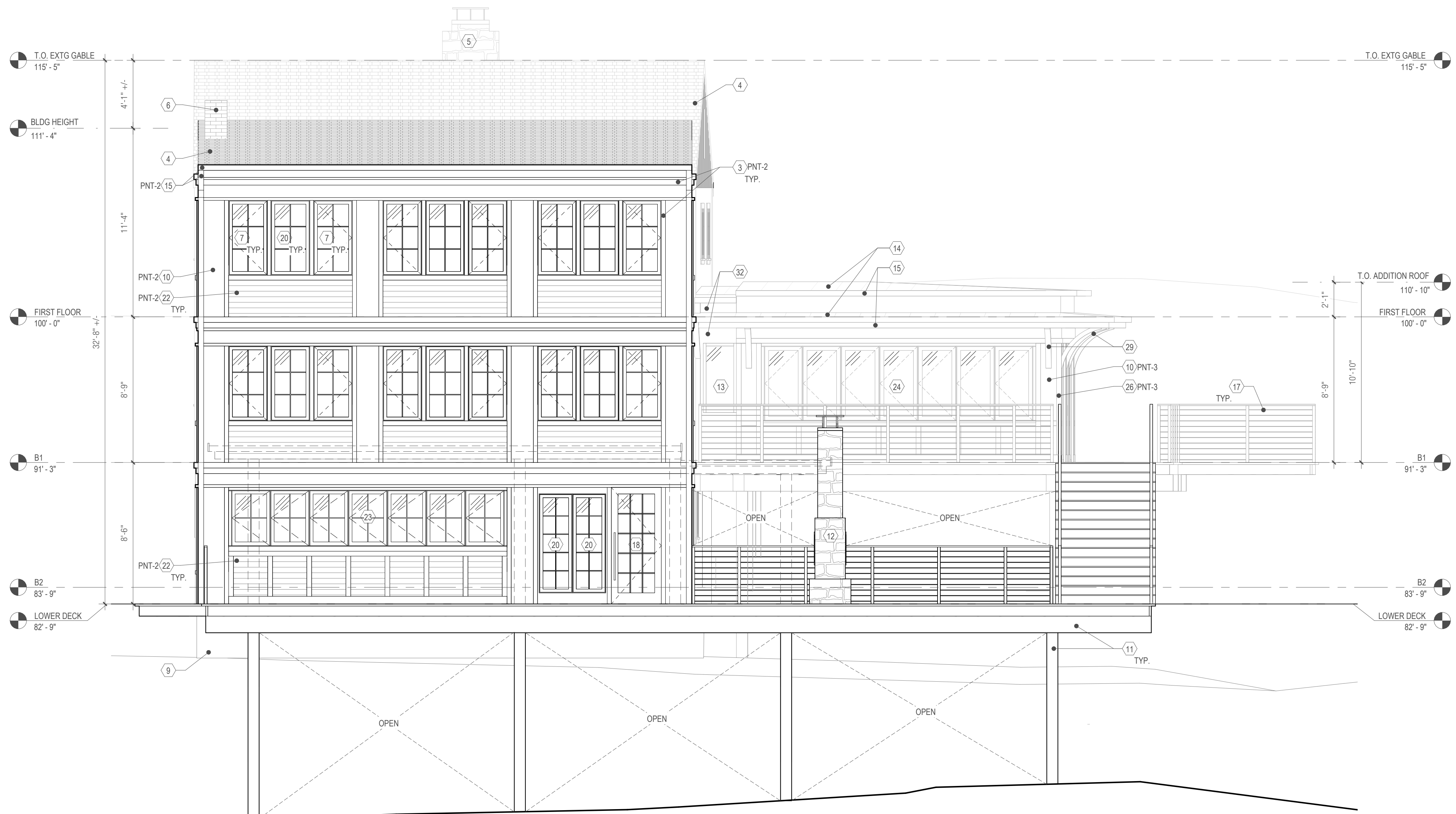
PROJECT # 23115
DATE 11/08/2024
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62-A200

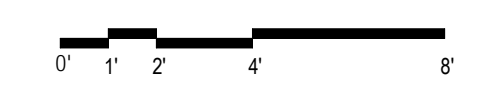
COHATCH RIVERVIEW



2 LOWER DECK EAST ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"



EXTERIOR ELEVATION CODED NOTES

- 1 RESTORED 3" HORIZONTAL CEDAR SIDING, ONLY REPLACE IF NECESSARY
- 2 RESTORED CEDAR BOARD & BATTEN SIDING, ONLY REPLACE IF NECESSARY
- 3 CEDAR TRIM TO MATCH EXISTING
- 4 GAF TIMBERLINE UHZD DIMENSIONAL ASPHALT SHINGLES, PEWTER GRAY
- 5 EXISTING STACKED STONE
- 6 EXISTING BRICK CHIMNEY
- 7 PELLA LIFESTYLE SERIES, ALUMINUM CLAD CASEMENT WINDOW W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN & SPACERS BETWEEN GLASS PANES, BRICK RED. WOOD TRIM, CASING, & SILL TO MATCH PNT-2. RESTORE ORIGINAL IF POSSIBLE, ONLY REPLACE IF NECESSARY ON EXISTING WINDOWS.
- 8 EXISTING CONCRETE FOUNDATION
- 9 JAMES HARDIE, HARDIE PANEL SMOOTH FIBER CEMENT SIDING
- 10 STEEL DECK FRAMING W/ DARK BRONZE FINISH
- 11 FIREPLACE W/ LIMESTONE VENEER
- 12 ALUMINUM STOREFRONT ASSEMBLY, DARK BRONZE FINISH
- 13 STANDING SEAM METAL ROOF
- 14 FORMED METAL GUTTER & DOWNSPOUT
- 15 HINKLEY LIGHT, ANCHORAGE OUTDOOR WALL LIGHT
- 16 STEEL GUARDRAIL W/ DARK BRONZE FINISH
- 17 PELLA FIBERGLASS ENTRY DOOR W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE, BRICK RED. WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- 18 DANBAURY 6" HIGH BLACK DUSK TO DAWN LED OUTDOOR LIGHT
- 19 PELLA LIFESTYLE SERIES, ALUMINUM CLAD FIXED WINDOW W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN & SPACERS BETWEEN GLASS PANES, BRICK RED. WOOD TRIM, CASING, & SILL TO MATCH PNT-2. RESTORE ORIGINAL IF POSSIBLE, ONLY REPLACE IF NECESSARY ON EXISTING WINDOWS.
- 20 BUILDING SIGN
- 21 4" JAMES HARDIE, HARDIE PANEL FIBER CEMENT LAP SIDING
- 22 PELLA, ALUMINUM CLAD BIFOLD WINDOW W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN, BRICK RED. WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- 23 PELLA, ALUMINUM CLAD BIFOLD WINDOW, DARK BRONZE FINISH. WOOD TRIM, CASING, & SILL TO MATCH FIBER CEMENT TRIM
- 24 FIBER CEMENT BOARD FASCIA
- 25 JAMES HARDIE, HARDIE TRIM BOARDS TO MATCH SIDING
- 26 CONTINUE FASCIA AND FRIEZE TRIM AROUND BAY WINDOW, MATCH EXST ADJACENT DIMENSIONS
- 27 LIMESTONE VENEER
- 28 2'-5 X 2'-5" CURVED STEEL CORBEL
- 29 2'-0 X 2'-6" CURVED WOOD CORBEL WITH BLACK FINISH
- 30 8X8 WOOD POSTS W/ BLACK FINISH
- 31 BLACK METAL PANEL SIDING
- 32 HI-LITE MFG CO., 7" GOOSENECK BLACK WALL SCNCE

FINISH LEGEND

- PNT-1 SW 6335 FIRED BRICK
- PNT-2 SW 6327 BOLD BRICK
- PNT-3 SHERWIN WILLIAMS MEDIUM GRAY PAINT TO MATCH EXISTING COHATCH DUBLIN

COHATCH RIVERVIEW

62 N. RIVERVIEW ST
DUBLIN, OH 43017



Tim Lai Architect

401 W Town Street,
Columbus, OH 43215
T.614.321.5128 F.614.453.8728
info@lairaichitect.com
www.lairaichitect.com

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ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024
FINAL DEVELOPMENT PLAN R1	11/08/2024

PRELIMINARY DOCUMENTS
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**62 N RIVERVIEW
ELEVATIONS**

PROJECT # 23115
DATE 11/08/2024
DRAWN BY: WO REVIEWED BY: TL

SHEET #
62-A201

COHATCH RIVERVIEW

COHATCH RIVERVIEW

62 N. RIVERVIEW ST
DUBLIN, OH 43017



Tim Lai Architect

401 W Town Street,
Columbus, OH 43215
T.614.321.5128 F.614.453.8728
info@laiarchitect.com
www.laiarchitect.com

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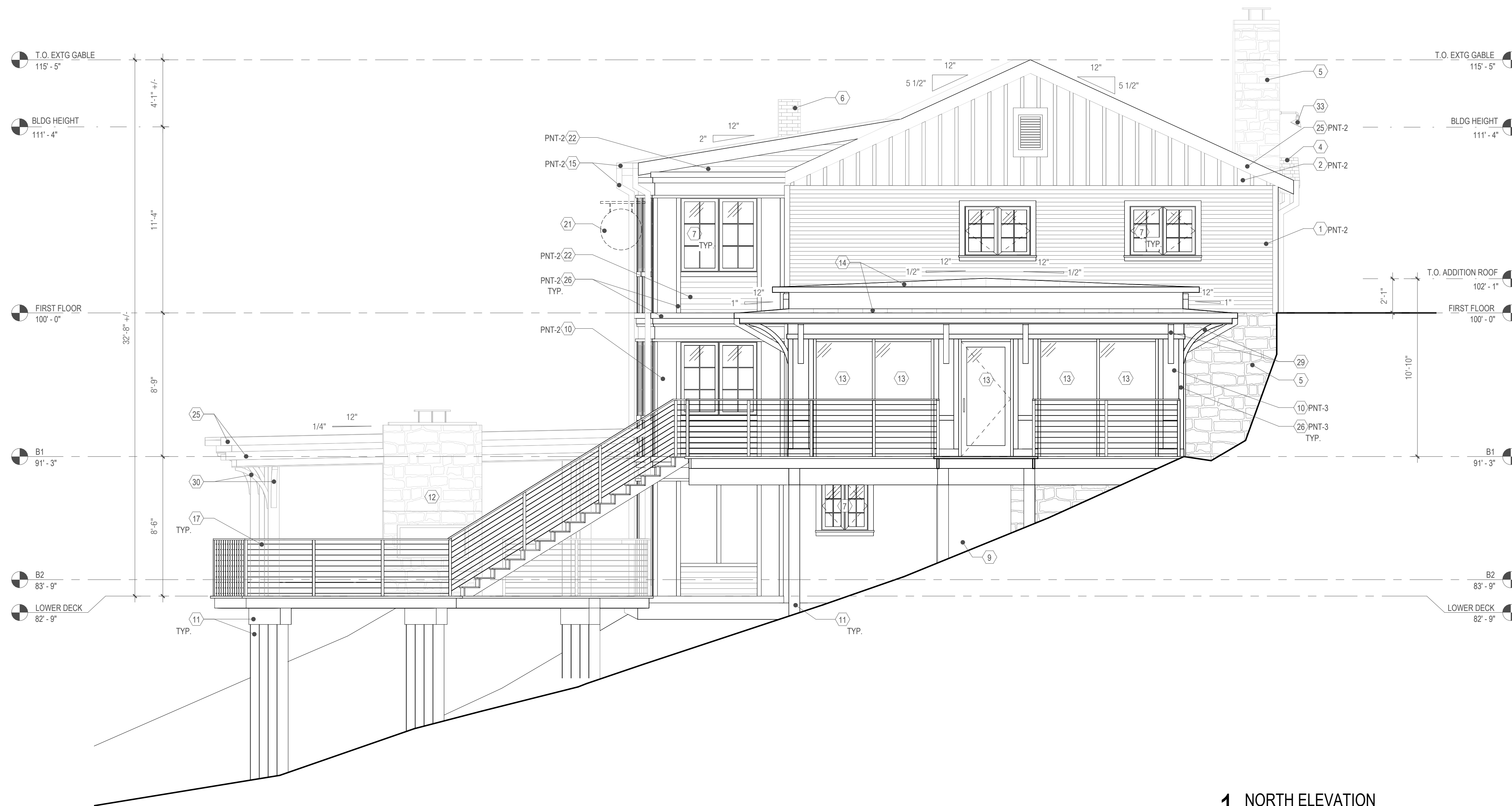
ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024
FINAL DEVELOPMENT PLAN R1	11/08/2024

EXTERIOR ELEVATION CODED NOTES

- RESTORED 3" HORIZONTAL CEDAR SIDING, ONLY REPLACE IF NECESSARY
- RESTORED CEDAR BOARD & BATTEN SIDING, ONLY REPLACE IF NECESSARY
- CEDAR TRIM TO MATCH EXISTING
- GAF TIMBERLINE UH2Z DIMENSIONAL ASPHALT SHINGLES, PEWTER GRAY
- EXISTING STACKED STONE
- EXISTING BRICK CHIMNEY
- PELLA LIFESTYLE SERIES, ALUMINUM CLAD CASEMENT WINDOW W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN & SPACERS BETWEEN GLASS PANES, BRICK RED. WOOD TRIM, CASING, & SILL TO MATCH PNT-2. RESTORE ORIGINAL IF POSSIBLE, ONLY REPLACE IF NECESSARY ON EXISTING WINDOWS.
- EXISTING CONCRETE FOUNDATION
- JAMES HARDIE, HARDIE PANEL SMOOTH FIBER CEMENT SIDING
- STEEL DECK FRAMING W/ DARK BRONZE FINISH
- FIREPLACE W/ LIMESTONE VENEER
- ALUMINUM STOREFRONT ASSEMBLY, DARK BRONZE FINISH
- STANDING SEAM METAL ROOF
- FORMED METAL GUTTER & DOWNSPOUT
- HINKLEY LIGHT, ANCHORAGE OUTDOOR WALL LIGHT
- STEEL GUARDRAIL W/ DARK BRONZE FINISH
- PELLA FIBERGLASS ENTRY DOOR W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE, BRICK RED. WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- DANBAURY 6" HIGH BLACK DUSK TO DAWN LED OUTDOOR LIGHT
- PELLA LIFESTYLE SERIES, ALUMINUM CLAD FIXED WINDOW W/TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN & SPACERS BETWEEN GLASS PANES, BRICK RED. WOOD TRIM, CASING, & SILL TO MATCH PNT-2. RESTORE ORIGINAL IF POSSIBLE, ONLY REPLACE IF NECESSARY ON EXISTING WINDOWS.
- BUILDING SIGN
- 4" JAMES HARDIE, HARDIE PANEL FIBER CEMENT LAP SIDING
- PELLA ALUMINUM CLAD BIFOLD WINDOW W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN, BRICK RED. WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- PELLA ALUMINUM CLAD BIFOLD WINDOW, DARK BRONZE FINISH. WOOD TRIM, CASING, & SILL TO MATCH FIBER CEMENT TRIM
- FIBER CEMENT BOARD FASCIA
- JAMES HARDIE, HARDIE TRIM BOARDS TO MATCH SIDING
- CONTINUE FASCIA AND FRIEZE TRIM AROUND BAY WINDOW, MATCH EXST ADJACENT DIMENSIONS
- LIMESTONE VENEER
- 2'-5 X 2'-5" CURVED STEEL CORBEL
- 2'-0 X 2'-6" CURVED WOOD CORBEL WITH BLACK FINISH
- 8X8 WOOD POSTS W/ BLACK FINISH
- BLACK METAL PANEL SIDING
- HI-LITE MFG CO., 7" GOOSENECK BLACK WALL SCENCE

FINISH LEGEND

- PNT-1 SW 6335 FIRED BRICK
- PNT-2 SW 6327 BOLD BRICK
- PNT-3 SHERWIN WILLIAMS MEDIUM GRAY PAINT TO MATCH EXISTING COHATCH DUBLIN



1 NORTH ELEVATION
1/4" = 1'-0"



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62 N RIVERVIEW
ELEVATIONS

PROJECT # 23115
DATE 11/08/2024
DRAWN BY: WO REVIEWED BY: TL

SHEET #

62-A202

COHATCH RIVERVIEW

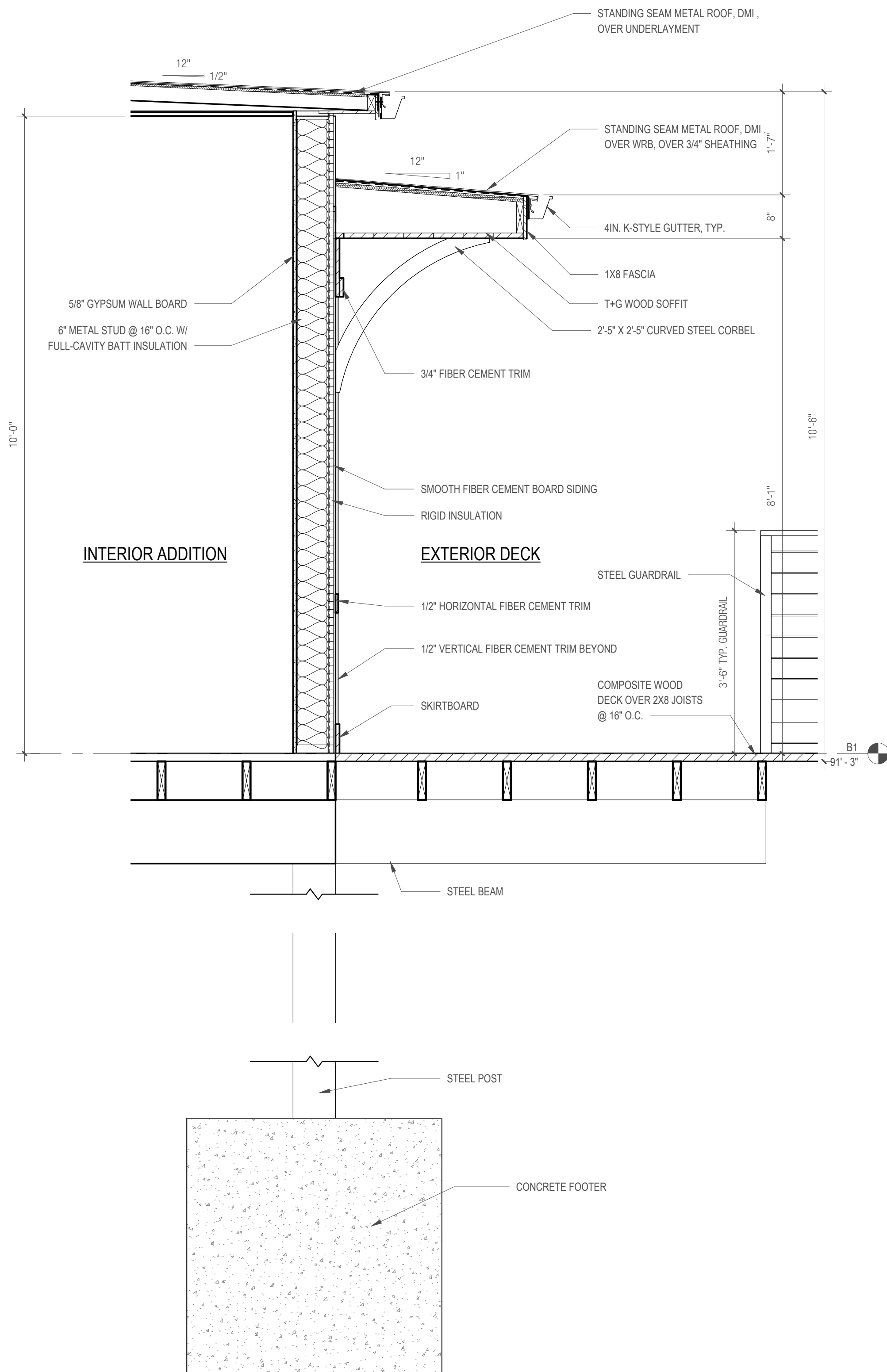


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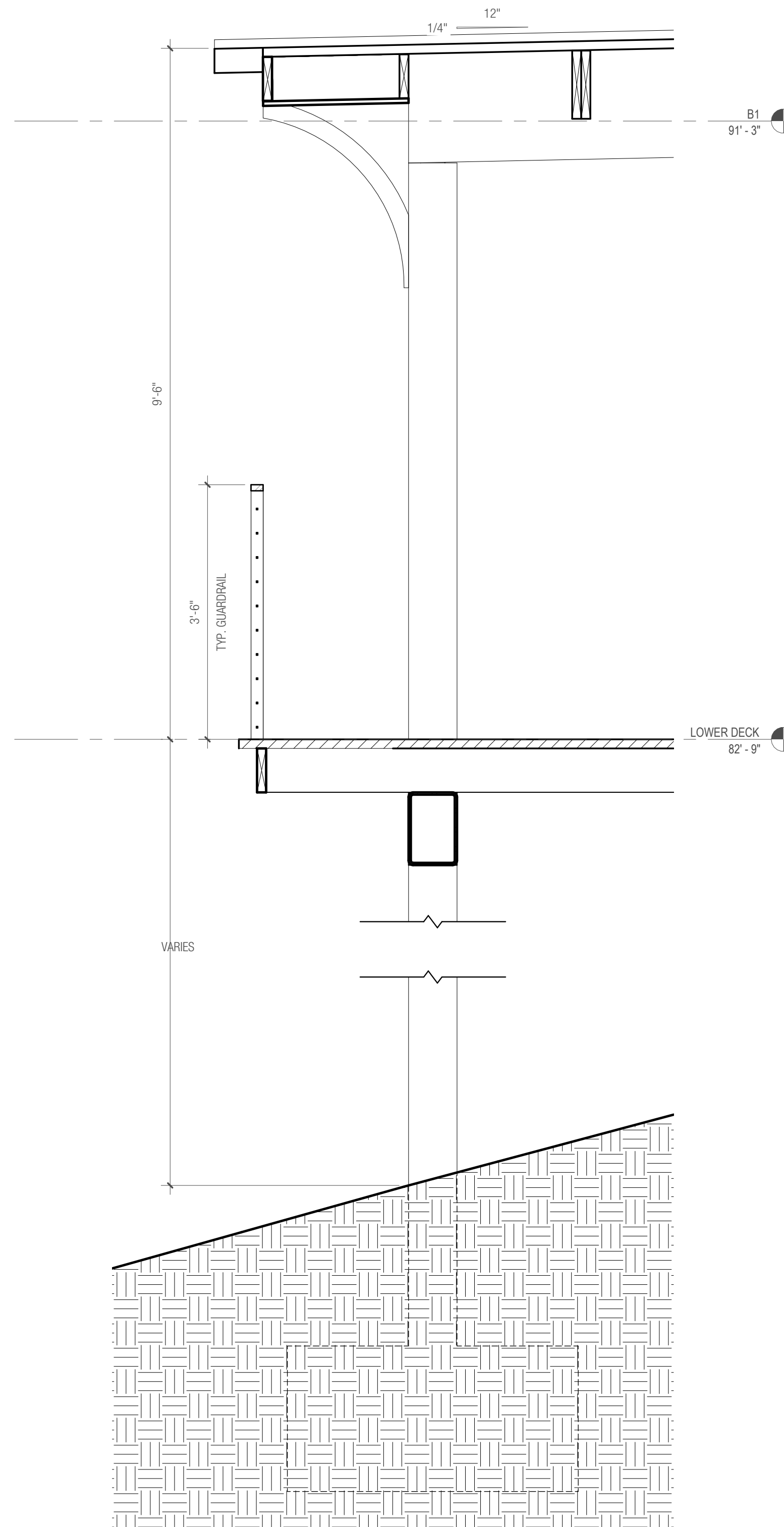
401 W Town Street,
Columbus, OH 43215
T.614.321.5128 F.614.453.8728
info@laiarchitect.com
www.laiarchitect.com

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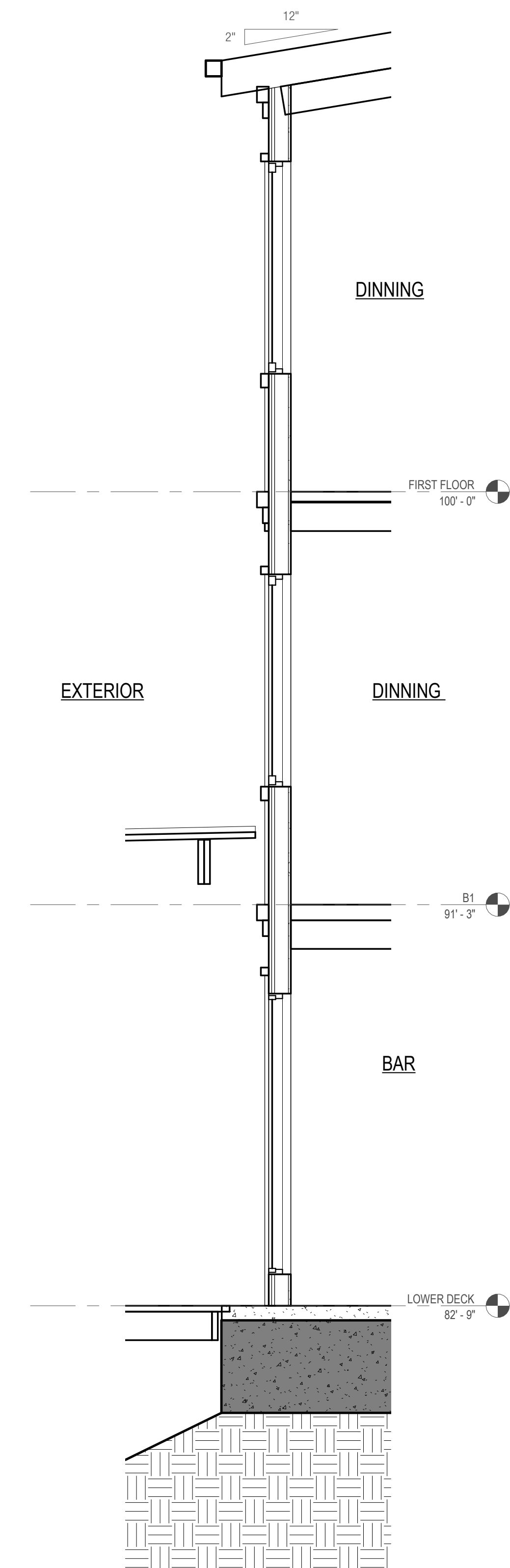
ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024
FINAL DEVELOPMENT PLAN R1	11/08/2024



3 WALL SECTION @ ADDITION
3/4" = 1'-0"



2 COVERED DECK SECTION
3/4" = 1'-0"
0' 3' 6' 1' 2'



1 WALL SECTION @ REBUILT ADDITION
1/2" = 1'-0"
0' 6' 1' 2' 4'

PRELIMINARY DOCUMENTS
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**62 N RIVERVIEW
DETAILS**

PROJECT # 23115
DATE 11/08/2024
DRAWN BY: WO REVIEWED BY: TL

SHEET #

62-A400

KIOSK

N. RIVERVIEW ST
DUBLIN, OH 43017



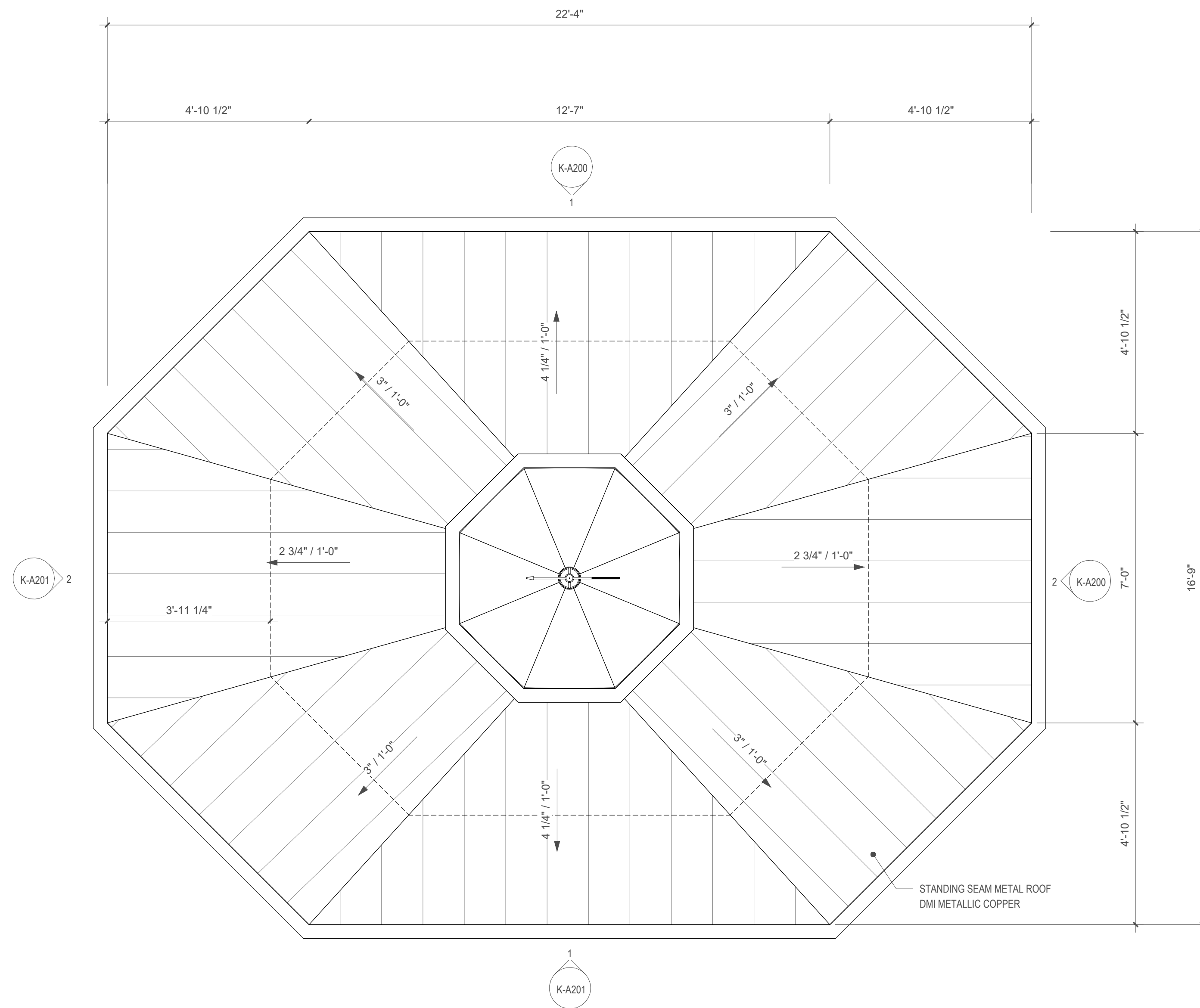
Tim Lai Architect

401 W Town Street,
Columbus, OH 43215
T.614.321.5128 F.614.453.8728
info@laiarchitect.com
www.laiarchitect.com

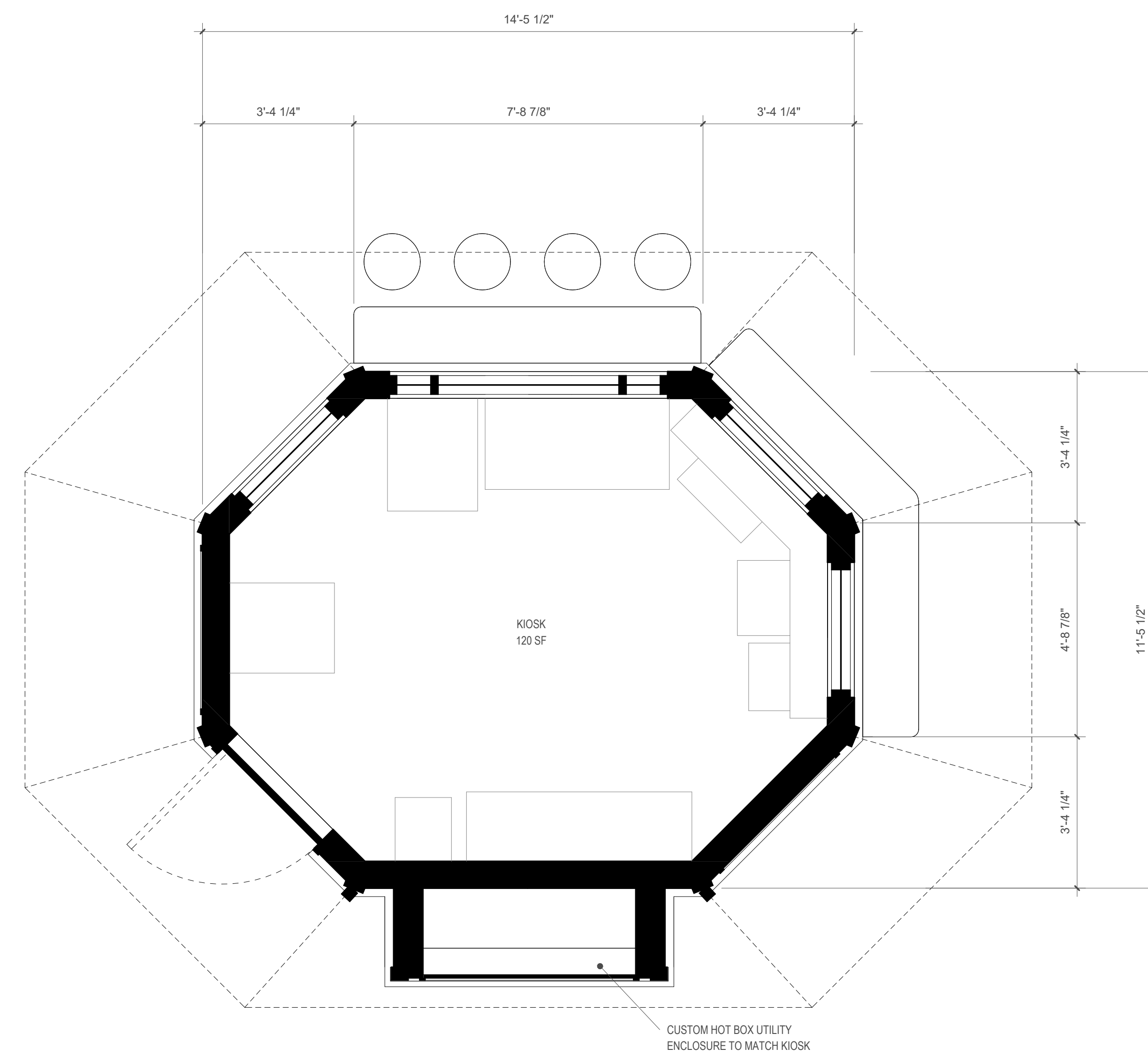
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FINAL DEVELOPMENT PLAN	10/10/24
FINAL DEVELOPMENT PLAN R1	11/08/24



2 ROOF PLAN
1/2" = 1'-0"



1 FIRST FLOOR PLAN
1/2" = 1'-0"

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KIOSK FLOOR & ROOF PLAN

PROJECT #	23115
DATE	11/08/24
DRAWN BY: SR	REVIEWED BY: JF
SHEET #	

K-A100

KIOSK

KIOSK

N. RIVERVIEW ST
DUBLIN, OH 43017



Tim Lai Architect
401 W Town Street,
Columbus, OH 43215
T.614.321.5128 F.614.453.8728
info@lalarchitect.com
www.lalarchitect.com

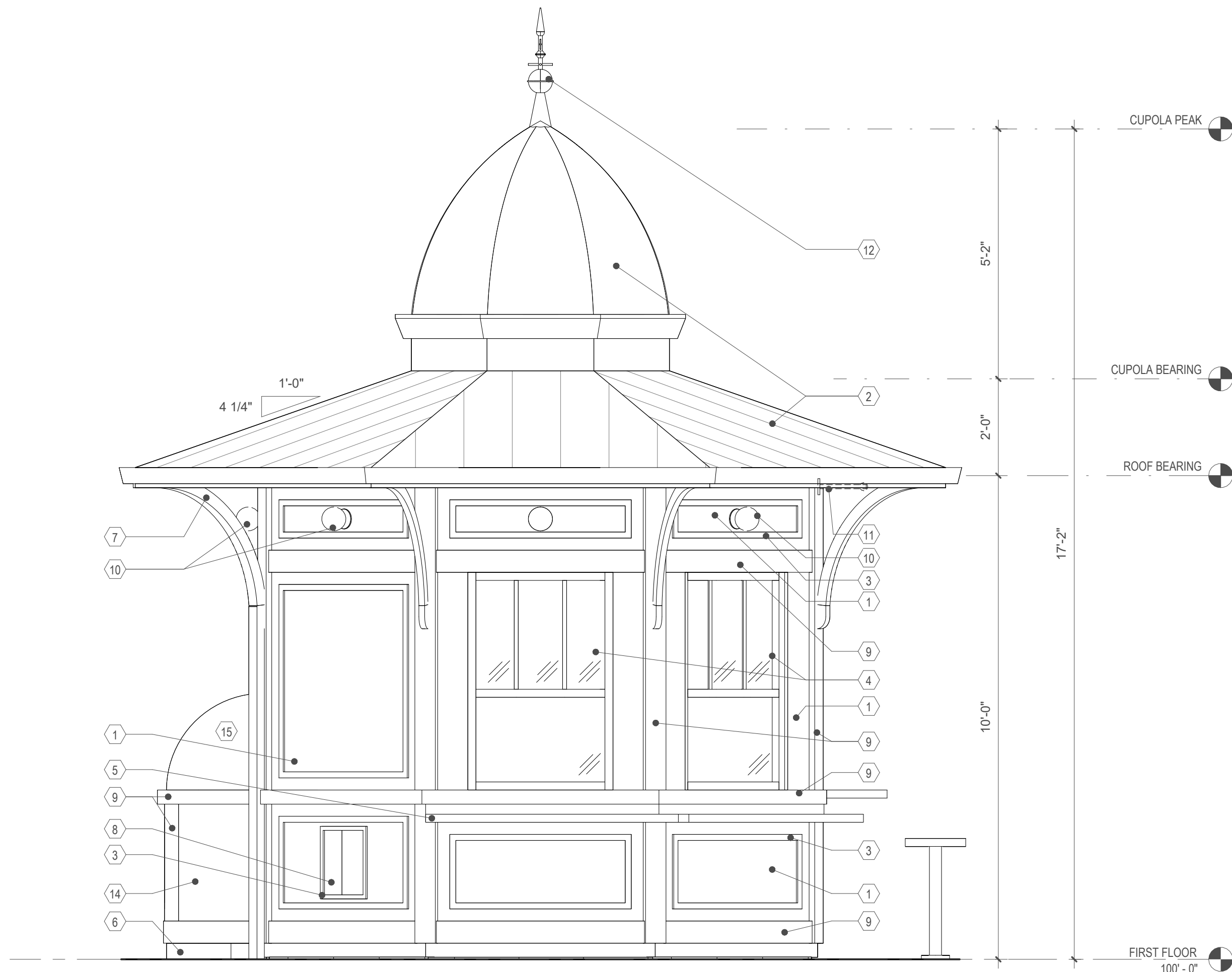
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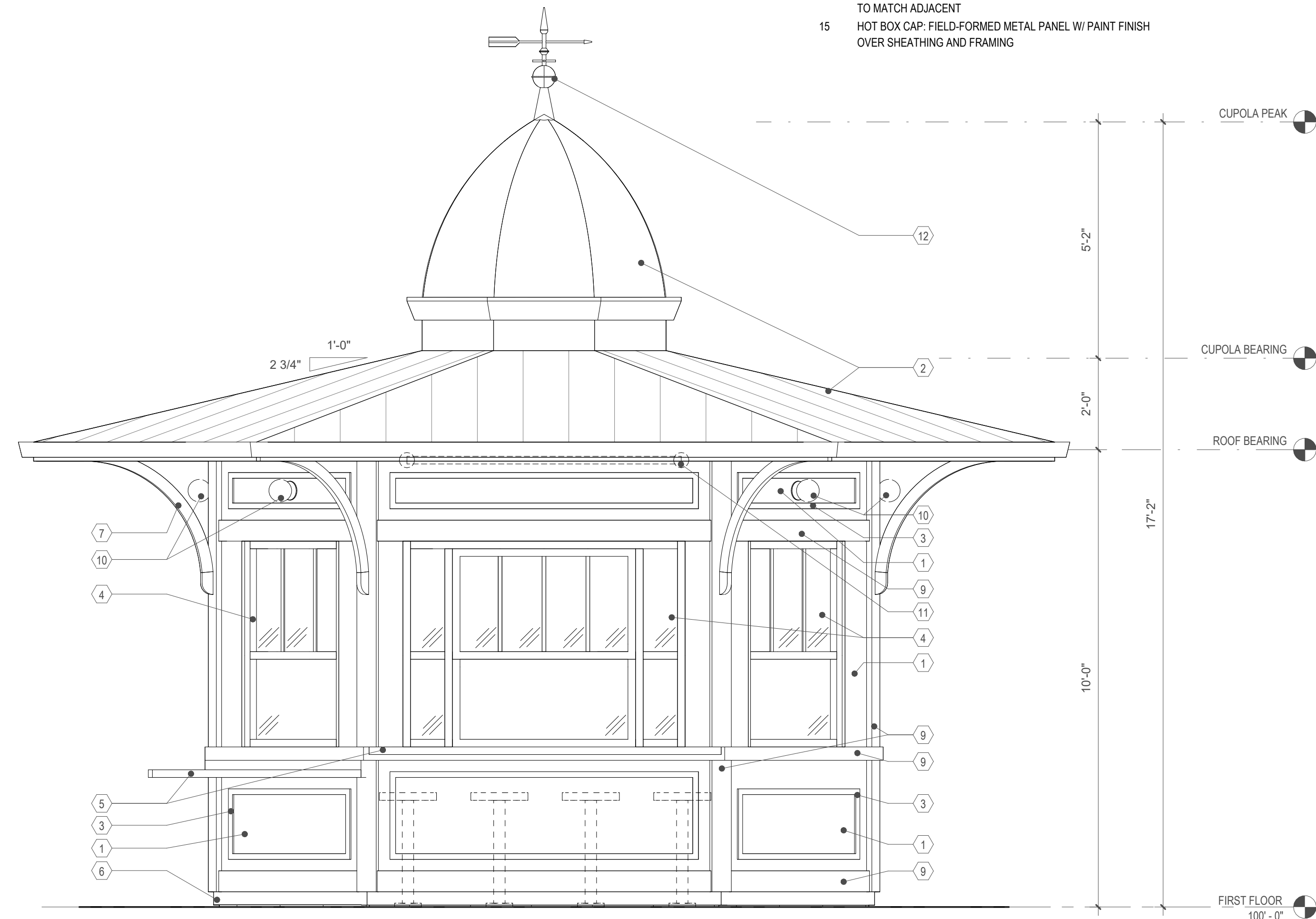
ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/24
FINAL DEVELOPMENT PLAN R1	11/08/24

EXTERIOR ELEVATION CODED NOTES

- 1 FIBER CEMENT PANEL SIDING, PAINT SW 2816 ROOKWOOD DARK GREEN
- 2 STANDING SEAM METAL ROOF DMI METALLIC COPPER
- 3 WOOD MOLDING, PAINT SW 7541 GRECIAN IVORY
- 4 ALUMINUM-CLAD WOOD DOUBLE-HUNG WINDOW
- 5 2" WOOD COUNTERTOP
- 6 CAST STONE VENEER FOUNDATION FINISH
- 7 2'-6" X 3'-8" CURVED WOOD CORBEL
- 8 DOG DOOR
- 9 WOOD CASING/ TRIM SW 2816 ROOKWOOD DARK GREEN
- 10 TROY LIGHTING 5.25" ANSEL GLOBE WALL SCONCE
- 11 TUBULAR 6" ARM MOUNT LED LUMINAIRE
- 12 METAL WEATHERVANE
- 13 INSULATED HOLLOW METAL DOOR WITH FLUSH PANEL & PAINT FINISH
- 14 REMOVABLE FIBER CEMENT ACCESS PANEL WITH TRIM & FINISH TO MATCH ADJACENT
- 15 HOT BOX CAP: FIELD-FORMED METAL PANEL W/ PAINT FINISH OVER SHEATHING AND FRAMING



2 EAST ELEVATION
1/2" = 1'-0"



1 NORTH ELEVATION
1/2" = 1'-0"



PRELIMINARY DOCUMENTS
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KIOSK ELEVATIONS

PROJECT # 23115
DATE 11/08/24
DRAWN BY: SR REVIEWED BY: JF

SHEET #
K-A200

KIOSK

KIOSK

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DUBLIN, OH 43017



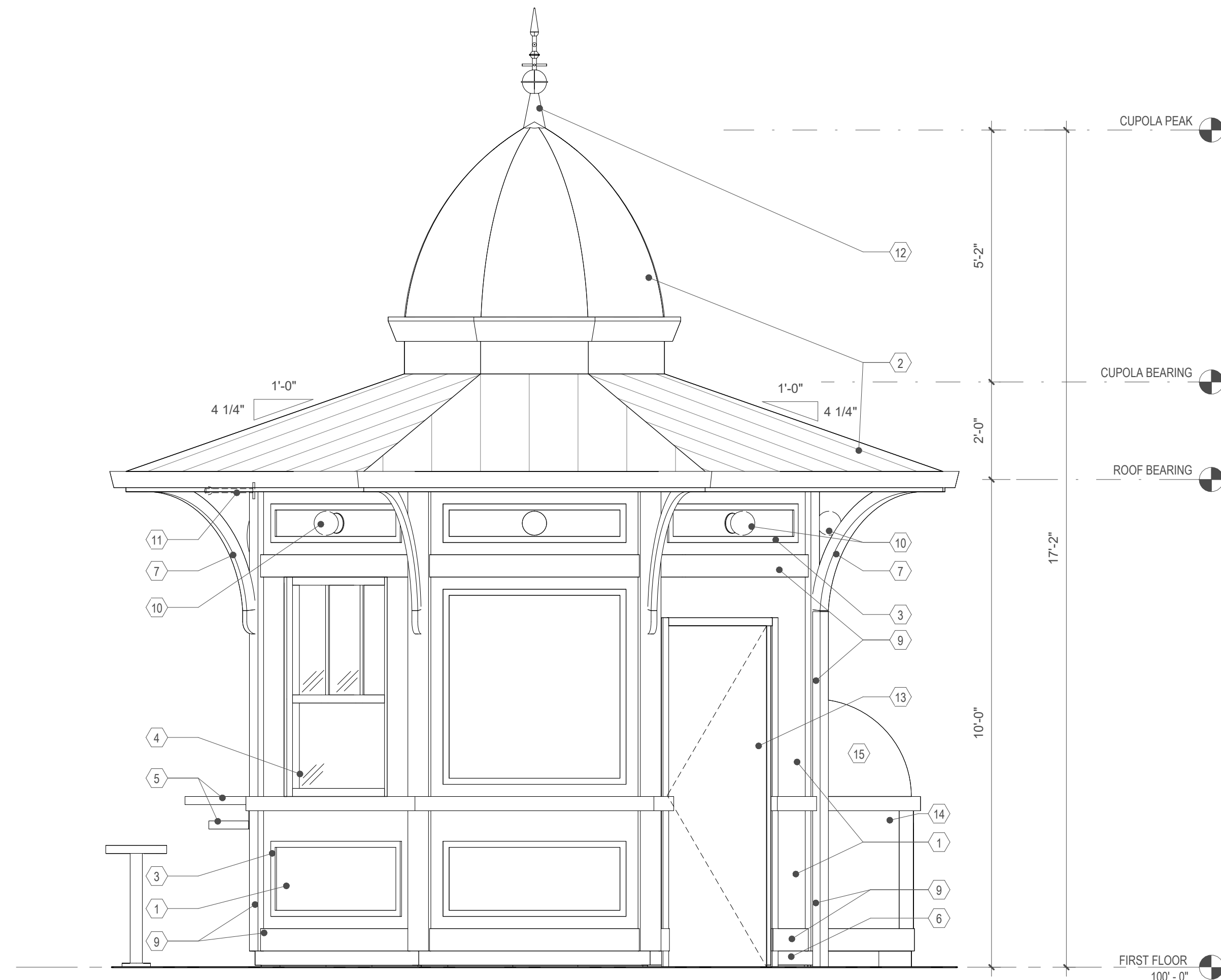
Tim Lai Architect
401 W Town Street,
Columbus, OH 43215
T.614.321.5128 F.614.453.8728
info@lalarchitect.com
www.lalarchitect.com

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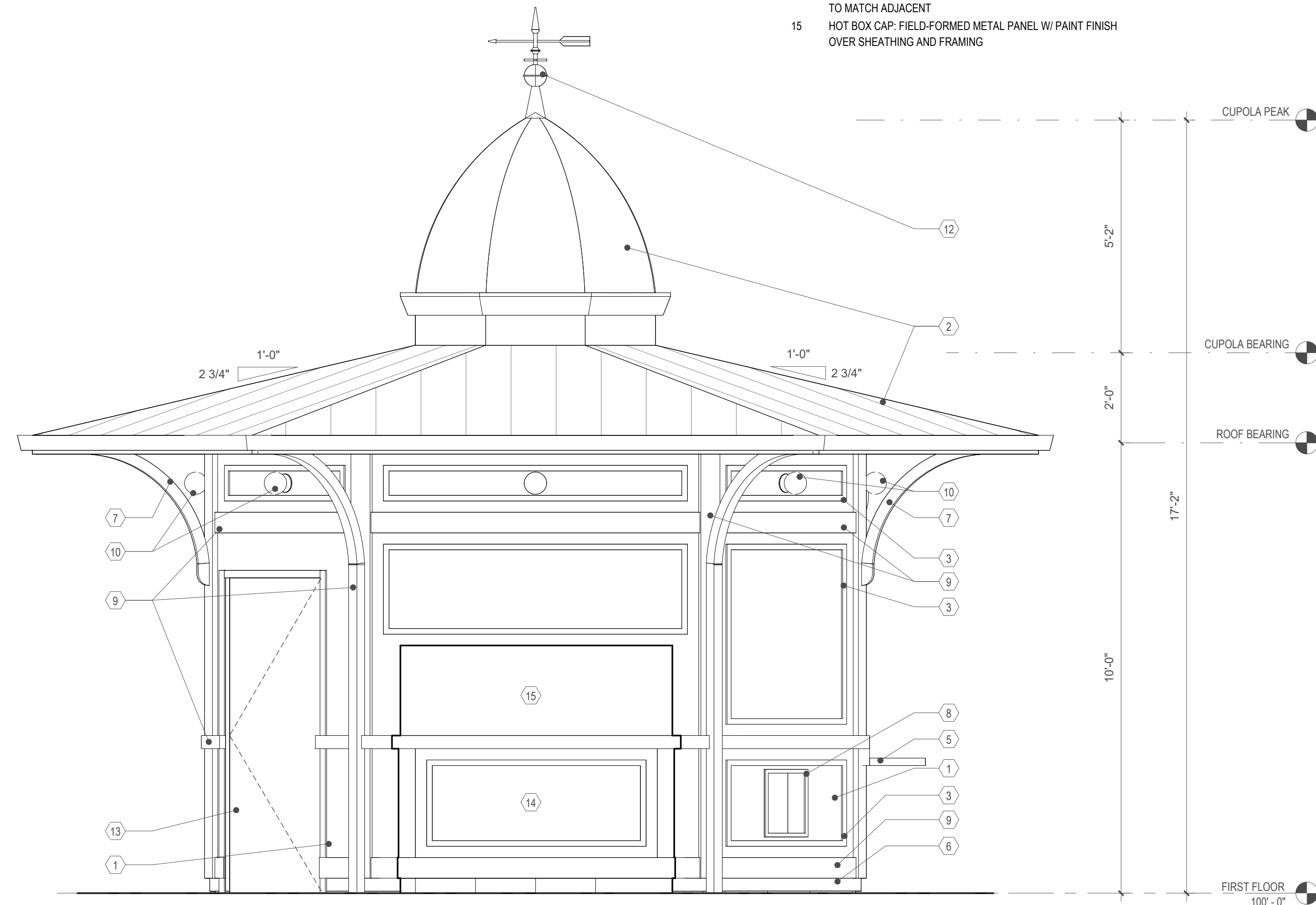
ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/24
FINAL DEVELOPMENT PLAN R1	11/08/24

EXTERIOR ELEVATION CODED NOTES

- 1 FIBER CEMENT PANEL SIDING, PAINT SW 2816 ROOKWOOD DARK GREEN
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- 12 METAL WEATHERVANE
- 13 INSULATED HOLLOW METAL DOOR WITH FLUSH PANEL & PAINT FINISH
- 14 REMOVABLE FIBER CEMENT ACCESS PANEL WITH TRIM & FINISH TO MATCH ADJACENT
- 15 HOT BOX CAP: FIELD-FORMED METAL PANEL W/ PAINT FINISH OVER SHEATHING AND FRAMING



2 WEST ELEVATION
1/2" = 1'-0"



1 SOUTH ELEVATION
1/2" = 1'-0"
0' 6" 1' 2' 4'

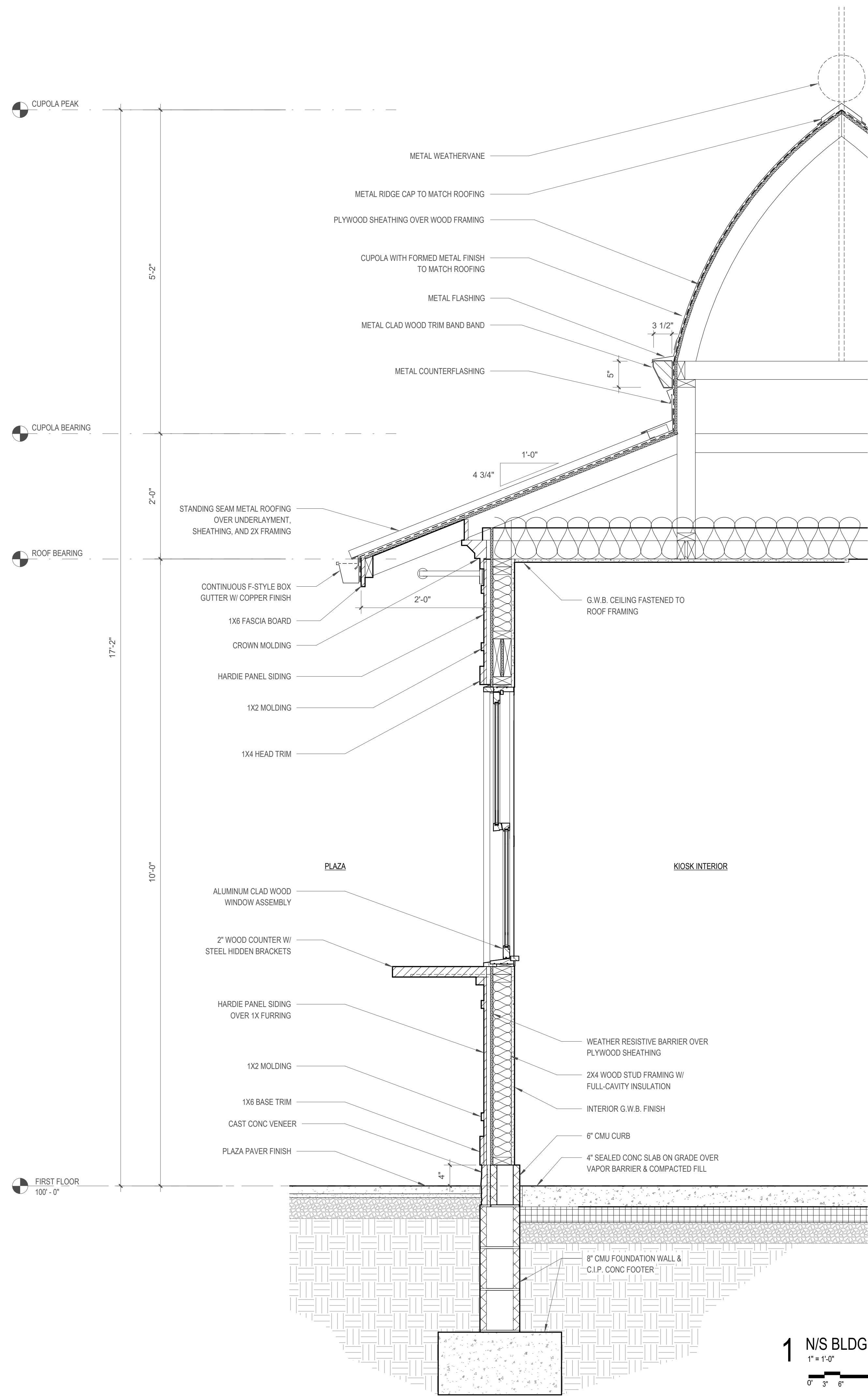
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KIOSK ELEVATIONS

PROJECT # 23115
DATE 11/08/24
DRAWN BY: SR REVIEWED BY: JF

SHEET #
K-A201

KIOSK



1 N/S BLDG SECTION
 1" = 1'-0"
 0' 3' 6' 1' 2'

KIOSK

N. RIVERVIEW ST
 DUBLIN, OH 43017

TLA

Tim Lai Architect
 401 W Town Street,
 Columbus, OH 43215
 T.614.321.5128 F.614.453.8728
 info@lalarchitect.com
 www.lalarchitect.com

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ISSUE DESCRIPTION	DATE
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KIOSK DETAILS

PROJECT # 23115
 DATE 11/08/24
 DRAWN BY: JF REVIEWED BY: JF
 SHEET #

K-A400

KIOSK

COHATCH RIVERVIEW

N. RIVERVIEW STREET
DUBLIN, OH 43017



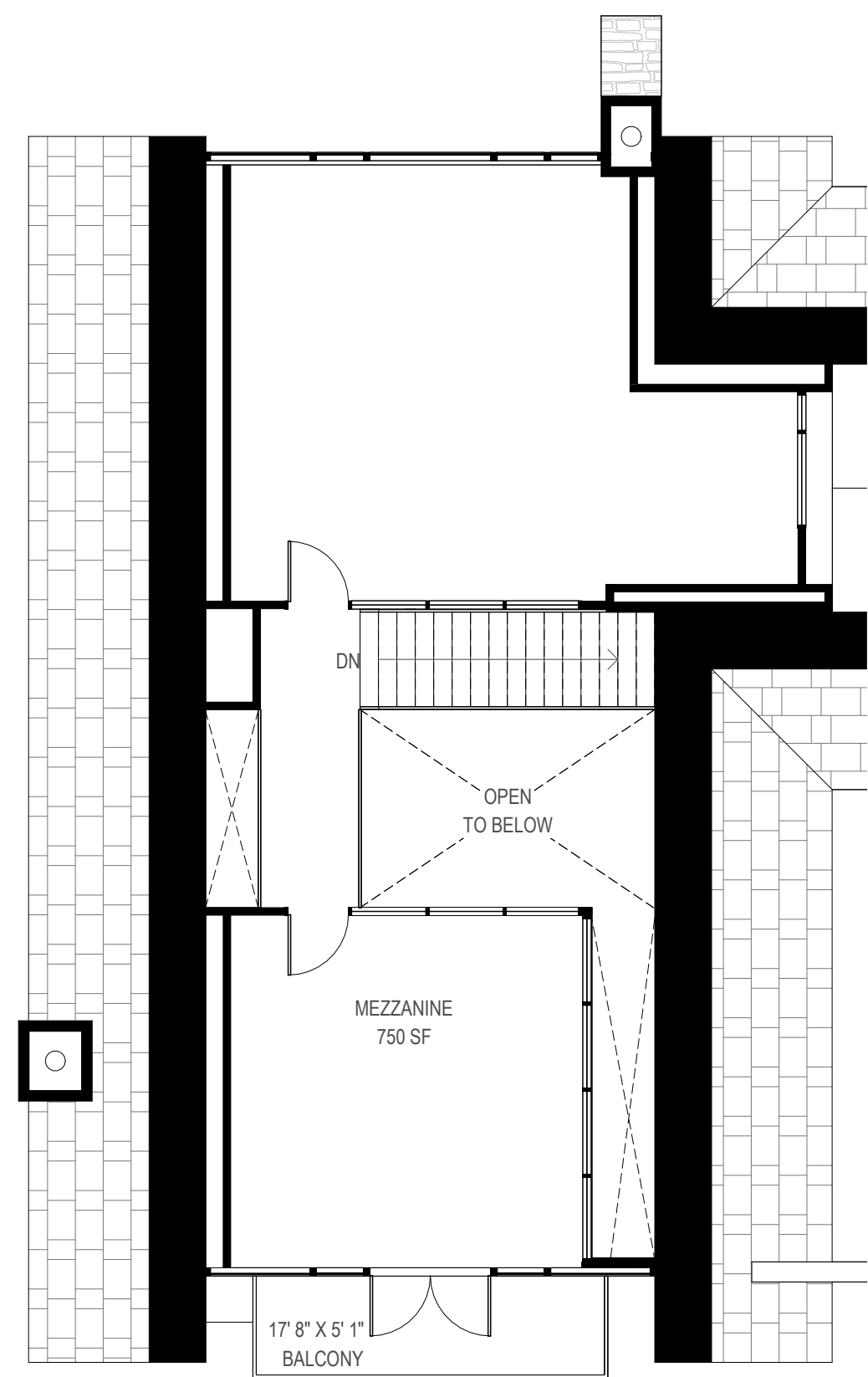
Tim Lai Architect

401 W Town Street,
Columbus, OH 43215
T.614.321.5128 F.614.453.8728
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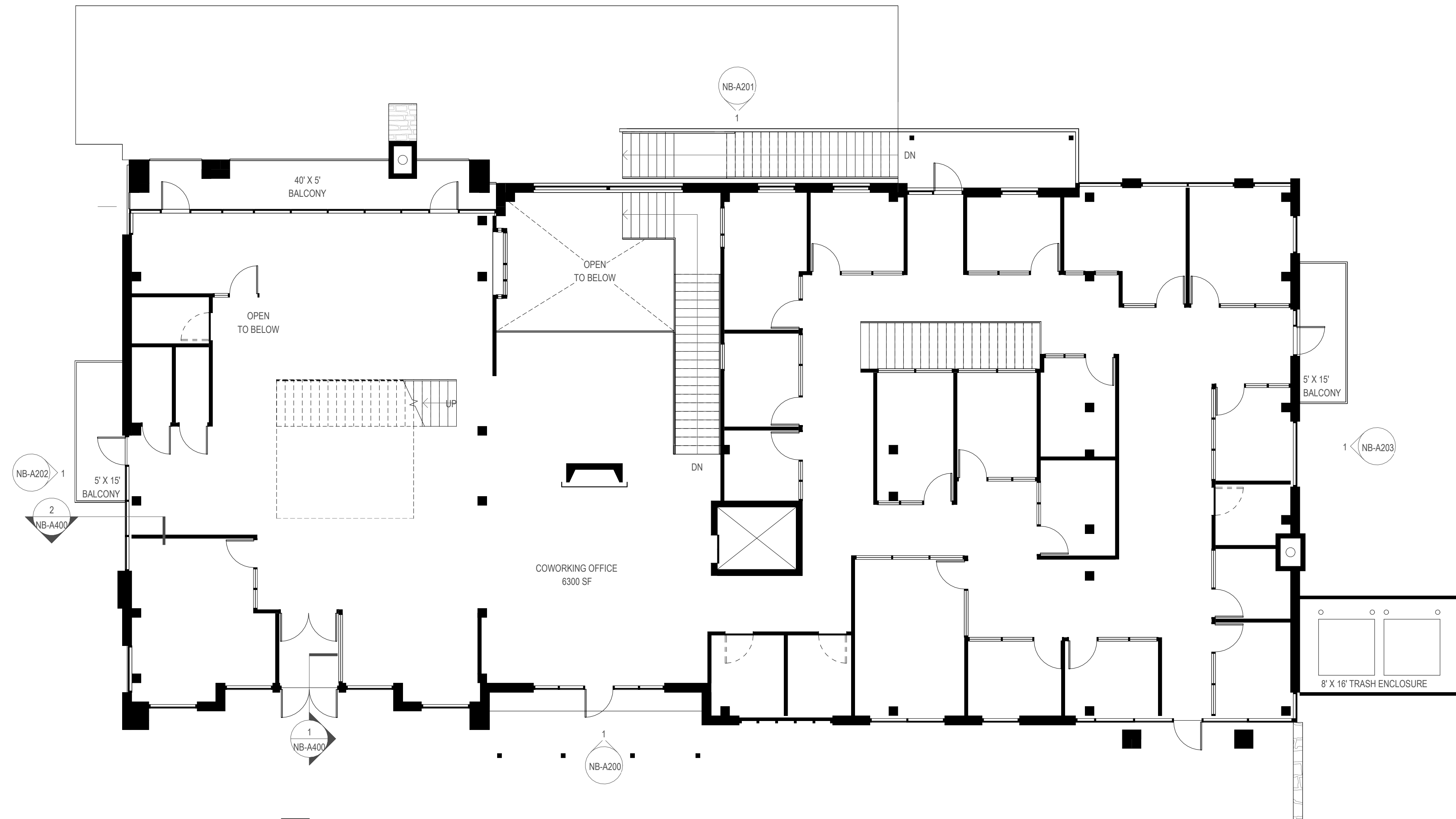
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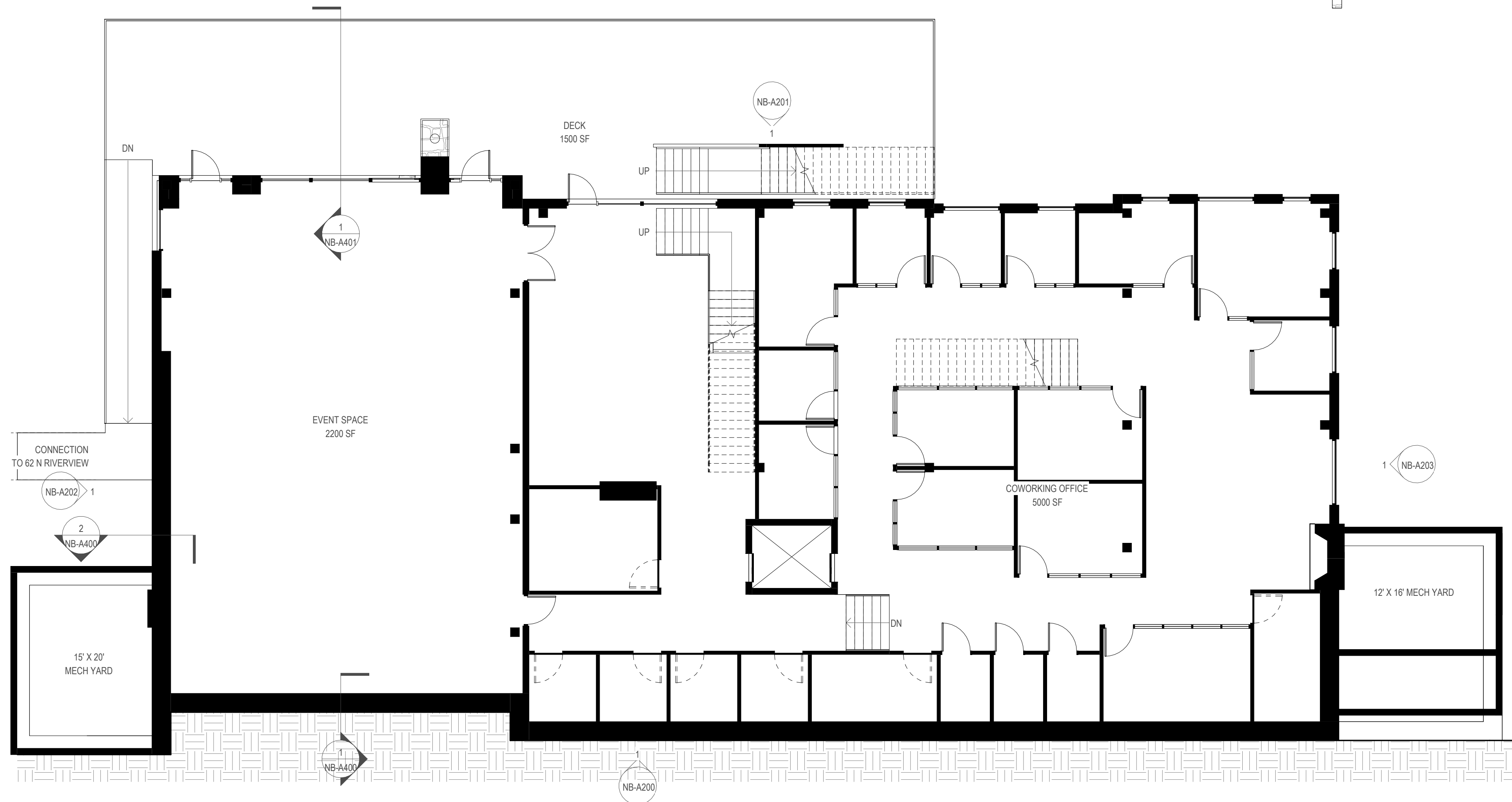
ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024
FINAL DEVELOPMENT PLAN R1	11/08/2024



3 MEZZANINE FLOOR PLAN
1/8" = 1'-0"



2 FIRST FLOOR PLAN
1/8" = 1'-0"



1 LOWER FLOOR PLAN
1/8" = 1'-0"



PRELIMINARY DOCUMENTS
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NEW BUILD FLOOR
PLANS

PROJECT #	23115
DATE	11/08/24
DRAWN BY:	SR
REVIEWED BY:	JF
SHEET #	

NB-A100

COHATCH RIVERVIEW

COHATCH RIVERVIEW

N. RIVERVIEW STREET
DUBLIN, OH 43017



Tim Lai Architect

401 W Town Street,
Columbus, OH 43215
T.614.321.5128 F.614.453.8728
info@laiarchitect.com
www.laiarchitect.com

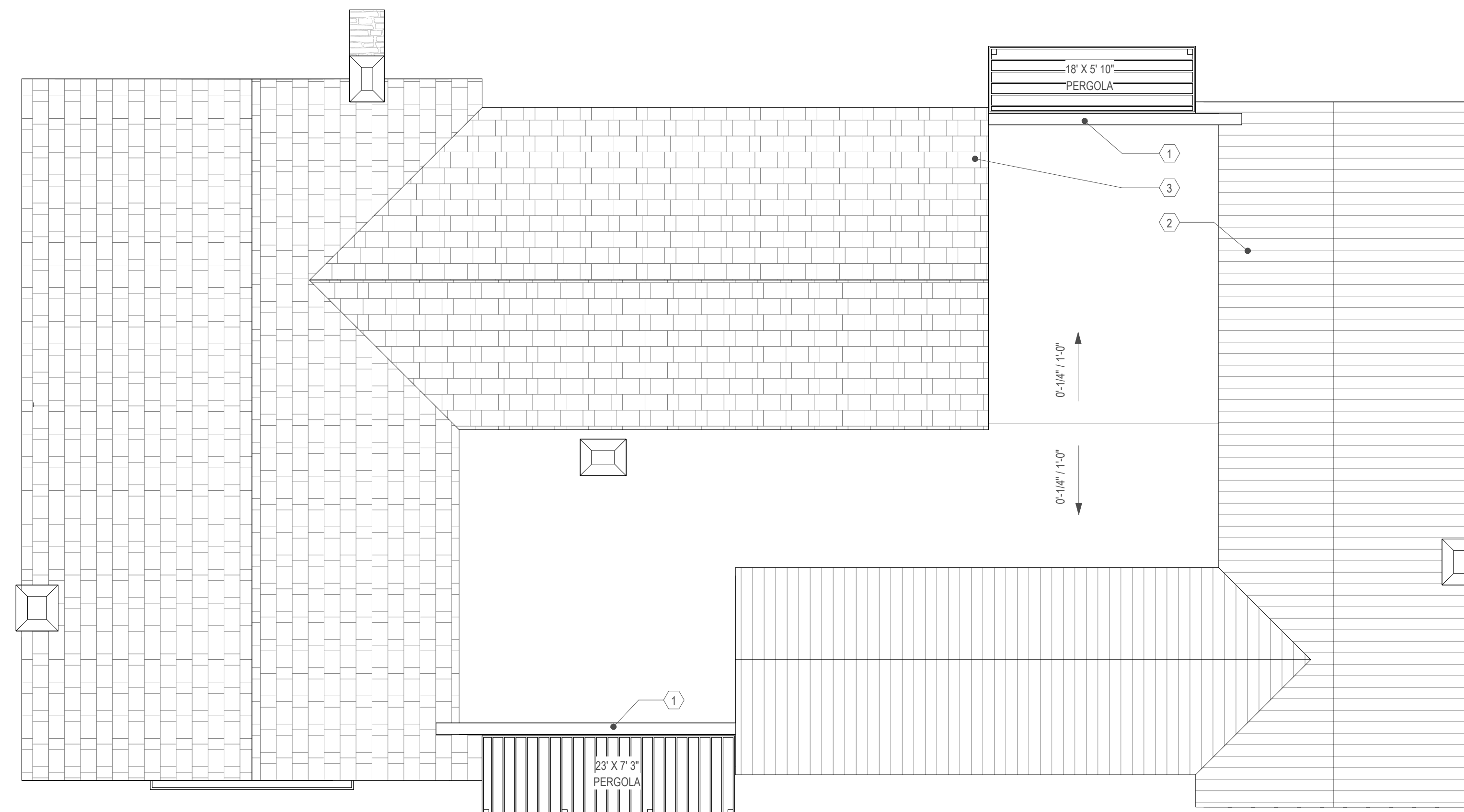
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ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024
FINAL DEVELOPMENT PLAN R1	11/08/2024

ROOF PLAN CODED NOTES

- 1 PARAPET WALL W/ METAL SIDING PANEL, DARK BRONZE FINISH
- 2 STANDING SEAM METAL ROOF DMI DARK BRONZE
- 3 CLASSIC METAL ROOFING SYSTEMS OXFORD SHINGLE, VERMONT SLATE



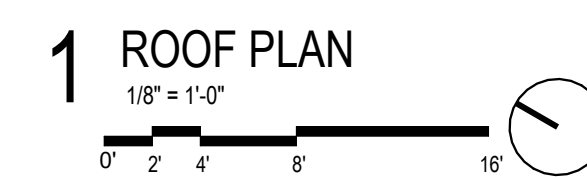
PRELIMINARY DOCUMENTS
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NEW BUILD ROOF
PLAN

PROJECT #	23115
DATE	11/08/24
DRAWN BY:	SR
REVIEWED BY:	JF
SHEET #	

NB-A101

COHATCH RIVERVIEW



ELEVATION CODED NOTES

- 1 STAINED WOOD SIDING, DARK GRAY
- 2 STAINED WOOD SIDING, MEDIUM GRAY TO MATCH EXISTING COHATCH
- 3 STANDING SEAM METAL ROOF DMI DARK BRONZE
- 4 CLASSIC METAL ROOFING SYSTEMS OXFORD SHINGLE, VERMONT SLATE
- 5 CHIMNEY W/ RUSTICATED LIMESTONE VENEER
- 6 EXISTING STONE RUIN TO REMAIN
- 7 ALUMINUM STOREFRONT ASSEMBLY, DARK BRONZE FINISH
- 8 STEEL GUARDRAIL W/ DARK BRONZE FINISH
- 9 WOOD FASCIA, DARK GRAY
- 10 PIER W/ CONCRETE FORMLINER 2/353 TARN OR EQUIV.
- 11 METAL SIDING PANEL W/ DARK BRONZE FINISH
- 12 US FORMLINER CONCRETE FORMLINER 2/353 TARN OR EQUIV.
- 13 LED RAILING LIGHT
- 14 EXTERIOR WALL SCONCE LIGMAN GINO 2 DOWNLIGHT
- 15 FORMED MTL BOX DOWNSPOUT RECESSED IN WALL TO FLUSH W/ FINISH FACE
- 16 WOOD PERGOLA
- 17 DECORATIVE WOOD LOUVERS W/ MEDIUM GRAY STAIN OVER TUBE STEEL FRAME W/ DARK BRONZE FINISH
- 18 CONCEALED GUTTER
- 19 2X4 WOOD TRIM, DARK GRAY
- 20 MECHANICAL TRASH ENCLOSURE
- 21 CAST STONE BAND
- 22 LIMESTONE VENEER OVER EXTERIOR WALL
- 23 OPEN WOOD JOIST W/ MEDIUM GRAY STAIN & STEEL GRATE FALL PROTECTION OVER MECH ENCLOSURE
- 24 MASTER SERVICES STYLE #1 FORMED METAL CHIMNEY CAP W/ DARK BRONZE FINISH

COHATCH RIVERVIEW

N. RIVERVIEW STREET
DUBLIN, OH 43017



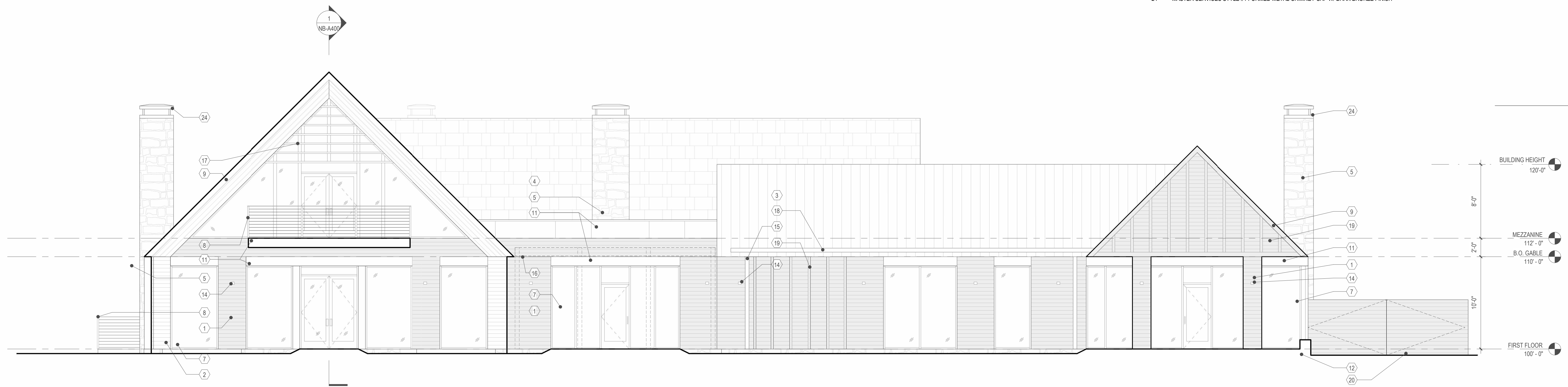
Tim Lai Architect

401 W Town Street,
Columbus, OH 43215
T.614.321.5128 F.614.453.8728
info@laiarchitect.com
www.laiarchitect.com

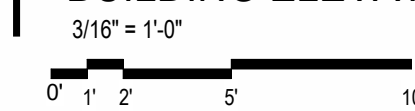
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ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024
FINAL DEVELOPMENT PLAN R1	11/08/2024



1 BUILDING ELEVATION - WEST



PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

BUILDING
ELEVATIONS

PROJECT # 23115

DATE 11/08/24

DRAWN BY: SR REVIEWED BY: JF

SHEET #

NB-A200

COHATCH RIVERVIEW

ELEVATION CODED NOTES

- 1 STAINED WOOD SIDING, DARK GRAY
- 2 STAINED WOOD SIDING, MEDIUM GRAY TO MATCH EXISTING COHATCH
- 3 STANDING SEAM METAL ROOF DMI DARK BRONZE
- 4 CLASSIC METAL ROOFING SYSTEMS OXFORD SHINGLE, VERMONT SLATE
- 5 CHIMNEY W/ RUSTICATED LIMESTONE VENEER
- 6 EXISTING STONE RUIN TO REMAIN
- 7 ALUMINUM STOREFRONT ASSEMBLY, DARK BRONZE FINISH
- 8 STEEL GUARDRAIL W/ DARK BRONZE FINISH
- 9 WOOD FASCIA, DARK GRAY
- 10 PIER W/ CONCRETE FORMLINER 2/353 TARN OR EQUIV.
- 11 METAL SIDING PANEL W/ DARK BRONZE FINISH
- 12 US FORMLINER CONCRETE FORMLINER 2/353 TARN OR EQUIV.
- 13 LED RAILING LIGHT
- 14 EXTERIOR WALL SCONCE LIGMAN GINO 2 DOWNLIGHT
- 15 FORMED MTL BOX DOWNSPOUT RECESSED IN WALL TO FLUSH W/ FINISH FACE
- 16 WOOD PERGOLA
- 17 DECORATIVE WOOD LOUVERS W/ MEDIUM GRAY STAIN OVER TUBE STEEL FRAME W/ DARK BRONZE FINISH
- 18 CONCEALED GUTTER
- 19 2X4 WOOD TRIM, DARK GRAY
- 20 MECHANICAL TRASH ENCLOSURE
- 21 CAST STONE BAND
- 22 LIMESTONE VENEER OVER EXTERIOR WALL
- 23 OPEN WOOD JOIST W/ MEDIUM GRAY STAIN & STEEL GRATE FALL PROTECTION OVER MECH ENCLOSURE
- 24 MASTER SERVICES STYLE #1 FORMED METAL CHIMNEY CAP W/ DARK BRONZE FINISH

COHATCH RIVERVIEW

N. RIVERVIEW STREET
DUBLIN, OH 43017



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T.614.321.5128 F.614.453.8728
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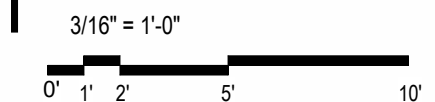
BUILDING
ELEVATIONS

PROJECT # 23115
DATE 11/08/24
DRAWN BY: SR REVIEWED BY: JF
SHEET #

NB-A201

COHATCH RIVERVIEW

1 BUILDING ELEVATION - EAST



ELEVATION CODED NOTES

- 1 STAINED WOOD SIDING, DARK GRAY
- 2 STAINED WOOD SIDING, MEDIUM GRAY TO MATCH EXISTING COHATCH
- 3 STANDING SEAM METAL ROOF DMI DARK BRONZE
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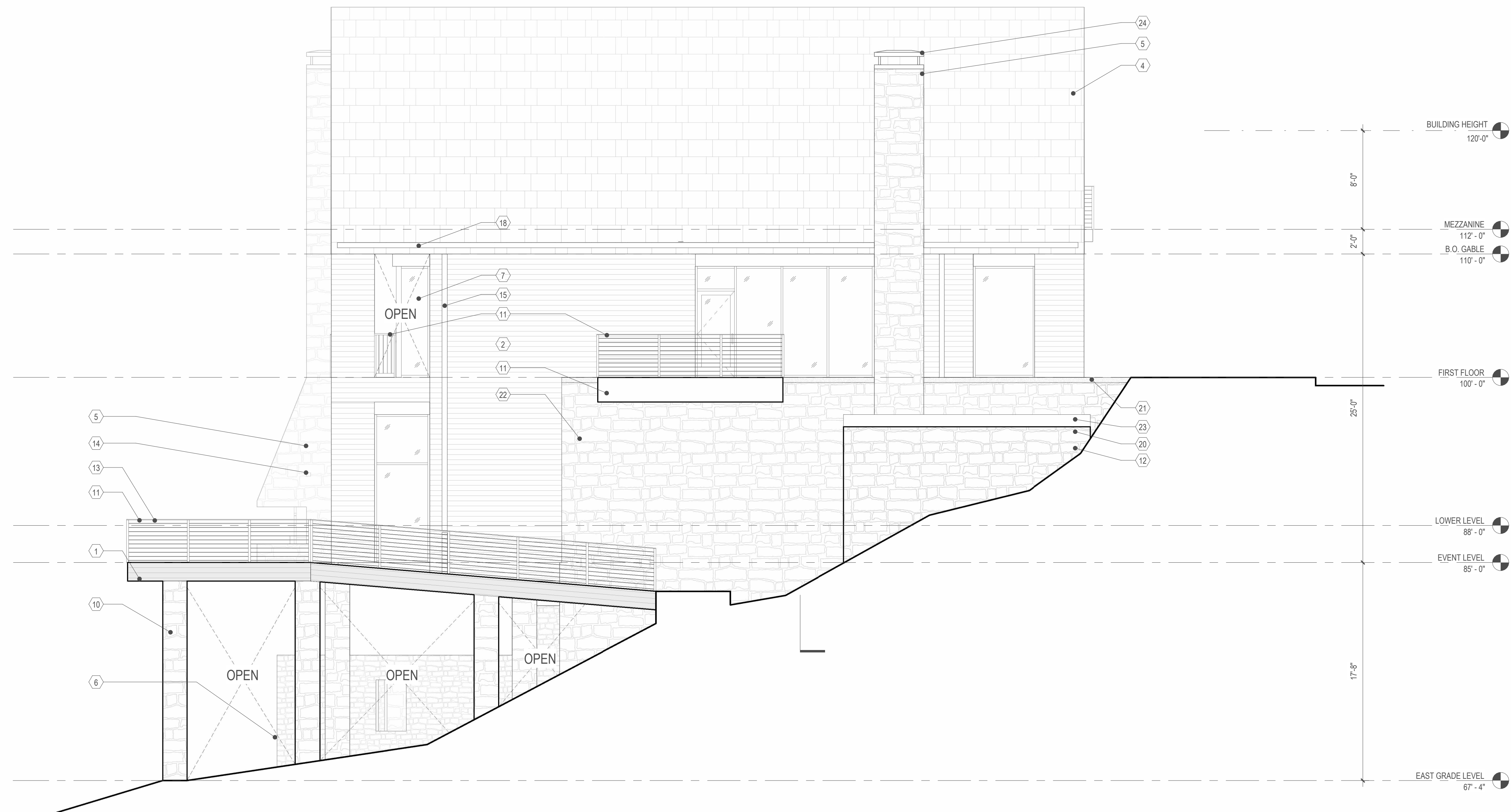
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BUILDING ELEVATIONS

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NB-A202

COHATCH RIVERVIEW

1 BUILDING ELEVATION - NORTH
3/16" = 1'-0"

ELEVATION CODED NOTES

- 1 STAINED WOOD SIDING, DARK GRAY
- 2 STAINED WOOD SIDING, MEDIUM GRAY TO MATCH EXISTING COHATCH
- 3 STANDING SEAM METAL ROOF DMI DARK BRONZE
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COHATCH RIVERVIEW

N. RIVERVIEW STREET
DUBLIN, OH 43017



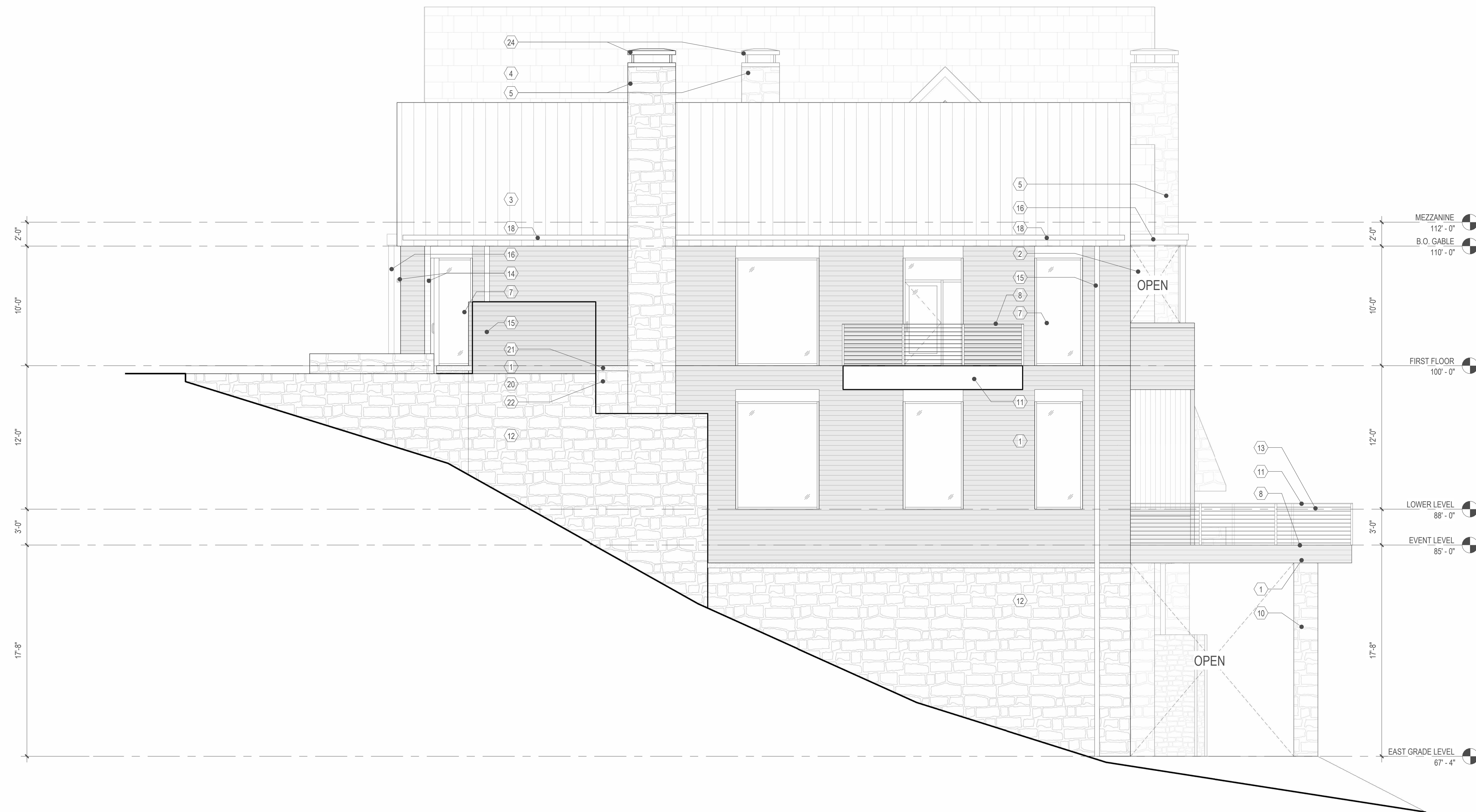
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BUILDING
ELEVATIONS

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NB-A203

COHATCH RIVERVIEW

1 BUILDING ELEVATION - SOUTH
3/16" = 1'-0"

COHATCH RIVERVIEW

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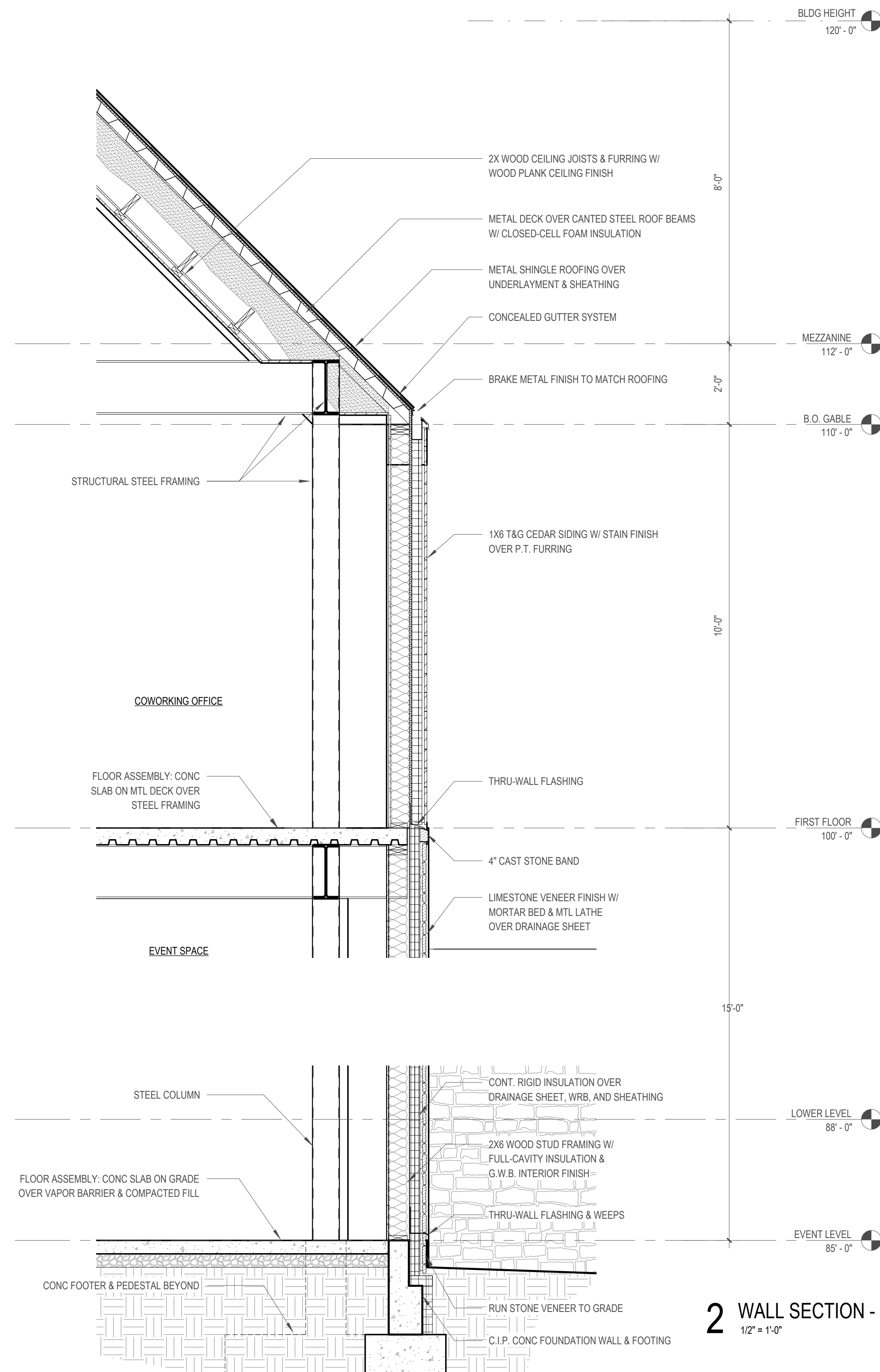


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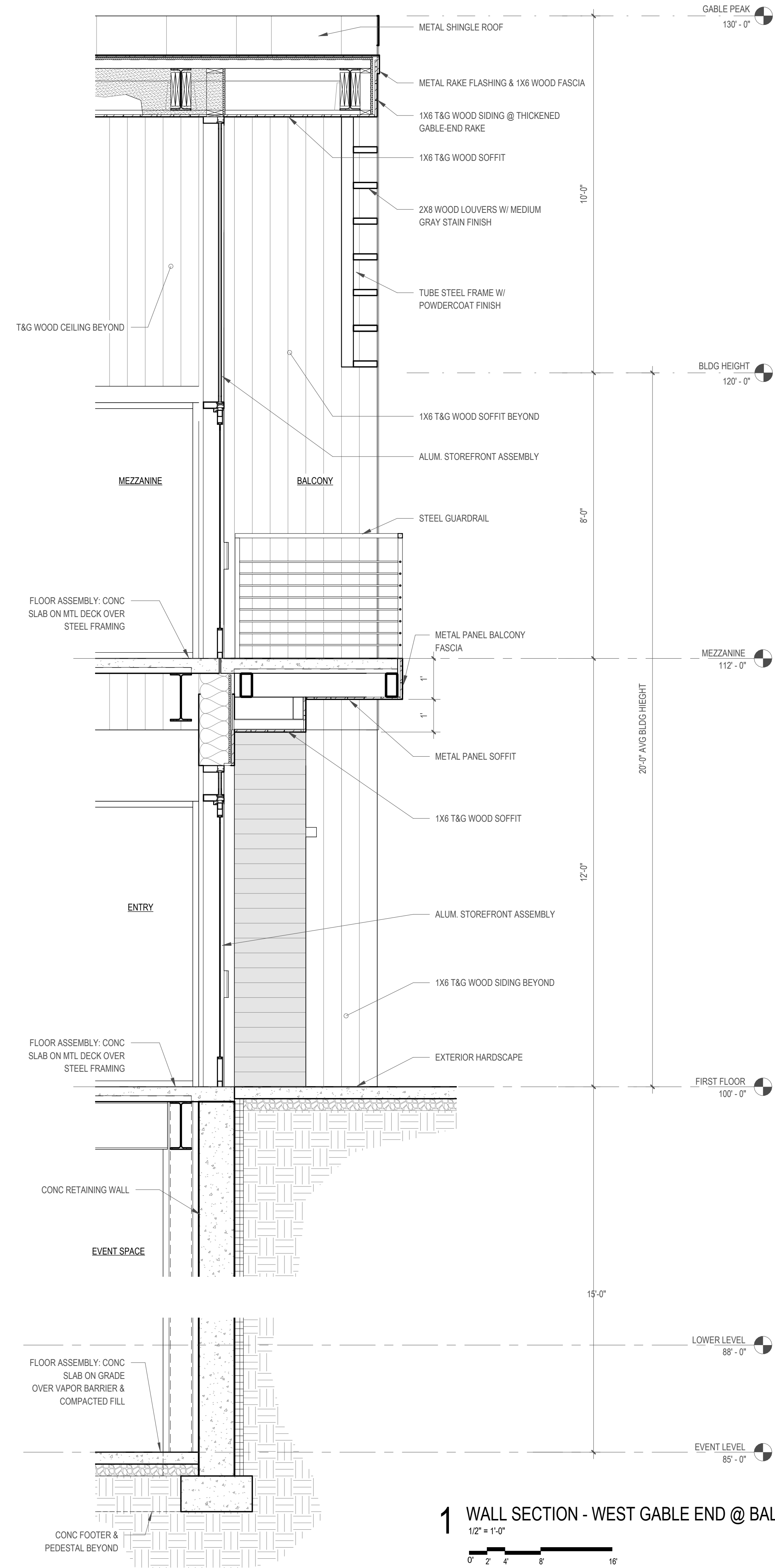
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2 WALL SECTION - NORTH EAVE
1/2" = 1'-0"



1 WALL SECTION - WEST GABLE END @ BALCONY
1/2" = 1'-0"



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NEW BUILD DETAILS

PROJECT # 23115
DATE 11/08/24
DRAWN BY: JF REVIEWED BY: JF

SHEET #
NB-A400

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COHATCH RIVERVIEW

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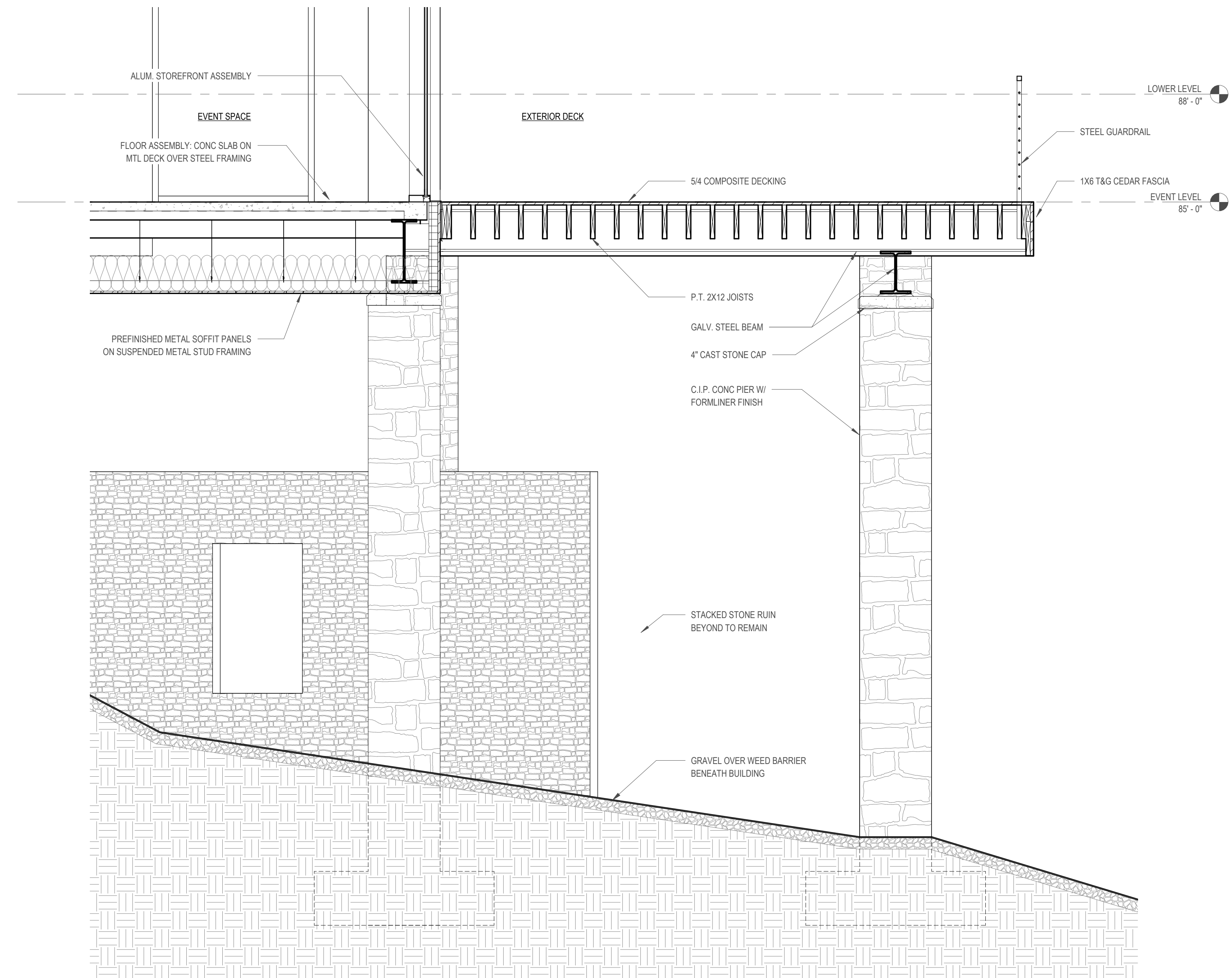
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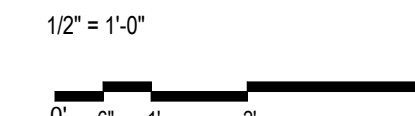
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1 PARTIAL WALL SECTION - EAST DECK @ RUIN



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NEW BUILD DETAILS

PROJECT #	23115
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COHATCH RIVERVIEW