

SURVEY NOTES

- BEARINGS HERON BASED ON N25°10'17"W FOR THE EASTERLY RIGHT OF WAY LINE OF N. RIVERVIEW ST., PER AN OHIO RTN SURVEY, SPCS GRID, OHIO SOUTH ZONE, NAD83, 2023 ADJUSTMENT, US SURVEY FEET.
- UTILITIES SHOWN HEREON BASED ON FIELD EVIDENCE, RECORD PLANS AND MARKINGS THROUGH CALL TO OUPS, TICKET Nos. A400801291, A400801278, B400800626, AND A400801252.

BASIS OF BEARINGS

SURVEY COORDINATE SYSTEM REFERENCED TO STATE PLANE GRID, OHIO SOUTH ZONE, PER AN OHIO RTN SURVEY.

VERTICAL DATUM

ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

BENCHMARKS

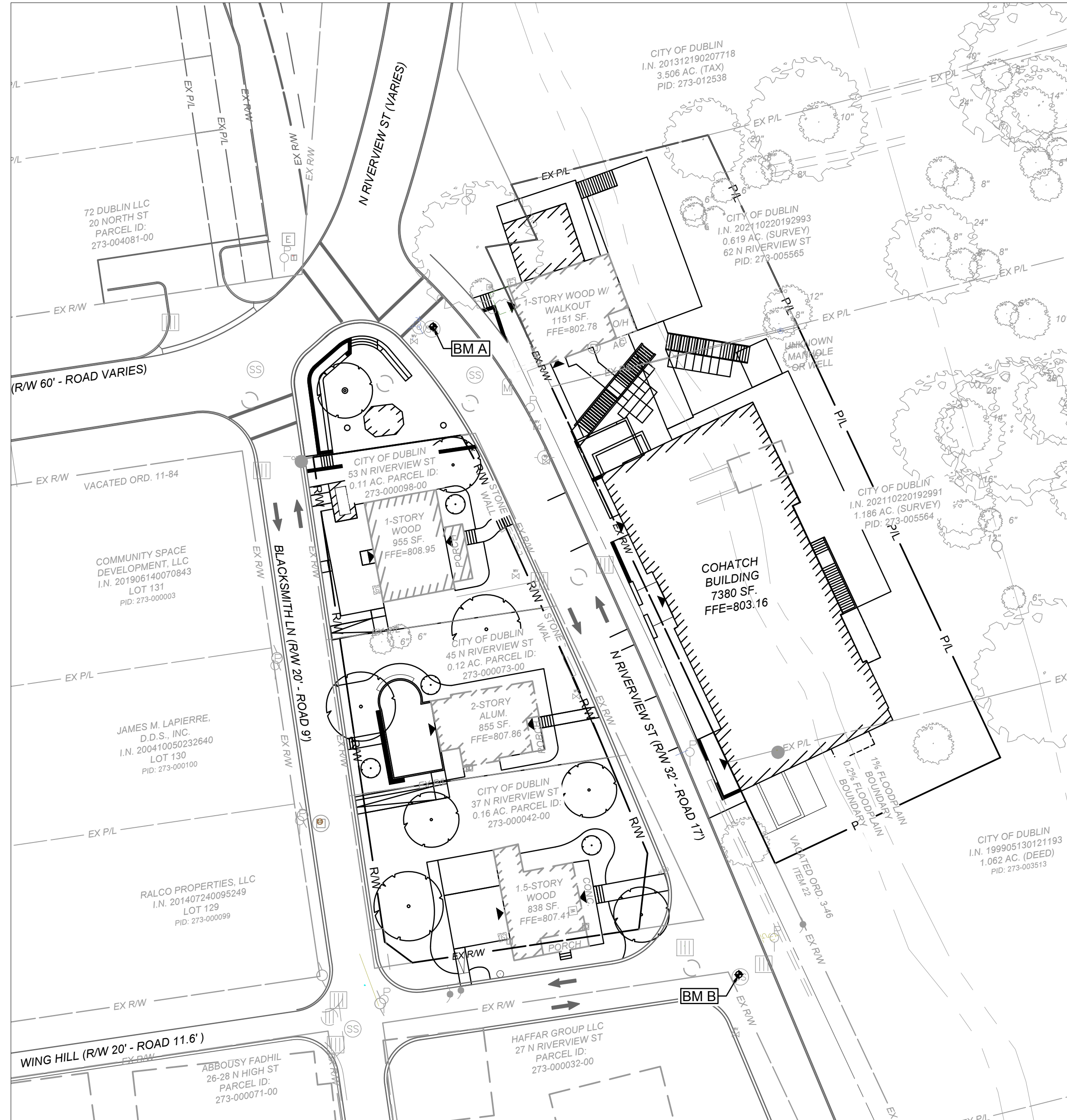
- A CHISELED "X" SET ON THE EAST RIM OF THE SANITARY MANHOLE LOCATED ON THE EAST SIDE OF THE INTERSECTION OF NORTH RIVERVIEW STREET AND NORTH STREET. ELEV=805.32
- A CHISELED "X" SET ON THE NORTH RIM OF THE SANITARY MANHOLE LOCATED AT THE INTERSECTION OF NORTH RIVERVIEW STREET AND WING HILL ALLEY. ELEV=801.81

COMMERCIAL BUILDING SUMMARY TABLE			
BUILDING	OFFICE & RESTAURANT		
BUILDING TYPE	HISTORIC MIXED USE		
EATING AND DRINKING AREA	7,973 SF		
OFFICE AREA	14,095 SF		
COMMERCIAL PARKING CALCULATION			
BUILDING	USE / SQUARE FOOTAGE	MINIMUM SPACES	MAXIMUM SPACES
53 N RIVERVIEW ST	EATING & DRINKING / 1,130 SF	10:1000 SF = 12 SPACES	
45 N RIVERVIEW ST	OFFICE, GENERAL / 915 SF	2.5:1000 SF = 3 SPACES	
37 N RIVERVIEW ST	OFFICE, GENERAL / 1,130 SF	2.5:1000 SF = 3 SPACES	
62 N RIVERVIEW ST	RESTAURANT / 2,855 SF	10:1000 SF = 24 SPACES	
	PATIO / 1,727 SF	10:1000 SF = 23 SPACES	
NEW BUILDING	EVENT SPACE - EATING & DRINKING / 2,200 SF	10:1000 SF = 22 SPACES	N/A
	OFFICE, GENERAL / 12,050 SF	2.5:1000 SF = 31 SPACES	
REQUIRED PARKING		118 SPACES	
PROPOSED PARKING		0 SPACES	
REQUIRED ADA PARKING (VAN/TOTAL)		1 / 2	
PROVIDED ADA PARKING (VAN/TOTAL)		0	
REQUIRED BIKE PARKING		1:10 SPACES = 11	N/A
PROPOSED BIKE PARKING		0	

BUILDING SUMMARY TABLE	
ZONING CLASSIFICATION/ DISTRICT	BSD-HC: BRIDGE STREET DISTRICT - HISTORIC CORE
MAXIMUM BUILDING HEIGHT	30'-0"
BUILDING HEIGHT	30'-0"
MAXIMUM LOT COVERAGE	85 %
LOT COVERAGE (53 N RIVERVIEW ST)	50.6%
LOT COVERAGE (45 N RIVERVIEW ST)	35.8%
LOT COVERAGE (37 N RIVERVIEW ST)	30.2%
LOT COVERAGE (62 N RIVERVIEW ST)	53.2%
LOT COVERAGE (NEW BUILDING)	63.9%
REQUIRED SETBACK (FRONT/SIDE/REAR)	0' / 0' / 5'
SETBACK (53 N RIVERVIEW ST - FRONT/NORTH/SOUTH/REAR)	14.8' / 17.8' / 12' / 11.1'
SETBACK (45 N RIVERVIEW ST - FRONT/NORTH/SOUTH/REAR)	21.9' / 24.7' / 5.5' / 29.66'
SETBACK (37 N RIVERVIEW ST - FRONT/NORTH/SOUTH/REAR)	21.33' / 25.58' / -3' / 43.25'
SETBACK (62 N RIVERVIEW ST - FRONT/NORTH/SOUTH/REAR)	0' / 31.25' / 10.9' / 51.8'
SETBACK (NEW BUILDING - FRONT/NORTH/SOUTH/REAR)	0' / 14.5' / 37.5' / 25.8'

SITE DATA TABLE	
TOTAL SITE AREA (AC)	0.86
TOTAL DISTURBED PROPERTY AREA (AC)	0.40
TOTAL DISTURBED R/W AREA (AC)	0.05
PRE-DEVELOPED IMPERVIOUS (AC)	0.12
POST-DEVELOPED IMPERVIOUS (AC)	0.44
EXISTING PERCENT IMPERVIOUS	14.86
PROPOSED PERCENT IMPERVIOUS	51.30

FINAL DEVELOPMENT PLAN FOR **COHATCH** RIVERVIEW VILLAGE DUBLIN, OHIO 43017 2024

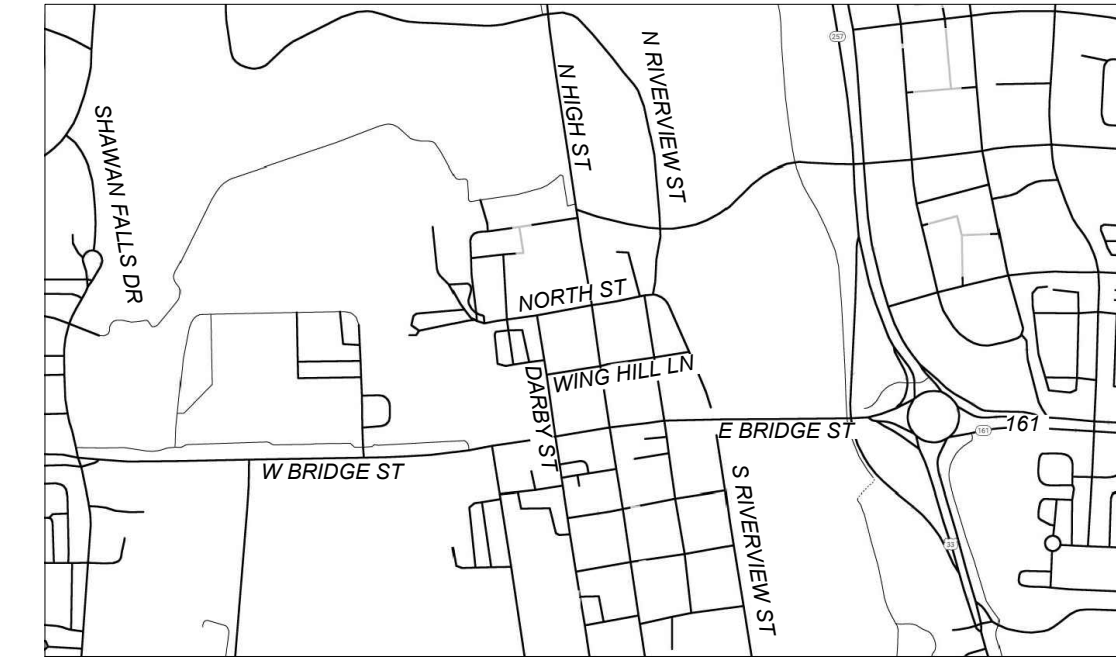
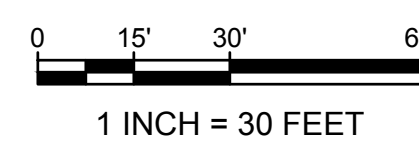


UNDERGROUND UTILITIES
2 WORKING DAYS BEFORE YOU DIG
CALL 800-362-2764 (TOLL FREE)
OHIO UTILITIES PROTECTION SERVICE
NON-MEMBER
MUST BE CALLED DIRECTLY

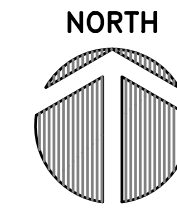


INDEX MAP

SCALE: 1"=30'
GRAPHIC SCALE



VICINITY MAP
NO SCALE



OWNER/DEVELOPER:
COHATCH
25 NORTH ST
DUBLIN, OHIO 43017
CONTACT: MATT DAVIS
PHONE: 614-324-9232
EMAIL: MATT@COHATCH.COM

ARCHITECT:
TIM LAI ARCHITECT
401 W TOWN ST - STUDIO 233
COLUMBUS, OHIO 43215
CONTACT: ELIZA HO
PHONE: 614-321-5128
EMAIL: ELIZAH@LAIARCHITECT.COM

STORMWATER NOTE:
PER DUBLIN STORMWATER MANAGEMENT DESIGN MANUAL TABLE 2-1, STORMWATER QUANTITY IS NOT APPLICABLE DUE TO THE SITE BEING LOCATED IN THE HISTORIC DISTRICT AND LESS THAN 1 ACRE.

DESIGN ENGINEER:
OSBORN ENGINEERING
130 E CHESTNUT ST - SUITE 401
COLUMBUS, OHIO 43215
CONTACT: WES DAVIS, P.E.
PHONE: 614-556-4272
EMAIL: WDAVIS@OSBORN-ENG.COM

FLOOD DESIGNATION:
ACCORDING TO F.E.M.A. FLOOD INSURANCE RATE MAP #39049C0151K, DATED June 17, 2008 FOR COMMUNITY NUMBER 390673, THE MAJORITY OF THIS PROPERTY IS IN ZONE AE AND A PART OF IT IS IN ZONE X.

PROJECT DESCRIPTION:
REDEVELOPMENT OF OFFICE USE BUILDINGS AND ADDITION OF A NEW BUILDING ALONG WITH THE ASSOCIATED UTILITY IMPROVEMENTS.



DUBLIN - RIVERVIEW VILLAGE DEVELOPMENT

**COHATCH
CITY OF DUBLIN OHIO**

TAG	ISSUED	DATE
-	PDP SUBMITTAL	8/30/24
-	PDP SUBMITTAL	9/18/24
-	FDP SUBMITTAL	10/3/24

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CHECKED BY: WMD
CLIENT PROJ NO.: OSBORN PROJ NO. J20220724.000

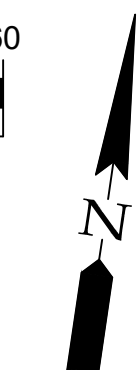
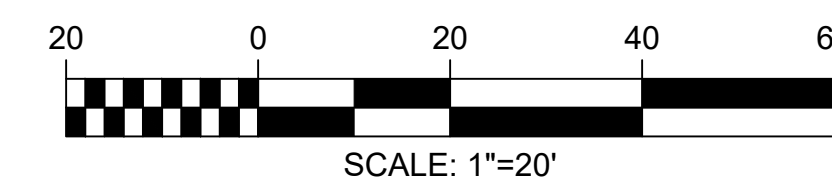
TITLE SHEET

DRAWING NO.
C001

INDEX OF SHEETS

- C001 TITLE SHEET
- C002 EXISTING CONDITIONS
- C003 EXISTING CONDITIONS
- C004 DEMOLITION PLAN
- C005 SITE PARKING PLAN
- C100 SITE STAKING PLAN
- C101 SITE STAKING PLAN EXHIBIT
- C200 SITE UTILITY PLAN
- C300 SITE GRADING PLAN
- C400 FLOODPLAIN EXHIBIT
- C401 AUTOTURN EXHIBIT

SITUATED IN:
 VIRGINIA MILITARY SURVEY NUMBER 2542
 AND ORIGINAL PLAT OF DUBLIN (P.B. 3, PG. 199)
 CITY OF DUBLIN, FRANKLIN COUNTY, OHIO



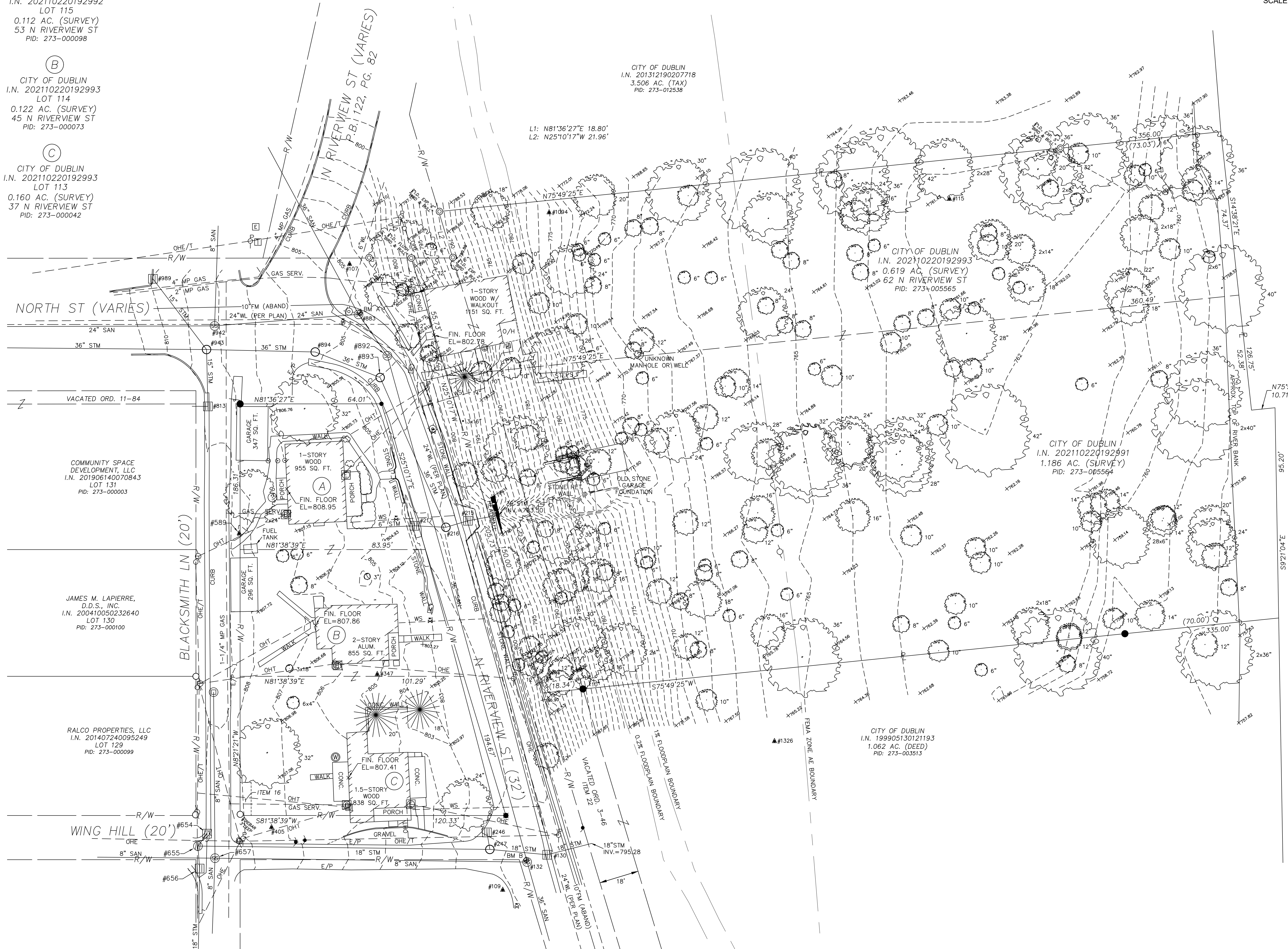
(A)
 CITY OF DUBLIN
 I.N. 202110220192992
 LOT 115
 0.112 AC. (SURVEY)
 53 N RIVERVIEW ST
 PID: 273-000098

(B)
 CITY OF DUBLIN
 I.N. 202110220192993
 LOT 114
 0.122 AC. (SURVEY)
 45 N RIVERVIEW ST
 PID: 273-000073

(C)
 CITY OF DUBLIN
 I.N. 202110220192993
 LOT 113
 0.160 AC. (SURVEY)
 37 N RIVERVIEW ST
 PID: 273-000042

CITY OF DUBLIN
 I.N. 201312190207718
 3.506 AC. (TAX)
 PID: 273-012538

L1: N81°36'27"E 18.80'
 L2: N25°10'17"W 21.96'



NORTH ST (VARIES)

SCIOTO RIVER

VACATED ORD. 11-84

COMMUNITY SPACE DEVELOPMENT, LLC
 I.N. 201906140070843
 LOT 131
 PID: 273-000003

JAMES M. LAPIERRE, D.D.S., INC.
 I.N. 200410050232640
 LOT 130
 PID: 273-000100

RALCO PROPERTIES, LLC
 I.N. 201407240095249
 LOT 129
 PID: 273-000099

WING HILL (20')

BLACKSMITH LN (20')

N RIVERVIEW ST (32')

EXISTING CONDITIONS

DRAWING NO.
C003

ALTA/NSPS LAND TITLE SURVEY
 37, 45, 53 & 62 N. RIVERVIEW ST.
 DUBLIN, OH 43017

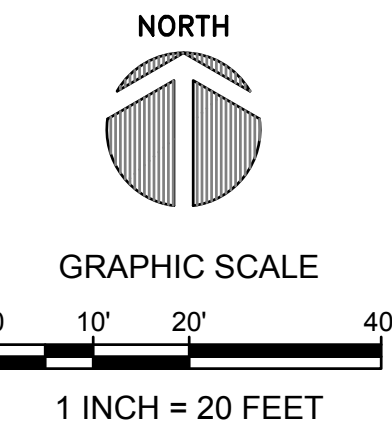
SHEET
 2/2

SCALE: 1"=20'
 WLS JOB No.: 23-321
 DATE: 1/30/2024
 CLIENT: COHATCH
 F.B./P.C.: 44/1-14

8850 COMMERCE LOOP DR
 COLUMBUS, OH 43240
 (614) 899-2209

REVISIONS

P:\Cohatch\20220724_000_N_Riverview_SiteDrawings\Civil\Sheets\20220724_000 - C-004 - Demolition Plan.dwg
 10/10/2024 12:02 PM Thomas, Derek



ABBREVIATION LEGEND:

- EX - EXISTING
- C/L - CENTER LINE
- R/W - RIGHT OF WAY
- P/L - PROPERTY LINE
- FFE - FINISH FLOOR ELEVATION
- OHE - OVERHEAD ELECTRIC
- SS - SANITARY SEWER
- CS - COMBINED SEWER
- UGE - UNDERGROUND ELECTRIC
- WM - WATERMAIN
- WC - WATER CONNECTION
- STM - STORM SEWER
- G - GAS
- MH - MANHOLE
- TC - TOP OF CURB
- EP - EDGE OF PAVEMENT
- DND - DO NOT DISTURB
- UGL - UNDERGROUND LIGHT

DEMOLITION CODED NOTES

1. EXISTING FUEL TANK STRUCTURE TO BE REMOVED.
2. EXISTING CONCRETE WALL TO BE REMOVED.
3. EXISTING STONE FOUNDATION TO BE REMOVED AND SALVAGED FOR RELOCATION.
4. EXISTING HEADWALL TO BE REMOVED.
5. EXISTING BUSHES TO BE REMOVED.
6. EXISTING STONE RETAINING WALL TO REMAIN AND BE INCORPORATED INTO DESIGN.

DEMOLITION LEGEND

- TREE TO BE REMOVED.
- CONCRETE PAVEMENT TO BE REMOVED.
- BUILDING TO BE REMOVED.
- PROTECTIVE TREE FENCE.
- DEMOLITION LIMITS

DEMOLITION NOTES

1. ALL DEBRIS SHALL NOT BE BURIED ON THE SITE. ALL UNSUITABLE MATERIAL AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL LAWS AND ORDINANCES.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD LOCATE ANY AND ALL UTILITIES PRIOR TO PERFORMING ANY WORK. CONTACT THE APPLICABLE UTILITIES PROTECTION SERVICE AT A MINIMUM OF 48 HOURS IN ADVANCE OF WORK TO BE DONE NEAR ANY EXISTING UTILITY MAIN.
3. CONTRACTOR SHALL NOT DISTURB EXISTING PAVEMENT OUTSIDE OF DEMOLITION AREA.
4. ITEMS DESIGNATED FOR DEMOLITION SHALL NOT BE DISTURBED BY THE CONTRACTOR UNTIL THEY ARE FURNISHED WITH NOTICE TO PROCEED BY THE OWNER. AS SOON AS SUCH NOTICE HAS BEEN GIVEN, THE CONTRACTOR SHALL PERFORM THE DEMOLITION UNDER THE DIRECTION OF THE OWNER'S REPRESENTATIVE.
5. THE SIZE AND LOCATION OF BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HERE HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED WHERE POSSIBLE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
6. THE CONTRACTOR SHALL CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO DEMOLITION TO COORDINATE DISCONNECTION AND REMOVAL OF EXISTING UTILITIES WITHIN THE AREA OF WORK.
7. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES THAT ARE INTENDED TO CONTINUE TO PROVIDE SERVICE WHETHER THESE UTILITIES ARE SHOWN ON THE PLAN OR NOT.
8. UPON DISCOVERY OF UNDERGROUND TANKS OR CONTAMINATED SOILS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE. NO REMOVAL OF TANKS OR CONTAMINATED SOILS SHALL OCCUR UNTIL AUTHORIZED BY THE OWNER AND PROPER AUTHORITIES.
9. ALL EARTHWORK, SUBGRADE PREPARATION AND BACKFILL REQUIREMENTS SHALL BE PER THE LATEST CITY OF DUBLIN AND DOT STANDARD DETAILS AND SPECIFICATIONS.
10. EXISTING ABANDONED UTILITIES WITHIN THE PROPOSED WORK LIMITS SHALL BE REMOVED IF POSSIBLE. IF SUCH UTILITIES ARE PRESENT, THEY SHOULD BE REMOVED AND RELOCATED OR ABANDONED IN PLACE. IF ABANDONED IN PLACE, IT IS RECOMMENDED THAT THE UTILITIES PIPE BE FILLED WITH LOW STRENGTH MORTAR GROUT TO AVOID POTENTIAL COLLAPSE IN THE FUTURE. SHOULD THE UTILITIES LINES BE REMOVED FROM THE SITE, THE RESULTANT TRENCH EXCAVATIONS SHOULD BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE LATEST MAG STANDARD DETAILS AND SPECIFICATIONS.
11. ALL MATERIAL, EXCEPT THAT BELONGING TO A PUBLIC UTILITY COMPANY OR DENOTED FOR SALVAGE, SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE OWNER OF WATER, ELECTRIC OR GAS METERS WHEN THE METERS ARE READY FOR REMOVAL, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTING ALL UTILITIES IN COMPLIANCE WITH LOCAL REQUIREMENTS.
12. THE DEMOLITION PLAN IS INTENDED TO SHOW REMOVAL OF KNOWN SITE FEATURES AND UTILITIES AS SHOWN ON THE SURVEY. THERE MAY BE OTHER SITE FEATURES, UTILITIES, STRUCTURES AND MISCELLANEOUS ITEMS BOTH BURIED AND ABOVE GROUND THAT ARE WITHIN THE LIMITS OF WORK THAT MAY NEED TO BE REMOVED FOR THE PROPOSED PROJECT THAT ARE NOT SHOWING HEREON.
13. ALL EXISTING CONDITIONS WITHIN THE RIGHT-OF-WAY DISTURBED BY THE CONSTRUCTION OF THIS PROJECT SHALL BE IMMEDIATELY RESTORED TO THE PRE-CONSTRUCTION CONDITION OR BETTER.
14. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, PROPERTY CORNERS, REFERENCE POINTS AND STAKES.
15. ANY DAMAGE CAUSED TO THE PAVEMENT, DRIVE, DRAINAGE SYSTEMS, UNDERGROUND OR OVERHEAD UTILITIES, PIPE LINES OR LANDSCAPING, EITHER WITHIN THE RIGHT-OF-WAY OR ON ADJACENT PROPERTIES, SHALL BE FULLY RESTORED PROMPTLY BY THE CONTRACTOR WITH ALL RELATED COSTS BEING THE FULL RESPONSIBILITY OF THE CONTRACTOR.
16. WHERE NECESSARY TO REMOVE PAVEMENTS OR DRIVES, THE PAVEMENT SHALL BE SAWCUT FULL DEPTH IN NEAT, STRAIGHT LINES, WHERE REMOVED IN WALK AREAS, SHALL BE SAWCUT AT NEAREST JOINT.
17. ALL PAVEMENT AND/OR FOUNDATIONS THAT ARE REMOVED SHALL BE DISPOSED OF OFFSITE PROPERLY.
18. EROSION & SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND MAINTAINED DURING DEMOLITION ACTIVITIES.
19. THE PURPOSE OF THIS DRAWING IS TO CONVEY THE OVERALL SCOPE OF WORK AND IT IS NOT INTENDED TO COVER ALL DETAILS OR SPECIFICATIONS REQUIRED TO COMPLY WITH GENERALLY ACCEPTED DEMOLITION PRACTICES. THE CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH THE SITE, SCOPE OF WORK AND ALL EXISTING CONDITIONS AT THE SITE PRIOR TO BIDDING AND COMMENCING THE WORK. THE DEMOLITION CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, OR PROCEDURES USED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND IS LIABLE FOR THE SAFETY OF THE PUBLIC OR CONTRACTOR'S EMPLOYEES DURING THE COURSE OF THE PROJECT.



DUBLIN - RIVERVIEW VILLAGE DEVELOPMENT

COHATCH
CITY OF DUBLIN OHIO

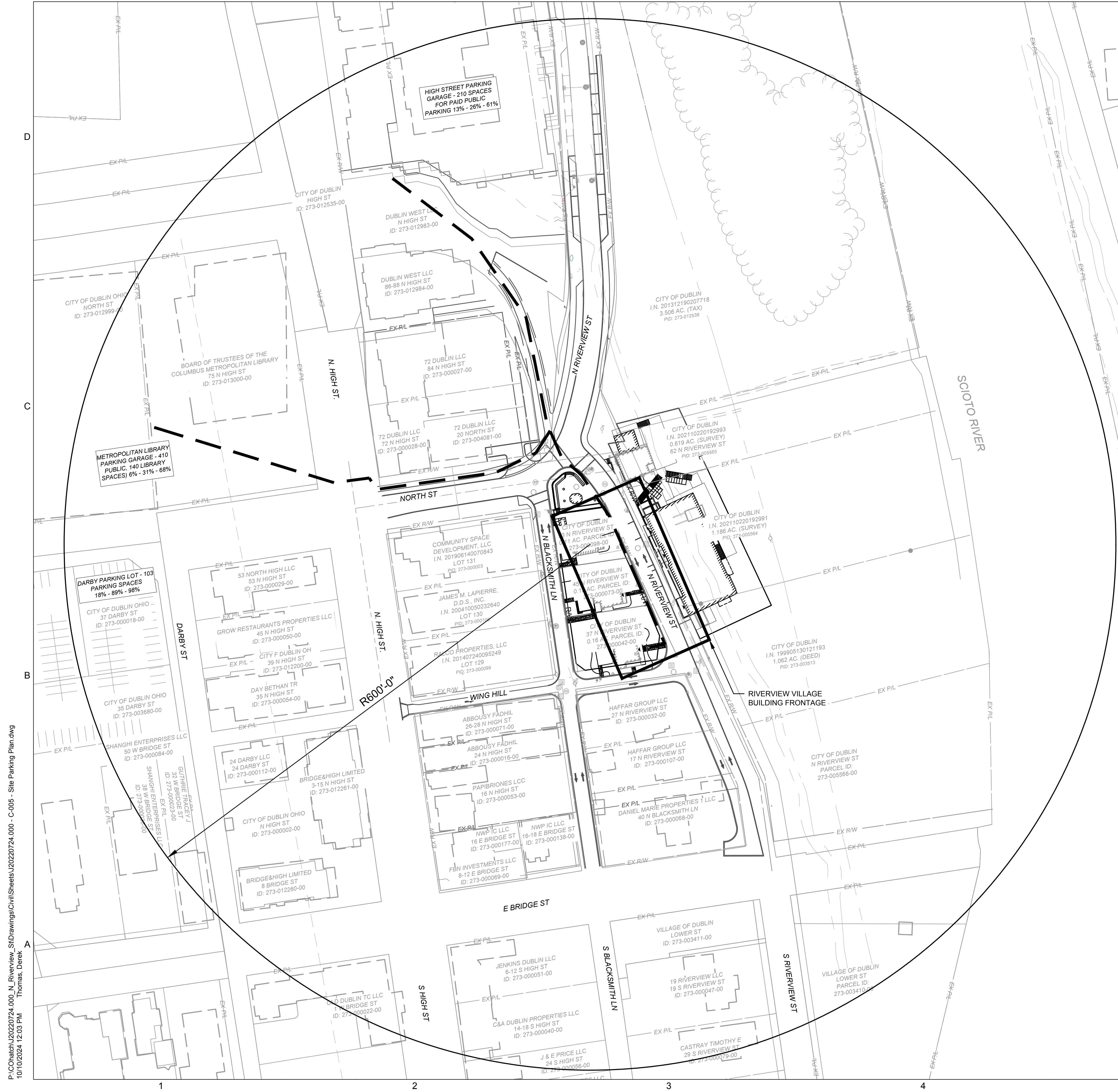
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DRAWN BY: ABC
 CHECKED BY: WMD
 CLIENT PROJ NO.: OSBORN PROJ NO. J20220724.000

DEMOLITION PLAN

DRAWING NO.
C004



SITE PARKING PLAN LEGEND:

— PATH TO PARKING

ADJACENT PARCEL IDENTIFICATION NUMBER:

273-013000	273-012538	273-000098	273-012260	273-000107
273-000028	273-005565	273-000016	273-000023	273-005566
273-000029	273-005564	273-000053	273-000036	273-003410
273-000050	273-003513	273-000069	273-000084	273-003411
273-000002	273-000032	273-000138	273-003680	273-000177
273-000027	273-000071	273-000051	273-000018	273-000099
273-000028	273-000003	273-000004	273-000022	273-000054
273-004081	273-000100	273-000056	273-000047	273-012200
273-012984	273-000042	273-000112	273-000079	273-012999
273-012983	273-000073	273-012261	273-000068	273-012535

COMMERCIAL PARKING REQUIREMENTS:

RESTAURANT REQUIRED: 10 SPACES PER 1,000 SF
 RESTAURANT AREA = 6,613 SF
 REQUIRED SPACES: 67 SPACES
 OFFICE, GENERAL REQUIRED: 2.5 SPACES PER 1,000 SF
 OFFICE, GENERAL AREA = 15,225 SF
 REQUIRED SPACES: 40 SPACES
 EXISTING SPACES IN PARKING GARAGE AND LOT: 651 SPACES
 AVAILABLE SPACES IN PARKING GARAGE AND LOT: 465 SPACES
 AVAILABLE SPACES IN PARKING GARAGE AND LOT AT 50%: 284 SPACES

PARKING SUMMARY:

PARKING ZONING ORDINANCE REQUIRES 10 PARKING SPACE PER 1,000 SF FOR RESTAURANT BUILDINGS, REQUIRING 67 PARKING SPACES AND 2.5 PARKING SPACES PER 1,000 SF FOR OFFICE, GENERAL BUILDINGS REQUIRING 40 PARKING SPACES, GIVING A TOTAL OF 107 SPACES. DUE TO RESTRICTED SPACE IN THE PROPERTY THE SITE DOES NOT MEET THE ZONING ORDINANCE. THE METROPOLITAN LIBRARY HAS A TOTAL OF 550 EXISTING PARKING OF WHICH 140 ARE RESERVED FOR THE LIBRARY AND 410 ARE FOR PUBLIC. HIGH STREET PARKING GARAGE HAS A TOTAL OF 210 EXISTING PARKING SPACES.

THE OVERALL HISTORIC DOWNTOWN DUBLIN AREA CAN BE LOOKED AT AS A "MIXED-USE" DEVELOPMENT. AS SUCH, THERE DEVELOPMENTS UTILIZE SHARED PARKING FOR THE SURROUNDING GARAGES. COHATCH WILL BE UTILIZING THE AVAILABLE PUBLIC PARKING SPACES DURING TYPICAL BUSINESS HOURS.

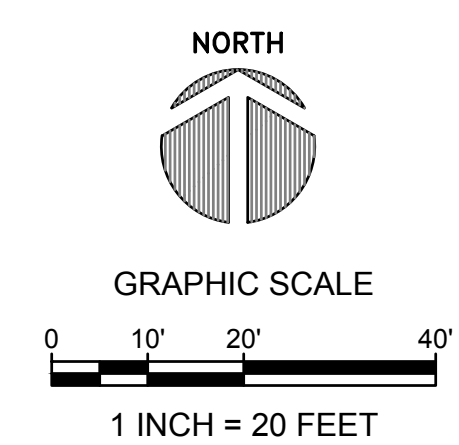
PARKING UTILIZATION:

10AM / 1PM / 7PM

Building	Spaces Required	On-Street along Frontage	Off-Site Required	Offsite Proposed	Proposed Off-Site Location	Walking Distance (feet) to Offsite Location	Time (Minutes) to Walk at 3 Ft/Sec Avg	Walking Distance as a % of 600 Ft Max per Code	Waiver Required for Distance > 600 Ft?
37 N. Riverview	3	0	3	3	High St Garage	688	3.8	115%	Waiver
					Library Garage	796	4.4	133%	-
45 N. Riverview	3	0	3	3	High St Garage	617	3.4	103%	Waiver
					Library Garage	718	4.0	120%	-
53 N. Riverview	12	0	12	0	High St Garage	546	3.0	91%	-
					Library Garage	640	3.6	107%	Waiver
62 N. Riverview	47	0	47	25	High St Garage	473	2.6	79%	-
					Library Garage	572	3.2	95%	-
New Build	53	5	53	20	High St Garage	570	3.2	95%	-
					Library Garage	680	3.8	113%	Waiver
Total	118	5	118	118				95%	>100% requires Waiver.

Total Riverview Village Offsite Allocated to High St Garage = 52 44%
 Total Riverview Village Offsite Allocated to Library Garage = 66 56%

Location/Time	Public Spaces	Occupied %	Occupied #	Available	Less Riverview Village Offsite	Remaining Available
High Street Garage						
10am Weekday		13%	27	177	-52	125
1pm Weekday	204	26%	53	151	-52	99
7pm Weekday		61%	124	80	-52	30
Library Garage						
10am Weekday		6%	25	385	-66	319
1pm Weekday	410	31%	127	283	-66	217
7pm Weekday		68%	279	131	-66	65



DUBLIN - RIVERVIEW VILLAGE DEVELOPMENT

COHATCH

CITY OF DUBLIN OHIO

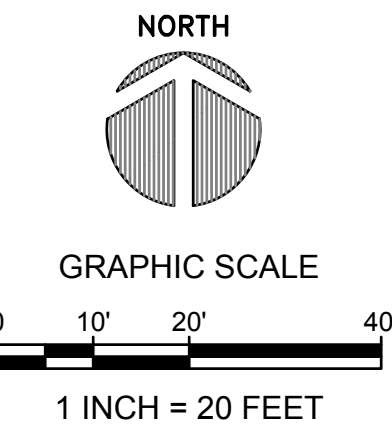
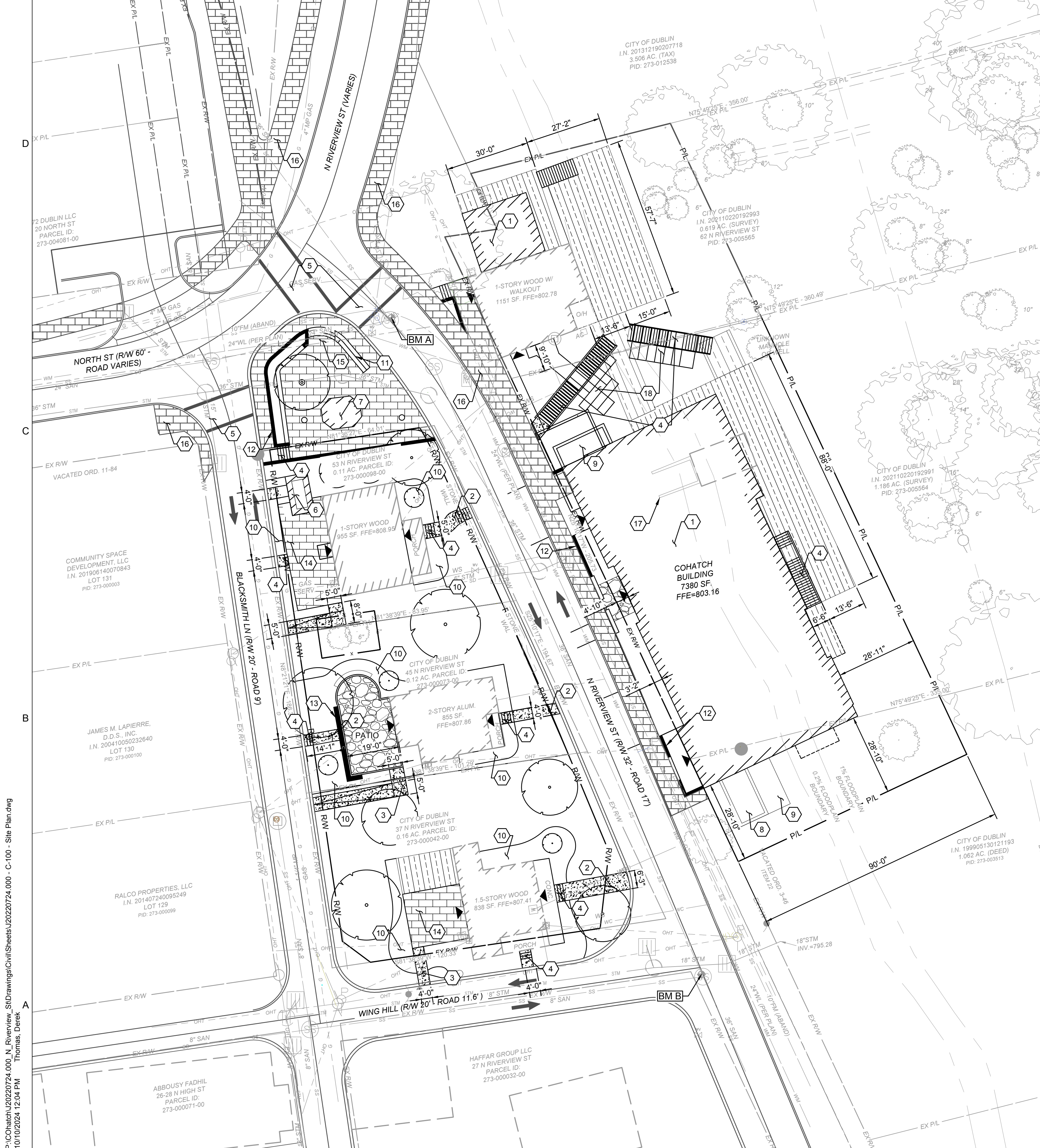
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SITE PARKING PLAN

DRAWING NO.
C005



ABBREVIATION LEGEND:

- EX - EXISTING
- C/L - CENTER LINE
- R/W - RIGHT OF WAY
- P/L - PROPERTY LINE
- FFE - FINISH FLOOR ELEVATION
- OHE - OVERHEAD ELECTRIC
- SS - SANITARY SEWER
- CS - COMBINED SEWER
- UGE - UNDERGROUND ELECTRIC
- WM - WATERMAIN
- WC - WATER CONNECTION
- STM - STORM SEWER
- G - GAS
- MH - MANHOLE
- TC - TOP OF CURB
- EP - EDGE OF PAVEMENT
- DND - DO NOT DISTURB
- UGL - UNDERGROUND LIGHT

SITE LAYOUT PLAN CODED NOTES:

1. PROPOSED BUILDING (SEE ARCHITECTURAL PLANS FOR DETAILS).
2. PROPOSED CONCRETE WALK.
3. PROPOSED CONCRETE RAMP.
4. PROPOSED STEPS.
5. PROPOSED CROSSWALK (SEE R/W IMPROVEMENT PLANS, BY OTHERS).
6. PROPOSED SHED (SEE ARCHITECTURAL PLANS FOR DETAILS).
7. PROPOSED KIOSK (SEE ARCHITECTURAL PLANS FOR DETAILS).
8. PROPOSED TRASH LOCATION (SEE ARCHITECTURAL PLANS FOR DETAILS).
9. PROPOSED MECHANICAL YARD.
10. PROPOSED PLANTING BED (SEE LANDSCAPE PLANS FOR DETAILS).
11. PROPOSED WOOD BENCH (SEE ARCHITECTURAL PLANS FOR DETAILS).
12. PROPOSED STONE RETAINING WALL (SEE ARCHITECTURAL PLANS FOR DETAILS).
13. PROPOSED FREESTANDING STONE WALL (SEE ARCHITECTURAL PLANS FOR DETAILS).
14. PROPOSED PATIO (SEE ARCHITECTURAL PLANS FOR DETAILS).
15. PROPOSED PLAZA (SEE ARCHITECTURAL PLANS FOR DETAILS).
16. PROPOSED BRICK SIDEWALK (SEE R/W IMPROVEMENT PLANS, BY OTHERS).
17. EXISTING STONE RETAINING WALL TO REMAIN AS PART OF DESIGN AND TO BE PROTECTED DURING CONSTRUCTION.
18. GABION BASKETS (SEE ARCHITECTURAL PLANS FOR DETAILS).

SITE LAYOUT PLAN LEGEND:

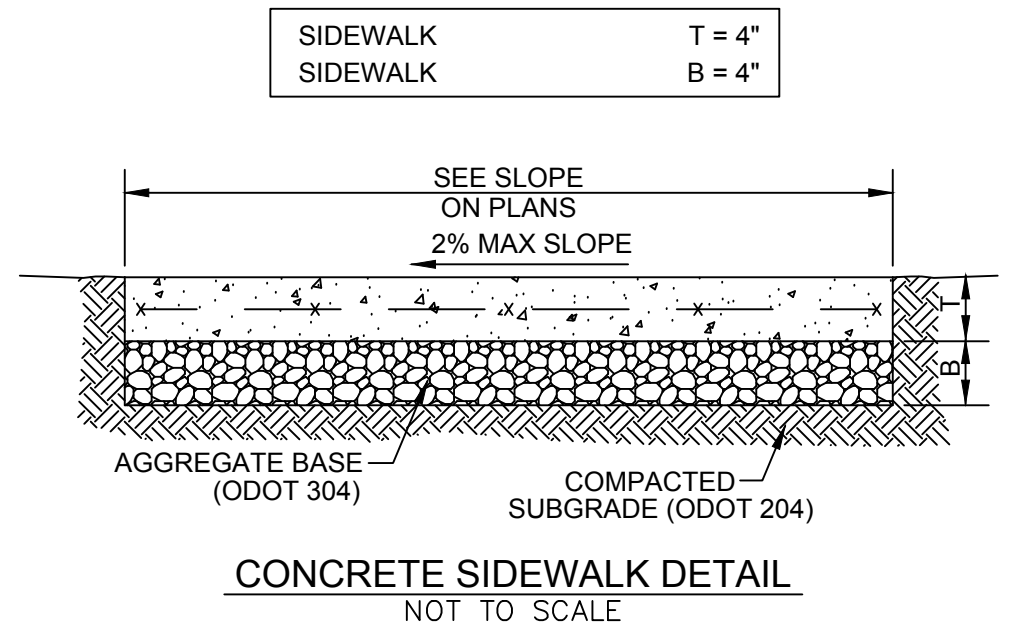
- CONCRETE PAVEMENT.
- BRICK PAVEMENT.
- WOOD DECK PATIO (SEE ARCHITECTURAL PLANS FOR DETAILS).
- GRAVEL.
- EXISTING TREE.
- PROPOSED TREE (SEE LANDSCAPE PLANS FOR DETAILS).
- PROTECTIVE TREE FENCE.

SITE LAYOUT PLAN GENERAL NOTES

1. DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.
2. EXISTING PAVEMENT GRADES TO MATCH (FLUSH) WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
3. PAVEMENT JOINT WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT TO BE SEALED WITH HOT APPLIED JOINT SEALER.
4. ALL RADIUS TO BE 4 FT UNLESS NOTED OTHERWISE.

NOTES

- 1) USE 3/8"x 4" EXPANSION JOINTS AT CHANGE OF DIRECTIONS, CURBS, RIGID STRUCTURES, AND RIGID PAVEMENT. ON STRAIGHT RUNS PROVIDE EXPANSION JOINTS EVERY 20 FEET.
- 2) CONCRETE-
SIDEWALKS- USE READY-MIX CONCRETE WITH 4,000 PSI STRENGTH @ 28 DAYS.
SIDEWALKS WITHIN RIGHT-OF-WAY SHALL BE COC CLASS 5 (4500 PSI)
- 3) USE REINFORCEMENT - 6x 6 - W1.4x W1.4 W.W.M.
- 4) TOOL ALL EXPOSED EDGES AND JOINTS TO 3/4" RADIUS.
- 5) BROOM FINISH ACROSS DIRECTION OF TRAVEL.
- 6) REFERENCE CITY OF COLUMBUS STANDARD DRAWING 2300 WHEN SIDEWALK IMPROVEMENTS ARE WITHIN RIGHT-OF-WAY.



CONCRETE SIDEWALK DETAIL
NOT TO SCALE



DUBLIN - RIVERVIEW VILLAGE DEVELOPMENT

COHATCH
CITY OF DUBLIN OHIO

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-	PDP SUBMITTAL	8/30/24
-	PDP SUBMITTAL	9/18/24
-	FDP SUBMITTAL	10/3/24

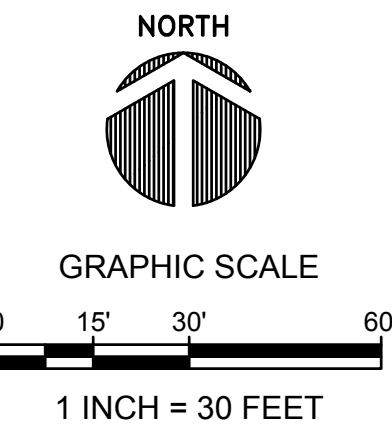
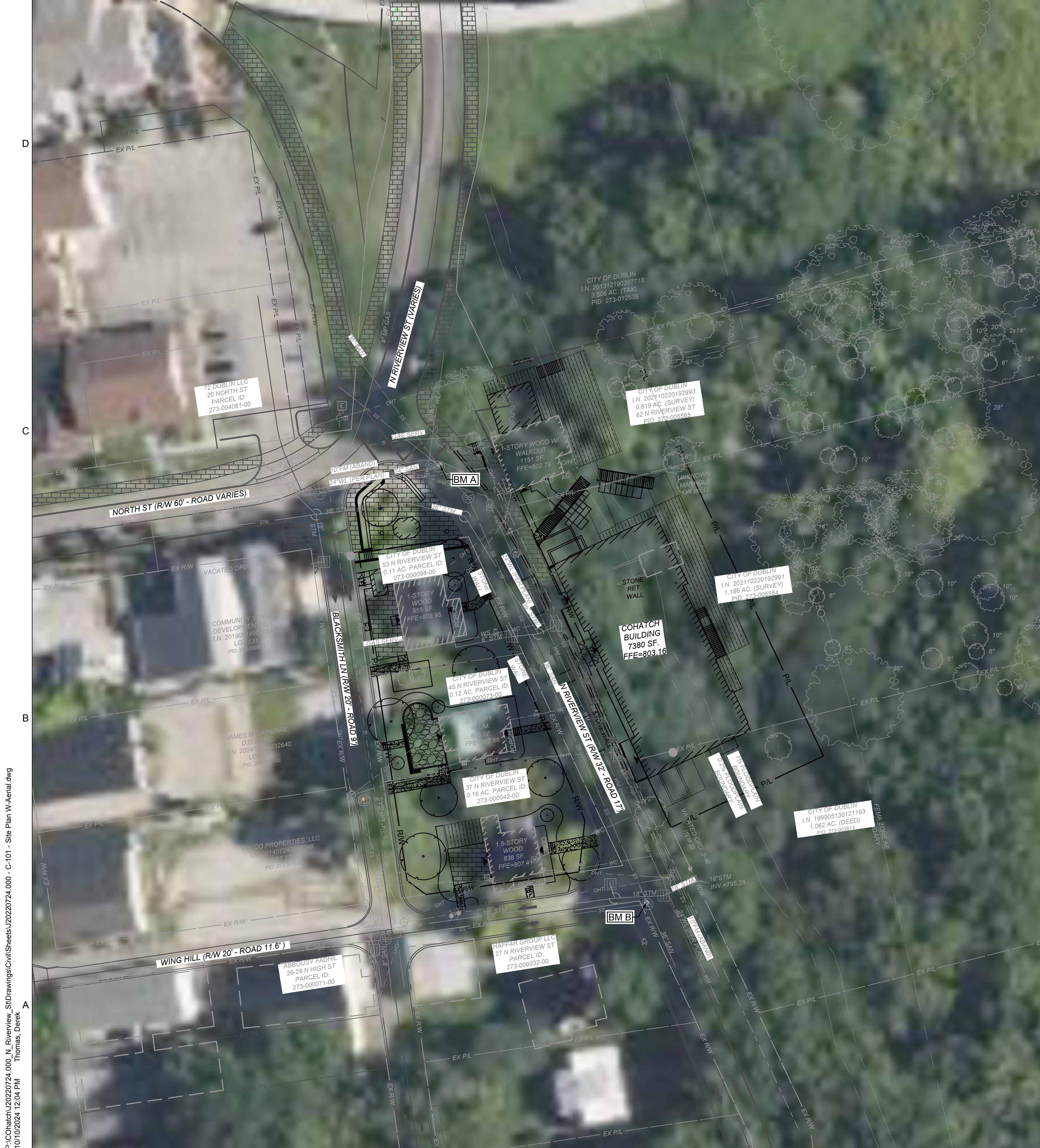
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CHECKED BY: WMD
CLIENT PROJ NO.: OSBORN PROJ NO. J20220724.000

SITE STAKING PLAN

DRAWING NO.
C100

P:\Cohatch\J20220724.000_N_Riverview_SiteDrawings\Civil\Sheets\J20220724.000 - C-100 - Site Plan.dwg
10/10/2024 12:04 PM
Thomas, Derek



ABBREVIATION LEGEND:

- EX - EXISTING
- C/L - CENTER LINE
- R/W - RIGHT OF WAY
- P/L - PROPERTY LINE
- FFE - FINISH FLOOR ELEVATION
- OHE - OVERHEAD ELECTRIC
- SS - SANITARY SEWER
- CS - COMBINED SEWER
- UGE - UNDERGROUND ELECTRIC
- WM - WATERMAIN
- WC - WATER CONNECTION
- STM - STORM SEWER
- G - GAS
- MH - MANHOLE
- TC - TOP OF CURB
- EP - EDGE OF PAVEMENT
- DND - DO NOT DISTURB
- UGL - UNDERGROUND LIGHT

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 10/10/2024 12:04 PM Thomas, Derek



DUBLIN - RIVERVIEW VILLAGE DEVELOPMENT

COHATCH
CITY OF DUBLIN OHIO

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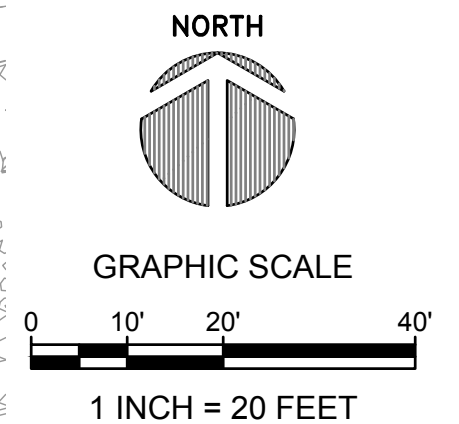
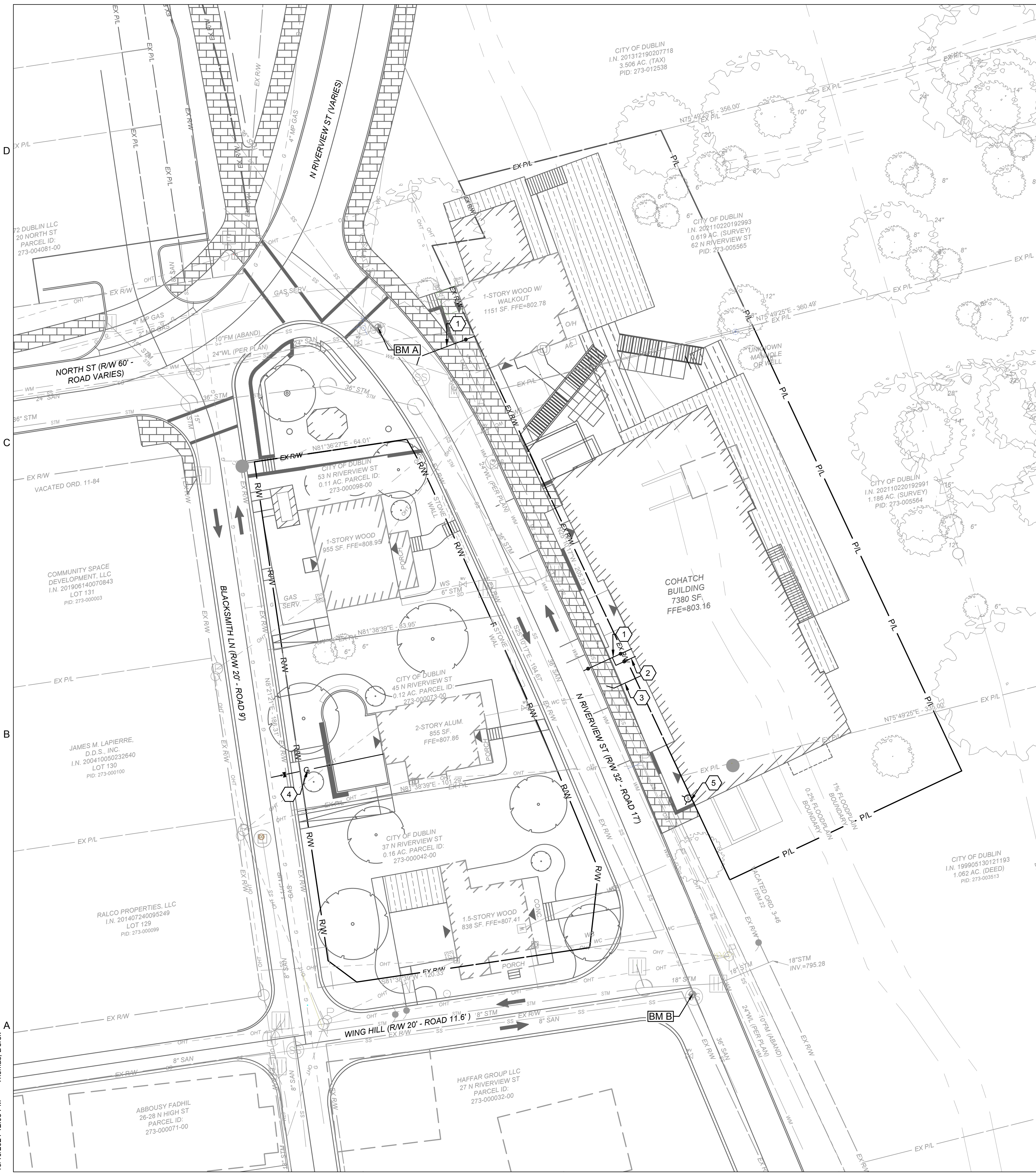
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SITE STAKING PLAN EXHIBIT

DRAWING NO.
C101

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ABBREVIATION LEGEND:

- EX - EXISTING
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- G - GAS
- MH - MANHOLE
- TC - TOP OF CURB
- EP - EDGE OF PAVEMENT
- DND - DO NOT DISTURB
- UGL - UNDERGROUND LIGHT

UTILITY LAYOUT PLAN CODED NOTES:

1. PROPOSED WATER SERVICE.
2. PROPOSED FIRE SERVICE.
3. PROPOSED SANITARY SERVICE LATERAL.
4. PROPOSED GAS SERVICE.
5. PROPOSED FIRE DEPARTMENT CONNECTION LOCATION.

UTILITY LAYOUT PLAN LEGEND:

- WATER VALVE
- GAS VALVE
- FIRE DEPARTMENT CONNECTION



DUBLIN - RIVERVIEW VILLAGE DEVELOPMENT

COHATCH
 CITY OF DUBLIN
 OHIO

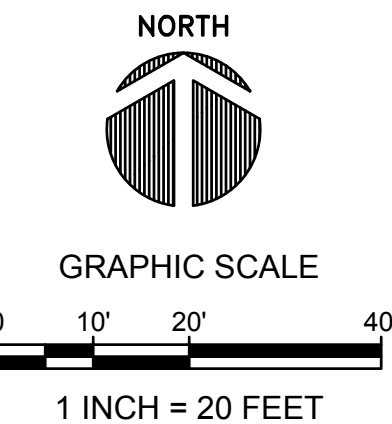
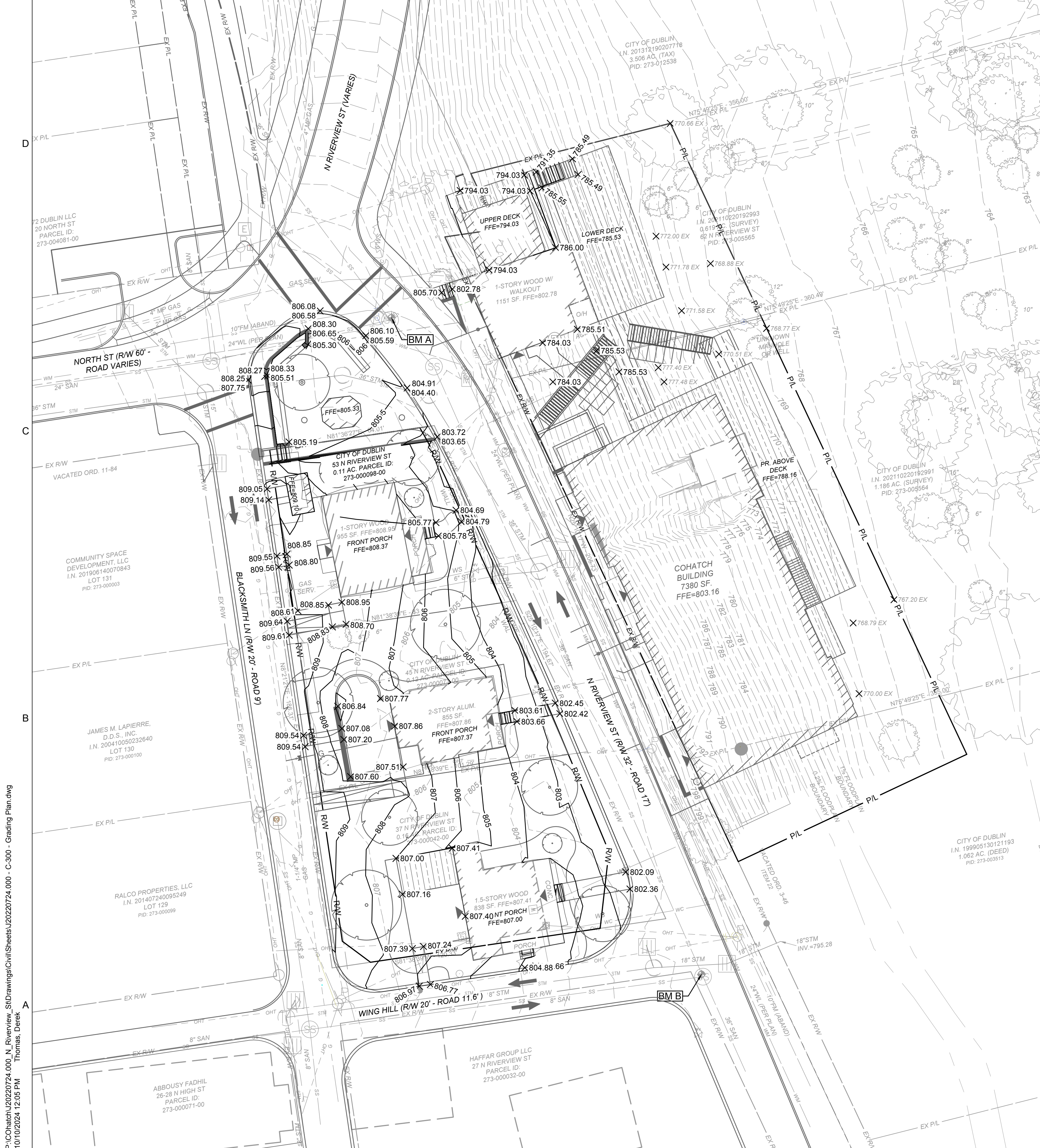
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SITE UTILITY PLAN

DRAWING NO.
C200



GRADING LEGEND

801.88	PROPOSED ELEVATION
793.95	EXISTING ELEVATION
793.95 ME	MEET EXISTING ELEVATION
1.5%	PROPOSED SLOPE
795	PROPOSED CONTOUR
795	EXISTING CONTOUR

ABBREVIATION LEGEND:

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 WC - WATER CONNECTION
 STM - STORM SEWER
 G - GAS
 MH - MANHOLE
 TC - TOP OF CURB
 EP - EDGE OF PAVEMENT
 DND - DO NOT DISTURB
 UGL - UNDERGROUND LIGHT

- SITE GRADING PLAN NOTES**
- ANY MATERIALS CONSISTING OF VEGETATION AND ORGANIC MATTER SHALL BE WASTED OFF-SITE OR RE-SPREAD IN THE LANDSCAPED AREAS UPON COMPLETION OF GRADING OPERATIONS.
 - ALL EXISTING FOUNDATIONS, FLOOR SLABS, PAVEMENTS AND OTHER STRUCTURAL INTERFERENCES SHALL BE COMPLETELY REMOVED FROM THE PROPOSED BUILDING AREA AND TO A DEPTH OF AT LEAST 2 FEET BELOW THE FINISHED SUBGRADE ELEVATIONS WITHIN PROPOSED PARKING LOT AREAS.
 - REMOVAL AND/OR RELOCATION OF ANY "TO BE ABANDONED" UTILITIES, AS WELL AS INSTALLATION OF NEW UNDERGROUND UTILITIES, SHALL BE PERFORMED ONCE UNSUITABLE MATERIALS ARE REMOVED.
 - ALL GRADES ARE FINISH PAVEMENT GRADES UNLESS OTHERWISE NOTED.
 - REFER TO SHEET C-002 FOR SURVEY LEGEND
 - PAVEMENT IMMEDIATELY ADJACENT TO DOORS TO BE FLUSH WITH FFE
 - CONTRACTOR TO APPLY FOR GRADING PERMIT PRIOR TO BEGINNING CONSTRUCTION WORK
 - AS-BUILT DRAWINGS TO BE PROVIDED TO THE BOROUGH OF PLEASANT HILLS AFTER CONSTRUCTION FOR THEIR RECORDS

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DUBLIN - RIVERVIEW VILLAGE DEVELOPMENT

COHATCH
 CITY OF DUBLIN
 OHIO

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-	FDP SUBMITTAL	10/3/24

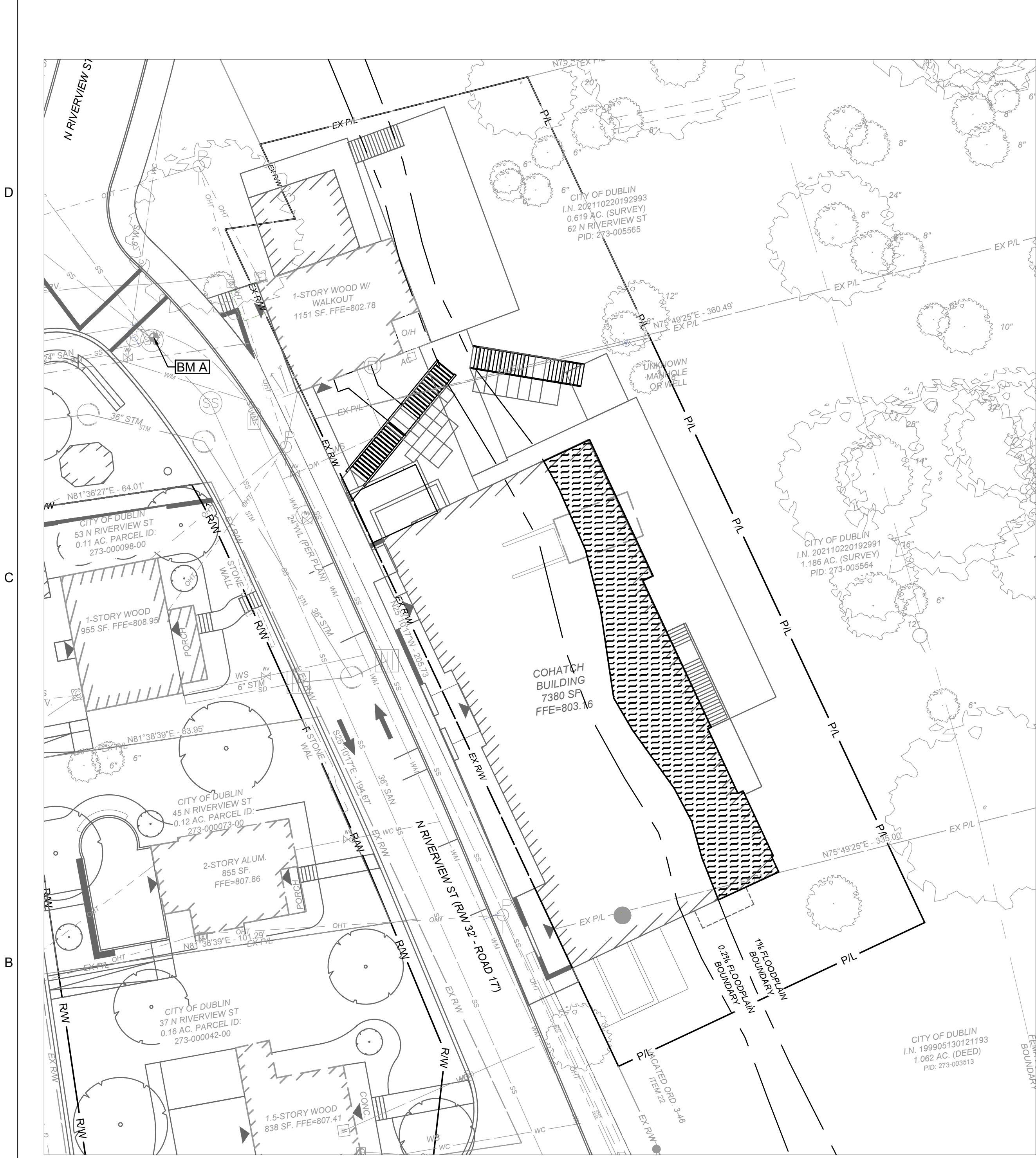
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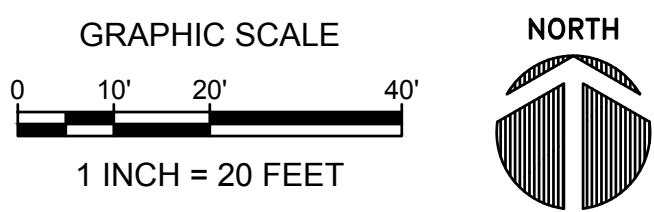
SITE GRADING PLAN

DRAWING NO.
C300

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 10/10/2024 12:06 PM Thomas, Derek



FLOODPLAIN PLAN VIEW
 SCALE: 1" = 20'-0"



FLOODPLAIN ELEVATION
 SCALE: 1/16" = 1'-0"

LEGEND
 PROPOSED BUILDING IN FLOODPLAIN (200 CY)



DUBLIN - RIVERVIEW VILLAGE DEVELOPMENT

COHATCH

CITY OF DUBLIN OHIO

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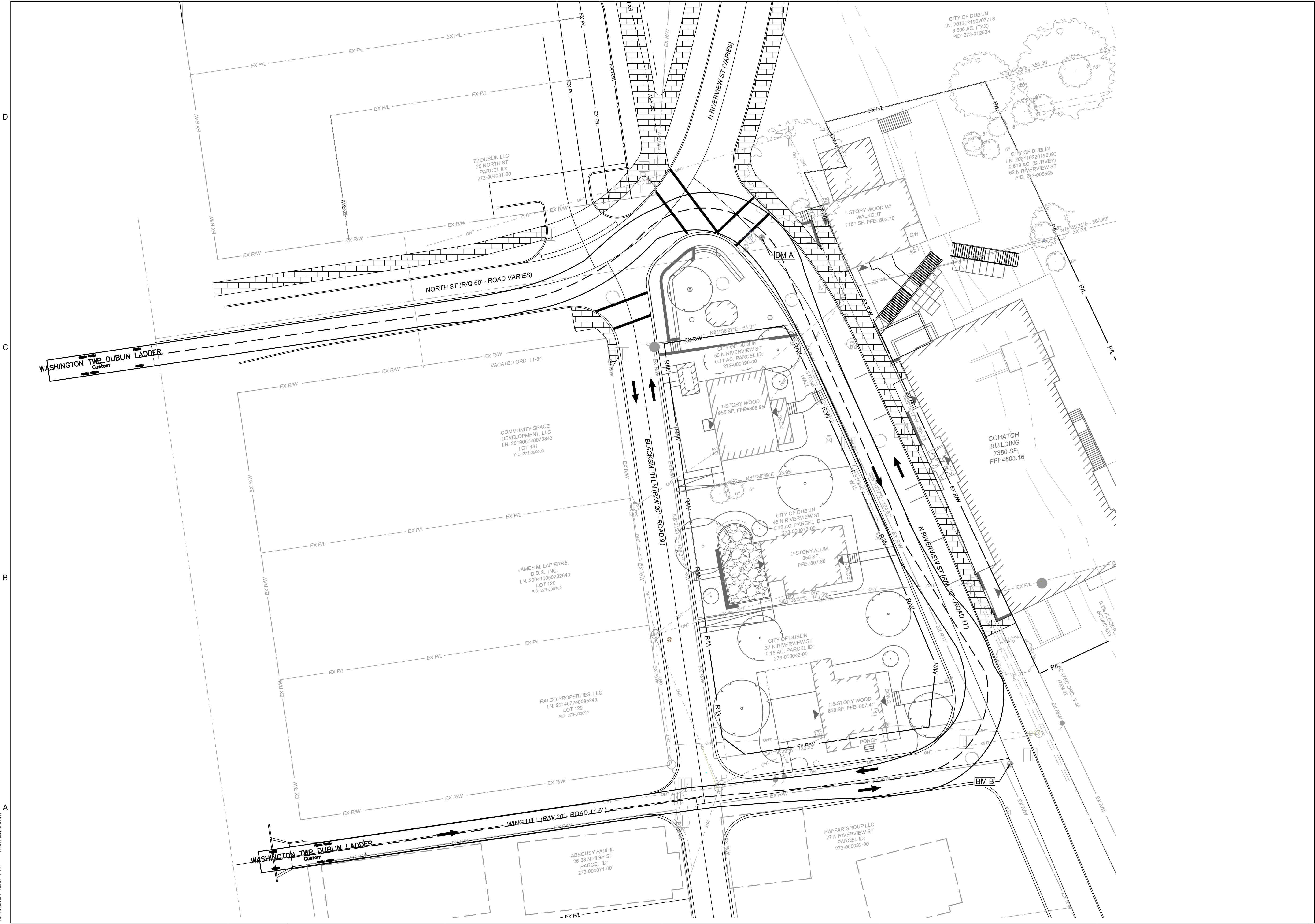
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 CLIENT PROJ NO.
 OSBORN PROJ NO. J20220724.000

FLOODPLAIN EXHIBIT

DRAWING NO.
C400

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DUBLIN - RIVERVIEW VILLAGE DEVELOPMENT

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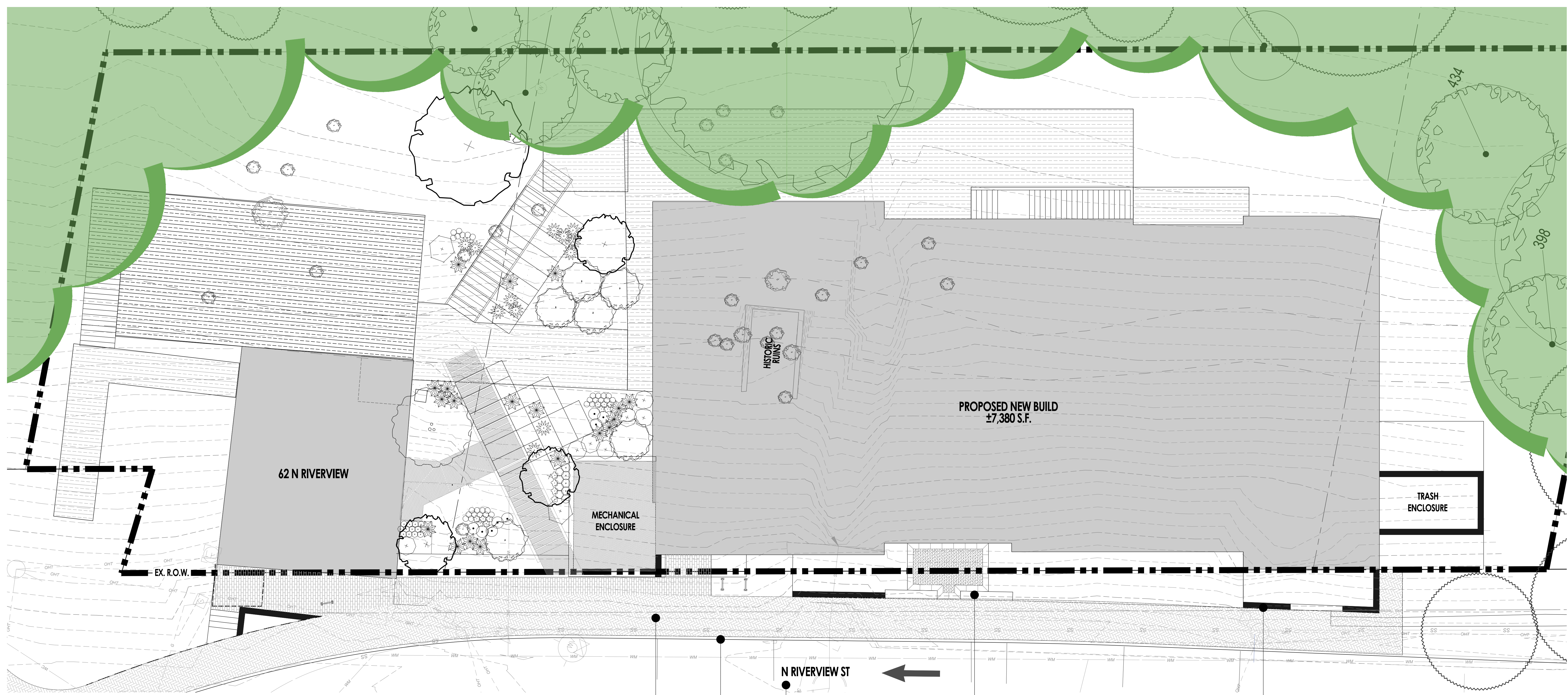
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AUTOTURN EXHIBIT

DRAWING NO.
C401



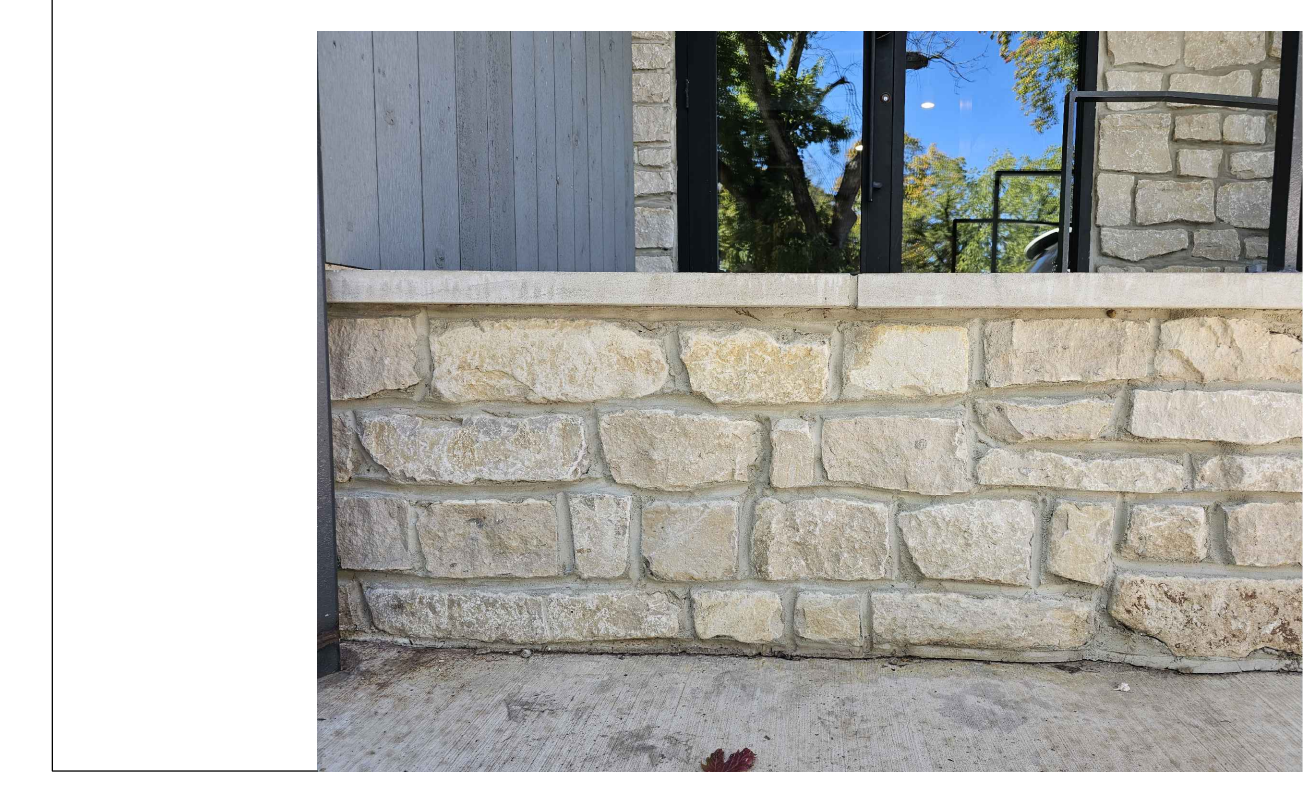
L0.00: Site Key Plan

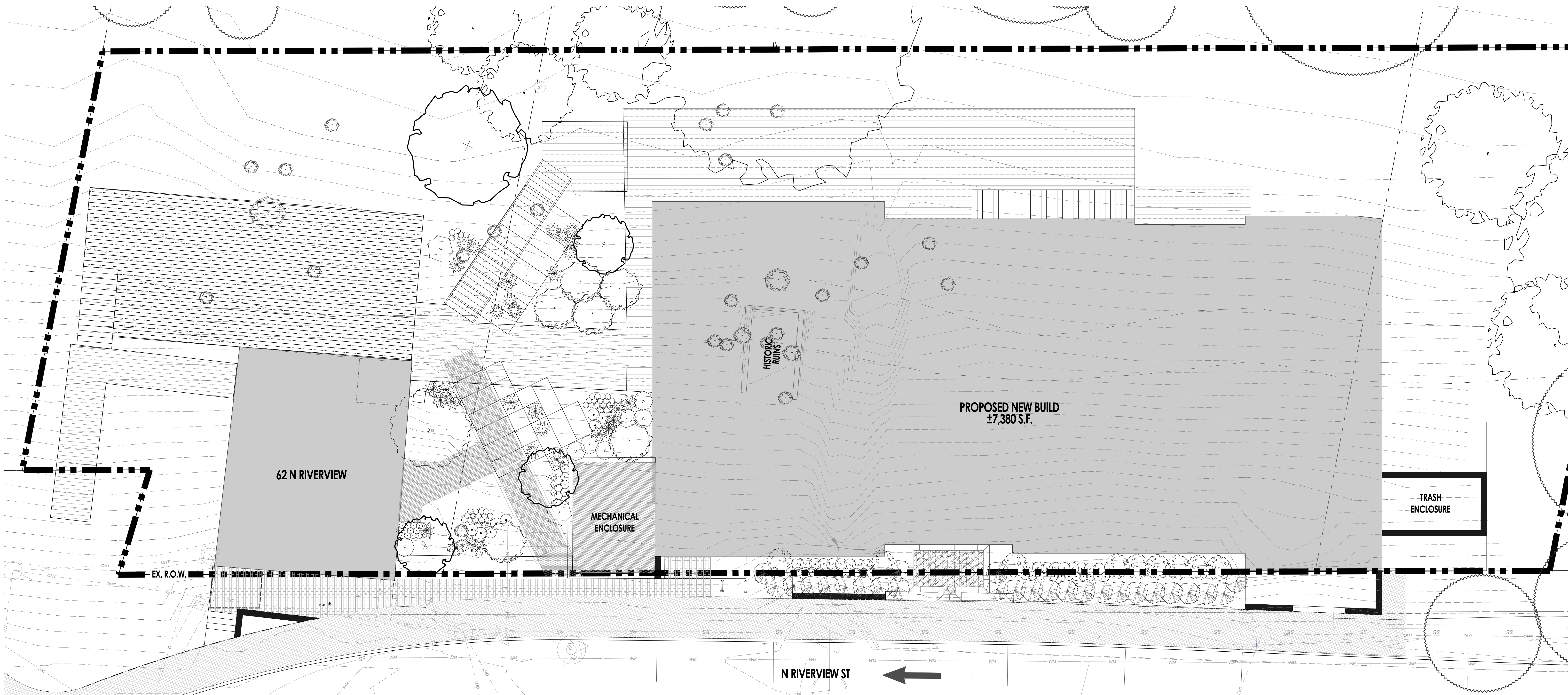


CODED LAYOUT & MATERIALS NOTES

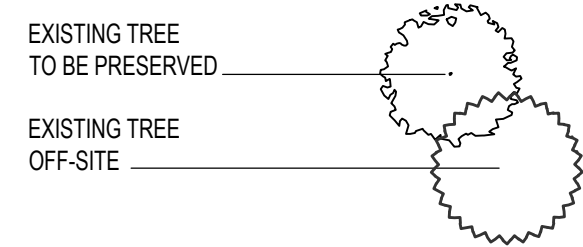
KEY	ITEM	REFERENCE	NOTES
1	BELDEN BELCREST #530 CLAY PAVERS		- SEE ENGINEER'S DRAWINGS FOR DETAILS

- BELDEN CLAY PAVERS**
- GRANITE CURBS AND PAVERS**
- ENDCOTT CLAY PAVERS**





EXISTING TREE KEY

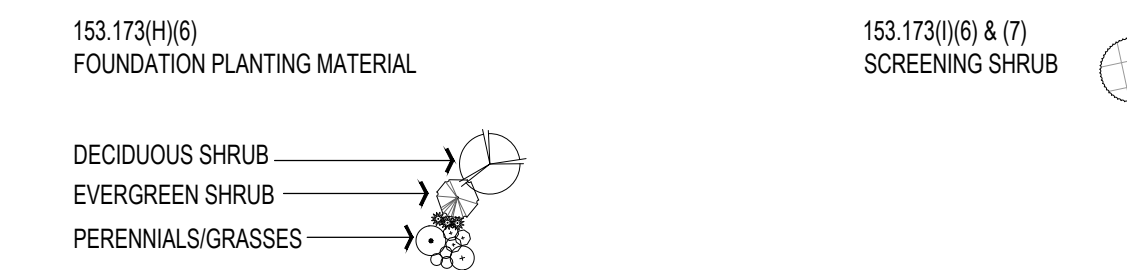


*SEE SHEETS L7.01 & L7.02 FOR MORE INFORMATION

PLANT LIST (Contractor is responsible to provide all plant quantities shown on plan)

CODE	BOT. NAME/COMMON NAME	SIZE	COND.	SPACING	NOTES
EVERGREEN TREES					
CH NO	Chamaecyparis nootkatensis 'Pendula' Weeping Nootka False Cypress	6' HT.	B&B	AS SHOWN	
EVERGREEN SHRUBS					
JU BL	Juniperus squamata 'Blue Star' Blue Star Juniper	18" SPRD.	#3 CONT.	PER PLAN	
FLOWERING/DECIDUOUS SHRUBS					
RO KO	Rosa 'RADTKO' Double Red Knockout Rose	24" HT.	#5 CONT.	PER PLAN	
GRASSES, PERENNIALS, GROUNDCOVERS, & VINES					
AL GL	Allium 'Globemaster' Globemaster Allium		BULB	PER PLAN	
LA PH	Lavandula x intermedia 'Niko' Phenomenal French Lavender		#1 CONT.	PER PLAN	
NA SP	Narcissus sp. Daffodil		BULB	PER PLAN	

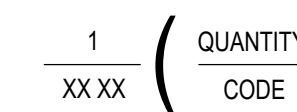
LANDSCAPE REQUIREMENTS SYMBOL KEY

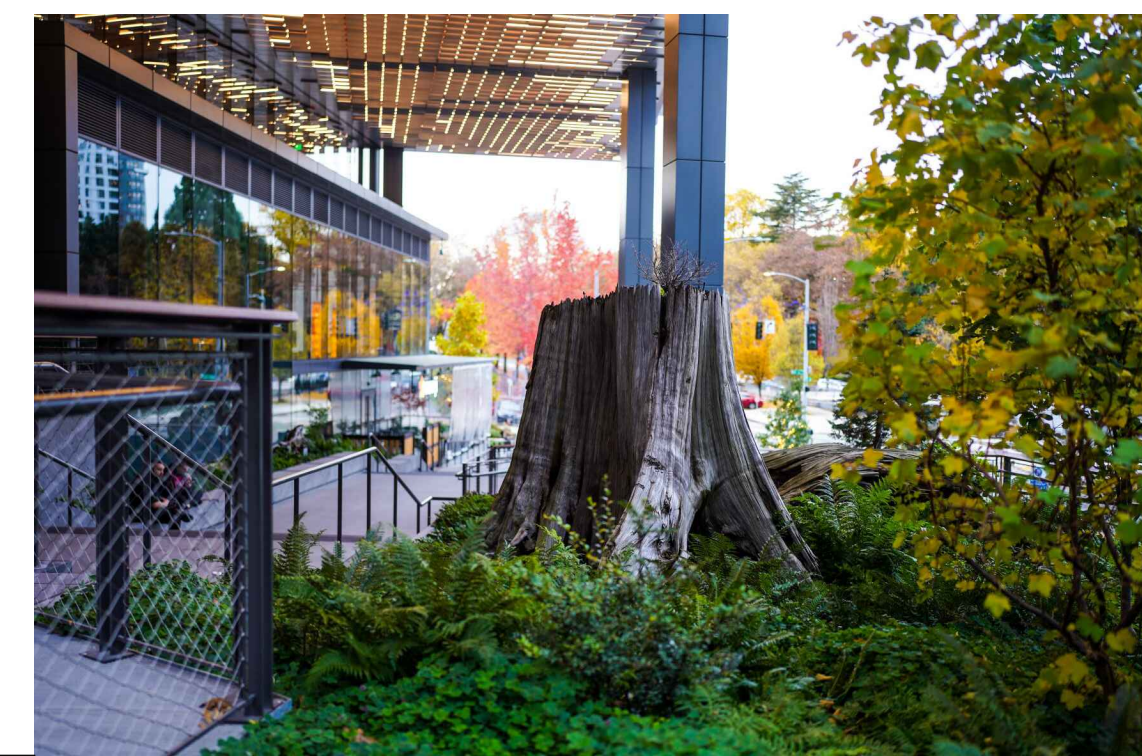


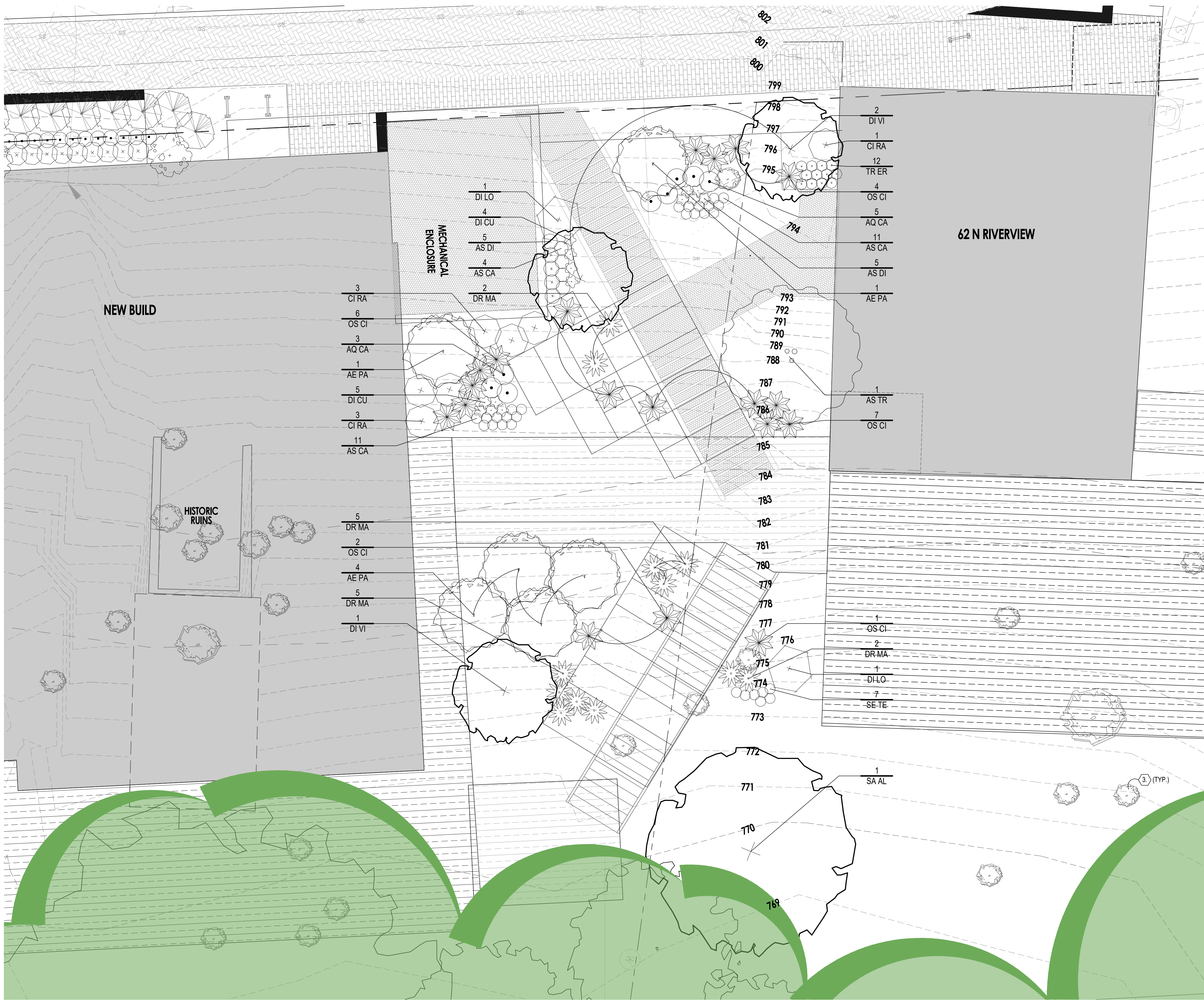
CODED LANDSCAPE NOTES

(2) LANDSCAPE BED - PROVIDE 3" DEPTH HARDWOOD MULCH. POSITIVE DRAINAGE IN ALL DIRECTIONS. HAND SPADE EDGE.

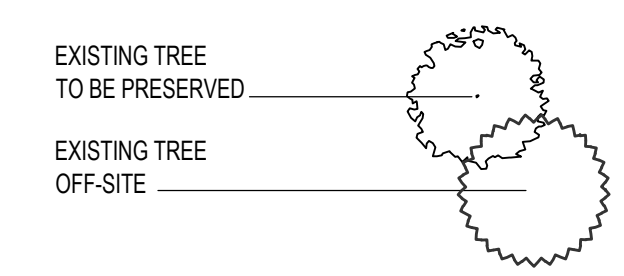
PLANT LABEL KEY







EXISTING TREE KEY

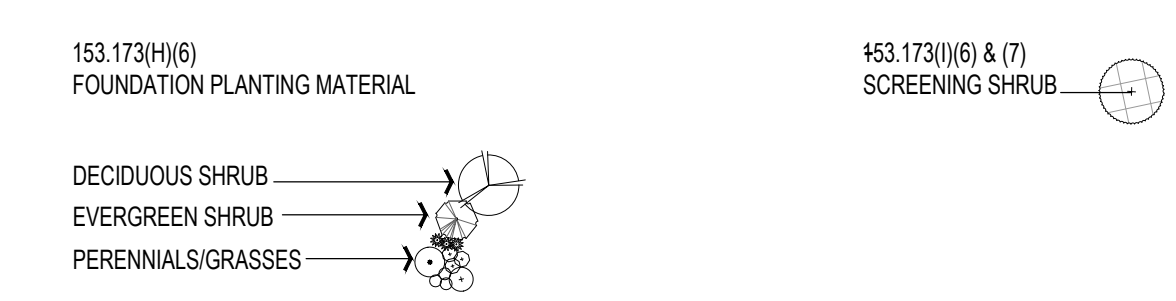


*SEE SHEETS L7.01 & L7.02 FOR MORE INFORMATION

PLANT LIST (Contractor is responsible to provide all plant quantities shown on plan)

CODE	BOT. NAME/Common Name	SIZE	COND.	SPACING	NOTES
DECIDUOUS TREES					
AS TR	Asimina triloba Paw Paw	2" CAL.	B&B	AS SHOWN	Match Form
DI VI	Diospyros virginiana American Persimmon	2" CAL.	B&B	AS SHOWN	Match Form
SA AL	Sassafras albidum Sassafras	2" CAL.	B&B	AS SHOWN	Match Form
FLOWERING/DECIDUOUS SHRUBS					
AE PA	Aesculus parviflora Bottlebrush Buckeye	24" HT.	#5 CONT.	PER PLAN	
DI LO	Dienella ionifera Native Bush Honeysuckle	18" HT.	#3 CONT.	PER PLAN	
GRASSES, PERENNIALS, GROUNDCOVERS, & VINES					
AS CA	Asarum canadense Wild Ginger	-	#1 CONT.	AS SHOWN	Match Form
AS DI	Aster divaricatus Whitewood Aster	-	#1 CONT.	AS SHOWN	Match Form
AQ CA	Aquilegia canadense Wild Columbine	-	#1 CONT.	AS SHOWN	Match Form
CI RA	Cimifuga racemosa 'Hillside Black Beauty' Hillside Black Beauty Snakeroot	-	#1 CONT.	AS SHOWN	Match Form
DI CU	Dicentra cucullaria Dutchman's Breeches	-	#1 CONT.	AS SHOWN	Match Form
DR MA	Dryopteris marginalis Leatherwood Fern	-	#1 CONT.	AS SHOWN	Match Form
OS CI	Osmundastrum cinnamomeum Cinnamon Fern	-	#1 CONT.	AS SHOWN	Match Form
SE TE	Sedum ternatum 'Larim Park' Woodland Stonecrop	-	#1 CONT.	AS SHOWN	Match Form
TR ER	Trillium erectum Purple Trillium	-	#1 CONT.	AS SHOWN	Match Form

LANDSCAPE REQUIREMENTS SYMBOL KEY



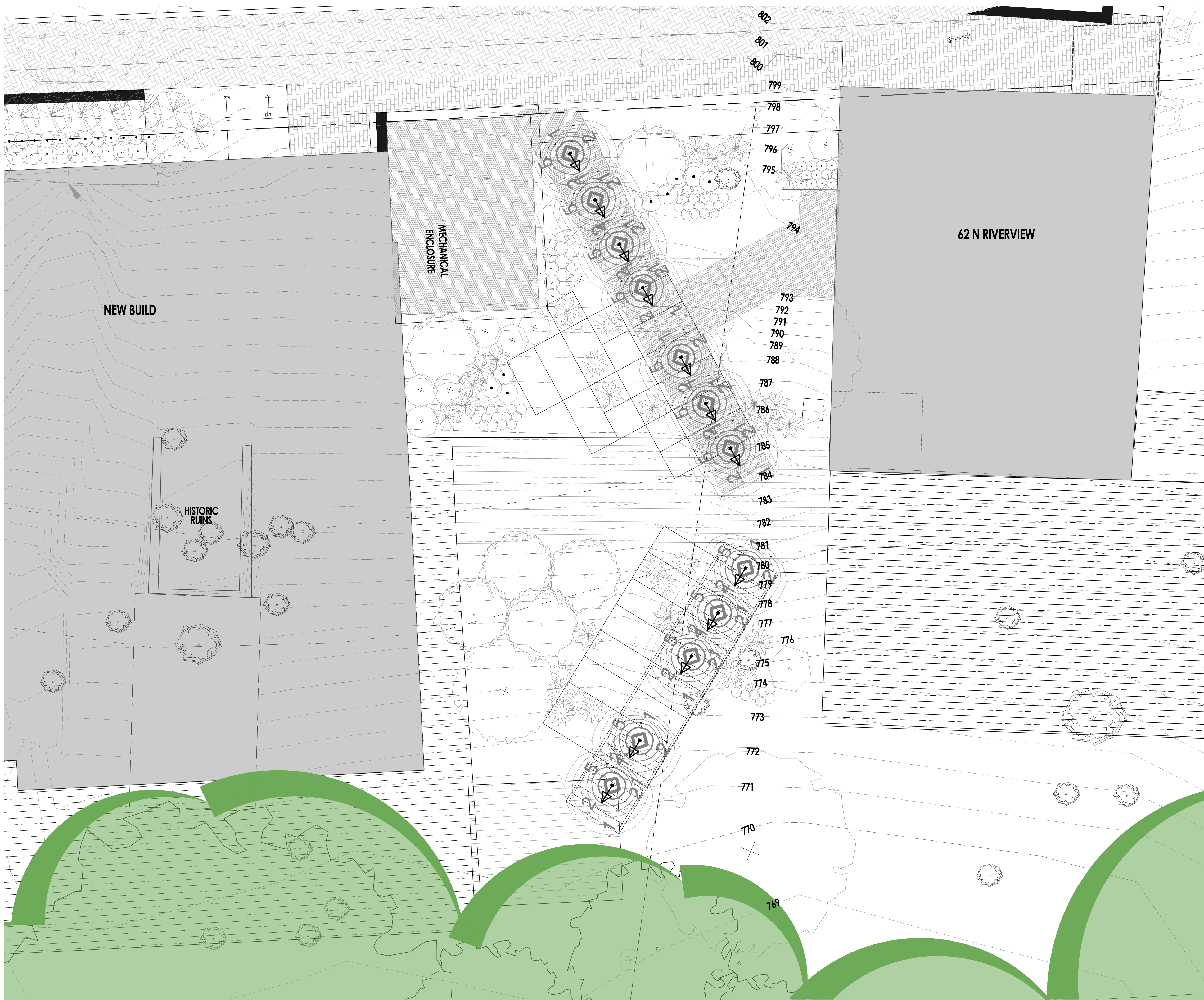
CODED LANDSCAPE NOTES

- ② LANDSCAPE BED - PROVIDE 3" DEPTH HARDWOOD MULCH. POSITIVE DRAINAGE IN ALL DIRECTIONS. HAND SPADE EDGE.
- ③ EXISTING TREE STUMP TO REMAIN

PLANT LABEL KEY

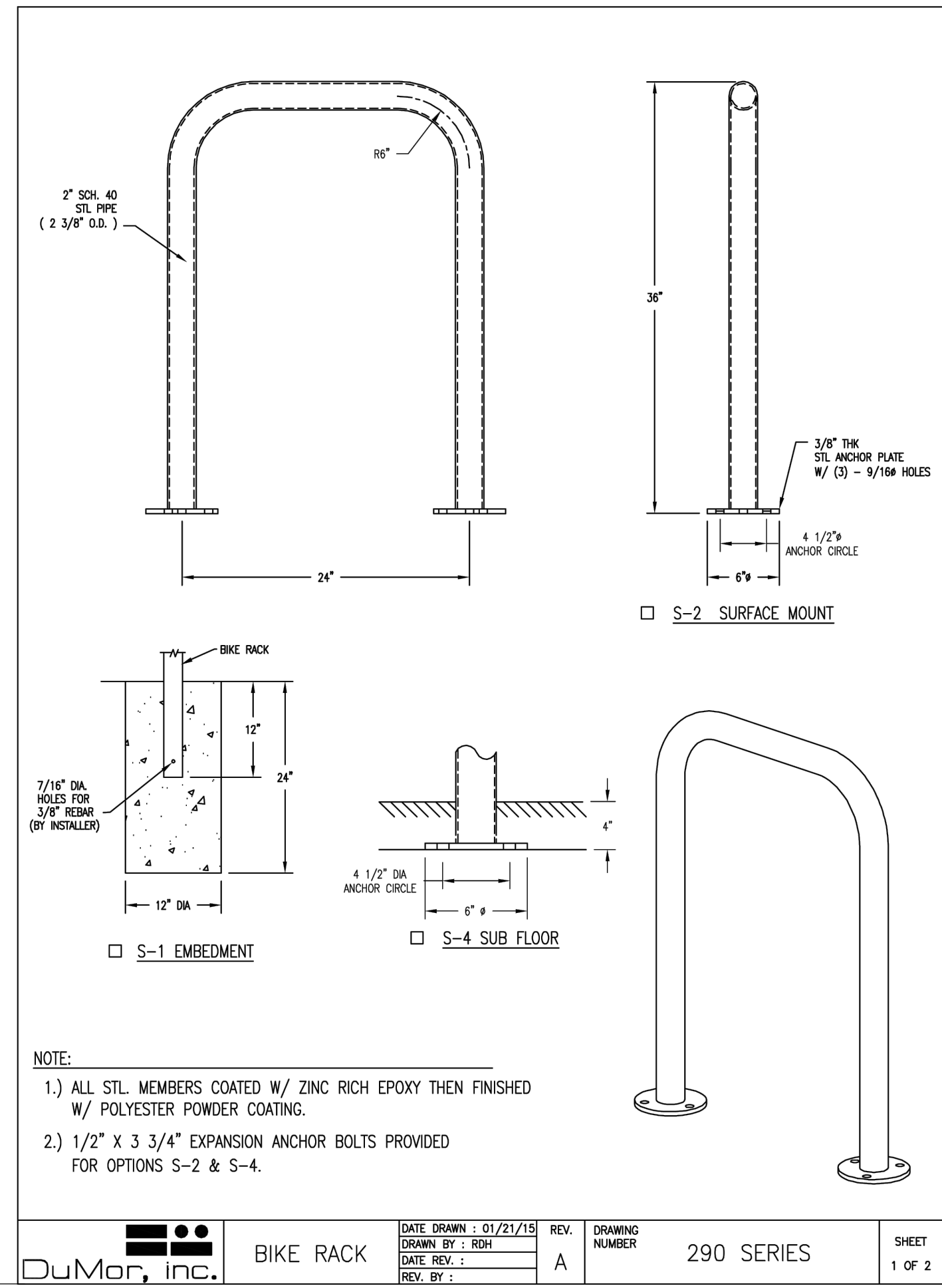
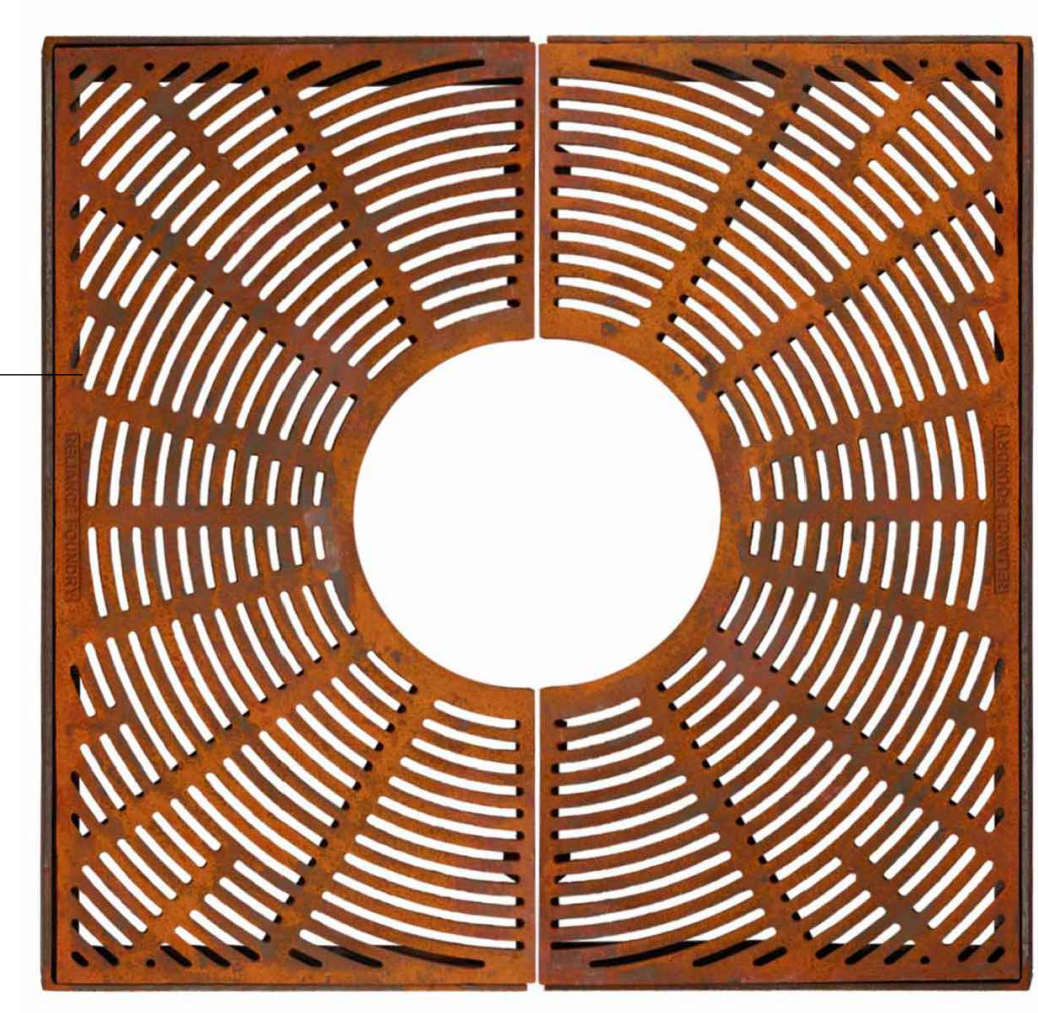
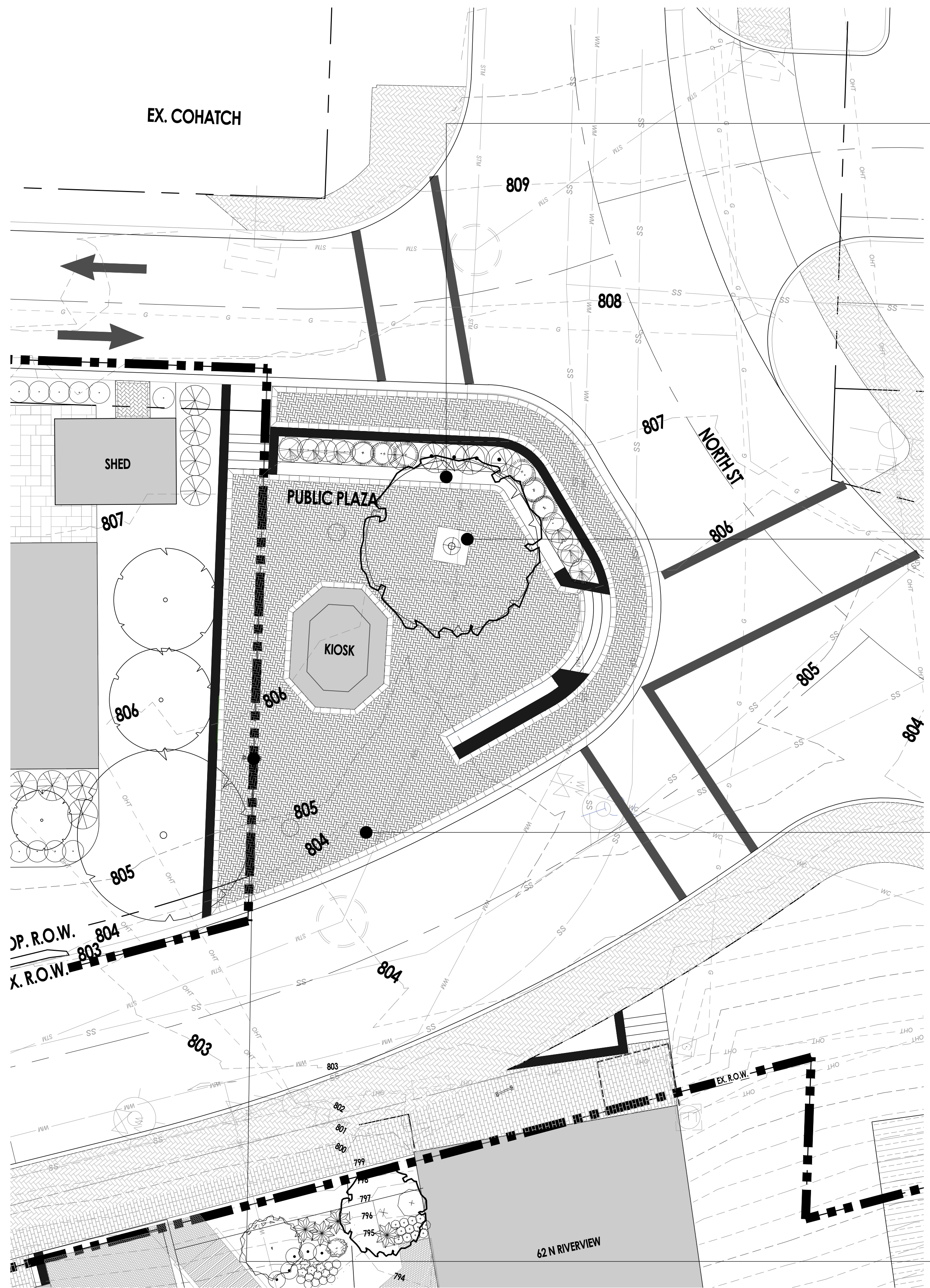
$$\frac{1}{XX XX} \left(\frac{QUANTITY}{CODE} \right)$$





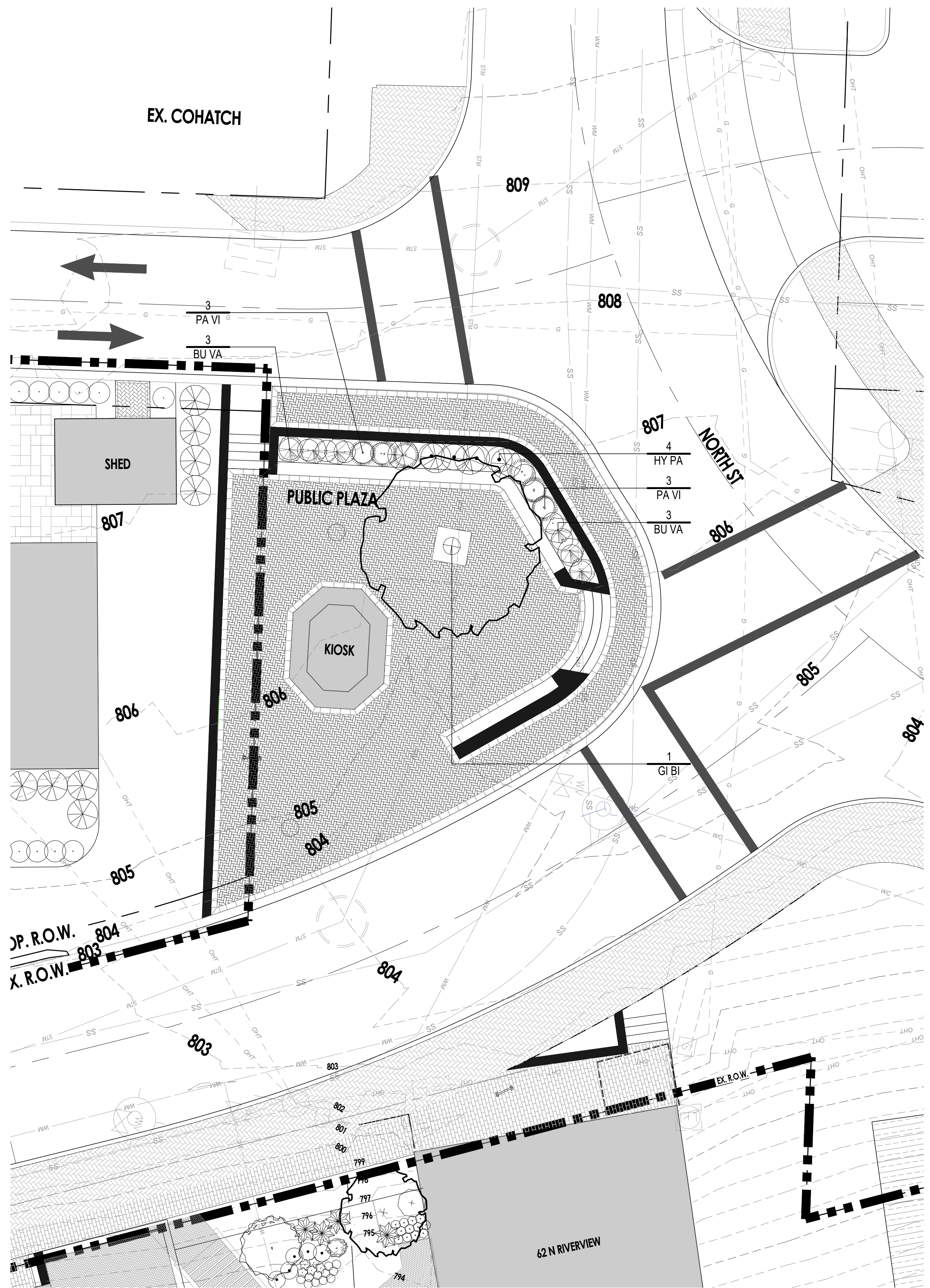
L2.03: Riverbank Descent - LIGHTING PLAN





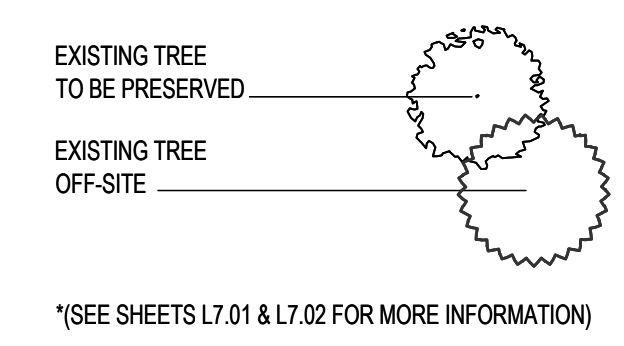
PUBLIC PLAZA - LAYOUT & MATERIALS PLAN ENLARGEMENT

0' 8' 24'



PUBLIC PLAZA - LANDSCAPE PLAN ENLARGEMENT

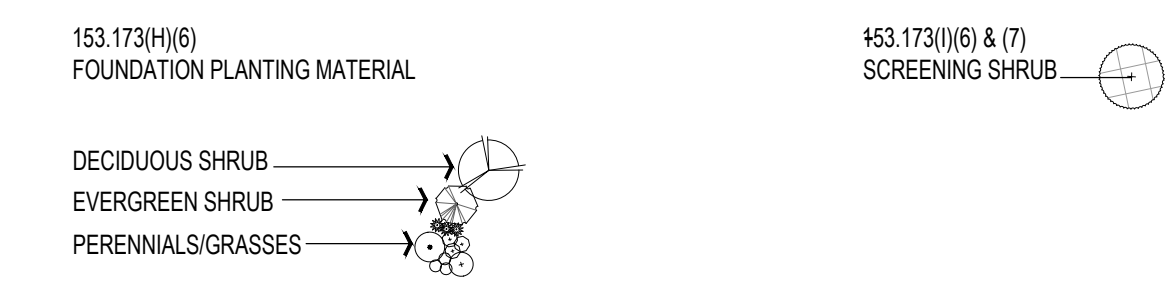
EXISTING TREE KEY



PLANT LIST (Contractor is responsible to provide all plant quantities shown on plan)

CODE	BOT. NAME/COMMON NAME	SIZE	COND.	SPACING	NOTES
DECIDUOUS SHADE TREE					
GI BI	Ginkgo biloba 'Princeton Sentry' Princeton Sentry Ginkgo	2.5" CAL.	B&B	AS SHOWN	
EVERGREEN SHRUBS					
BU VA	Buxus sempervirens 'Variegata' Variegated English Boxwood	18" SPRD.	#3 CONT.	PER PLAN	
FLOWERING/DECIDUOUS SHRUBS					
HY PA	Hydrangea paniculata 'Ivobo' Bobo Hydrangea	14-16" HT.	#3 CONT.	PER PLAN	
GRASSES, PERENNIALS, GROUNDCOVERS, & VINES					
PA VI	Panicum virgatum 'Northwind' Northwind Switchgrass		#3 CONT.	AS SHOWN	Match Form

LANDSCAPE REQUIREMENTS SYMBOL KEY



CODED LANDSCAPE NOTES

- ② LANDSCAPE BED - PROVIDE 3" DEPTH HARDWOOD MULCH, POSITIVE DRAINAGE IN ALL DIRECTIONS. HAND SPADE EDGE.

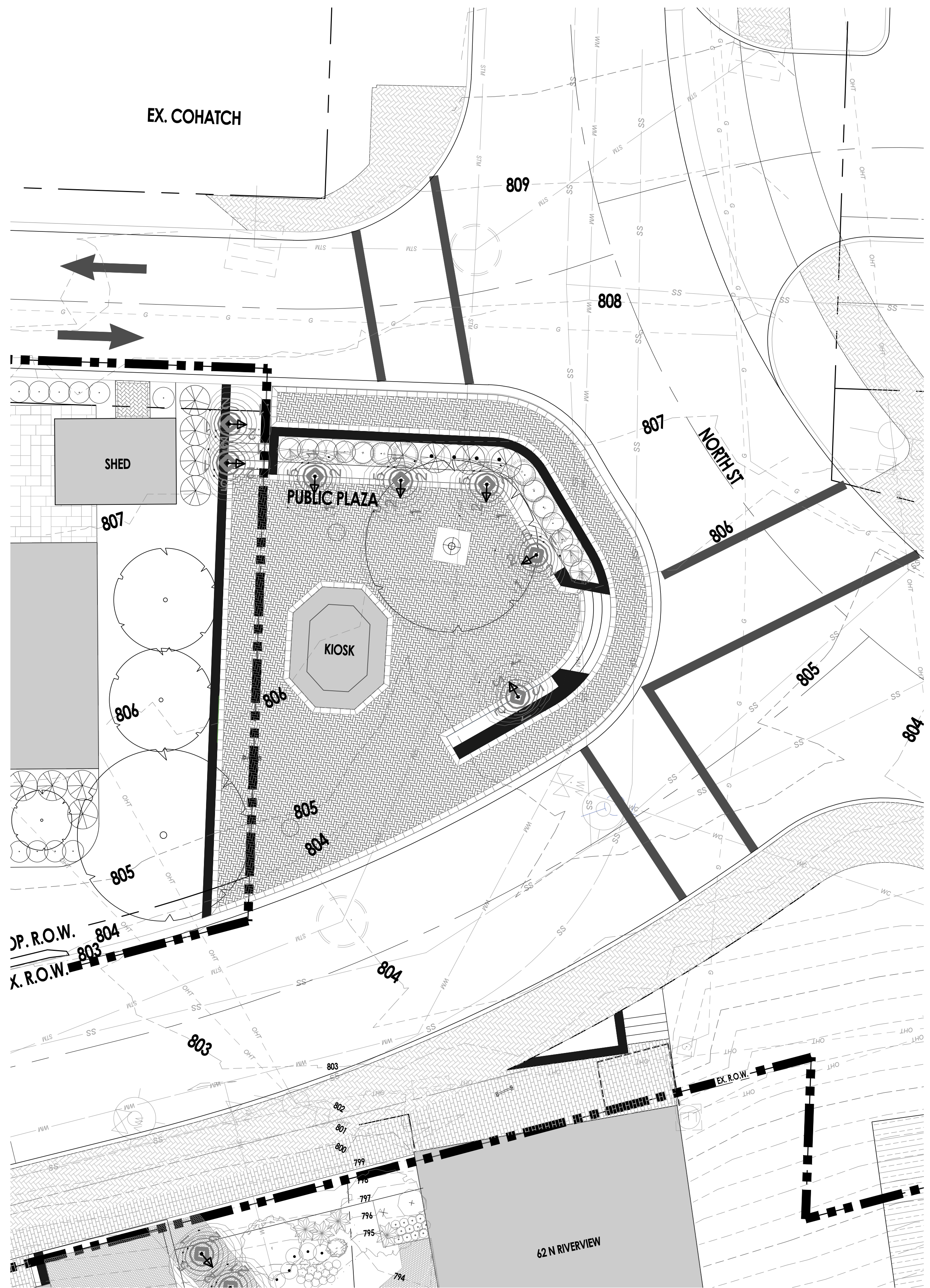
PLANT LABEL KEY

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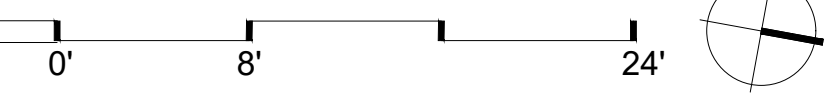
CODED LAYOUT & MATERIALS NOTES

KEY	ITEM	REFERENCE	NOTES
①	BELDEN BELCREST #530 CLAY PAVERS		- SEE ENGINEER'S DRAWINGS FOR DETAILS
②	SANDSTONE BLOCK		ALIGN PER PLAN (±50" OFF WALK)

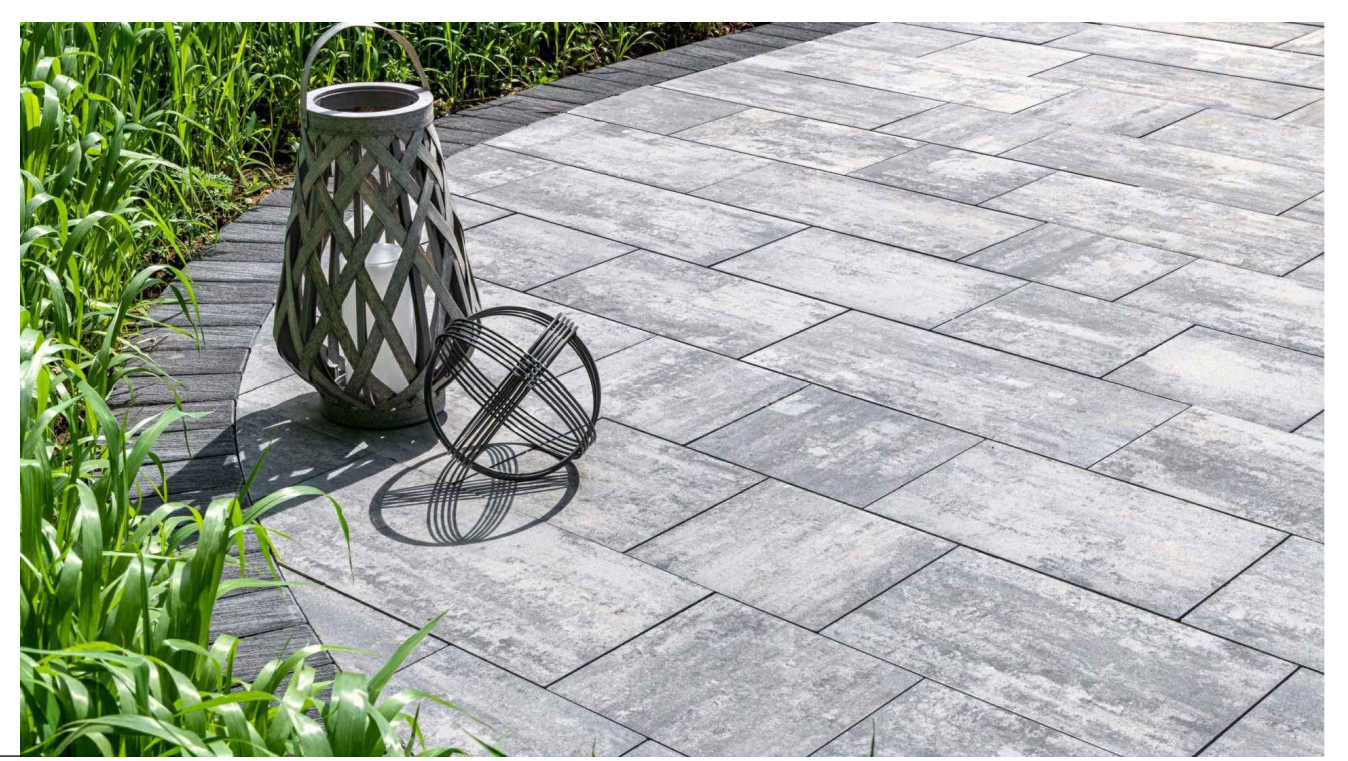
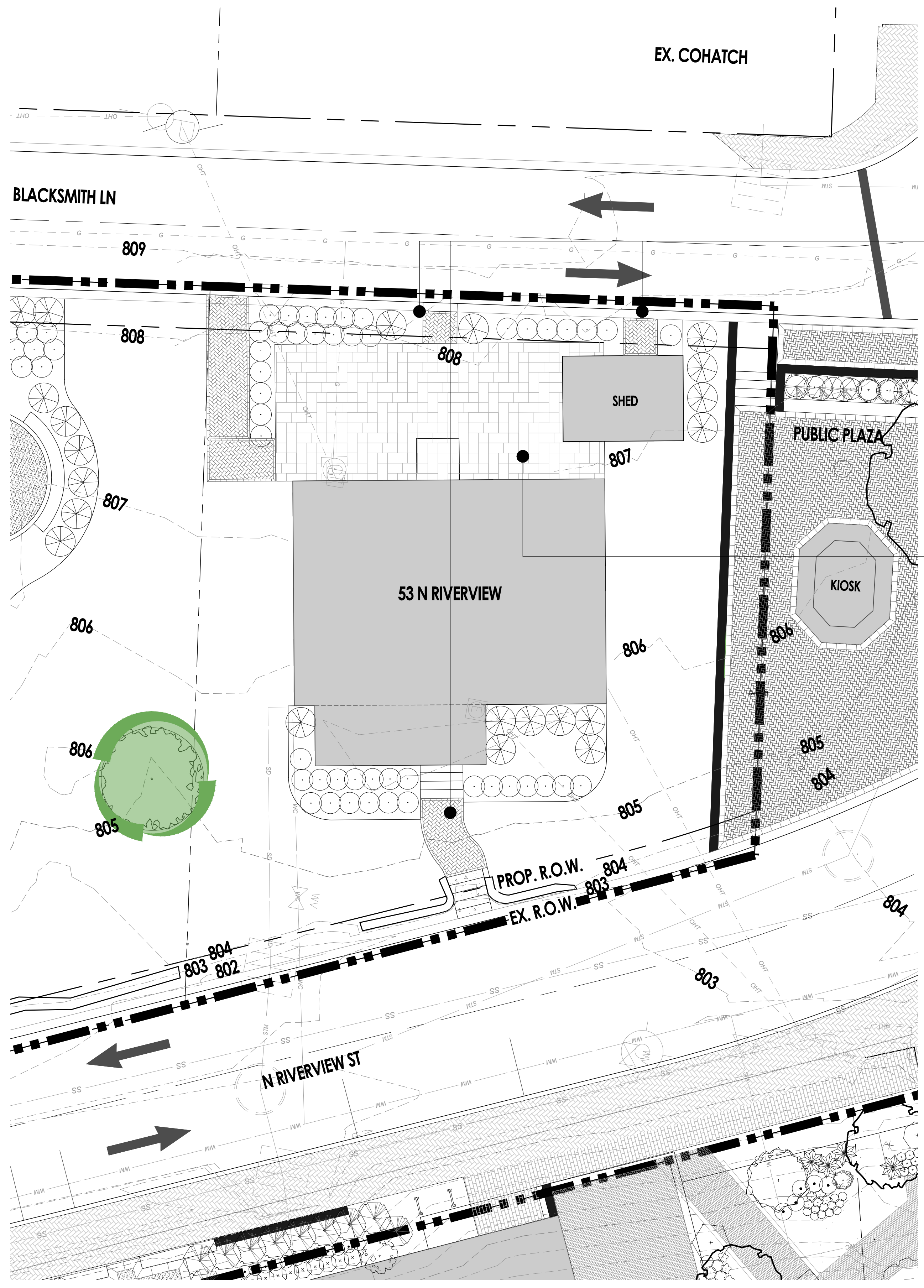
L3.02: Public Plaza - LANDSCAPE PLAN



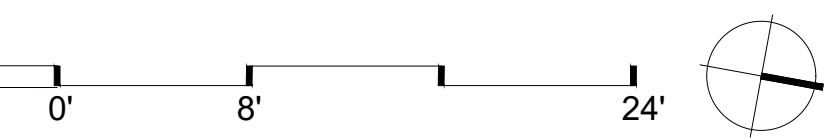
PUBLIC PLAZA - LIGHTING PLAN ENLARGEMENT

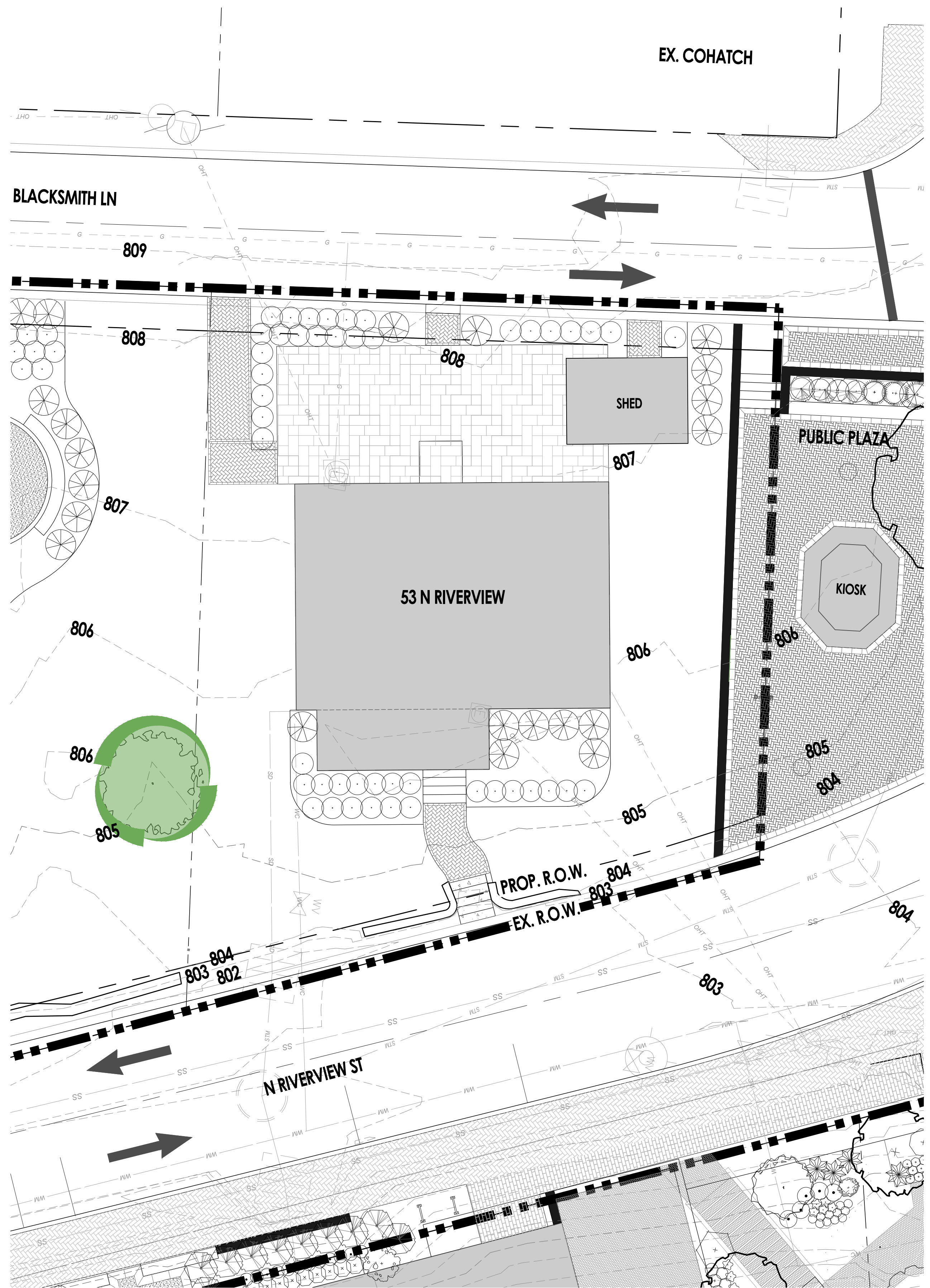


L3.03: Public Plaza - LIGHTING PLAN



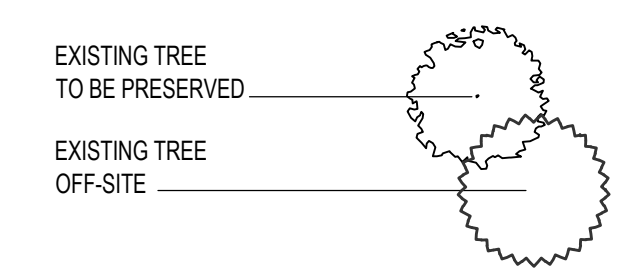
53 N RIVERVIEW - LAYOUT & MATERIALS PLAN ENLARGEMENT





53 N RIVERVIEW - LANDSCAPE PLAN ENLARGEMENT

EXISTING TREE KEY

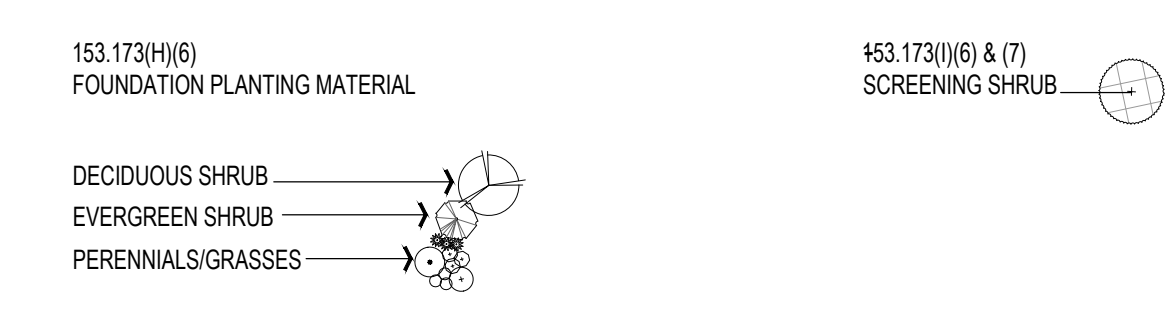


*(SEE SHEETS L7.01 & L7.02 FOR MORE INFORMATION)

PLANT LIST (Contractor is responsible to provide all plant quantities shown on plan)

CODE	BOT. NAME/COMMON NAME	SIZE	COND.	SPACING	NOTES
EVERGREEN TREES					
CH NO	Chamaecyparis nootkalensis 'Pendula' Weeping Nootka False Cypress	6' HT.	B&B	AS SHOWN	
EVERGREEN SHRUBS					
JU BL	Juniperus squamata 'Blue Star' Blue Star Juniper	18" SPRD.	#3 CONT.	PER PLAN	
FLOWERING/DECIDUOUS SHRUBS					
RO KO	Rosa 'RADTKO' Double Red Knockout Rose	24" HT.	#5 CONT.	PER PLAN	
GRASSES, PERENNIALS, GROUNDCOVERS, & VINES					
AS CA	Asarum canadense Wild Ginger	-	#1 CONT.	AS SHOWN	Match Form
AS DI	Aster divaricatus Whitehead Aster	-	#1 CONT.	AS SHOWN	Match Form
AQ CA	Aquilegia canadense Wild Columbine	-	#1 CONT.	AS SHOWN	Match Form
CA PE	Carex pennsylvanica Pennsylvania Sedge	-	#1 CONT.	AS SHOWN	Match Form
CI RA	Cimifuga racemosa 'Hillside Black Beauty' Hillside Blac Beauty Snakeroot	-	#1 CONT.	AS SHOWN	Match Form
DI CU	Dicentra cucullaria Dutchman's Breeches	-	#1 CONT.	AS SHOWN	Match Form
DR MA	Dryopteris marginalis Leatherwood Fern	-	#1 CONT.	AS SHOWN	Match Form
HE VI	Heuchera villosa Hairy Alumroot	-	#1 CONT.	AS SHOWN	Match Form
OS CI	Osmundastrum cinnamomeum Cinnamon Fern	-	#1 CONT.	AS SHOWN	Match Form
TR ER	Trillium erectum Purple Trillium	-	#1 CONT.	AS SHOWN	Match Form
VI CA	Viola canadensis Canadian Violet	-	PLUG	AS SHOWN	Match Form

LANDSCAPE REQUIREMENTS SYMBOL KEY



CODED LANDSCAPE NOTES

- 2 LANDSCAPE BED - PROVIDE 3" DEPTH HARDWOOD MULCH. POSITIVE DRAINAGE IN ALL DIRECTIONS. HAND SPADE EDGE.

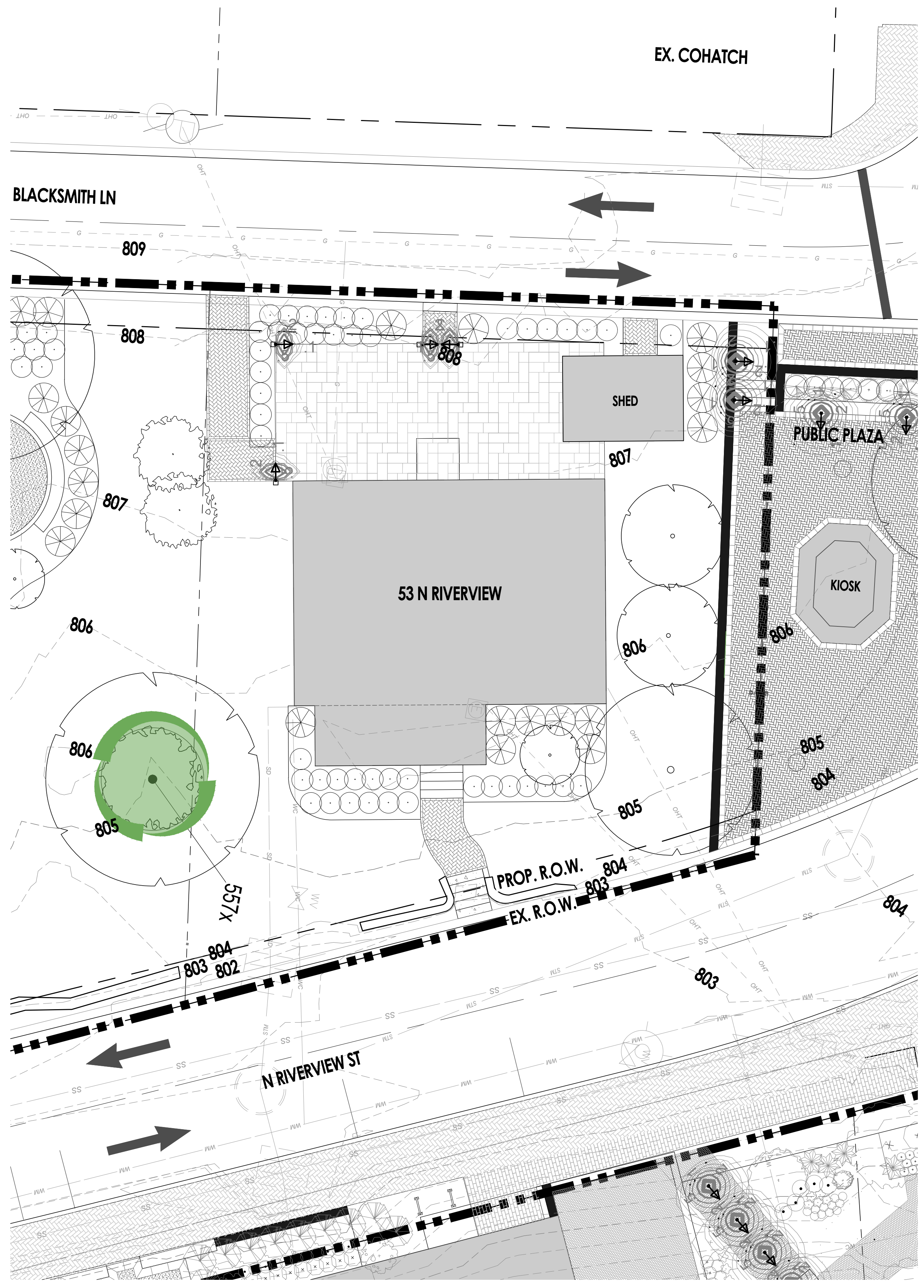
PLANT LABEL KEY

$$\frac{1}{XX XX} \left(\begin{array}{c} \text{QUANTITY} \\ \text{CODE} \end{array} \right)$$

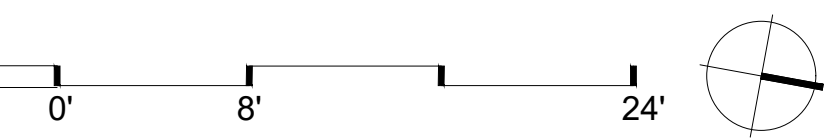
CODED LAYOUT & MATERIALS NOTES

KEY	ITEM	REFERENCE	NOTES
1	BELDEN BELCREST #530 CLAY PAVERS		- SEE ENGINEER'S DRAWINGS FOR DETAILS
2	SANDSTONE BLOCK		ALIGN PER PLAN (+60" OFF WALK)

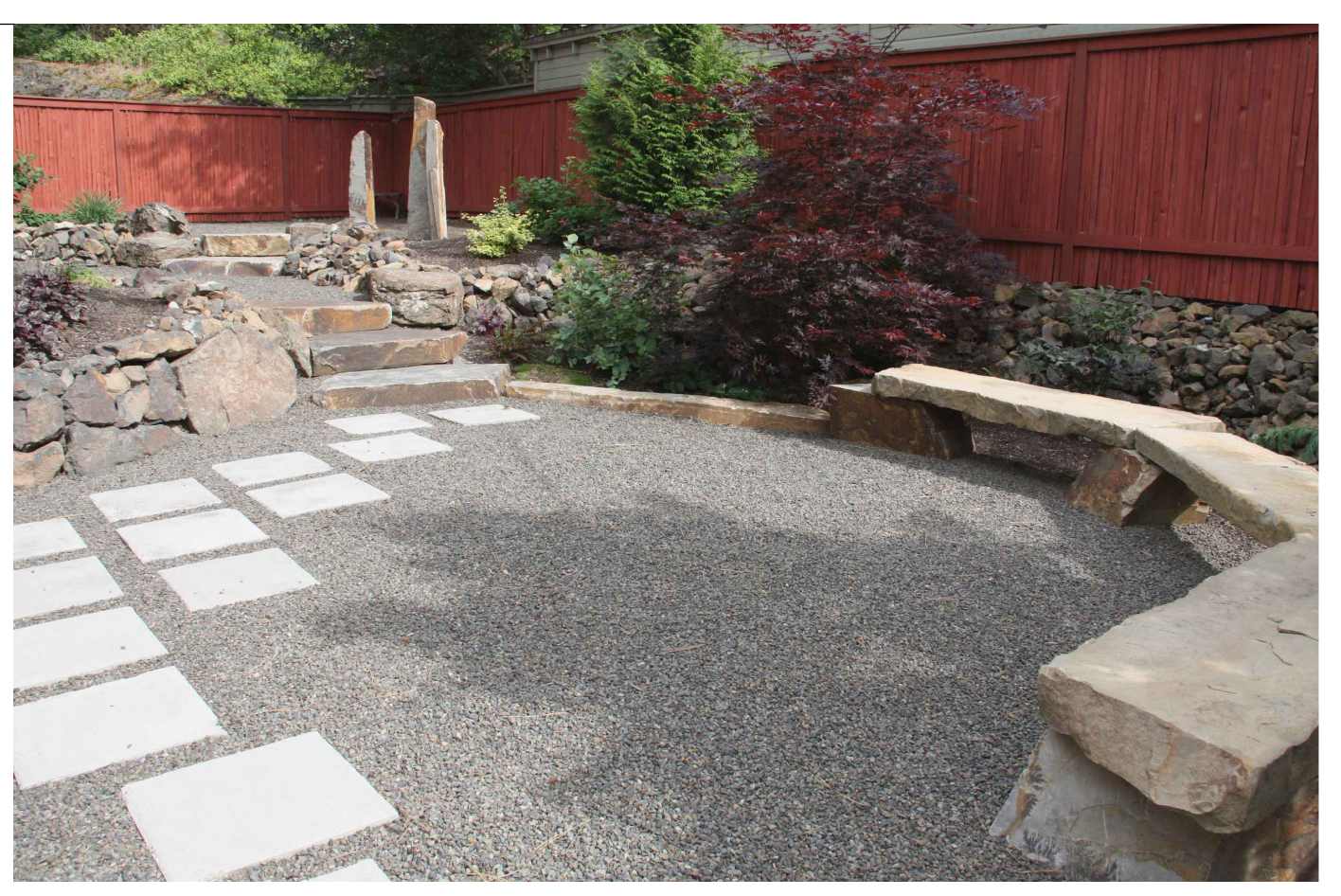
L4.02: 53 N. Riverview - LANDSCAPE PLAN



53 N RIVERVIEW - LIGHTING PLAN ENLARGEMENT

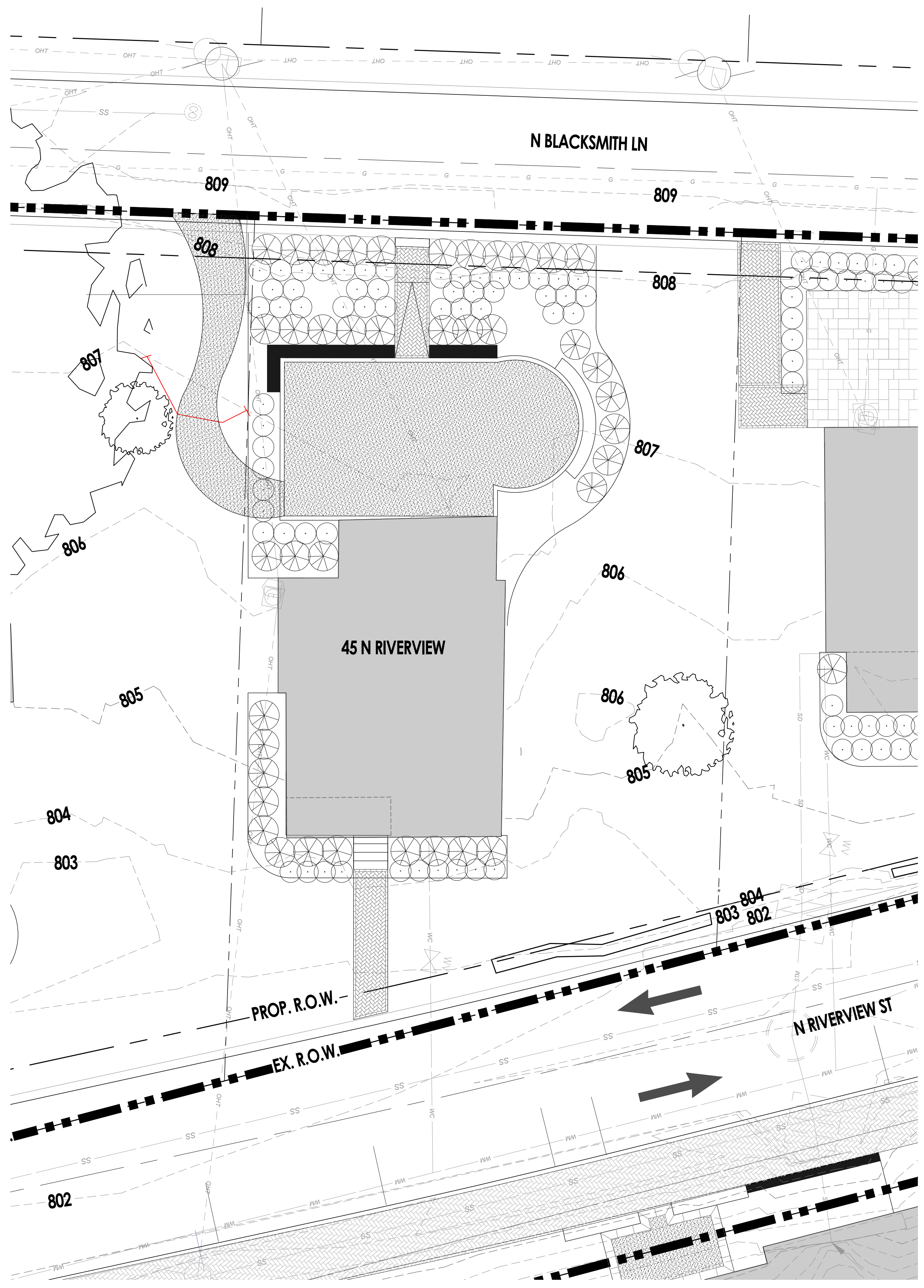


L4.03: 53 N. Riverview - LIGHTING PLAN



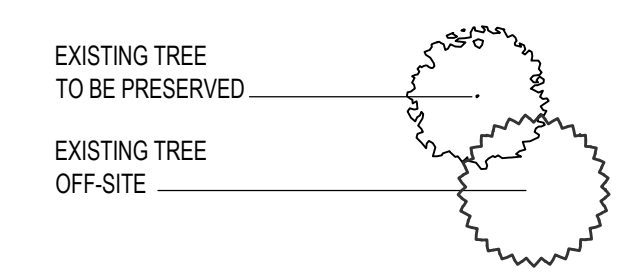
45 N RIVERVIEW - LAYOUT & MATERIALS PLAN ENLARGEMENT

0' 8' 24'



45 N RIVERVIEW - LANDSCAPE PLAN ENLARGEMENT

EXISTING TREE KEY

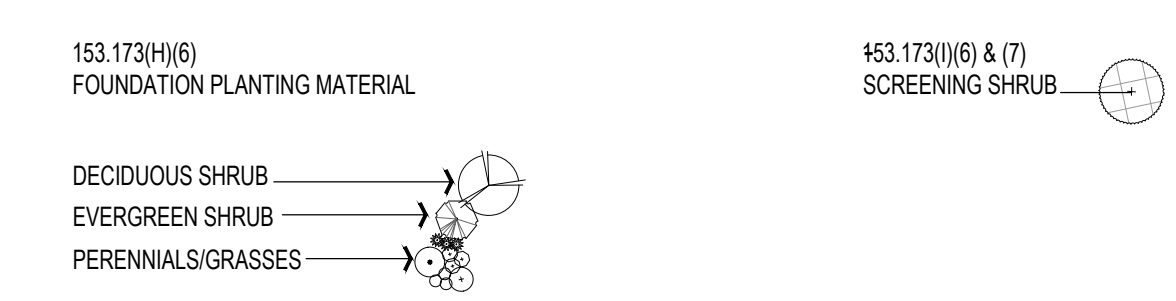


*(SEE SHEETS L7.01 & L7.02 FOR MORE INFORMATION)

PLANT LIST (Contractor is responsible to provide all plant quantities shown on plan)

CODE	BOT. NAME/Common Name	SIZE	COND.	SPACING	NOTES
EVERGREEN TREES					
CH NO	Chamaecyparis nootkalensis 'Pendula' Weeping Nootka False Cypress	6' HT.	B&B	AS SHOWN	
EVERGREEN SHRUBS					
JU BL	Juniperus squamata 'Blue Star' Blue Star Juniper	18" SPRD.	#3 CONT.	PER PLAN	
FLOWERING/DECIDUOUS SHRUBS					
RO KO	Rosa 'RADTKO' Double Red Knockout Rose	24" HT.	#5 CONT.	PER PLAN	
GRASSES, PERENNIALS, GROUNDCOVERS, & VINES					
AS CA	Asarum canadense Wild Ginger	-	#1 CONT.	AS SHOWN	Match Form
AS DI	Aster divaricatus Whitewood Aster	-	#1 CONT.	AS SHOWN	Match Form
AQ CA	Aquilegia canadense Wild Columbine	-	#1 CONT.	AS SHOWN	Match Form
CA PE	Carex pennsylvanica Pennsylvania Sedge	-	#1 CONT.	AS SHOWN	Match Form
CI RA	Cimifuga racemosa 'Hillside Black Beauty' Hillside Blac Beauty Snakeroot	-	#1 CONT.	AS SHOWN	Match Form
DI CU	Dicentra cucullaria Dutchman's Breeches	-	#1 CONT.	AS SHOWN	Match Form
DR MA	Dryopteris marginalis Leatherwood Fern	-	#1 CONT.	AS SHOWN	Match Form
HE VI	Heuchera villosa Hairy Alumroot	-	#1 CONT.	AS SHOWN	Match Form
OS CI	Osmundastrum cinnamomeum Cinnamon Fern	-	#1 CONT.	AS SHOWN	Match Form
TR ER	Trillium erectum Purple Trillium	-	#1 CONT.	AS SHOWN	Match Form
VI CA	Viola canadensis Canadian Violet	-	PLUG	AS SHOWN	Match Form

LANDSCAPE REQUIREMENTS SYMBOL KEY



CODED LANDSCAPE NOTES

- 2 LANDSCAPE BED - PROVIDE 3" DEPTH HARDWOOD MULCH. POSITIVE DRAINAGE IN ALL DIRECTIONS. HAND SPADE EDGE.

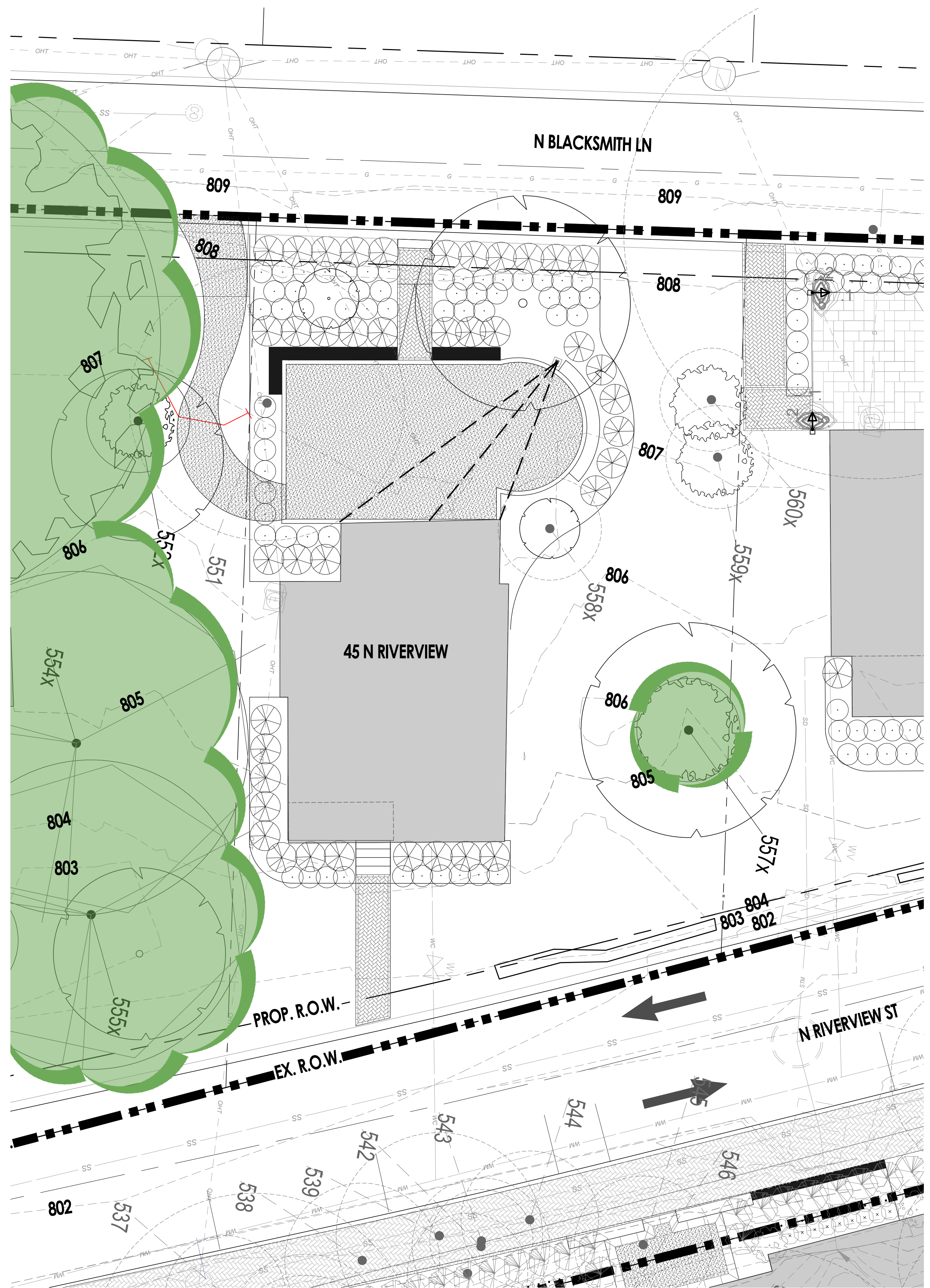
PLANT LABEL KEY

$$\frac{1}{XX XX} \left(\begin{array}{c} \text{QUANTITY} \\ \text{CODE} \end{array} \right)$$

CODED LAYOUT & MATERIALS NOTES

KEY	ITEM	REFERENCE	NOTES
1	BELDEN BELCREST #530 CLAY PAVERS		- SEE ENGINEER'S DRAWINGS FOR DETAILS
2	SANDSTONE BLOCK		ALIGN PER PLAN (+60" OFF WALK)

L5.02: 45 N. Riverview - LANDSCAPE PLAN



45 N RIVERVIEW - LIGHTING PLAN ENLARGEMENT

ALUZ

A5 Series | String / Festoon
ZOZO Standard
 (A5-ZOZO-STN)

GENERAL FEATURES

- Applications: Indoor and Outdoor
- Length: Built to Order (4'-18" Tolerance)
- Finish: Black
- Feed: Standard 6' Power Lead
- Strain Relief: Cable Included, Not for Mounting
- Mounting: Mounting Bracket Cable (Sold Separately)
- Listing: ETL or ETL-Listed (ANSI/ULTR88 CSA 22.2 No. 250.0-04, 2nd Edition)
- Options: Mesh, Cones, or Clips
- UV Rating: Sun Light Resistance
- Installation Link: [Link to Installation Instructions](#)

ELECTRICAL

- Dimming: Forward Phase
- Maximum Run: 250' with-out Conspires 500' with Conspires
- System: 20 Amps (2 Gauge Wire)
- Voltage: 180 or 240 Volts (± 0.25% Tolerance)
- Operating Temperature: -20°C to +40°C (-4°F to 104°F)
- Luminaire Voltage: 120V

CANOPY OPTIONS (Click Image to See Individual Submittal)

SPECIFY PRODUCT CODE | CHOOSE FROM DROP DOWNS

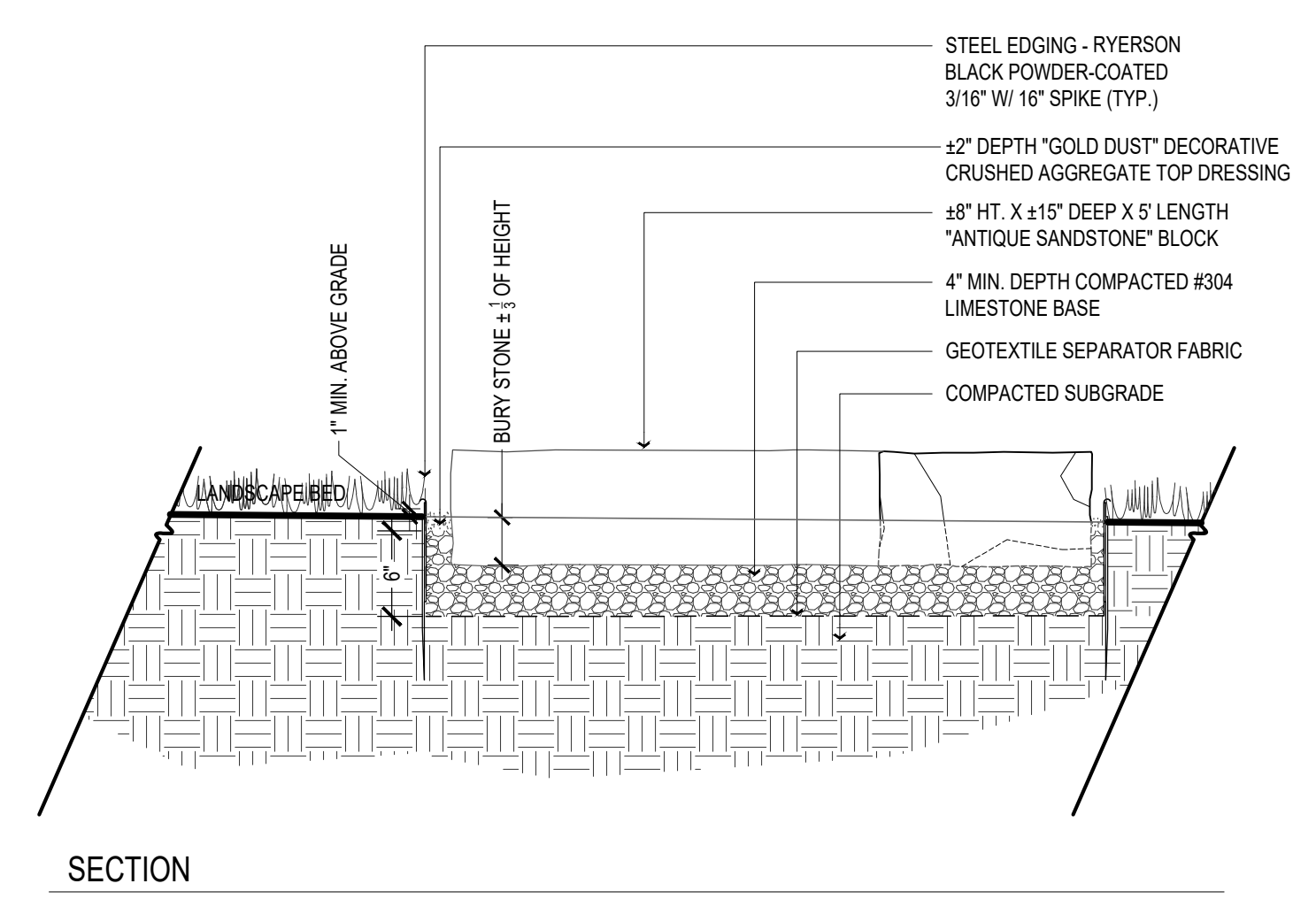
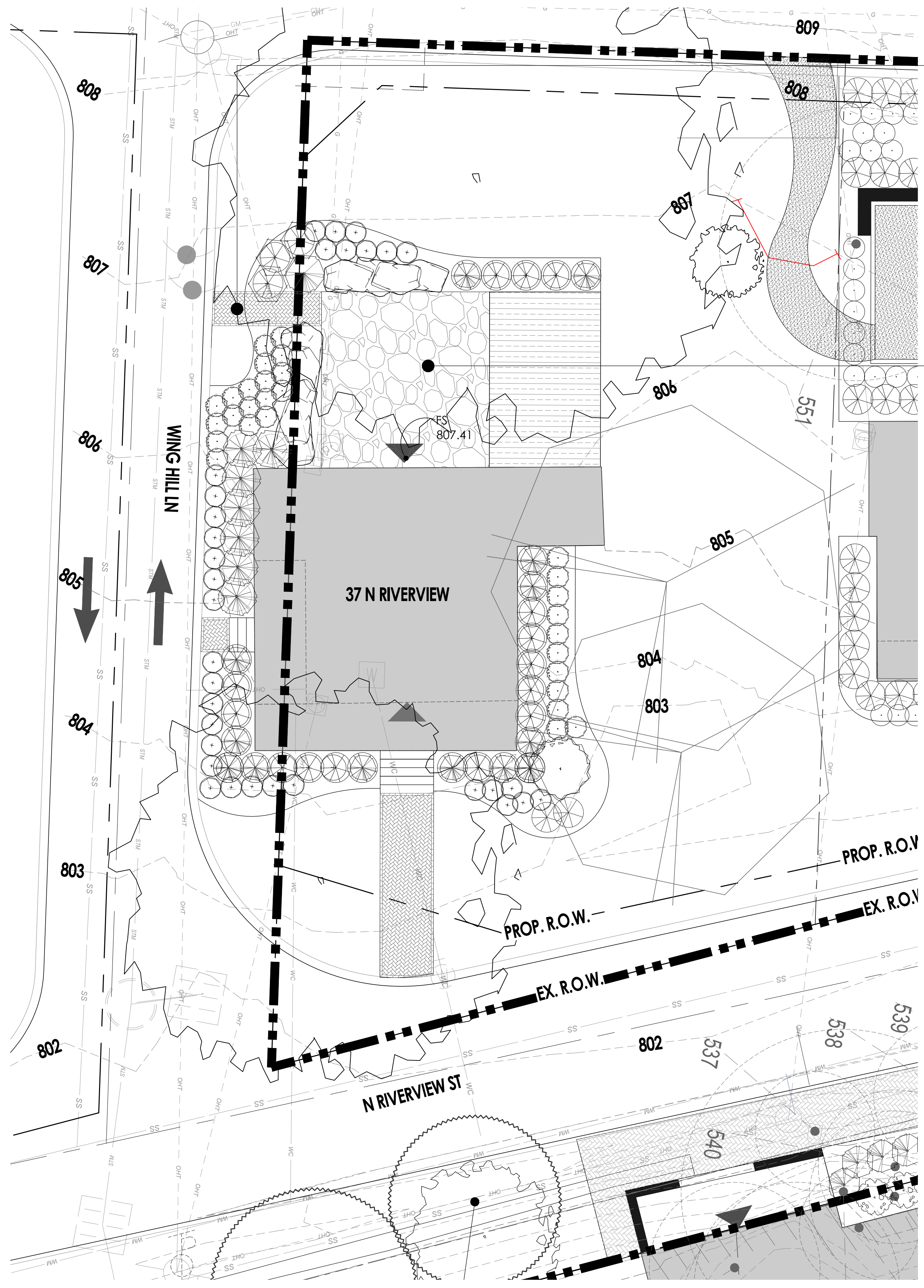
Series	Spacing	Lamp	Dimming	Listing	Luminaire Length
Standard (180-240V)	12" or 24"	2000K, 2700K, 3000K, 3500K, 4000K, 4500K, 5000K, 5500K, 6000K, 6500K, 7000K, 7500K, 8000K, 8500K, 9000K, 9500K, 10000K	Forward Phase	ETL	Quantity Length in Feet Standard 120'
Standard (180-240V)	12" or 24"	2000K, 2700K, 3000K, 3500K, 4000K, 4500K, 5000K, 5500K, 6000K, 6500K, 7000K, 7500K, 8000K, 8500K, 9000K, 9500K, 10000K	Forward Phase	ETL	Quantity Length in Feet Standard 120'
Standard (180-240V)	12" or 24"	2000K, 2700K, 3000K, 3500K, 4000K, 4500K, 5000K, 5500K, 6000K, 6500K, 7000K, 7500K, 8000K, 8500K, 9000K, 9500K, 10000K	Forward Phase	ETL	Quantity Length in Feet Standard 120'
Standard (180-240V)	12" or 24"	2000K, 2700K, 3000K, 3500K, 4000K, 4500K, 5000K, 5500K, 6000K, 6500K, 7000K, 7500K, 8000K, 8500K, 9000K, 9500K, 10000K	Forward Phase	ETL	Quantity Length in Feet Standard 120'
Standard (180-240V)	12" or 24"	2000K, 2700K, 3000K, 3500K, 4000K, 4500K, 5000K, 5500K, 6000K, 6500K, 7000K, 7500K, 8000K, 8500K, 9000K, 9500K, 10000K	Forward Phase	ETL	Quantity Length in Feet Standard 120'

1700 N Red Gum St, Anaheim, CA 92806
 aluz lighting info@aluzlighting 866.ALUZ.LTG | 714.535.7900
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Specification Submittal
 Page 1 of 4
 7/1/2024 / Rev 15

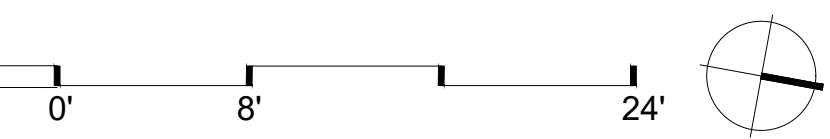


L5.03: 45 N. Riverview - LIGHTING PLAN

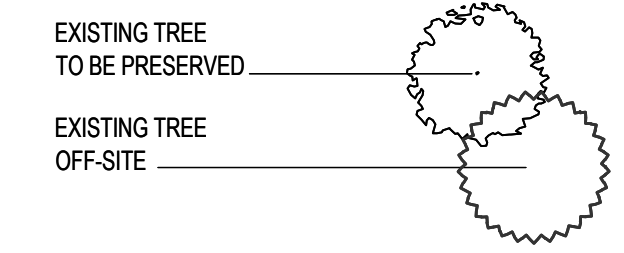


A 5' LIMESTONE BLOCK
SCALE: 1" = 1'-0"

37 N RIVERVIEW - LAYOUT & MATERIALS PLAN ENLARGEMENT



EXISTING TREE KEY

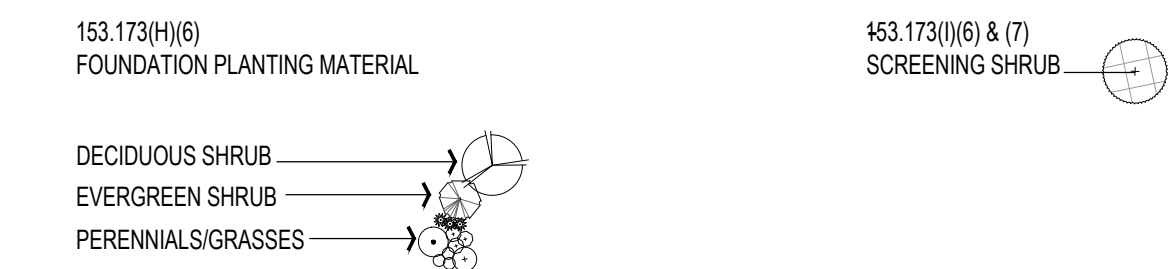


*SEE SHEETS L7.01 & L7.02 FOR MORE INFORMATION

PLANT LIST (Contractor is responsible to provide all plant quantities shown on plan)

CODE	BOT. NAME/COMMON NAME	SIZE	COND.	SPACING	NOTES
EVERGREEN SHRUBS					
JU TA	Juniperus virginiana 'Taylor' Taylor Juniper	6' HT.	B&B	AS SHOWN	
TH FC	Thuja occidentalis 'Fire Chief' Fire Chief Arborvitae	14-16" HT.	#3 CONT.	PER PLAN	
JU GO	Juniperus virginiana 'Grey Owl' Grey Owl Juniper	18" SPRD.	#3 CONT.	PER PLAN	
BU GV	Buxus 'Green Velvet' Green Velvet Boxwood	16-18" HT.	#5 CONT.	PER PLAN	
FLOWERING/DECIDUOUS SHRUBS					
CA SS	Caryopteris x clandonensis 'Blauer Splat' Sapphire Surf Caryopteris	24" HT.	#5 CONT.	PER PLAN	
ER ME	Erica x darleyensis 'Mediterranean Pink' Darley Dale Heath	12" HT.	#3 CONT.	AS SHOWN	Match Form
CO IV	Cornus alba 'Ivory Halo' Ivory Halo Dogwood	24-30" HT.	#3CONT.	AS SHOWN	Match Form
IT VI	Itea virginiana 'Henry's Garnet' Henry's Garnet Itea	16-18" HT.	#3 CONT.	AS SHOWN	Match Form
HY CO	Hypericum kalmianum 'Cobalt-n-Gold' Cobalt-n-Gold St. John's Wort	14-16" HT.	#3 CONT.	AS SHOWN	Match Form
HY BO	Hydrangea paniculata 'Ivobo' Bobo Hydrangea	-	#3 CONT.	AS SHOWN	Match Form
HY QU	Hydrangea quercifolia 'Pee Wee' Pee Wee Oakleaf Hydrangea	-	#3 CONT.	AS SHOWN	Match Form
HE MI	Heptacodium minonioides 'Tianshin' Tianshin Seven Son Flower	-	#3 CONT.	AS SHOWN	Match Form
FLOWERING/DECIDUOUS SHRUBS					
RU HI	Rudbeckia hirta 'Indian Summer' Indian Summer Black Eyed susan	24" HT.	#5 CONT.	PER PLAN	

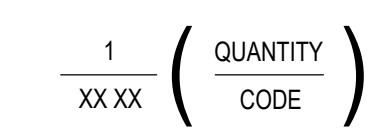
LANDSCAPE REQUIREMENTS SYMBOL KEY



CODED LANDSCAPE NOTES

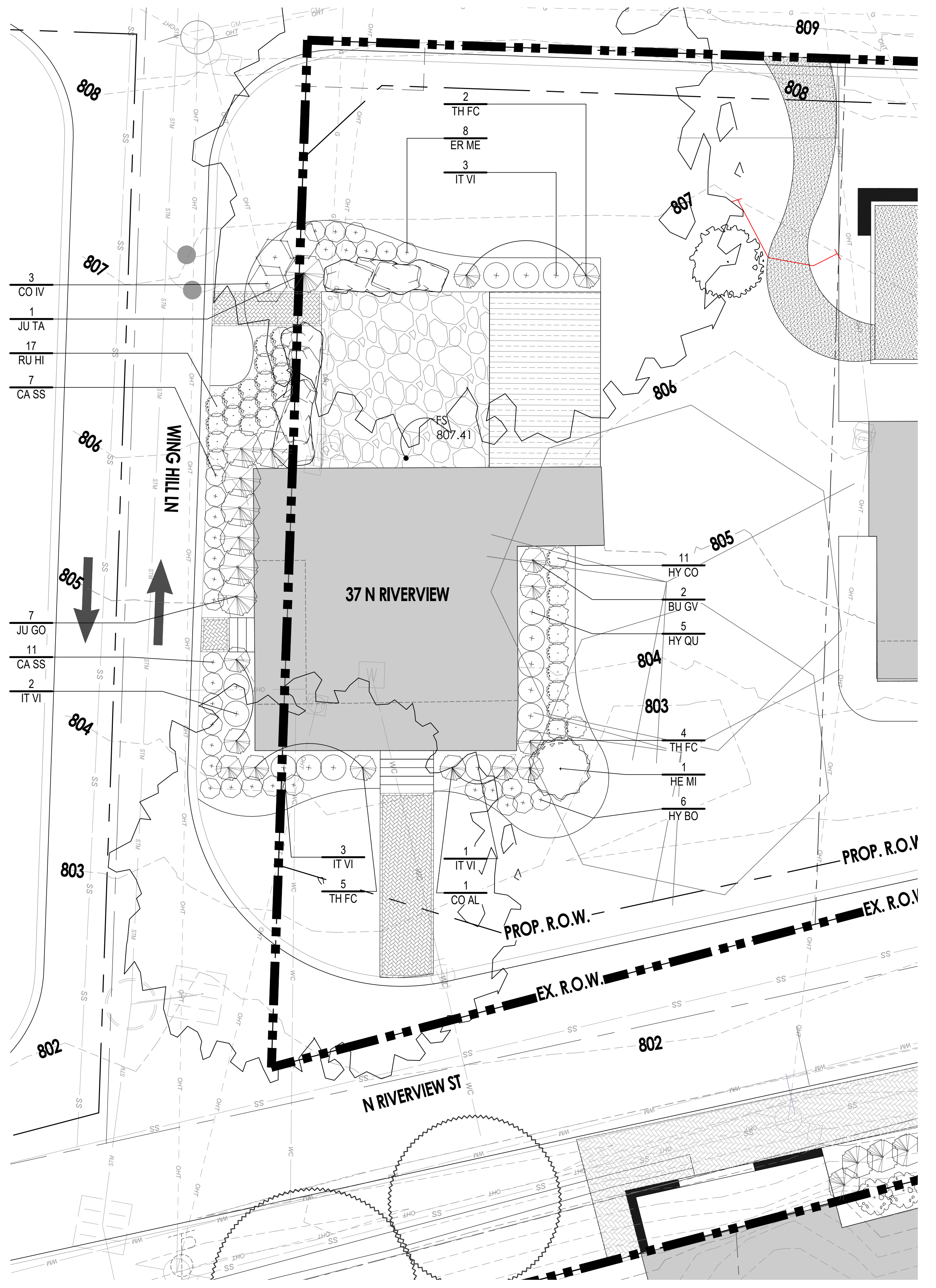
- ② LANDSCAPE BED - PROVIDE 3" DEPTH HARDWOOD MULCH, POSITIVE DRAINAGE IN ALL DIRECTIONS. HAND SPADE EDGE.

PLANT LABEL KEY

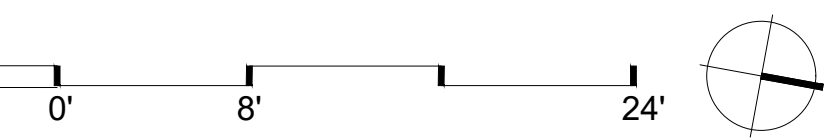


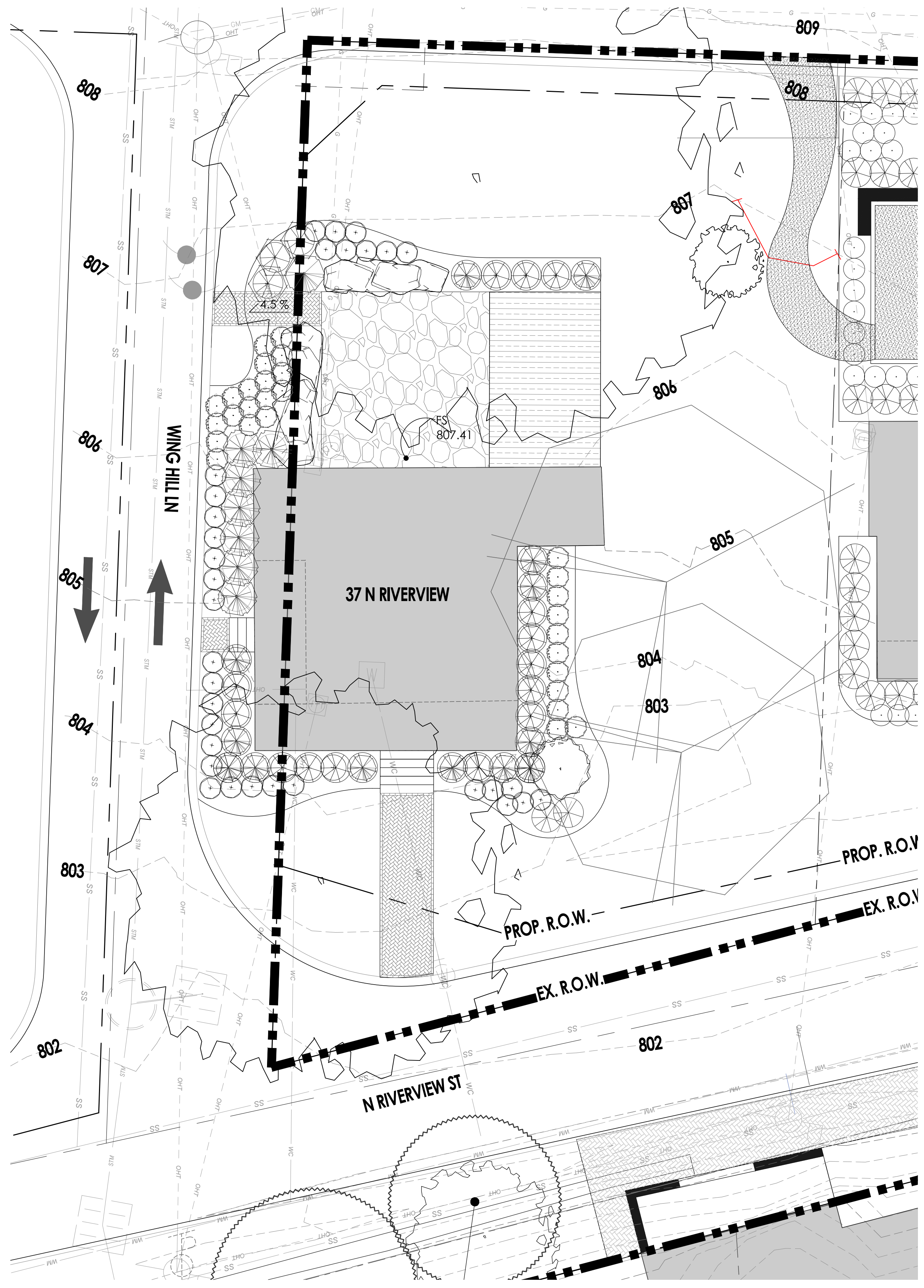
CODED LAYOUT & MATERIALS NOTES

KEY	ITEM	REFERENCE	NOTES
①	BELDEN BELCREST #530 CLAY PAVERS		- SEE ENGINEER'S DRAWINGS FOR DETAILS
②	SANDSTONE BLOCK		ALIGN PER PLAN (+60" OFF WALK)

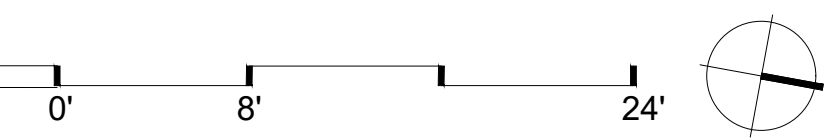


37 N RIVERVIEW - LANDSCAPE PLAN ENLARGEMENT





37 N RIVERVIEW - LIGHTING PLAN ENLARGEMENT



L6.03: 37 N. Riverview - LIGHTING PLAN

TREE PRESERVATION KEY

- EXISTING TREE INDEX NUMBER #
- EXISTING TREE TO BE REMOVED #
- EXISTING TREE STATUS TO BE PRESERVED #
- EXISTING TREE STATUS OFF-SITE #
- EXISTING TREE TO BE PRESERVED #
- TREE PRESERVATION FENCE

(SEE SHEET L7.01 FOR EXISTING TREE INDEX)



SCIOTO RIVER

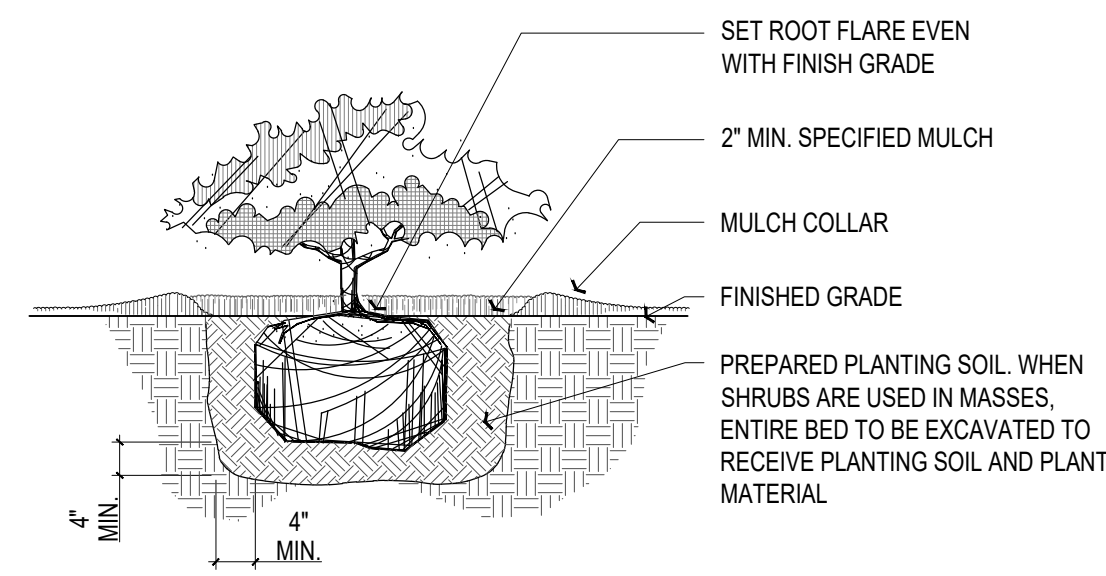
L7.00: Tree Preservation Plan



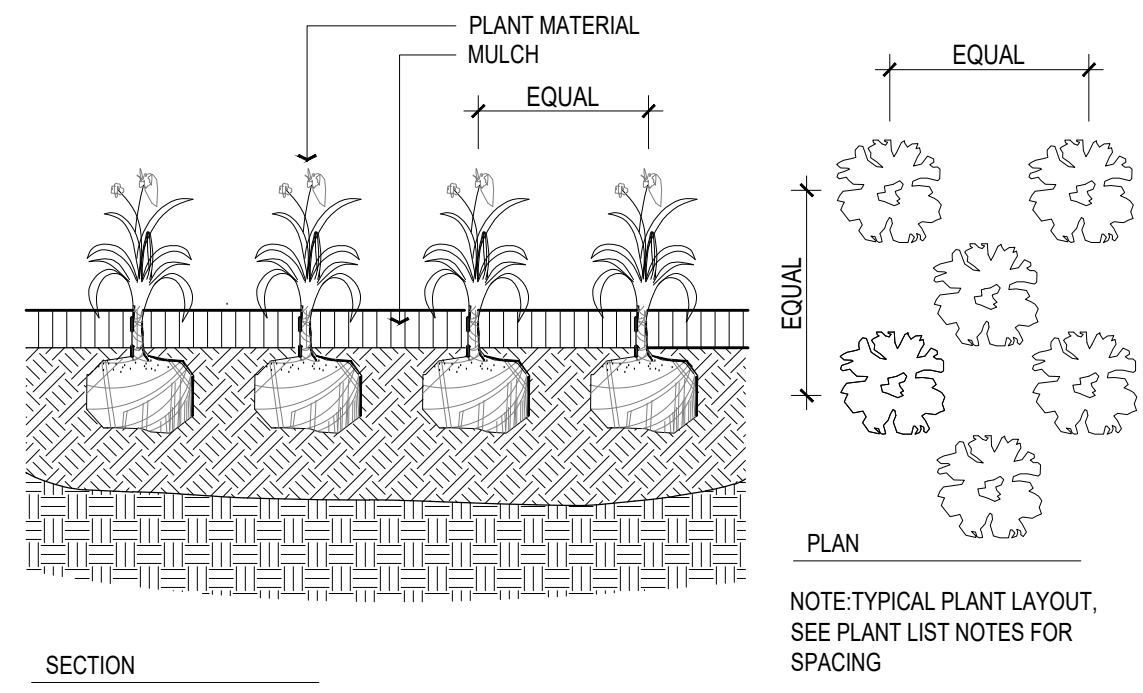
TREE #	D.B.H.	SPECIES	CONDITION	STATUS
341	12	Box Elder	Good	OFF-SITE
342	7	Tree of Heaven	Good	REMOVE
343	10	Tree of Heaven	Good	REMOVE
344	7	Tree of Heaven	Good	REMOVE
345	9	Box Elder	Good	PRESERVE
346	9	Eastern Redbud	Good	PRESERVE
347	21	Wild Crabapple	Good	PRESERVE
348	10	Tree of Heaven	Good	REMOVE
349	8	Tree of Heaven	Good	REMOVE
350	9	Tree of Heaven	Good	REMOVE
351	6	Tree of Heaven	Good	REMOVE
352	12	Common Hackberry	Good	REMOVE
353	6	Sugar Maple	Good	REMOVE
354	23	Sugar Maple	Good	REMOVE
355	12	Common Hackberry	Good	REMOVE
356	12	Common Hackberry	Good	REMOVE
357	39	Black Walnut	Good	REMOVE
358	9	Common Hackberry	Good	REMOVE
398	12	Common Hackberry	Good	PRESERVE
399	19	Tree of Heaven	Good	REMOVE
400	13	Tree of Heaven	Good	REMOVE
401	16	Tree of Heaven	Good	REMOVE
402	19	Tree of Heaven	Good	REMOVE
403	15	Tree of Heaven	Good	REMOVE
404	7	Tree of Heaven	Good	REMOVE
405	13	Tree of Heaven	Good	REMOVE
406	11	Common Hackberry	Good	REMOVE
407	7	Common Hackberry	Good	REMOVE
408	11	Common Hackberry	Good	REMOVE
409	16	Common Hackberry	Good	REMOVE
410	8	Sugar Maple	Good	REMOVE
411	6	Tree of Heaven	Good	REMOVE
412	6	Tree of Heaven	Good	REMOVE
413	6	Tree of Heaven	Good	REMOVE
414	6	Common Hackberry	Good	REMOVE
415	9	Common Hackberry	Good	REMOVE
416	8	Tree of Heaven	Good	REMOVE
417	29	Silver Maple	Good	REMOVE
418	51	Silver Maple	Good	REMOVE
419	13	Box Elder	Good	REMOVE
433	19	Common Hackberry	Good	PRESERVE
434	12	Sugar Maple	Fair	PRESERVE
437	20	Black Walnut	Good	OFF-SITE
438	10	Tree of Heaven	Good	REMOVE
439	13	Tree of Heaven	Good	REMOVE
440	6	Tree of Heaven	Good	PRESERVE
444	16	Tree of Heaven	Good	REMOVE
445	8	Tree of Heaven	Fair	REMOVE
446	6	Tree of Heaven	Good	REMOVE
447	12	Tree of Heaven	Good	REMOVE
448	9	Tree of Heaven	Good	REMOVE
449	8	Tree of Heaven	Good	REMOVE
450	13	Box Elder	Poor	REMOVE
451	8	Tree of Heaven	Good	OFF-SITE
452	12	Black Walnut	Good	OFF-SITE
453	18	Common Hackberry	Good	OFF-SITE
459	7	Box Elder	Good	REMOVE
460	24	Black Walnut	Fair	T.B.D
461	11	Common Hackberry	Fair	REMOVE
470	6	Box Elder	Good	OFF-SITE
471a	6	Box Elder	Good	OFF-SITE
472a	8	Box Elder	Good	REMOVE
473a	7	Tree of Heaven	Good	REMOVE
474a	7	Box Elder	Good	REMOVE
475a	6	Box Elder	Good	REMOVE
476a	25	Black Locust	Good	REMOVE
477a	10	Tree of Heaven	Good	REMOVE
478a	15	Eastern Redbud	Good	REMOVE
479a	9	Box Elder	Good	REMOVE
480a	6	Box Elder	Good	REMOVE
481a	6	Box Elder	Good	REMOVE
482a	7	Box Elder	Good	REMOVE
483a	25	Black Walnut	Fair	REMOVE

TREE #	D.B.H.	SPECIES	CONDITION	STATUS
484a	6	Eastern Red Cedar	Fair	REMOVE
485a	13	Eastern Red Cedar	Poor	REMOVE
486a	11	Eastern Red Cedar	Fair	REMOVE
471b	26	Black Walnut	Good	REMOVE
472b	4	Tree-Of-Heaven	Good	REMOVE
473b	5	Tree-Of-Heaven	Good	REMOVE
474b	4	White Pine	Dead	REMOVE
475b	7	Tree-Of-Heaven	Good	REMOVE
476b	6	Tree-Of-Heaven	Good	REMOVE
477b	5	Box Elder	Fair	REMOVE
478b	6	Box Elder	Fair	REMOVE
479b	6	Tree-Of-Heaven	Good	REMOVE
483b	23	Hackberry	Good	OFF-SITE
484b	7	Box Elder	Poor	OFF-SITE
524	13	Common Hackberry	Good	OFF-SITE
525	12	Box Elder	Poor	OFF-SITE
526	10	Sugar Maple	Good	OFF-SITE
527	16	Box Elder	Good	OFF-SITE
528	10	Common Hackberry	Good	REMOVE
529	17	Common Hackberry	Good	REMOVE
530	8	Tree of Heaven	Fair	REMOVE
531	10	Tree of Heaven	Good	REMOVE
532	12	Tree of Heaven	Good	REMOVE
533	23	Tree of Heaven	Good	REMOVE
534	7	Common Hackberry	Good	REMOVE
535	19	Common Hackberry	Good	REMOVE
536	10	Common Hackberry	Good	REMOVE
537	7	Sugar Maple	Fair	REMOVE
538	9	Common Hackberry	Good	REMOVE
539	12	Tree of Heaven	Good	REMOVE
540	9	Common Hackberry	Good	REMOVE
541	7	Tree of Heaven	Good	REMOVE
542	8	Tree of Heaven	Good	REMOVE
543	6	Tree of Heaven	Fair	REMOVE
544	8	Common Hackberry	Good	REMOVE
545	8	Common Hackberry	Fair	REMOVE
546	6	Sugar Maple	Fair	REMOVE
547	8	American Elm	Good	REMOVE
548	23	Sugar Maple	Good	REMOVE
549	9	Tree of Heaven	Good	REMOVE
550	9	Tree of Heaven	Good	REMOVE
551	16,16,16	Sugar Maple	Good	REMOVE
552x	8	Magnolia	Good	PRESERVE
553x	32	Silver Maple	Good	PRESERVE
554x	20	Spruce	Good	PRESERVE
555x	18	Spruce	Good	PRESERVE
556x	24	Maple	Good	PRESERVE
557x	6	Dogwood	Fair	PRESERVE
558x	8	Crabapple	Poor	REMOVE
559x	6	Crabapple	Poor	REMOVE
560x	6	Crabapple	Poor	REMOVE
974b	4	Tree-Of-Heaven	Good	REMOVE
975b	5	Hackberry	Good	REMOVE
976b	14	Box Elder	Fair	REMOVE
977b	16	Ohio Buckeye	Poor	REMOVE
978b	4	Tree-Of-Heaven	Good	REMOVE
979b	6	Tree-Of-Heaven	Good	REMOVE
980b	6	Tree-Of-Heaven	Good	REMOVE
981b	8	Box Elder	Dead	REMOVE
982b	4	Tree-Of-Heaven	Good	REMOVE
TREE WAIVER POLICY REPLACEMENT CALCULATIONS				
TREE RATING	TREES/INCHES REMOVED	LANDMARK/PRIORITY 1 INCHES PRESERVED	REPLACEMENTS REQ'D	
LANDMARK TREES (≥24" and "Good" or "Fair" condition) replace 1" for ea. 1" removed with 2.5" min. cal. trees	195"	56"	195"	
PRIORITY 1 TREES D.B.H. (≥18", not "Landmark" rated)	126"	78"	PER TREE - SEE BELOW	
PRIORITY 1 TREES IN ABSOLUTE NUMBERS (≥18", not "Landmark" rated) replace with 3 trees @ 2" cal. min. for ea. removed	12 TREES	N/A	36 TREES @ 2" MIN. CAL.	
PRIORITY 2 TREES (6" x <18") replace with 2 trees @ 2" cal. min. for ea. removed	78 TREES	N/A	156 TREES @ 2" MIN. CAL.	
PRIORITY 3 TREES (≥6" undesirable species) replace with 1 tree @ 2" cal. min. for ea. removed	6	N/A	6 TREES @ 2" MIN. CAL.	
TOTAL LANDMARK TREE REPLACEMENT INCHES REQUIRED* (ACHIEVED WITH 2.5" MIN CAL. TREES)			195"	
TOTAL NON-LANDMARK REPLACEMENT TREES REQUIRED* (ACHIEVED WITH 2" MIN CAL. TREES)			198 TREES	

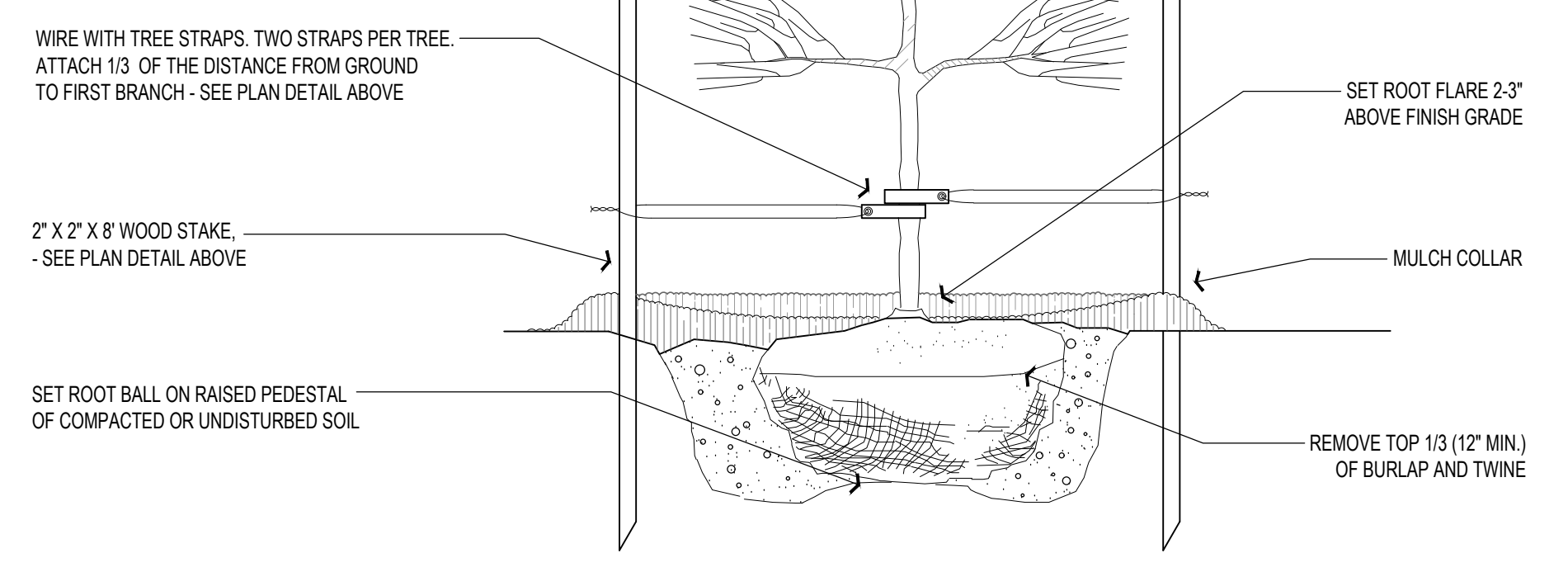
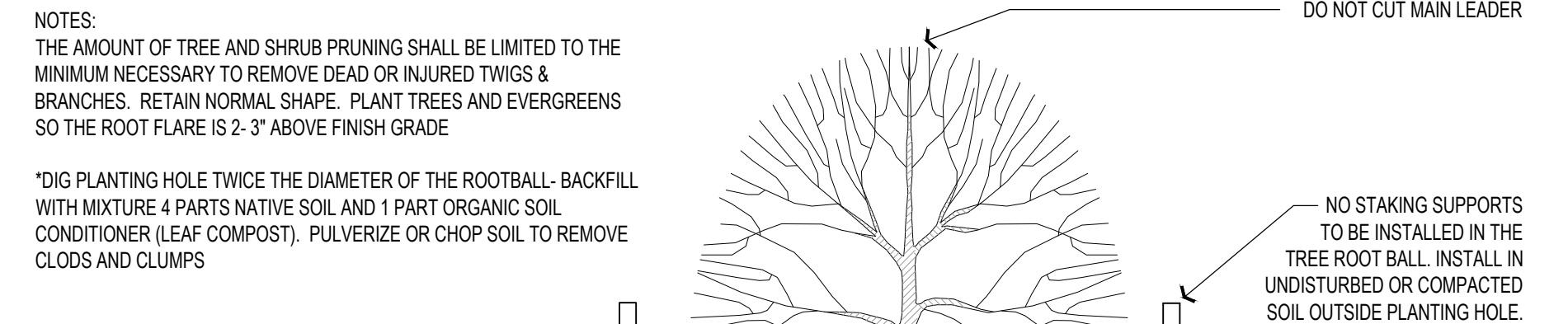
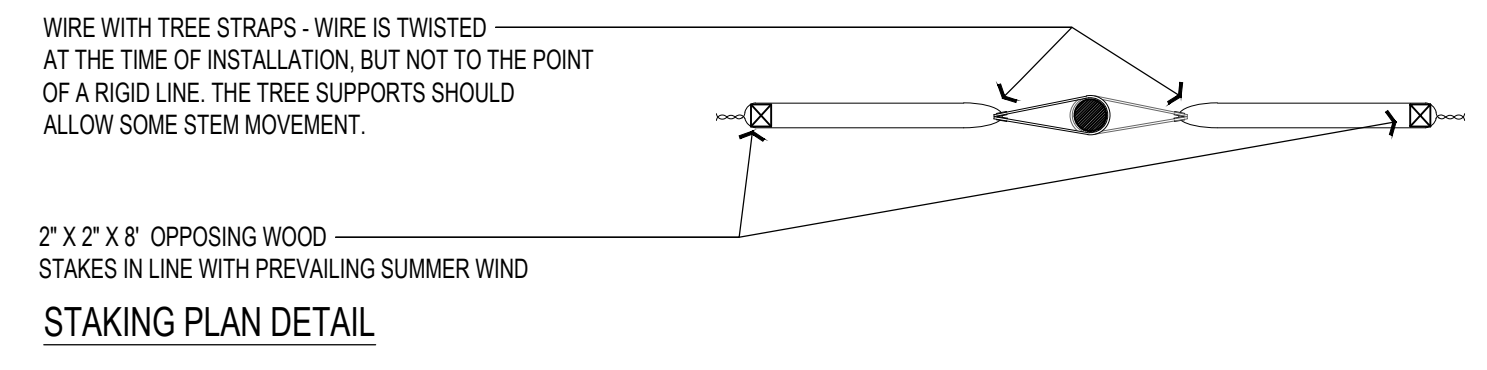
L7.01: Existing Tree Index



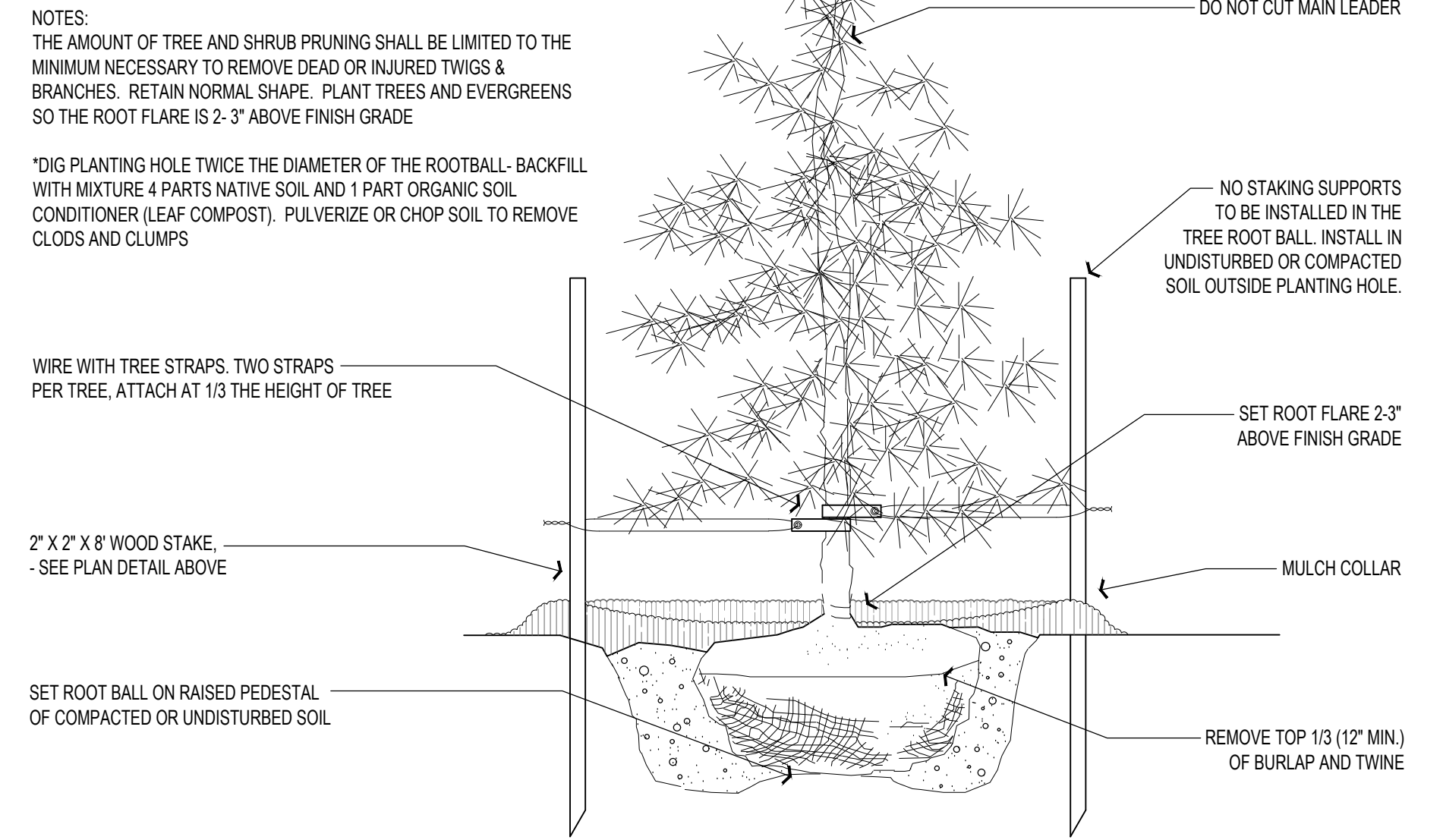
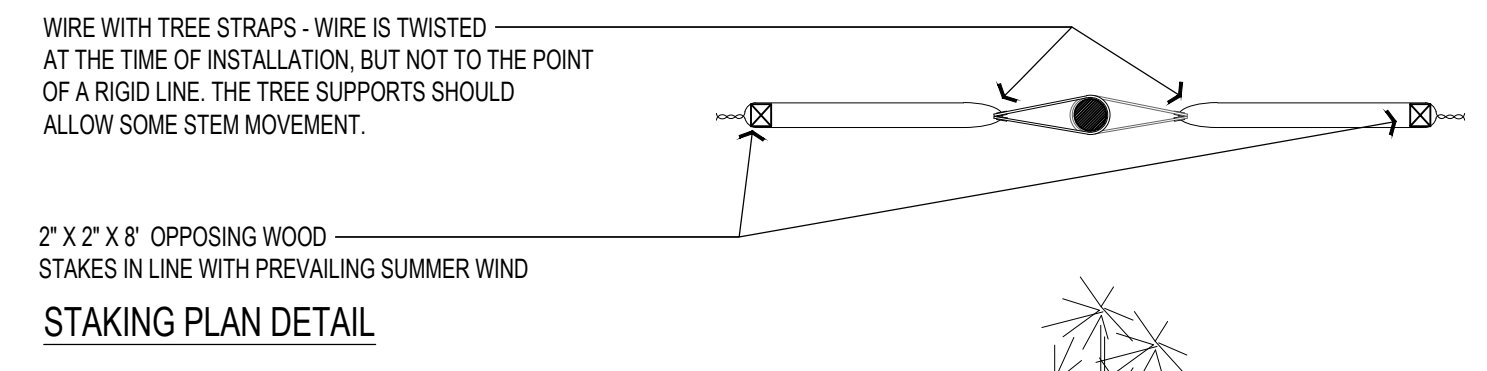
C SHRUB
SCALE: 1/2" = 1'-0"



D PERENNIALS & GROUND COVER
SCALE: 1" = 1'-0"



A DECIDUOUS TREE
SCALE: 1" = 1'-0"



B EVERGREEN TREE
SCALE: 1" = 1'-0"

COHATCH RIVERVIEW

37 N. RIVERVIEW ST
DUBLIN, OH 43017



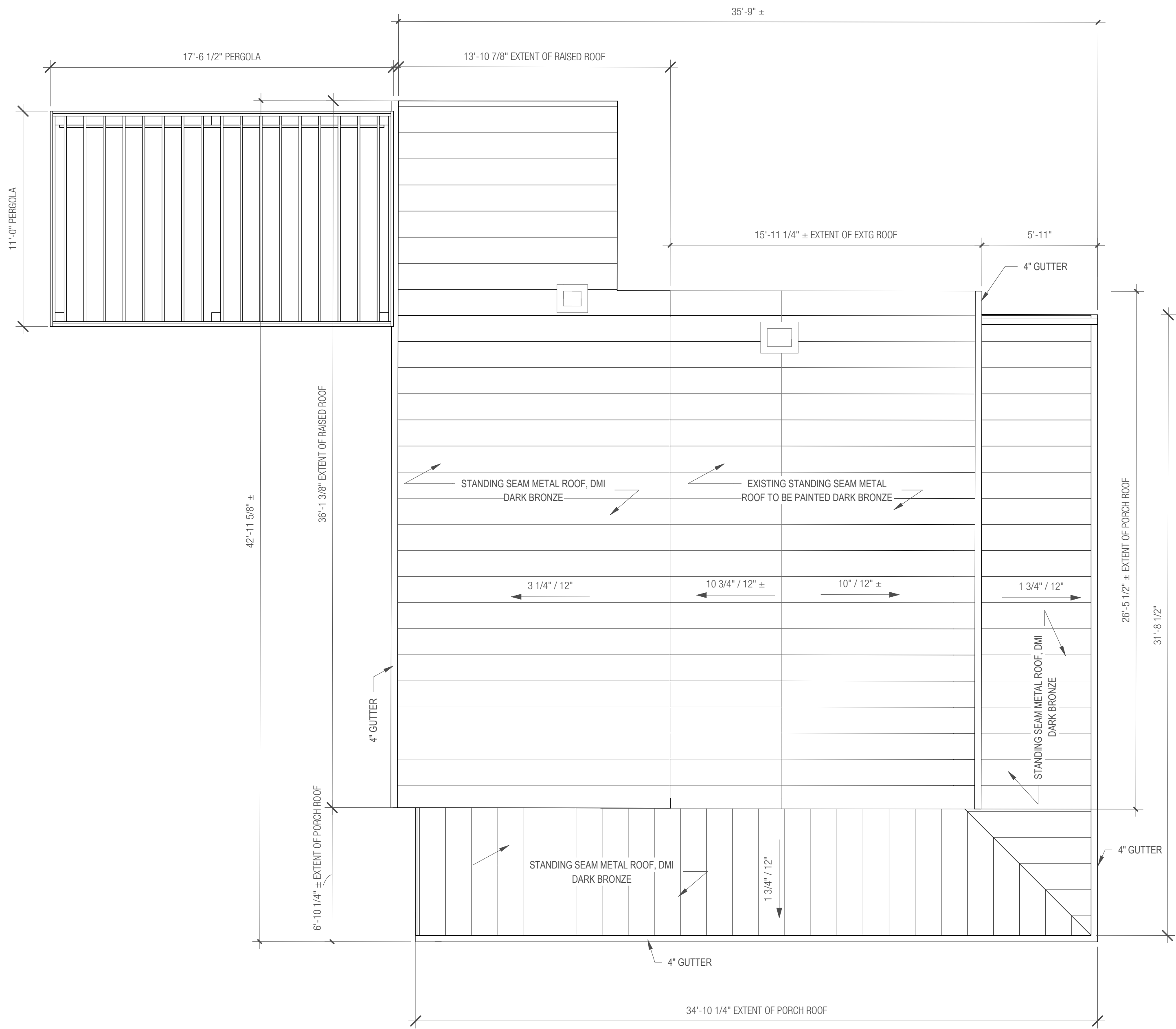
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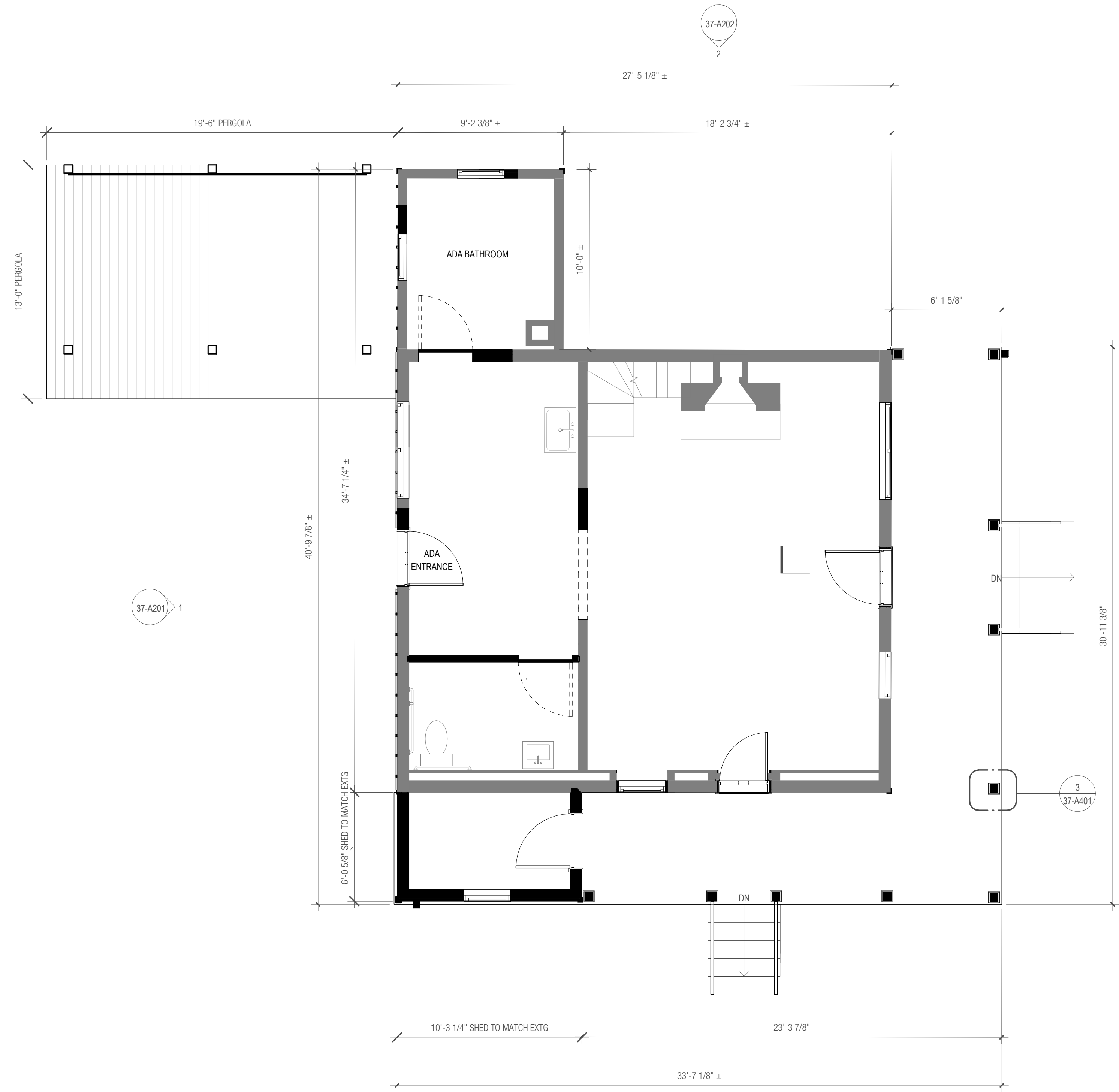
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ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024
PRELIMINARY DEVELOPMENT PLAN	09/18/2024



2 ROOF PLAN
1/4" = 1'-0"



1 FIRST FLOOR PLAN
1/4" = 1'-0"

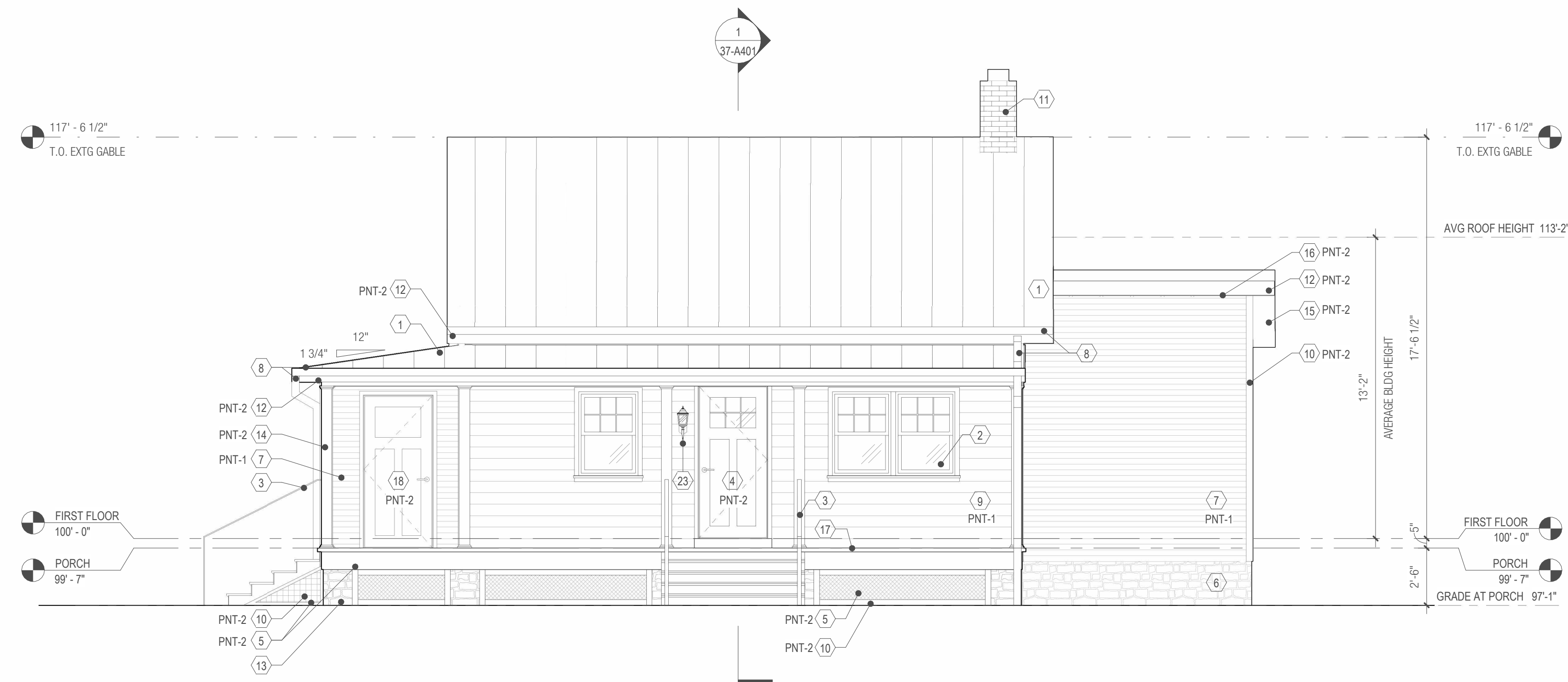
PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

37 FIRST FLOOR &
ROOF PLAN

PROJECT # 23115
DATE 10/10/2024
DRAWN BY: AG REVIEWED BY: JF

SHEET #
37-A100

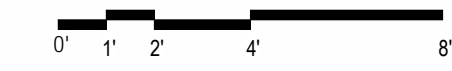
COHATCH RIVERVIEW



2 EAST ELEVATION
1/4" = 1'-0"



1 WEST ELEVATION
1/4" = 1'-0"



EXTERIOR ELEVATION CODED NOTES

- 1 STANDING SEAM METAL ROOF, DMI DARK BRONZE
- 2 'PELLA LIFESTYLE SERIES ALUMINUM CLAD WOOD DOUBLE HUNG 6-OVER-1 WINDOW W/ BRONZE SASH, WOOD TRIM CASING & SILL TO MATCH EXISTING.'
- 3 STEEL HANDRAIL
- 4 6-LITE SHAKER EXTERIOR DOOR, PELLA CRAFTSMAN LIGHT FIBERGLASS ENTRY DOOR
- 5 FRAMED OPEN DIAGONAL LATTICE
- 6 EXISTING STACKED STONE FOUNDATION
- 7 3" HORIZONTAL FIBER CEMENT BOARD LAP SIDING
- 8 4" SQUARE GUTTER & DOWNSPOUT
- 9 6" HORIZONTAL FIBER CEMENT BOARD LAP SIDING
- 10 FIBER CEMENT BOARD TRIM
- 11 EXISTING BRICK
- 12 FIBER CEMENT BOARD FASCIA
- 13 STONE VENEER PIER/FOUNDATION TO MATCH EXISTING STACKED STONE FOUNDATION
- 14 6X6 WOOD SQUARE COLUMN WRAP OVER 4X4 POST
- 15 FIBER CEMENT BOARD SOFFIT
- 16 EXPOSED RAFTER TAILS TO MATCH EXISTING
- 17 5/4 WOOD DECKING, CLEAR COAT FINISH
- 18 3 PANEL SHAKER EXTERIOR DOOR
- 19 'VERTICAL FIBER CEMENT BOARD AND BATTEN SIDING W/ 1X2 BATTENS @ 12" O.C.
- 20 'PELLA LIFESTYLE SERIES ALUMINUM CLAD WOOD FIXED HUNG 6-OVER-1 WINDOW W/ BRONZE SASH, WOOD TRIM CASING & SILL TO MATCH EXISTING
- 21 WOOD PERGOLA W/ OPEN WOOD RAFTER @ 12" O.C.
- 22 EUROFASE, MARKIS OUTDOOR PENDANT
- 23 SATCO, BRITON OUTDOOR WALL SCONCE, OLD BRONZE FINISH
- 24 6X6 WOOD POST
- 25 2X8 WOOD FRAMING
- 26 2X12 WOOD FRAMING
- 27 FRAMED OPEN ORTHOGONAL LATTICE

FINISH LEGEND

- PNT-1 SHERWIN WILLIAMS, SW2821 DOWNING STONE
- PNT-2 SHERWIN WILLIAMS, SW7002 DOWNY

COHATCH RIVERVIEW

37 N. RIVERVIEW ST
DUBLIN, OH 43017



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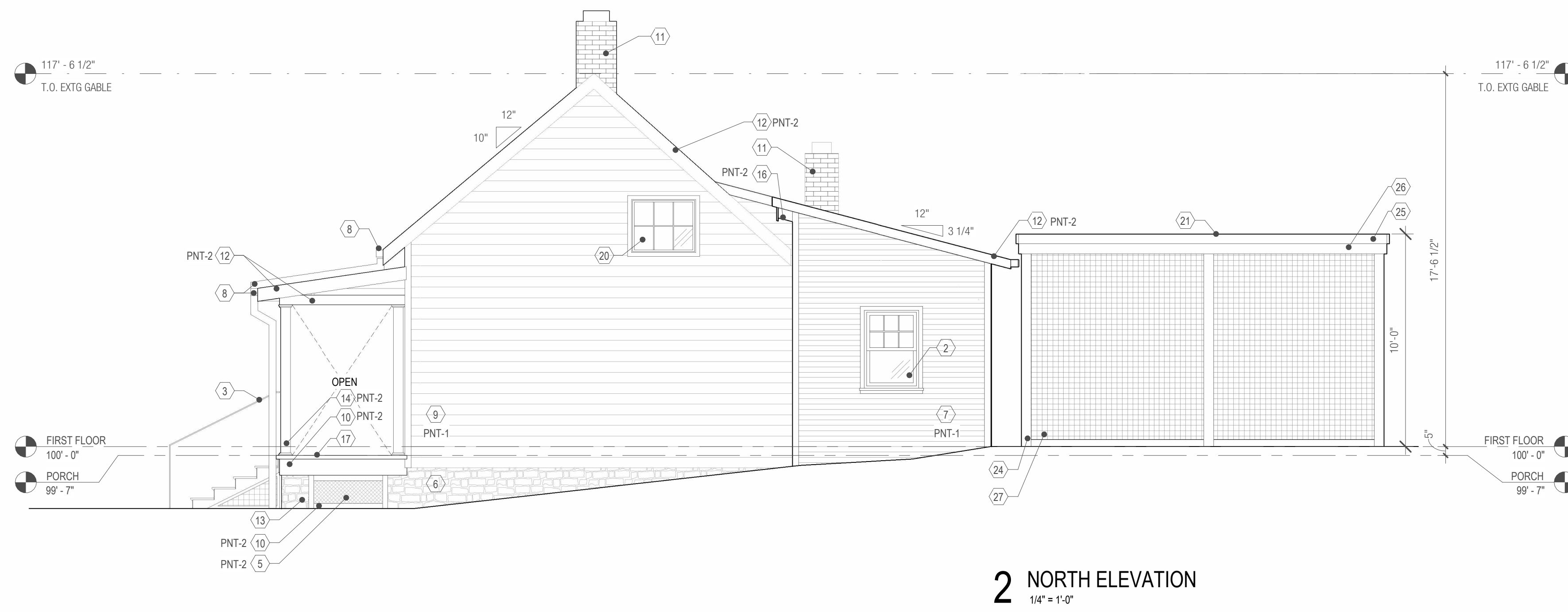
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NOT FOR CONSTRUCTION

**37 N RIVERVIEW
ELEVATIONS**

PROJECT # 23115
DATE 10/10/2024
DRAWN BY: PF REVIEWED BY: TL

SHEET #
37-A200

COHATCH RIVERVIEW



EXTERIOR ELEVATION CODED NOTES

- 1 STANDING SEAM METAL ROOF, DMI DARK BRONZE
- 2 'PELLA LIFESTYLE SERIES ALUMINUM CLAD WOOD DOUBLE HUNG 6-OVER-1 WINDOW W/ BRONZE SASH, WOOD TRIM CASING & SILL TO MATCH EXISTING.'
- 3 STEEL HANDRAIL
- 4 6-LITE SHAKER EXTERIOR DOOR, PELLA CRAFTSMAN LIGHT FIBERGLASS ENTRY DOOR
- 5 FRAMED OPEN DIAGONAL LATTICE
- 6 EXISTING STACKED STONE FOUNDATION
- 7 3" HORIZONTAL FIBER CEMENT BOARD LAP SIDING
- 8 4" SQUARE GUTTER & DOWNSPOUT
- 9 6" HORIZONTAL FIBER CEMENT BOARD LAP SIDING
- 10 FIBER CEMENT BOARD TRIM
- 11 EXISTING BRICK
- 12 FIBER CEMENT BOARD FASCIA
- 13 STONE VENEER PIER/FOUNDATION TO MATCH EXISTING STACKED STONE FOUNDATION
- 14 6X6 WOOD SQUARE COLUMN WRAP OVER 4X4 POST
- 15 FIBER CEMENT BOARD SOFFIT
- 16 EXPOSED RAFTER TAILS TO MATCH EXISTING
- 17 5/4 WOOD DECKING, CLEAR COAT FINISH
- 18 3 PANEL SHAKER EXTERIOR DOOR
- 19 'VERTICAL FIBER CEMENT BOARD AND BATTEN SIDING W/ 1X2 BATTENS @ 12' O.C.
- 20 PELLA LIFESTYLE SERIES ALUMINUM CLAD WOOD FIXED HUNG 6-OVER-1 WINDOW W/ BRONZE SASH, WOOD TRIM CASING & SILL TO MATCH EXISTING
- 21 WOOD PERGOLA W/ OPEN WOOD RAFTER @ 12' O.C.
- 22 EUROFASE, MARKIS OUTDOOR PENDANT
- 23 SATCO, BRITON OUTDOOR WALL SCONCE, OLD BRONZE FINISH
- 24 6X6 WOOD POST
- 25 2X8 WOOD FRAMING
- 26 2X12 WOOD FRAMING
- 27 FRAMED OPEN ORTHOGONAL LATTICE

FINISH LEGEND

- PNT-1 SHERWIN WILLIAMS, SW2821 DOWNING STONE
- PNT-2 SHERWIN WILLIAMS, SW7002 DOWNY

COHATCH RIVERVIEW

37 N. RIVERVIEW ST
DUBLIN, OH 43017

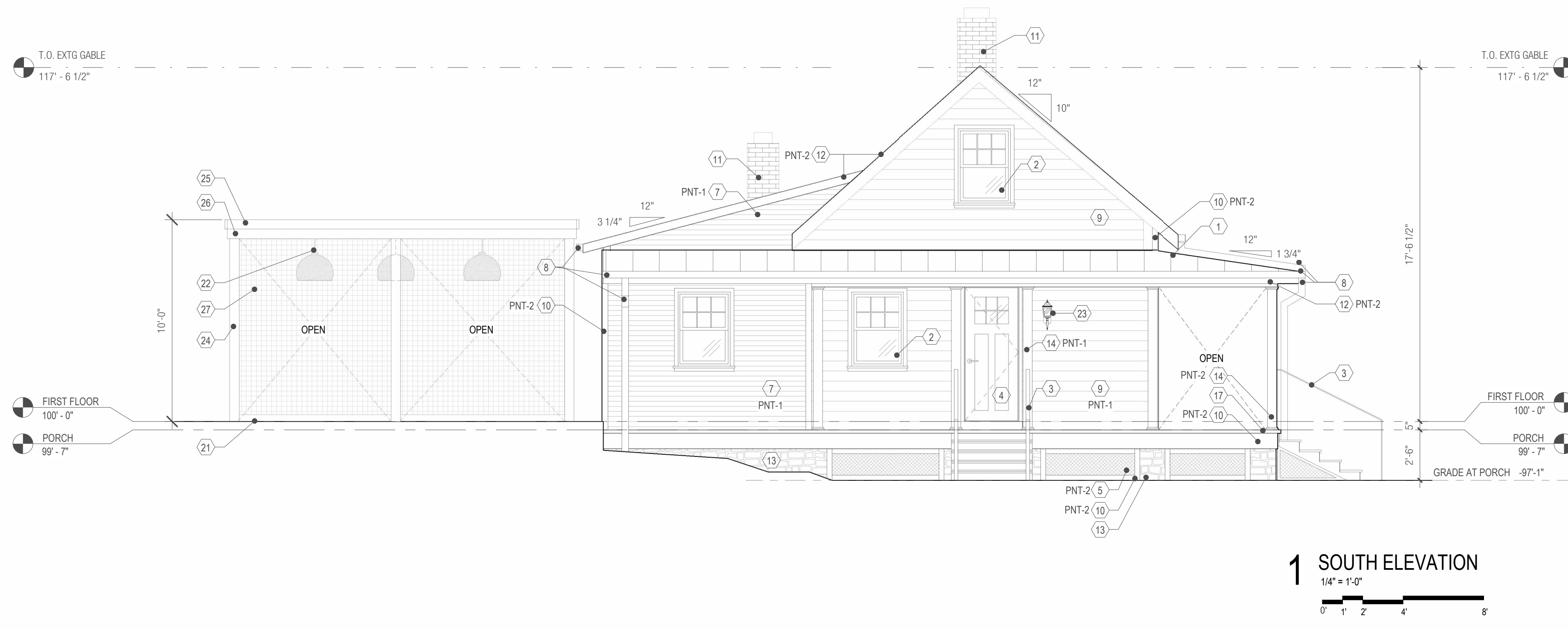


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FINAL DEVELOPMENT PLAN	10/10/2024



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**37 N RIVERVIEW
ELEVATIONS**

PROJECT #	23115
DATE	10/10/2024
DRAWN BY: PF	REVIEWED BY: TL
SHEET #	

37-A201

COHATCH RIVERVIEW

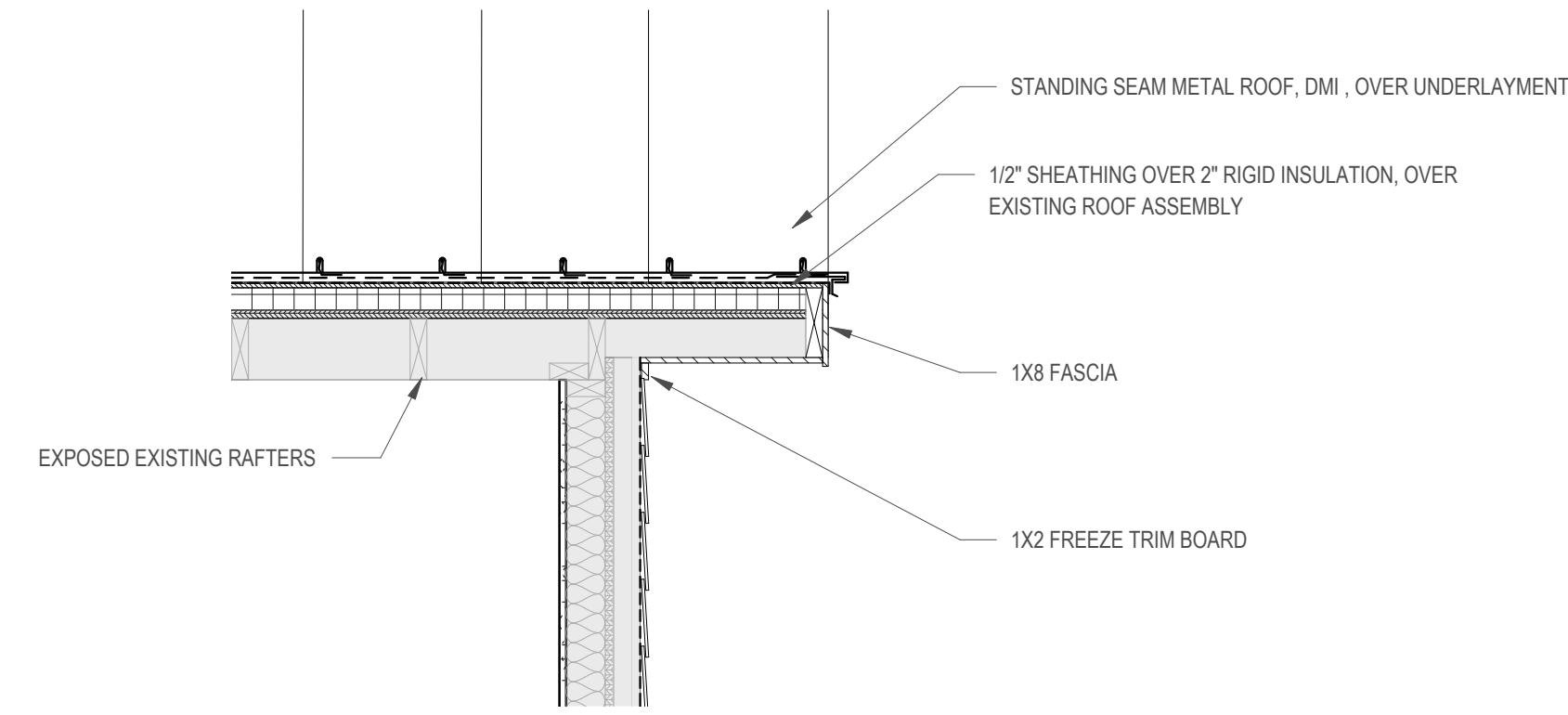


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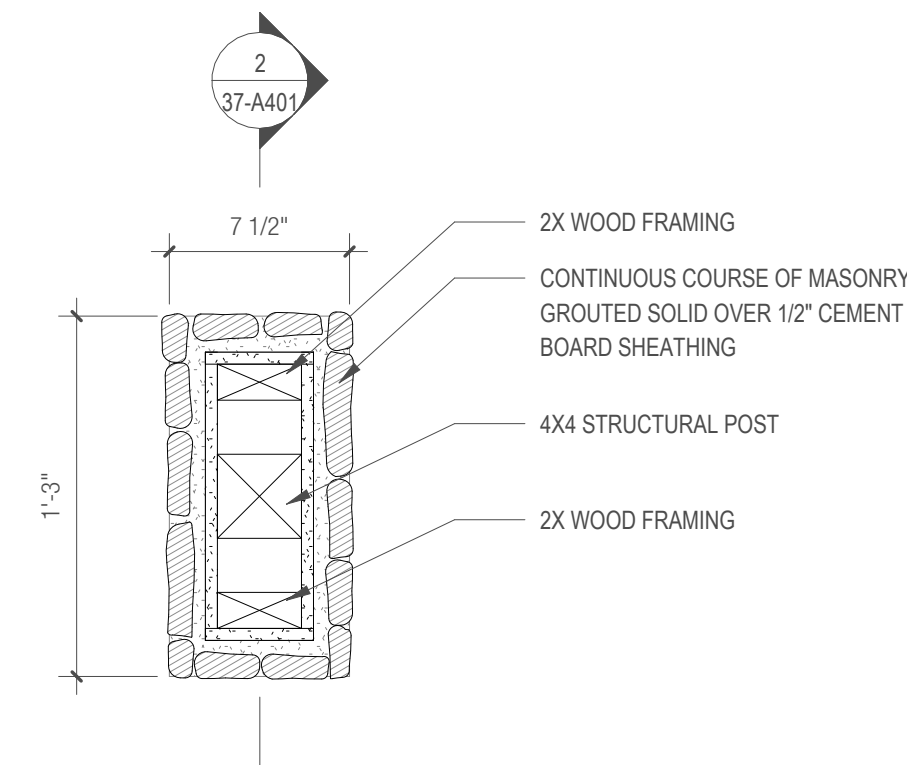
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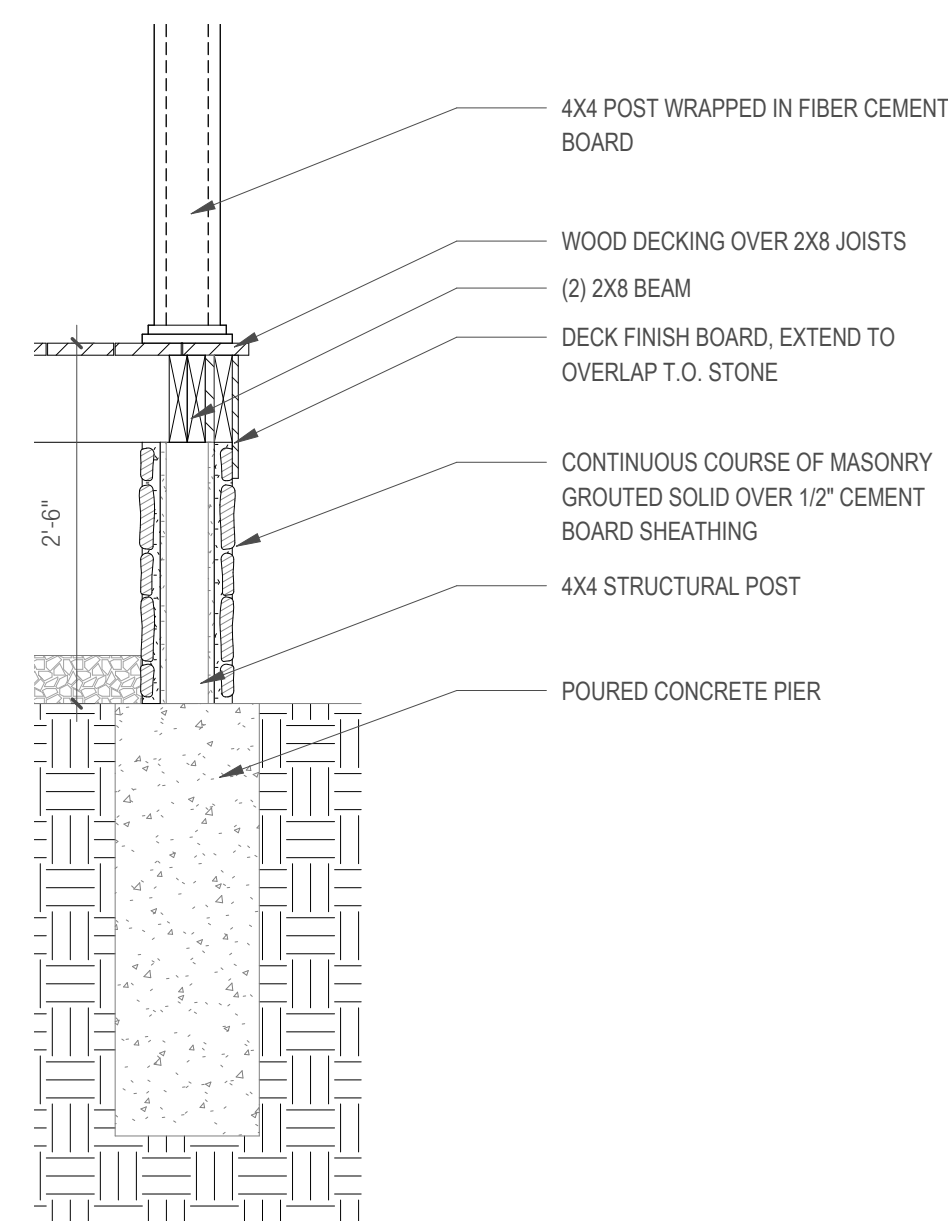
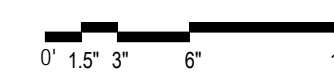
ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024



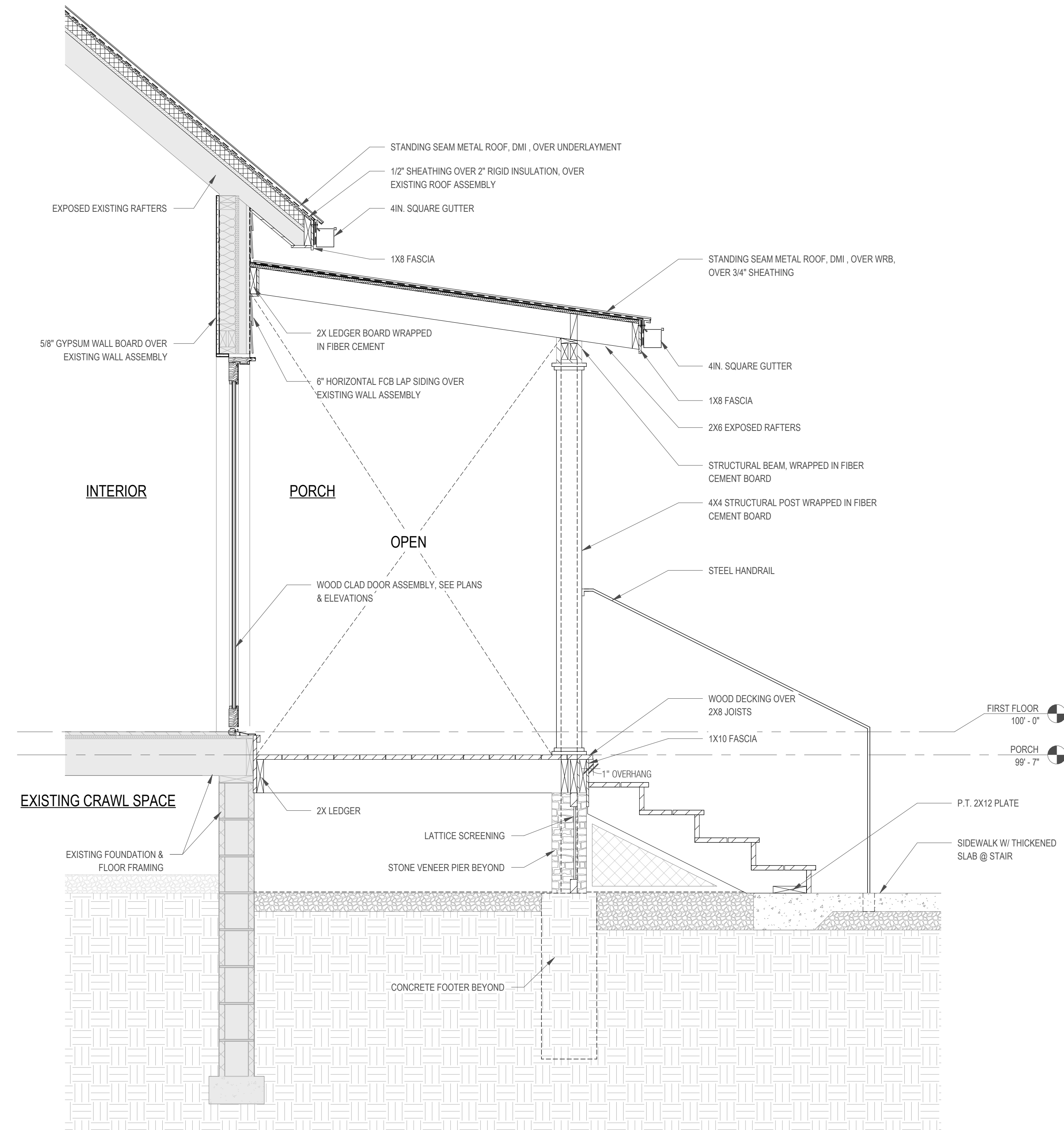
4 GABLE END DETAIL
3/4" = 1'-0"



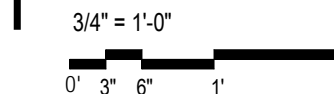
3 STONE PORCH PIER PLAN DETAIL
1 1/2" = 1'-0"



2 STONE BASE WALL SECTION
3/4" = 1'-0"



1 WALL SECTION @ PORCH ENTRY
3/4" = 1'-0"



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**37 N RIVERVIEW
DETAILS**

PROJECT # 23115
DATE 10/10/2024
DRAWN BY: PF REVIEWED BY: TL

SHEET #
37-A401

COHATCH RIVERVIEW

45 N. RIVERVIEW ST
DUBLIN, OH 43017

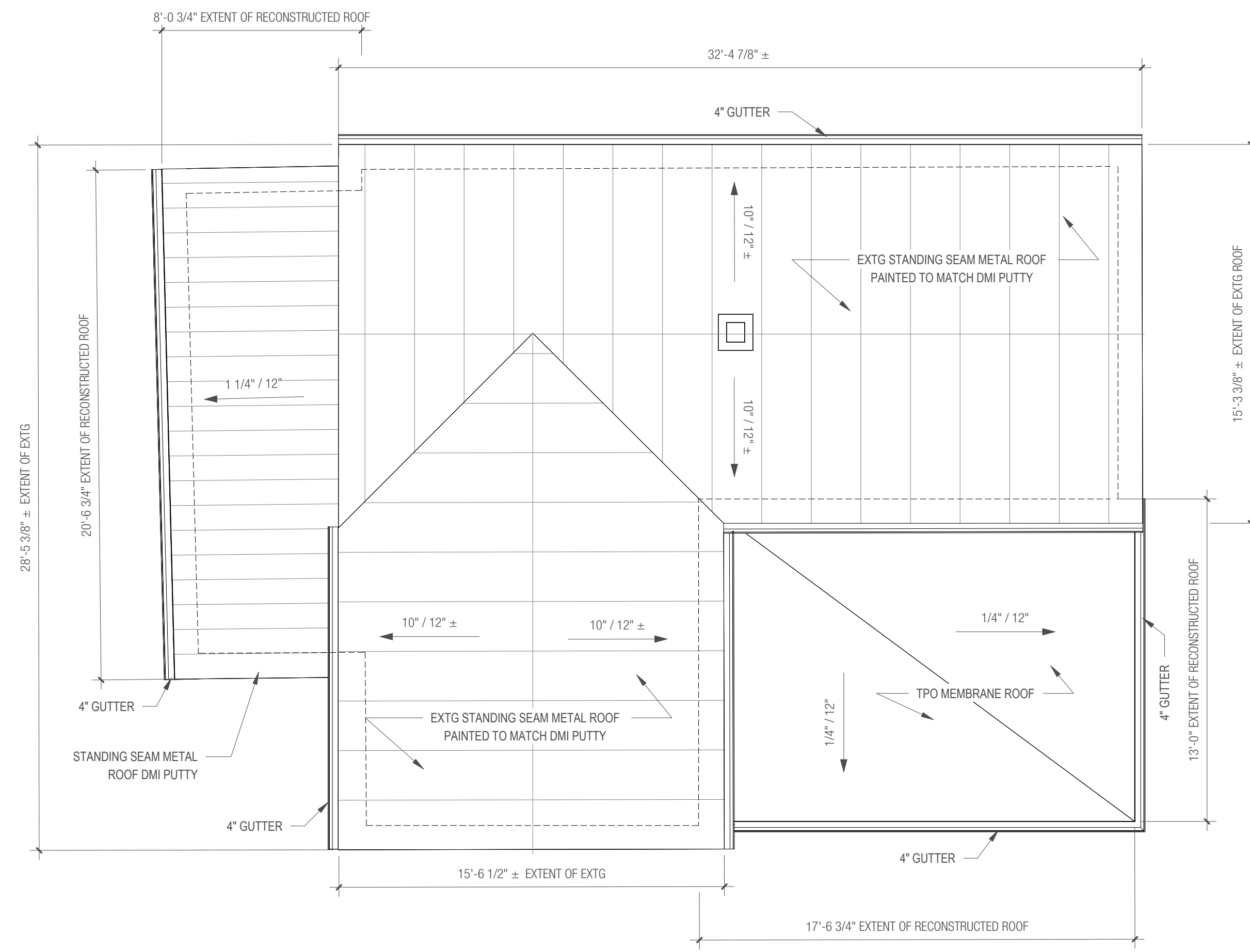


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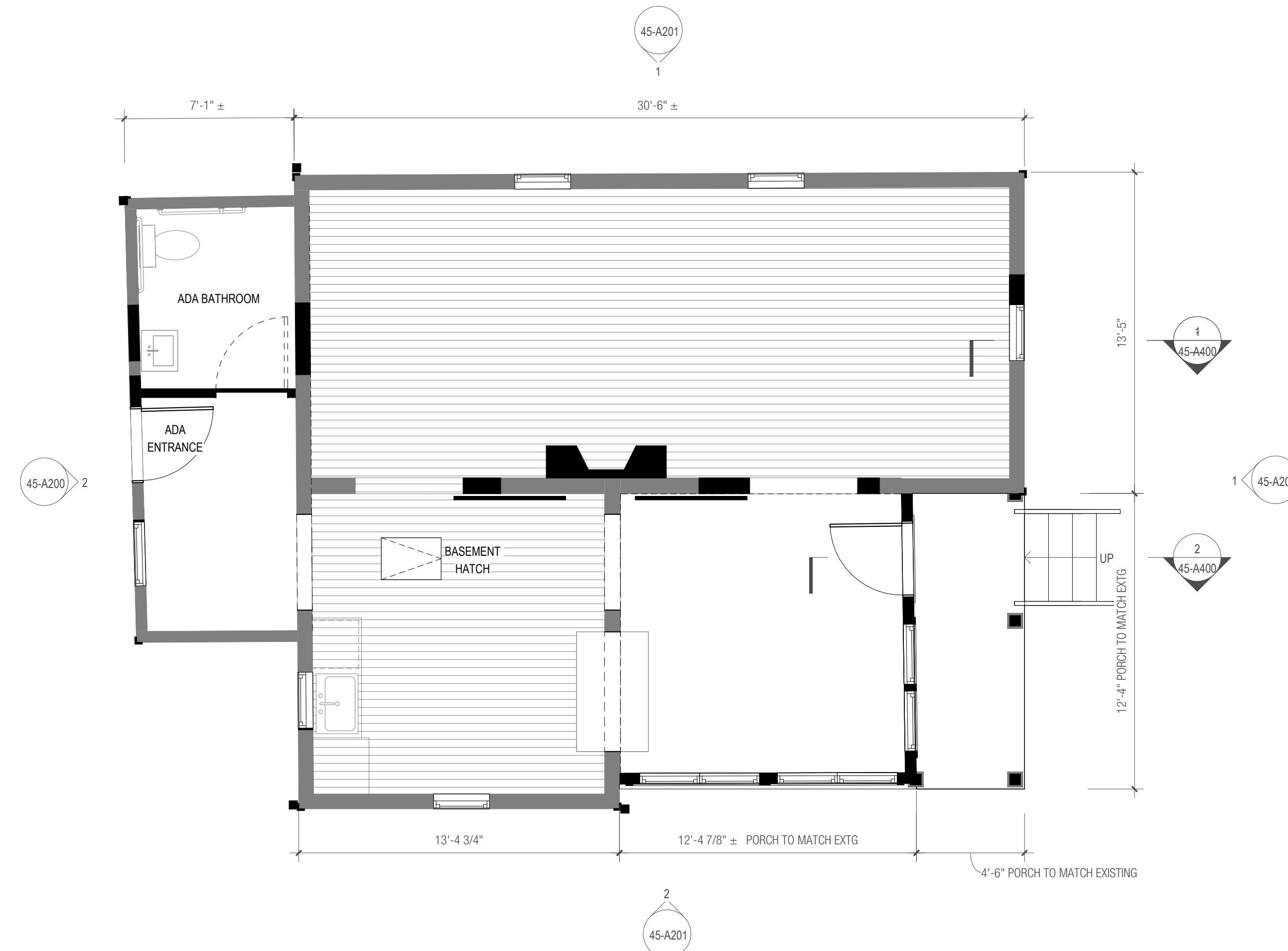
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ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/24
PRELIMINARY DEVELOPMENT PLAN	09/18/24



2 ROOF PLAN
1/4" = 1'-0"



1 FIRST FLOOR PLAN
1/4" = 1'-0"
0' 1' 2' 4' 8'

PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

**45 N RIVERVIEW
FLOOR & ROOF PLAN**

PROJECT # 23115
DATE 10/10/24
DRAWN BY: AG REVIEWED BY: TL

SHEET #
45-A100

COHATCH RIVERVIEW



1 EAST ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"
0' 1' 2' 4' 8'

EXTERIOR ELEVATION CODED NOTES

- 1 NEW STANDING SEAM METAL ROOF DMI PUTTY
- 2 EXTG STANDING SEAM METAL ROOF PAINTED TO MATCH DMI PUTTY
- 3 TPO MEMBRANE ROOF
- 4 PELLA LIFESTYLE SERIES, ALUMINUM CLAD DOUBLE-HUNG 2-OVER-2 WINDOWS W/ TRADITIONAL SIMULATED DIVIDED LIGHT GRILLE, W/ WOOD TRIM CASING & SILL TO MATCH EXTG
- 5 NEW 1-OVER-1 DOUBLE HUNG WINDOWS W/ WOOD TRIM CASING & SILL TO MATCH EXTG
- 6 NEW 2-OVER-2 DOUBLE HUNG WINDOWS W/ WOOD TRIM CASING & SILL
- 7 RESTORED HISTORIC 4" CEDAR SIDING
- 8 NEW 4" CEDAR SIDING TO MATCH HISTORIC
- 9 EXISTING STACKED BOARD CLADDING
- 10 STACKED STONE VENEER OVER EXISTING CMU FOUNDATION TO MATCH EXISTING STACKED STONE FOUNDATION
- 11 STACKED STONE PIER TO MATCH EXISTING STACKED STONE FOUNDATION
- 12 FRAMED OPEN VERTICAL LATTICE
- 13 RESTORED HISTORIC CEDAR CORNER TRIM
- 14 NEW FIBER CEMENT BOARD CLADDING
- 15 NEW FIBER CEMENT BOARD TRIM
- 16 6X6 WOOD COLUMN
- 17 6X8 WOOD BEAM
- 18 WOOD DECKING
- 19 CEDAR FASCIA
- 20 4" SQUARE BOX GUTTER & DOWNSPOUT
- 21 NEW BRICK CHIMNEY TO MATCH EXTG
- 22 TWO PANEL SHAKER EXTERIOR DOOR, PELLA FIBERGLASS ENTRY DOOR W/ TRADITIONAL SIMULATED DIVIDE LIGHT GRILLE
- 23 STEEL HANDRAIL

FINISH LEGEND

- PNT-1 SHERWIN WILLIAMS, SW2848 ROY-CROFT BRONZE GREEN
- PNT-2 SHERWIN WILLIAMS, SW7642 PAVESTONE
- PNT-3 SHERWIN WILLIAMS, SW9565 FORGED STEEL
- PNT-4 SHERWIN WILLIAMS, SW2839 ROY-CROFT COPPER RED

COHATCH RIVERVIEW

45 N. RIVERVIEW ST
DUBLIN, OH 43017



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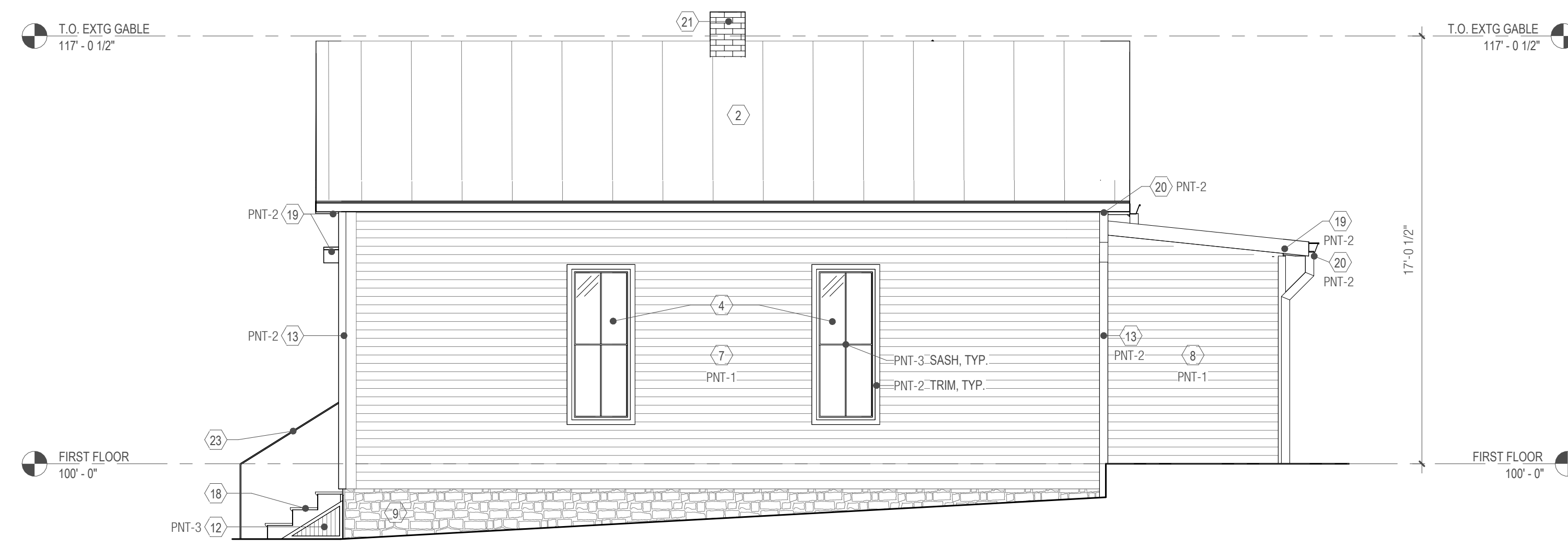
**45 N RIVERVIEW
ELEVATIONS**

PROJECT # 23115
DATE 10/10/24
DRAWN BY: AG REVIEWED BY: TL

SHEET #

45-A200

COHATCH RIVERVIEW



1 NORTH ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"
0' 1' 2' 4' 8'

EXTERIOR ELEVATION CODED NOTES

- 1 NEW STANDING SEAM METAL ROOF DMI PUTTY
- 2 EXTG STANDING SEAM METAL ROOF PAINTED TO MATCH DMI PUTTY
- 3 TPO MEMBRANE ROOF
- 4 PELLA LIFESTYLE SERIES, ALUMINUM CLAD DOUBLE-HUNG 2-OVER-2 WINDOWS W/ TRADITIONAL SIMULATED DIVIDED LIGHT GRILLE, W/ WOOD TRIM CASING & SILL TO MATCH EXTG
- 5 NEW 1-OVER-1 DOUBLE HUNG WINDOWS W/ WOOD TRIM CASING & SILL TO MATCH EXTG
- 6 NEW 2-OVER-2 DOUBLE HUNG WINDOWS W/ WOOD TRIM CASING & SILL
- 7 RESTORED HISTORIC 4" CEDAR SIDING
- 8 NEW 4" CEDAR SIDING TO MATCH HISTORIC
- 9 EXISTING STACKED BOARD CLADDING
- 10 STACKED STONE VENEER OVER EXISTING CMU FOUNDATION TO MATCH EXISTING STACKED STONE FOUNDATION
- 11 STACKED STONE PIER TO MATCH EXISTING STACKED STONE FOUNDATION
- 12 FRAMED OPEN VERTICAL LATTICE
- 13 RESTORED HISTORIC CEDAR CORNER TRIM
- 14 NEW FIBER CEMENT BOARD CLADDING
- 15 NEW FIBER CEMENT BOARD TRIM
- 16 6X6 WOOD COLUMN
- 17 6X8 WOOD BEAM
- 18 WOOD DECKING
- 19 CEDAR FASCIA
- 20 4" SQUARE BOX GUTTER & DOWNSPOUT
- 21 NEW BRICK CHIMNEY TO MATCH EXTG
- 22 TWO PANEL SHAKER EXTERIOR DOOR, PELLA FIBERGLASS ENTRY DOOR W/ TRADITIONAL SIMULATED DIVIDE LIGHT GRILLE
- 23 STEEL HANDRAIL

FINISH LEGEND

- PNT-1 SHERWIN WILLIAMS, SW2848 ROY/CROFT BRONZE GREEN
- PNT-2 SHERWIN WILLIAMS, SW7642 PAVESTONE
- PNT-3 SHERWIN WILLIAMS, SW9565 FORGED STEEL
- PNT-4 SHERWIN WILLIAMS, SW2839 ROY/CROFT COPPER RED

COHATCH RIVERVIEW

45 N. RIVERVIEW ST
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**45 N RIVERVIEW
ELEVATIONS**

PROJECT # 23115
DATE 10/10/24
DRAWN BY: AG REVIEWED BY: PF

SHEET #
45-A201

COHATCH RIVERVIEW

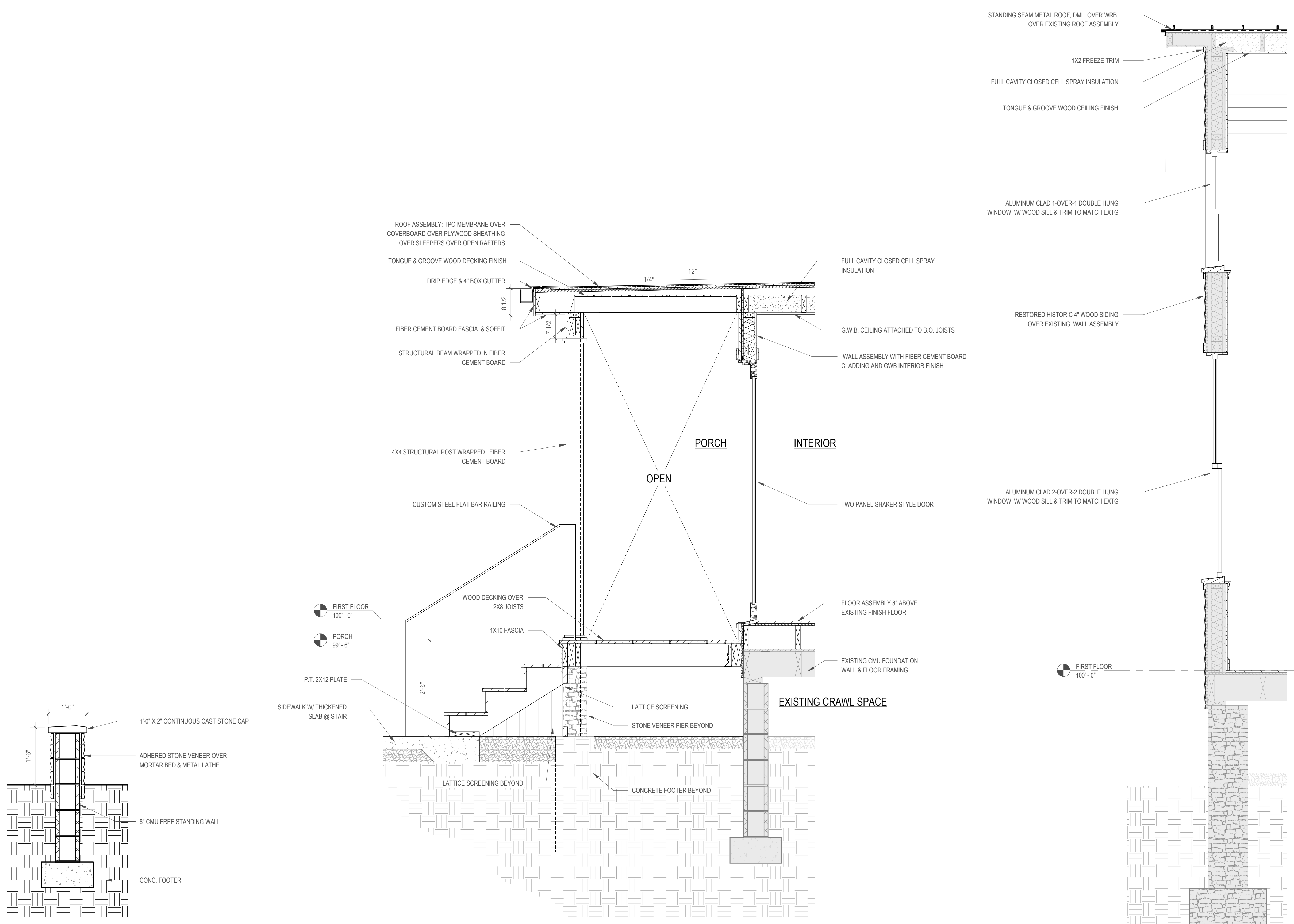


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45 N RIVERVIEW
DETAILS

PROJECT # 23115
DATE 10/10/24
DRAWN BY: AG REVIEWED BY: JF

SHEET #
45-A400

COHATCH RIVERVIEW

53 N. RIVERVIEW ST
DUBLIN, OH 43017

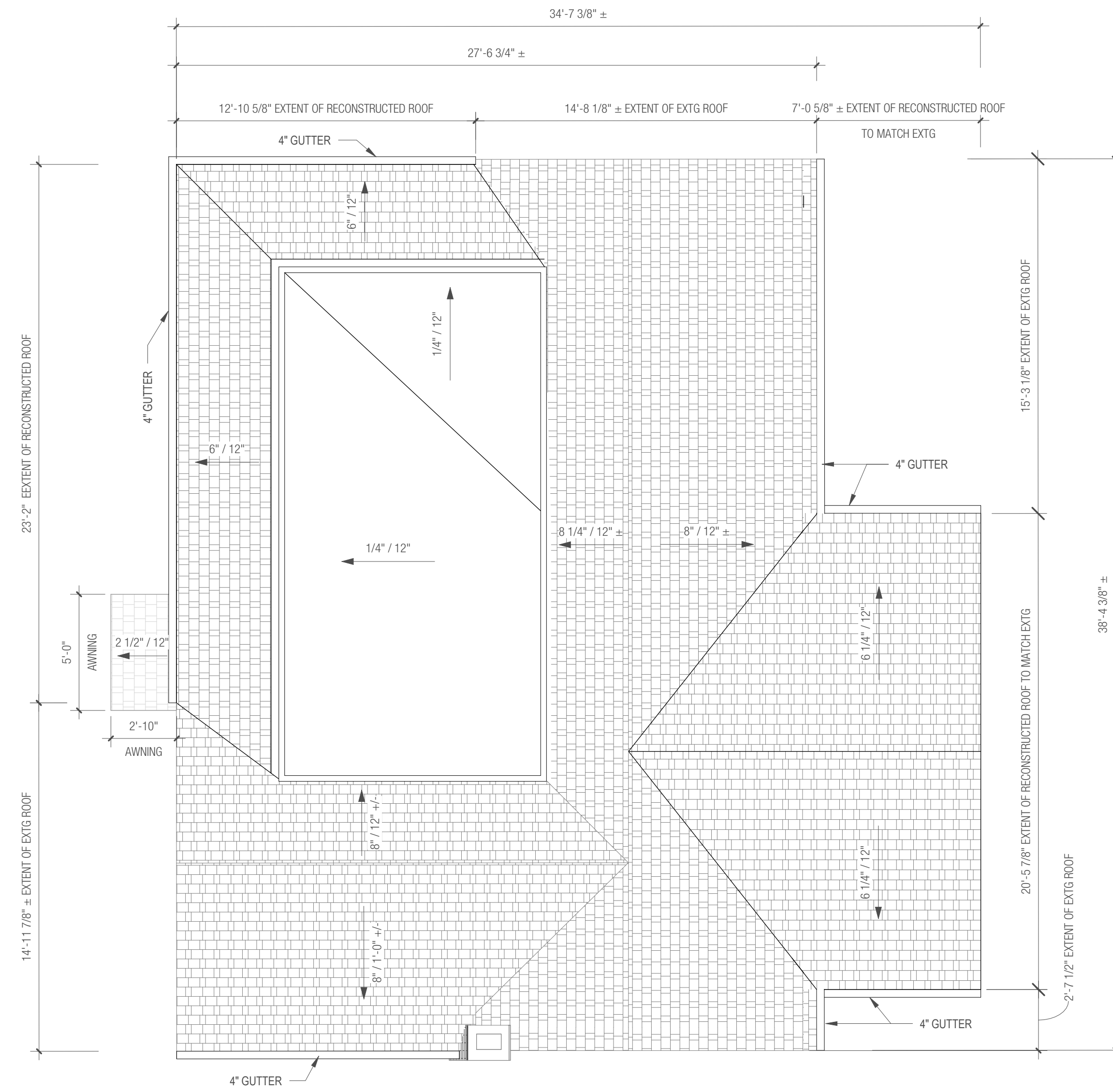


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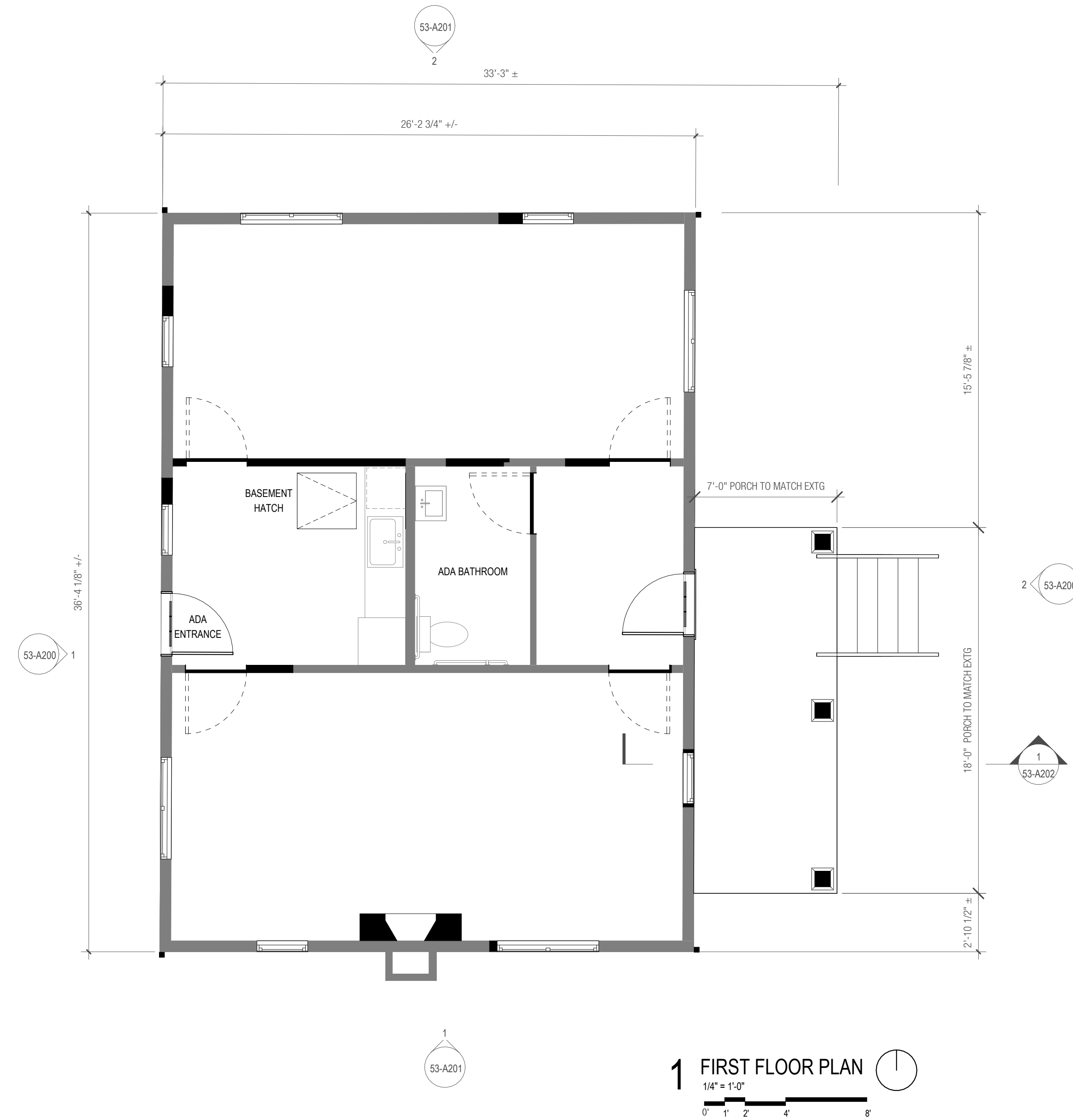
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ISSUE DESCRIPTION	DATE
PRELIMINARY DEVELOPMENT PLAN	09/18/2024



2 ROOF PLAN
1/4" = 1'-0"



1 FIRST FLOOR PLAN
1/4" = 1'-0"

PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

53 FIRST FLOOR &
ROOF PLAN

PROJECT #	23115
DATE	09/18/24
DRAWN BY:	AG
REVIEWED BY:	JF

SHEET #

53-A100

COHATCH RIVERVIEW

COHATCH RIVERVIEW

53 N. RIVERVIEW ST
DUBLIN, OH 43017



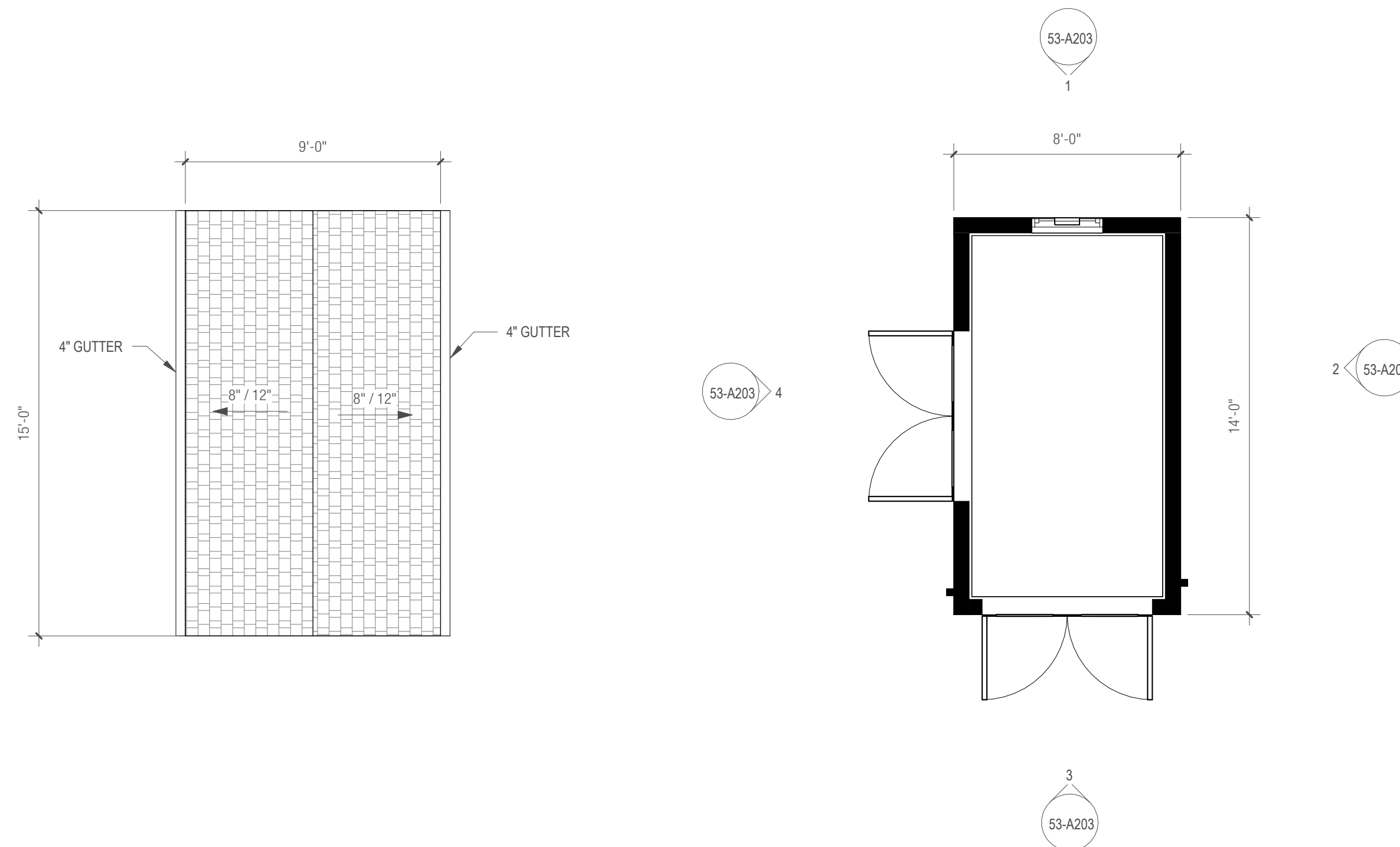
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ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024



2 SHED ROOF PLAN
1/4" = 1'-0"

1 SHED FLOOR PLAN
1/4" = 1'-0"
0' 1' 2' 4' 8'

PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

**53 SHED FLOOR &
ROOF PLAN**

PROJECT #	23115
DATE	10/10/2024
DRAWN BY: PF	REVIEWED BY: TL

SHEET #

53-A101

COHATCH RIVERVIEW

COHATCH RIVERVIEW

53 N. RIVERVIEW ST
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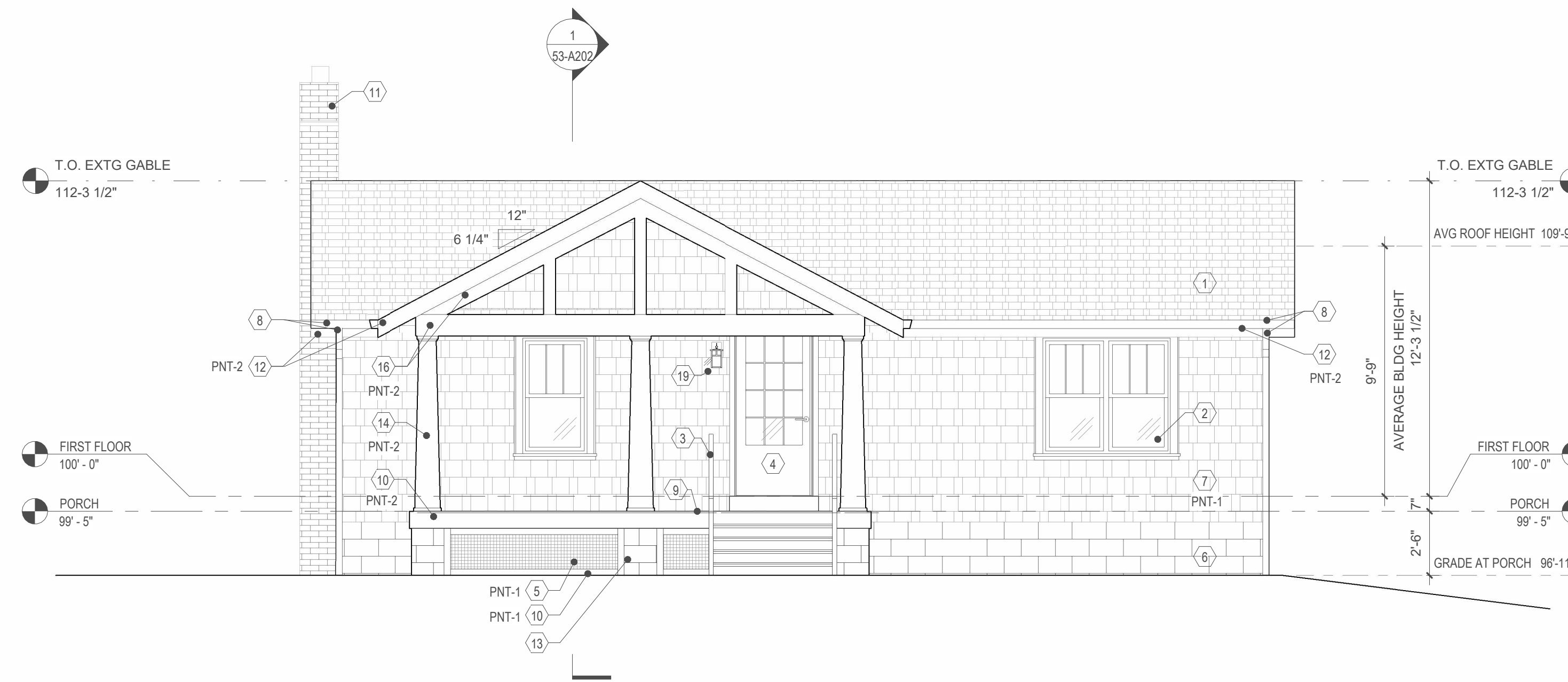
ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024

EXTERIOR ELEVATION CODED NOTES

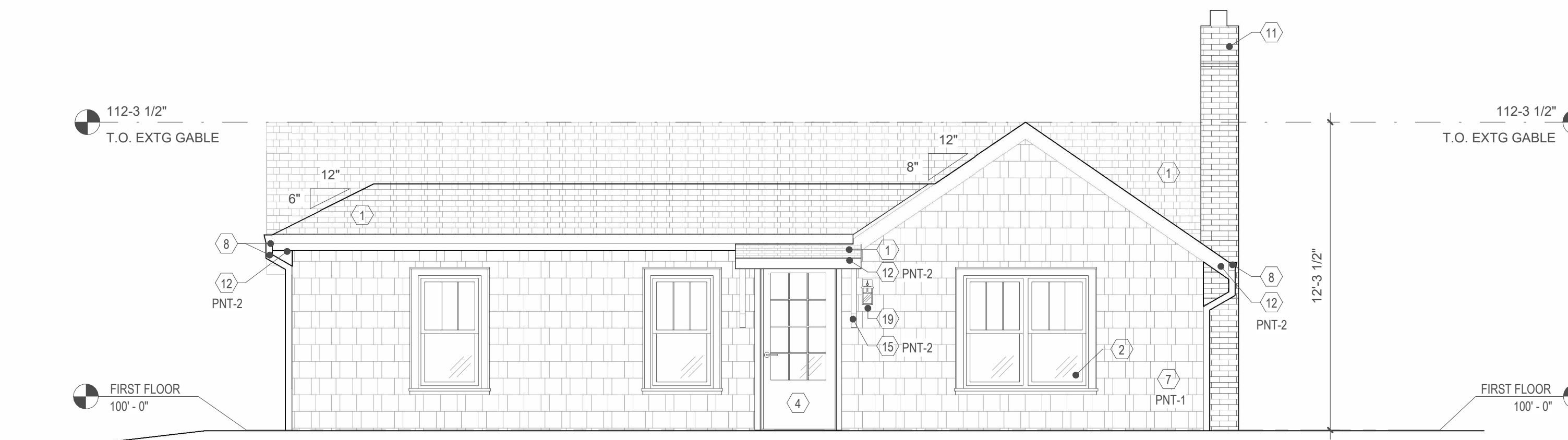
- 1 DIMENSIONAL ASPHALT SHINGLE ROOF
- 2 PELLA LIFESTYLE SERIES, ALUMINUM CLAD DOUBLE HUNG WINDOW W/ TRADITIONAL SIMULATED DIVIDED LIGHT GRILL OF 3-OVER-1, EXTERIOR FINISH RED BRICK
- 3 STEEL HANDRAIL
- 4 PELLA FIBERGLASS ENTRY DOOR W/ TRADITIONAL SIMULATED DIVIDED LIGHT GRILLE, 3 OVER 4
- 5 FRAMED OPEN ORTHOGONAL LATTICE
- 6 CLASSIC ROCKFACE BLOCK, ROUGH CONCRETE ROCKFACE TO MATCH EXISTING STONE
- 7 JAMES HARDIE SIDING, HARDIE SINGLE STRAIGHT EDGE PANEL SIDING, BIN
- 8 4" SQUARE GUTTER & DOWNSPOUT
- 9 WOOD DECKING
- 10 FIBER CEMENT BOARD TRIM
- 11 EXISTING BRICK
- 12 FIBER CEMENT BOARD FASCIA
- 13 ROUGH CONCRETE ROCKFACE STONE PIER/FOUNDATION TO MATCH EXISTING FOUNDATION
- 14 FIBER CEMENT BOARD WRAPPED STRUCTURAL COLUMNS
- 15 ROOF AWNING STRUCTURAL SUPPORTS, WOOD
- 16 PORCH OPEN TRUSS SYSTEM
- 17 BARN DOOR
- 18 CLASSIC WAREHOUSE SHADE WALL LIGHT, BLACK, 12"
- 19 COLDWATER 4053 OUTDOOR WALL LIGHT, MAXIM LIGHTING, BURNISHED FINISH, HONEY SHADE
- 20 BARN DOOR TRACK
- 21 1X3 TRIM

FINISH LEGEND

- PNT-1 SHERWIN WILLIAMS, SW2826 COLONIAL REVIVAL GREEN STONE
PNT-2 SHERWIN WILLIAMS, SW2846 ROYCROFT BRONZE GREEN



2 EAST ELEVATION
1/4" = 1'-0"



1 WEST ELEVATION
1/4" = 1'-0"
0 1 2 4 8

PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

53 N RIVERVIEW
ELEVATIONS

PROJECT #	23115
DATE	10/10/2024
DRAWN BY:	PF
REVIEWED BY:	TL

SHEET #

53-A200

COHATCH RIVERVIEW

COHATCH RIVERVIEW

53 N. RIVERVIEW ST
DUBLIN, OH 43017



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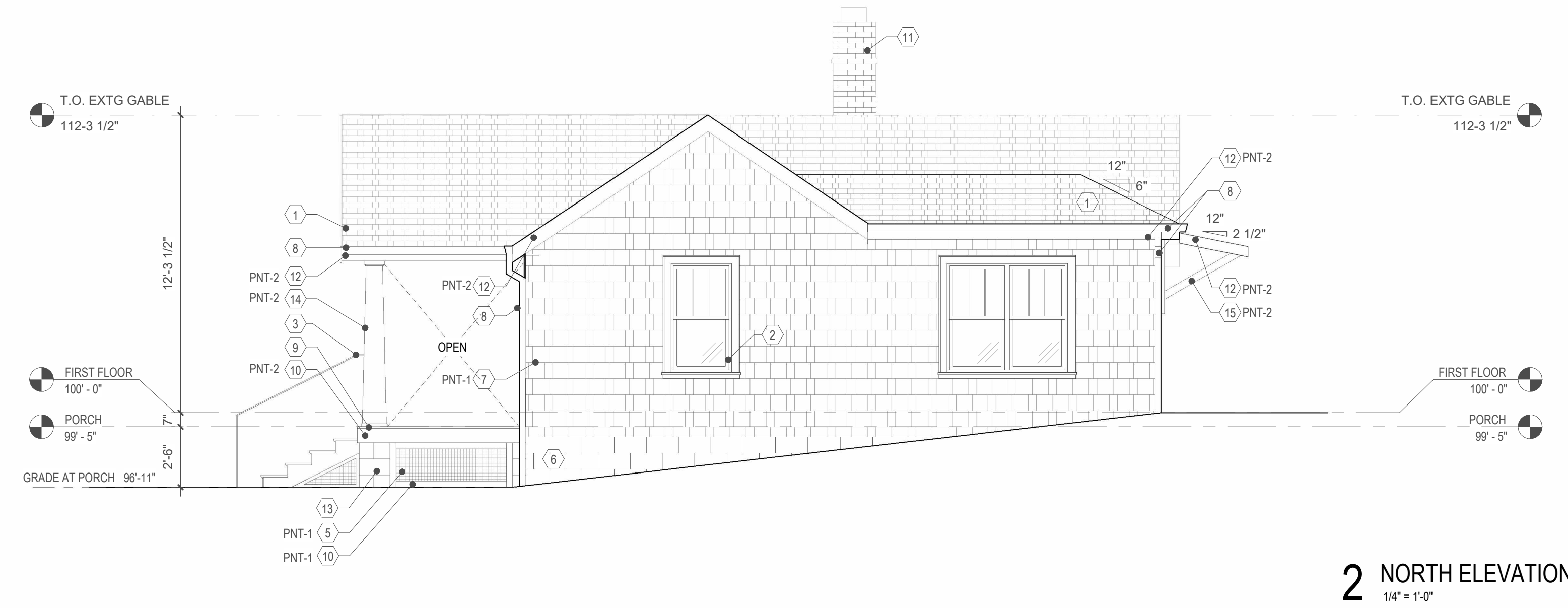
ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024

EXTERIOR ELEVATION CODED NOTES

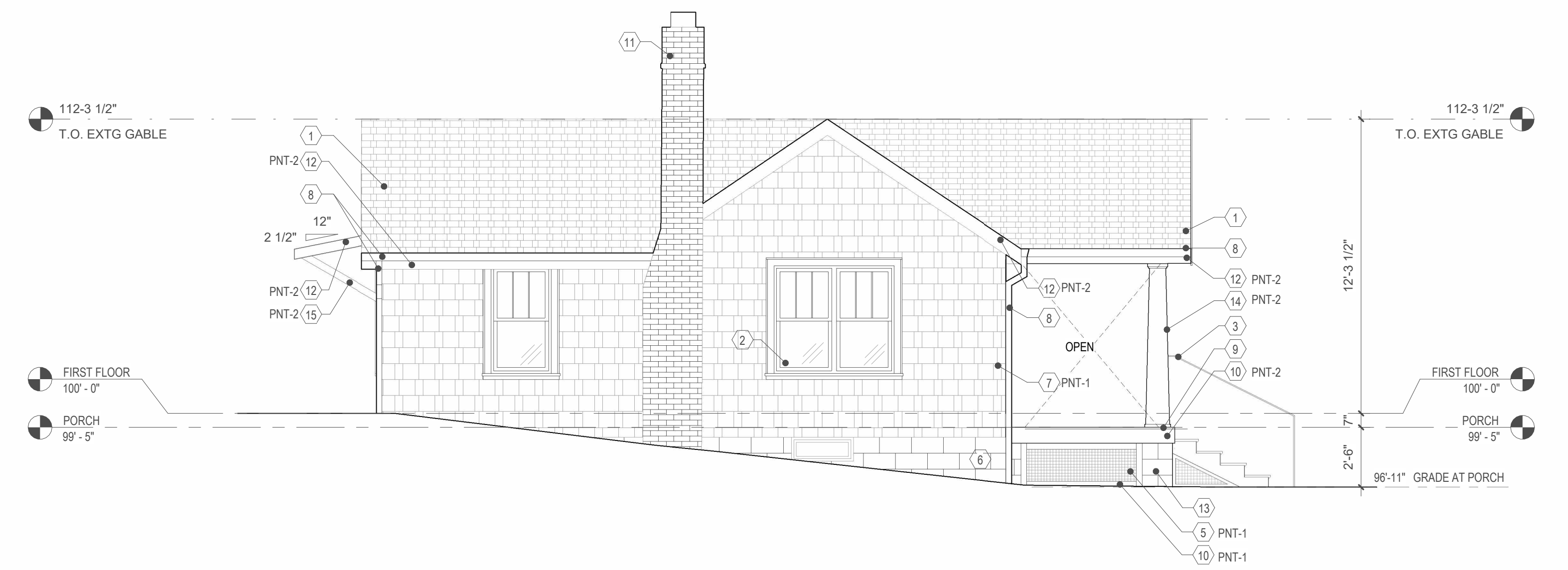
- DIMENSIONAL ASPHALT SHINGLE ROOF
- PELLA LIFESTYLE SERIES, ALUMINUM CLAD DOUBLE HUNG WINDOW W/ TRADITIONAL SIMULATED DIVIDED LIGHT GRILL OF 3-OVER-1, EXTERIOR FINISH RED BRICK
- STEEL HANDRAIL
- PELLA FIBERGLASS ENTRY DOOR W/ TRADITIONAL SIMULATED DIVIDED LIGHT GRILLE, 3 OVER 4
- FRAMED OPEN ORTHOGONAL LATTICE
- CLASSIC ROCKFACE BLOCK, ROUGH CONCRETE ROCKFACE TO MATCH EXISTING STONE
- JAMES HARDIE SIDING, HARDIE SINGLE STRAIGHT EDGE PANEL SIDING, BIN
- 4" SQUARE GUTTER & DOWNSPOUT
- WOOD DECKING
- FIBER CEMENT BOARD TRIM
- EXISTING BRICK
- FIBER CEMENT BOARD FASCIA
- ROUGH CONCRETE ROCKFACE STONE PIER/FOUNDATION TO MATCH EXISTING FOUNDATION
- FIBER CEMENT BOARD WRAPPED STRUCTURAL COLUMNS
- ROOF AWNING STRUCTURAL SUPPORTS, WOOD
- PORCH OPEN TRUSS SYSTEM
- BARN DOOR
- CLASSIC WAREHOUSE SHADE WALL LIGHT, BLACK, 12"
- COLDWATER 4053 OUTDOOR WALL LIGHT, MAXIM LIGHTING, BURNISHED FINISH, HONEY SHADE
- BARN DOOR TRACK
- 1X3 TRIM

FINISH LEGEND

- PNT-1 SHERWIN WILLIAMS, SW2826 COLONIAL REVIVAL GREEN STONE
PNT-2 SHERWIN WILLIAMS, SW2846 ROYCROFT BRONZE GREEN



2 NORTH ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"

PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

53 N RIVERVIEW
ELEVATIONS

PROJECT #	23115
DATE	10/10/2024
DRAWN BY:	PF
REVIEWED BY:	TL

SHEET #

53-A201

COHATCH RIVERVIEW

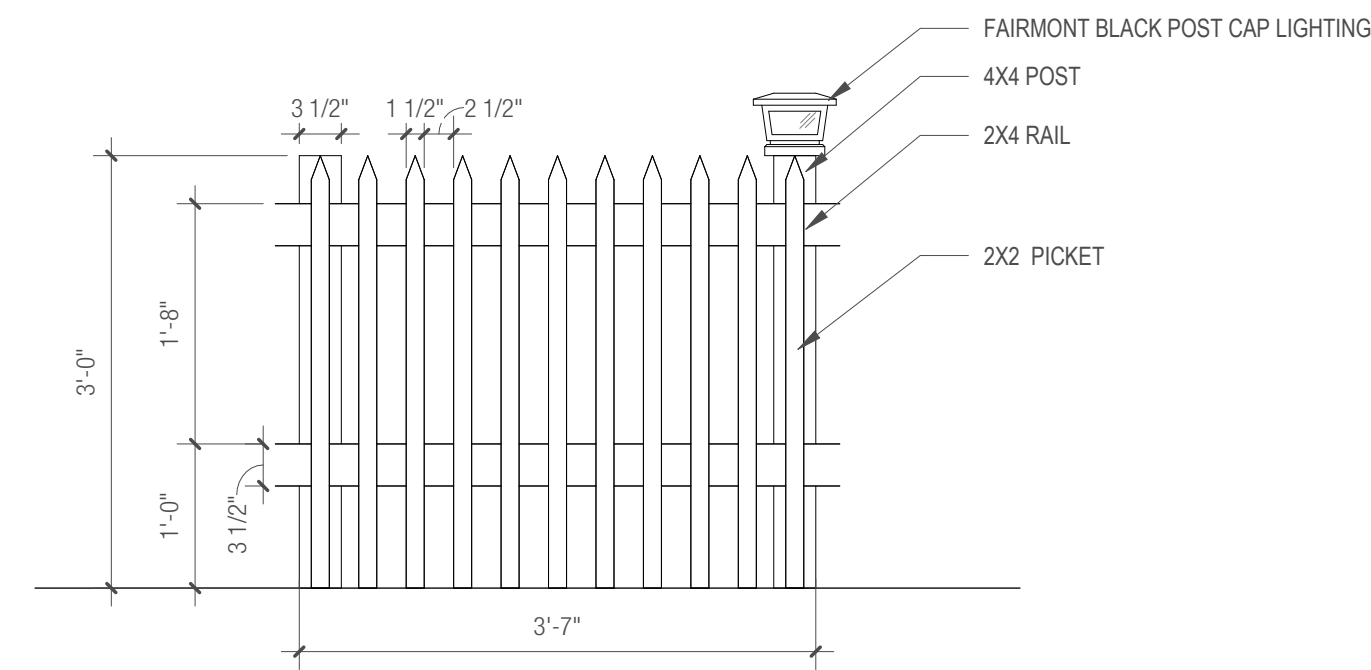


Tim Lai Architect

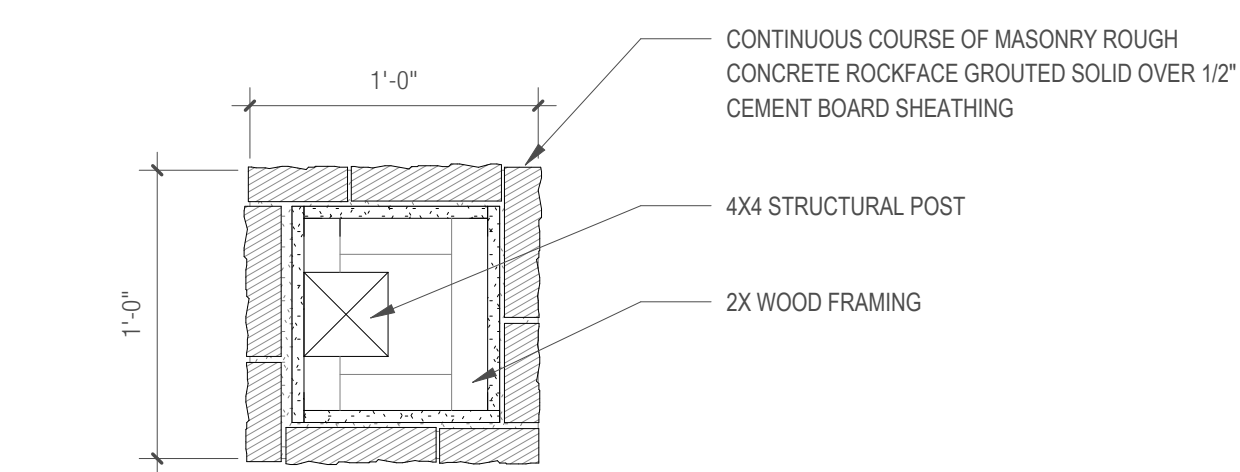
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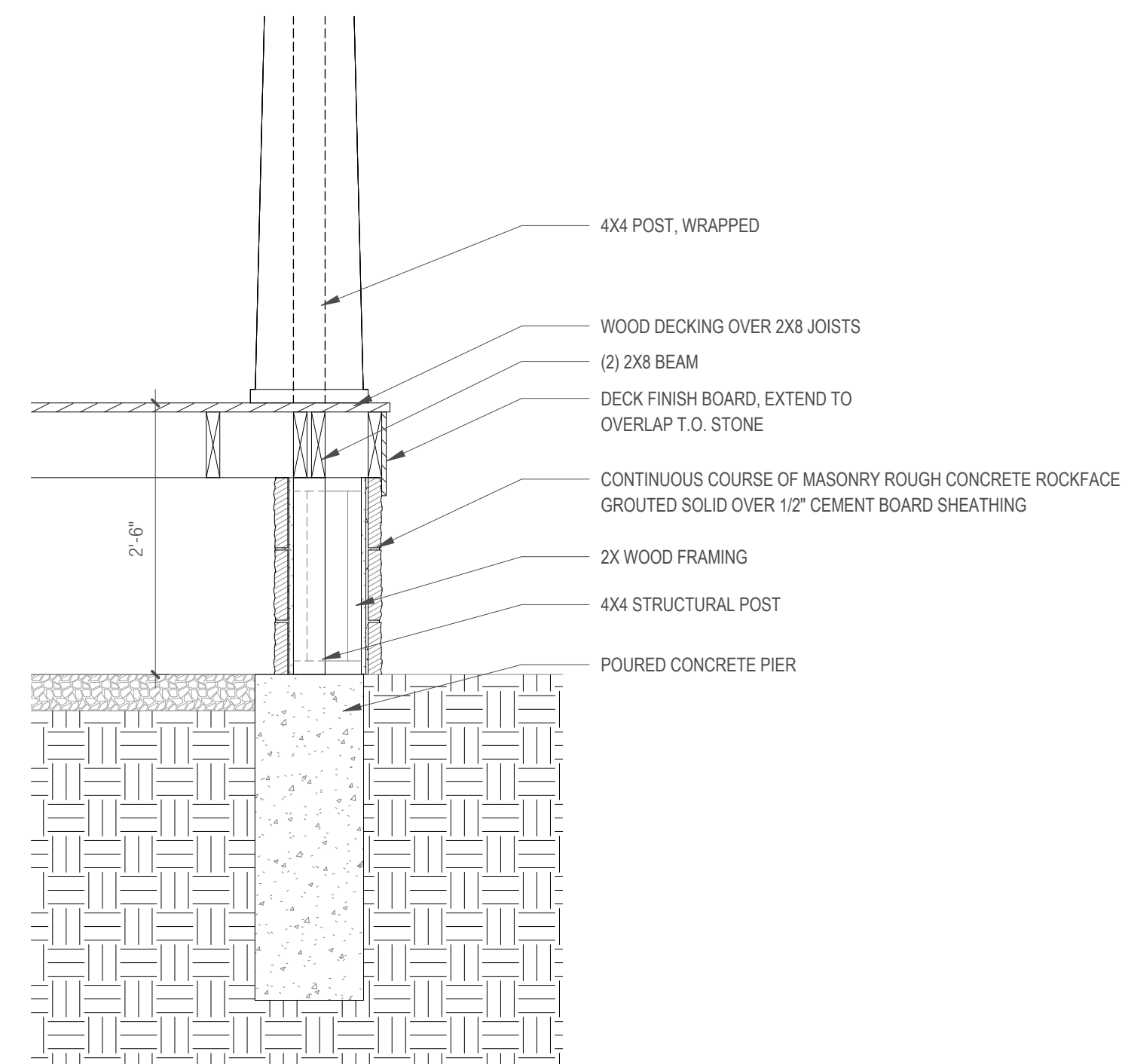
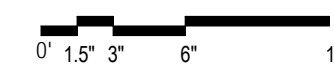
ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024



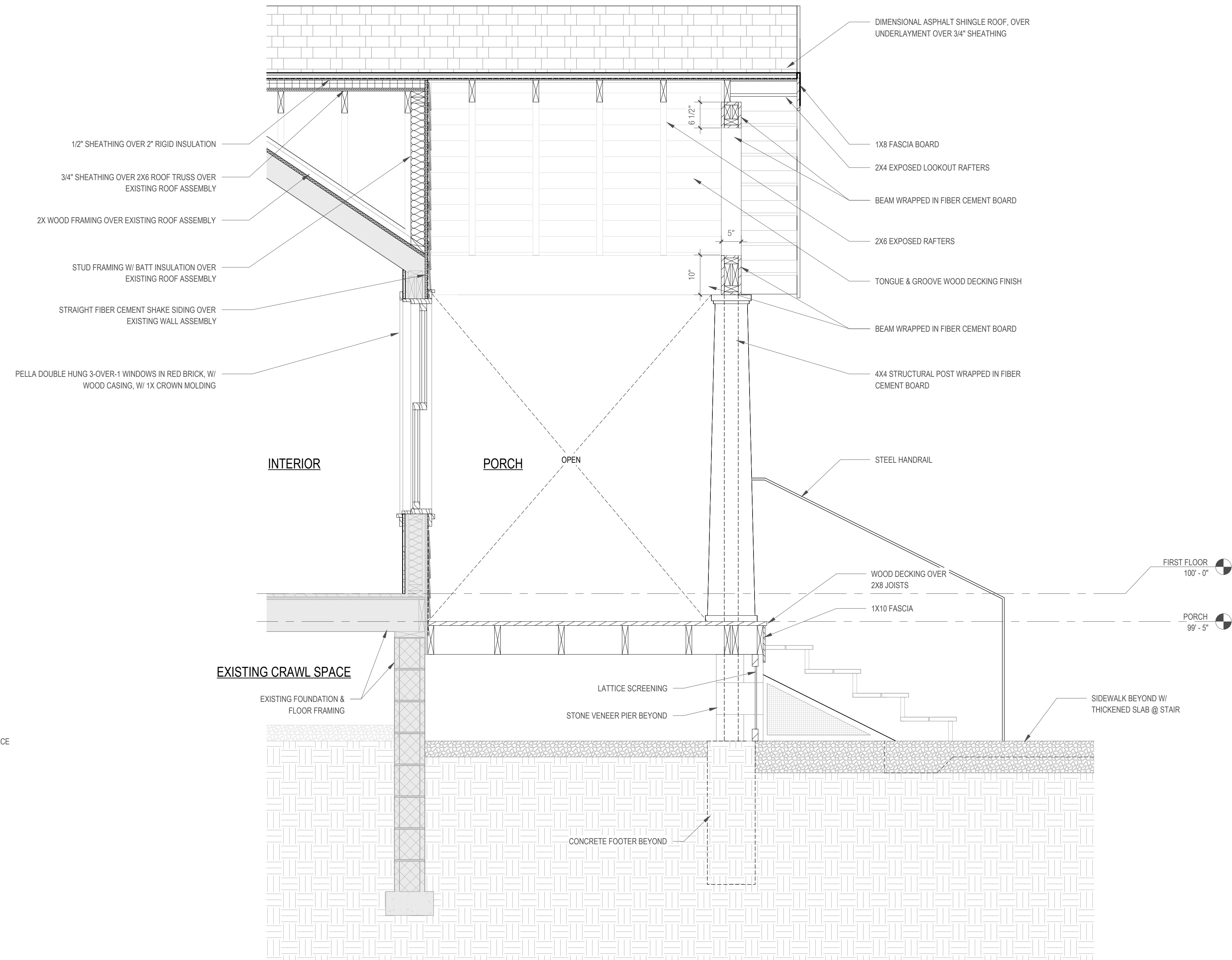
4 PATIO FENCE ELEVATION
3/4" = 1'-0"



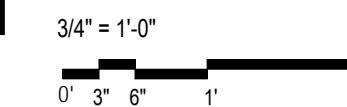
3 STONE PORCH PIER PLAN DETAIL
1 1/2" = 1'-0"



2 STONE BASE WALL SECTION
3/4" = 1'-0"



1 WALL SECTION @PORCH ENTRY



PRELIMINARY DOCUMENTS
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**53 N RIVERVIEW
DETAILS**

PROJECT # 23115
DATE 10/10/2024
DRAWN BY: PF REVIEWED BY: TL

SHEET #

53-A202

COHATCH RIVERVIEW

53 N. RIVERVIEW ST
DUBLIN, OH 43017



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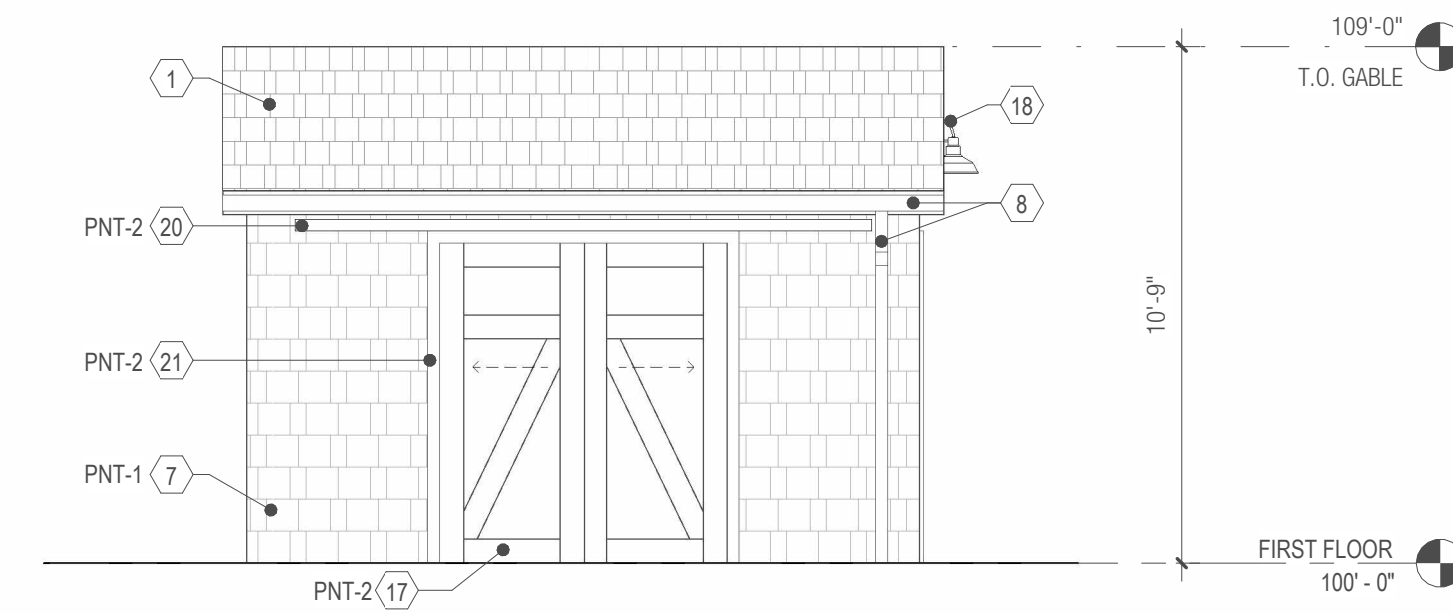
ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024

EXTERIOR ELEVATION CODED NOTES

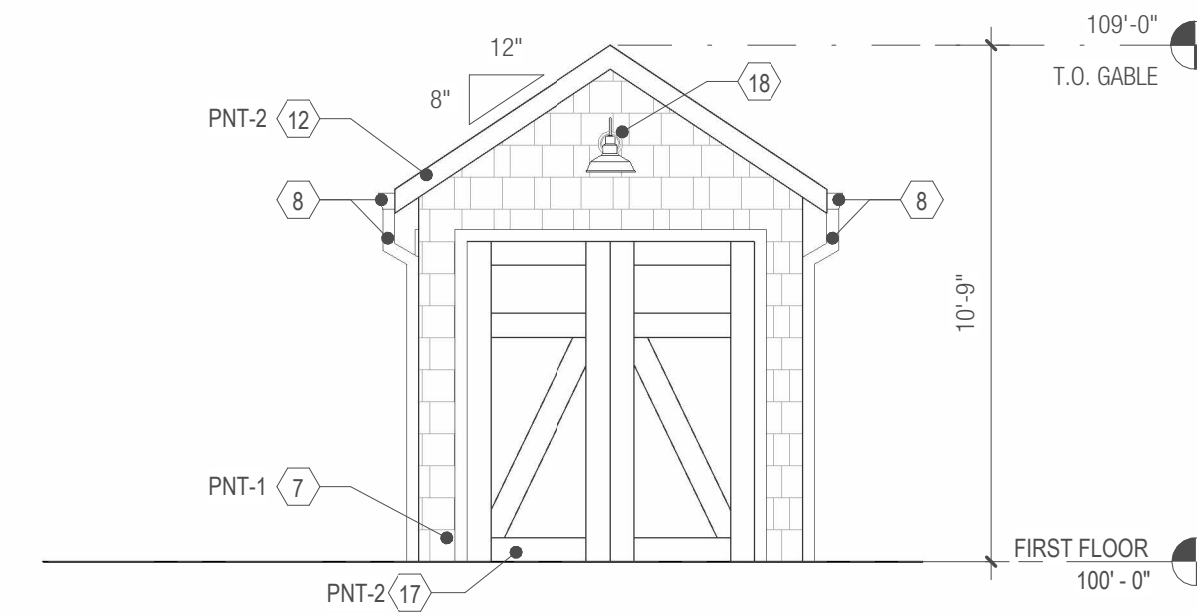
- 1 DIMENSIONAL ASPHALT SHINGLE ROOF
- 2 PELLA LIFESTYLE SERIES, ALUMINUM CLAD DOUBLE HUNG WINDOW W/ TRADITIONAL SIMULATED DIVIDED LIGHT GRILL OF 3-OVER-1, EXTERIOR FINISH RED BRICK
- 3 STEEL HANDRAIL
- 4 PELLA FIBERGLASS ENTRY DOOR W/ TRADITIONAL SIMULATED DIVIDED LIGHT GRILLE, 3 OVER 4
- 5 FRAMED OPEN ORTHOGONAL LATTICE
- 6 CLASSIC ROCKFACE BLOCK, ROUGH CONCRETE ROCKFACE TO MATCH EXISTING STONE
- 7 JAMES HARDIE SIDING, HARDIE SINGLE STRAIGHT EDGE PANEL SIDING, BIN
- 8 4" SQUARE GUTTER & DOWNSPOUT
- 9 WOOD DECKING
- 10 FIBER CEMENT BOARD TRIM
- 11 EXISTING BRICK
- 12 FIBER CEMENT BOARD FASCIA
- 13 ROUGH CONCRETE ROCKFACE STONE PIER/FOUNDATION TO MATCH EXISTING FOUNDATION
- 14 FIBER CEMENT BOARD WRAPPED STRUCTURAL COLUMNS
- 15 ROOF AWNING STRUCTURAL SUPPORTS, WOOD
- 16 PORCH OPEN TRUSS SYSTEM
- 17 BARN DOOR
- 18 CLASSIC WAREHOUSE SHADE WALL LIGHT, BLACK, 12"
- 19 COLDWATER 4053 OUTDOOR WALL LIGHT, MAXIM LIGHTING, BURNISHED FINISH, HONEY SHADE
- 20 BARN DOOR TRACK
- 21 1X3 TRIM

FINISH LEGEND

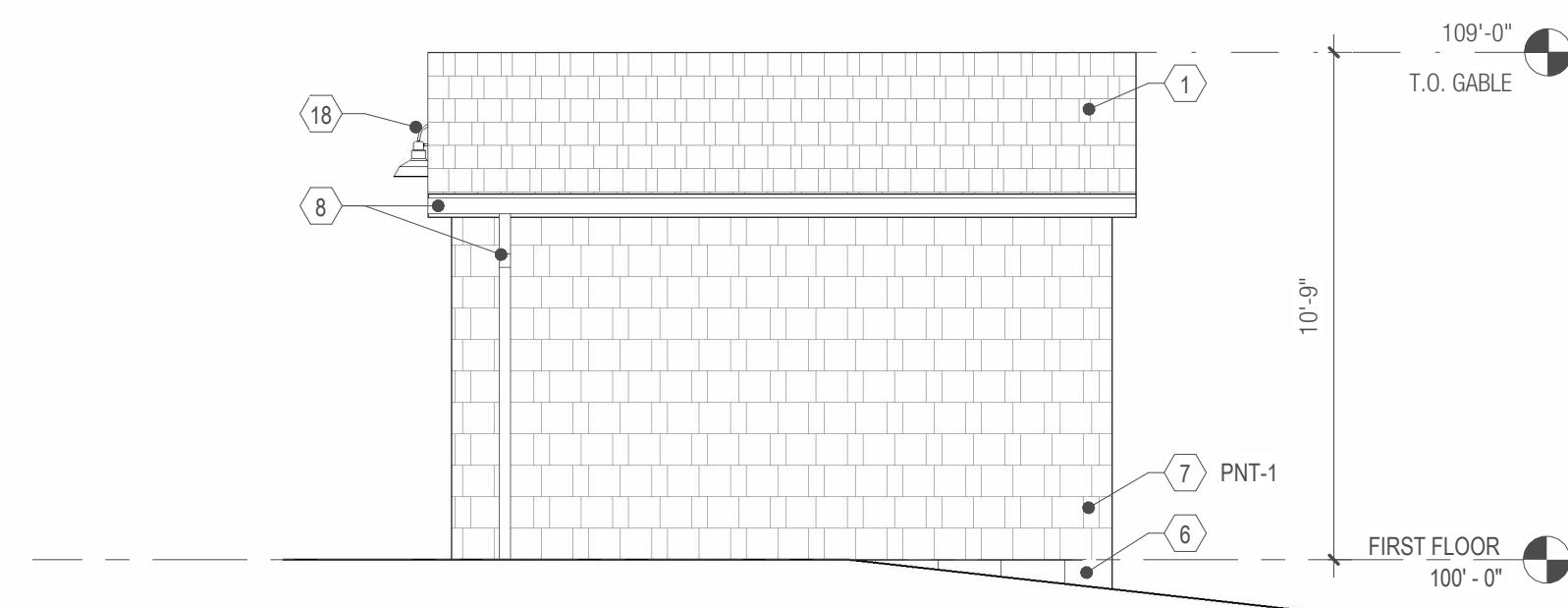
- PNT-1 SHERWIN WILLIAMS, SW2826 COLONIAL REVIVAL GREEN STONE
PNT-2 SHERWIN WILLIAMS, SW2846 ROYCROFT BRONZE GREEN



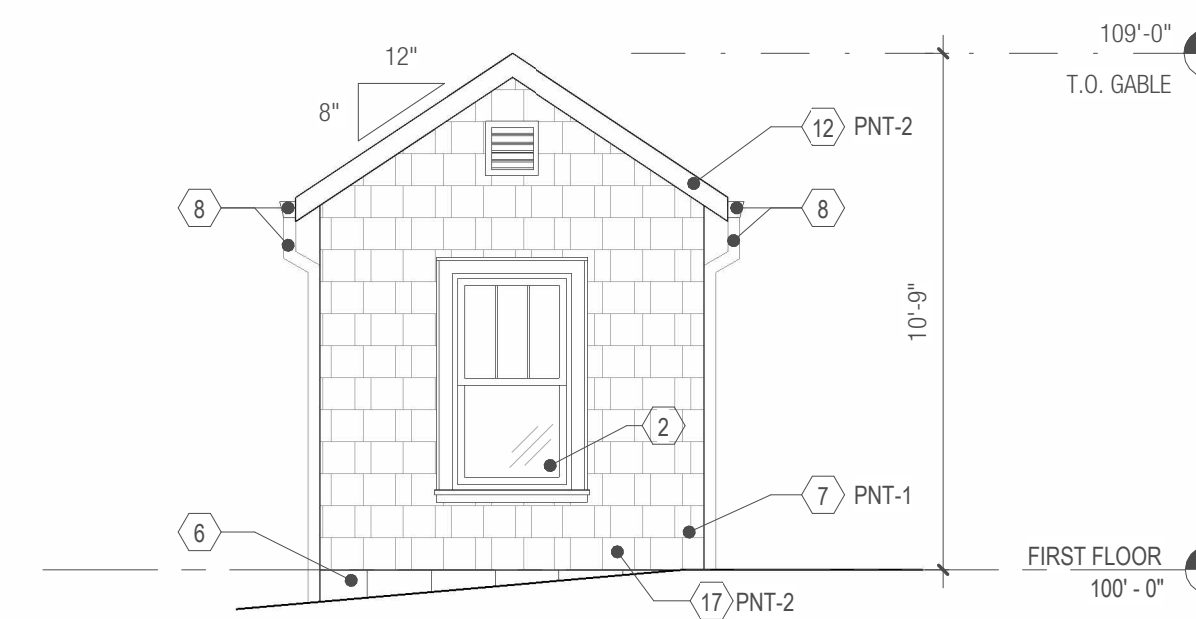
4 SHED WEST ELEVATION
1/4" = 1'-0"



3 SHED SOUTH ELEVATION
1/4" = 1'-0"



2 SHED EAST ELEVATION
1/4" = 1'-0"



1 SHED NORTH ELEVATION
1/4" = 1'-0"

PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

53 N RIVERVIEW
SHED ELEVATIONS

PROJECT #	23115
DATE	10/10/2024
DRAWN BY:	PF
REVIEWED BY:	TL

SHEET #

53-A203

COHATCH RIVERVIEW

COHATCH RIVERVIEW

62 N. RIVERVIEW ST
DUBLIN, OH 43017



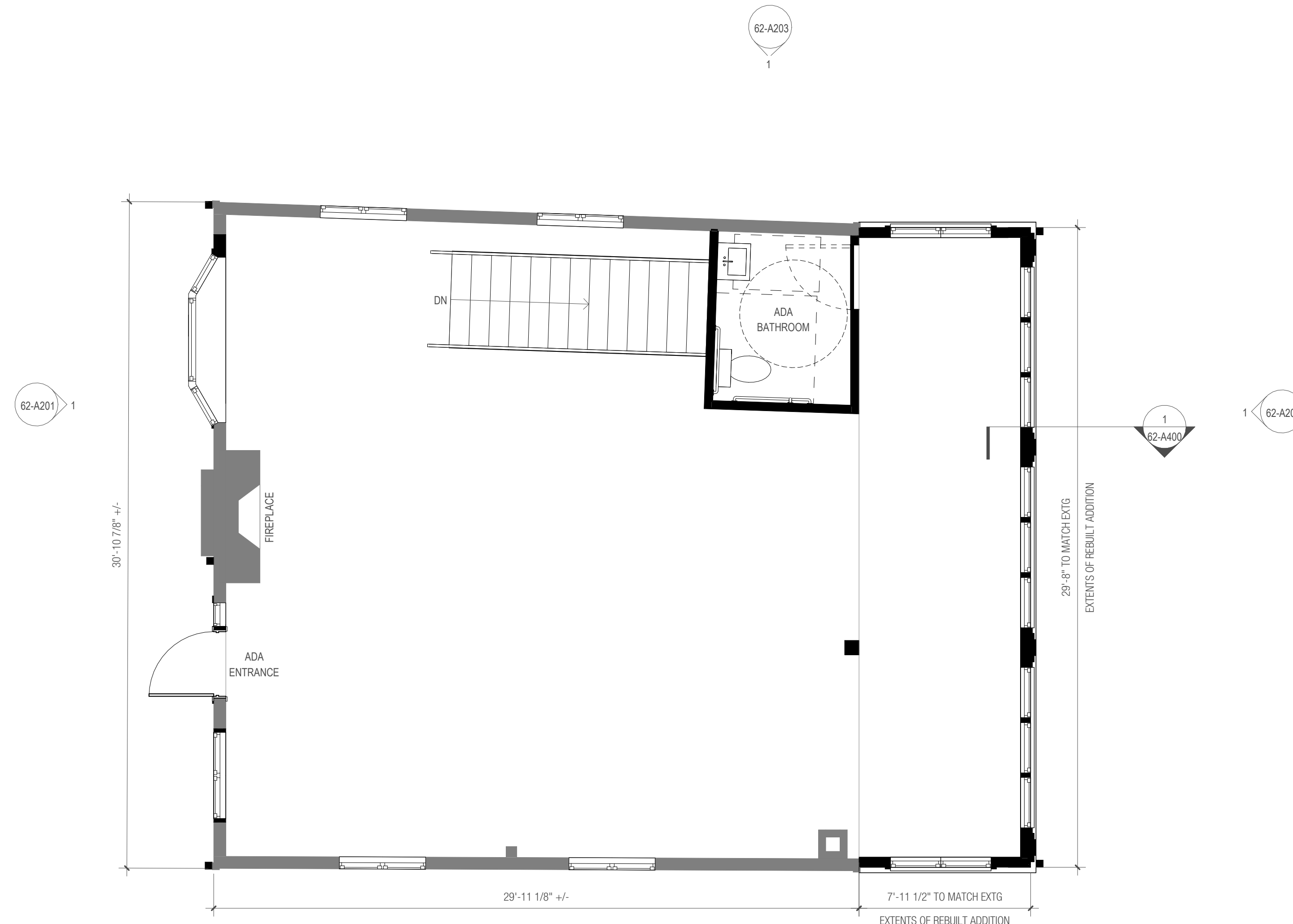
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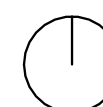
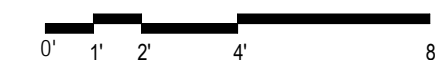
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ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024
PRELIMINARY DEVELOPMENT PLAN	09/18/24



1 FIRST FLOOR PLAN

1/4\" = 1'-0"



PRELIMINARY DOCUMENTS
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62 N RIVERVIEW
FIRST FLOOR

PROJECT #	23115
DATE	10/10/2024
DRAWN BY:	WO
REVIEWED BY:	TL

SHEET #

62-A100

COHATCH RIVERVIEW

COHATCH RIVERVIEW

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DUBLIN, OH 43017



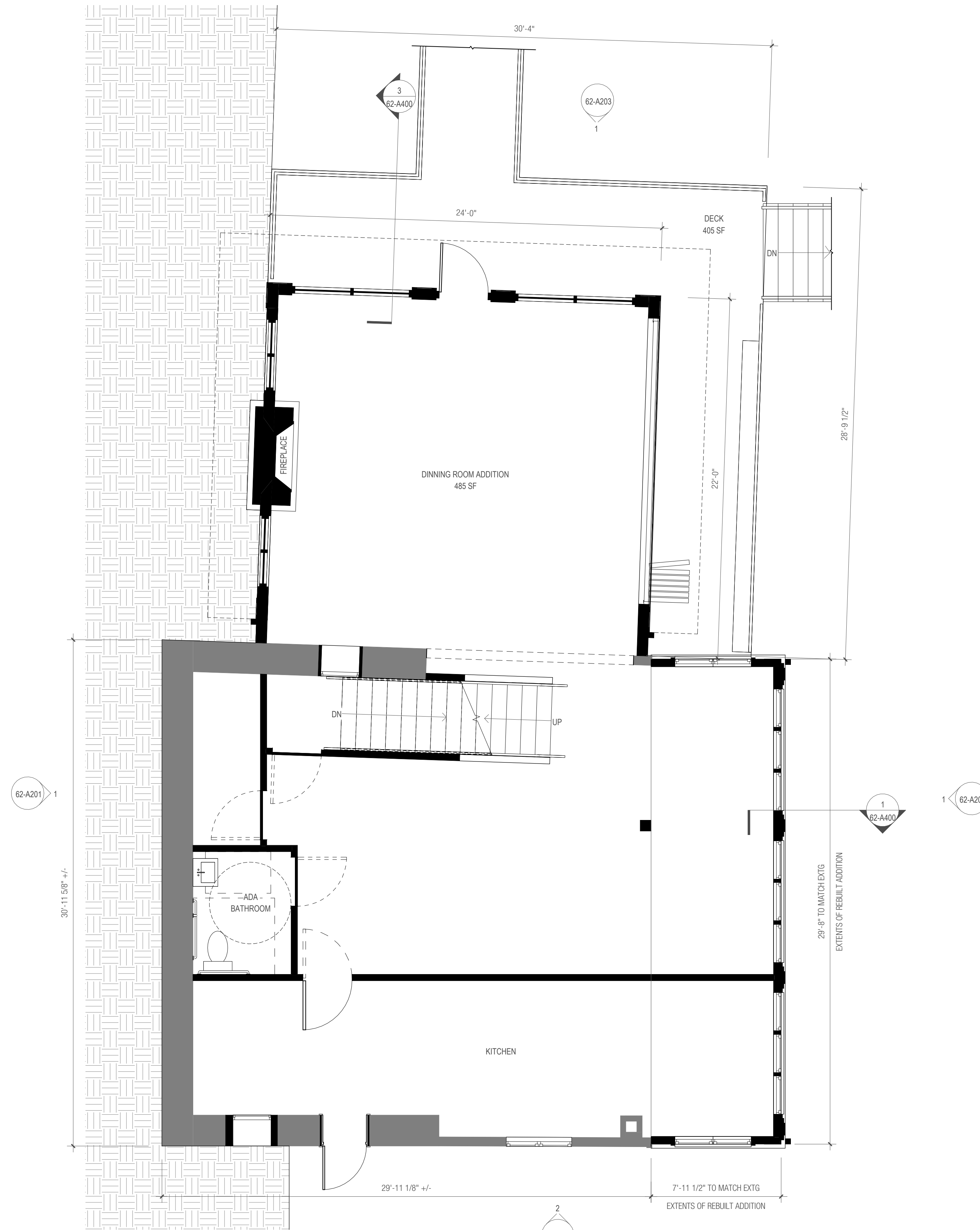
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ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024
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1 B1 FLOOR PLAN
1/4" = 1'-0"



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**62 N RIVERVIEW B1
PLAN**

PROJECT #	23115
DATE	10/10/2024
DRAWN BY:	WO
REVIEWED BY:	TL

SHEET #
62-A101

COHATCH RIVERVIEW

62 N. RIVERVIEW ST
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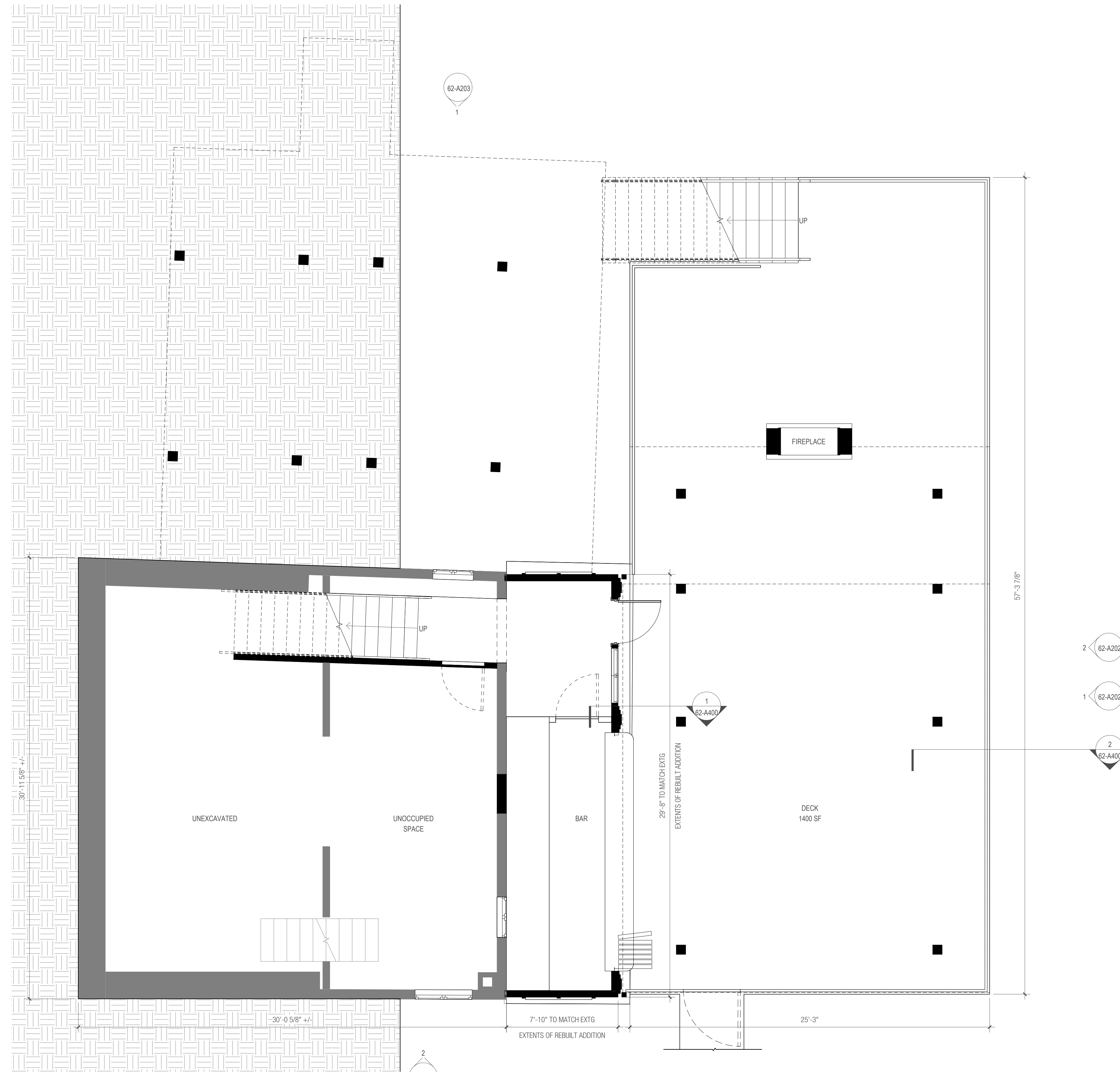


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ISSUE DESCRIPTION	DATE
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1 B2 FLOOR PLAN

1/4" = 1'-0"



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62 N RIVERVIEW B2
PLAN

PROJECT # 23115

DATE 10/10/2024

DRAWN BY: WO REVIEWED BY: TL

SHEET #

62-A102

COHATCH RIVERVIEW

COHATCH RIVERVIEW

62 N. RIVERVIEW ST
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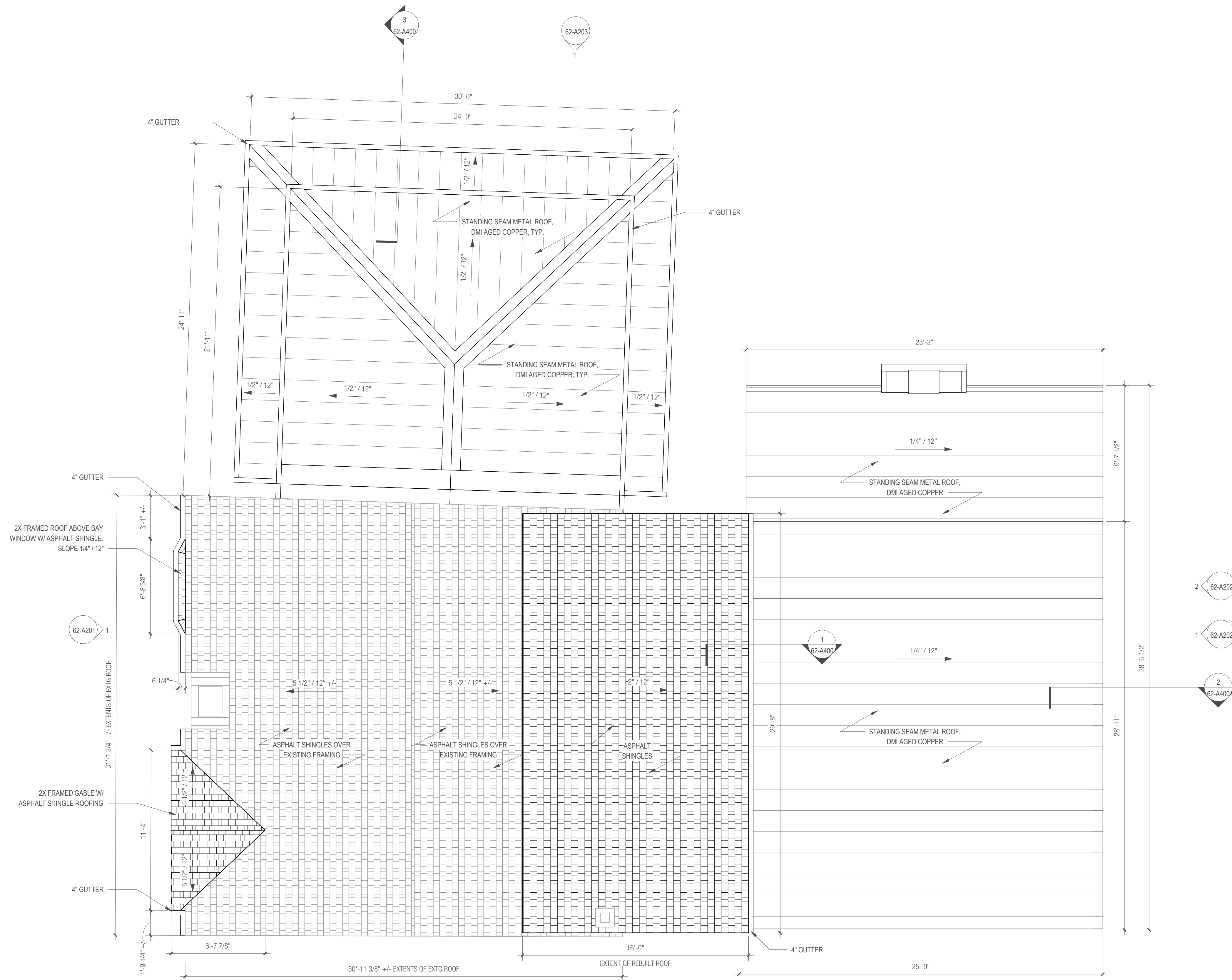


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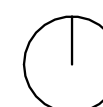
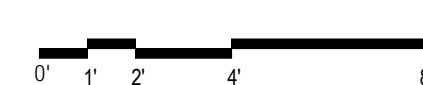
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PRELIMINARY DEVELOPMENT PLAN	09/18/24



1 ROOF PLAN

1/4" = 1'-0"



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62 N RIVERVIEW
ROOF PLAN

PROJECT # 23115

DATE 10/10/2024

DRAWN BY: WO REVIEWED BY: TL

SHEET #

62-A103

COHATCH RIVERVIEW

COHATCH RIVERVIEW

62 N. RIVERVIEW ST
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ISSUE DESCRIPTION	DATE
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PRELIMINARY DEVELOPMENT PLAN	09/18/24

EXTERIOR ELEVATION CODED NOTES

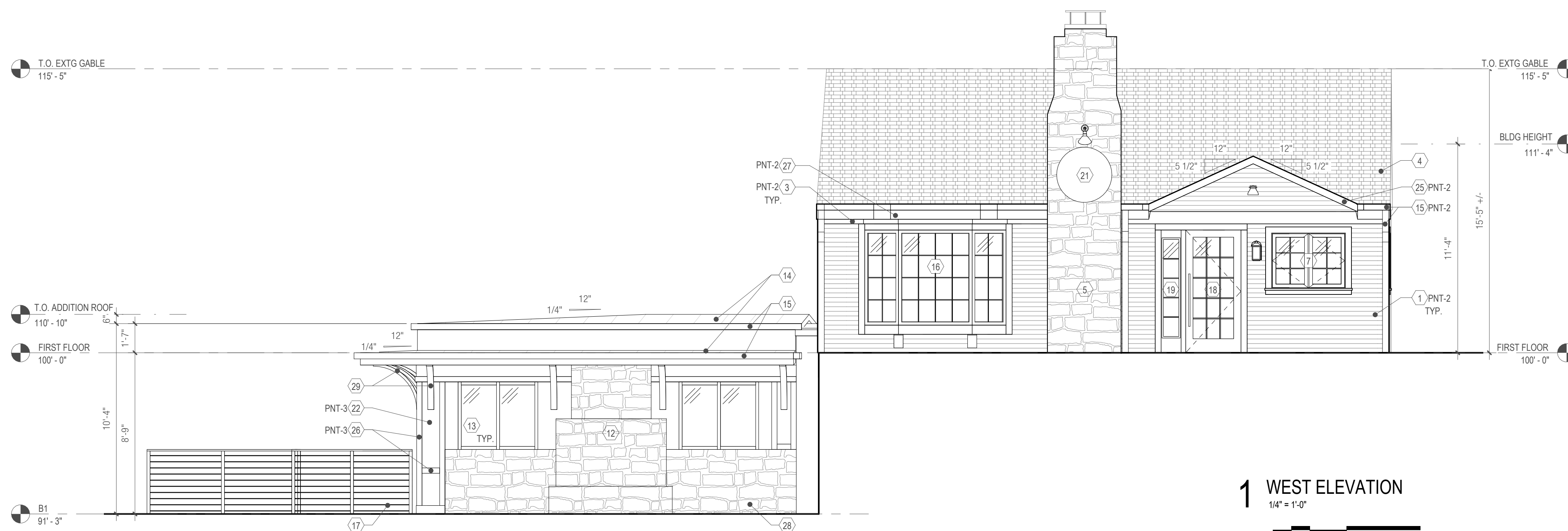
- RESTORED 3" HORIZONTAL CEDAR SIDING
- RESTORED CEDAR BOARD & BATTEN SIDING
- CEDAR TRIM
- DIMENSIONAL ASPHALT SHINGLES
- EXISTING STACKED STONE
- EXISTING BRICK CHIMNEY
- PELLA LIFESTYLE SERIES, ALUMINUM CLAD CASEMENT WINDOW W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN, BRICK RED, WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- EXISTING CONCRETE FOUNDATION
- CEDAR WOOD SIDING
- STEEL DECK FRAMING
- FIREPLACE W/ LIMESTONE VENEER OR STONE-LOOK CONCRETE FILLER
- ALUMINUM STOREFRONT ASSEMBLY, DARK BRONZE FINISH
- STANDING SEAM METAL ROOF
- FORMED METAL GUTTER & DOWNSPOUT
- PELLA LIFESTYLE SERIES, ALUMINUM CLAD BAY WINDOW W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN, BRICK RED, WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- STEEL GUARDRAIL
- PELLA FIBERGLASS ENTRY DOOR W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE, BRICK RED, WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- PELLA, ALUMINUM CLAD SIDELITE W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN, BRICK RED, WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- PELLA LIFESTYLE SERIES, ALUMINUM CLAD FIXED WINDOW W/TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN, BRICK RED, WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- BUILDING SIGN
- SMOOTH FIBER CEMENT PANEL SIDING
- PELLA, ALUMINUM CLAD BIFOLD WINDOW W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN, BRICK RED, WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- PELLA, ALUMINUM CLAD BIFOLD WINDOW, DARK BRONZE FINISH, WOOD TRIM, CASING, & SILL TO MATCH FIBER CEMENT TRIM
- FIBER CEMENT BOARD FASCIA
- FIBER CEMENT BOARD TRIM TO MATCH SIDING
- CONTINUE FASCIA AND FRIEZE TRIM AROUND BAY WINDOW, MATCH EXST ADJACENT DIMENSIONS
- LIMESTONE VENEER
- 2'-5 X 2'-5" CURVED STEEL CORBEL
- 2'-0 X 2'-6" CURVED STEEL CORBEL

FINISH LEGEND

- PNT-1 SW 6335 FIRED BRICK
PNT-2 SW 6327 BOLD BRICK
PNT-3 SHERWIN WILLIAMS MEDIUM GRAY PAINT TO MATCH EXISTING COHATCH DUBLIN



2 SOUTH ELEVATION
1/4" = 1'-0"



1 WEST ELEVATION
1/4" = 1'-0"



PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

62 N RIVERVIEW
ELEVATIONS

PROJECT # 23115
DATE 10/10/2024
DRAWN BY: WO REVIEWED BY: TL

SHEET #
62-A200

COHATCH RIVERVIEW

COHATCH RIVERVIEW

62 N. RIVERVIEW ST
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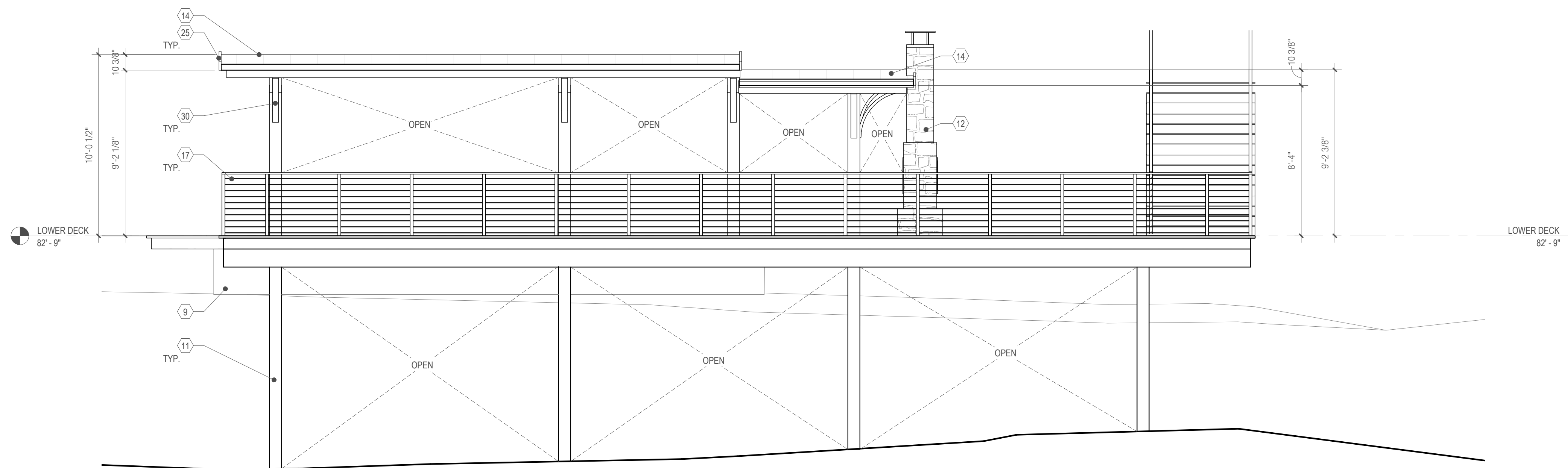
ISSUE DESCRIPTION	DATE
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PRELIMINARY DEVELOPMENT PLAN	09/18/24

EXTERIOR ELEVATION CODED NOTES

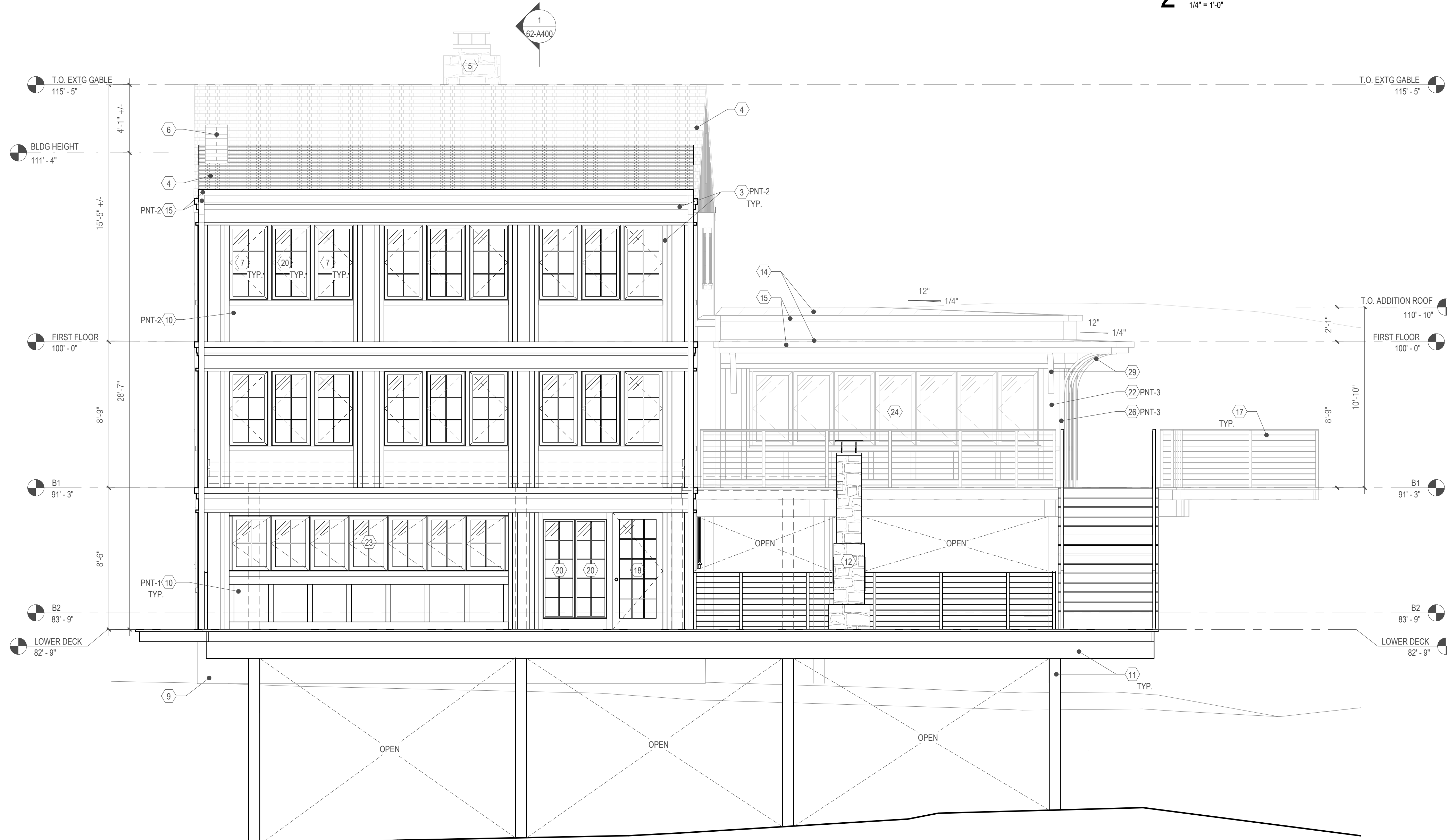
- 1 RESTORED 3" HORIZONTAL CEDAR SIDING
- 2 RESTORED CEDAR BOARD & BATTEN SIDING
- 3 CEDAR TRIM
- 4 DIMENSIONAL ASPHALT SHINGLES
- 5 EXISTING STACKED STONE
- 6 EXISTING BRICK CHIMNEY
- 7 PELLA LIFESTYLE SERIES, ALUMINUM CLAD CASEMENT WINDOW W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN, BRICK RED, WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- 9 EXISTING CONCRETE FOUNDATION
- 10 CEDAR WOOD SIDING
- 11 STEEL DECK FRAMING
- 12 FIREPLACE W/ LIMESTONE VENEER OR STONE-LOOK CONCRETE FILLER
- 13 ALUMINUM STOREFRONT ASSEMBLY, DARK BRONZE FINISH
- 14 STANDING SEAM METAL ROOF
- 15 FORMED METAL GUTTER & DOWNSPOUT
- 16 PELLA LIFESTYLE SERIES, ALUMINUM CLAD BAY WINDOW W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN, BRICK RED, WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- 17 STEEL GUARDRAIL
- 18 PELLA FIBERGLASS ENTRY DOOR W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE, BRICK RED, WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- 19 PELLA, ALUMINUM CLAD SIDELITE W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN, BRICK RED, WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- 20 PELLA LIFESTYLE SERIES, ALUMINUM CLAD FIXED WINDOW W/TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN, BRICK RED, WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- 21 BUILDING SIGN
- 22 SMOOTH FIBER CEMENT PANEL SIDING
- 23 PELLA, ALUMINUM CLAD BIFOLD WINDOW W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN, BRICK RED, WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- 24 PELLA, ALUMINUM CLAD BIFOLD WINDOW, DARK BRONZE FINISH, WOOD TRIM, CASING, & SILL TO MATCH FIBER CEMENT TRIM
- 25 FIBER CEMENT BOARD FASCIA
- 26 FIBER CEMENT BOARD TRIM TO MATCH SIDING
- 27 CONTINUE FASCIA AND FRIEZE TRIM AROUND BAY WINDOW, MATCH EXST ADJACENT DIMENSIONS
- 28 LIMESTONE VENEER
- 29 2'-5 X 2'-5" CURVED STEEL CORBEL
- 30 2'-0 X 2'-6" CURVED STEEL CORBEL

FINISH LEGEND

- PNT-1 SW 6335 FIRED BRICK
- PNT-2 SW 6327 BOLD BRICK
- PNT-3 SHERWIN WILLIAMS MEDIUM GRAY PAINT TO MATCH EXISTING COHATCH DUBLIN



2 LOWER DECK EAST ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"



PRELIMINARY DOCUMENTS
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62 N RIVERVIEW
ELEVATIONS

PROJECT # 23115
DATE 10/10/2024
DRAWN BY: WO REVIEWED BY: TL

SHEET #
62-A201

COHATCH RIVERVIEW

COHATCH RIVERVIEW

62 N. RIVERVIEW ST
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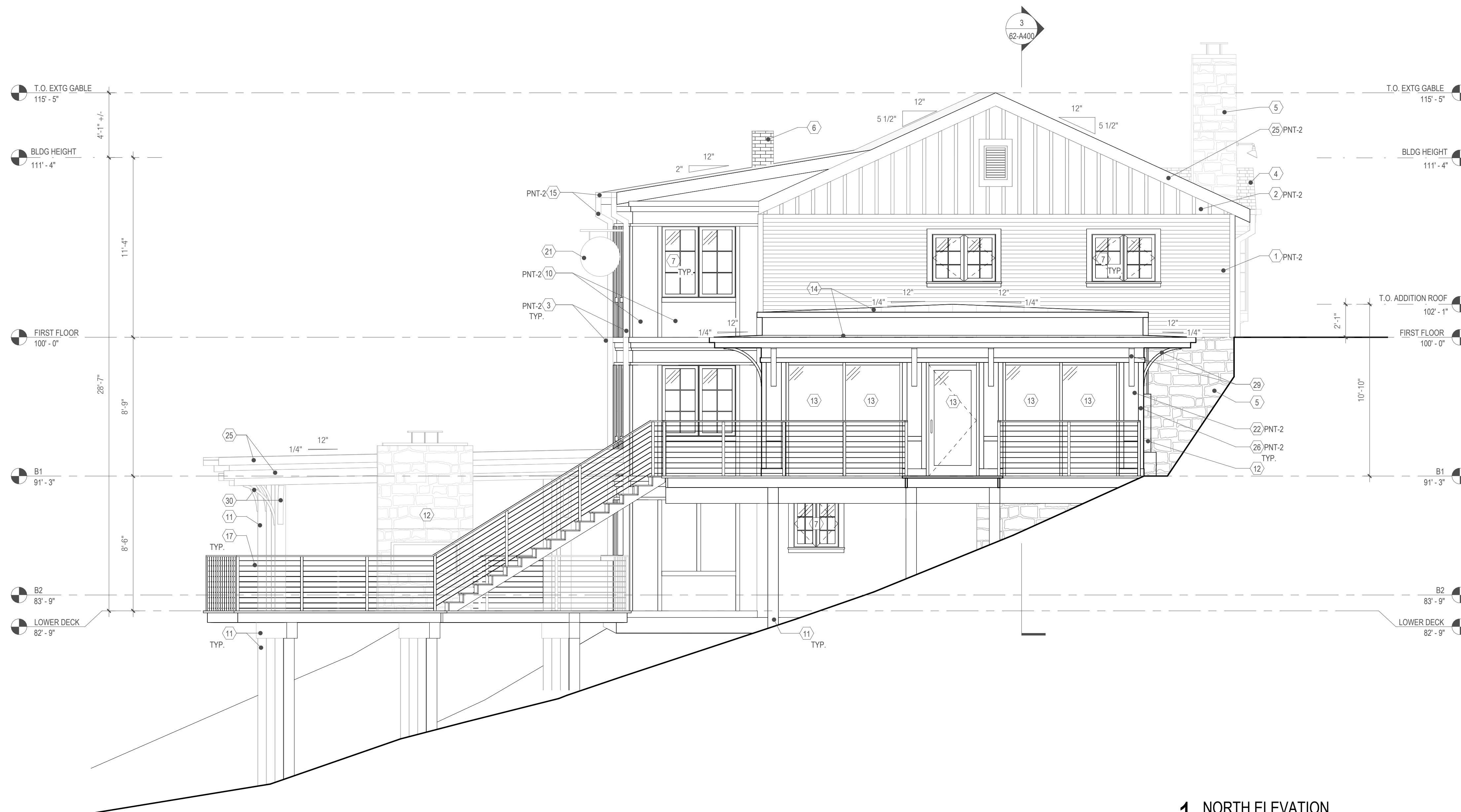
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PRELIMINARY DEVELOPMENT PLAN	09/18/24

EXTERIOR ELEVATION CODED NOTES

- 1 RESTORED 3" HORIZONTAL CEDAR SIDING
- 2 RESTORED CEDAR BOARD & BATTEN SIDING
- 3 CEDAR TRIM
- 4 DIMENSIONAL ASPHALT SHINGLES
- 5 EXISTING STACKED STONE
- 6 EXISTING BRICK CHIMNEY
- 7 PELLA LIFESTYLE SERIES, ALUMINUM CLAD CASEMENT WINDOW W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN, BRICK RED, WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- 9 EXISTING CONCRETE FOUNDATION
- 10 CEDAR WOOD SIDING
- 11 STEEL DECK FRAMING
- 12 FIREPLACE W/ LIMESTONE VENEER OR STONE-LOOK CONCRETE FILLER
- 13 ALUMINUM STOREFRONT ASSEMBLY, DARK BRONZE FINISH
- 14 STANDING SEAM METAL ROOF
- 15 FORMED METAL GUTTER & DOWNSPOUT
- 16 PELLA LIFESTYLE SERIES, ALUMINUM CLAD BAY WINDOW W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN, BRICK RED, WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- 17 STEEL GUARDRAIL
- 18 PELLA FIBERGLASS ENTRY DOOR W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE, BRICK RED, WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- 19 PELLA, ALUMINUM CLAD SIDELITE W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN, BRICK RED, WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- 20 PELLA LIFESTYLE SERIES, ALUMINUM CLAD FIXED WINDOW W/TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN, BRICK RED, WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- 21 BUILDING SIGN
- 22 SMOOTH FIBER CEMENT PANEL SIDING
- 23 PELLA, ALUMINUM CLAD BIFOLD WINDOW W/ TRADITIONAL SIMULATED-DIVIDED-LITE GRILLE PATTERN, BRICK RED, WOOD TRIM, CASING, & SILL TO MATCH PNT-2
- 24 PELLA, ALUMINUM CLAD BIFOLD WINDOW, DARK BRONZE FINISH, WOOD TRIM, CASING, & SILL TO MATCH FIBER CEMENT TRIM
- 25 FIBER CEMENT BOARD FASCIA
- 26 FIBER CEMENT BOARD TRIM TO MATCH SIDING
- 27 CONTINUE FASCIA AND FRIEZE TRIM AROUND BAY WINDOW, MATCH EXST ADJACENT DIMENSIONS
- 28 LIMESTONE VENEER
- 29 2'-5 X 2'-5" CURVED STEEL CORBEL
- 30 2'-0 X 2'-6" CURVED STEEL CORBEL

FINISH LEGEND

- PNT-1 SW 6335 FIRED BRICK
- PNT-2 SW 6327 BOLD BRICK
- PNT-3 SHERWIN WILLIAMS MEDIUM GRAY PAINT TO MATCH EXISTING COHATCH DUBLIN



1 NORTH ELEVATION
1/4" = 1'-0"



PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

62 N RIVERVIEW
ELEVATIONS

PROJECT # 23115
DATE 10/10/2024
DRAWN BY: WO REVIEWED BY: TL

SHEET #
62-A202

COHATCH RIVERVIEW

COHATCH RIVERVIEW

62 N. RIVERVIEW ST
DUBLIN, OH 43017

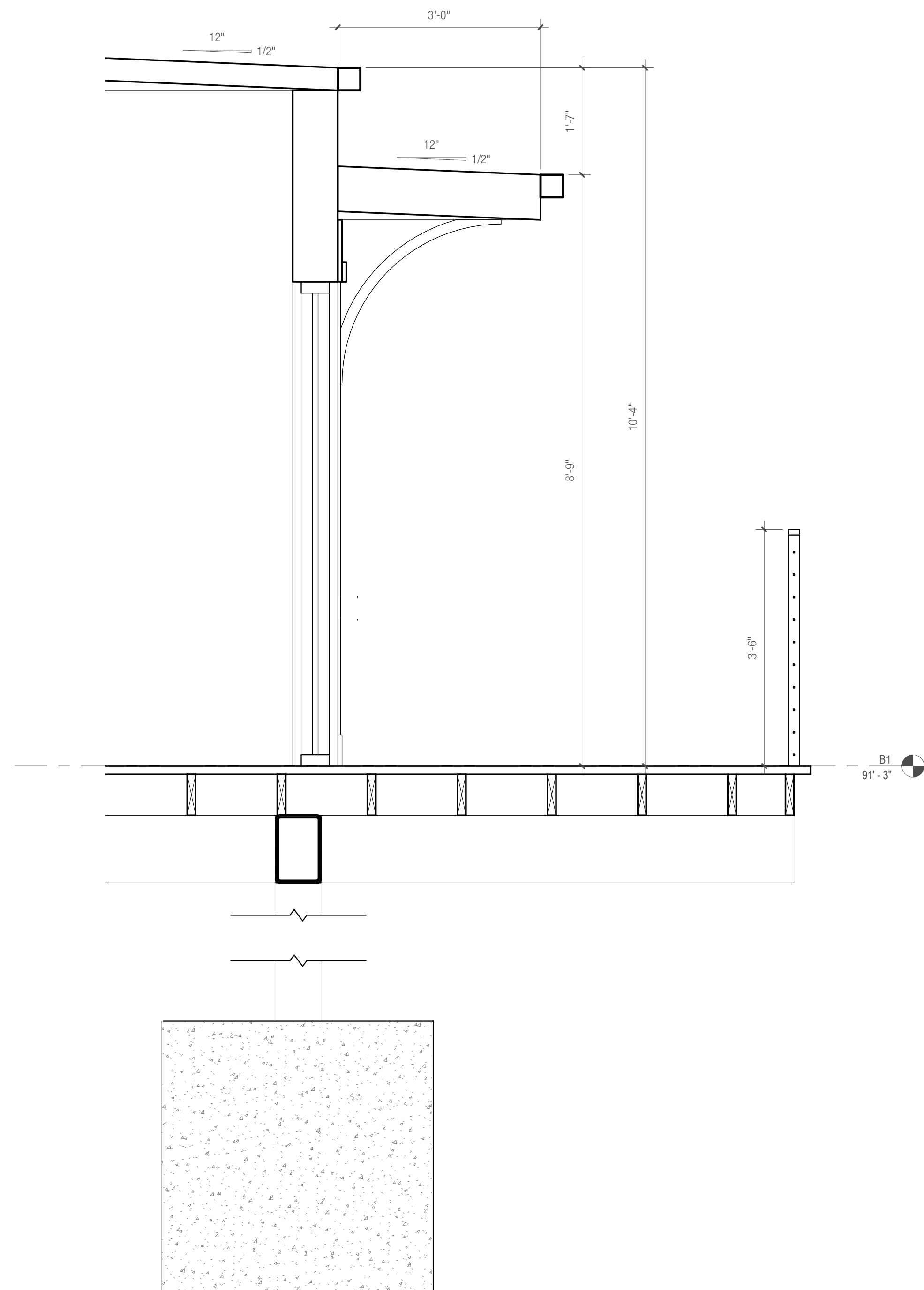


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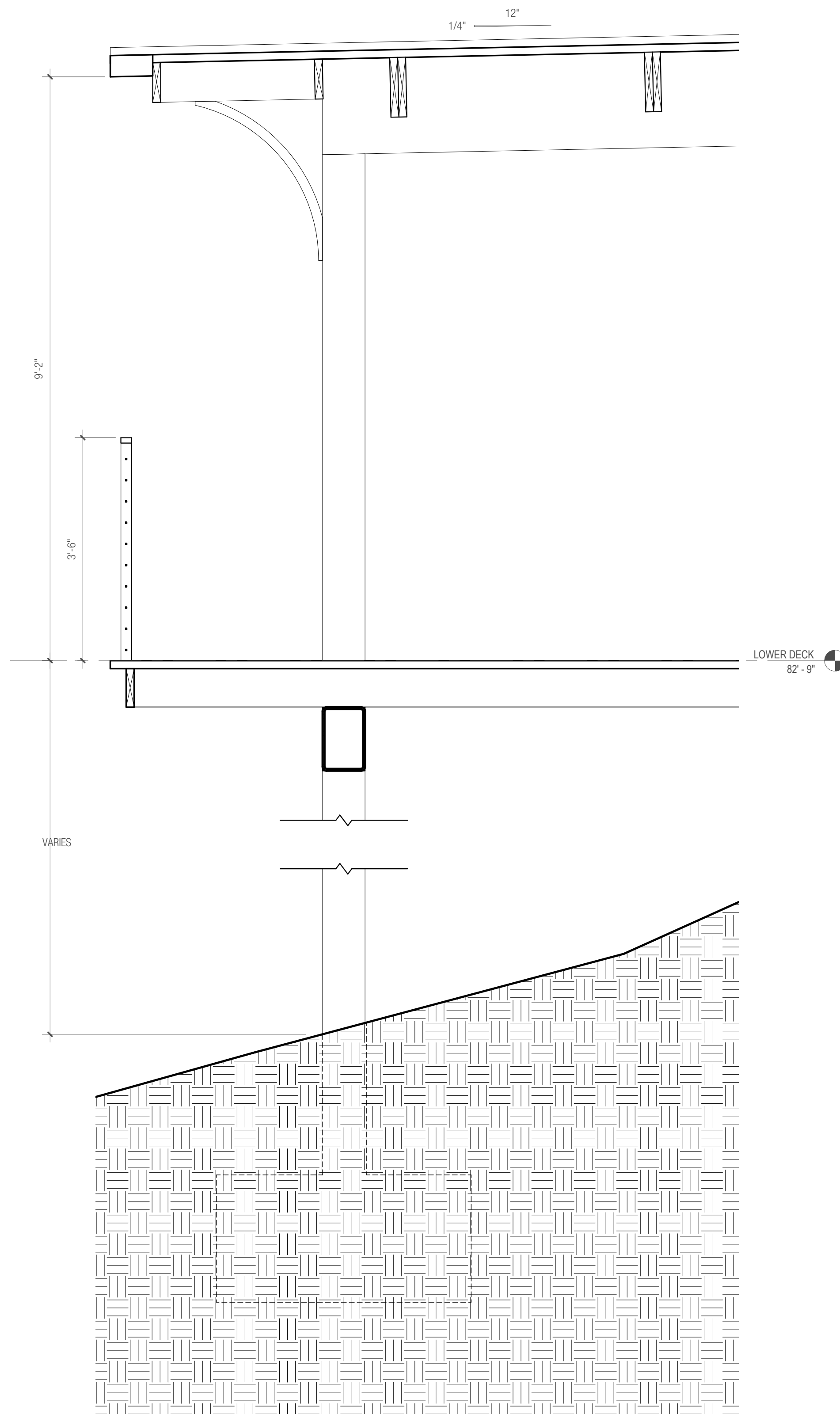
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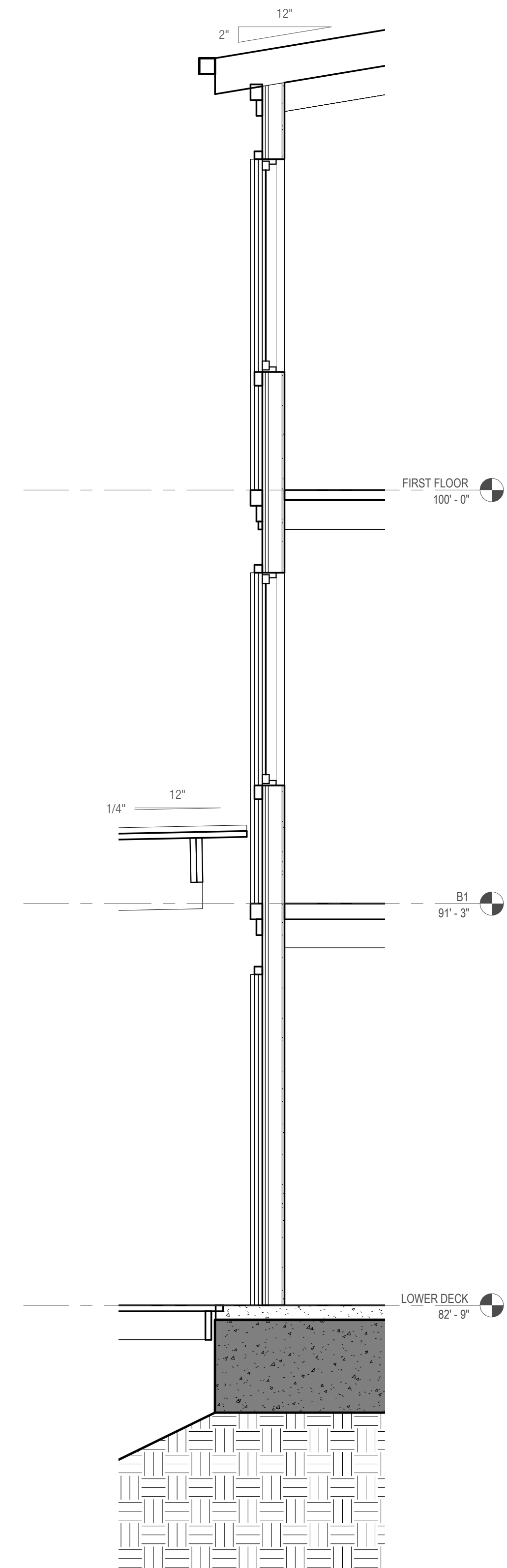
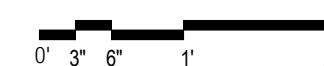
ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024
PRELIMINARY DEVELOPMENT PLAN	09/18/24



3 WALL SECTION @ ADDITION
3/4" = 1'-0"



2 FREESTANDING COVERED DECK SECTION
3/4" = 1'-0"



1 WALL SECTION @ REBUILT ADDITION
1/2" = 1'-0"



PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

62 N RIVERVIEW
DETAILS

PROJECT # 23115

DATE 10/10/2024

DRAWN BY: WO REVIEWED BY: TL

SHEET #

62-A400

COHATCH RIVERVIEW

KIOSK

N. RIVERVIEW ST
DUBLIN, OH 43017

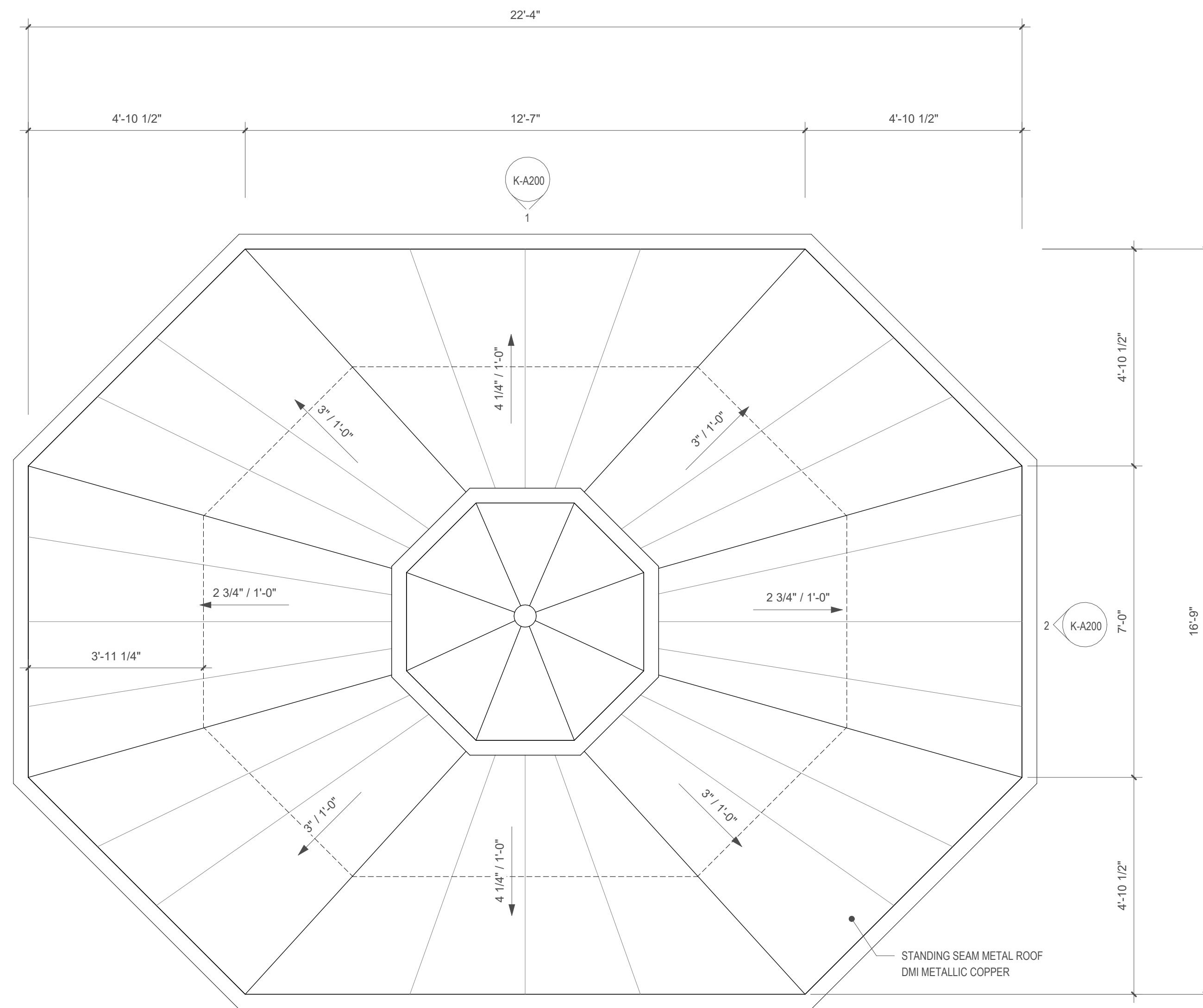


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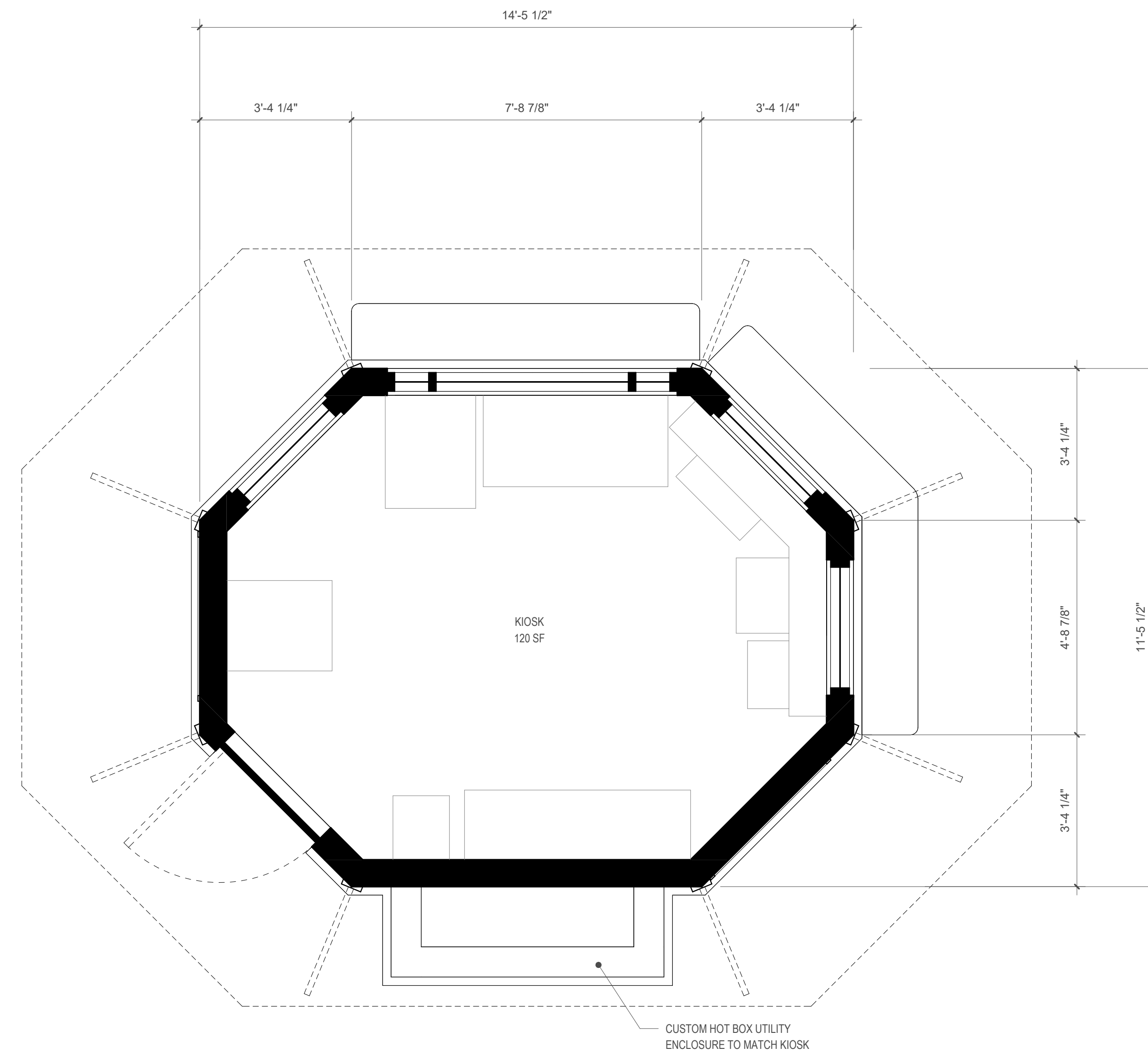
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2 ROOF PLAN
1/2" = 1'-0"



1 FIRST FLOOR PLAN
1/2" = 1'-0"



PRELIMINARY DOCUMENTS
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KIOSK FLOOR & ROOF
PLAN

PROJECT #	23115
DATE	10/10/24
DRAWN BY: AG	REVIEWED BY: JF

SHEET #

K-A100

KIOSK

KIOSK

N. RIVERVIEW ST
DUBLIN, OH 43017



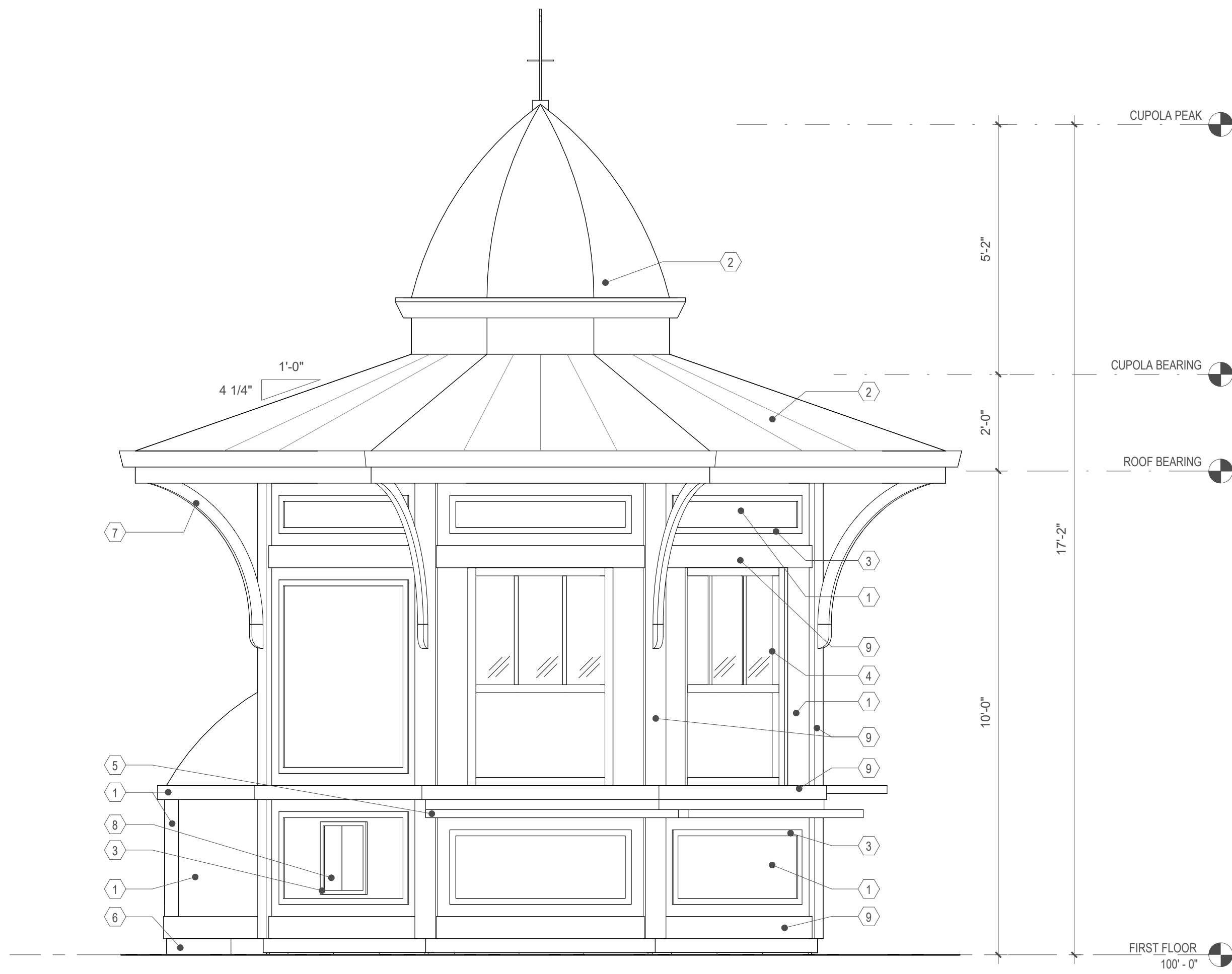
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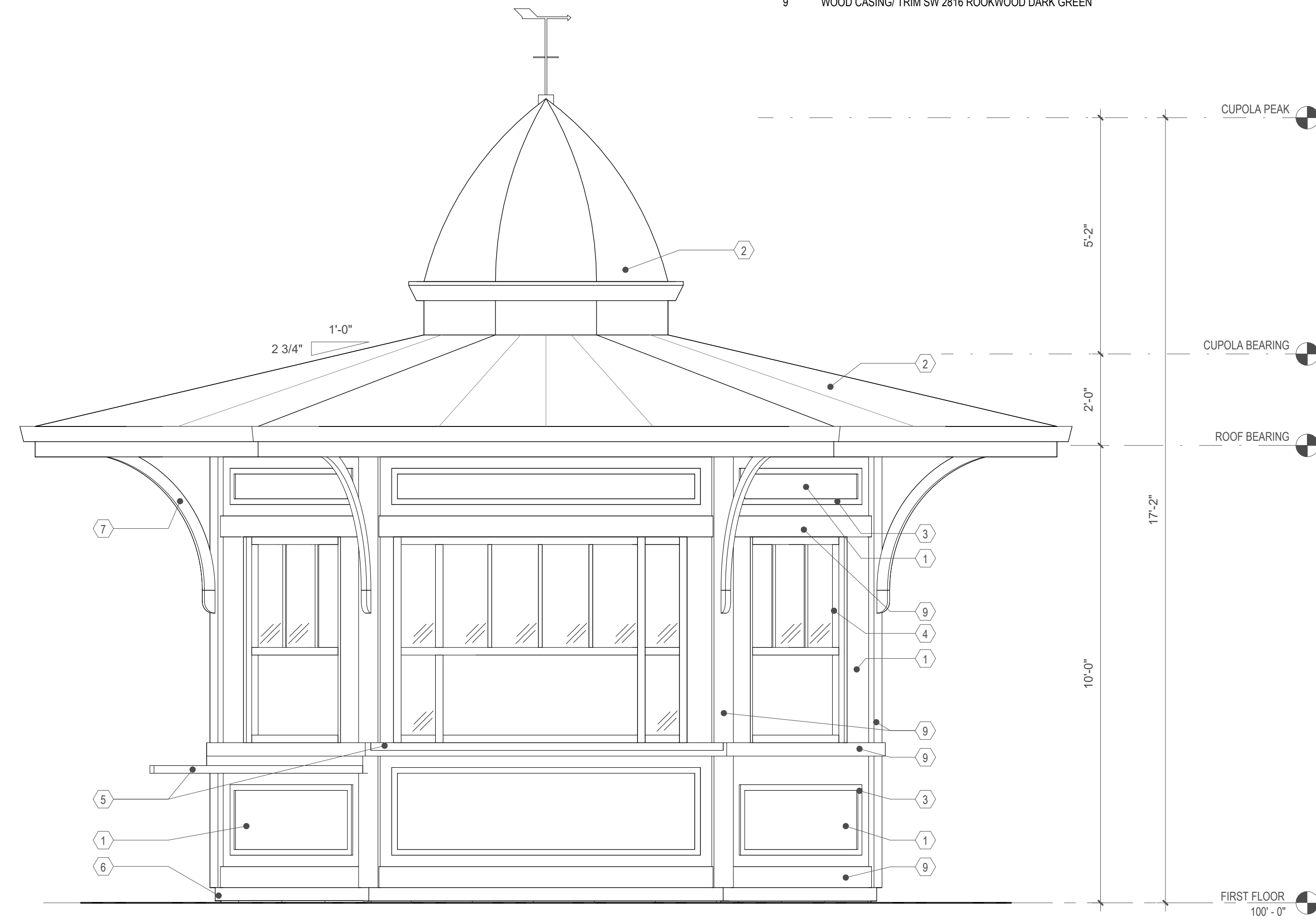
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FINAL DEVELOPMENT PLAN	10/10/24

EXTERIOR ELEVATION CODED NOTES

- 1 FIBER CEMENT PANEL SIDING, PAINT SW 2816 ROOKWOOD DARK GREEN
- 2 STANDING SEAM METAL ROOF DMI METALLIC COPPER
- 3 WOOD MOLDING, PAINT SW 7541 GRECIAN IVORY
- 4 PELLA LIFESTYLE SERIES ALUMINUM CLAD WOOD WINDOWS WITH SIMULATED DIVIDED LITE & BRONZE SASH, OR ANDERSEN OR EQUIV.
- 5 2" WOOD COUNTERTOP
- 6 EXPOSED CMU FOUNDATION, PAINT CHARCOAL GREY
- 7 2'-6" X 3'-8" CURVED WOOD CORBEL
- 8 DOG DOOR
- 9 WOOD CASING/ TRIM SW 2816 ROOKWOOD DARK GREEN



2 EAST ELEVATION
1/2" = 1'-0"



1 NORTH ELEVATION
1/2" = 1'-0"



PRELIMINARY DOCUMENTS
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KIOSK ELEVATIONS

PROJECT # 23115

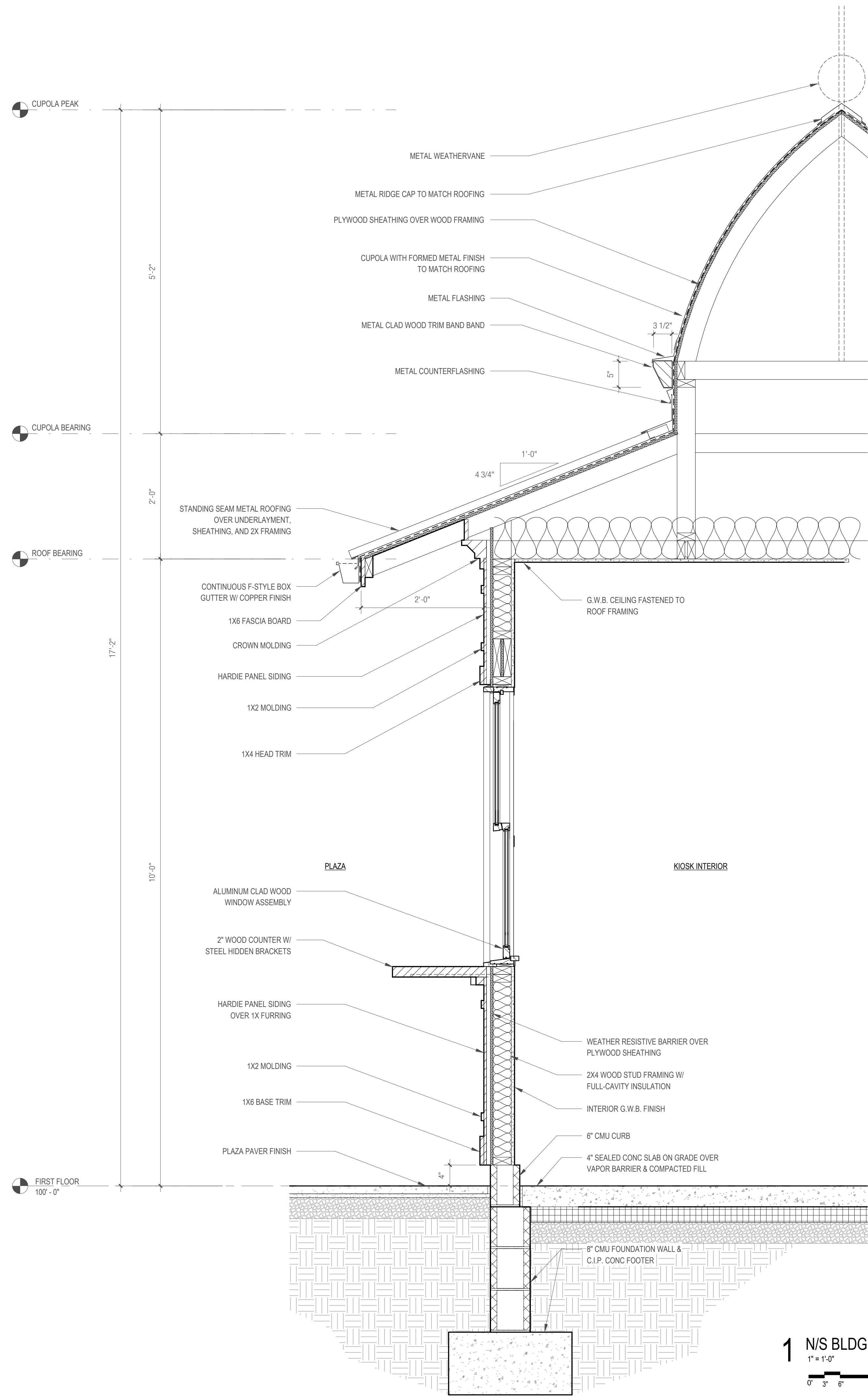
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SHEET #

K-A200

KIOSK



KIOSK

N. RIVERVIEW ST
DUBLIN, OH 43017



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KIOSK DETAILS

PROJECT #	23115
DATE	10/10/24
DRAWN BY: JF	REVIEWED BY: JF
SHEET #	

K-A400

KIOSK

1 N/S BLDG SECTION
1" = 1'-0"

COHATCH RIVERVIEW

N. RIVERVIEW STREET
DUBLIN, OH 43017

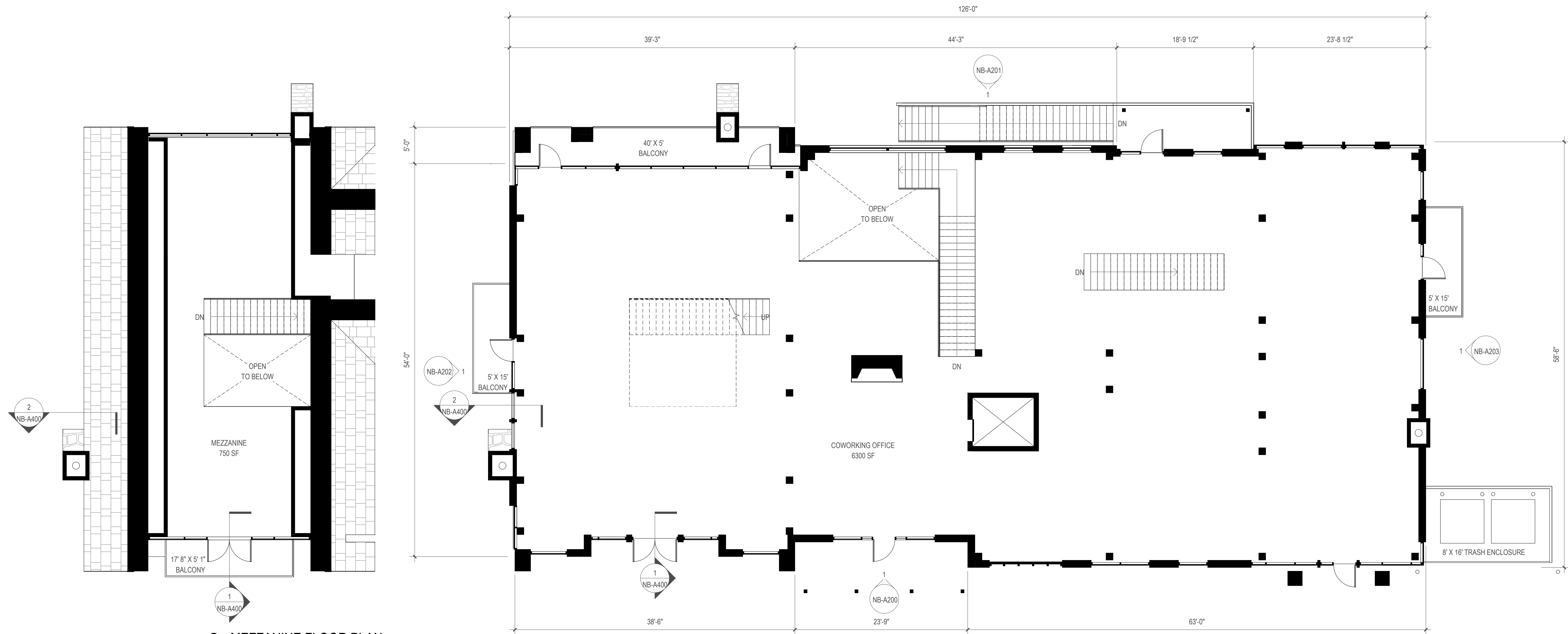


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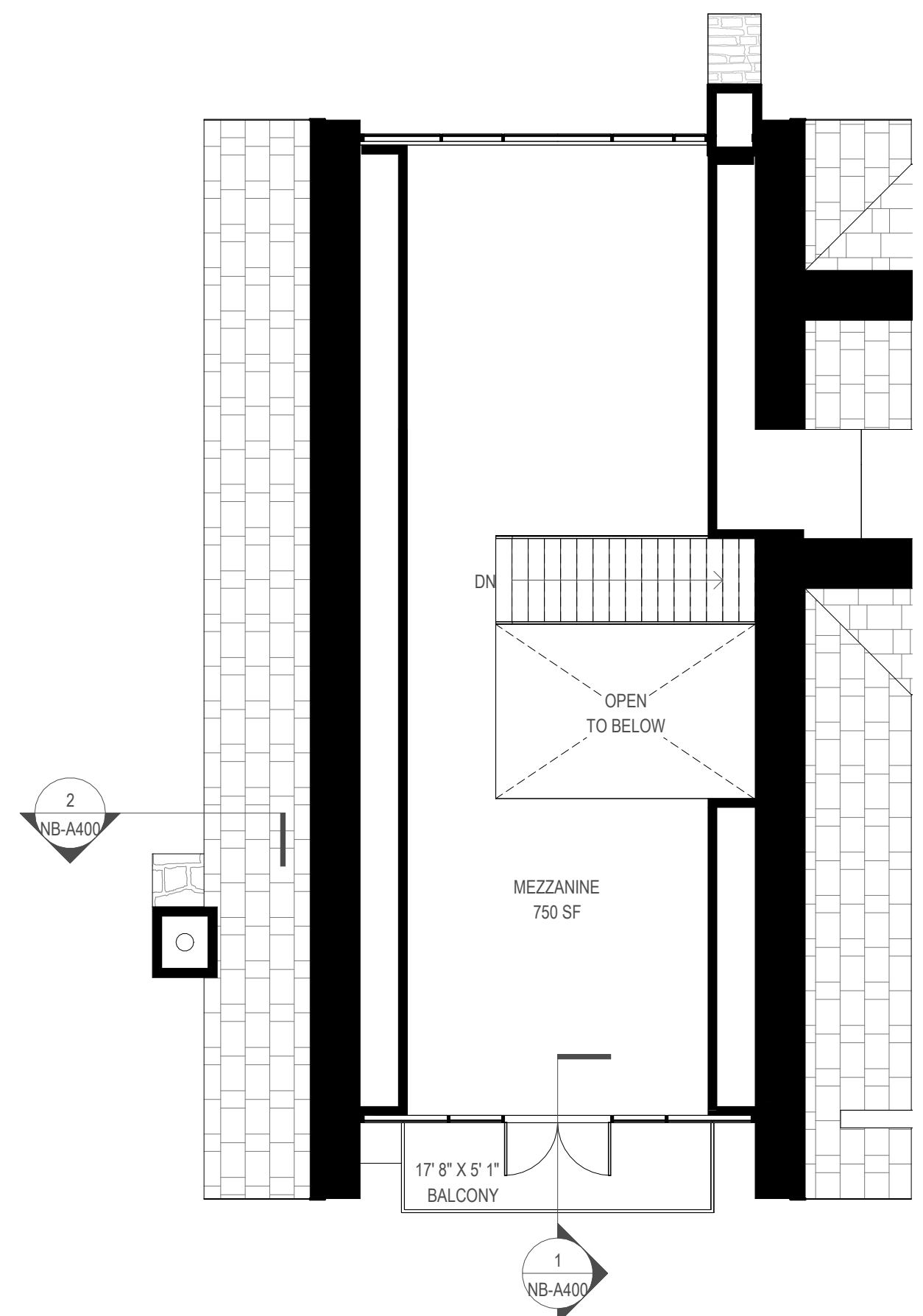
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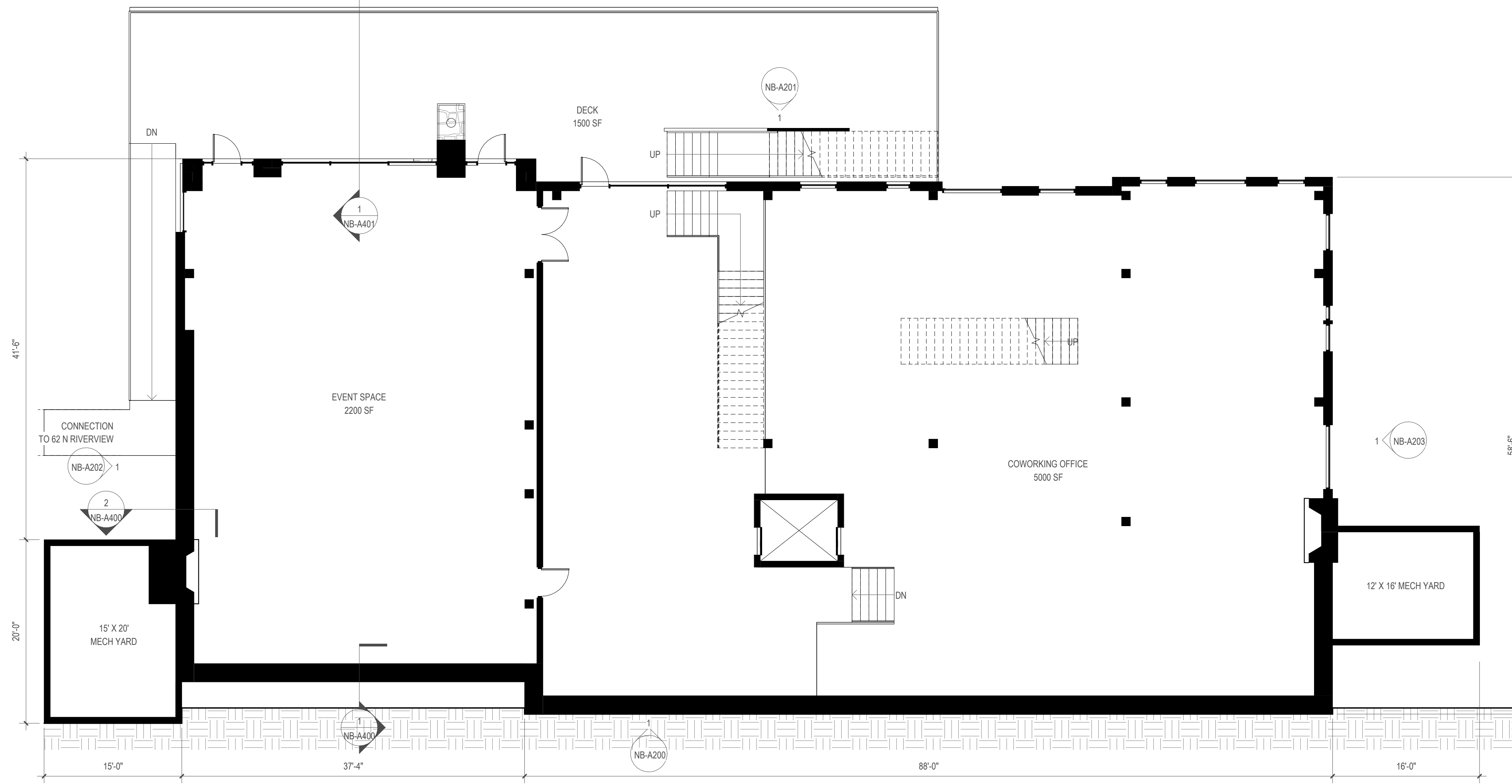
ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024



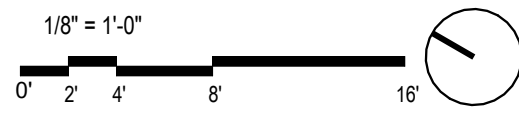
2 FIRST FLOOR PLAN
1/8" = 1'-0"



3 MEZZANINE FLOOR PLAN
1/8" = 1'-0"



1 LOWER FLOOR PLAN
1/8" = 1'-0"



PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

NEW BUILD FLOOR
PLANS

PROJECT # 23115

DATE 10/10/24

DRAWN BY: SR REVIEWED BY: AG

SHEET #

NB-A100

COHATCH RIVERVIEW

COHATCH RIVERVIEW

N. RIVERVIEW STREET
DUBLIN, OH 43017



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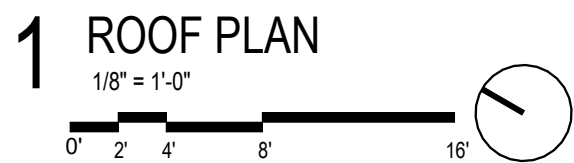
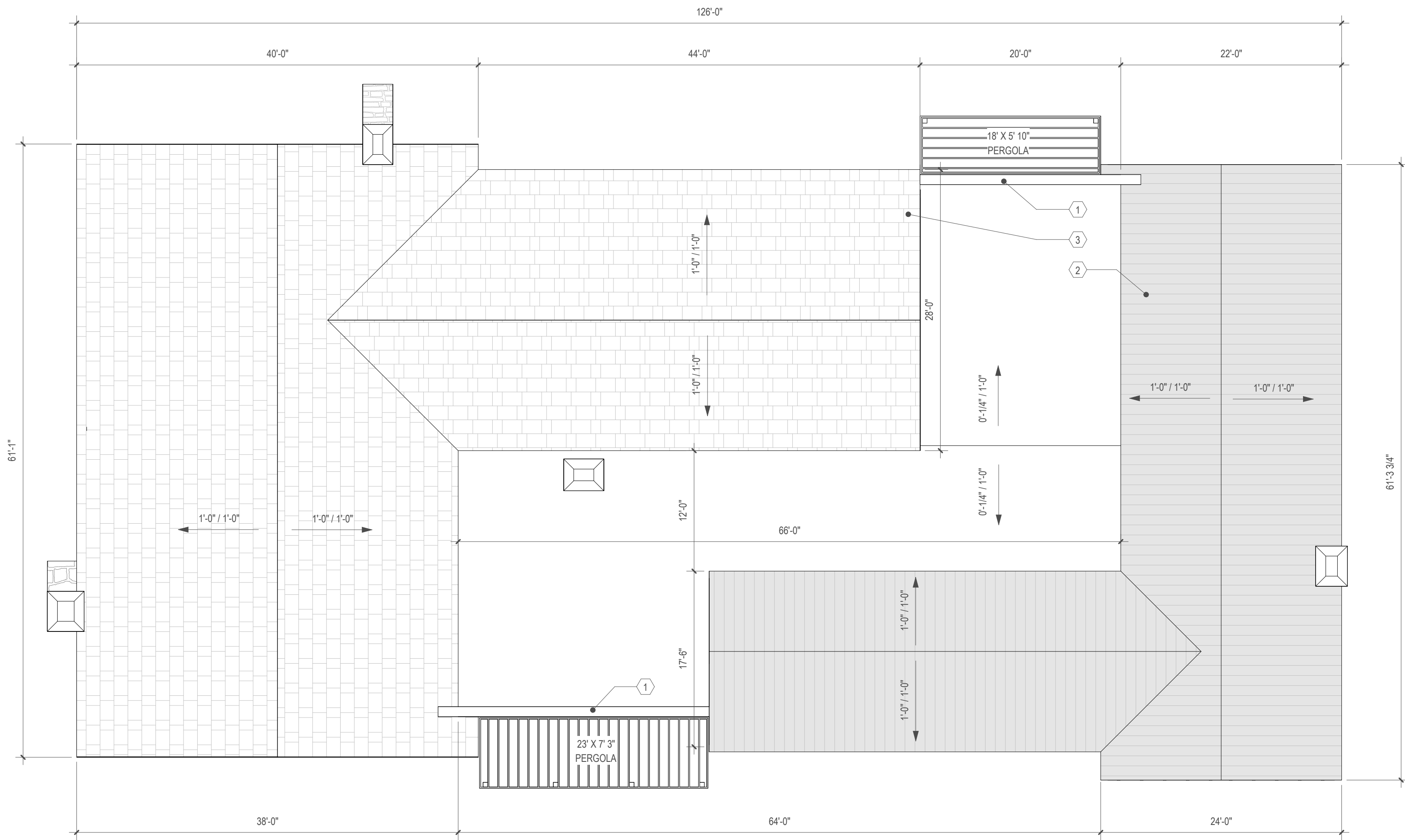
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ISSUE DESCRIPTION	DATE
FINAL DEVELOPMENT PLAN	10/10/2024

ROOF PLAN CODED NOTES

- 1 PARAPET WALL W/ METAL SIDING PANEL, DARK BRONZE FINISH
- 2 STANDING SEAM METAL ROOF DMI DARK BRONZE
- 3 CLASSIC METAL ROOFING SYSTEMS OXFORD SHINGLE, VERMONT SLATE



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NEW BUILD ROOF
PLAN

PROJECT #	23115
DATE	10/10/24
DRAWN BY:	SR
REVIEWED BY:	AG
SHEET #	

NB-A101

COHATCH RIVERVIEW

ELEVATION CODED NOTES

- 1 STAINED WOOD SIDING, DARK GRAY
- 2 STAINED WOOD SIDING, MEDIUM GRAY TO MATCH EXISTING COHATCH
- 3 STANDING SEAM METAL ROOF DMI DARK BRONZE
- 4 CLASSIC METAL ROOFING SYSTEMS OXFORD SHINGLE, VERMONT SLATE
- 5 CHIMNEY W/ RUSTICATED LIMESTONE VENEER
- 6 EXISTING STONE RUIN TO REMAIN
- 7 ALUMINUM STOREFRONT ASSEMBLY, DARK BRONZE FINISH
- 8 STEEL GUARDRAIL W/ DARK BRONZE FINISH
- 9 WOOD FASCIA, DARK GRAY
- 10 PIER W/ CONCRETE FORMLINER 2/353 TARN OR EQUIV.
- 11 METAL SIDING PANEL W/ DARK BRONZE FINISH
- 12 US FORMLINER CONCRETE FORMLINER 2/353 TARN OR EQUIV.
- 13 LED RAILING LIGHT
- 14 EXTERIOR WALL SCONCE LIGMAN GINO 2 DOWNLIGHT
- 15 FORMED MTL BOX DOWNSPOUT RECESSED IN WALL TO FLUSH W/ FINISH FACE
- 16 WOOD PERGOLA
- 17 DECORATIVE WOOD LOUVERS W/ MEDIUM GRAY STAIN OVER TUBE STEEL FRAME W/ DARK BRONZE FINISH
- 18 CONCEALED GUTTER
- 19 2X4 WOOD TRIM, DARK GRAY
- 20 MECHANICAL TRASH ENCLOSURE
- 21 CAST STONE BAND
- 22 LIMESTONE VENEER OVER EXTERIOR WALL

COHATCH RIVERVIEW

N. RIVERVIEW STREET
DUBLIN, OH 43017



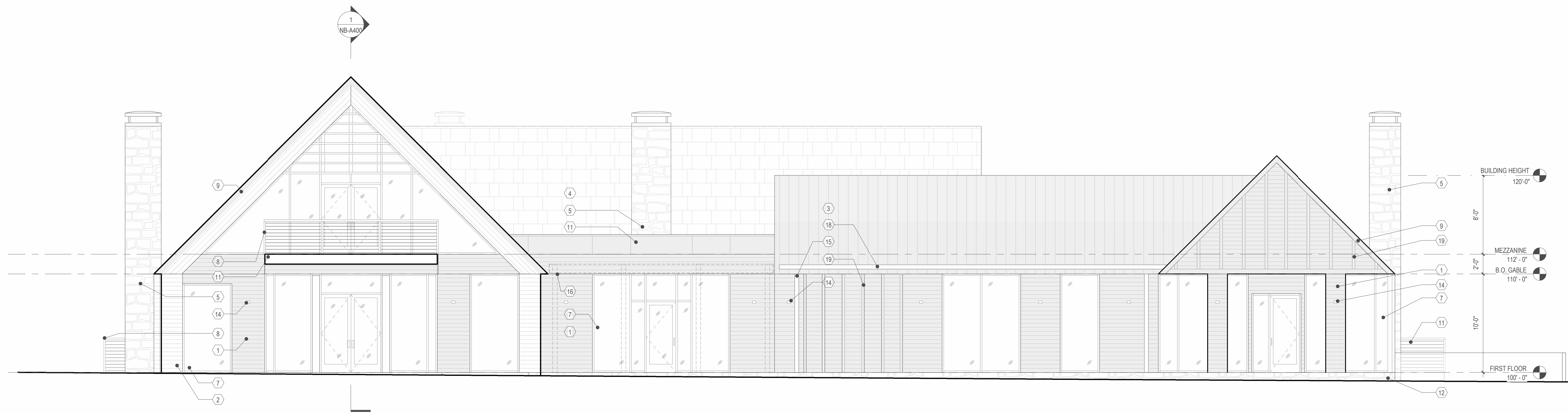
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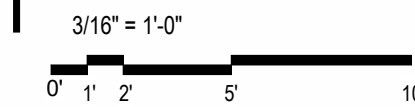
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1 BUILDING ELEVATION - WEST



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BUILDING ELEVATIONS

PROJECT #	23115
DATE	10/10/24
DRAWN BY: SR	REVIEWED BY: JF
SHEET #	

NB-A200

COHATCH RIVERVIEW

ELEVATION CODED NOTES

- 1 STAINED WOOD SIDING, DARK GRAY
- 2 STAINED WOOD SIDING, MEDIUM GRAY TO MATCH EXISTING COHATCH
- 3 STANDING SEAM METAL ROOF DMI DARK BRONZE
- 4 CLASSIC METAL ROOFING SYSTEMS OXFORD SHINGLE, VERMONT SLATE
- 5 CHIMNEY W/ RUSTICATED LIMESTONE VENEER
- 6 EXISTING STONE RUIN TO REMAIN
- 7 ALUMINUM STOREFRONT ASSEMBLY, DARK BRONZE FINISH
- 8 STEEL GUARDRAIL W/ DARK BRONZE FINISH
- 9 WOOD FASCIA, DARK GRAY
- 10 PIER W/ CONCRETE FORMLINER 2/353 TARN OR EQUIV.
- 11 METAL SIDING PANEL W/ DARK BRONZE FINISH
- 12 US FORMLINER CONCRETE FORMLINER 2/353 TARN OR EQUIV.
- 13 LED RAILING LIGHT
- 14 EXTERIOR WALL SCONCE LIGMAN GINO 2 DOWNLIGHT
- 15 FORMED MTL BOX DOWNSPOUT RECESSED IN WALL TO FLUSH W/ FINISH FACE
- 16 WOOD PERGOLA
- 17 DECORATIVE WOOD LOUVERS W/ MEDIUM GRAY STAIN OVER TUBE STEEL FRAME W/ DARK BRONZE FINISH
- 18 CONCEALED GUTTER
- 19 2X4 WOOD TRIM, DARK GRAY
- 20 MECHANICAL TRASH ENCLOSURE
- 21 CAST STONE BAND
- 22 LIMESTONE VENEER OVER EXTERIOR WALL

COHATCH RIVERVIEW

N. RIVERVIEW STREET
DUBLIN, OH 43017



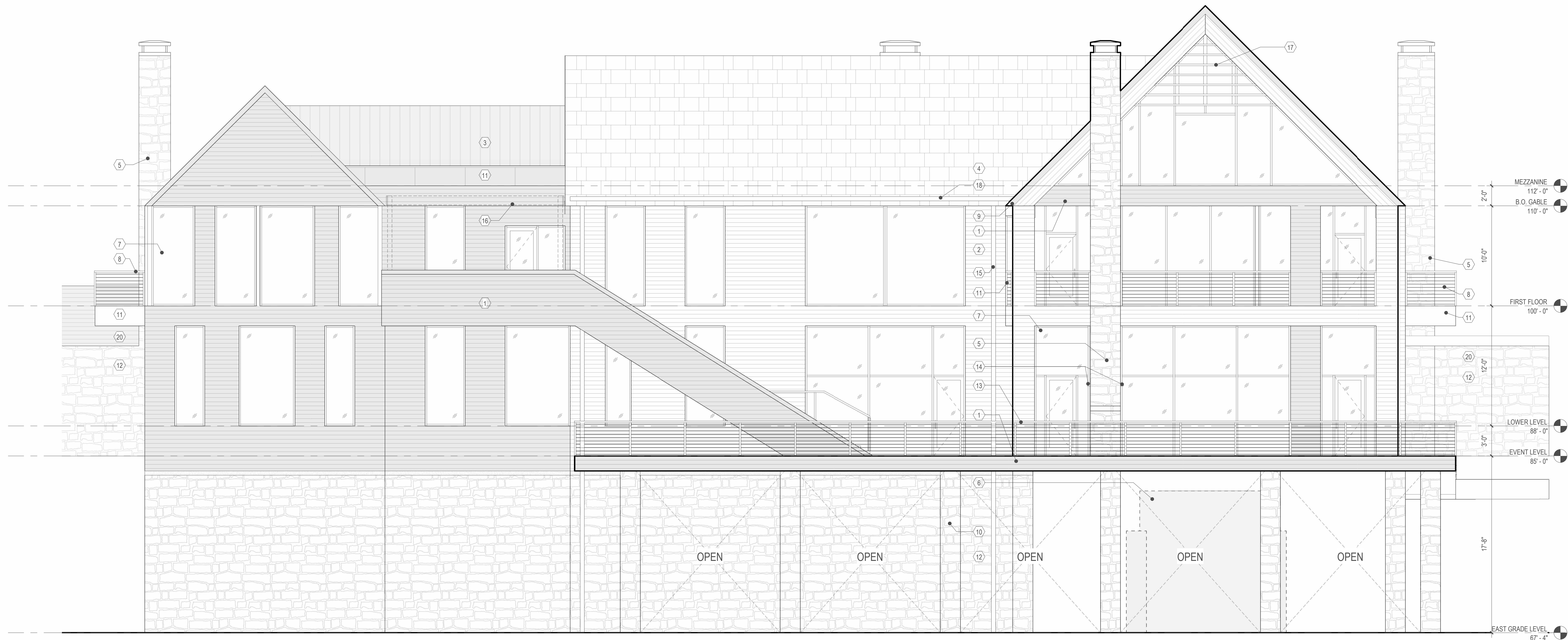
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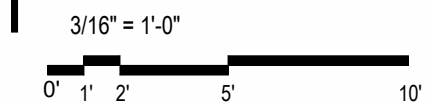
BUILDING
ELEVATIONS

PROJECT #	23115
DATE	10/10/24
DRAWN BY: SR	REVIEWED BY: JF
SHEET #	

NB-A201

COHATCH RIVERVIEW

1 BUILDING ELEVATION - EAST



ELEVATION CODED NOTES

- 1 STAINED WOOD SIDING, DARK GRAY
- 2 STAINED WOOD SIDING, MEDIUM GRAY TO MATCH EXISTING COHATCH
- 3 STANDING SEAM METAL ROOF DMI DARK BRONZE
- 4 CLASSIC METAL ROOFING SYSTEMS OXFORD SHINGLE, VERMONT SLATE
- 5 CHIMNEY W/ RUSTICATED LIMESTONE VENEER
- 6 EXISTING STONE RUIN TO REMAIN
- 7 ALUMINUM STOREFRONT ASSEMBLY, DARK BRONZE FINISH
- 8 STEEL GUARDRAIL W/ DARK BRONZE FINISH
- 9 WOOD FASCIA, DARK GRAY
- 10 PIER W/ CONCRETE FORMLINER 2/353 TARN OR EQUIV.
- 11 METAL SIDING PANEL W/ DARK BRONZE FINISH
- 12 US FORMLINER CONCRETE FORMLINER 2/353 TARN OR EQUIV.
- 13 LED RAILING LIGHT
- 14 EXTERIOR WALL SCONCE LIGMAN GINO 2 DOWNLIGHT
- 15 FORMED MTL BOX DOWNSPOUT RECESSED IN WALL TO FLUSH W/ FINISH FACE
- 16 WOOD PERGOLA
- 17 DECORATIVE WOOD LOUVERS W/ MEDIUM GRAY STAIN OVER TUBE STEEL FRAME W/ DARK BRONZE FINISH
- 18 CONCEALED GUTTER
- 19 2X4 WOOD TRIM, DARK GRAY
- 20 MECHANICAL TRASH ENCLOSURE
- 21 CAST STONE BAND
- 22 LIMESTONE VENEER OVER EXTERIOR WALL

COHATCH RIVERVIEW

N. RIVERVIEW STREET
DUBLIN, OH 43017



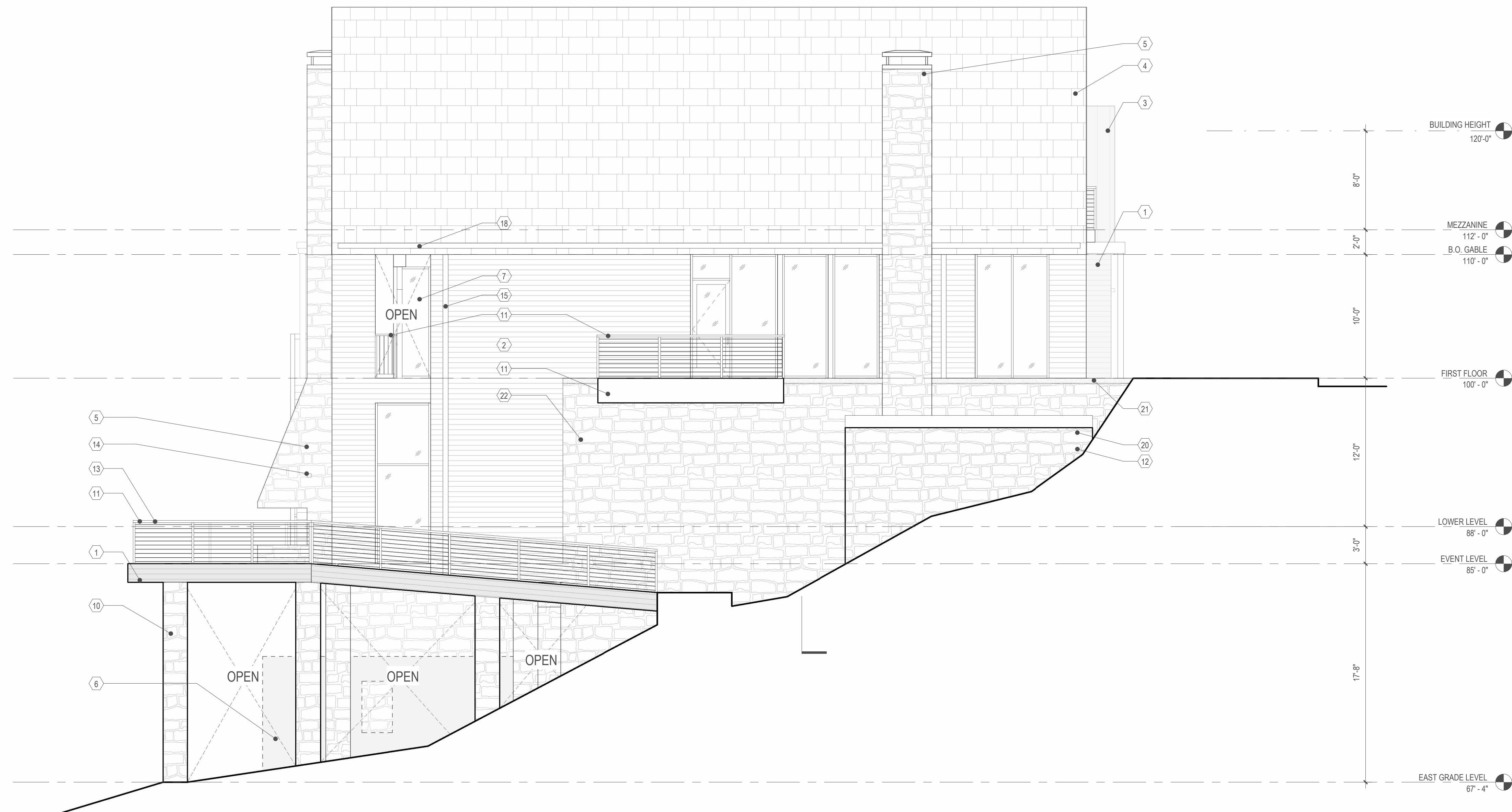
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**BUILDING
ELEVATIONS**

PROJECT #	23115
DATE	10/10/24
DRAWN BY: SR	REVIEWED BY: JF
SHEET #	

NB-A202

COHATCH RIVERVIEW

1 BUILDING ELEVATION - NORTH
3/16" = 1'-0"

ELEVATION CODED NOTES

- 1 STAINED WOOD SIDING, DARK GRAY
- 2 STAINED WOOD SIDING, MEDIUM GRAY TO MATCH EXISTING COHATCH
- 3 STANDING SEAM METAL ROOF DMI DARK BRONZE
- 4 CLASSIC METAL ROOFING SYSTEMS OXFORD SHINGLE, VERMONT SLATE
- 5 CHIMNEY W/ RUSTICATED LIMESTONE VENEER
- 6 EXISTING STONE RUIN TO REMAIN
- 7 ALUMINUM STOREFRONT ASSEMBLY, DARK BRONZE FINISH
- 8 STEEL GUARDRAIL W/ DARK BRONZE FINISH
- 9 WOOD FASCIA, DARK GRAY
- 10 PIER W/ CONCRETE FORMLINER 2/353 TARN OR EQUIV.
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- 12 US FORMLINER CONCRETE FORMLINER 2/353 TARN OR EQUIV.
- 13 LED RAILING LIGHT
- 14 EXTERIOR WALL SCOSCE LIGMAN GINO 2 DOWNLIGHT
- 15 FORMED MTL BOX DOWNSPOUT RECESSED IN WALL TO FLUSH W/ FINISH FACE
- 16 WOOD PERGOLA
- 17 DECORATIVE WOOD LOUVERS W/ MEDIUM GRAY STAIN OVER TUBE STEEL FRAME W/ DARK BRONZE FINISH
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- 19 2X4 WOOD TRIM, DARK GRAY
- 20 MECHANICAL TRASH ENCLOSURE
- 21 CAST STONE BAND
- 22 LIMESTONE VENEER OVER EXTERIOR WALL

COHATCH RIVERVIEW

N. RIVERVIEW STREET
DUBLIN, OH 43017



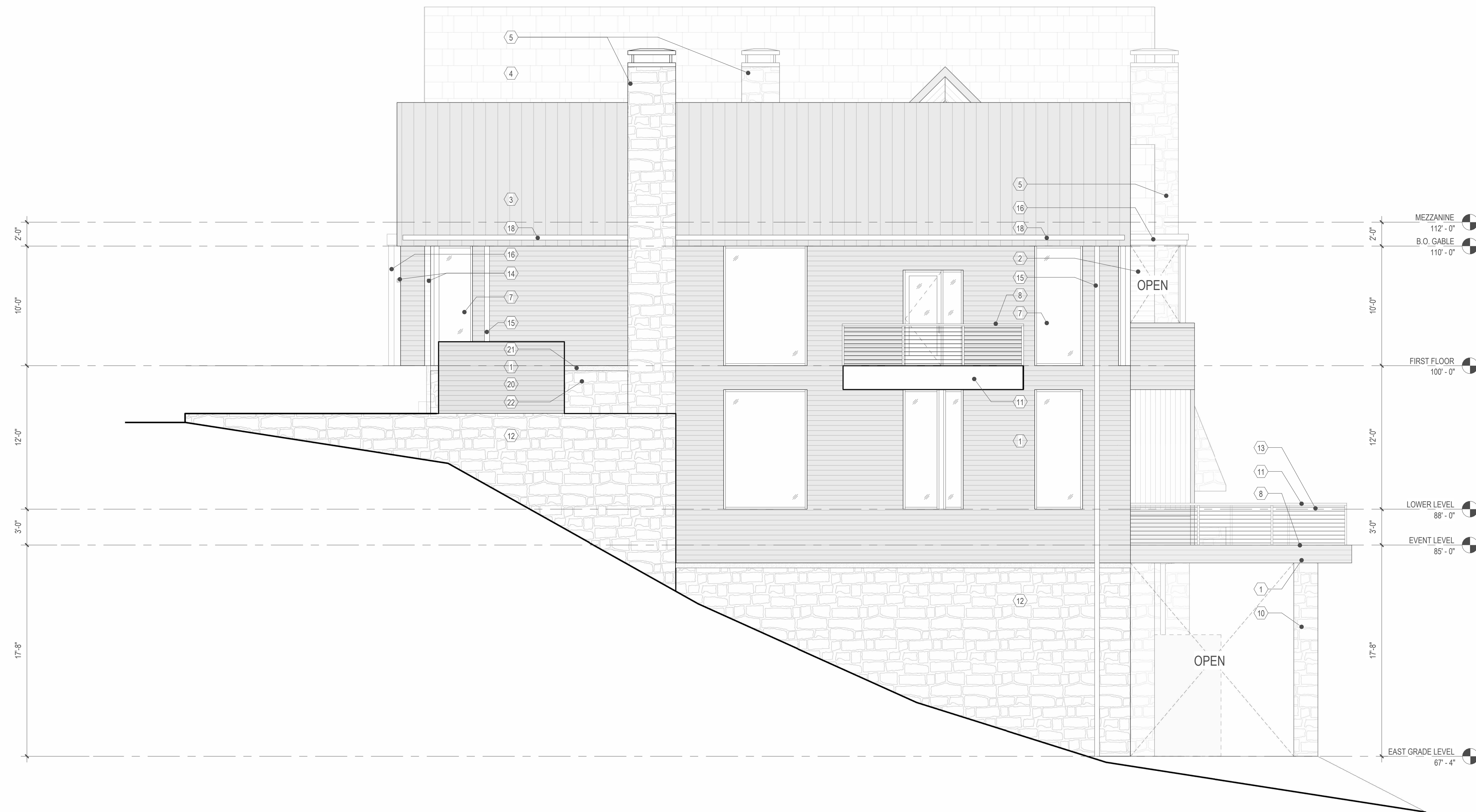
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PRELIMINARY DOCUMENTS
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**BUILDING
ELEVATIONS**

PROJECT #	23115
DATE	10/10/24
DRAWN BY: SR	REVIEWED BY: JF
SHEET #	

NB-A203

COHATCH RIVERVIEW

1 BUILDING ELEVATION - SOUTH
3/16" = 1'-0"

COHATCH RIVERVIEW

N. RIVERVIEW STREET
DUBLIN, OH 43017

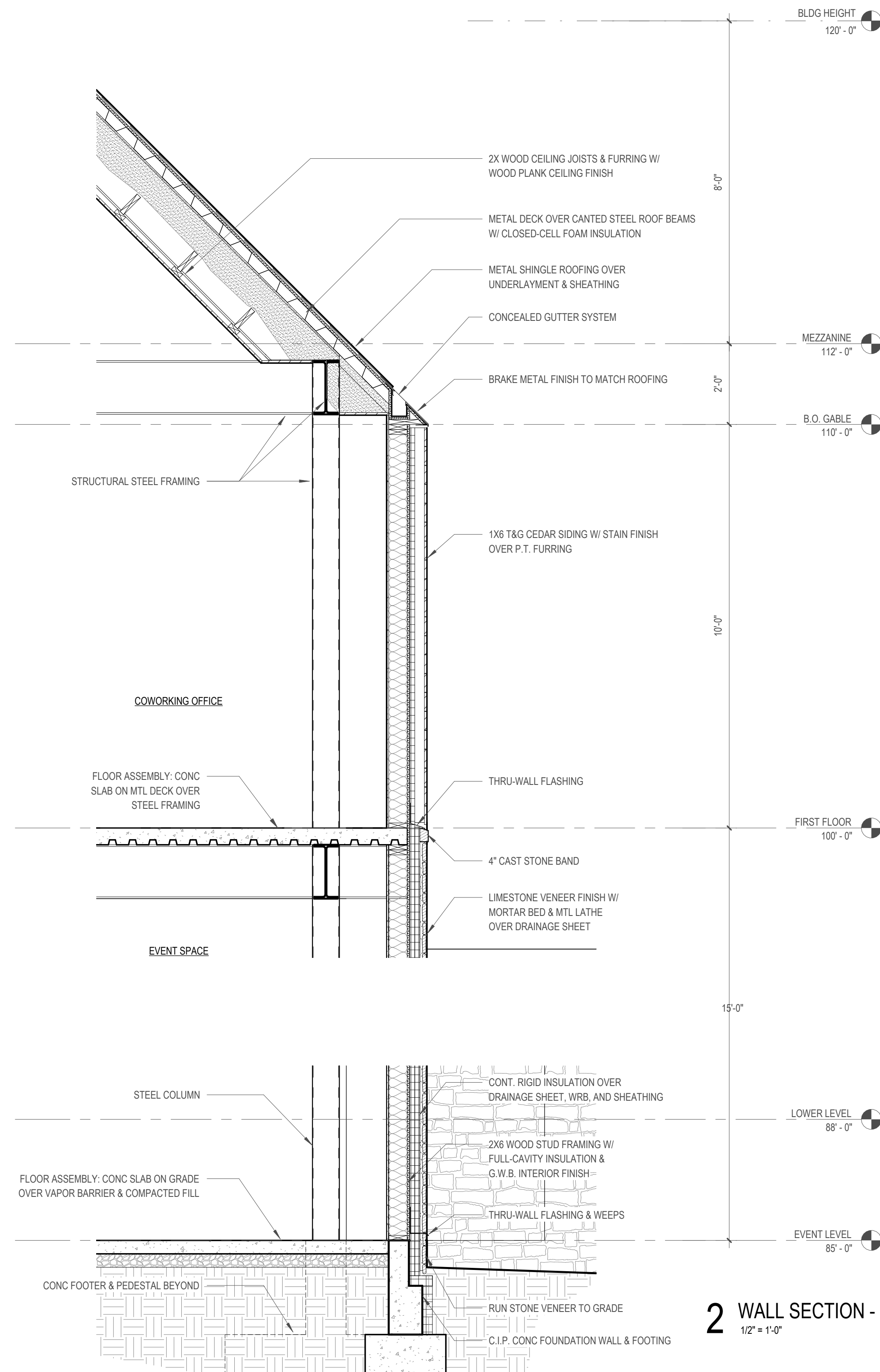


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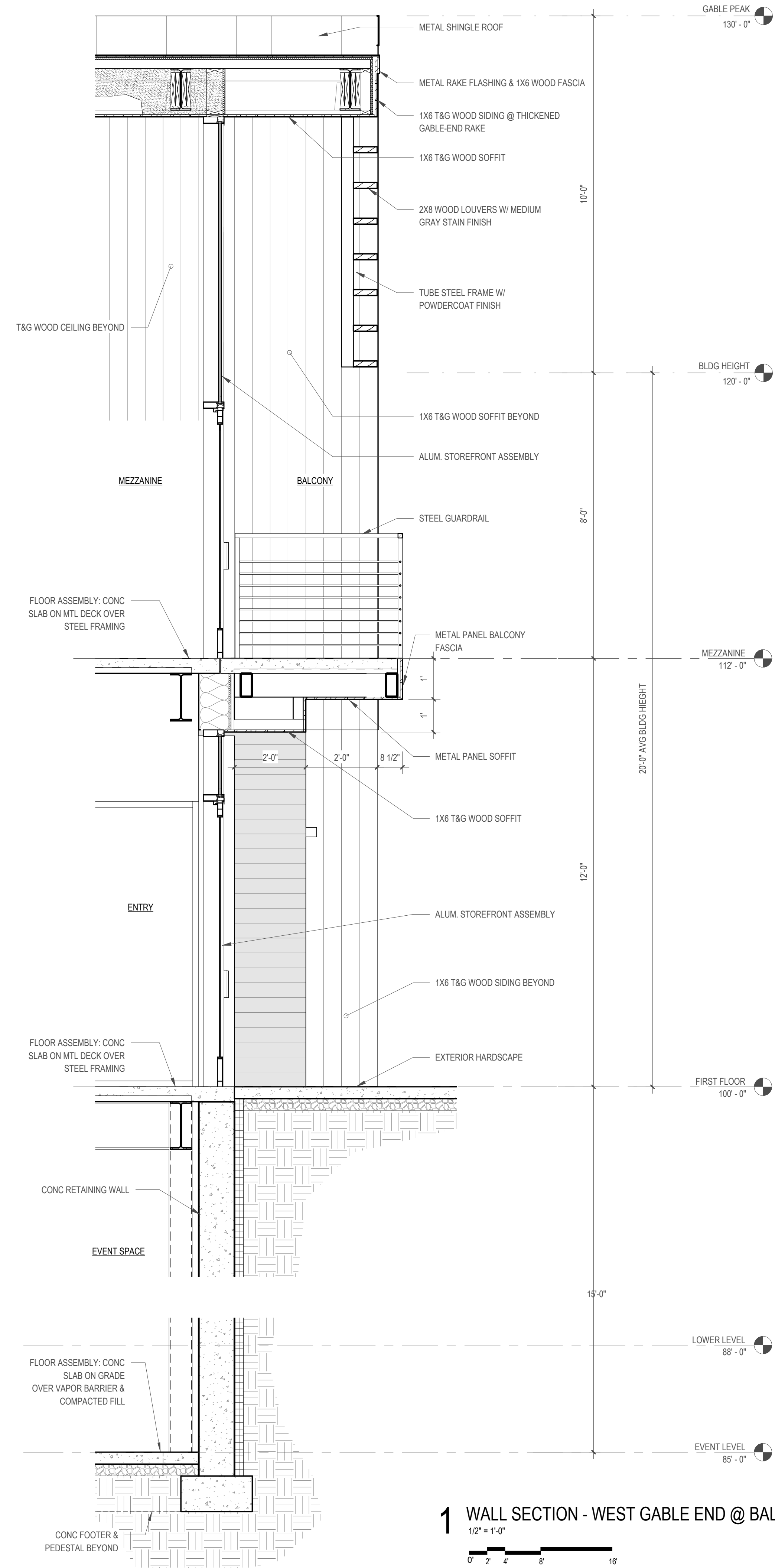
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2 WALL SECTION - NORTH EAVE
1/2" = 1'-0"



1 WALL SECTION - WEST GABLE END @ BALCONY
1/2" = 1'-0"

PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

NEW BUILD DETAILS

PROJECT # 23115

DATE 10/10/24

DRAWN BY: JF REVIEWED BY: JF

SHEET #

NB-A400

COHATCH RIVERVIEW

COHATCH RIVERVIEW

N. RIVERVIEW STREET
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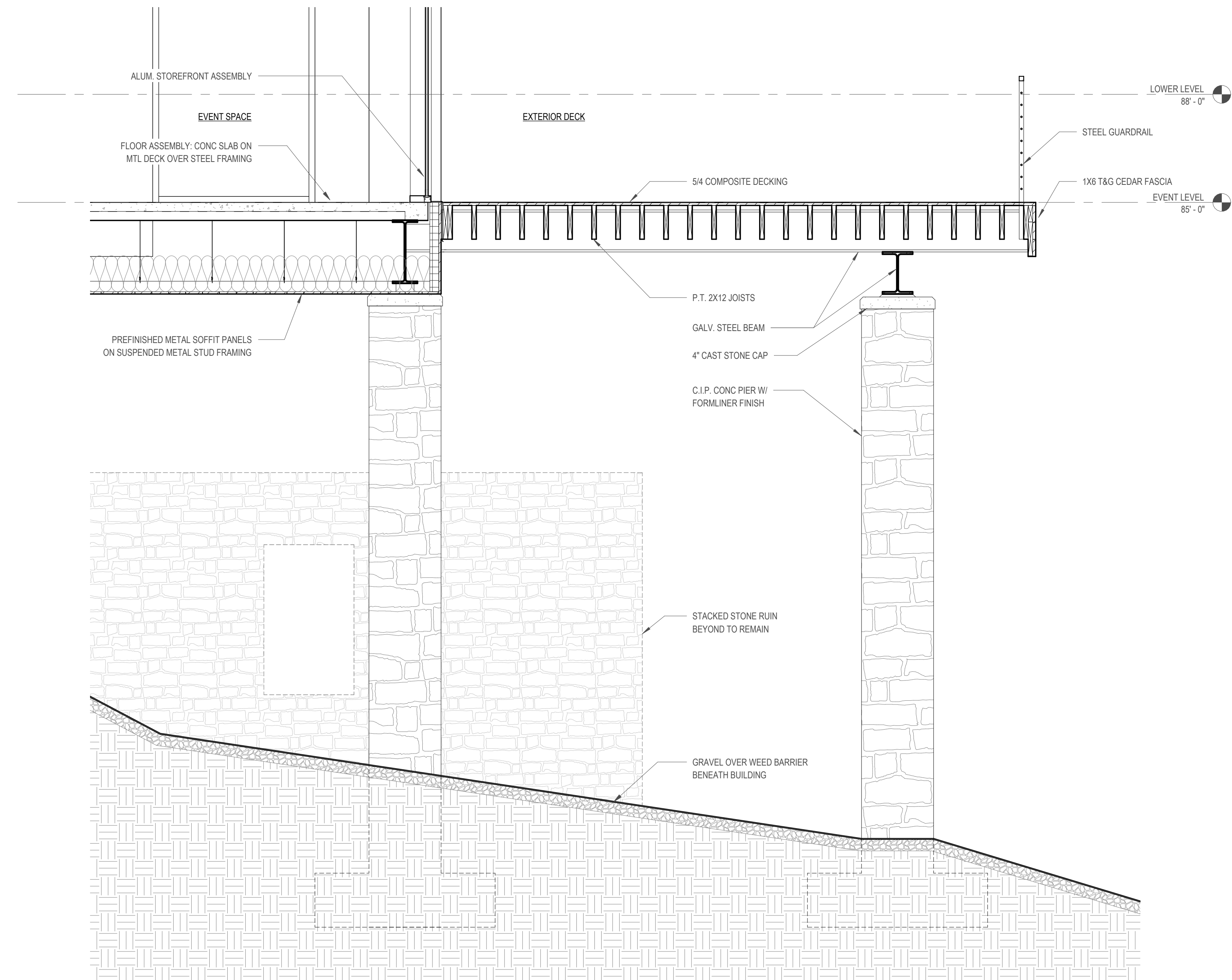
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1 PARTIAL WALL SECTION - EAST DECK @ RUIN
1/2" = 1'-0"



PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

NEW BUILD DETAILS

PROJECT # 23115

DATE 10/10/24

DRAWN BY: JF REVIEWED BY: JF

SHEET #

NB-A401

COHATCH RIVERVIEW