

# Louis Rings Residence

EXTERIOR BUILDING ENVELOPE IMPROVEMENTS

6665 Shier Rings Road  
Dublin, Ohio 43016



PREPARED FOR:  
City of Dublin  
6555 Shier Rings Road  
Dublin, Ohio 43016

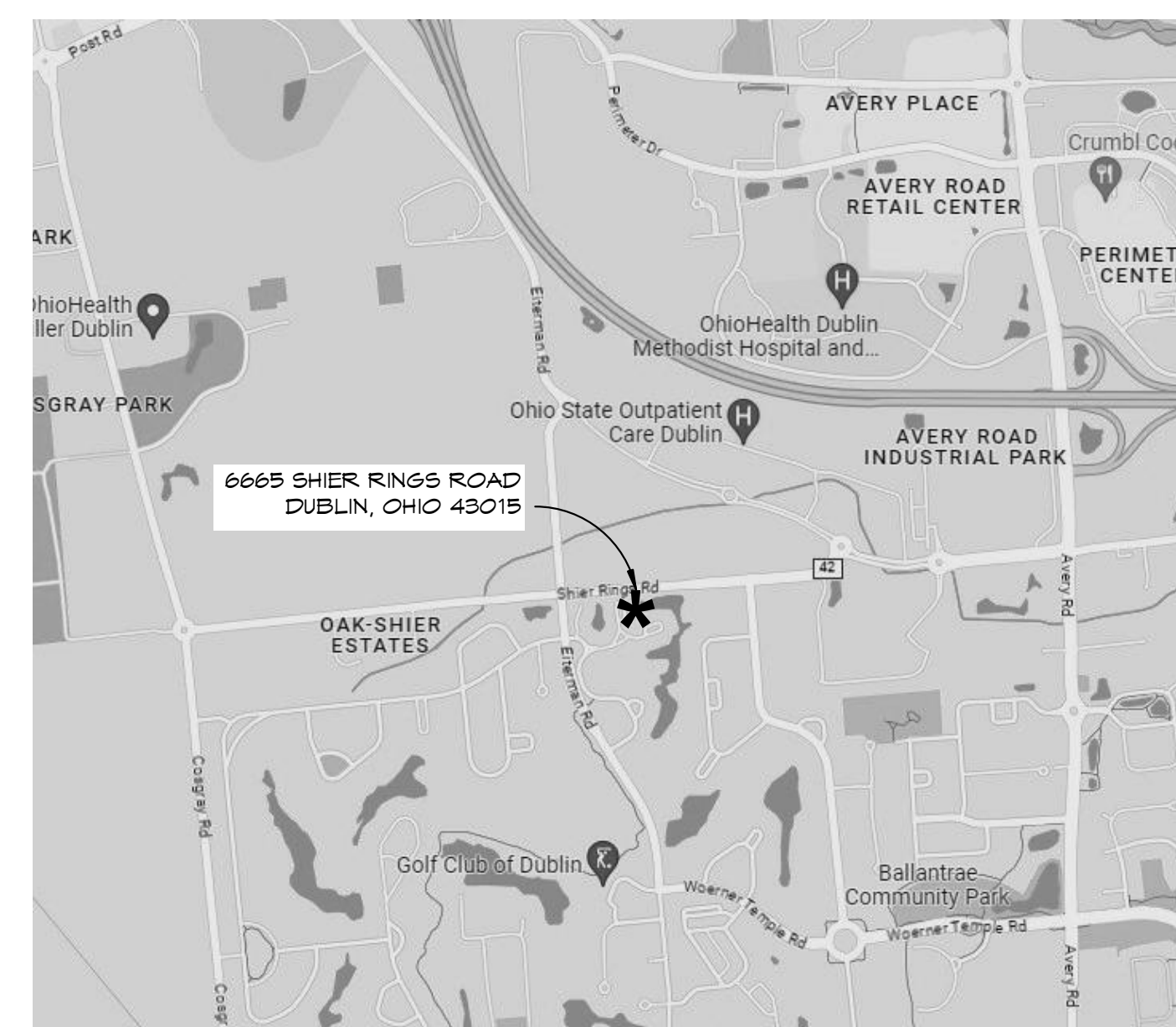
PERMIT DOCUMENTS 8/30/2024



## GENERAL PROJECT NOTES

- DRAWINGS ARE INTENDED TO GRAPHICALLY DEPICT THE GENERAL REQUIREMENTS FOR THE SCOPE OF WORK REQUIRED TO COMPLETE THE PROJECT. THEY DO NOT SHOW OR IDENTIFY EACH AND EVERY COMPONENT, MATERIAL, ITEM, OR INSTALLATION METHOD NECESSARY TO MEET MANUFACTURERS' OR REGULATORY REQUIREMENTS.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, SEQUENCING, AND SAFETY REQUIREMENTS FOR THE PROJECT. CONTRACTOR, SUBCONTRACTOR, LABORER, OR OTHER PERSON PERFORMING WORK ON THE PROJECT SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE WORKPLACE AND CONSTRUCTION SAFETY REGULATIONS PROMULGATED BY FEDERAL, STATE, AND LOCAL AUTHORITIES, INCLUDING BUT NOT LIMITED TO: U.S. DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA), THE INDUSTRIAL COMMISSION OF THE STATE OF OHIO OR OTHER INDUSTRY REQUIREMENTS APPLICABLE TO CONSTRUCTION SITES AND SAFETY. THE GENERAL TRADES CONTRACTOR IS SOLELY RESPONSIBLE FOR ASSURING THAT SITE SPECIFIC SAFETY REQUIREMENTS ARE DOCUMENTED AND DISSEMINATED TO ALL PARTIES AND SHALL MAINTAIN ALL REQUIRED RECORDS, FORMS, MANUALS, RULES, OR OTHER DOCUMENTS AT THE SITE.
- CONTRACTOR AND/OR THE APPLICABLE TRADE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION OF ALL UNDERGROUND UTILITIES, PUBLIC OR PRIVATE, IN THE AREAS OF WORK PRIOR TO THE START OF WORK. IT IS THE RESPONSIBILITY OF EACH CONTRACTOR, PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES WITHIN THE AREA OF WORK, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR IS TO NOTIFY THE OHIO UTILITIES PROTECTION SERVICE AT 800/362-2164 AND ALL LOCAL UTILITY COMPANIES BEFORE STARTING WORK. UTILITY PERSONNEL TO TAG ALL LINES ASSOCIATED WITH THEIR SERVICE. ALL UTILITIES SHALL BE PROTECTED FROM DAMAGE DURING THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING ALL DAMAGED KNOWN UTILITIES AFFECTED BY THE CONSTRUCTION PROCESS TO MATCH EXISTING AT NO COST TO THE OWNER.
- FACILITY TO REMAIN OPERATIONAL BY OWNER DURING CONSTRUCTION.
- DO NOT SCALE DRAWINGS. IF ANY DISCREPANCY IS FOUND OR ANY INFORMATION OR CLARIFICATION IS NEEDED WHICH CANNOT BE REASONABLY DETERMINED BY THE CONSTRUCTION DOCUMENTS, CONTACT THE ARCHITECT FOR RESOLUTION. IN CASE OF DISCREPANCY REGARDING THE QUANTITY OR QUALITY, THE HIGHER QUALITY OR GREATER QUANTITY SHALL BE PROVIDED.
- REFER TO THE PROJECT GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION FOR ADDITIONAL REQUIREMENTS FOR COMPLETION AND ADMINISTRATION OF THE PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK. DISCREPANCIES EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS THAT CAUSE MINOR RELOCATIONS IN THE FIELD WILL NOT BE CAUSE FOR ADDITIONAL PAYMENT.
- CONTRACTOR IS TO TAKE PRECAUTIONS TO PROTECT THE EXISTING SITE IMPROVEMENTS SUCH AS LAWNS, LANDSCAPING, ETC. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING AND/OR REPLACING DAMAGED IMPROVEMENTS RESULTING FROM THE CONSTRUCTION PROCESS. REPAIRED OR REPLACED IMPROVEMENTS SHALL MATCH THE EXISTING AND REPAIR OR REPLACEMENT OF SUCH DAMAGED MATERIALS SHALL BE AT NOT COST TO THE OWNER.
- CONTRACTOR SHALL DAILY CLEAN UP ALL TRASH AND DEBRIS, AND PLACE IN PROPER CONTAINERS ON THE SITE DURING CONSTRUCTION WORK.

## MAPS



BUILDING INDICATED BY \*

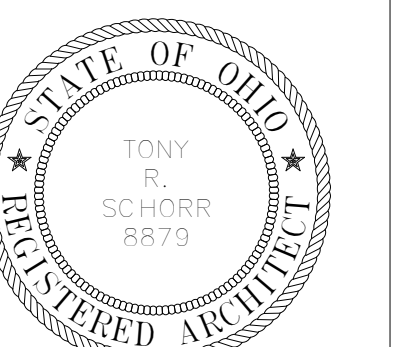
## LOCATION MAP

N.T.S.

## DRAWING INDEX

- TITLE SHEET
- SP1 SITE PLAN AND BUILDING CODE DATA.
- D1 FLOOR PLANS AND ELEVATIONS - DEMOLITION
- A1 FLOOR PLANS
- A2 ELEVATIONS AND DOOR SCHEDULE
- A3 NEW WALL SECTION AND DETAILS

ARCHITECT:  
SCHORR ARCHITECTS, INC.  
230 BRADENTON AVE.  
DUBLIN, OH 43017  
OFFICE: (614) 798-2096 FAX: (614) 798-2097



TONY R. SCHORR, LICENSE #8879  
EXPIRATION DATE 12/31/2025  
SIGNED *Tony R. Schorr* 8/30/2024  
DATE

DESIGN OCCUPANT LOAD (TABLE 1004.1.1)

FLOOR DESIGNATION	ROOM NUM.	ROOM NAME	AREA	AREA/OCC.	OCCUPANT LOAD	OCCUPANCY TYPE
FIRST FLOOR	01	VESTIBULE	88 SF	100 (GROSS)	1	
FIRST FLOOR	02	RECEPTION	209 SF	100 (GROSS)	2	
FIRST FLOOR	03	CLOSET	30 SF			
FIRST FLOOR	04	OFFICE	234 SF	100 (GROSS)	2	
FIRST FLOOR	05	OFFICE	241 SF	100 (GROSS)	3	
FIRST FLOOR	06	KITCHEN	205 SF	200 (GROSS)	1	
FIRST FLOOR	07	LAUNDRY RM.	71 SF			
FIRST FLOOR	08	RESTROOM	44 SF			
FIRST FLOOR	09	CLOSET	26 SF	300 (GROSS)	1	
FIRST FLOOR	20	VESTIBULE	125 SF	100 (GROSS)	1	
SECOND FLOOR	21	OFFICE	142 SF	100 (GROSS)	1	
SECOND FLOOR	22	OFFICE	185 SF	100 (GROSS)	2	
SECOND FLOOR	23	STORAGE	112 SF	300 (300)	1	
SECOND FLOOR	24	OFFICE	272 SF	100 (GROSS)	2	
Grand total					17	

**BUILDING CODE DATA**

THE PROJECT IS A EXTERIOR BUILDING ENVELOPE IMPROVEMENTS.

- \* BUILDING CODE: 2024 OHIO BUILDING CODE (OBC), WITH UPDATES
- \* PLUMBING CODE: 2024 OHIO PLUMBING CODE, WITH UPDATES
- \* MECHANICAL CODE: 2024 OHIO MECHANICAL CODE, WITH UPDATES
- \* ELECTRICAL CODE: 2024 NATIONAL ELECTRICAL CODE (NEC) - NFPA 70
- \* FIRE CODE: 2024 OHIO FIRE CODE
- \* ACCESSIBILITY CODE: ICC/ANSI A117.1:2017

- FIRE RESISTANCE RATED CONSTRUCTION
- \* CONSTRUCTION TYPE V-B
  - \* STRUCTURE FIRE RATING REQUIREMENTS PER TABLE 601
  - STRUCTURAL FRAME: 0 HOURS
  - EXTERIOR BEARING WALLS: 0 HOURS
  - INTERIOR BEARING WALLS: 0 HOURS
  - EXTERIOR NON-BEARING WALLS: 0 HOURS
  - INTERIOR NON-BEARING WALLS: 0 HOURS
  - FLOOR CONSTRUCTION: 0 HOURS
  - ROOF CONSTRUCTION: 0 HOURS

GENERAL HEIGHT AND AREA ALLOWANCES PER TABLE 504.2 (ALL BUILDINGS)

- \* USE GROUP: B
- \* ALLOWABLE HEIGHT AND BUILDING AREAS
- TYPE V-B CONSTRUCTION USE GROUP B: 2 STORIES / 40 FEET AND 9,000 S.F. = A1 (AREA PER TABLE 506.2)
- ACTUAL BUILDING HEIGHT 25'-0" (HIGHEST ROOF PLANE)
- ACTUAL AREA LESS THAN MAX ALLOWABLE
- BUILDING 1ST FLOOR AREA = 1,499 SF
- BUILDING 2ND FLOOR AREA = 1,220 SF
- TOTAL = 2,719 SF

EGRESS CAPACITY

TOTAL SECOND FLOOR OCCUPANCY PER LOAD TABLES, THIS SHEET: 17 OCCUPANTS

TOTAL FIRST FLOOR OCCUPANCY PER LOAD TABLES, THIS SHEET: 10 OCCUPANTS

TOTAL REQUIRED EGRESS LOAD FROM SECOND FLOOR: 17 OCCUPANTS

EGRESS WIDTH REQUIRED FROM SECOND FLOOR (PER 1005.1): 7' 0.2" = 1.4'

EGRESS WIDTH PROVIDED AT STAIRS FROM SECOND FLOOR: 36" MIN.

EGRESS WIDTH REQUIRED FROM FIRST FLOOR (PER 1005.1): 10' 0.2" = 2.0'

EGRESS WIDTH PROVIDED FROM FIRST FLOOR: 60"

EGRESS CAPACITY PROVIDED FROM FIRST FLOOR: 340

ALL EGRESS PROVIDE ACCESSIBLE ROUTE TO PUBLIC WAY: NO

USE GROUP B, NON-SPRINKLERED: CLASS B

VERTICAL EXITS AND EXIT PASSAGEWAYS: CLASS C

EXIT ACCESS CORRIDORS: CLASS C

ROOMS AND ENCLOSED SPACES: CLASS C

**SITE LEGEND**

- PROJECT LIMIT
- PROPERTY LINE
- ⊙ EXISTING TREE TO REMAIN
- ▭ EXISTING DRIVE
- ▭ EXISTING POND



1 SITE PLAN  
1" = 30'-0"

**SITE PLAN AND BUILDING CODE DATA.**

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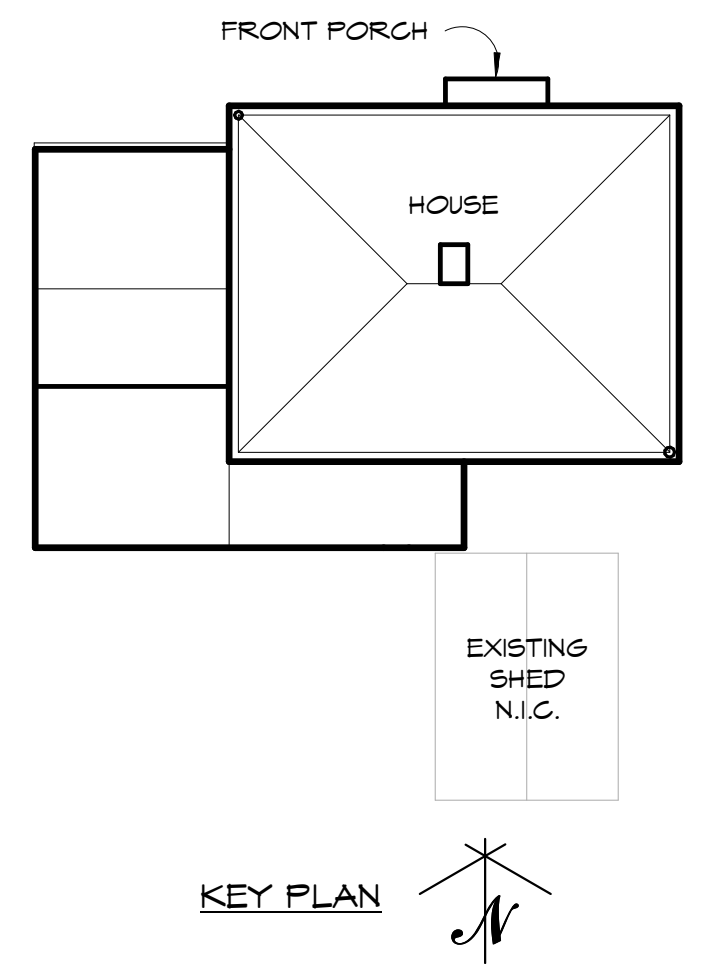
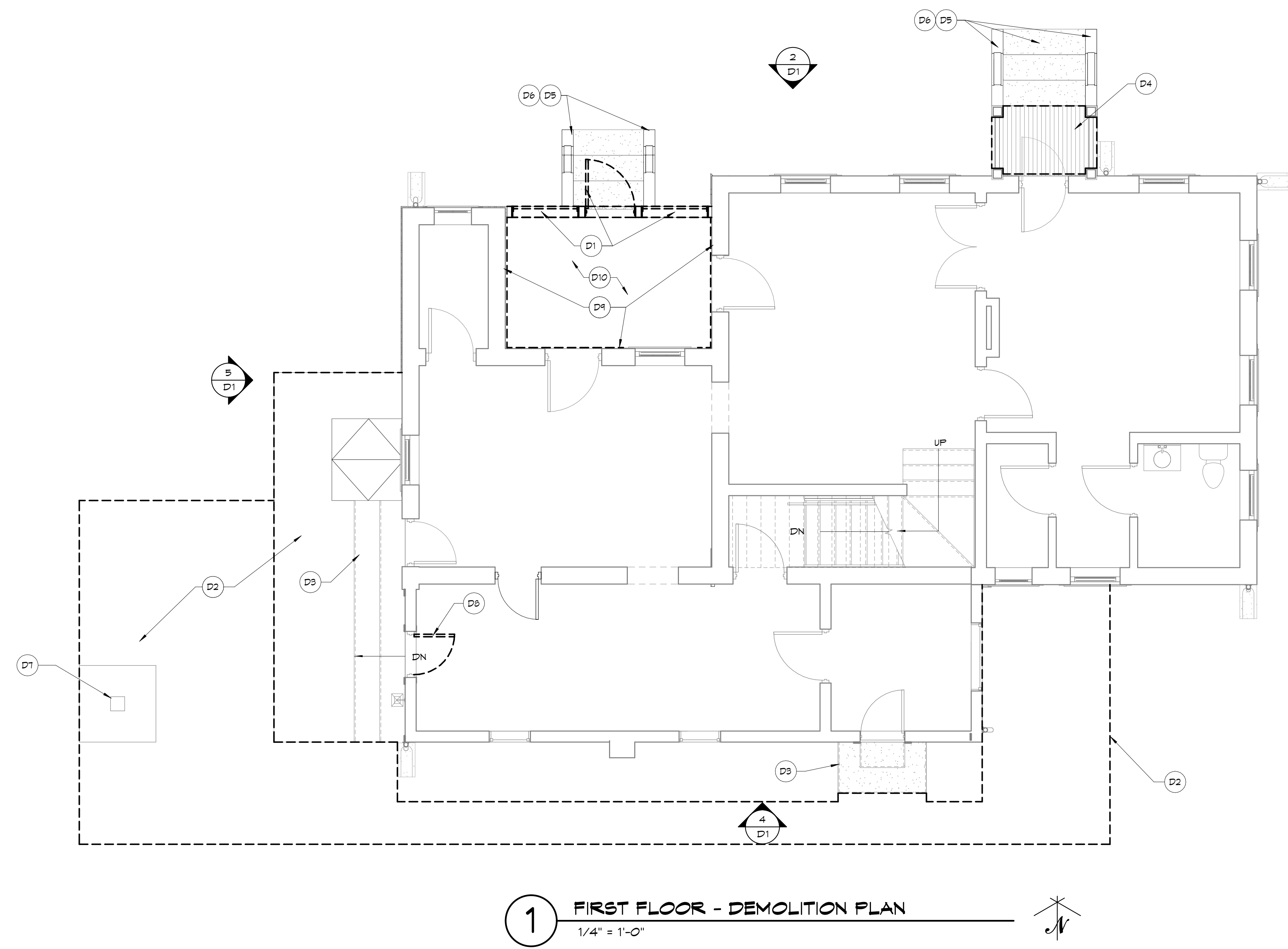
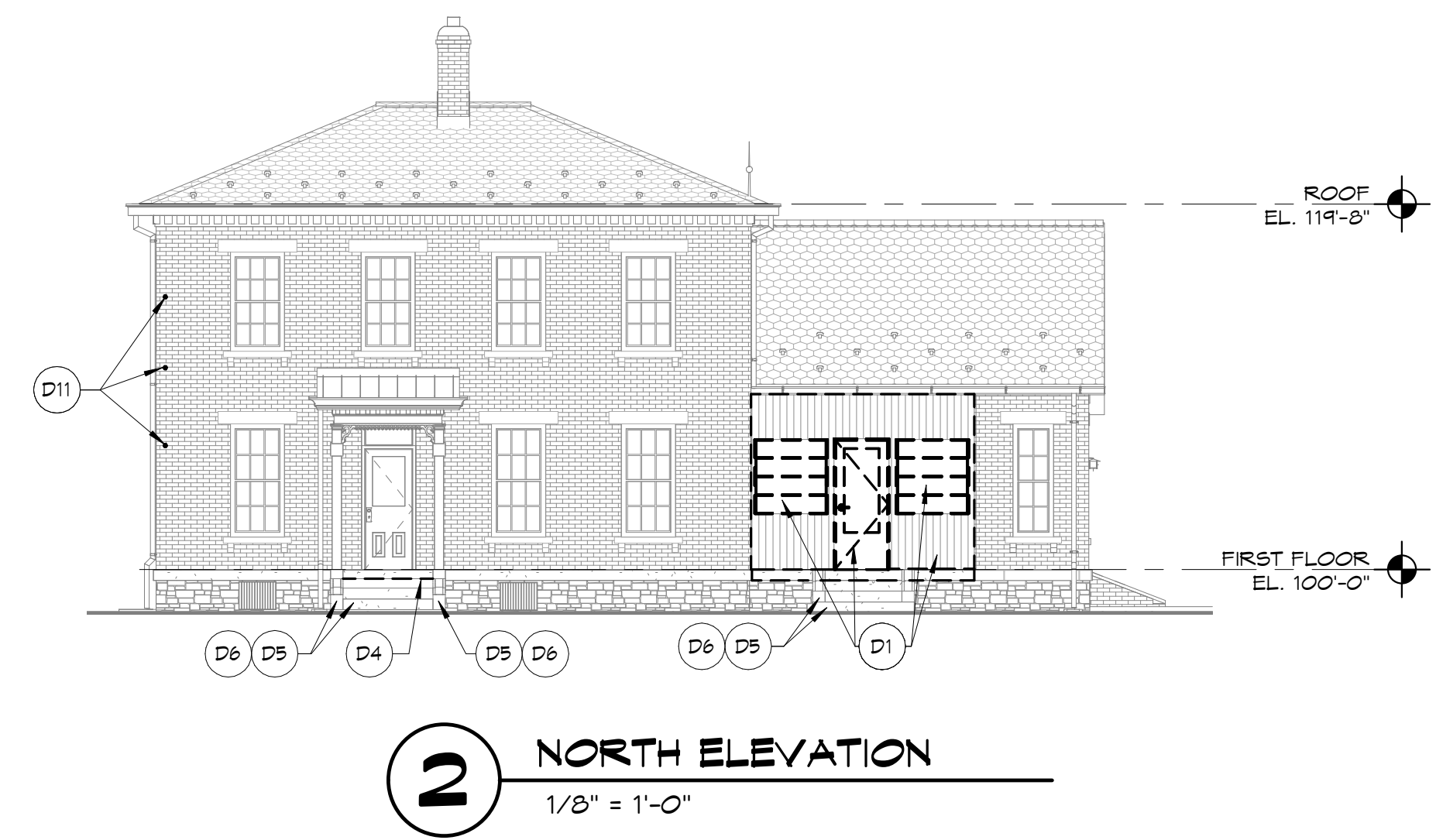
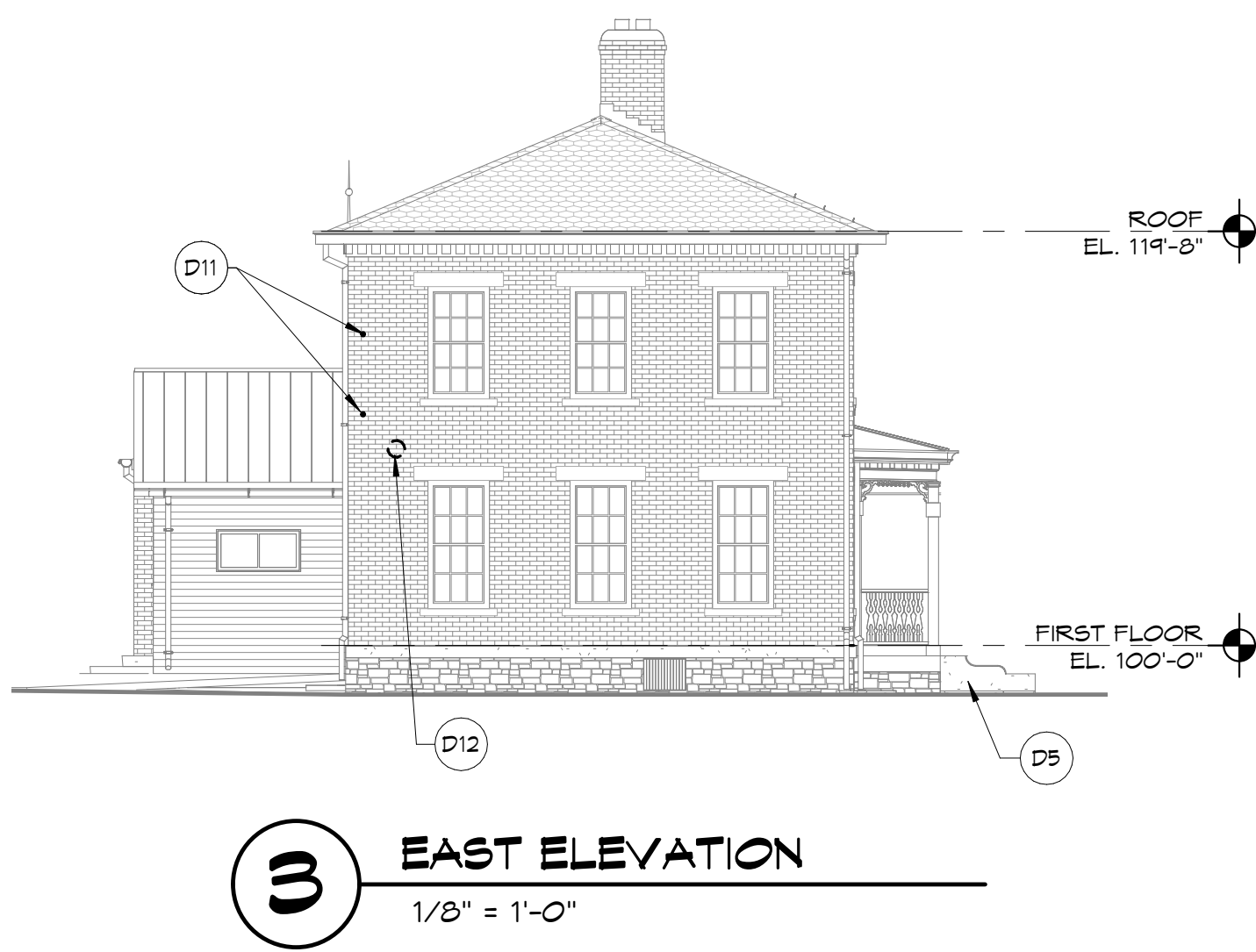
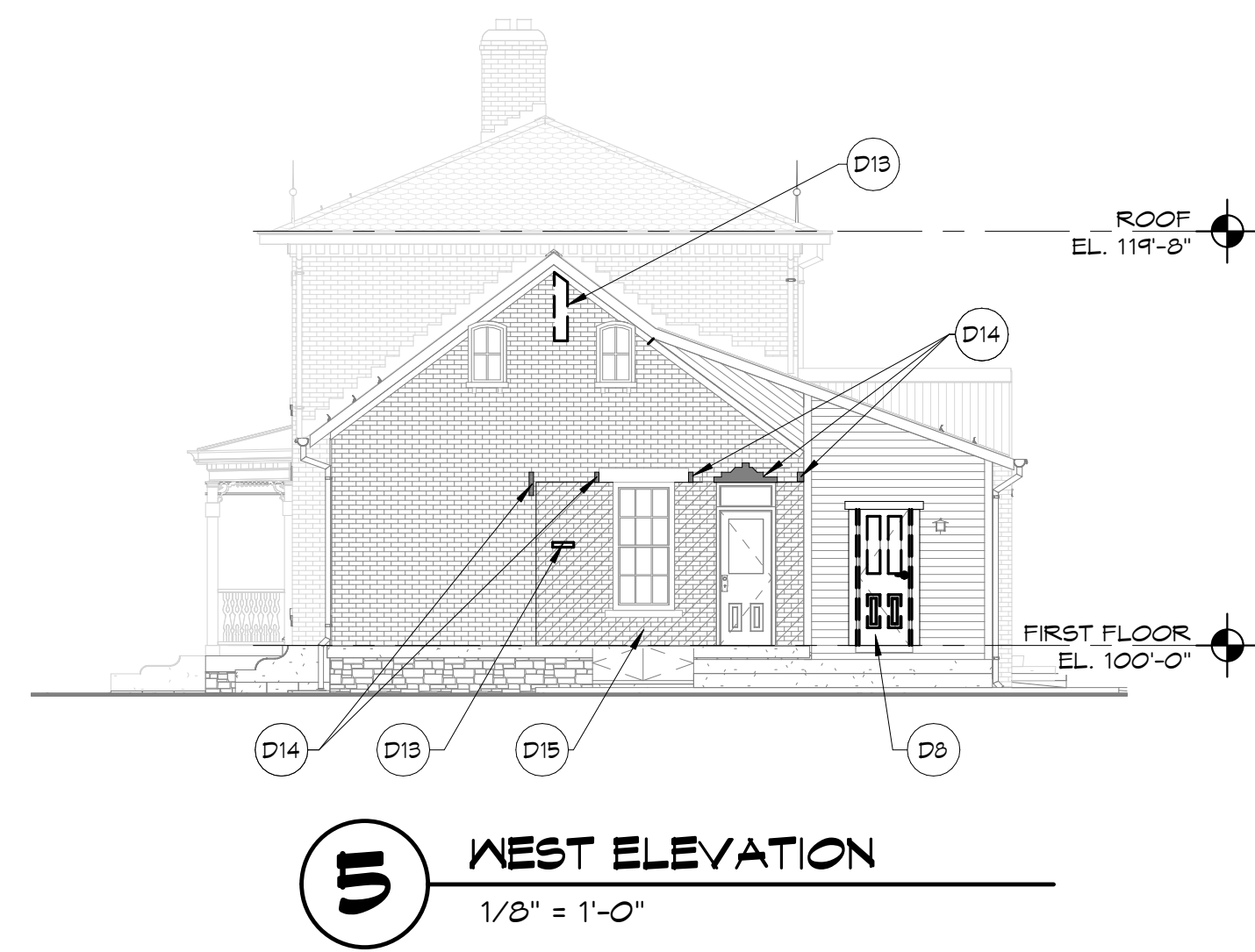
CONSTRUCTION DOCUMENTS 8/16/2023	
PERMIT DOCUMENTS 8/30/2024	
COMM. NO.: 2163	

SP1

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 DATE

**CODING NOTES**

- D1 REMOVE EXISTING WALL AND WINDOWS AND DOOR. REMOVE ROTTEN BOTTOM WOOD BEAM. PROVIDE ROOF SUPPORTS BEFORE WALL DEMOLITION. CLEAN AND PREPARE ALL SURFACES AND EDGES FOR CONSTRUCTION OF THE NEW WALL. REFER TO FLOOR PLAN AND ELEVATIONS SHEETS A1 AND A2.
- D2 REMOVE EXISTING CONCRETE PAD/SIDEWALK.
- D3 EXISTING CONCRETE STEPS TO REMAIN.
- D4 REMOVE EXISTING WOOD PORCH FLOOR DECKING BOARDS.
- D5 ALTERNATE 1 - CAREFULLY REMOVE STONE STAIR AND WALLS. CLEAN STEPS AND WALL STONES AND PREPARE SURFACE FOR RE INSTALLATION. REFER TO FLOOR PLANS.
- D6 ALTERNATE 2 - COMPLETELY REMOVE STONE STAIRS AND WALLS. THE WALLS TO BE REBUILT THE STEPS TO BE REPLACE. REFER TO FLOOR PLANS.
- D7 EXISTING CISTERN TO REMAIN.
- D8 REMOVE EXISTING DOOR. REFER TO ELEVATIONS.
- D9 CHEMICALLY REMOVE ALL EXISTING PAINT ON THE WALLS OF THIS ROOM. FOLLOW EPA RECOMMENDATIONS AND CERTIFIED WORKER FOR REMOVAL OF LEAD PAINT.
- D10 REMOVE EXISTING PLYWOOD FLOOR.
- D11 REMOVE EXISTING LIGHT BASE. PATCH HOLES.
- D12 REMOVE CONCRETE PATCH AND INFILL WITH BRICK TO MATCH EXISTING.
- D13 REMOVE EXISTING WOOD BOARD. PATCH REMAINING HOLES MATCHING BRICK.
- D14 REMOVE THE NECESSARY BRICKS IN ORDER TO ACCOMMODATE AND INFILL EXISTING HOLES WITH BRICK MATCHING EXISTING.
- D15 HATCHED AREA INDICATE EXISTING PAINT TO BE CHEMICALLY REMOVED FROM BRICK. FOLLOW EPA RECOMMENDATIONS AND CERTIFIED WORKER FOR REMOVAL OF LEAD PAINT.



**FLOOR PLANS AND ELEVATIONS - DEMOLITION**

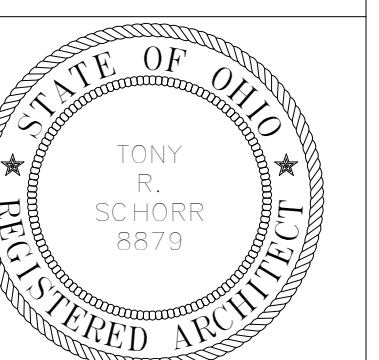
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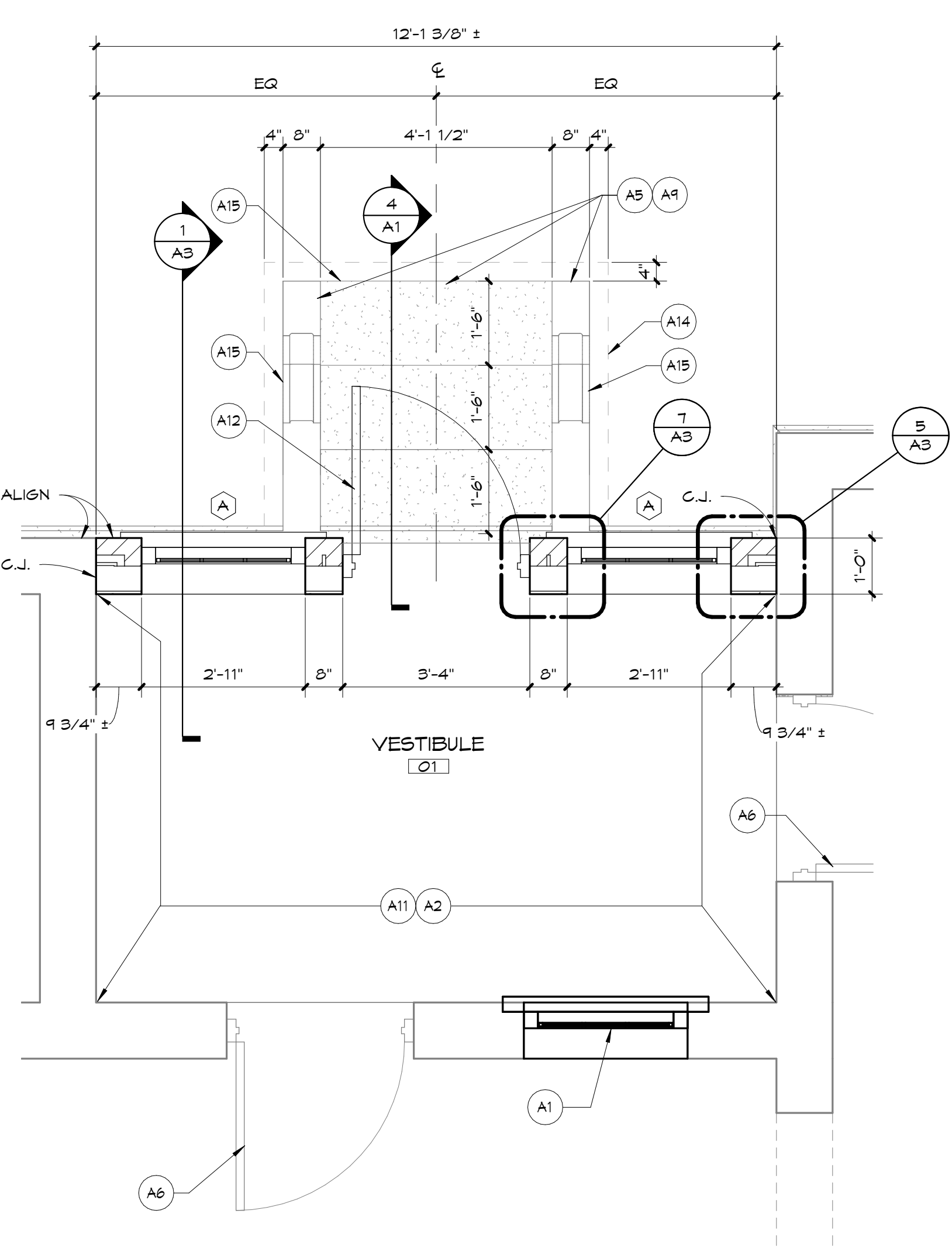
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COMM. NO.: 2163

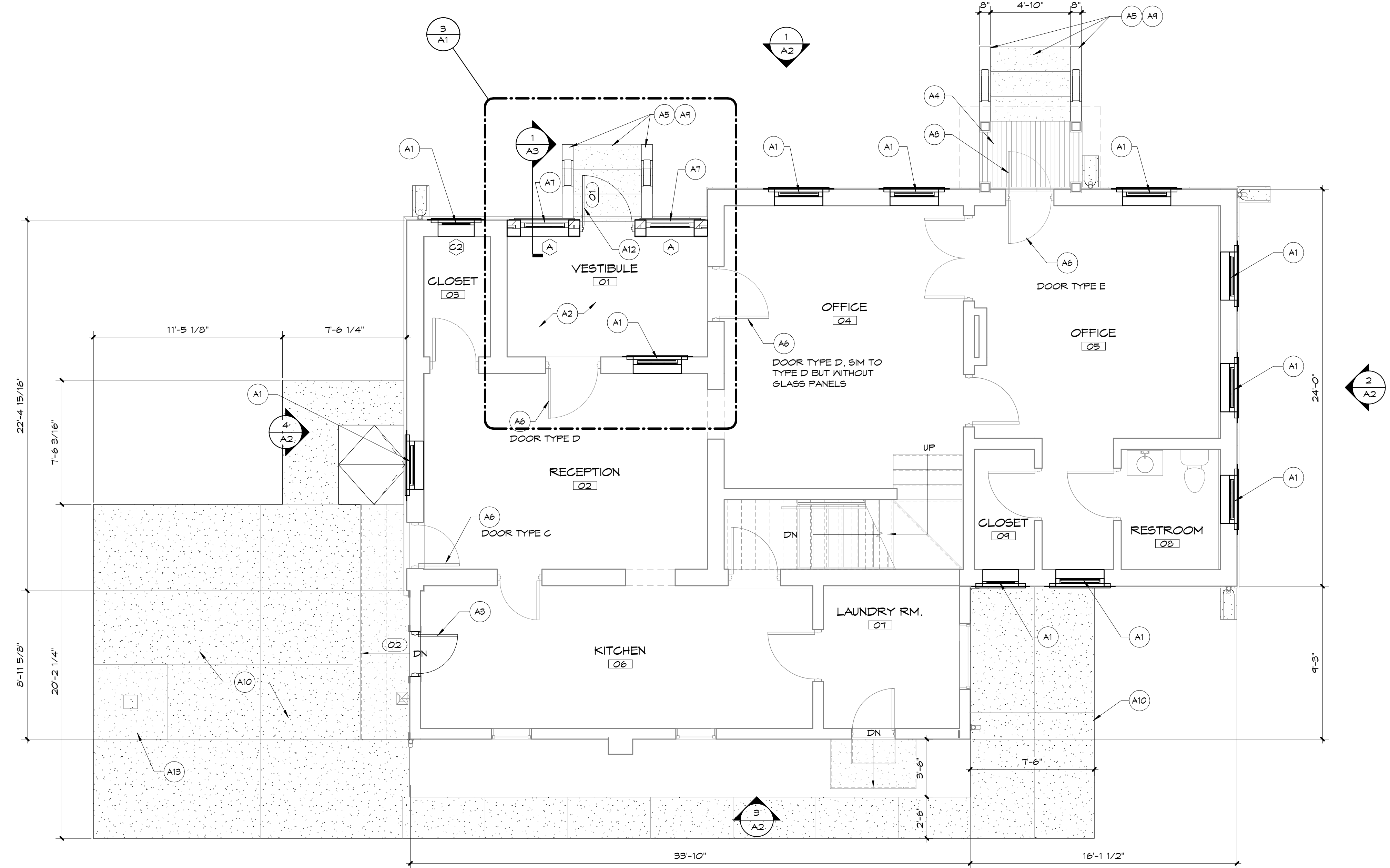


**D1**

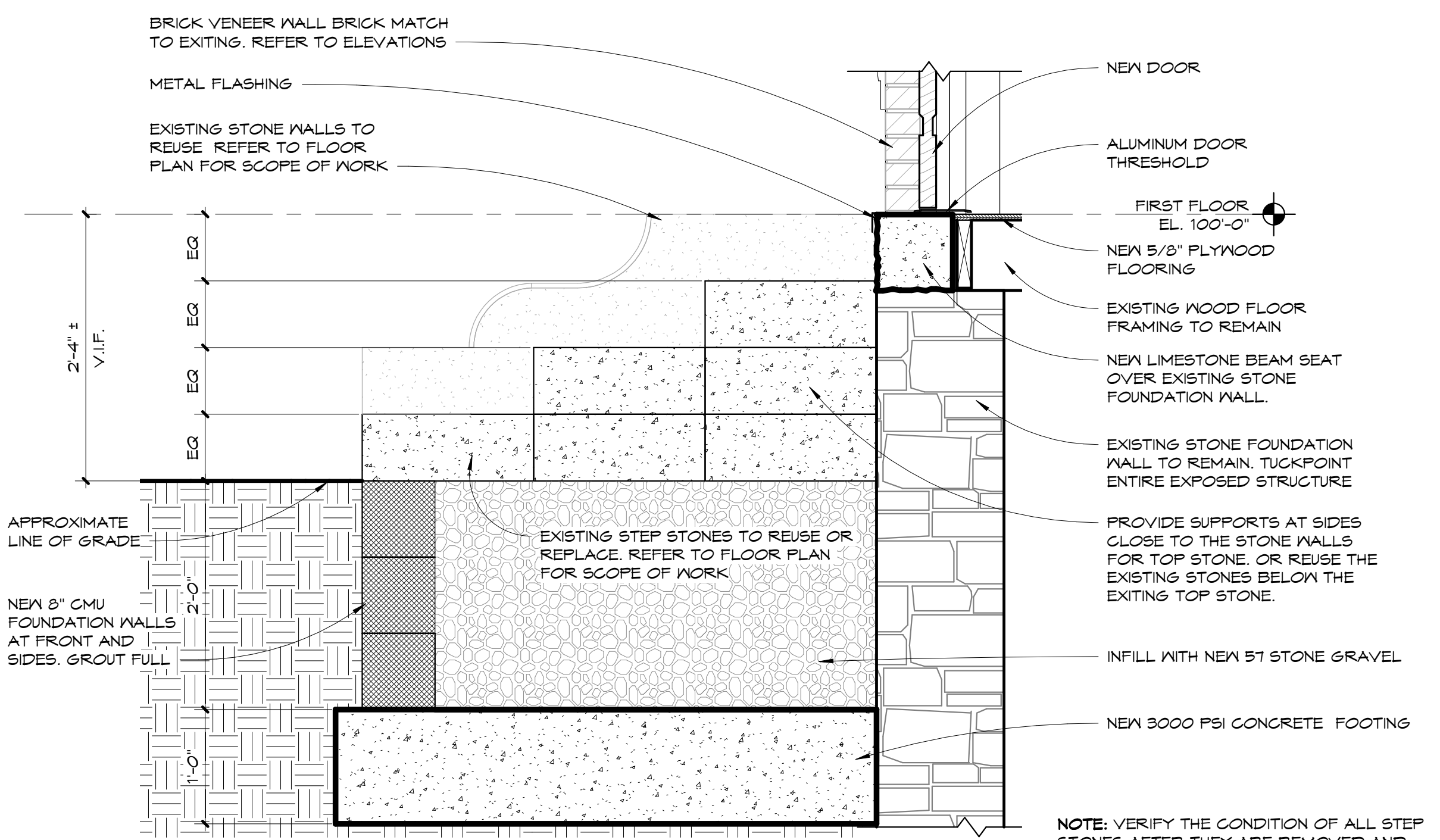
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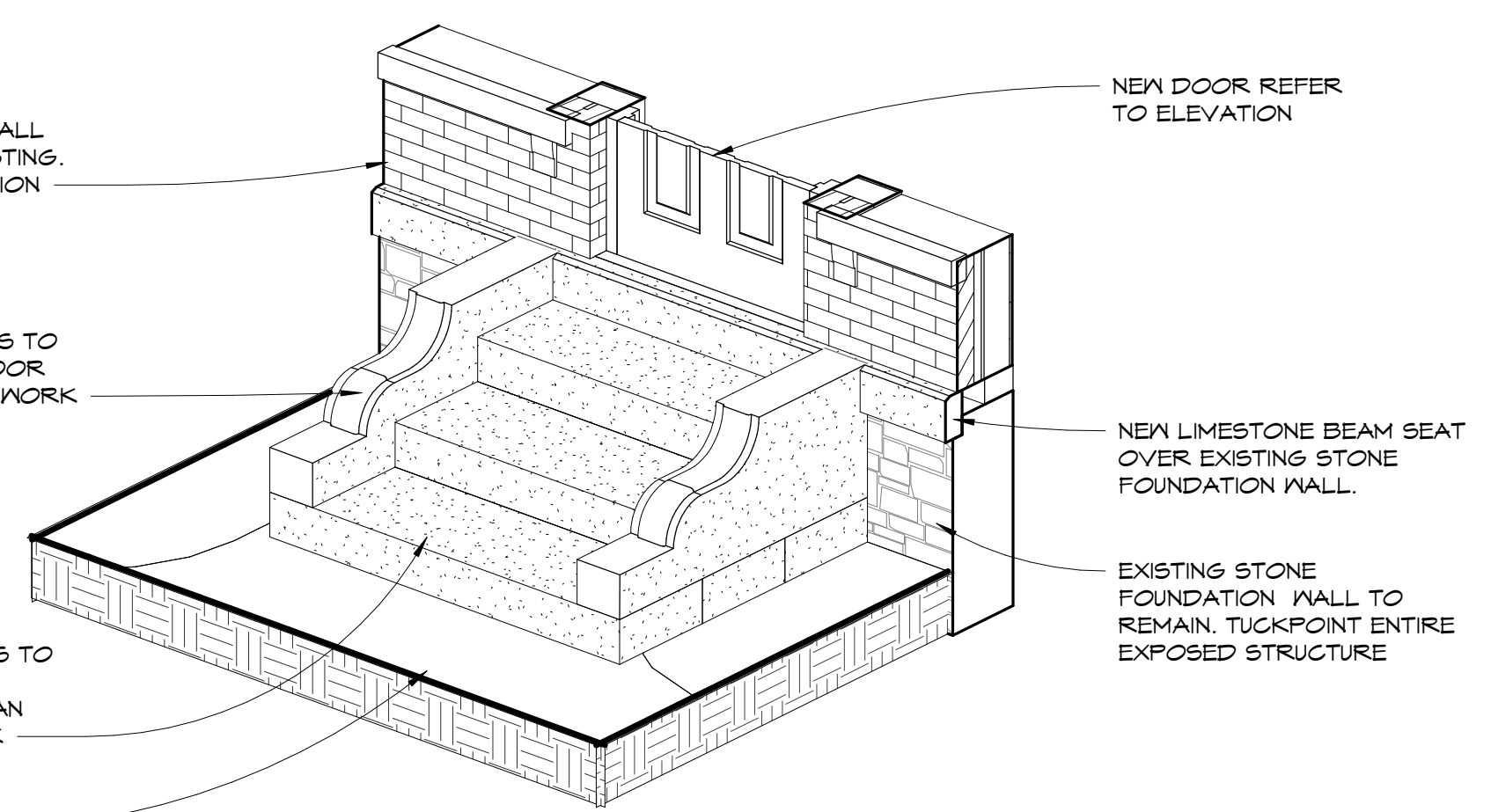
**3 ENLARGED PLAN DETAIL**  
1/2" = 1'-0"



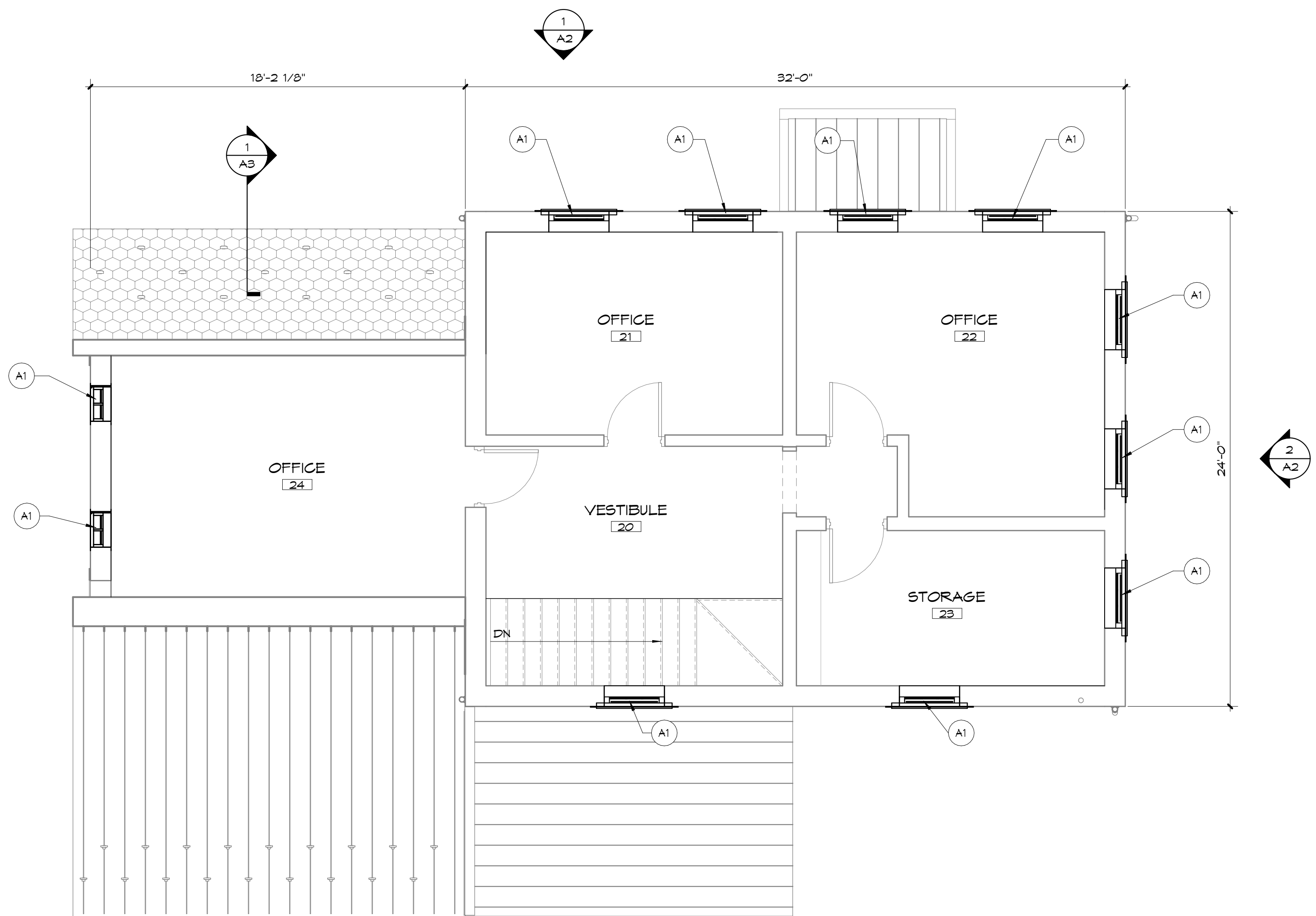
**1 FIRST FLOOR**  
1/4" = 1'-0"



**4 DOOR SILL AND STONE STEPS**  
1" = 1'-0"



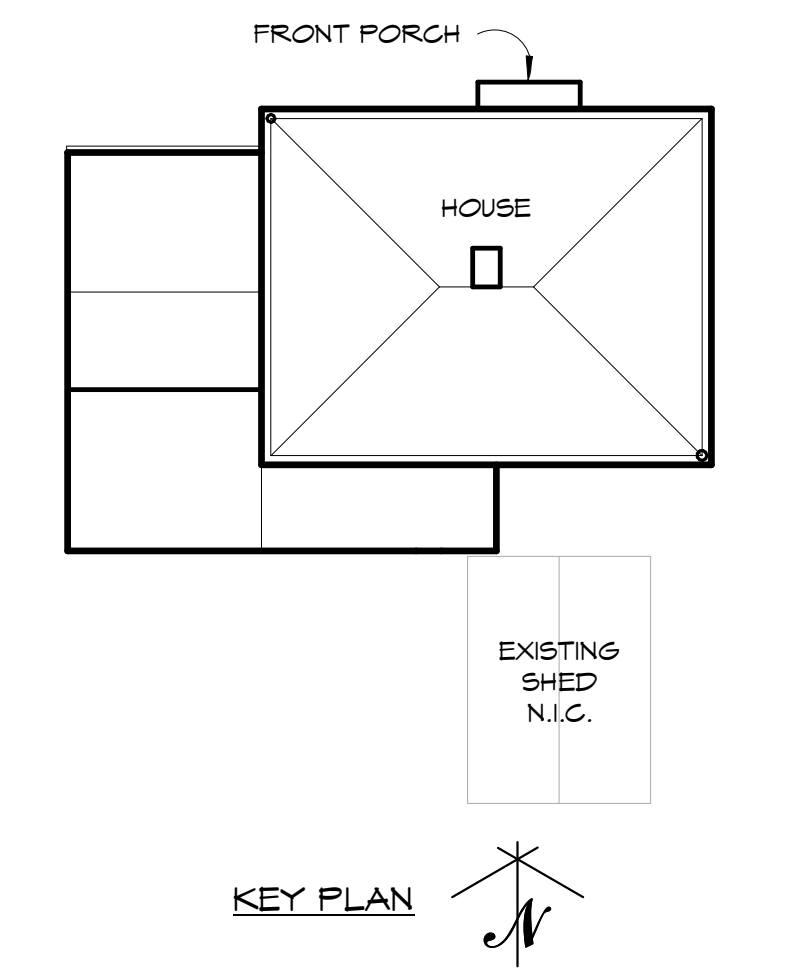
**5 3D STEPS**



**2 SECOND FLOOR**  
1/4" = 1'-0"

**CODED NOTES**

- A1 SCRAPE WINDOW AND RELATED TRIM, REPLACE ANY BROKEN GLASS, PAINT EXTERIOR SIDE ONLY.
- A2 REMOVE EXIST AND PROVIDE NEW 5/8" PLYWOOD FLOOR. VERIFY STRUCTURAL CONDITIONS OF JOIST AND SUPPORTS FOR INSTALLATION OF NEW FLOOR.
- A3 REMOVE EXISTING DOOR AND PROVIDE NEW DOOR TO MATCH EXISTING, SEE ELEVATIONS.
- A4 REMOVE EXISTING DOOR PORCH FLOOR DECKING BOARDS AND REPLACE FOR NEW TREATED WOOD BOARDS AND PAINT.
- A5 BASE BID - CAREFULLY REMOVE STONE STAIR AND WALLS FOR REUSE. THE CLEANING AND POWERWASHING PSI PROCESS OF THE STEPS AND WALLS NEED TO BE BASED ON SPECIALIST RECOMMENDATIONS AND MUST BE FOLLOWED CLOSELY IN ORDER TO VERIFY CONDITIONS OF EACH WALL AND STEP STONES. PROVIDE NEW CONCRETE FOOTING AND NEW CMU FOUNDATION WALLS BEFORE ANY REINSTALLATION BEGINS.
- A6 EXISTING DOOR, TRIM AND TRANSOM SCRAPE, SAND AND PAINT.
- A7 NEW WINDOW, JAMBS AND HEAD SIMILAR TO EXISTING. REFER TO ELEVATIONS AND DETAILS.
- A8 EXISTING SCREEN DOOR SCRAPE, SAND AND PAINT BOTH SIDES.
- A9 ALTERNATE 1 - REMOVE STONE STAIRS. STONE WALLS ARE TO BE REUSED AND CLEANED FOR REINSTALLATION. THE CLEANING AND POWERWASHING PSI PROCESS OF THE WALLS NEED TO BE BASED ON SPECIALIST RECOMMENDATIONS AND MUST BE FOLLOWED CLOSELY IN ORDER TO VERIFY CONDITIONS OF EACH WALL STONE FOR REINSTALLATION. PROVIDE NEW LIMESTONE STEPS, CONCRETE FOOTING AND CMU FOUNDATION WALLS BEFORE ANY INSTALLATION BEGINS.
- A10 NEW 4" CONCRETE PAD/SIDEWALK.
- A11 CHEMICALLY REMOVE PAINT ON THESE WALLS. TUCKPOINT WALLS. FOLLOW EPA RECOMMENDATIONS AND CERTIFIED WORKER FOR REMOVAL OF LEAD PAINT.
- A12 PROVIDE NEW WOOD DOOR AND FRAME SIMILAR TO EXISTING EXTERIOR DOORS. PROVIDE NEW HARDWARE, THRESHOLD AND WEATHER STRIPS. PAINT.
- A13 EXISTING CISTERN TO REMAIN.
- A14 NEW 3000 PSI 12" CONCRETE FOOTING UNDER ENTIRE STAIR.
- A15 NEW 8" CMU FOUNDATION WALLS EACH SIDE GROUT FULL.



**FLOOR PLANS**

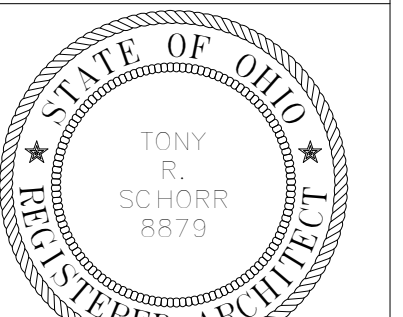
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CONSTRUCTION DOCUMENTS 8/16/2023

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COMM. NO.: 2163



**A1**

TONY R. SCHORR, LICENSE #8879  
EXPIRATION DATE 12/31/2025  
8/30/2024  
SIGNED DATE

**CODED NOTES**

- 1 REMOVE VEGETATION, REMOVE ABANDONED FASTENERS, TUCKPOINT ENTIRE STRUCTURE, REBUILD BRICK MASONRY WHERE MISSING AND REPLACE UNMATCHED BRICK TO MATCH EXISTING (300 BRICK TOTAL). STRIP ALL PAINT OFF BRICK, CHEMICALLY CLEAN BRICK AND STONE. PROVIDE WATER REPELLANT TO ALL BRICK AND STONE MASONRY.
- 2 SCRAPE WINDOW AND RELATED TRIM, REPLACE ANY BROKEN GLASS, PAINT EXTERIOR SIDE ONLY.
- 3 EXISTING STONE LINTELS TO REMAIN, PAINT.
- 4 EXISTING STONE SILL TO REMAIN, PAINT.
- 5 GUTTERS TO REMAIN.
- 6 NEW METAL GLAD WOOD WINDOW, REFER TO SHEET A3 STONE SILL BRACKET TO REMAIN TYP. ON ALL WINDOWS TYPE A1, B1 AND D, PAINT.
- 7 EXISTING VINYL SIDING TO REMAIN.
- 8 EXISTING DOOR, TRIM AND TRANSOM SCRAPE, SAND AND PAINT.
- 9 EXISTING METAL ROOF SYSTEM TO REMAIN, ROOF IS UNDER WARRANTY, PROTECTED AT ALL TIMES.
- 10 EXISTING SLATE SHINGLE ROOFING SYSTEM TO REMAIN, TUCKPOINT ALL WATER TABLE.
- 11 EXISTING WOOD SIDING TO REMAIN.
- 12 NEW STONE SILL BRACKET TO MATCH EXISTING, PAINT.
- 13 EXISTING DECORATIVE ANTENNAS TO REMAIN.
- 14 REFER TO FLOOR PLAN SHEET A1 FOR STONE STEPS AND WALLS FOR SCOPE OF WORK.
- 15 REMOVE EXISTING WOOD PORCH FLOOR, DECKING BOARDS AND REPLACE WITH NEW TREATED WOOD BOARDS AND PAINT.
- 16 EXISTING GANDIFY COLLUMNS AND ENTIRE ASSEMBLY TO REMAIN, PAINT ENTIRE ASSEMBLY.
- 17 PROTECT TOP TRIM TO REMAIN.
- 18 EXISTING DOOR AND TRIM TO REMAIN, NO WORK.
- 19 EXISTING CONCRETE STEPS TO REMAIN.
- 20 EXISTING ACCESS BASEMENT DOORS TO REMAIN, REBUILD BRICK WALLS.
- 21 PROVIDE NEW WOOD DOOR AND FRAME SIMILAR TO EXISTING EXTERIOR DOORS, PROVIDE NEW HARDWARE, THRESHOLD AND WEATHER STRIPS, PAINT. REFER TO DOOR ELEVATIONS.
- 22 NEW BRICK WALL, REFER TO FLOOR PLANS.
- 23 NEW STONE LINTELS TO MATCH EXISTING, PAINT.
- 24 NEW STONE SILL TO MATCH EXISTING, PAINT.
- 25 DETACH AND REATTACH COPPER DOWNSPOUT, PROVIDE STAINLESS STEEL FASTENERS AT STRAPS, RE USE EXISTING COPPER STRAPS AND INSTALL AT MINIMUM OF 3'-0" O.C.
- 26 NEW DOOR SIMILAR TO ADJACENT DOOR, DIMENSIONS MUST BE VERIFY ON SITE, EXISTING DOOR FRAME TO REMAIN, REFER TO ELEVATIONS, PAINT.
- 27 EXISTING WINDOW TO REMAIN, NO WORK.
- 28 EXISTING SCREEN DOOR SCRAPE, SAND AND PAINT BOTH SIDES.
- 29 RESET CAST IRON GRILL, SCRAPE, REPAIR AND PAINT.
- 30 PROVIDE CAST IRON GRILLE TO MATCH OR SIMILAR TO EXISTING, PAINT.
- 31 REPAIR AND RELOCK EXISTING SOFFIT SCREEN.
- 32 REINFORCE A BROKEN AREAS TO PREVENT THE ENTRY OF RODENTS.
- 33 EXISTING SCONCE LIGHT TO REMAIN, CONSTRUCTION JOINT.
- 34
- 35

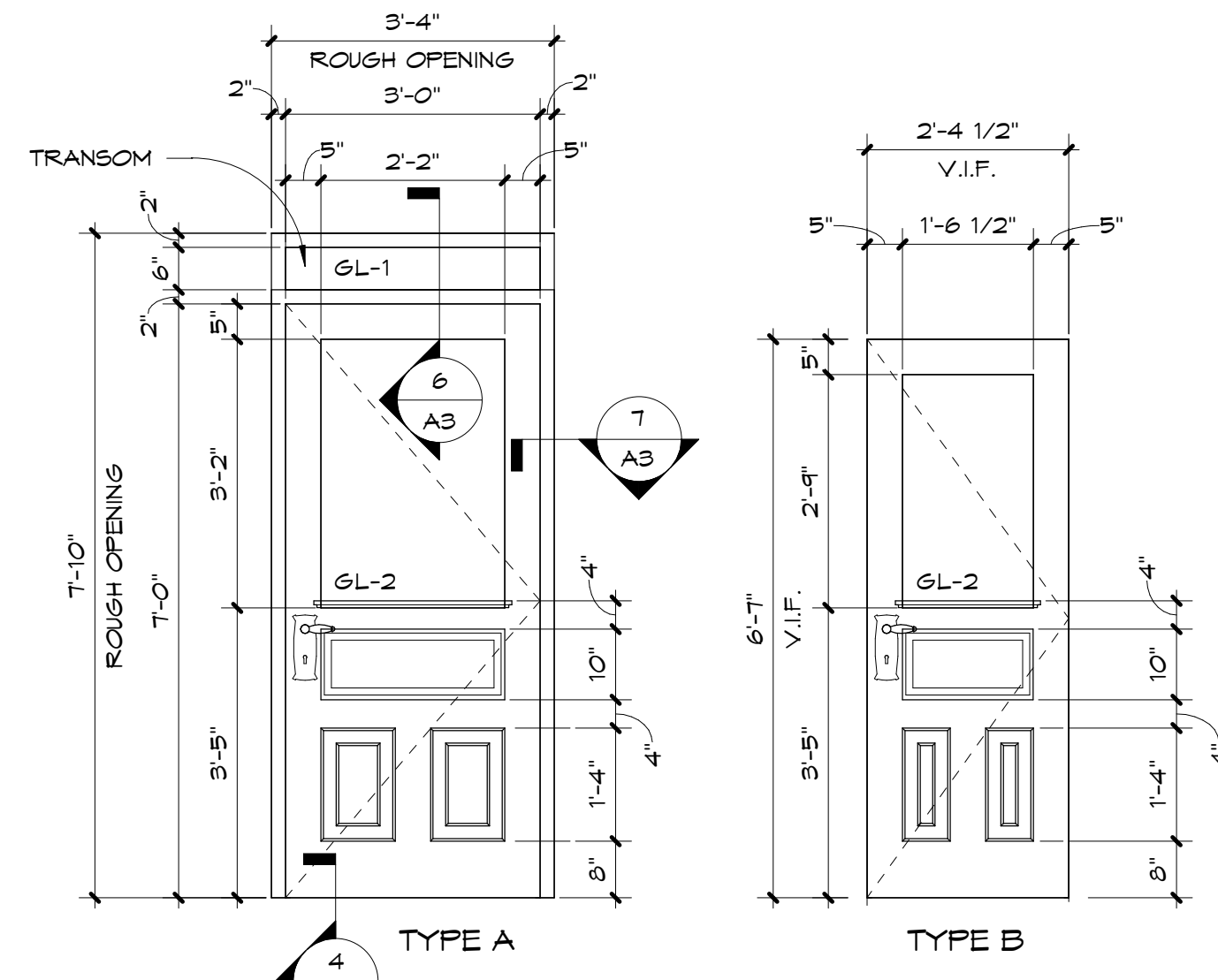
DOOR SCHEDULE									
NO.	SIZE	DOOR TYPE	MATERIAL		HARD-WARE	CONSTRUCTION DETAIL			REMARKS
			DOOR	FRAME		HEAD	JAMB	SILL	
01	3'-4" x 5'-0" x 1'-0"	A	SOLID WOOD	SOLID WOOD	01	6/A3	1/A3	4/A1	DOOR PANELS, STILES TOP AND BOTTOM RAILS, LOCK RAIL TO MATCH EXISTING DOORS
02	3'-4" x 2'-4 1/2" x 6'-1" V.I.F.	B	SOLID WOOD	HM-EXISTING	01	EXISTING	EXISTING	EXISTING	DOOR PANELS, STILES TOP AND BOTTOM RAILS, LOCK RAIL TO MATCH EXISTING DOORS

NOTE: REFER TO WINDOW DETAILS SHEET A4 FOR GLAZING TYPES.

**DOOR HARDWARE 01**

PROVIDE EACH 5/8" DOOR(S) WITH THE FOLLOWING:

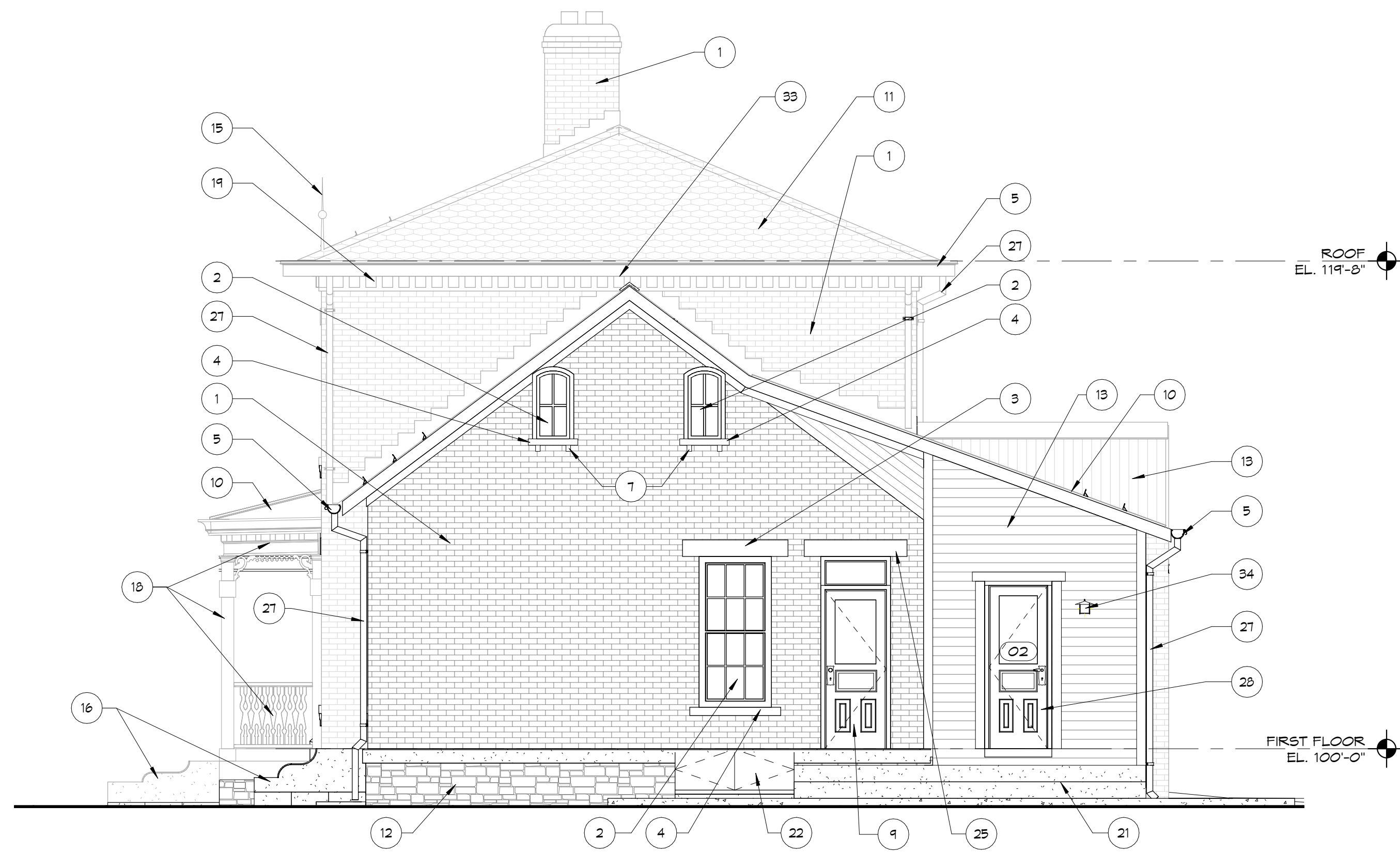
1	EA	BALL TYP HINGE	BB1211 4.5 X 4.5 NRP BALL TYP	613	HAS
1	EA	MORTISE LOCK	MS21 142 Mimosa 12010	613	FRS
1	EA	MORTISE CYLINDER	AS REQUIRED	613	SCH
1	EA	KICK PLATE	8400 8" X 2" LDW B-GS	US10B	IVE
1	EA	GASKETING	8004NBK	BK	ZER
1	EA	DOOR SWEEP	819SD	D	ZER
1	EA	THRESHOLD	65B-223	B	ZER



NOTE: PROVIDE KNOB HANDLES AND HARDWARE SIMILAR TO EXISTING DOORS

**DOOR ELEVATIONS**

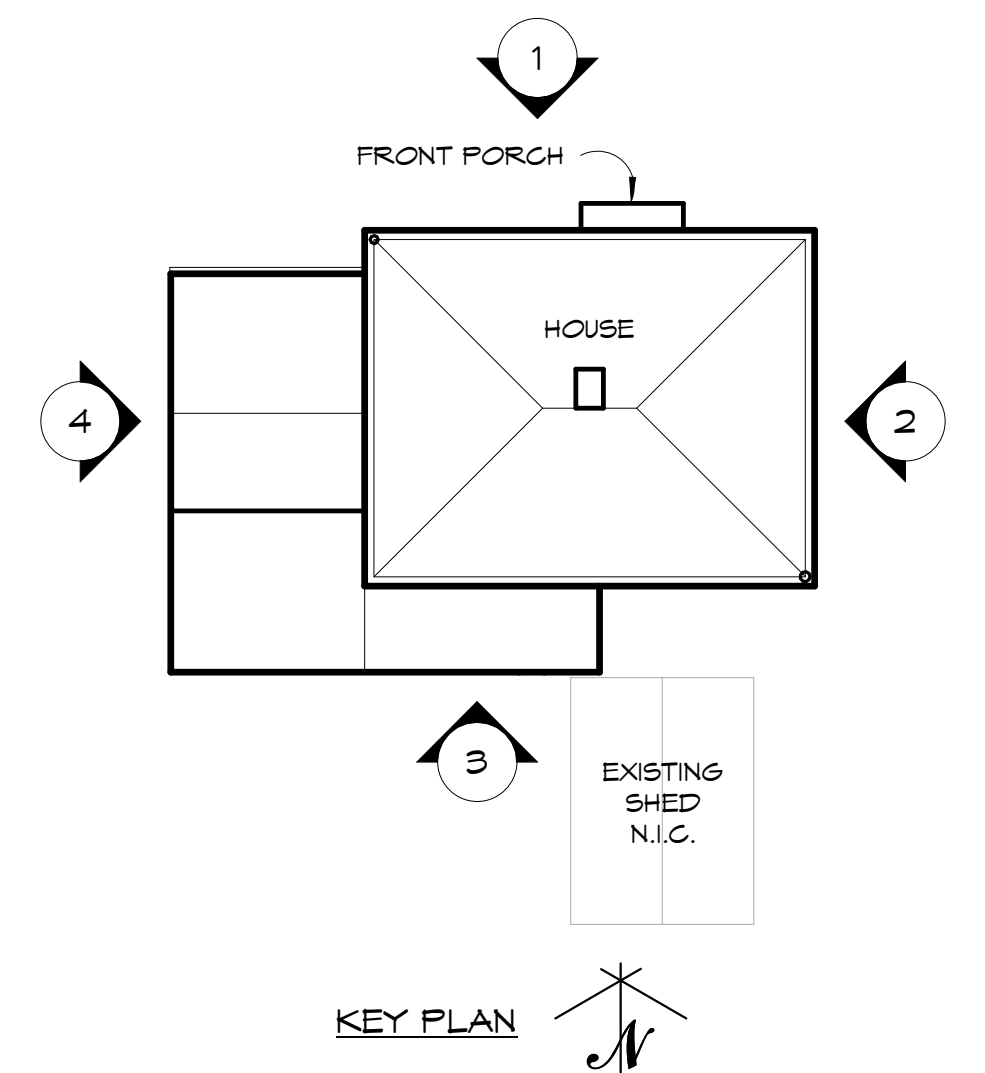
1/2" = 1'-0"



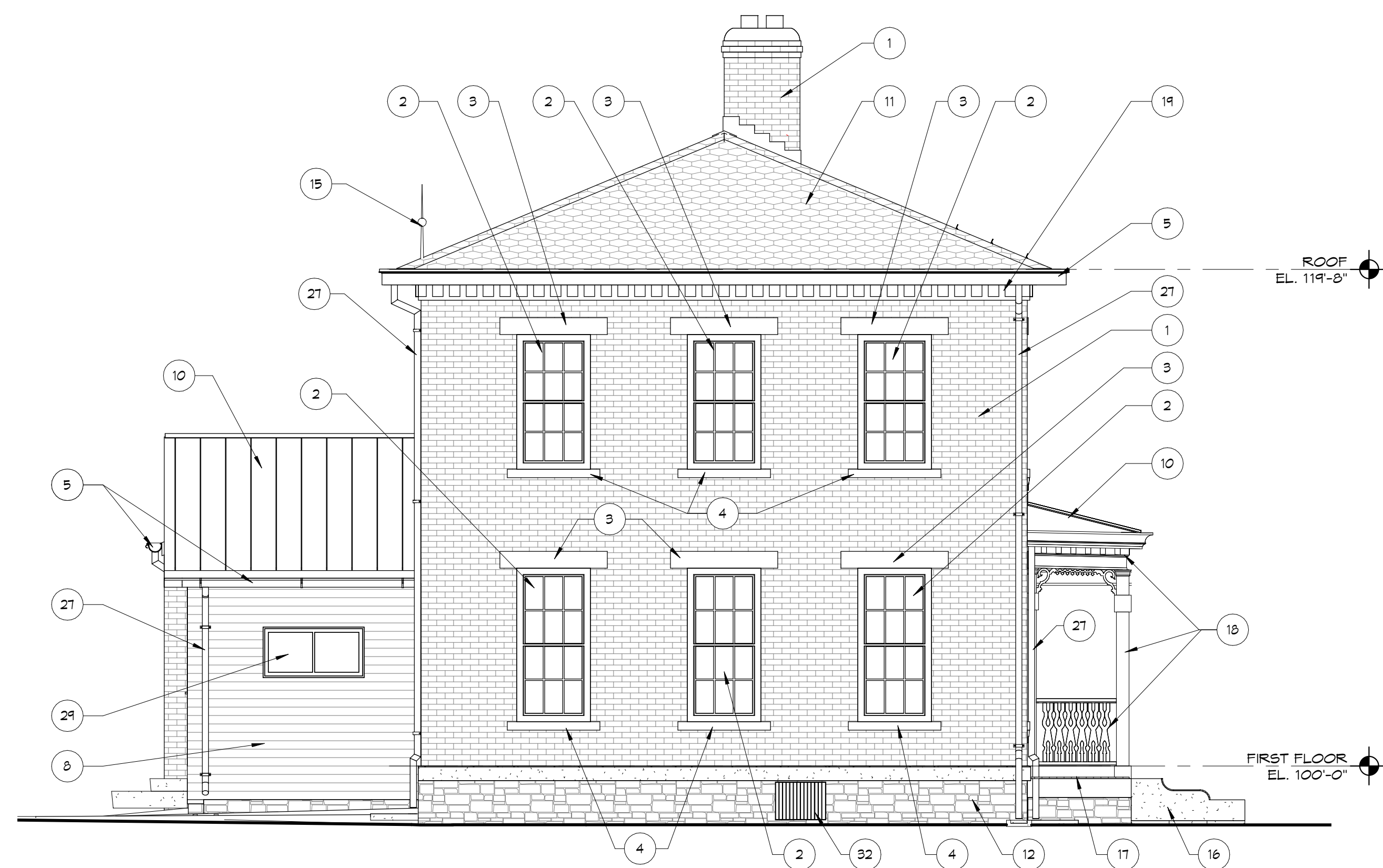
**4 WEST ELEVATION**  
1/4" = 1'-0"



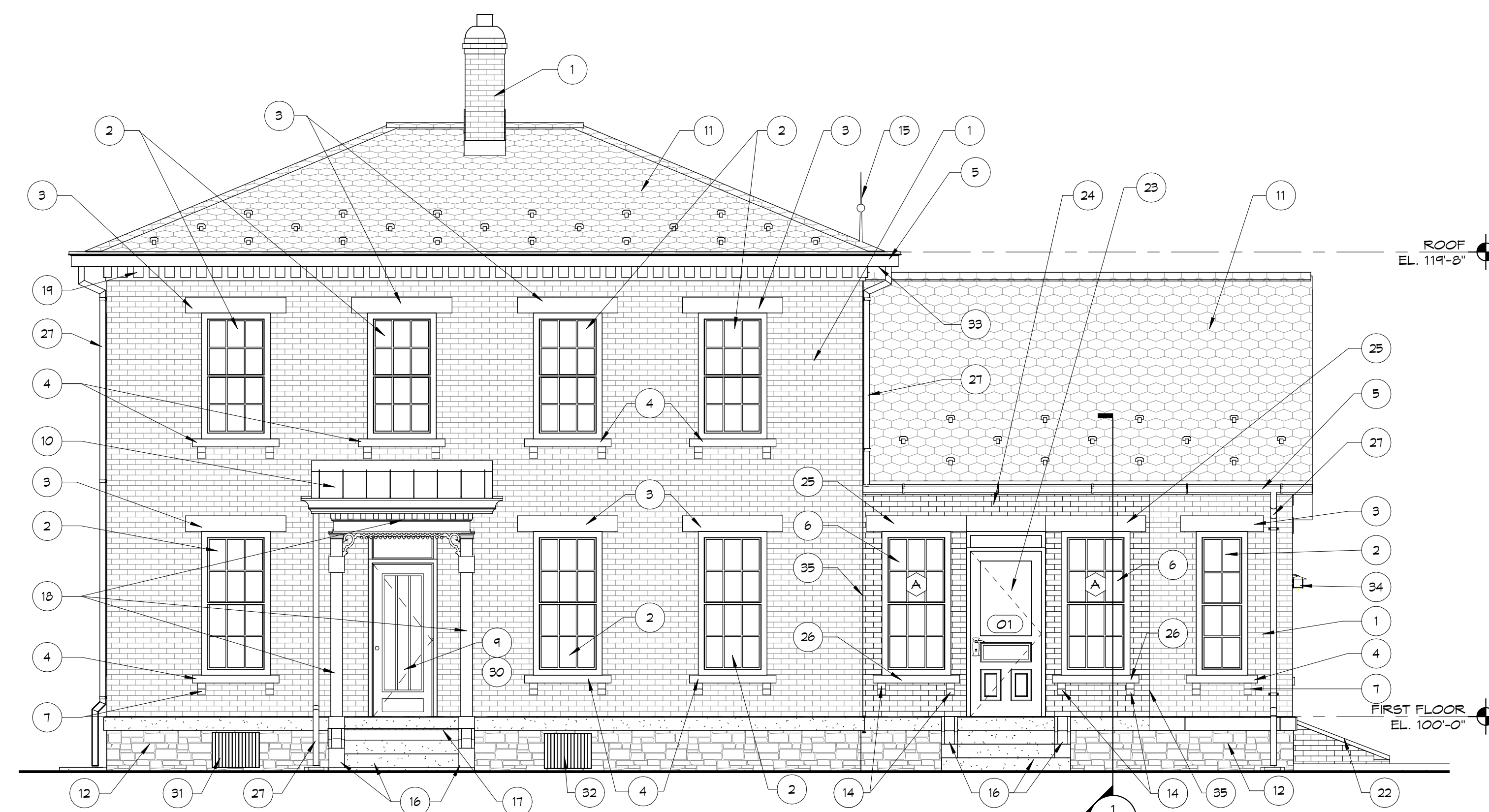
**3 SOUTH ELEVATION**  
1/4" = 1'-0"



KEY PLAN



**2 EAST ELEVATION**  
1/4" = 1'-0"



**1 NORTH ELEVATION**  
1/4" = 1'-0"

**ELEVATIONS AND DOOR SCHEDULE**

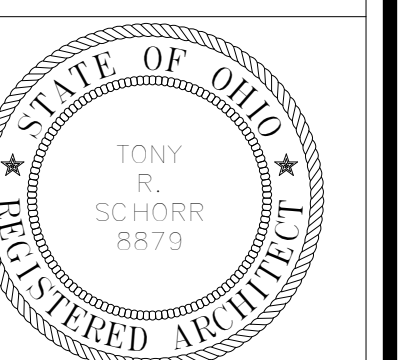
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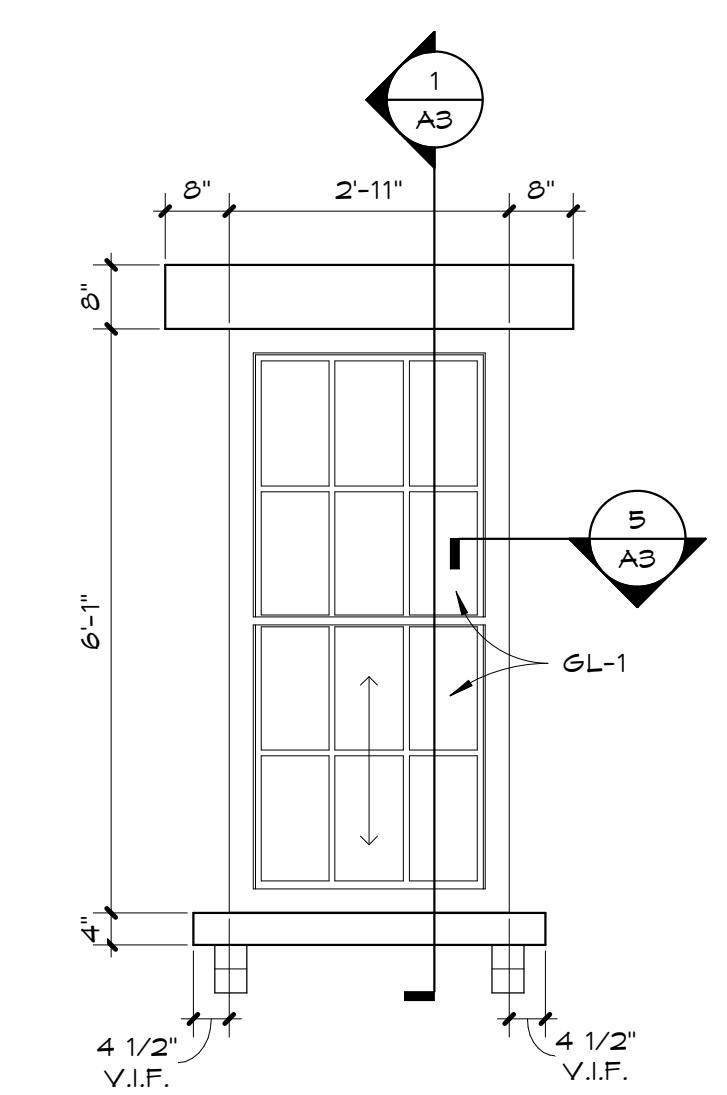


**A2**

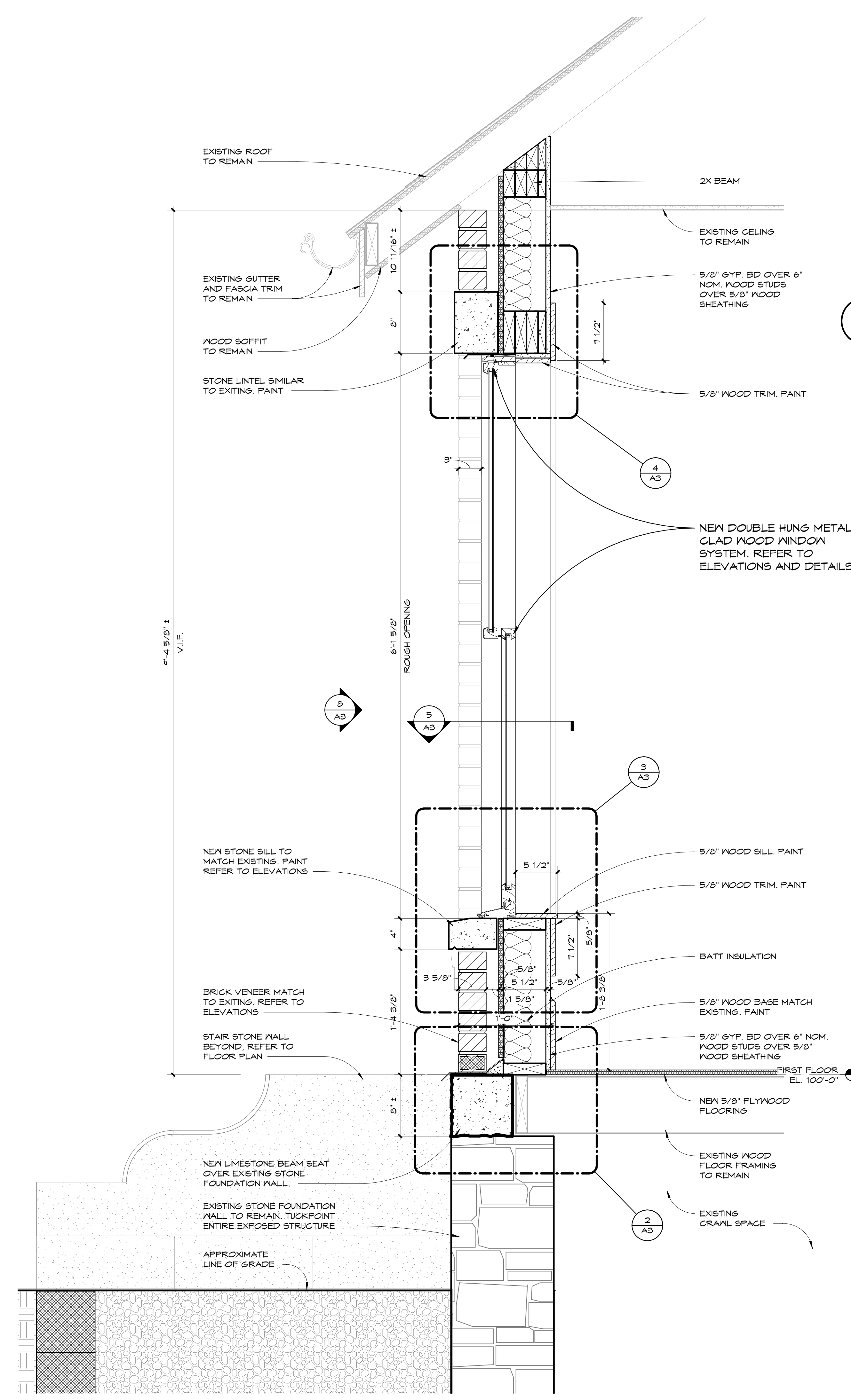
TONY R. SCHORR, LICENSE #8879  
EXPIRATION DATE 12/31/2025  
8/30/2024  
SIGNED DATE

GLAZING TYPE SCHEDULE

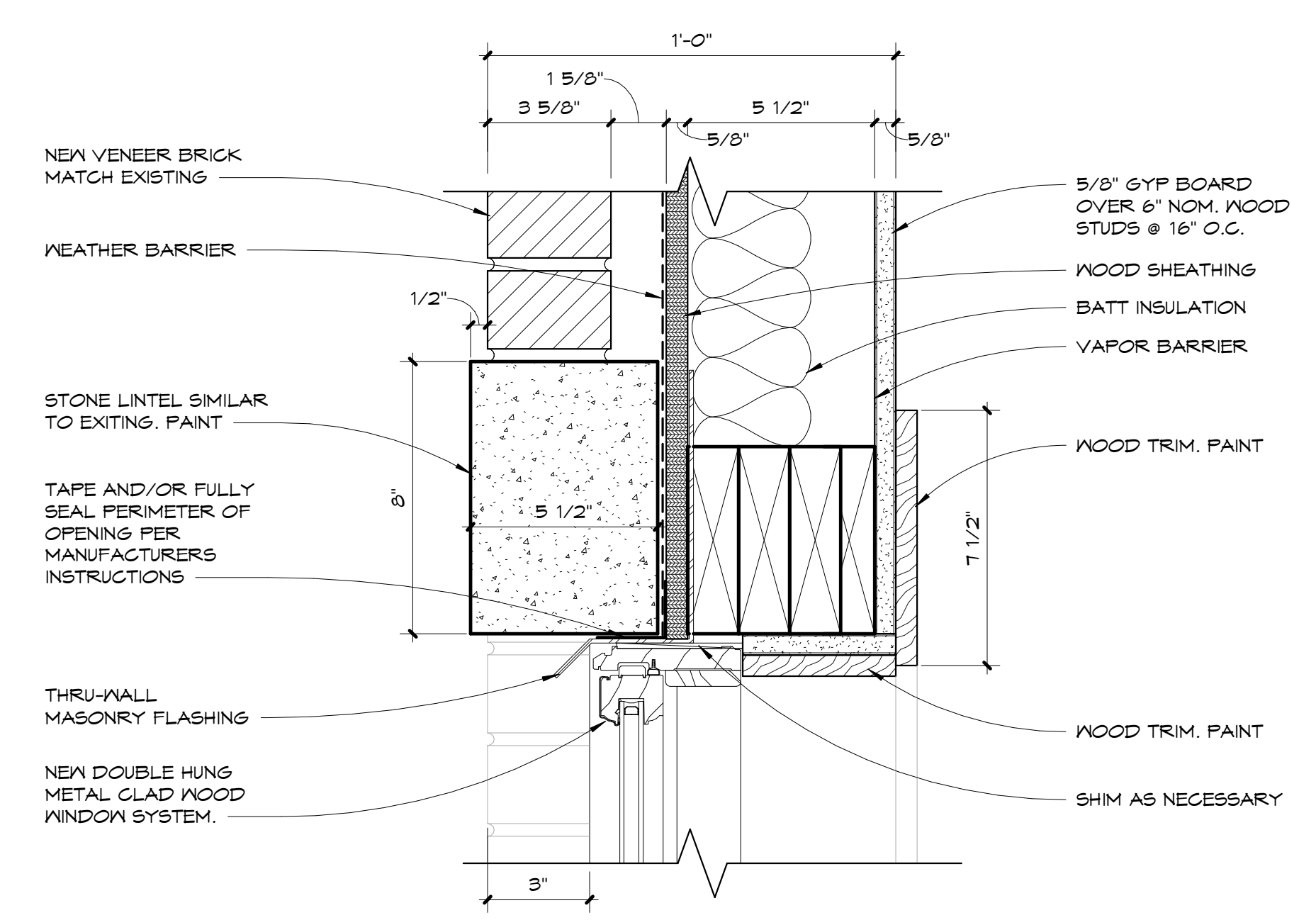
TYPE 6L-1	1" INSULATED DUAL LOW-E GLASS ARGON NON HIGH ALTITUDE
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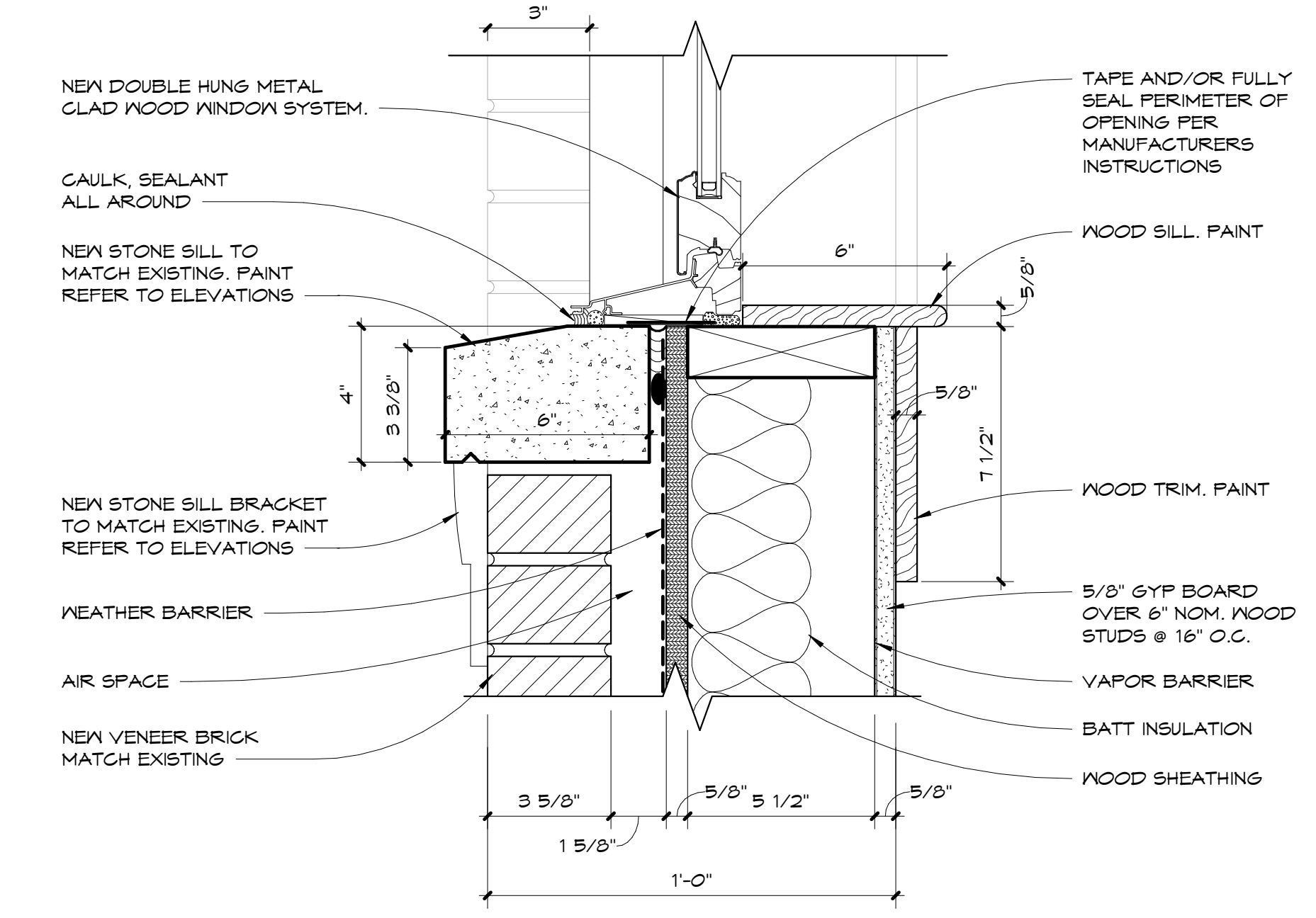
8 NEW WINDOW ELEVATION  
1/2" = 1'-0"



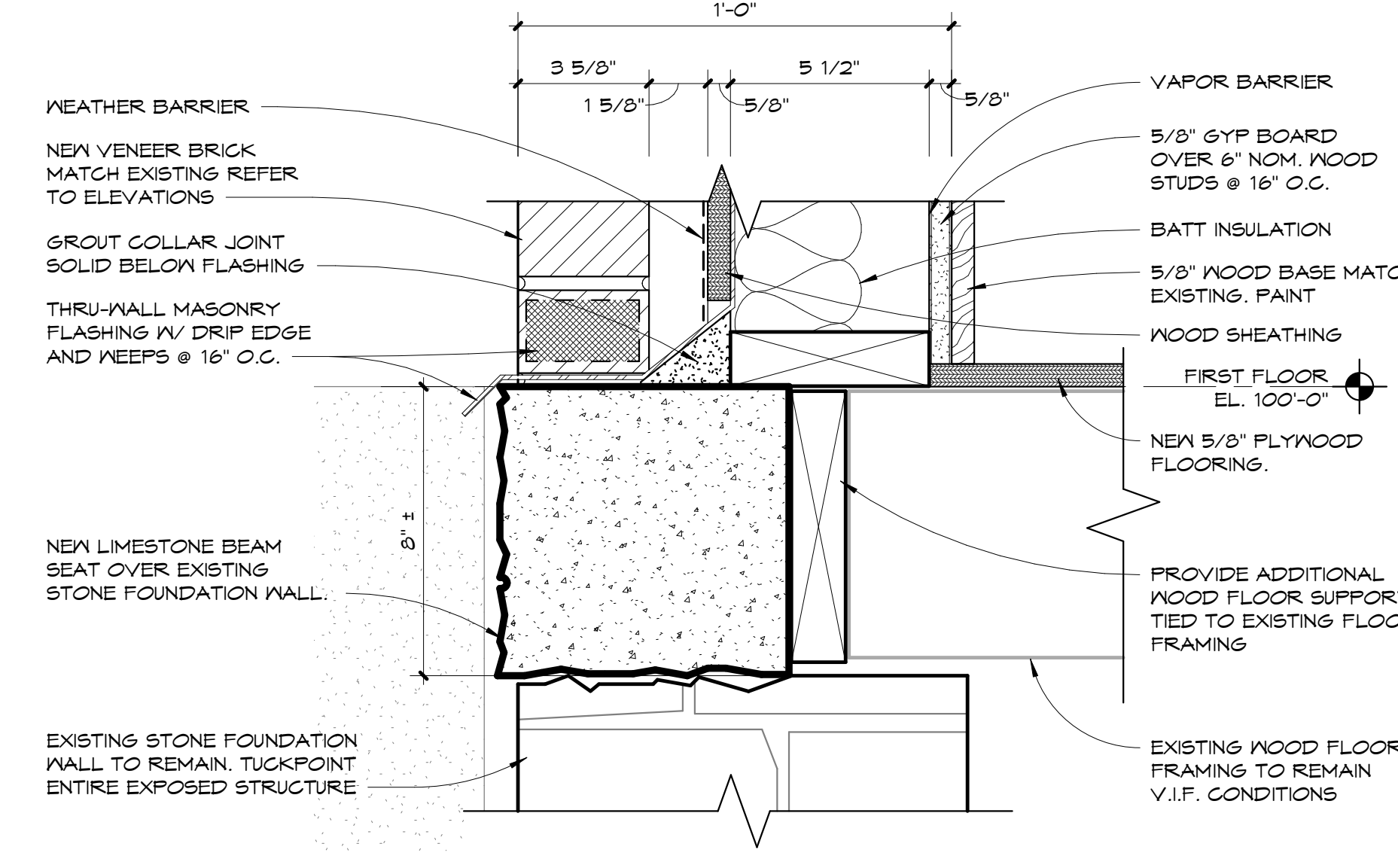
1 NEW WALL SECTION 1  
1 1/2" = 1'-0"



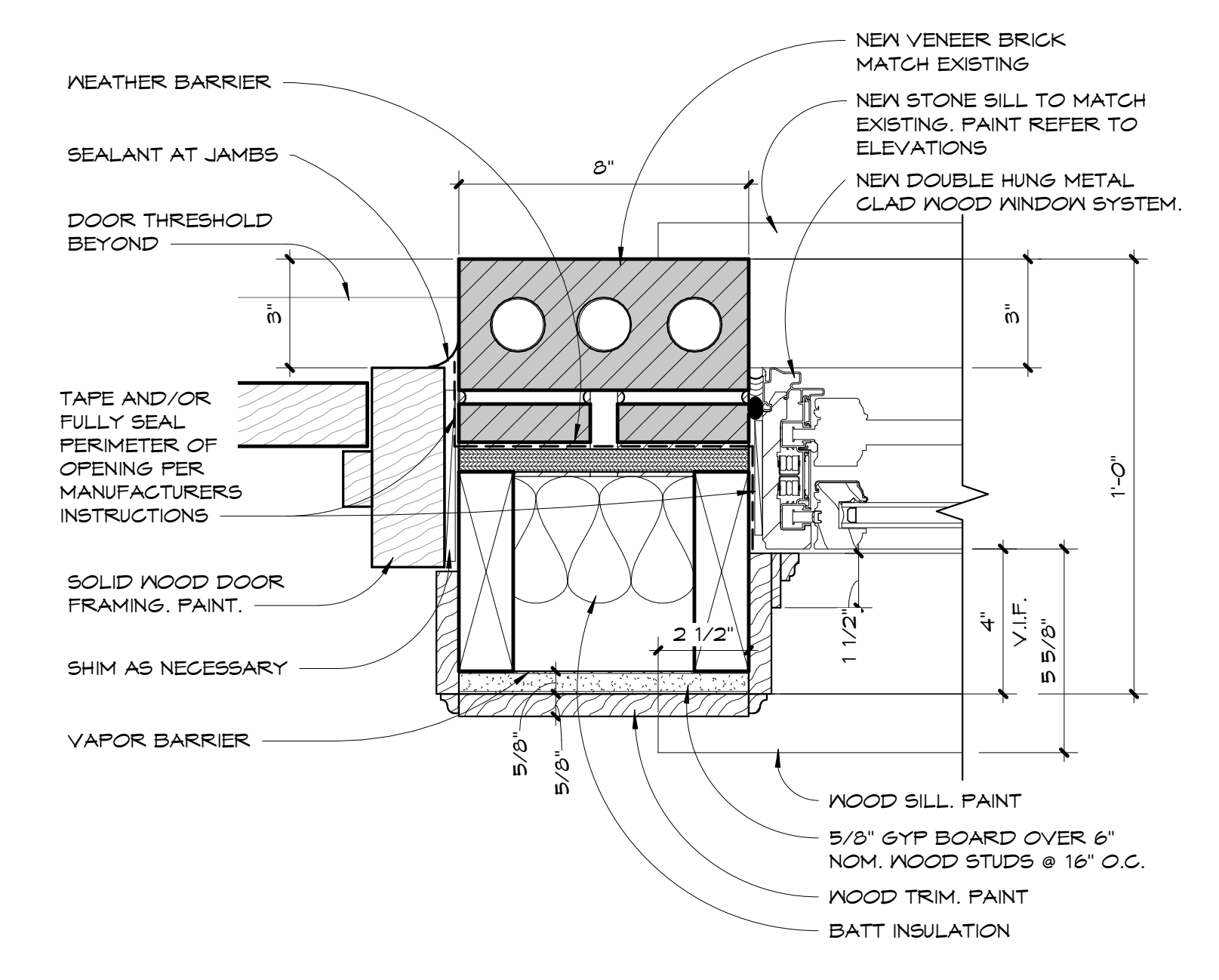
4 WINDOW HEAD DETAIL AT NEW WALL  
3\"/>



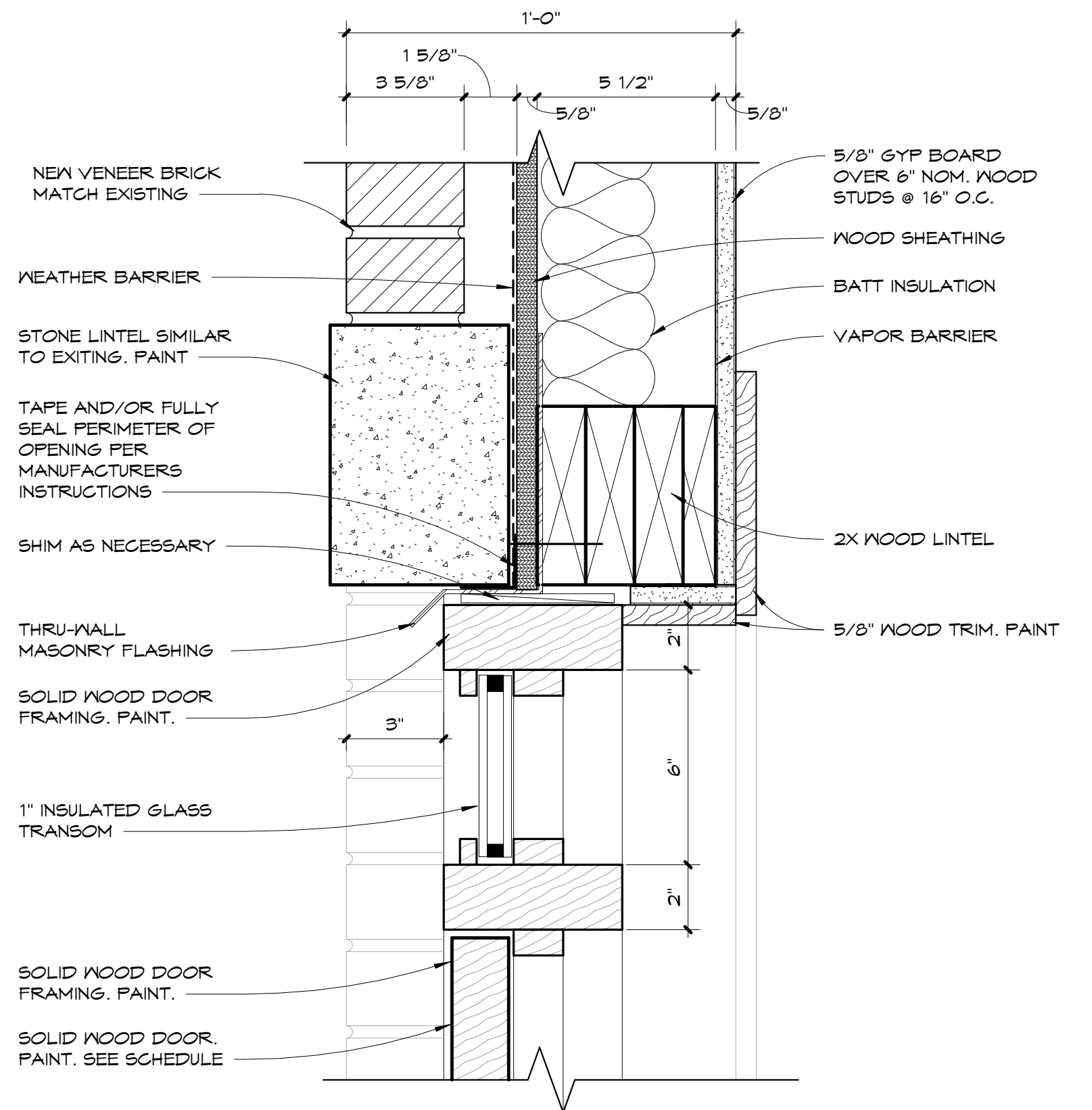
3 WINDOW SILL DETAIL AT NEW WALL  
3\"/>



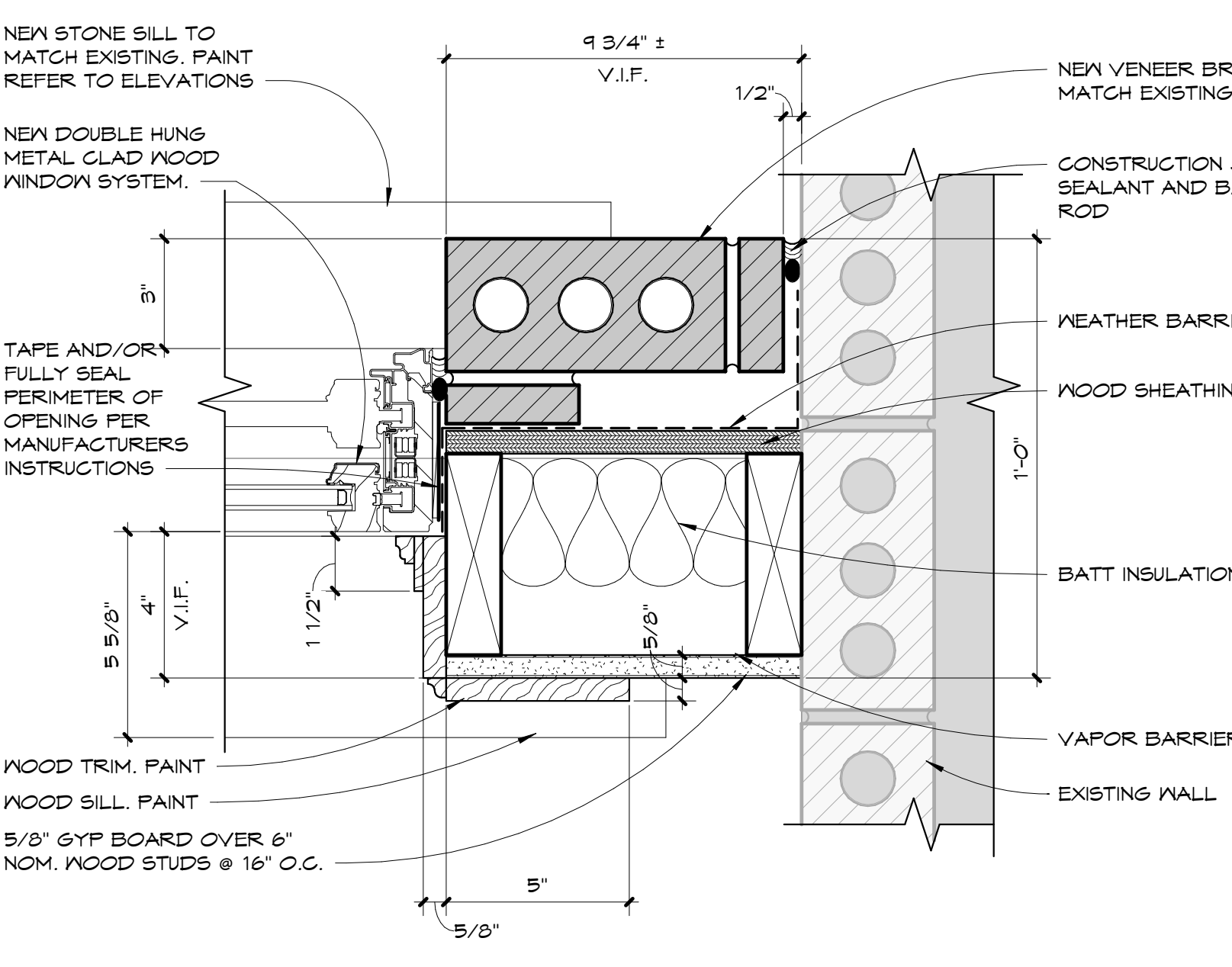
2 NEW WALL BASE DETAIL  
3\"/>



7 DOOR JAMB DETAIL AT NEW WALL  
3\"/>



6 DOOR HEAD DETAIL AT NEW WALL  
3\"/>



5 WINDOW JAMB DETAIL AT NEW WALL  
3\"/>

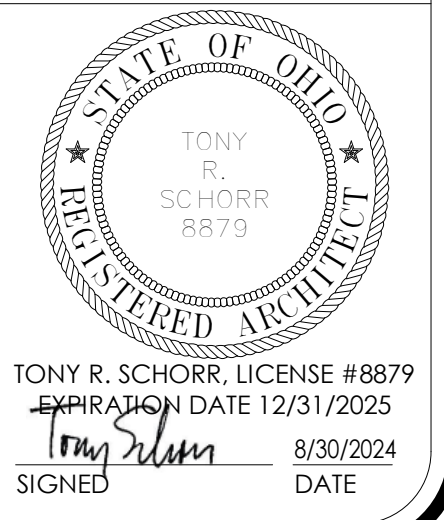
NEW WALL SECTION AND DETAILS

Louis Rings Residence  
EXTERIOR BUILDING ENVELOPE IMPROVEMENTS  
6665 Shier Rings Road  
Dublin, Ohio 43016  
PREPARED FOR:  
City of Dublin  
6555 Shier Rings Road  
Dublin, Ohio 43016



CONSTRUCTION DOCUMENTS 8/16/2023  
PERMIT DOCUMENTS 8/30/2024

COMM. NO.: 2163



A3



(NORTH) FRONT ELEVATION



(NORTH) FRONT ELEVATION



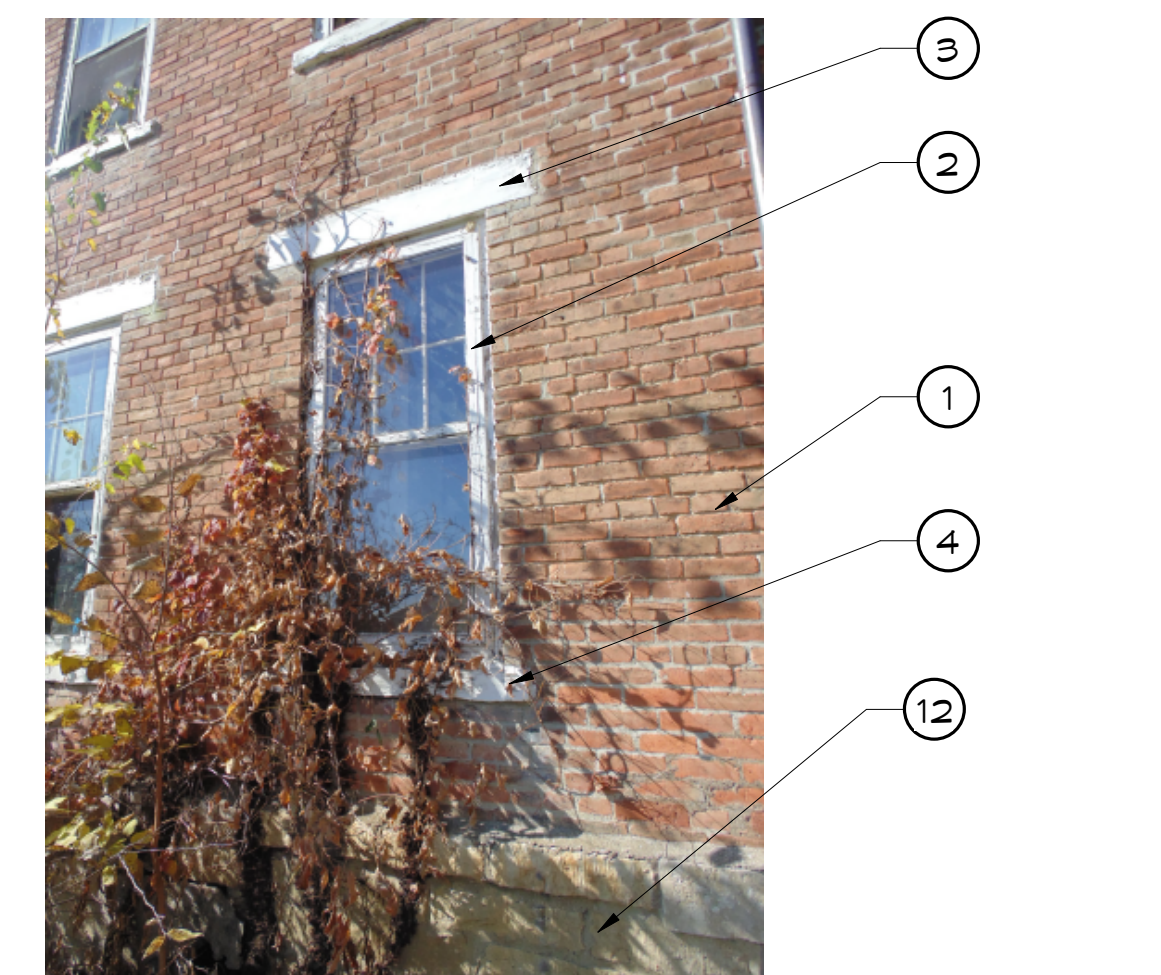
(NORTH) FRONT ELEVATION STONE STAIR



(EAST) LEFT ELEVATION



(EAST) LEFT ELEVATION

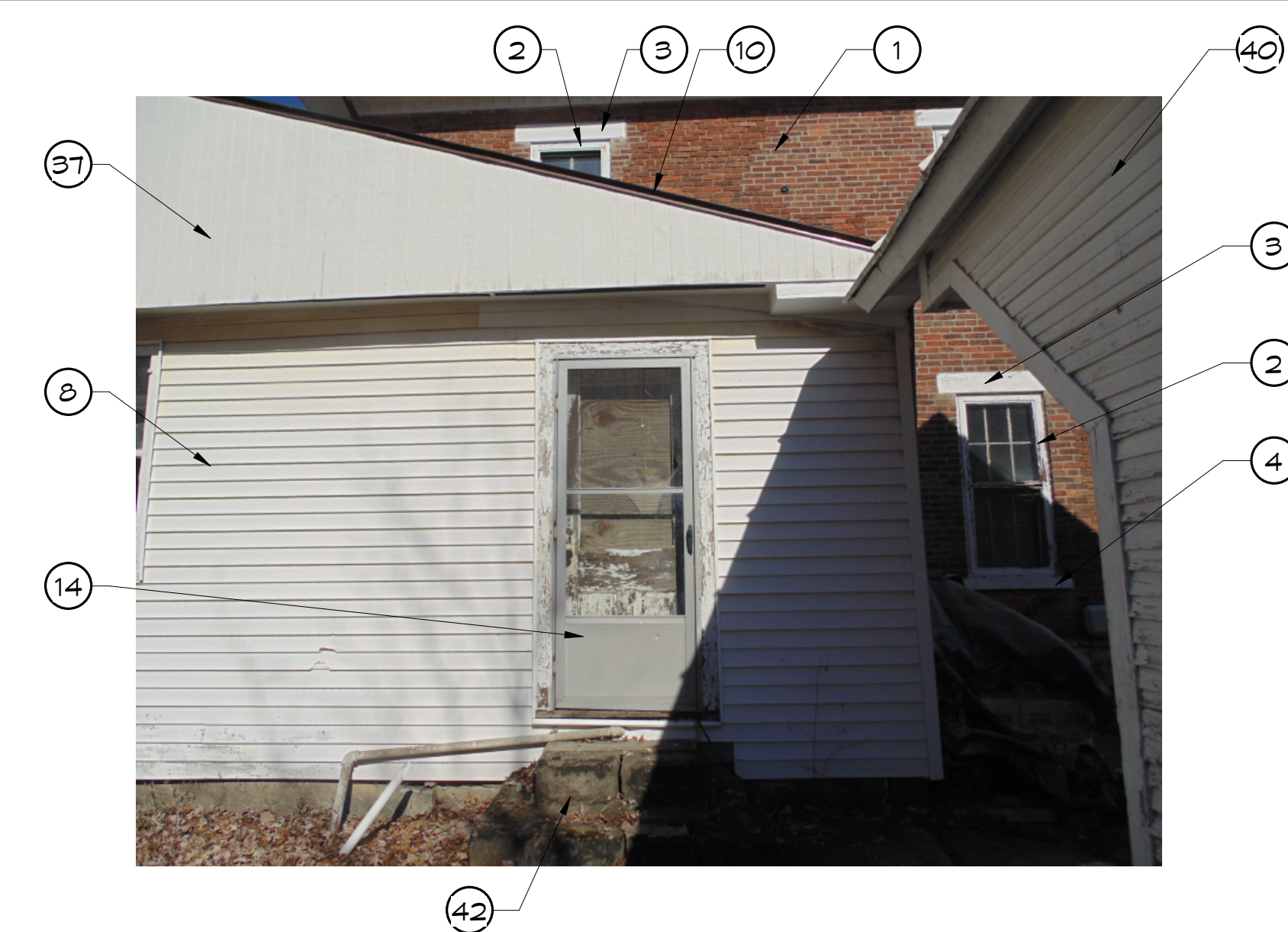


(EAST) LEFT ELEVATION

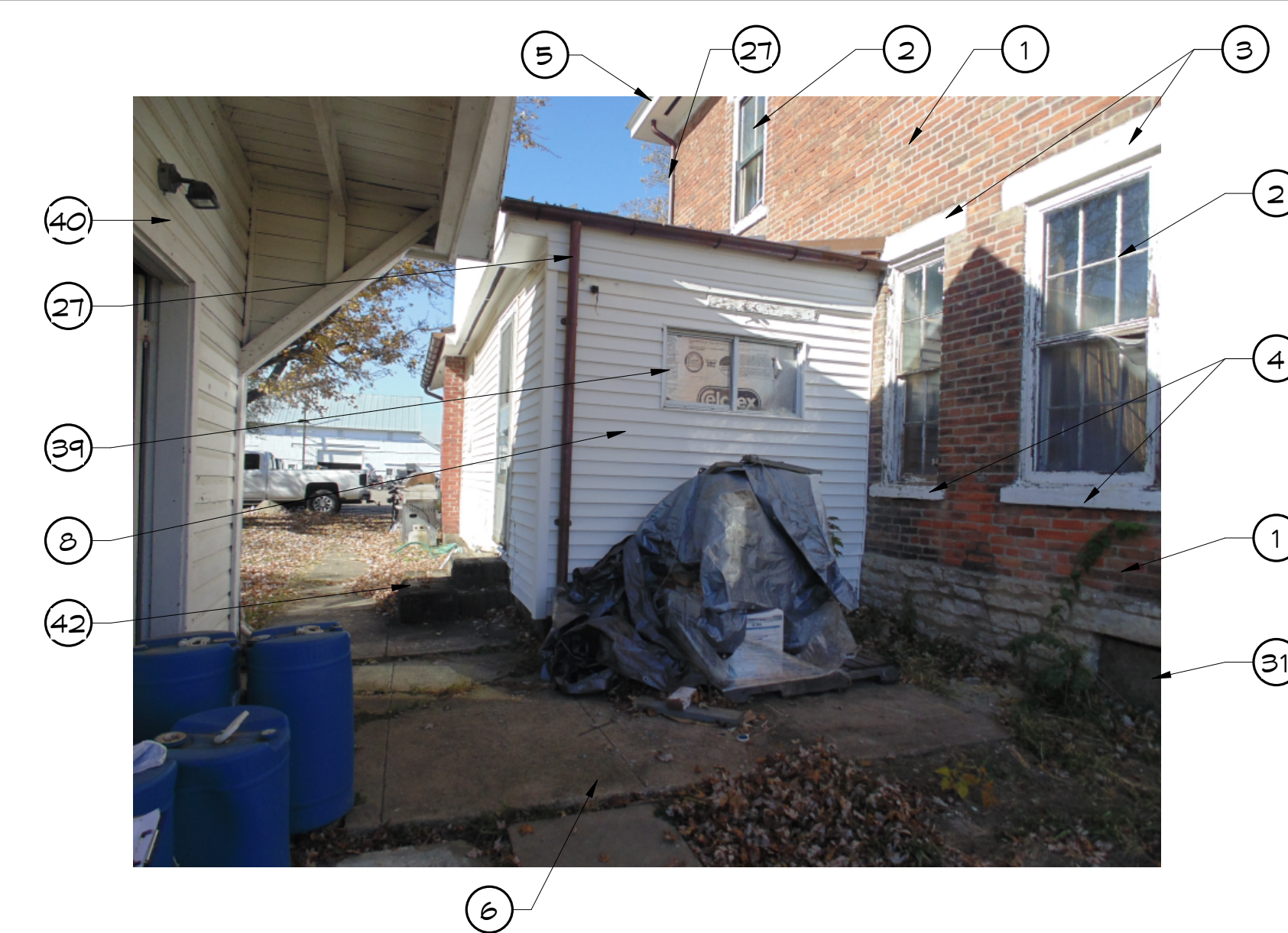
- 1 REMOVE VEGETATION, REMOVE ABANDONED FASTENERS, TUCKPOINT ENTIRE STRUCTURE, REBUILD BRICK MASONRY WHERE MISSING AND REPLACE UNMATCHED BRICK TO MATCH EXISTING (300 BRICK TOTAL), STRIP ALL PAINT OFF BRICK, CHEMICALLY CLEAN BRICK AND STONE, PROVIDE WATER REPELLANT TO ALL BRICK AND STONE MASONRY
- 2 SCRAPE WINDOW AND RELATED TRIM, REPLACE ANY BROKEN GLASS, PAINT EXTERIOR SIDE ONLY.
- 3 EXISTING STONE LINTELS TO REMAIN, PAINT
- 4 EXISTING STONE SILL TO REMAIN, PAINT
- 5 GUTTERS TO REMAIN
- 6 CONCRETE PAVING TO REMOVE, REFER TO DEMOLITION PLANS AND FLOOR PLANS
- 7 STONE SILL BRACKET TO REMAIN TYP. ON ALL WINDOWS
- 8 EXISTING VINYL SIDING TO REMAIN
- 9 EXISTING DOOR, TRIM AND TRANSOM SCRAPE, SAND AND PAINT.
- 10 EXISTING METAL ROOF SYSTEM TO REMAIN, ROOF IS UNDER WARRANTY, PROTECTED AT ALL TIMES.
- 11 EXISTING SLATE SHINGLE ROOFING SYSTEM TO REMAIN
- 12 TUCKPOINT WATER TABLE
- 13 REMOVE EXISTING WOOD SIDING AND REPLACE WITH FIBER CEMENT SIDING BOARD, PAINT
- 14 EXISTING DOOR TO REMAIN
- 15 EXISTING DECORATIVE ANTENNA TO REMAIN
- 16 REFER TO FLOOR PLAN SHEET A1 FOR STONE STEPS AND WALLS FOR SCOPE OF WORK
- 17 REMOVE EXISTING WOOD PORCH FLOOR DECKING BOARDS AND REPLACE WITH NEW TREATED WOOD BOARDS AND PAINT.
- 18 EXISTING CANOPY COLUMNS AND ENTIRE ASSEMBLY TO REMAIN, PAINT ENTIRE ASSEMBLY
- 19 TOP TRIM TO REMAIN.
- 20 REMOVE EXISTING WOOD BOARD, PATCH REMAINING HOLES MATCHING BRICK.
- 21 EXISTING CONCRETE STEPS TO REMAIN.
- 22 EXISTING ACCESS BASEMENT DOORS TO REMAIN, REBUILD BRICK WALLS.
- 23 NO USED
- 24 EXISTING SIDING WALL TO REMOVE, REFER TO DEMOLITION PLANS, FLOOR PLAN AND ELEVATIONS
- 25 REMOVE THE NECESSARY BRICKS IN ORDER TO ACCOMMODATE AND INFILL EXISTING HOLES WITH BRICK MATCHING EXISTING
- 26 REMOVE THE NECESSARY BRICKS IN ORDER TO ACCOMMODATE NEW STONE LINTEL, MATCHING EXISTING
- 27 DETACH AND REATTACH COPPER DOWNSPOUT, PROVIDE STAINLESS STEEL FASTENERS AT STRAPS, RE USE EXISTING COPPER STRAPS AND INSTALL AT MINIMUM OF 8'-0" G.C.
- 28 NOT USED
- 29 NOT USED
- 30 EXISTING SCREEN DOOR SCRAPE, SAND AND PAINT BOTH SIDES
- 31 PROVIDE CAST IRON GRILLE TO MATCH OR SIMILAR TO EXISTING, PAINT
- 32 RESET CAST IRON GRILL, SCRAPE, REPAIR AND PAINT.
- 33 REPAIR AND RELOCK EXISTING SOFFIT SCREEN, REINFORCE A BROKEN AREAS TO PREVENT THE ENTRY OF RODENTS
- 34 EXISTING SCONCE LIGHT TO REMAIN.
- 35 NOT USED
- 36 NOT USED
- 37 EXISTING WOOD SIDING TO REMAIN
- 38 NEW DOOR SIMILAR TO ADJACENT DOOR, DIMENSIONS MUST BE VERIFY ON SITE, EXISTING DOOR FRAME TO REMAIN, REFER TO ELEVATIONS, PAINT
- 39 EXISTING WINDOW TO REMAIN, REFER TO ELEVATION
- 40 EXISTING BUILDING TO REMAIN N.I.C.
- 41 REMOVE EXISTING PIPE, REFER TO DEMOLITION PLANS
- 42 EXISTING STAIRS TO REMAIN
- 43 EXISTING PAINT TO BE CHEMICALLY REMOVED FROM BRICK, FOLLOW EPA RECOMMENDATIONS AND CERTIFIED WORKER FOR REMOVAL OF LEAD PAINT.
- 44 EXISTING CISTERN TO REMAIN.



(SOUTH) BACK ELEVATION



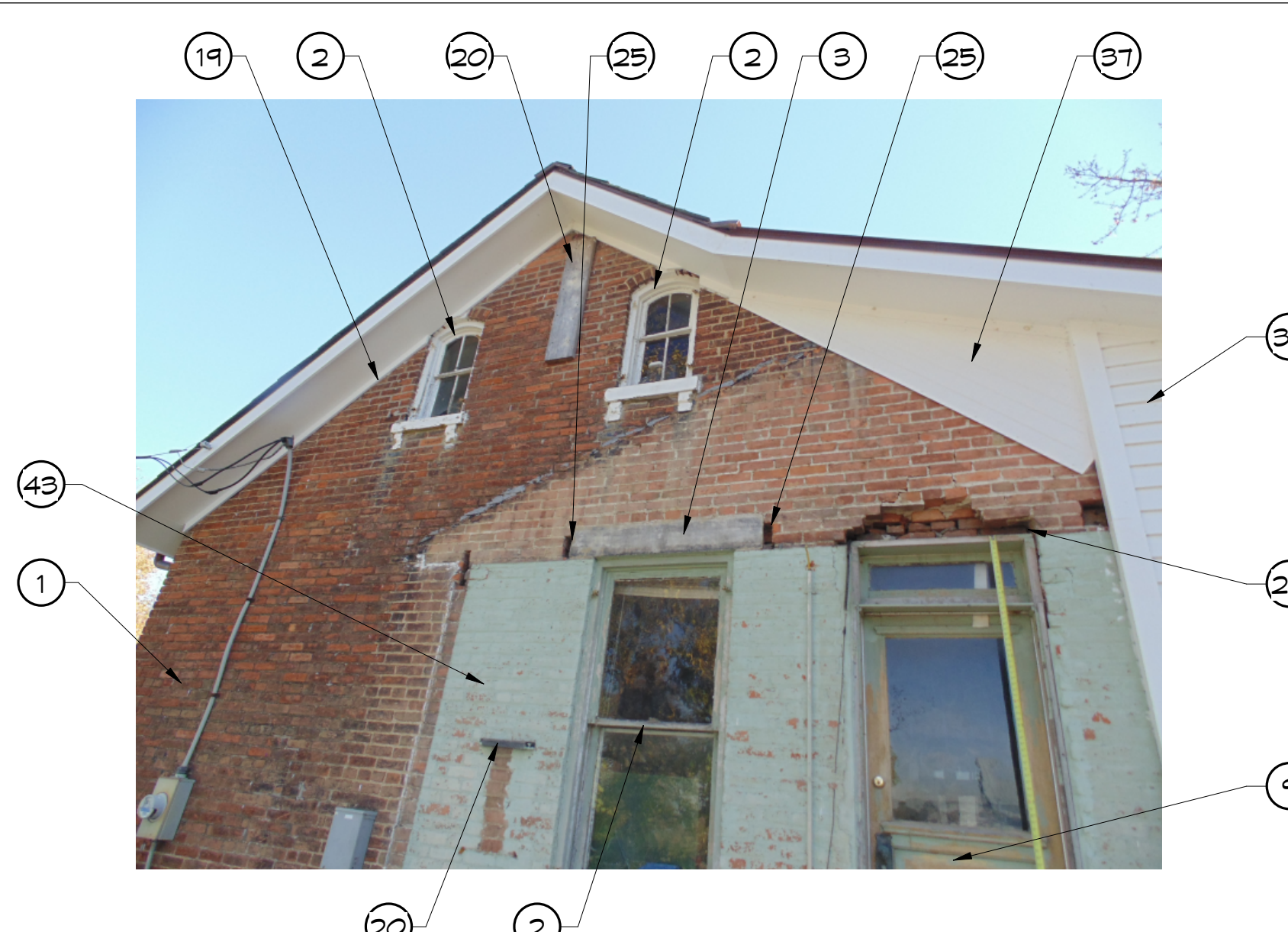
(SOUTH) BACK ELEVATION



(SOUTH) BACK ELEVATION



(WEST) RIGHT ELEVATION



(WEST) RIGHT ELEVATION



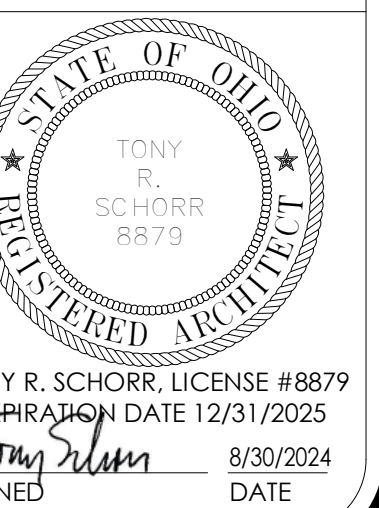
(WEST) EXISTING CONCRETE PAVING

PHOTO RECORD

Louis Rings Residence  
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 6665 Shier Rings Road  
 Dublin, Ohio 43016  
 PREPARED FOR:  
 City of Dublin  
 6555 Shier Rings Road  
 Dublin, Ohio 43016



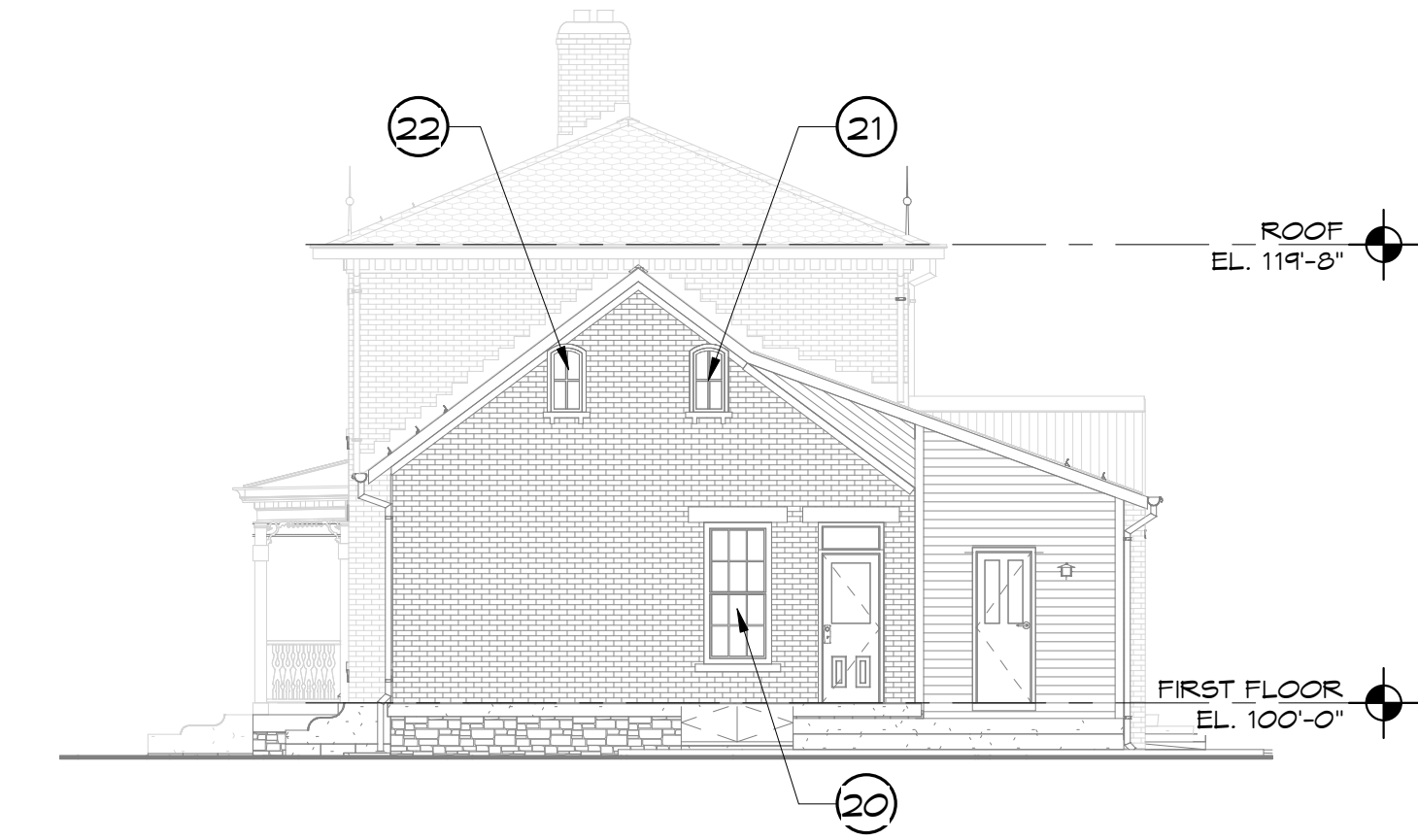
COMM. NO.: 2163



TONY R. SCHORR, LICENSE #8879  
 EXPIRATION DATE 12/31/2025  
 SIGNED: Tony Schorr 8/30/2024  
 DATE



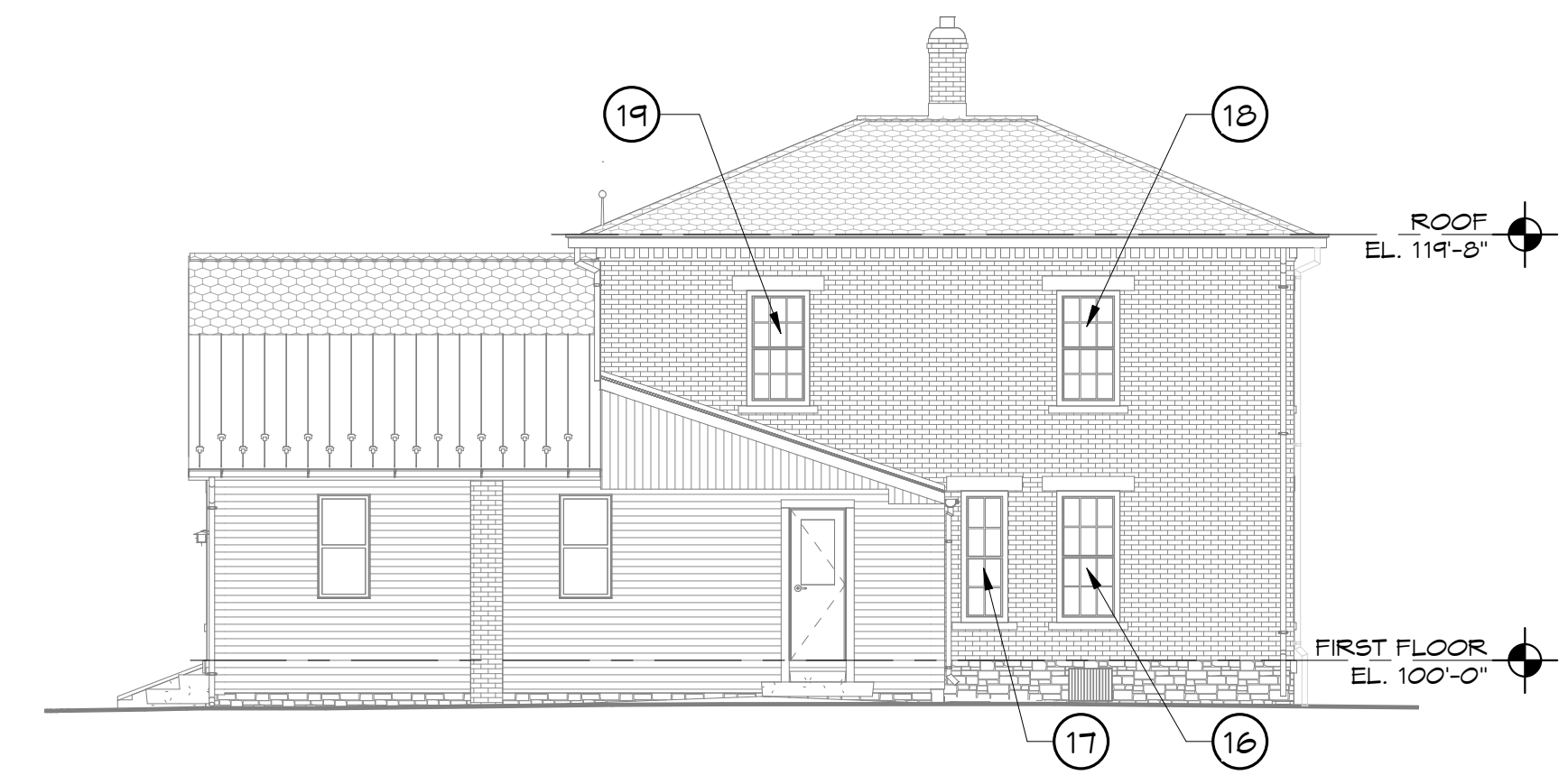
WINDOW 22 WINDOW 21 WINDOW 20



**4 WEST ELEVATION**  
1/8" = 1'-0"



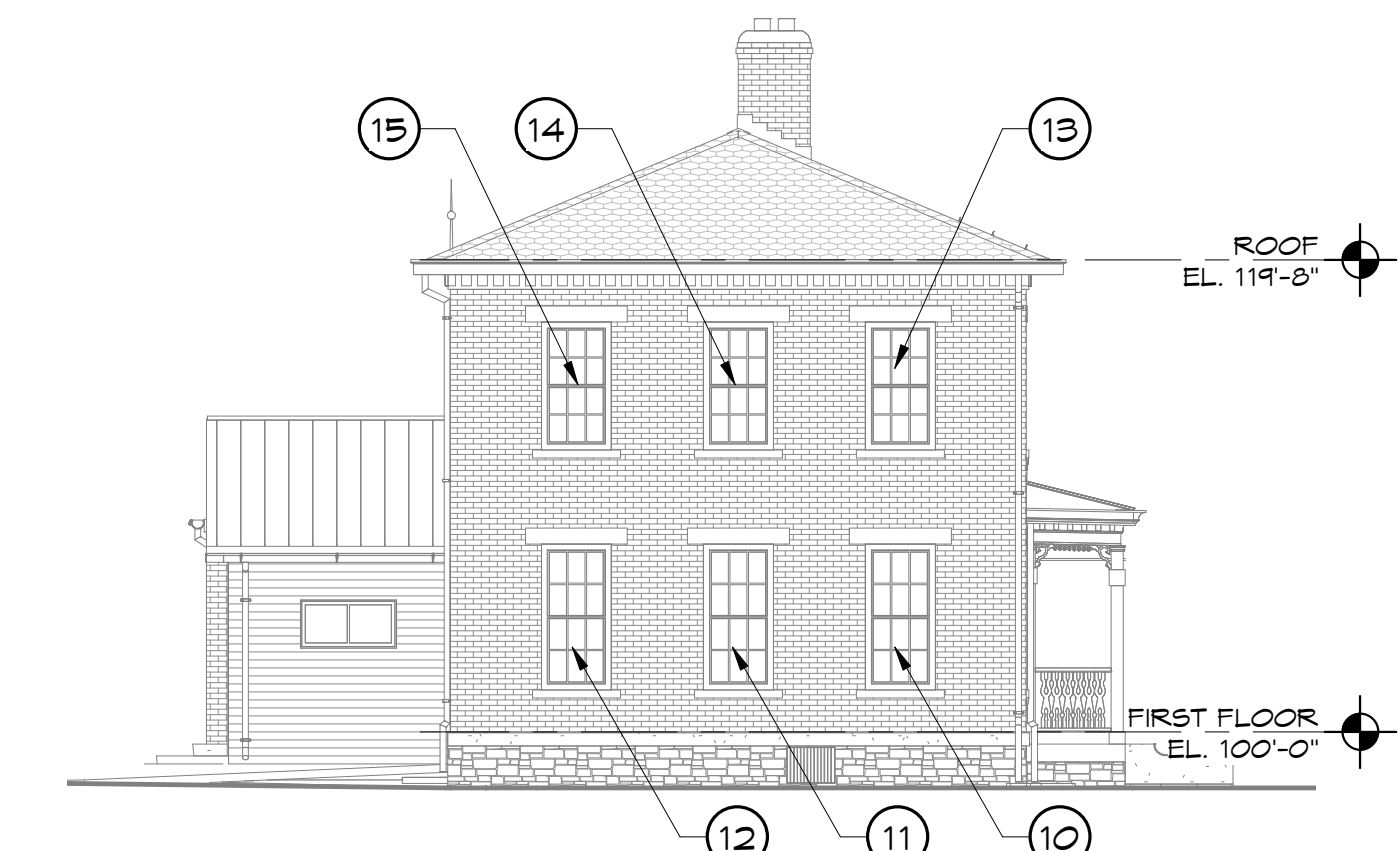
WINDOW 19 WINDOW 18 WINDOW 17 WINDOW 16



**3 SOUTH ELEVATION**  
1/8" = 1'-0"



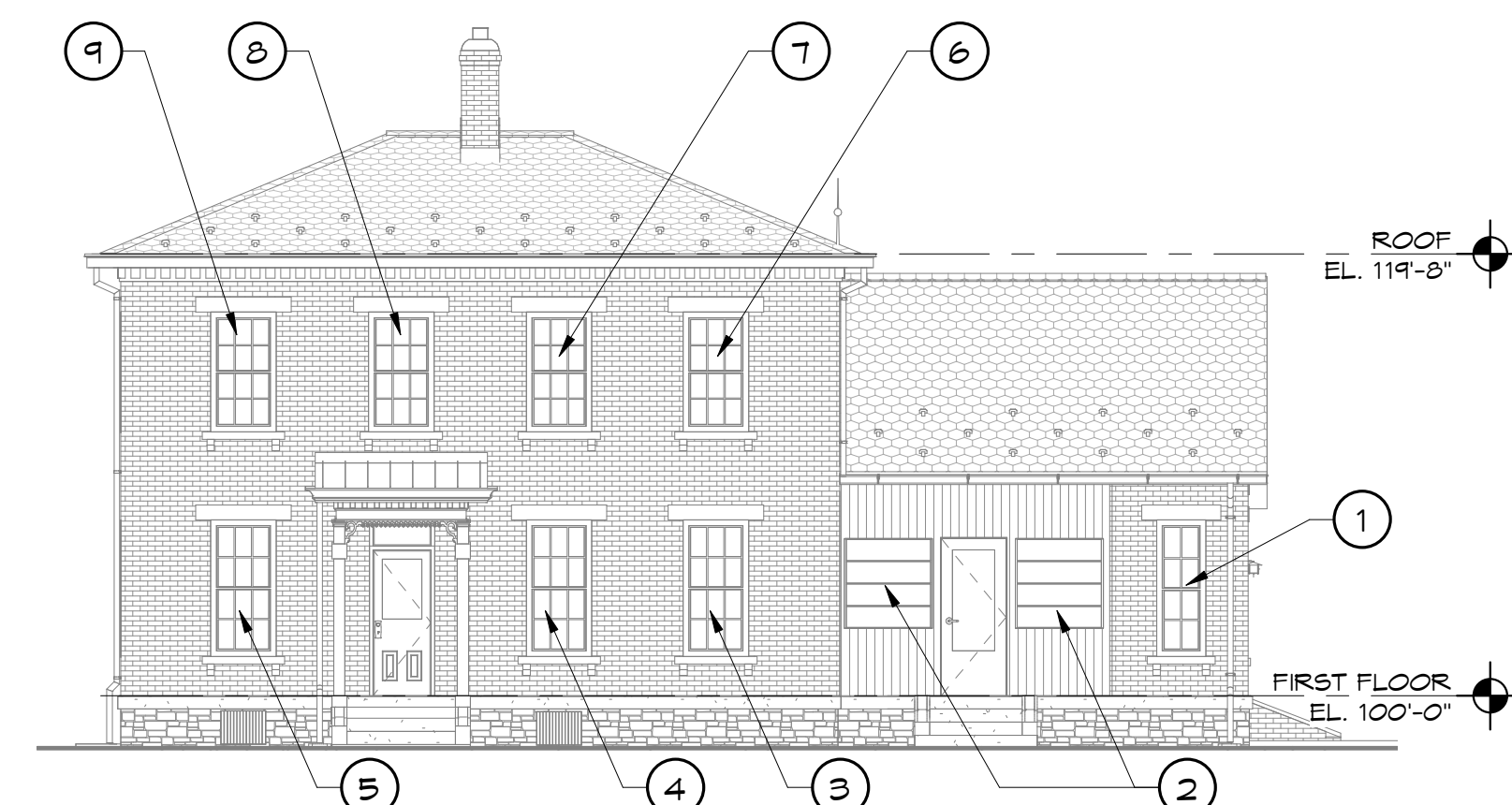
WINDOW 15 WINDOW 14 WINDOW 13 WINDOW 12 WINDOW 11 WINDOW 10



**2 EAST ELEVATION**  
1/8" = 1'-0"



WINDOW 9 WINDOW 8 WINDOW 7 WINDOW 6 WINDOW 5 WINDOW 4 WINDOW 3 WINDOW 2 WINDOW 1



**1 NORTH ELEVATION**  
1/8" = 1'-0"

**ELEVATIONS AND WINDOW PHOTOS**

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**schorr architects inc.**

COMM. NO.: 2163

