

*Architectural Review Board  
Informal Review Application*

# **THE RENOVATION OF 84 N. HIGH ST., 72 N. HIGH ST., AND 20 N. STREET**

Dublin, Ohio

---

*Applicant:*

**Stage Capital Partners**  
501 Morrison Rd.  
Columbus, OH 43230  
Phone: (614) 236-3000  
Contact: Jason Gabauer  
jgabauer@stagecapital.com

*Architect:*

**Gary J. Alexander, Architects**  
1265 Neil Ave.  
Columbus, OH 43201  
Phone: (614) 487-0637  
Contact: Gary Alexander  
gary@garyjalexanderarchitect.com

*Architect:*

**Bass Studio Architects**  
36 King Ave.  
Columbus, OH 43201  
Phone: (614) 294-4893  
Contact: Tim Bass  
tim@bassstudioarchitects.com

*Development Partner:*

**Daimler Group Inc.**  
1533 Lake Shore Dr. #100  
Columbus, OH 43204  
Contact: Tucker Bohm  
tucker@daimlergroup.com

*Initial Submission: Dublin Architectural Review Board  
Nov. 20, 2024*

---

## DRAWING INDEX

### DRAWINGS A1.4 - A1.15 PERTAIN TO BUILDINGS

84 N. HIGH AND 72 N. HIGH

### DRAWINGS A2.1 - A2.5 PERTAIN TO BUILDING

20 NORTH ST.

### C.1-COVER-SHEET

A1.1-DRAWING-INDEX-AND-NARRATIVE

A1.2-PHOTOS

A1.3-VICINITY-PLAN

A1.4-SITE-PLAN

A1.5-SURVEY

A1.6-FIRST-FLOOR-DEMOLITION-PLAN

A1.7-SECOND-FLOOR-DEMOLITION-PLAN

A1.8-THIRD-FLOOR-DEMOLITION-PLAN

A1.9-FIRST-FLOOR-PLAN

A1.10-SECOND-FLOOR-PLAN

A1.11-THIRD-FLOOR-PLAN

A1.12-ROOF-PLAN

A1.13-ELEVATIONS

A1.14-ELEVATIONS

A1.15-DETAILS

A1.15a- SUPPLEMENTAL INFORMATION

A2.1.1-FIRST-FLOOR-PLAN

A2.1.2-SECOND-FLOOR-PLAN

A2.1.3-THIRD-FLOOR-PLAN

A2.3.1-EXISTING-BUILDING-ELEVATIONS

A2.3.2-PROPOSED-BUILDING-ELEVATIONS

A2.4.1-BUILDING-VIEWS

A2.5.1-DETAILS

## PROJECT NARRATIVE

### PROJECT SCOPE

The scope of this project is the renovation of these three existing buildings on the site.

The intended uses are retail and office. The retail spaces are on the second floor (N. High St. elevation) of 84 and 72 N. High St. Office space will remain on the first floor of 84 N. High and the third floor of 72 N. High. 20 North Street will remain entirely office use. At this time, there are no plans for a restaurant on the site.

The third floor of 84 N. High, the previous tenant's kitchen, will be abandoned. Much of the third floor will be removed so the retail tenant spaces can have greater ceiling height.

### DESIGN'S RESPONSE TO THE HISTORIC DISTRICT BUILDINGS' HISTORY

There is little evidence on the exterior of the High Street buildings of their original character. Investigations of the building fabric suggest there was a substantial addition at the rear of 84 N. High, possibly in the 1970's. The beaded siding that covers much of the building appears to have been added at that time. The shed dormers and rear facing gables of the north portion of 84 N. High appear to have been added at that time as well. These modifications conceal a fully intact earlier hipped roof beneath the prominent north gable.

The evident remnants of stone foundations, heavy timber framing, barn siding and a curious interior third floor window suggest there may have originally been a number of separate buildings on this site. Unfortunately, subsequent additions utilizing concrete masonry foundations, conventional wood framing, steel and concrete stair systems, exterior wood paneling and other contemporary building materials have compromised what original building fabric remains.

### DESIGN RESPONSE

The proposed design for the site reflects two different design intents. 84 and 72 N. High are being renovated to have more features in common with the simple vernacular buildings in the Historic District while responding to their immediate context. The building to the north of the site, while no longer subject to the ARB's review, was previously approved by the ARB. The design of 84 N. High establishes a relationship with this neighbor, as well as the District's guidelines. 20 North Street is designed in a manner that includes elements of traditional architecture, such as board and batten siding, while introducing compositional strategies that have more in common with the adjacent Co-Hatch building to the south.

The proposed design divides the site into 4 distinct buildings, each with a different type of siding, distinct window subdivisions and trim details. Subdividing this complex into smaller units results in smaller buildings more compatible with the size and scale of those in the district. Below are some of the exterior changes that are being introduced.

84 N. High – North, the stucco building

- Siding is being removed from the shed dormers and gable and will be replaced with stucco.
- Windows at rear expanded to the height of the original windows.
- Limestone details added to simulate lintels and sills.
- New cover over the entry from the parking lot.
- Overhangs and trim on shed dormers modified.
- Stucco to be repainted.
- Skylight removed.
- Windows subdivided to look like double-hung units.

84 N. High – South, the lap siding building

- Existing siding is being replaced with fiber cement lap siding, 6" exposure.
- New head, sill and jamb details at all openings.
- Arched openings and fenestration at the rear replaced.
- Overhangs and rakes of rear facing gables to be increased.
- Windows subdivided similarly to those in the existing building to the north.
- Skylight to be removed.

72 N. High – vertical siding building

- Existing siding panels to be replaced with fiber cement v-groove siding.
- New distinct head, sill and jamb details at all openings.
- Unusual details below windows and in front gable being removed.
- "Pork chop" returns being removed.

Common features of all three

- Two inch aluminum store front system used for openings, as done in building to the north.
- New roof of dimensional roof shingles, gutters and downspouts for all buildings.
- Some unusual window proportions remain due to a desire to simply fill some existing openings without modifying the structure.

20 North Street is unique when compared to the other buildings on the site. The building is removed from the High Street context, is larger than the 72 and 84 buildings, is adjacent to the newer, more modern context of the Co-Hatch building, and is sited adjacent to Bridge Park. The physical separation of this building from the others reveals its distinct volumetric qualities and significant height.

While 20 N. High is the newest building on the site, the proposed design relates to the character of the older buildings in the historic core through the exterior materials selected, the reshaping of the windows to a more traditional proportion, and the simplification of the mass of the building to one emulating simpler vernacular volumes. A few modern gestures in the organization and grouping of windows are incorporated to impart a more contemporary character. This design, incorporating traditional and modern strategies, is very appropriate for this pivotal location between the new Bridge Park environs and the historic core.

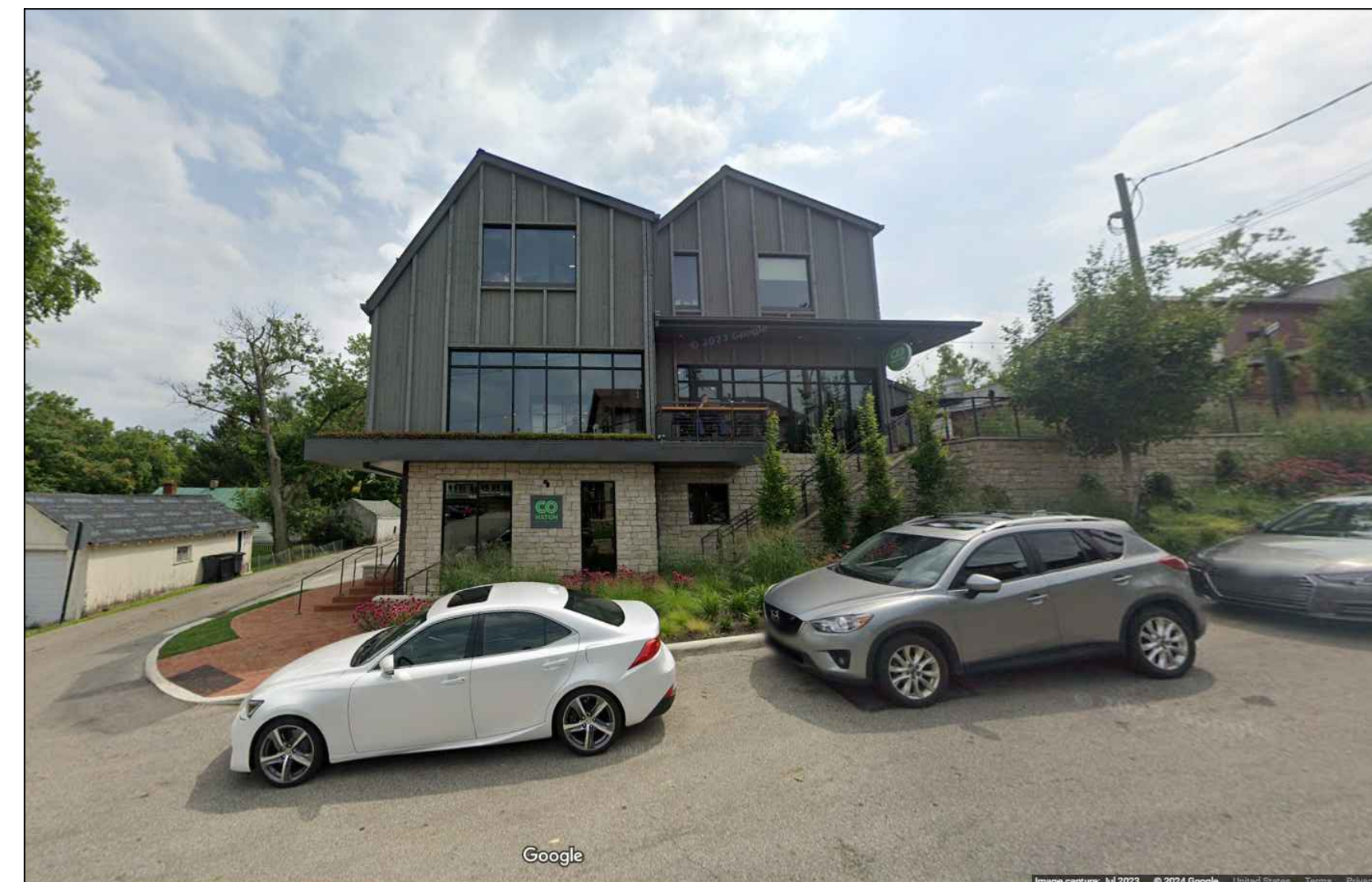
20 North Street – board and batten building

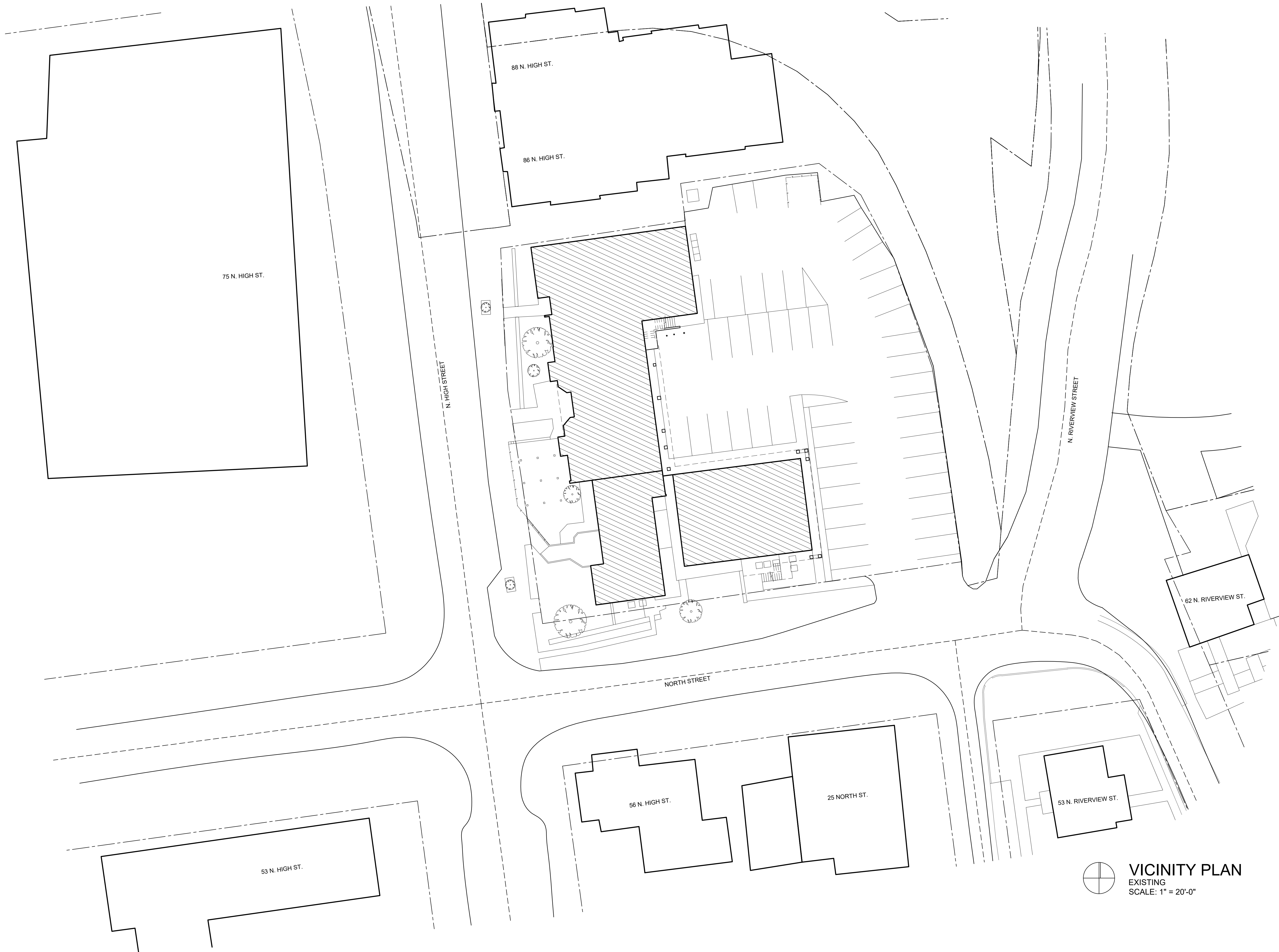
- Existing siding to be replaced with board and batten siding.
- Balconies removed.
- Existing windows replaced while maintaining many of the window locations.
- Stair added to the west side of the building for access to the upper third floor of 72 High.
- Enhanced patio and exterior entry stair at the southeast corner of the building.

### PARKING

The existing parking lot at the rear of the property will be retained. Some interior landscaping within the lot is being considered. The applicants are waiting for the City's plan for the streets at the lot's entry to be completed prior to proposing any modifications to the current lot. The goal is to coordinate modifications to the lot with the City's plan.








**VICINITY PLAN**  
 EXISTING  
 SCALE: 1" = 20'-0"



**PARKING TABULATION**

<b>RETAIL USE</b>			
TENANT 1	84 N. HIGH	-	2,089 SQ. FT.
TENANT 2	84 N. HIGH	-	1,763 SQ. FT.
TENANT 3	84 N. HIGH	-	846 SQ. FT.
TENANT 1	72 N. HIGH	-	1,331 SQ. FT.
	<b>TOTAL</b>		<b>6,029 SQ. FT.</b>
PARKING - 1 SPACE PER 150 SQ. FT.			41 SPACES
<b>OFFICE USE</b>			
OFFICE	84 N. HIGH	-	1,361 SQ. FT.
OFFICE	20 NORTH	-	6,280 SQ. FT.
	<b>TOTAL</b>		<b>7,641 SQ. FT.</b>
PARKING - 1 SPACE PER 250 SQ. FT.			31 SPACES
<b>TOTAL SPACES REQUIRED</b>			<b>72 SPACES</b>
<b>EXISTING PARKING ON SITE</b>			<b>44 SPACES</b>

**CALCULATIONS FROM DRAWINGS DATED 02-08-2024**

<b>84 N. HIGH STREET</b>			
PARCEL ID: 273-000027-00			
FIRST FLOOR	-	1,634 SQ. FT.	
SECOND FLOOR (HIGH ST)	-	5,149 SQ. FT.	
THIRD FLOOR	-	2,244 SQ. FT.	
<b>TOTAL</b>		<b>9,027 SQ. FT.</b>	
<b>72 N. HIGH STREET</b>			
PARCEL ID: 273-000028-00			
FIRST FLOOR	-	0 SQ. FT.	
SECOND FLOOR (HIGH ST)	-	1,460 SQ. FT.	
THIRD FLOOR	-	1,166 SQ. FT.	
<b>TOTAL</b>		<b>2,626 SQ. FT.</b>	
<b>20 NORTH STREET</b>			
PARCEL ID: 273-004081			
FIRST FLOOR	-	2,251 SQ. FT.	
SECOND FLOOR (HIGH ST)	-	2,281 SQ. FT.	
THIRD FLOOR	-	2,281 SQ. FT.	
<b>TOTAL</b>		<b>6,813 SQ. FT.</b>	

**SITE PLAN**  
SCALE: 1" = 20'-0"

ZONING DISTRICT HD-HC

CALCULATIONS FROM SURVEY OF 12-07-2018

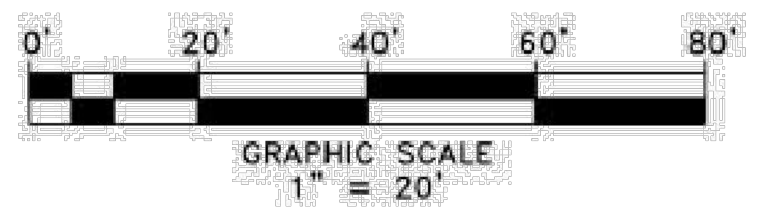
LOT AREA	31,123 SQ. FT.	
BUILDING COVER	-	10,019 SQ. FT.
PAVEMENT COVER	-	17,771 SQ. FT.
<b>TOTAL COVERAGE</b>	-	<b>27,790 SQ. FT.</b>
		89% OF LOT AREA
PERMITTED COVERAGE	-	26,455 SQ. FT.
		85% OF LOT AREA

**SITE PLAN NOTES**

1. WALK
2. TREE TO BE REMOVED
3. WALL TO REMAIN
4. TRELLIS - EXISTING
5. FENCE - EXISTING
6. PLANTING BED
7. AREA TO BE LANDSCAPED
8. PRECAST CONCRETE PAVERS - EXISTING
9. RAMPED DECK - EXISTING

# ALTA/NSPS LAND TITLE SURVEY OF 72-84 N. HIGH ST. IN THE CITY OF DUBLIN, OH

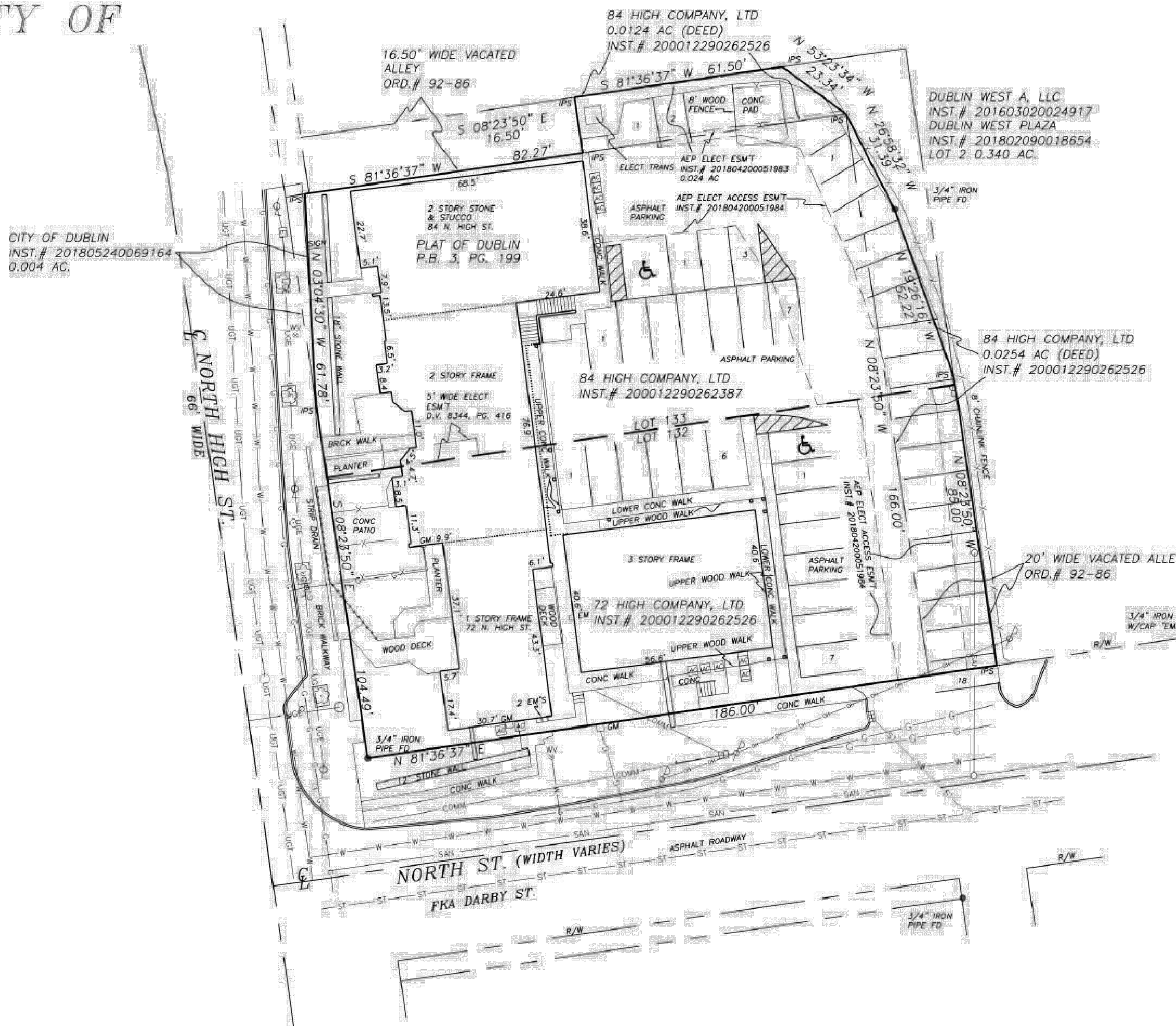
**NOTES:**  
 THIS SURVEY MEETS CURRENT MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS.  
 THE BASIS OF BEARINGS FOR THIS SURVEY IS THE NORTH LINE OF NORTH STREET AS BEING N 81°36'37" E, BASED ON GPS OBSERVATIONS USING THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION VRS SYSTEM, THE STATE PLANS COORDINATE SYSTEM, OHIO SOUTH ZONE, NORTH AMERICAN DATUM OF 1983, ALSO KNOWN AS NAD83 (2011 ADJUSTMENT).  
 EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAN, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS THAT WERE VISIBLE AT THE TIME OF MAKING OF THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIONS, COVENANTS, SUBDIVISION RESTRICTIONS, ZONING OR OTHER LAND-USE REGULATIONS; AND ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.  
 DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY, IT IS NOT TRANSFERABLE TO ANY OTHER PARTY.  
 SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.  
 AS OF THE DATE OF THIS SURVEY, THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.  
 AS OF THE DATE OF THIS SURVEY, THERE ARE NO PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES, NOR ANY OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.  
 AS OF THE DATE OF THIS SURVEY, THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SOUP, OR SANITARY LANDFILL.  
 THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY. LOCATE UTILITIES/STRUCTURES BEFORE EXCAVATIONS ARE BEGUN. THE OHIO UTILITY PROTECTION SERVICE SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.  
**FLOOD ZONE:**  
 ACCORDING TO FIRM MAP OF FRANKLIN COUNTY, OHIO AND INCORPORATED AREAS, MAP NUMBER 530001M, EFFECTIVE DATE OF 6/17/2008, THE PROPERTY SHOWN HEREON LIES IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.



**LEGEND**

1	Lot Numbers
2	Lot Lines
3	Property Lines
4	Sanitary Sewer
5	Storm Sewer
6	Water Main
7	Gas Main
8	Underground Lines
9	Overhead Lines
10	Electric Lines
11	Telephone Lines
12	Cable TV Lines
13	All Overhead Utilities
14	Ditch Line
15	Man Hole
16	Storm Inlet
17	Curb Inlet
18	Drain Inlet
19	Manhole
20	Parking Meter
21	Clean Out
22	Downspout Drain
23	Fire Hydrant
24	Valve Box
25	Gas Meter
26	Gas Valve
27	Water Meter
28	Water Valve
29	Electric Meter
30	Utility Pole
31	Guy Wire
32	Pole Numbers
33	Gas Line Marker
34	Light Pole
35	Yard or Flood Light
36	Telephone Closure
37	Electric Closure
38	Cable Television Closure
39	Traffic Signal Pole
40	Billboard
41	Utility Pole Box
42	Handicap
43	Fence
44	Sign
45	Concrete
46	Evergreen Tree
47	Deciduous Tree
48	Stone Foundation
49	Monument Spike
50	Iron Pin Set
51	Iron Pin Found
52	MAC Nail Set
53	Deep Volume
54	Official Record
55	Instrument Number
56	Iron Pin Found
57	Iron Pin Found
58	Railroad Spike Found
59	MAC Nail Set
60	Dist. Hole Set
61	Dist. Hole Set

ALL MONUMENTS FOUND ARE NOTED.  
 ALL IRON PINS SET ARE 5/8" IN DIAMETER W/ CAP STAMPED W/ J. SURVEYING.



TO: 72 HIGH COMPANY, LTD., 84 HIGH COMPANY, LTD.  
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 7(a),(b)(1), 8, 9, 11, 13, 14, 16, 17, 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 5, 2018.  
 DATE: 12/07/2018  
 JOHN W. WETHERILL (P.S. 7811)

Parcel No. 273-000027-00  
 Situated in the County of Franklin, State of Ohio and in the Village of Dublin:  
 Being Lot Number One hundred Thirty-three (133) in the Village of Dublin, as the same is numbered and delineated upon the recorded plat thereof, of record in Deed Book 1, page 193, Records Office, Franklin County, Ohio.  
 Street Address: 84 north High Street, Dublin, Oh 43017

Situated in the State of Ohio, County of Franklin, Village of Dublin, being a 0.0124 acre tract, out of that 26.50 foot alley, vacated by Dublin, Ohio, Village Council, by Ordinance No. 92-86, said vacated alley and streets within this described tract of land designated and delineated upon the Town Plat of Dublin, of record in Plat Book 3, Page 199, all reference to Plat Book, Deed Book and Official Record Volume (O.R.V.) being recorded in the Franklin County, Ohio, Records Office, said 0.0124 acre tract being more particularly described as follows:  
 Beginning for reference at the centerline intersection of High Street (66.00 feet in width) and Darby Street (66.00 feet in width) as shown on said Plat of Dublin, thence North, along the centerline of said High Street, a distance of 207.25 feet to a point, thence East, along centerline of said vacated alley, parallel to and 8.25 feet distance from (measured at right angle) the southerly line of said vacated alley and the northerly line of the lot presently described to Carol J. Bland, Deed Book 3303, Page 260, the same being under Land Contract to Jack J. and Joan B. Eggespuehler, Official Record Volume 1847G02, passing the easterly line of said High Street at 33.00 feet, a distance of 121.00 feet to a point and the True Place of Beginning of the tract of land herein described:  
 Thence North, through the northerly one half of the said vacated alley, a distance of 8.25 feet to a point in the northerly line of said vacated alley and the southerly line of that described tract of land conveyed to Rivers Edge Two of record in Official Record Volume 6494G09.  
 Thence East, along the northerly line of said vacated alley and the southerly line of said Rivers Edge Two, a distance of 61.50 feet to a point;  
 Thence South 45°00'00" East, through the northerly one half of the said vacated alley, a distance of 11.67 feet to a point in the centerline of said vacated alley;  
 Thence West, along the centerline of said vacated alley, a distance of 69.75 feet to the True Place of Beginning, containing 0.0124 acres of land, subject to all easements, right-of-way, restrictions of prior record and being further designated and delineated upon Exhibit "A", attached hereto and made a part hereof by reference.  
 For the purpose of this description a bearing of East was assumed upon the centerline of the aforesaid vacated 16.50 foot alley and all other bearings computed from same.

Situated in the State of Ohio, County of Franklin, Village of Dublin, being a 0.0254 acre tract, out of that 20.00 foot alley, vacated by Dublin, Ohio, Village Council, by Ordinance No. 92-86, said vacated alley and streets within this described tract of land being designated and delineated upon the Town Plat of Dublin, of record in Plat Book 3, Page 199, all reference to Plat Book, Deed Book and Official Record Volume (O.R.V.) being recorded in the Franklin County, Ohio, Records Office, said 0.0254 acre tract being more particularly described as follows:  
 Beginning for reference at the centerline intersection of High Street (66.00 feet in width) and Darby Street (66.00 feet in width) as shown on said Plat of Dublin, thence east, along the centerline of said Darby Street, a distance of 209.00 feet to a point, thence North a distance of 33.00 feet to a point in the northerly line of said Darby Street, the centerline of 20.00 foot wide vacated alley, and the true place of beginning of the tract of land herein described:  
 Thence North, with the centerline of said vacated alley, parallel to and 10.00 feet distance from (measured at right angle) the westerly line of said vacated alley and the easterly line of lands described to Jack J. and Joan B. Eggespuehler in Official Record Volume 7837F20, and Official Record Volume 1847G02, a distance of 136.25 feet to a point;  
 Thence South 11°02'27" East, through the easterly one half of the said vacated alley, a distance of 52.22 feet to a point in the easterly line of said vacated alley and the westerly line of that described tract of land conveyed to Rivers Edge Two of record in Official Record Volume 6494G09;  
 Thence South, with the easterly line of said vacated alley, the westerly line of the aforesaid Rivers Edge Two tract of land, a distance of 85.00 feet to a point, said point being the intersection of the easterly line of the aforesaid 20.00 foot alley, with the northerly line of the aforesaid Darby Street;  
 Thence West, with the extended northerly line of said Darby Street, a distance of 10.00 feet to the True Point of Beginning, containing 0.0254 acres of land, subject to all easements, right-of-way, restrictions of prior record and being further designated and delineated upon Exhibit "A", attached hereto and made a part hereof by reference.  
 For the purpose of this description a bearing of North was assumed upon the centerline of the aforesaid vacated 20.00 foot alley and all other bearings computed from same.

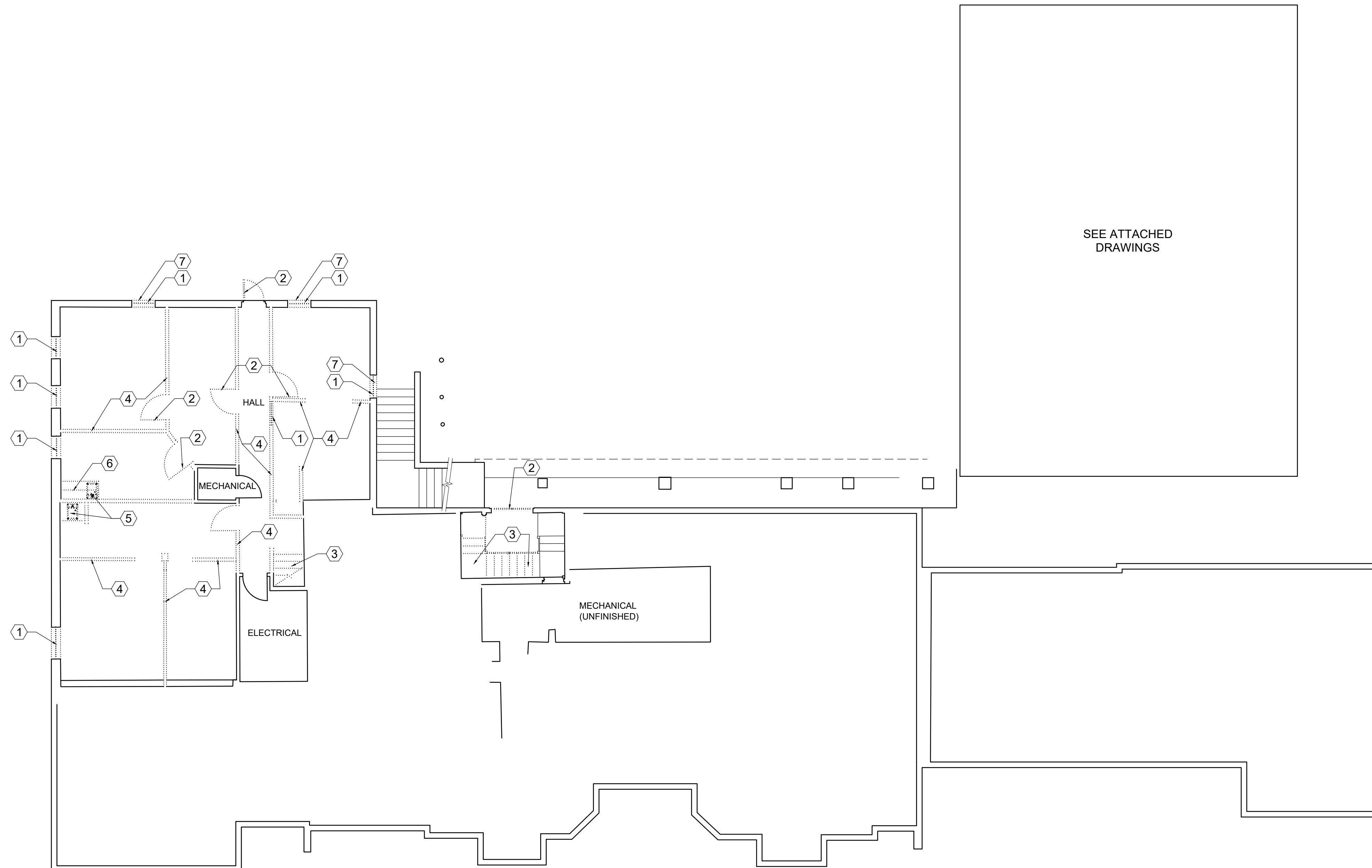
Parcel No. 273-000028  
 Situated in the County of Franklin, State of Ohio and in the Village of Dublin:  
 Being Lot Number One hundred Thirty-Two (132) in the Town of Dublin, as the same is numbered and delineated upon the recorded plat of said Town of Dublin, of record in Deed Book 1, page 193, Records Office, Franklin County, Ohio.

Parcel No. 273-004081  
 Situated in the State of Ohio, County of Franklin, Village of Dublin, being 0.1632 acres of land, of which 0.1375 being out of Lot 132, as shown and delineated upon the Town Plat of Dublin, of record in Plat Book 3, Page 199, Records Office, Franklin County, Ohio, and 0.0257 acres being out of the alley vacated by Village of Dublin Ordinance No. 92-86: said 0.1632 acres being more particularly described as follows:  
 Beginning at the southeasterly corner of a 20.00 foot wide alley vacated by Village of Dublin Ordinance No. 92-86, said Point of Beginning being in the northerly right-of-way line of Darby Street (66.00 feet in width);  
 Thence East, along the northerly line of said Darby Street, the southerly line of said vacated alley, and the southerly line of said Lot No. 132, a distance of 127.00 feet to a point, said point being located East 59.00 feet from the southerly corner of Lot No. 132;  
 Thence North, a distance of 56.00 feet to a point;  
 Thence East, parallel to and 56.00 feet southerly from (as measured at right angles) the southerly line of said Lot No. 132, crossing said vacated alley, passing the easterly line of said Lot No. 132 at 107.00 feet, a distance of 127.00 feet to a point in the easterly line of said vacated alley;  
 Thence South, along the easterly line of said vacated alley, a distance of 56.00 feet to the Point of Beginning and containing 0.1632 acres of land.  
 Notes: A bearing of West was assumed on the northerly right-of-way line of Darby Street, and all other bearings then calculated from this meridian.

ALTA/NSPS LAND TITLE SURVEY OF 72-84 N. HIGH ST. IN THE CITY OF DUBLIN, OH

J. & J. SURVEYING SERVICES, INC.  
 7509 EAST MAIN ST., SUITE 104  
 REYNOLDSBURG, OHIO 43068  
 PH (614) 866-9158  
 JOHN@JJSURVEYINGOHIO.COM  
 JOHN.WETHERILL@JJSURVEYINGOHIO.COM  
 © 2018 J. & J. SURVEYING SERVICES, INC.

18-091

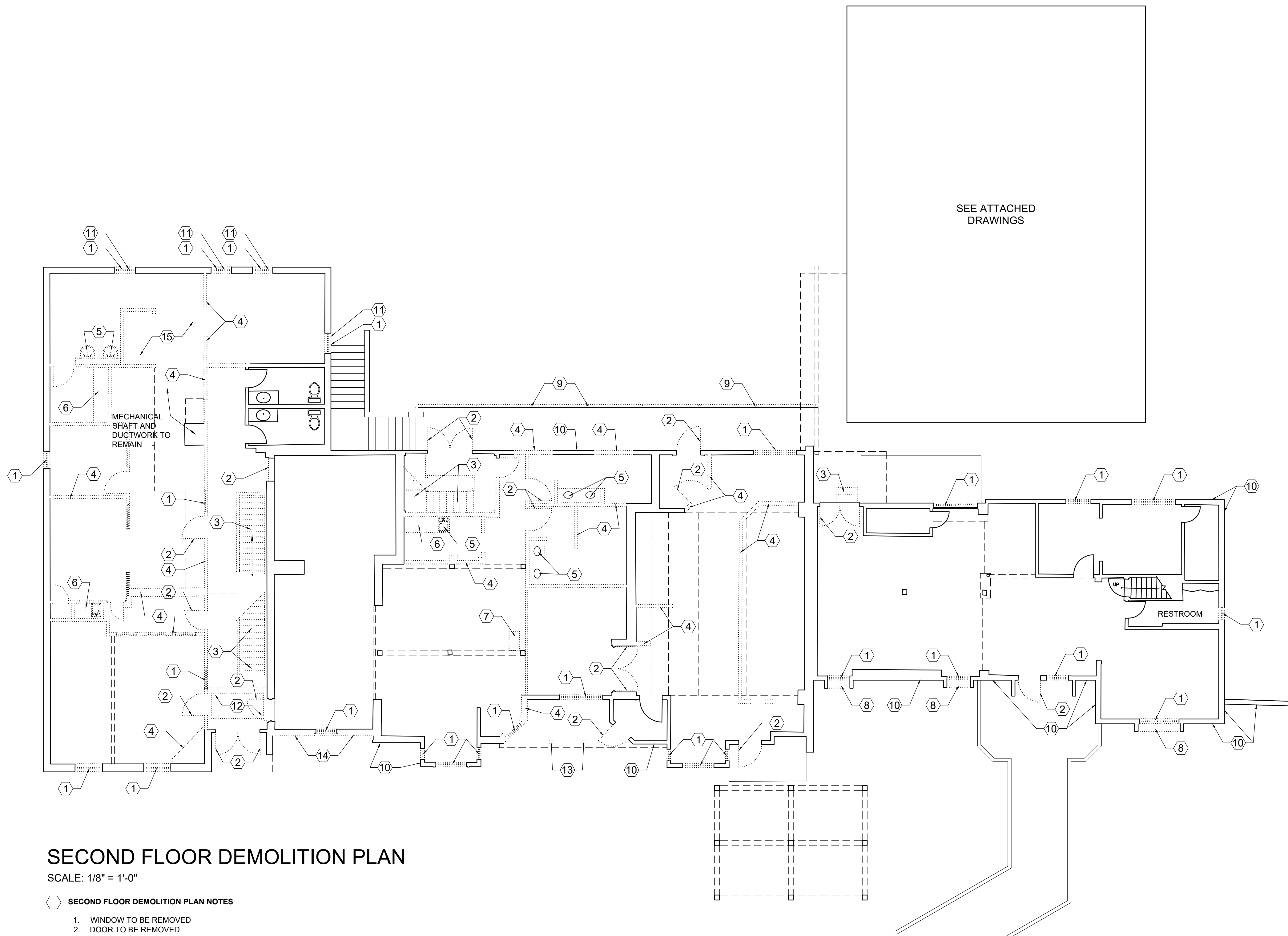


**FIRST FLOOR DEMOLITION PLAN**

SCALE: 1/8" = 1'-0"

**FIRST FLOOR DEMOLITION PLAN NOTES**

1. WINDOW TO BE REMOVED
2. DOOR TO BE REMOVED
3. STAIR TO BE REMOVED
4. WALL TO BE REMOVED
5. PLUMBING FIXTURE TO BE REMOVED
6. CABINETRY TO BE REMOVED
7. REMOVE PANEL BENEATH WINDOW, RESTORE HEIGHT OF ORIGINAL OPENING



**SECOND FLOOR DEMOLITION PLAN**

SCALE: 1/8" = 1'-0"

**SECOND FLOOR DEMOLITION PLAN NOTES**

- 1. WINDOW TO BE REMOVED
- 2. DOOR TO BE REMOVED
- 3. STAIR TO BE REMOVED
- 4. WALL TO BE REMOVED
- 5. PLUMBING FIXTURE TO BE REMOVED
- 6. CABINETRY TO BE REMOVED
- 7. FLUE TO BE REMOVED. G.C. TO CONFIRM FLUE IS NOT BEING USED FOR VENTING EQUIPMENT
- 8. PROJECTION BENEATH WINDOW TO BE REMOVED
- 9. EXISTING RAILING SYSTEM TO BE REMOVED
- 10. EXISTING SIDING AND TRIM TO BE REMOVED
- 11. REMOVE PANEL BENEATH WINDOW. RESTORE HEIGHT OF ORIGINAL OPENING
- 12. SKYLIGHT TO BE REMOVED
- 13. COLUMNS TO BE REMOVED
- 14. REMOVE STONE VENEER
- 15. SUSPENDED CEILING TO BE REMOVED



Project Title

**Dublin 72-84 North High Street**

Project Address

Dublin 72-84 North High Street  
Dublin, Ohio 43017

36 King Avenue

Columbus, Ohio 43201

www.bassstudioarchitects.com

Date

ARCH. REVIEW:  
11/20/24

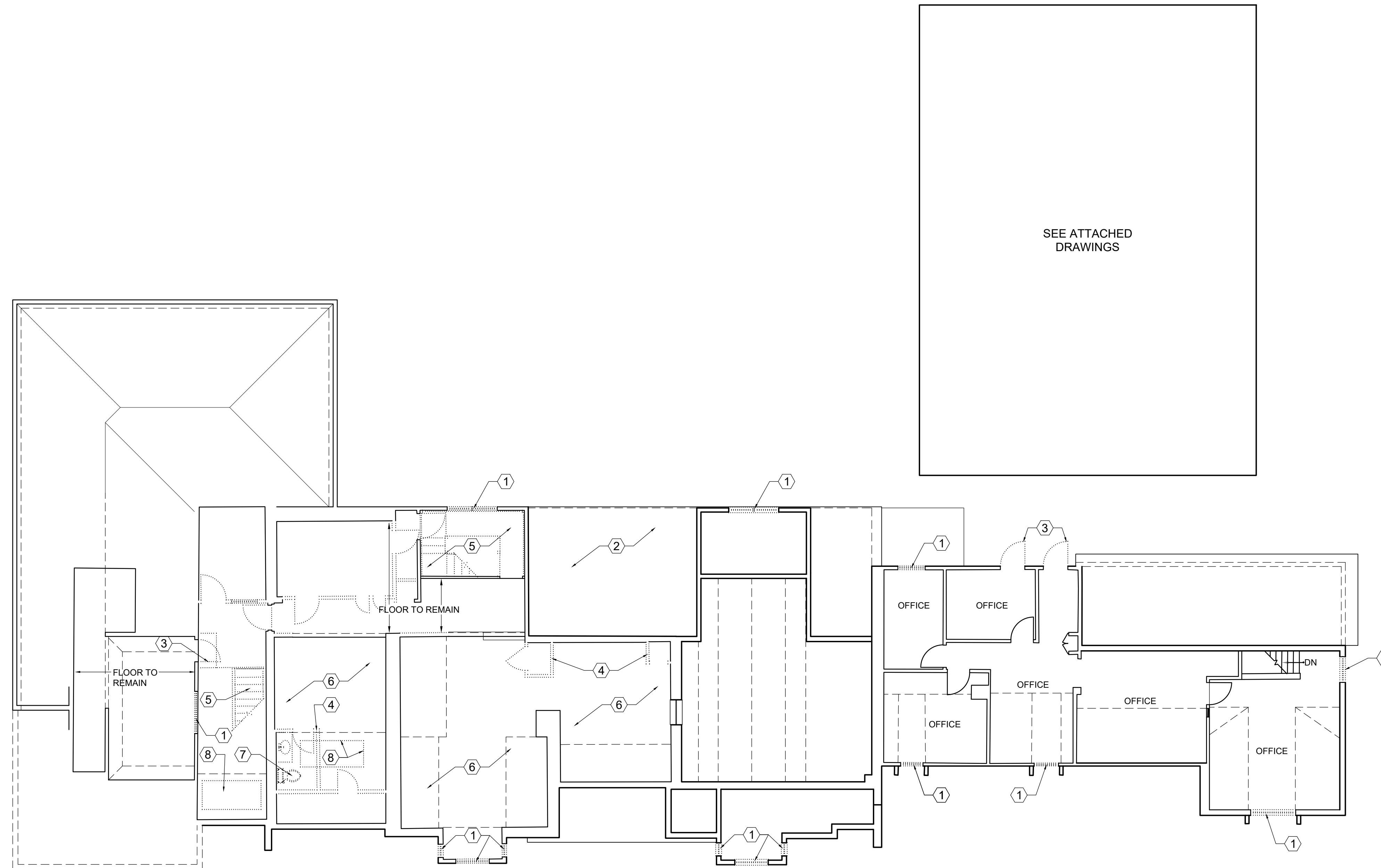
Sheet No.

**A1.7**

**Gary J. Alexander,  
Architects**

1265 Neil Avenue, Columbus, Ohio 43201  
(614) 487-0637



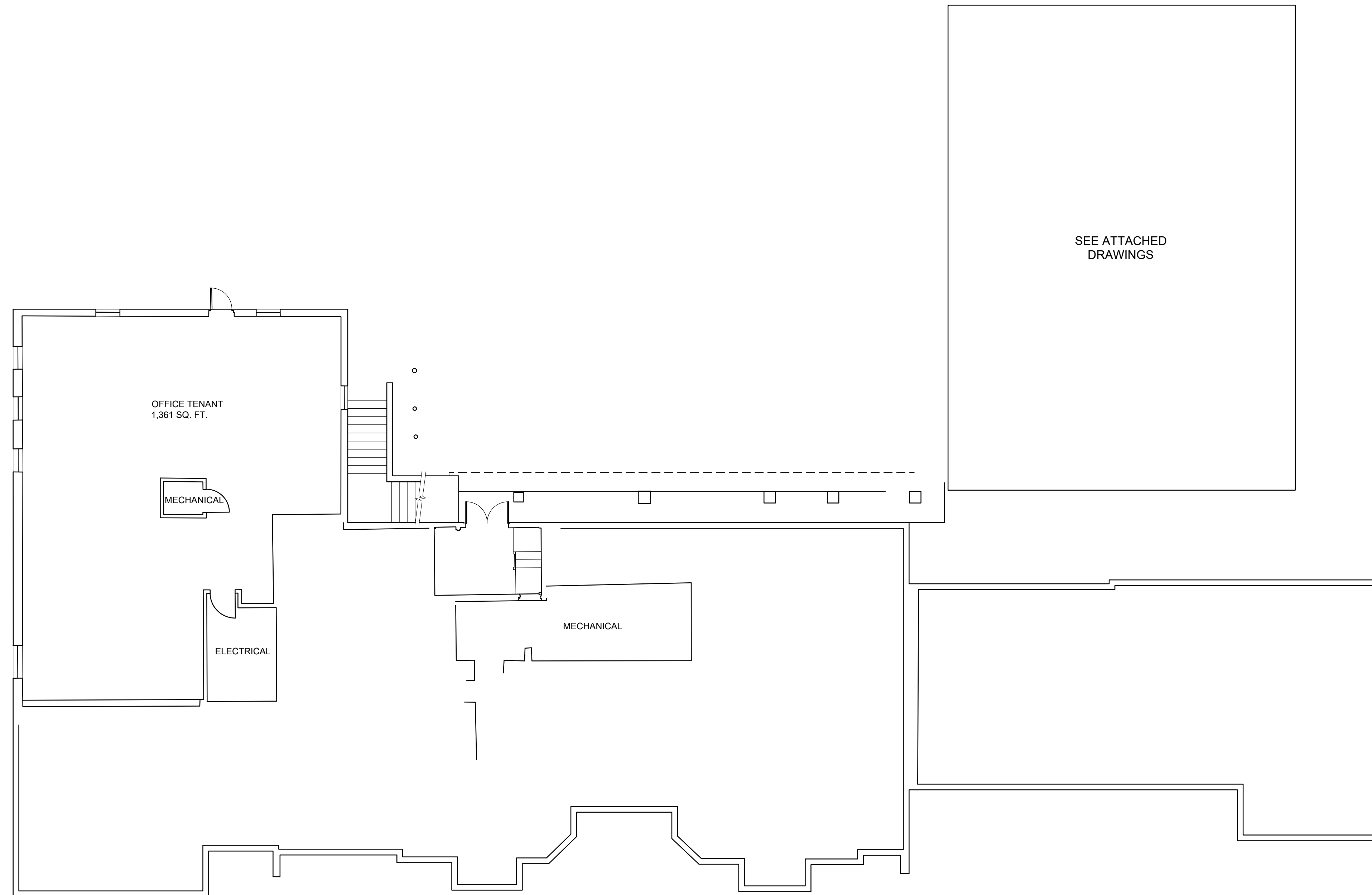


### THIRD FLOOR/LOW ROOF DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

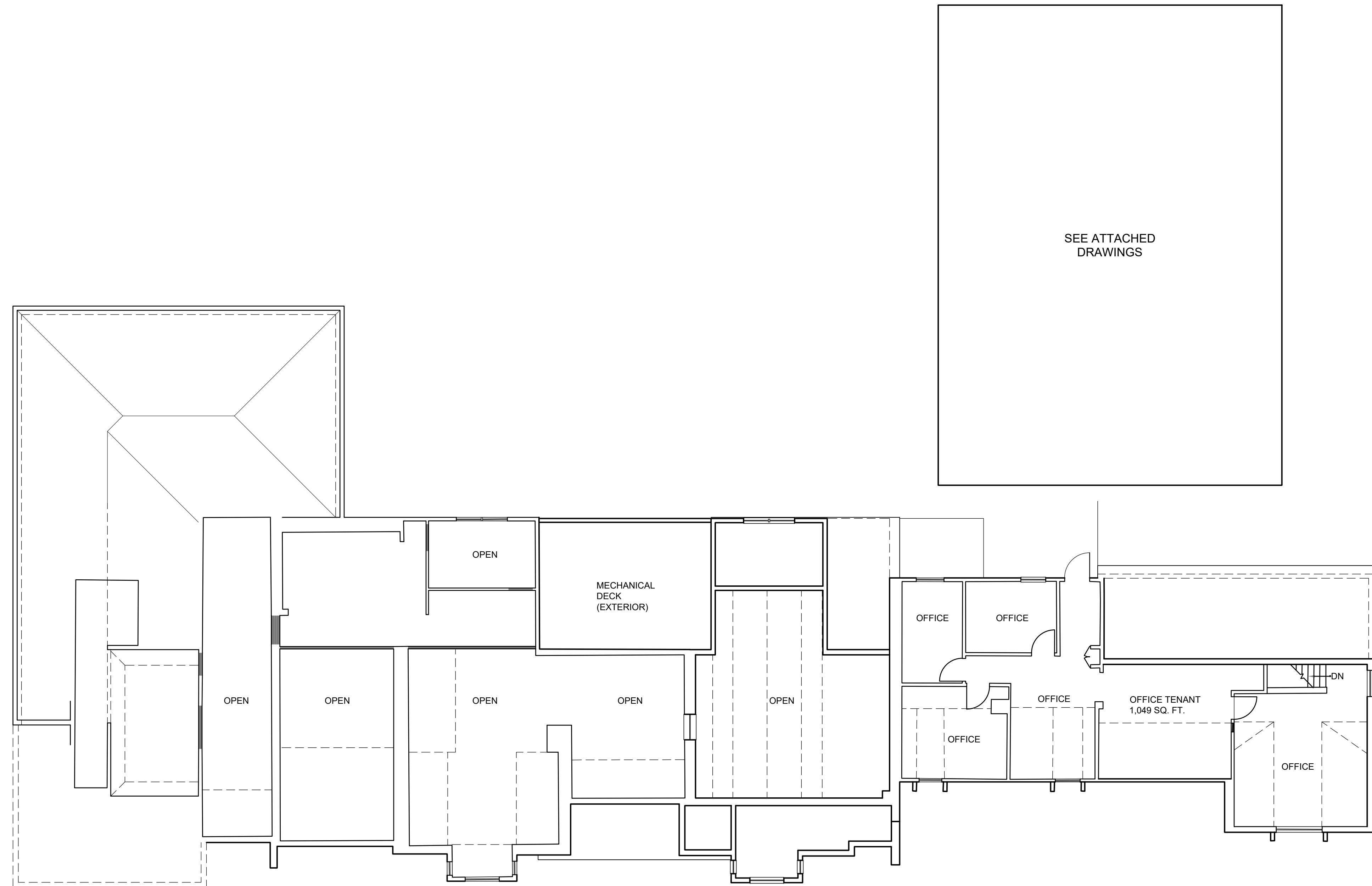
THIRD FLOOR/LOW ROOF DEMOLITION PLAN NOTES

1. WINDOW TO BE REMOVED
2. ROOF TO BE REMOVED
3. DOOR TO BE REMOVED
4. WALL TO BE REMOVED
5. STAIR TO BE REMOVED
6. FLOOR AND CEILING ASSEMBLY TO BE REMOVED
7. PLUMBING FIXTURES TO BE REMOVED
8. SKYLIGHT TO BE REMOVED

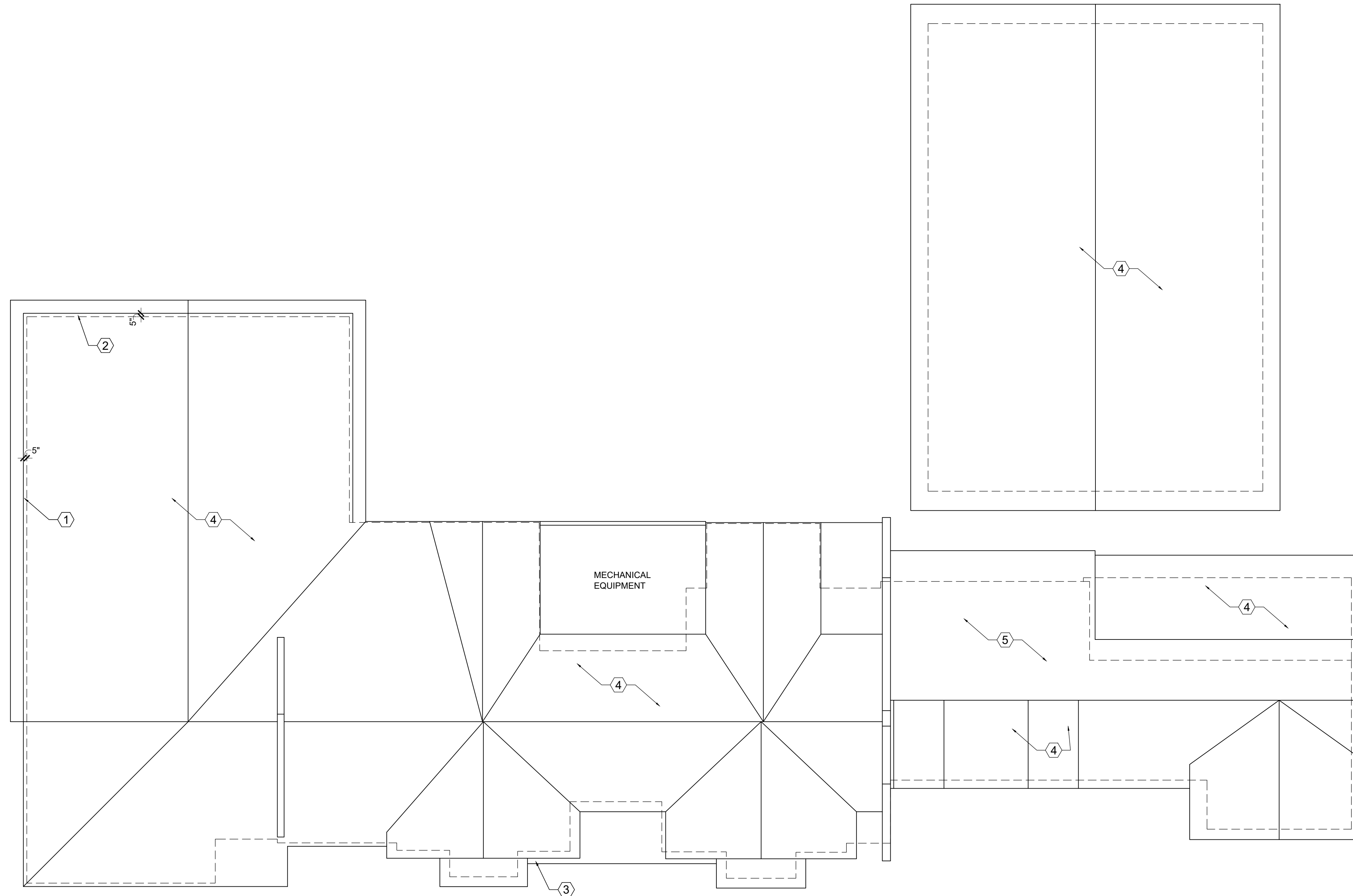


**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"





**THIRD FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

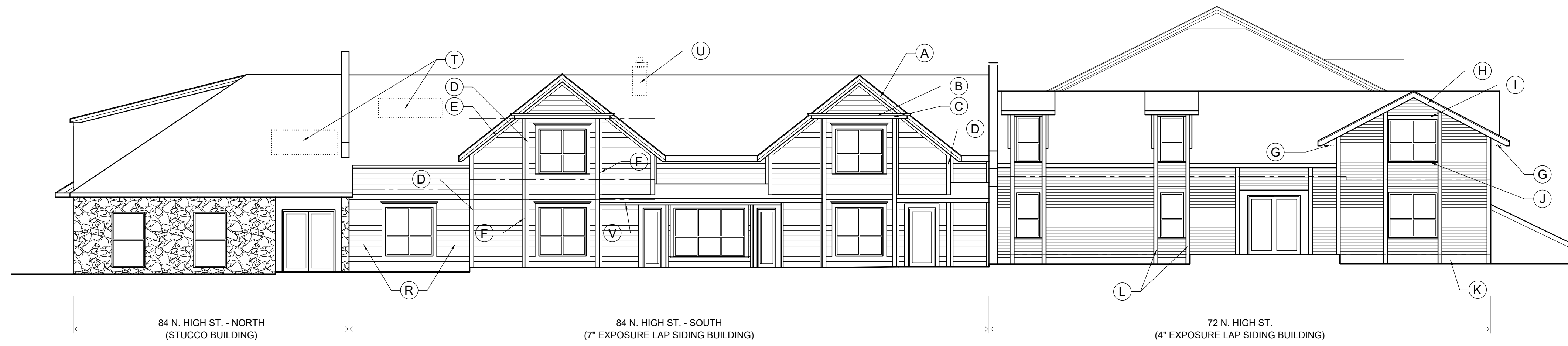


**ROOF PLAN**

SCALE: 1/8" = 1'-0"

ROOF PLAN NOTES

1. REDUCE DIMENSION OF EXISTING SHED DORMER'S OVERHANG
2. REDUCE DIMENSION OF EXISTING SHED DORMER'S RAKE
3. EXTEND ROOF TO BAY
4. EXISTING SHINGLES TO BE REPLACED WITH NEW DIMENSIONAL SHINGLES
- 5.



**WEST ELEVATION - PROPOSED**

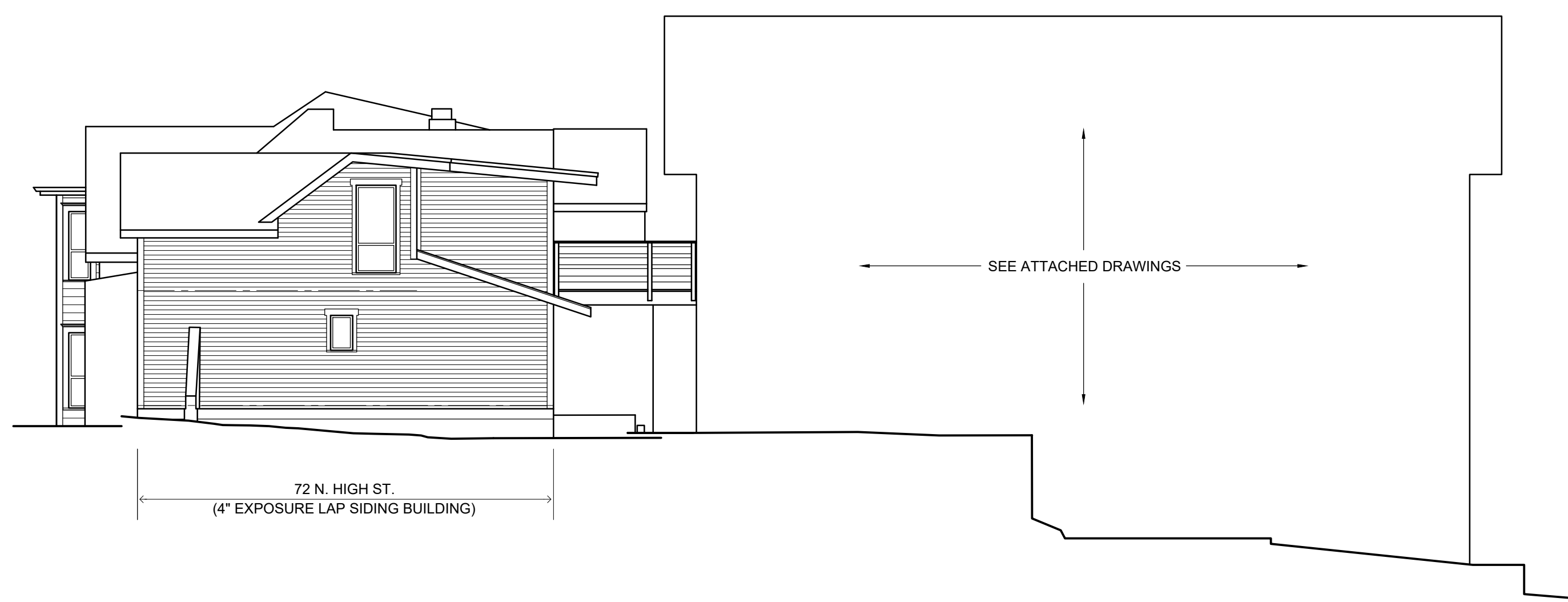
SCALE: 1/8" = 1'-0"

- ELEVATION NOTES**
- A. RAKE BOARD TO REMAIN
  - B. FASCIA TO REMAIN
  - C. GUTTER, 5" OGEE PROFILE
  - D. 5/4 X 6 CORNER BOARD - NEW
  - E. 5/4 X 6 RAKE TRIM - NEW
  - F. 5/4 X 3 INSIDE CORNER BOARD - NEW
  - G. REMOVE EXISTING SOFFIT
  - H. RAKE BOARD TO REMAIN
  - I. 5/4 X 6 TRIM WITH HEAD FLASHING
  - J. SILL, PROFILE TO MATCH HOLMES LUMBER, SILL 920019 2" X 1 1/2"
  - K. 5/4 X 10 POLY ASH TRIM WITH HEAD FLASHING
  - L. 5/4 TRIM OVER THE END OF EXISTING FIN
  - M. REDUCE OVERHANG OF EXISTING RAKE TRIM
  - N. REMOVE EXISTING TRIM
  - O. REDUCE EXISTING SOFFIT DEPTH
  - P. ADD TRIM
  - Q. STUCCO, COLOR AND TEXTURE TO MATCH EXISTING
  - R. REMOVE EXISTING STONE
  - S. REMOVE EXISTING AIR CONDITIONING UNITS
  - T. SKYLIGHT TO BE REMOVED
  - U. FLUE TO BE REMOVED
  - V. EXTEND EXISTING ROOF SURFACE
  - W. MECHANICAL EQUIPMENT SCREEN
  - X. NEW RAKE TRIM
  - Y. REPAIR EXISTING STUCCO AS REQUIRED. PAINT STUCCO
  - Z. REMOVE VERTICAL TRIM CONNECTING FASCIA TO RAKE BOARD. EXTEND RAKE TRIM



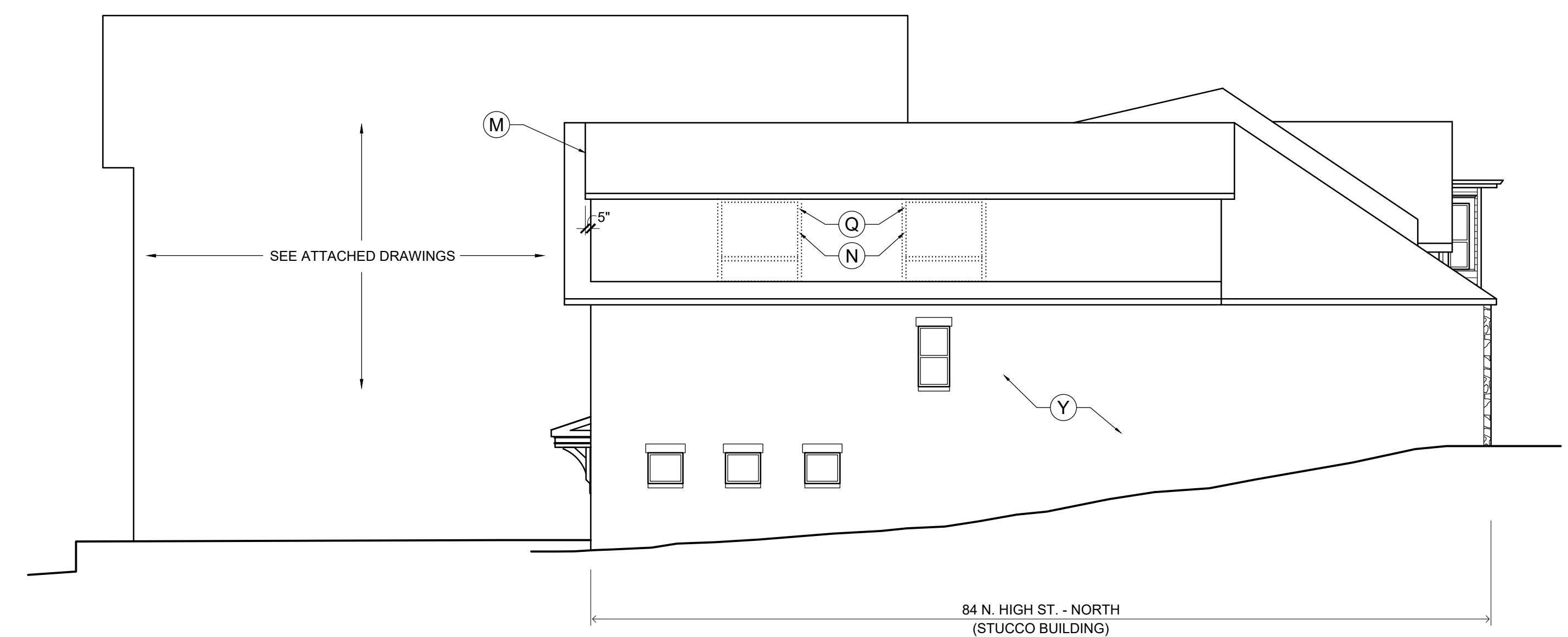
**WEST ELEVATION - EXISTING**

SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION - PROPOSED**

SCALE: 1/8" = 1'-0"

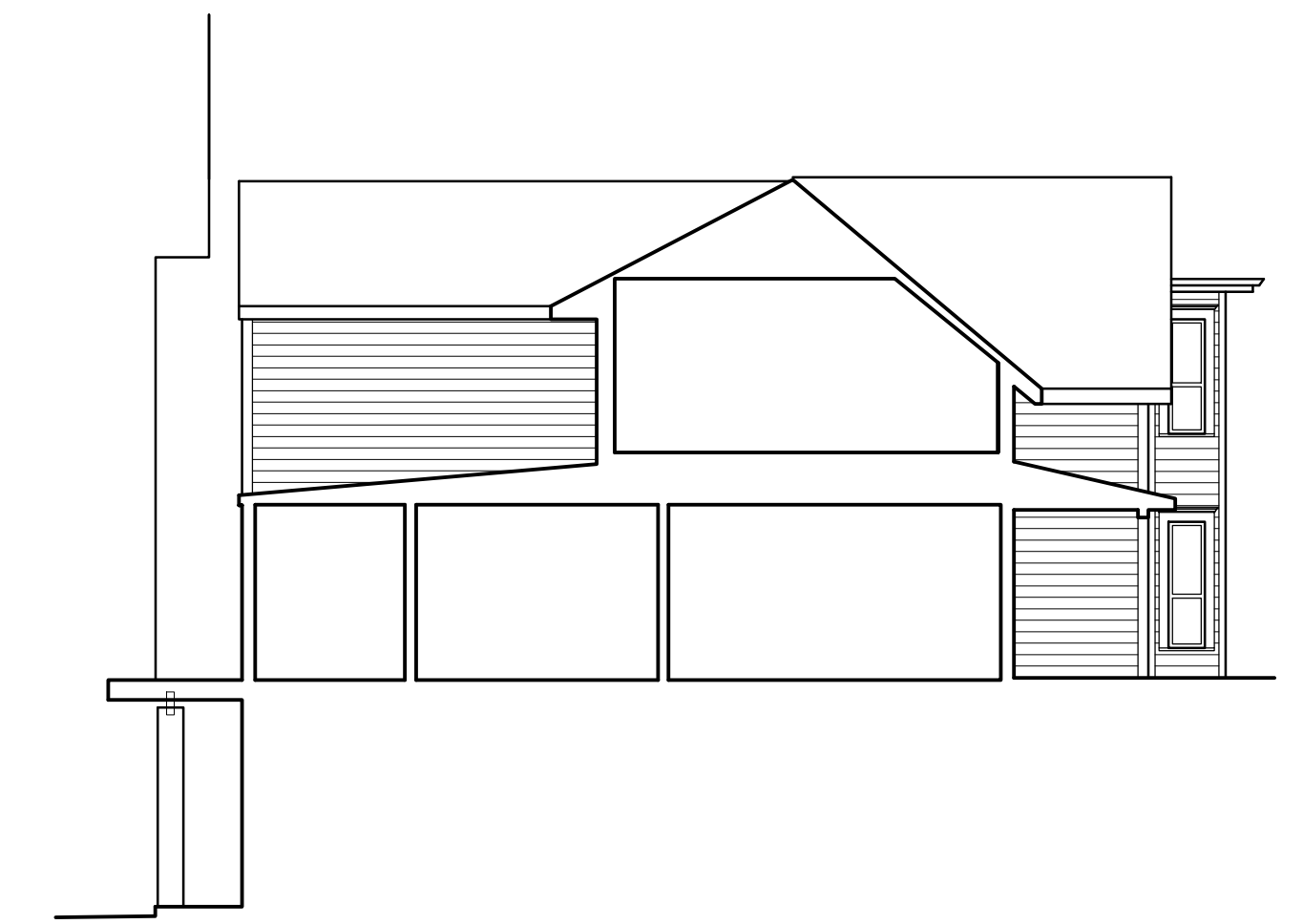


**NORTH ELEVATION - PROPOSED**

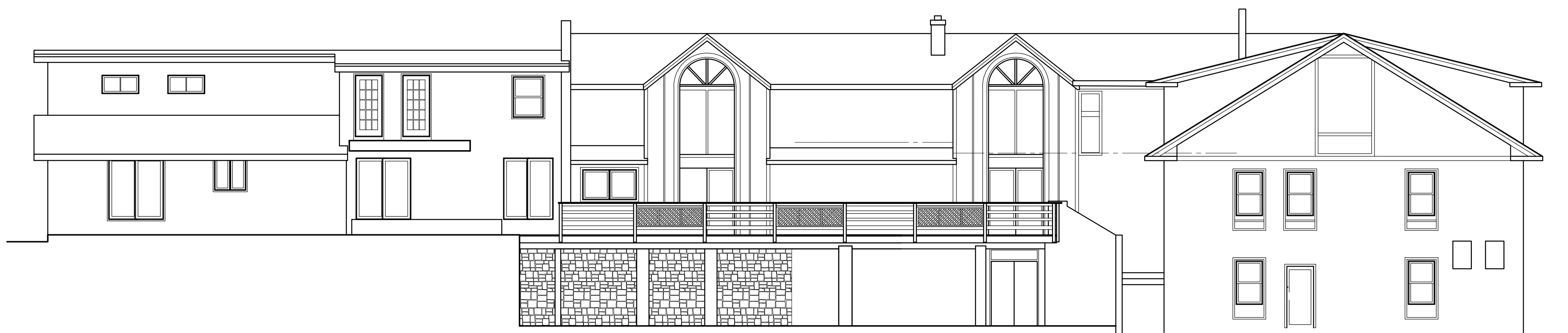
SCALE: 1/8" = 1'-0"



**EAST ELEVATION - PROPOSED**  
SCALE: 1/8" = 1'-0"

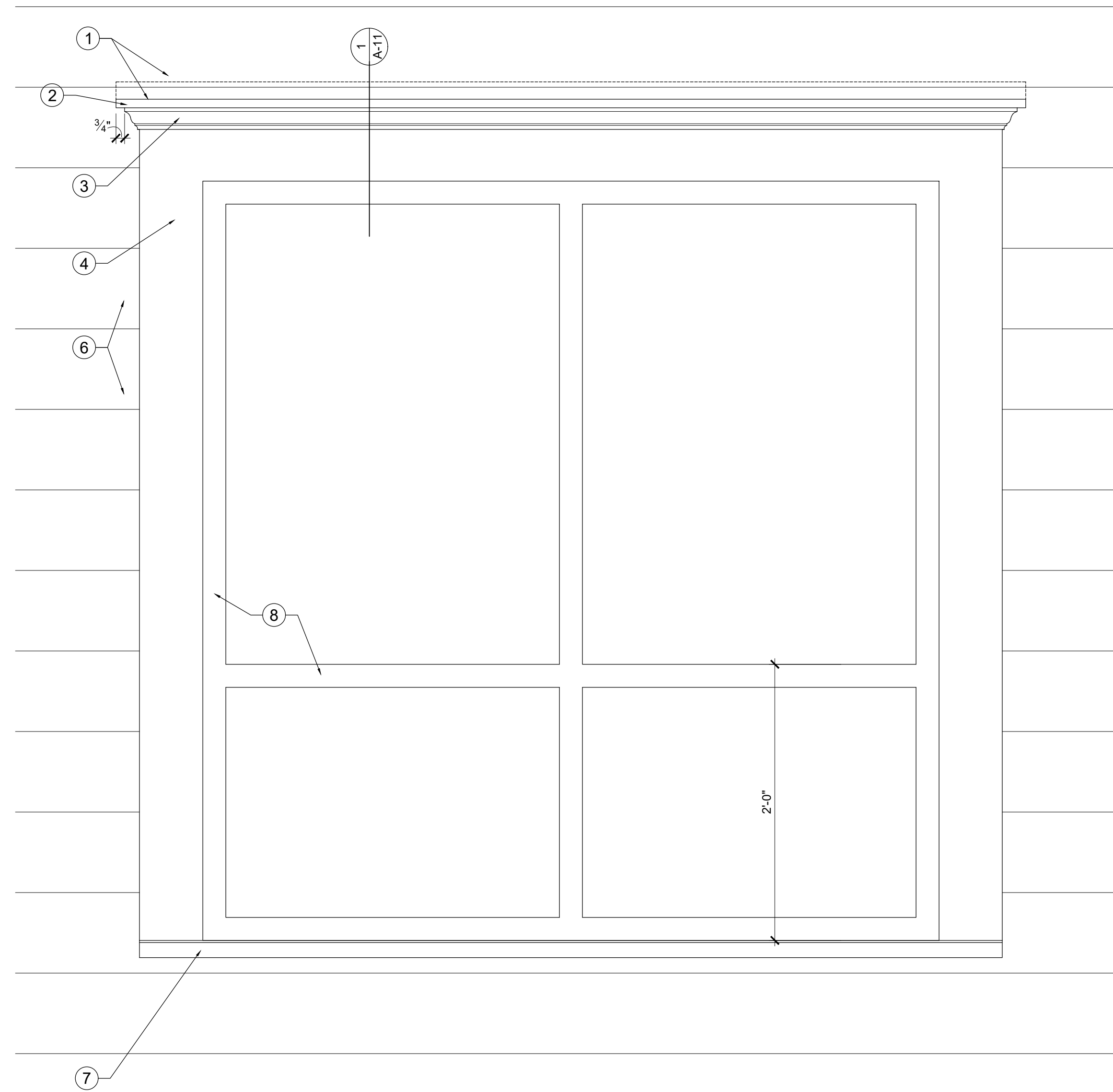


**SECTION/PARTIAL ELEVATION - PROPOSED**  
SCALE: 1/8" = 1'-0"

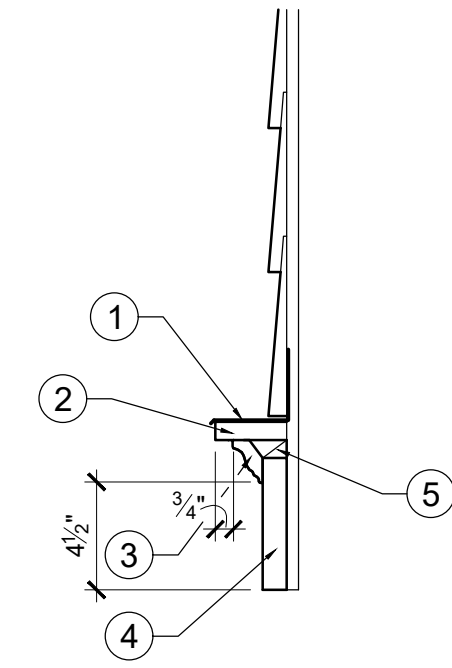


**EAST ELEVATION - EXISTING**  
SCALE: 1/8" = 1'-0"

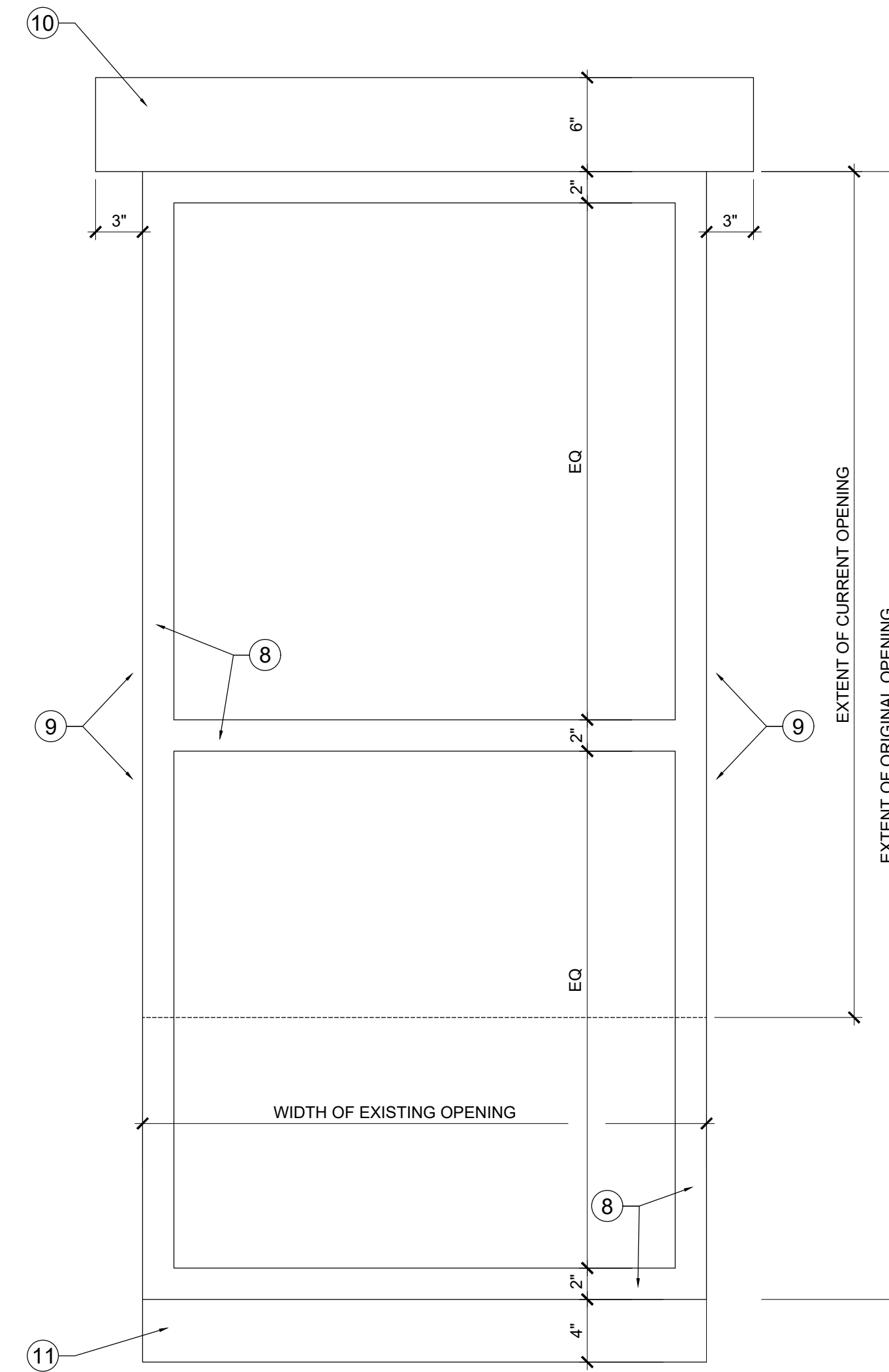
- ELEVATION NOTES**
- A. RAKE BOARD TO REMAIN
  - B. FASCIA TO REMAIN
  - C. GUTTER, 5" OGEE PROFILE
  - D. 5/4 X 6 CORNER BOARD - NEW
  - E. 5/4 X 6 RAKE TRIM - NEW
  - F. 5/4 X 3 INSIDE CORNER BOARD - NEW
  - G. REMOVE EXISTING SOFFIT
  - H. RAKE BOARD TO REMAIN
  - I. 5/4 X 6 TRIM WITH HEAD FLASHING
  - J. SILL, PROFILE TO MATCH HOLMES LUMBER, SILL 920019 2" X 1 1/2"
  - K. 5/4 X 10 POLY ASH TRIM WITH HEAD FLASHING
  - L. 5/4 TRIM OVER THE END OF EXISTING FIN
  - M. REDUCE OVERHANG OF EXISTING RAKE TRIM
  - N. REMOVE EXISTING TRIM
  - O. REDUCE EXISTING SOFFIT DEPTH
  - P. ADD TRIM
  - Q. STUCCO, TEXTURE TO MATCH EXISTING
  - R. REMOVE EXISTING STONE
  - S. REMOVE EXISTING AIR CONDITIONING UNITS
  - T. SKYLIGHT TO BE REMOVED
  - U. FLUE TO BE REMOVED
  - V. EXTEND EXISTING ROOF SURFACE
  - W. MECHANICAL EQUIPMENT SCREEN
  - X. NEW RAKE TRIM
  - Y. REPAIR EXISTING STUCCO AS REQUIRED, PAINT STUCCO
  - Z. REMOVE VERTICAL TRIM CONNECTING FASCIA TO RAKE BOARD. EXTEND RAKE TRIM



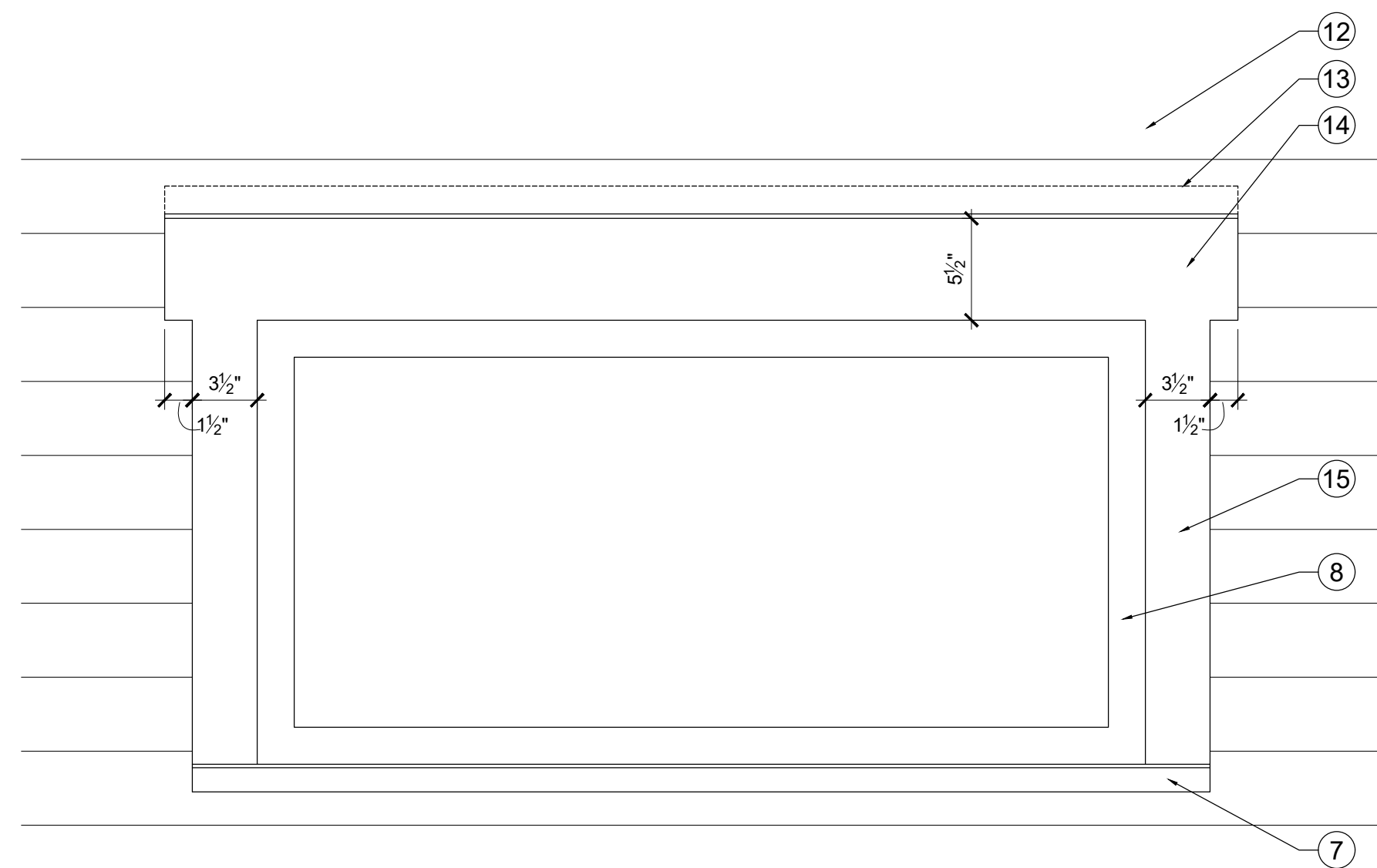
**1 SECTION**  
TYPICAL WINDOW HEAD  
84 N. HIGH ST. - SOUTH  
SCALE: 1 1/2" = 1'-0"



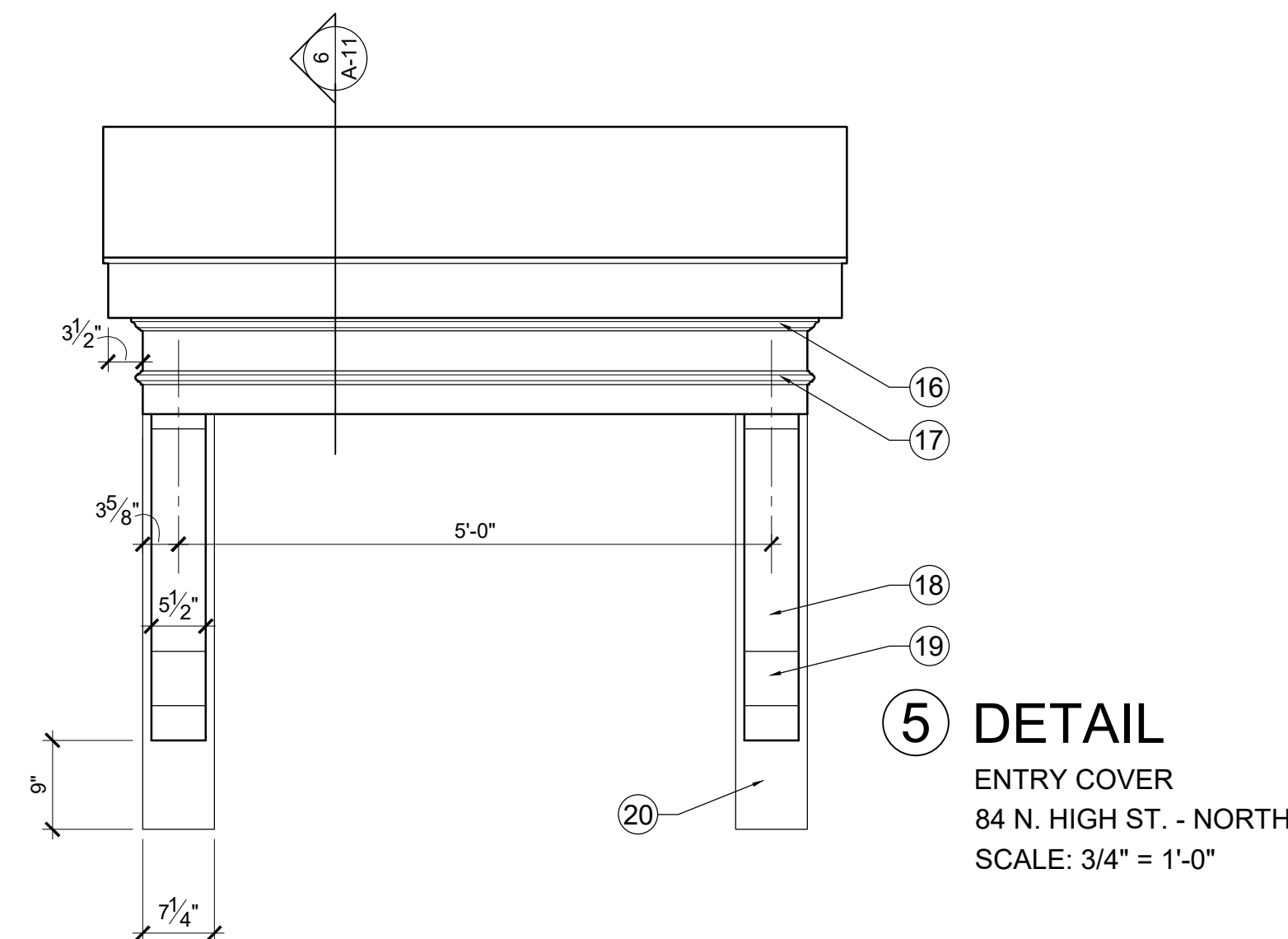
**2 DETAIL**  
TYPICAL WINDOW TRIM  
84 N. HIGH ST. - SOUTH  
SCALE: 1 1/2" = 1'-0"



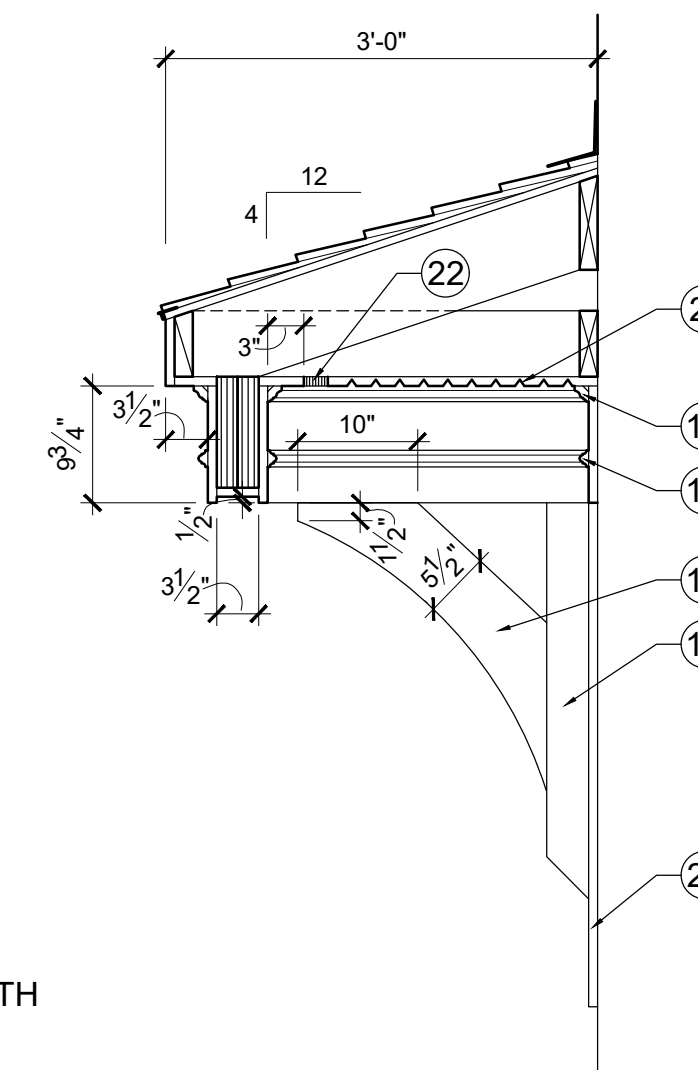
**4 DETAIL**  
TYPICAL WINDOW TRIM  
84 N. HIGH ST. - NORTH  
SCALE: 1 1/2" = 1'-0"



**3 DETAIL**  
TYPICAL WINDOW TRIM  
72 N. HIGH ST.  
SCALE: 1 1/2" = 1'-0"



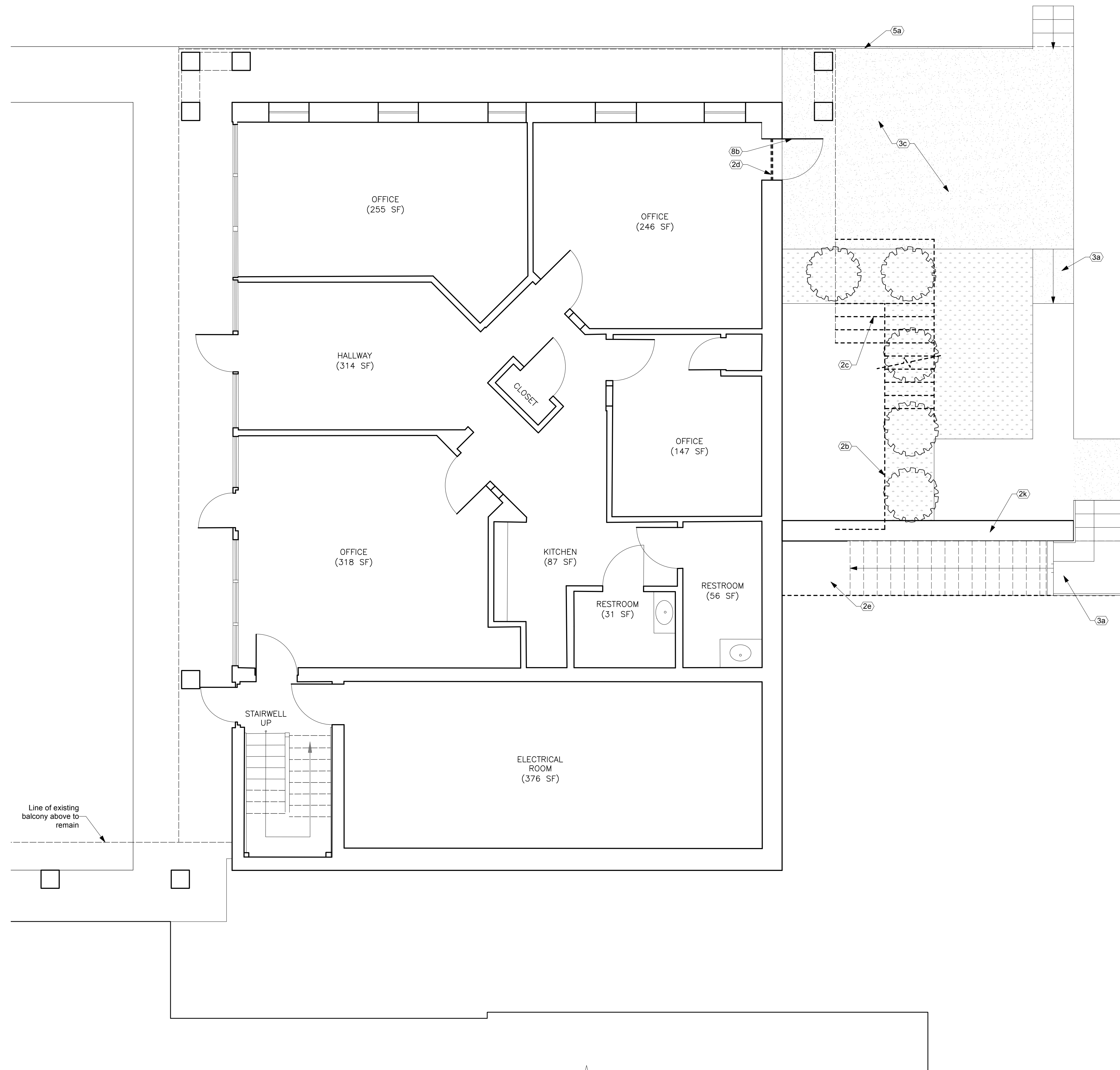
**5 DETAIL**  
ENTRY COVER  
84 N. HIGH ST. - NORTH  
SCALE: 3/4" = 1'-0"



**6 SECTION**  
ENTRY COVER  
84 N. HIGH ST. - NORTH  
SCALE: 3/4" = 1'-0"

- MATERIALS LIST**
1. PAINTED METAL HEAD FLASHING, EXTEND UP BEHIND SIDING
  2. 1X WOOD TRIM
  3. CROWN MOLDING, MITERED AT CORNERS, HOLMES LUMBER HL3225, 5/8" X 2 1/4"
  4. 5/4 X 6 HEAD AND JAMB TRIM
  5. BLOCKING AS REQUIRED
  6. FIBER CEMENT, LAP SIDING, 7" EXPOSURE, BLIND NAILED, SMOOTH FINISH
  7. SILL, PROFILE TO MATCH HOLMES LUMBER, SILL 920019 2" X 1 1/2"
  8. INSULATED GLAZING IN PREFINISHED ALUMINUM STOREFRONT
  9. EXISTING STUCCO TO BE REPAIRED, TEXTURE OF NEW TO MATCH EXISTING. ALL STUCCO SURFACES TO BE PAINTED
  10. LIMESTONE TRIM AT WINDOW HEAD
  11. LIMESTONE TRIM AT WINDOW SILL
  12. FIBER CEMENT LAP SIDING, 4" EXPOSURE, BLIND NAILED, SMOOTH FINISH
  13. HEAD FLASHING
  14. 5/4 X 6 HEAD TRIM
  15. 5/4 X 4 JAMB TRIM
  16. CROWN, HOLMES LUMBER HL317513, 3/4" X 1 3/4"
  17. PANEL MOLDING, HOLMES LUMBER HL71388, 3/4" X 1 3/8"
  18. 6X12, TRIMMED AS SHOWN
  19. 4X6
  20. 1X8
  21. BEADBOARD
  22. 2" CONTINUOUS SOFFIT VENT





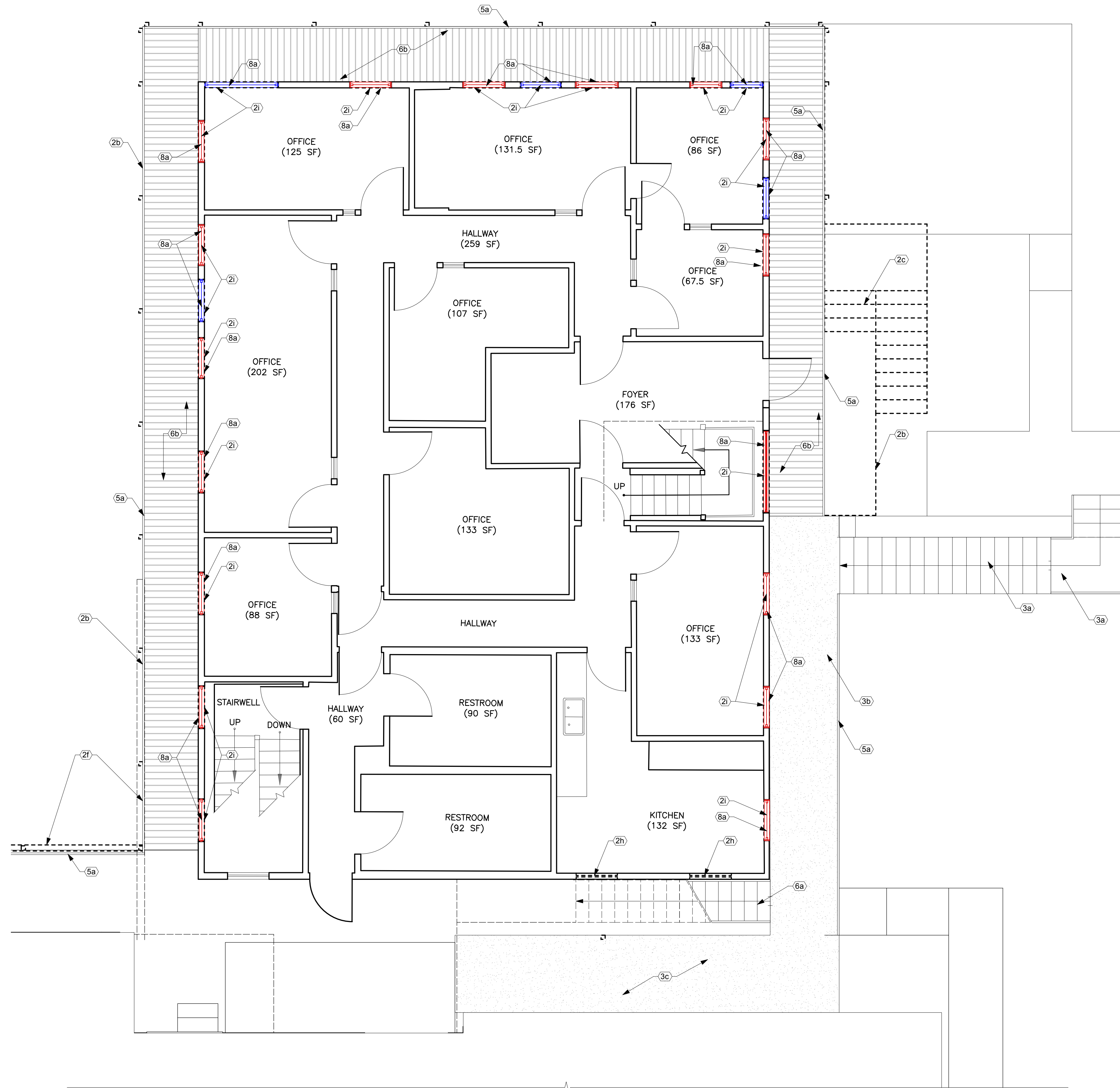
**1 First Floor Plan**  
1/4" = 1'-0"

### Coded Notes

- 2a Not used
- 2b Demolish and remove walkway, walkway structure, and railing.
- 2c Demolish and remove existing wood stair. Prepare slab to receive new stair and structure.
- 2d Remove existing window. Extend existing window opening to finish floor. Prepare opening to receive new exterior door.
- 2e Excavate existing landscape and prepare to receive new concrete stair. Brace surrounding walls as required.
- 2f Demolish existing railing.
- 2g Demolish and remove existing walkway roof.
- 2h Remove existing window. Prepare opening to receive new infill wall.
- 2i Demolish walls to extents shown. Prepare opening to receive new window. Refer to elevations for opening height dimensions.
- 2j Remove existing door. Prepare opening to receive new window. Refer to elevations for opening height dimensions.
- 2k Existing stone wall to remain
- 3a New concrete stairs and rail.
- 3b New concrete walkway.
- 3c New 4" concrete slab on compacted gravel.
- 5a New painted metal rail.
- 5b Not used
- 6a New wood stair and rail.
- 6b Replace/repair existing damaged deckboards and paint. Install new wood deck/ walkway where shown in plan.
- 6c Not used
- 8a New window
- 8b New door
- 9a Fibercement board

**1 A1.1**

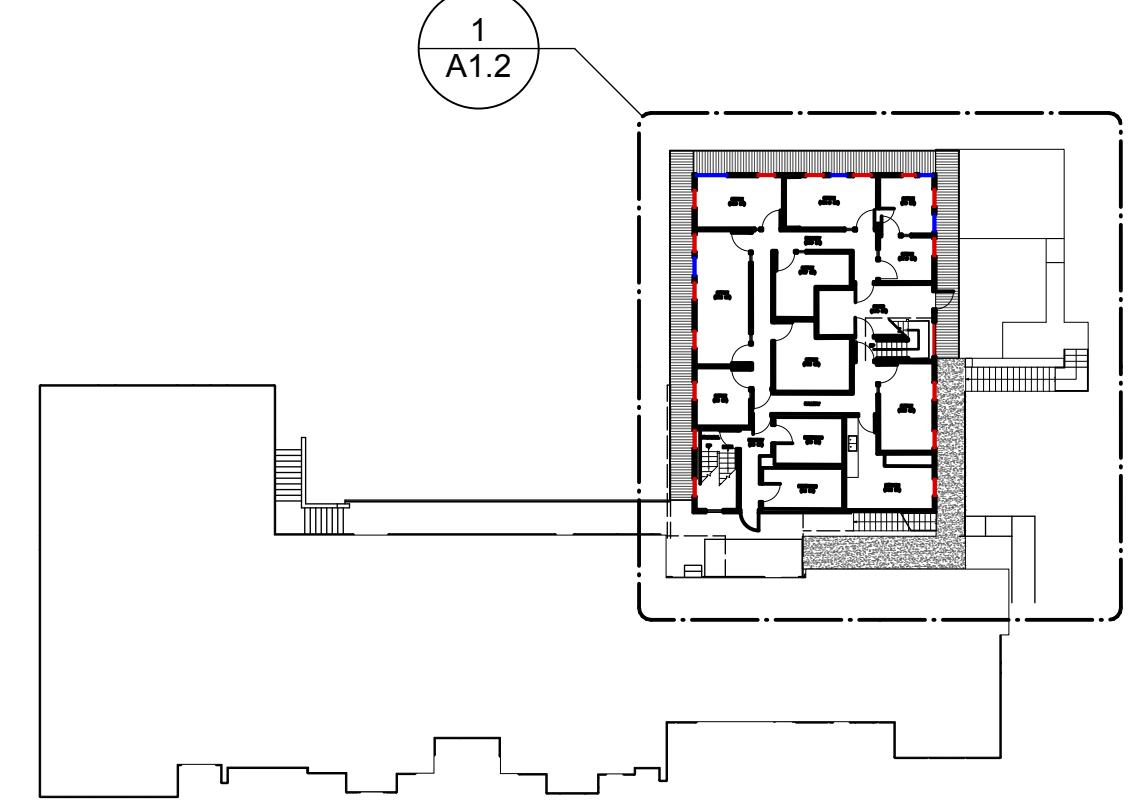
**Key Plan**  
1/32" = 1'-0"



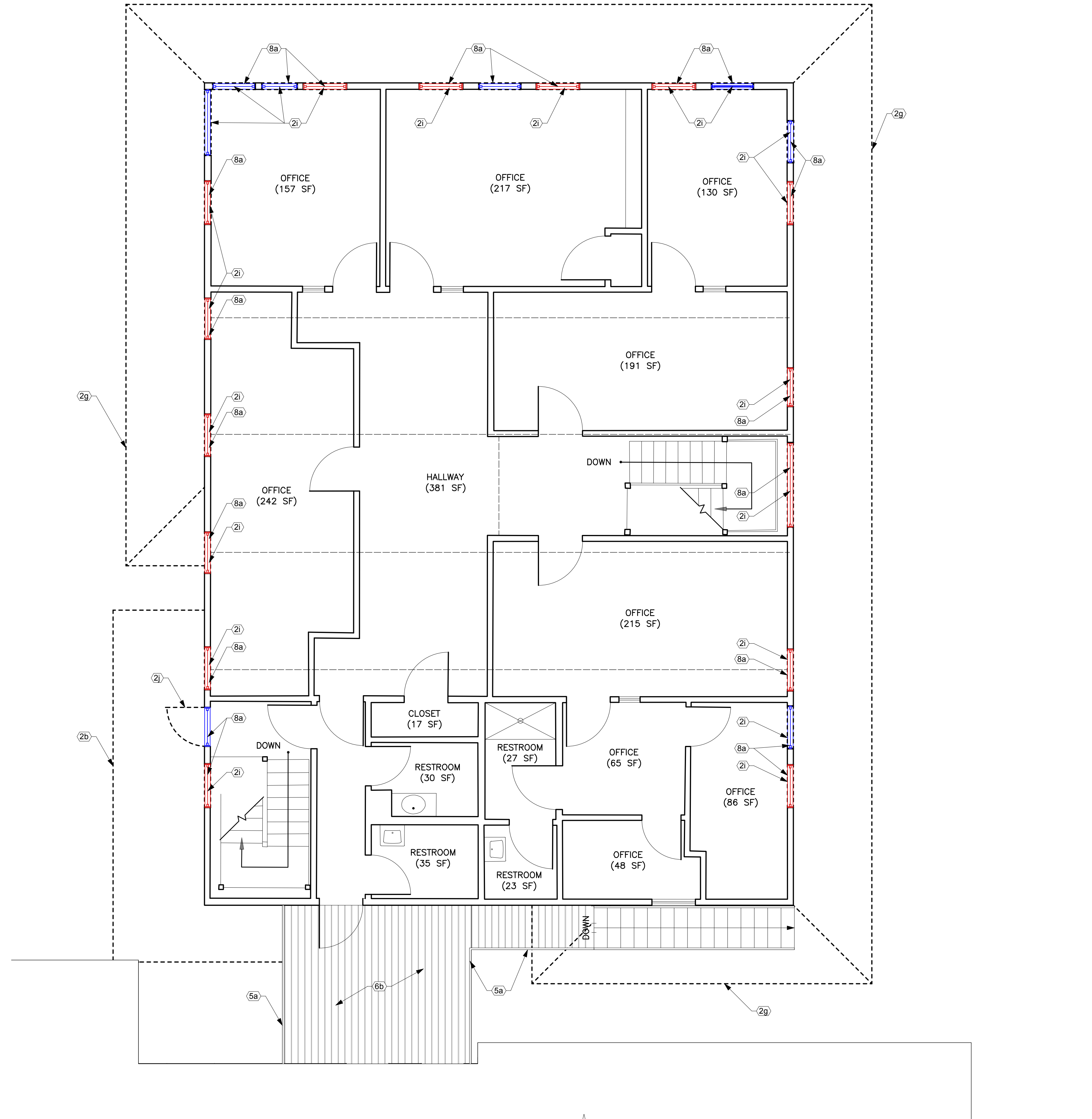
**1** Second Floor Plan  
1/4" = 1'-0"

**Coded Notes**

- 2a Not used
- 2b Demolish and remove walkway, walkway structure, and railing.
- 2c Demolish and remove existing wood stair. Prepare slab to receive new stair and structure.
- 2d Remove existing window. Extend existing window opening to finish floor. Prepare opening to receive new exterior door.
- 2e Excavate existing landscape and prepare to receive new concrete stair. Brace surrounding walls as required.
- 2f Demolish existing railing.
- 2g Demolish and remove existing walkway roof.
- 2h Remove existing window. Prepare opening to receive new infill wall.
- 2i Demolish walls to extents shown. Prepare opening to receive new window. Refer to elevations for opening height dimensions.
- 2j Remove existing door. Prepare opening to receive new window. Refer to elevations for opening height dimensions.
- 2k Existing stone wall to remain
- 3a New concrete stairs and rail.
- 3b New concrete walkway.
- 3c New 4" concrete slab on compacted gravel
- 5a New painted metal rail.
- 5b Not used
- 5c New wood stair and rail.
- 5d Replace/repair existing damaged deckboards and paint. Install new wood deck/walkway where shown in plan.
- 6c Not used
- 8a New window
- 8b New door
- 8c Fiberboard board



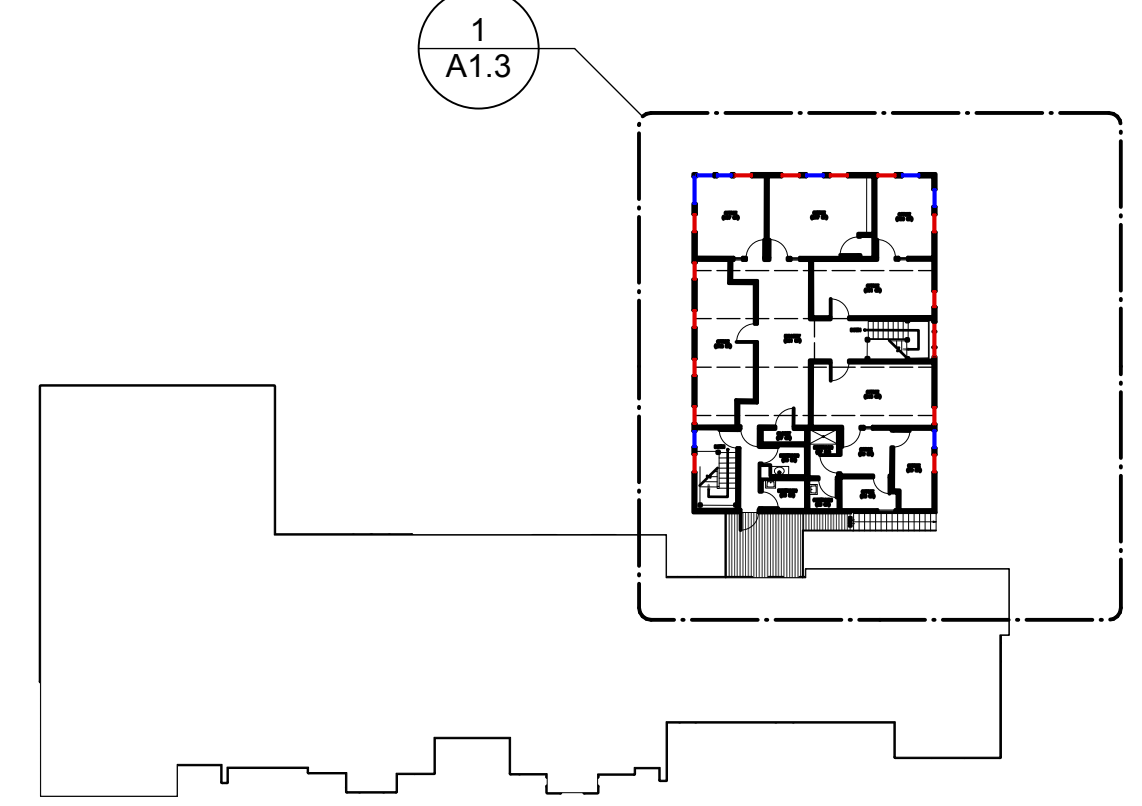
**Key Plan**  
1/32" = 1'-0"



**1** Third Floor Plan  
1/4" = 1'-0"

**Coded Notes**

- 2a Not used
- 2b Demolish and remove walkway, walkway structure, and railing.
- 2c Demolish and remove existing wood stair. Prepare slab to receive new stair and structure.
- 2d Remove existing window. Extend existing window opening to finish floor. Prepare opening to receive new exterior door.
- 2e Excavate existing landscape and prepare to receive new concrete stair. Brace surrounding walls as required.
- 2f Demolish existing railing.
- 2g Demolish and remove existing walkway roof.
- 2h Remove existing window. Prepare opening to receive new infill wall.
- 2i Demolish walls to extents shown. Prepare opening to receive new window. Refer to elevations for opening height dimensions.
- 2j Remove existing door. Prepare opening to receive new window. Refer to elevations for opening height dimensions.
- 2k Existing stone wall to remain
- 3a New concrete stairs and rail.
- 3b New concrete walkway.
- 3c New 4" concrete slab on compacted gravel.
- 5a New painted metal rail.
- 5b Not used
- 6a New wood stair and rail.
- 6b Replace/repair existing damaged deckboards and paint. Install new wood deck/ walkway where shown in plan.
- Not used
- 6c Not used
- 8a New window
- 8b New door
- 9a Fibercement board



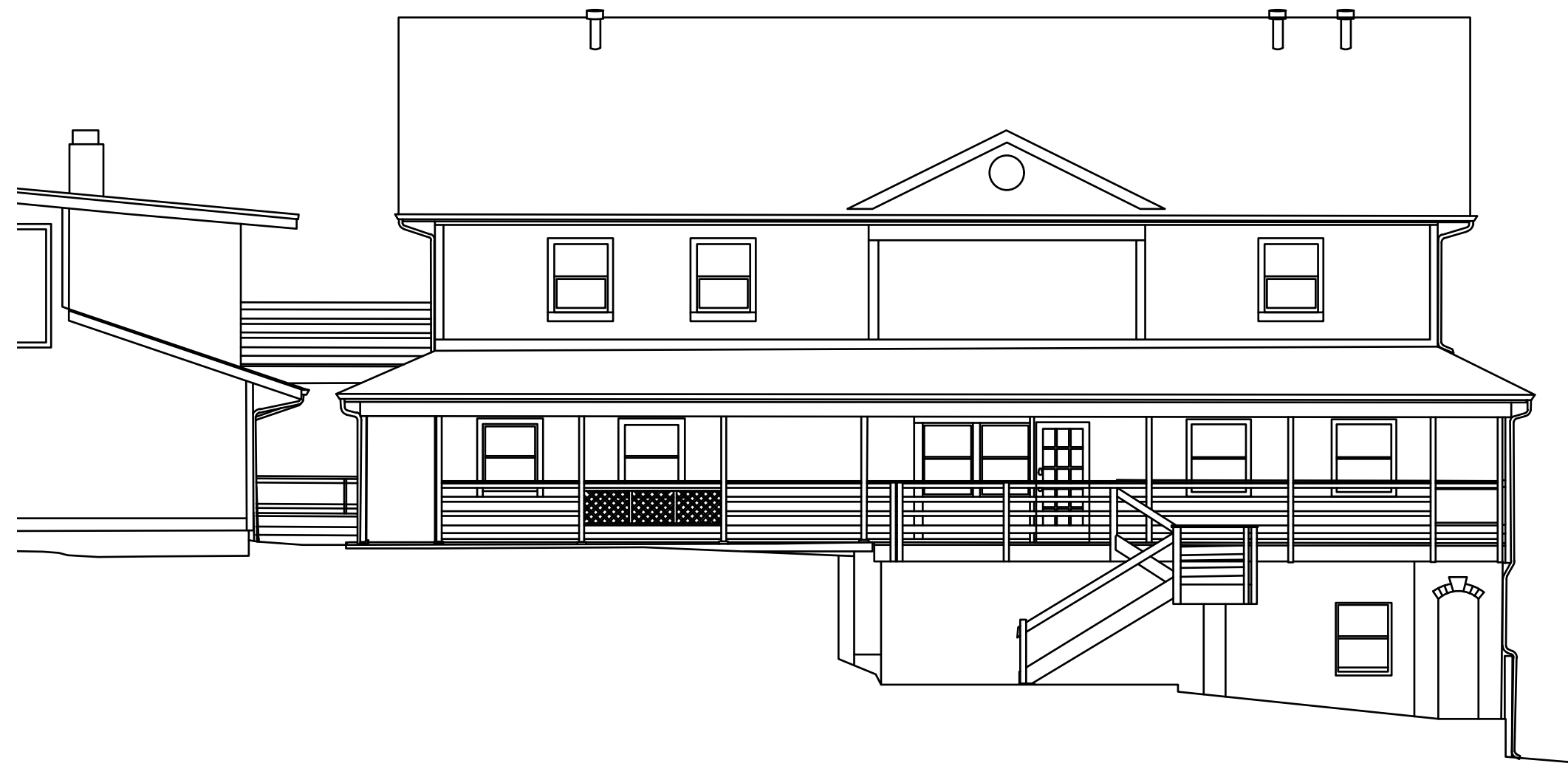
**Key Plan**  
1/32" = 1'-0"



**4 Existing West Elevation**  
1/8" = 1'-0"



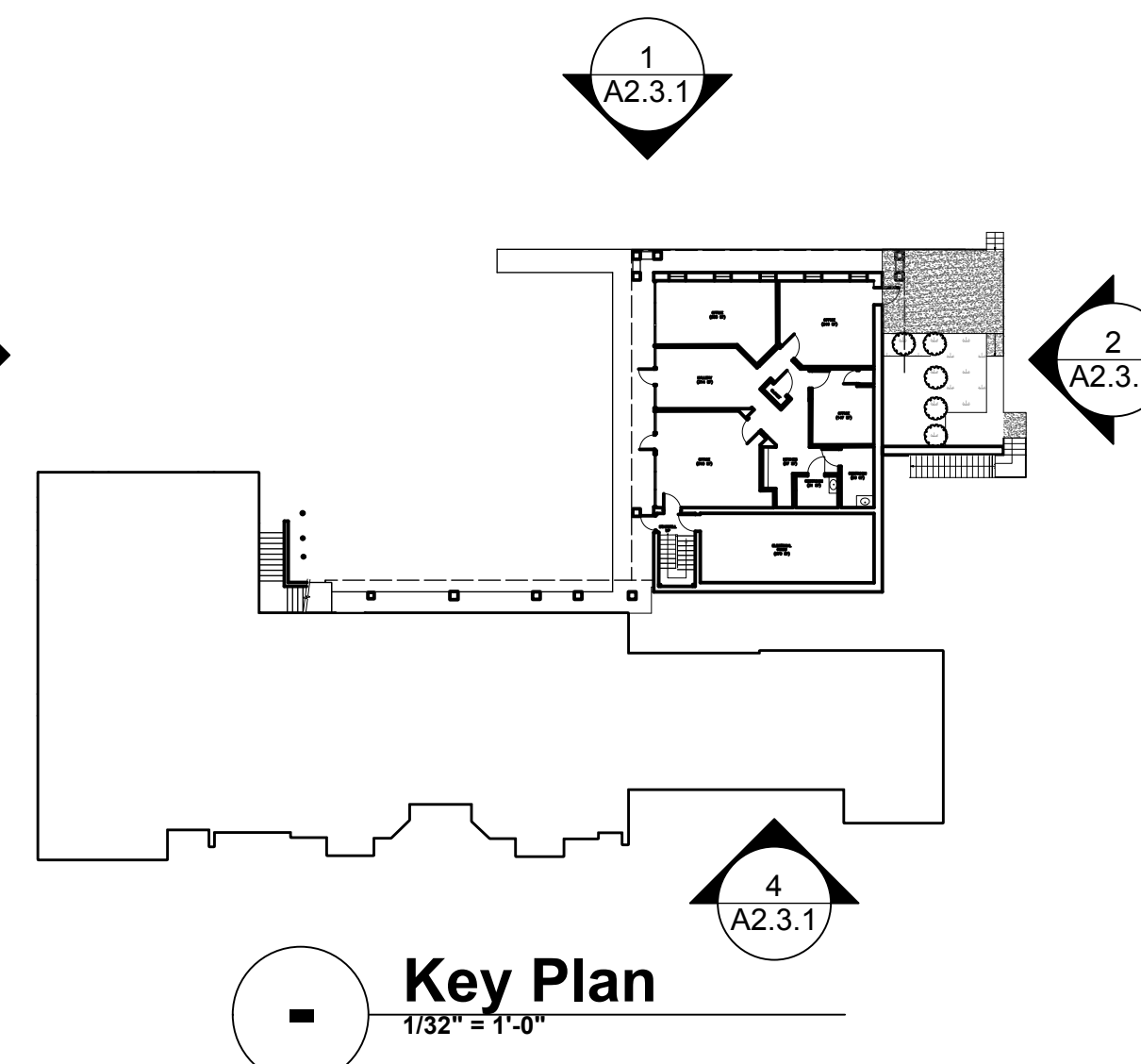
**1 Existing East Elevation**  
1/8" = 1'-0"



**2 Existing South Elevation**  
1/8" = 1'-0"



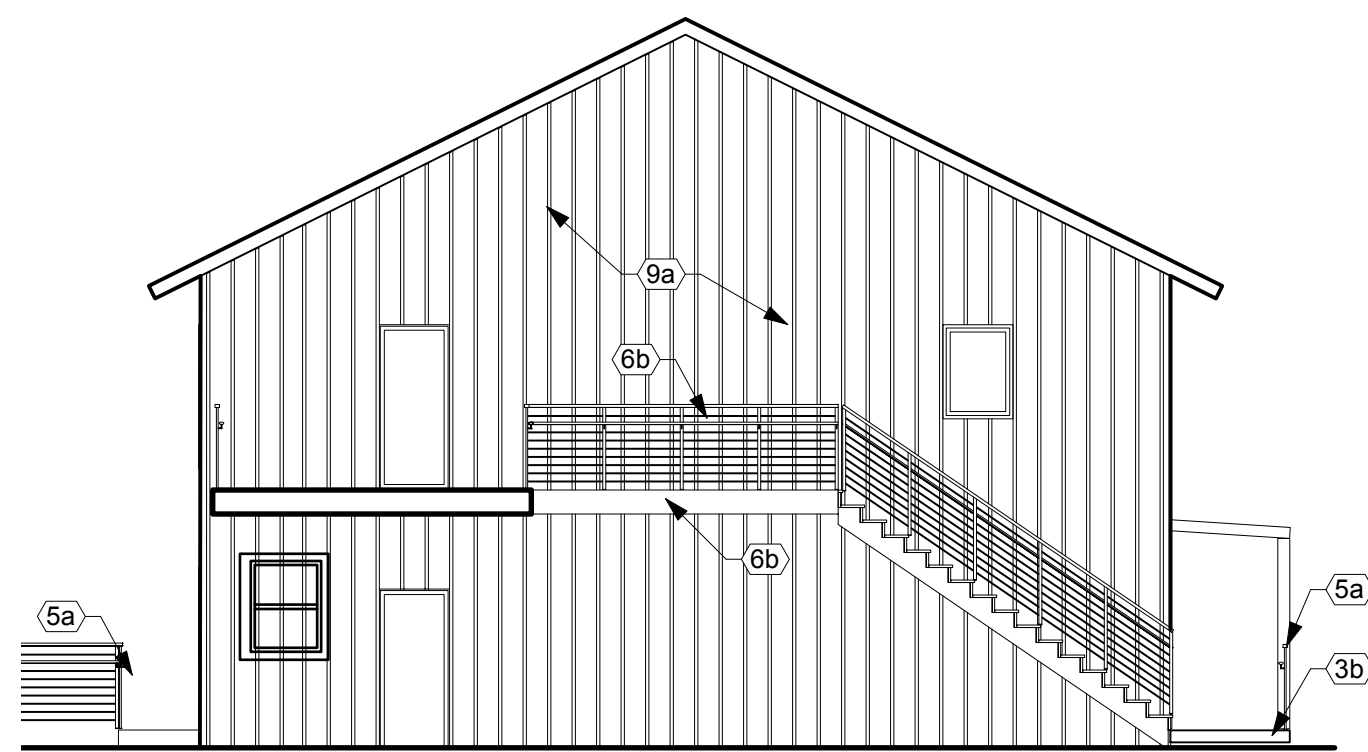
**3 Existing North Elevation**  
1/8" = 1'-0"



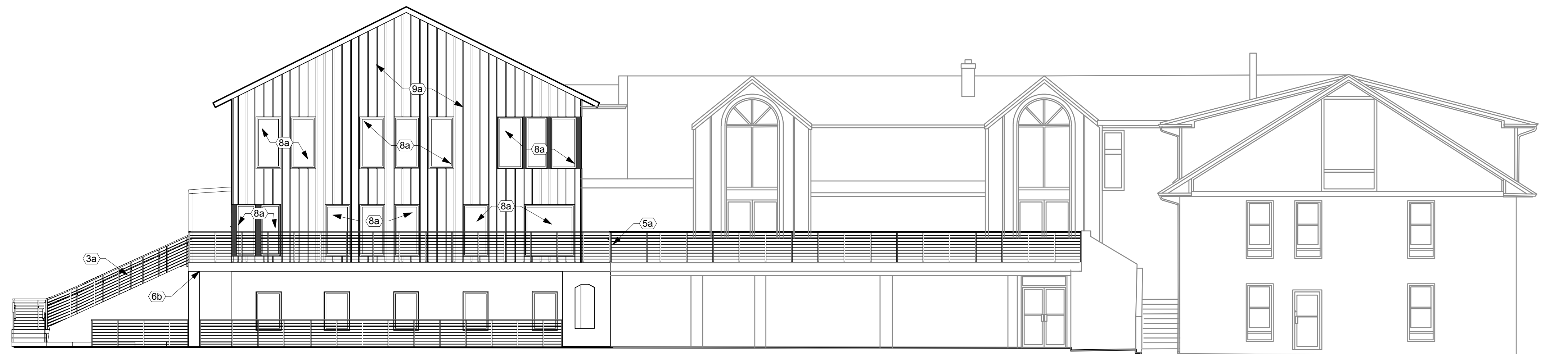
**Key Plan**  
1/32" = 1'-0"

**Coded Notes**

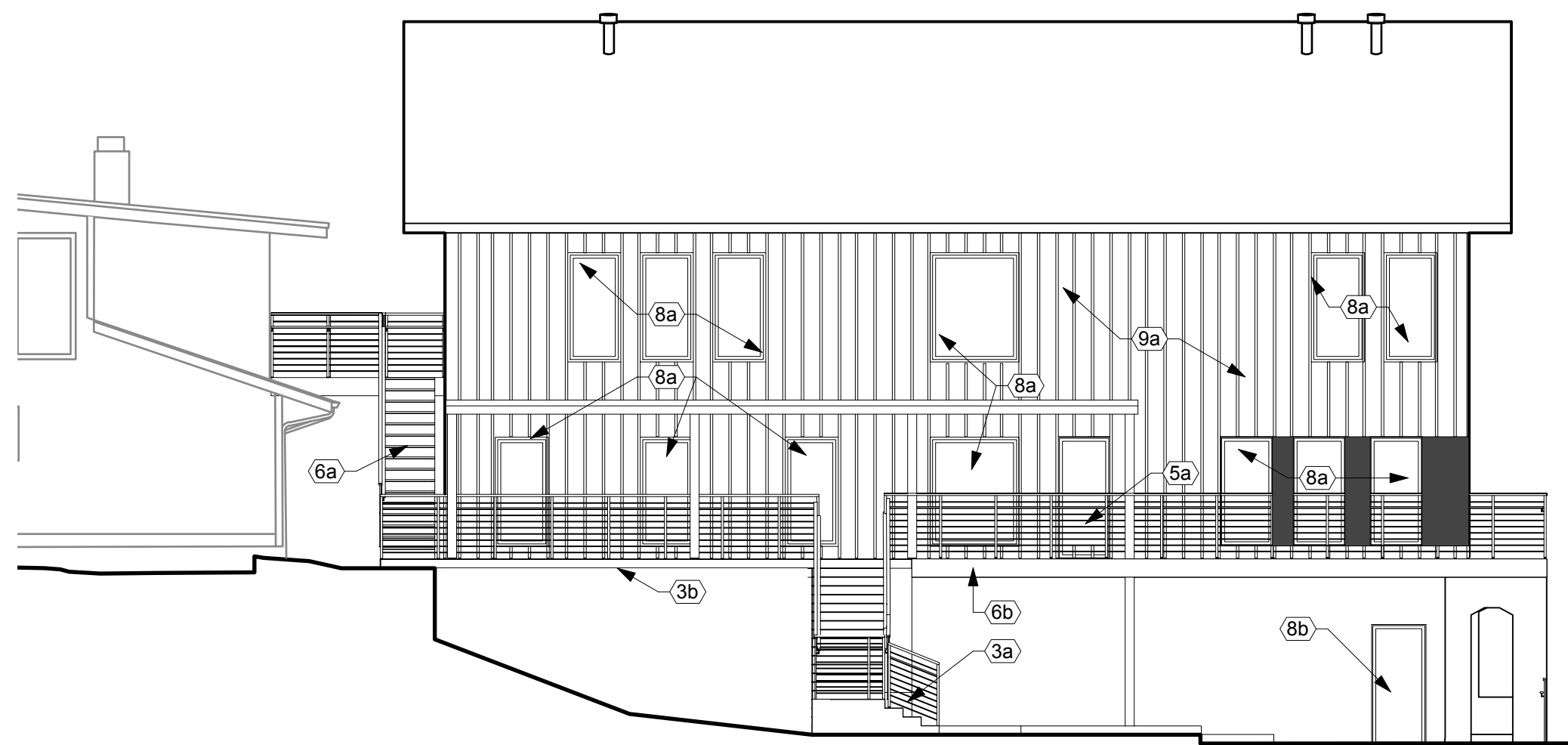
- 2a Not used
- 2b Demolish and remove walkway, walkway structure, and railing.
- 2c Demolish and remove existing wood stair. Prepare slab to receive new stair and structure.
- 2d Remove existing window. Extend existing window opening to finish floor. Prepare opening to receive new exterior door.
- 2e Excavate existing landscape and prepare to receive new concrete stair. Brace surrounding walls as required.
- 2f Demolish existing railing.
- 2g Demolish and remove existing walkway roof.
- 2h Remove existing window. Prepare opening to receive new infill wall.
- 2i Demolish walls to extents shown. Prepare opening to receive new window. Refer to elevations for opening height dimensions.
- 2j Remove existing door. Prepare opening to receive new window. Refer to elevations for opening height dimensions.
- 2k Existing stone wall to remain
- 3a New concrete stairs and rail.
- 3b New concrete walkway.
- 3c New 4" concrete slab on compacted gravel
- 5a New painted metal rail.
- 5b Not used
- 6a New wood stair and rail.
- 6b Replace/ repair existing damaged deckboards and paint. Install new wood deck/ walkway where shown in plan.
- 6c Not used
- 8a New window
- 8b New door
- 9a Fiber cement board



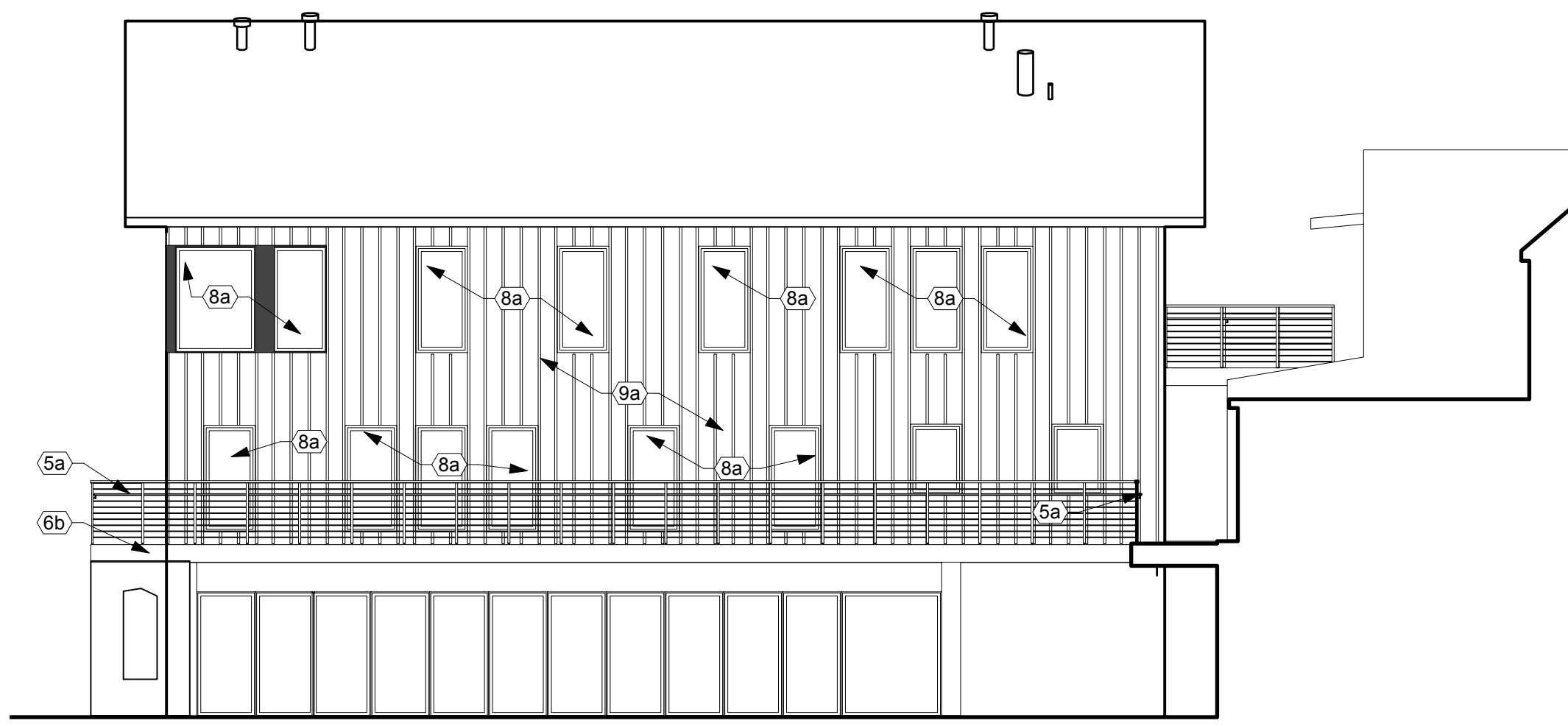
**4 West Elevation**  
1/8" = 1'-0"



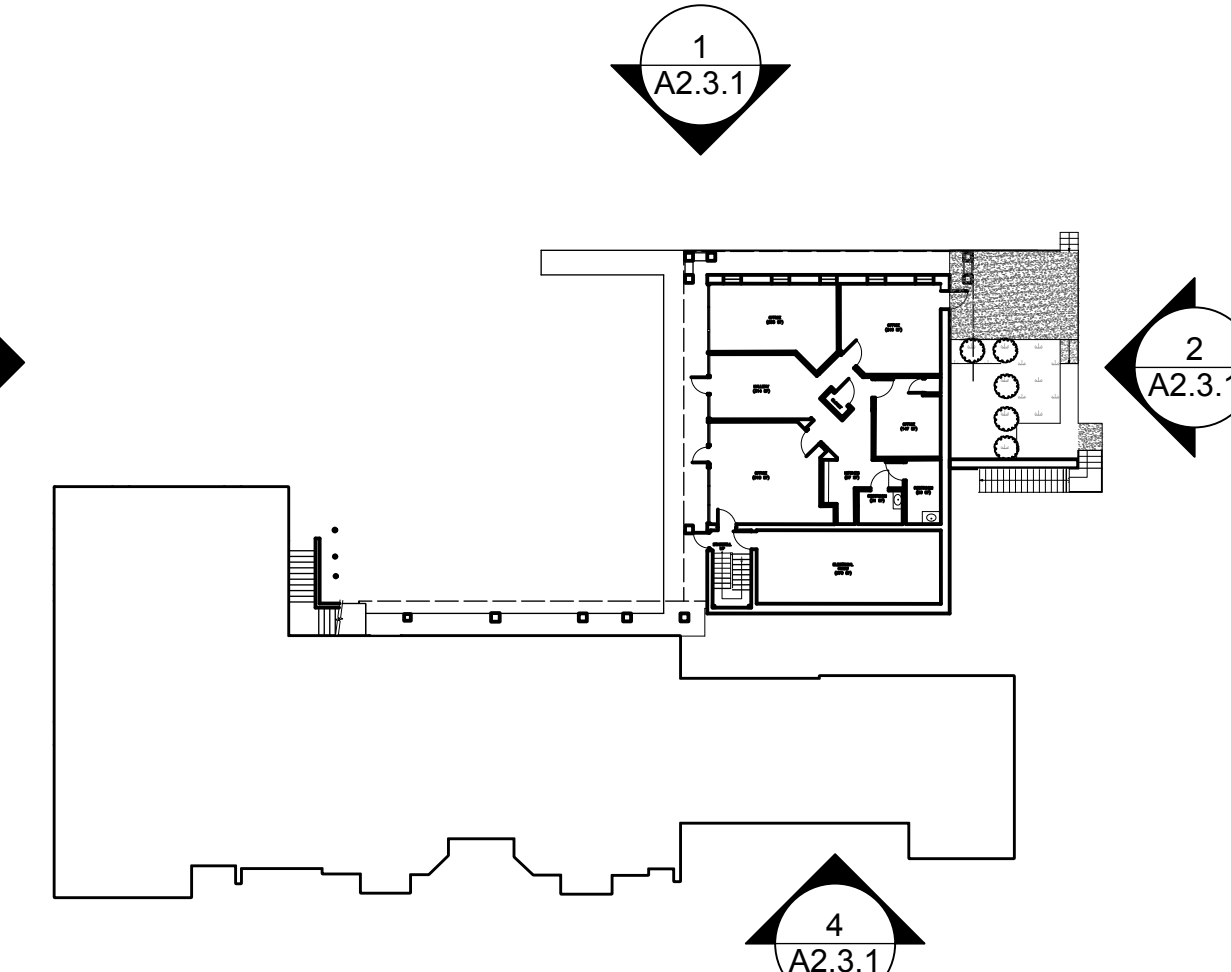
**1 East Elevation**  
1/8" = 1'-0"



**2 South Elevation**  
1/8" = 1'-0"



**3 North Elevation**  
1/8" = 1'-0"



**Key Plan**  
1/32" = 1'-0"

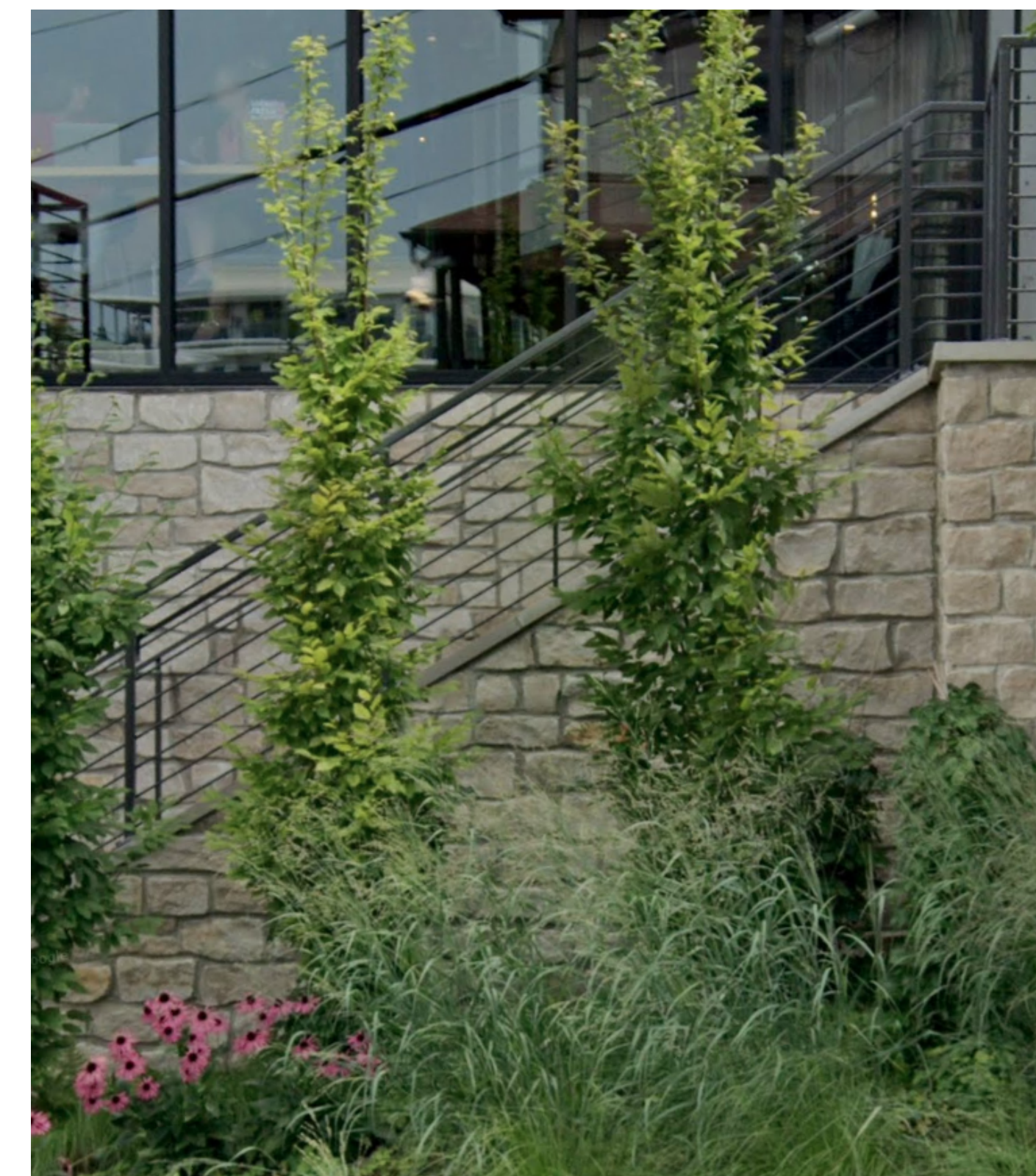
**Coded Notes**

- 2a Not used
- 2b Demolish and remove walkway, walkway structure, and railing.
- 2c Demolish and remove existing wood stair. Prepare slab to receive new stair and structure.
- 2d Remove existing window. Extend existing window opening to finish floor. Prepare opening to receive new exterior door.
- 2e Excavate existing landscape and prepare to receive new concrete stair. Brace surrounding walls as required.
- 2f Demolish existing railing.
- 2g Demolish and remove existing walkway roof.
- 2h Remove existing window. Prepare opening to receive new infill wall.
- 2i Demolish walls to extents shown. Prepare opening to receive new window. Refer to elevations for opening height dimensions.
- 2j Remove existing door. Prepare opening to receive new window. Refer to elevations for opening height dimensions.
- 2k Existing stone wall to remain
- 3a New concrete stairs and rail.
- 3b New concrete walkway.
- 3c New 4" concrete slab on compacted gravel
- 5a New painted metal rail.
- 5b Not used
- 6a New wood stair and rail.
- 6b Replace/repair existing damaged deckboards and paint. Install new wood deck/walkway where shown in plan.
- 6c Not used
- 8a New window
- 8b New door
- 9a Fiber cement board

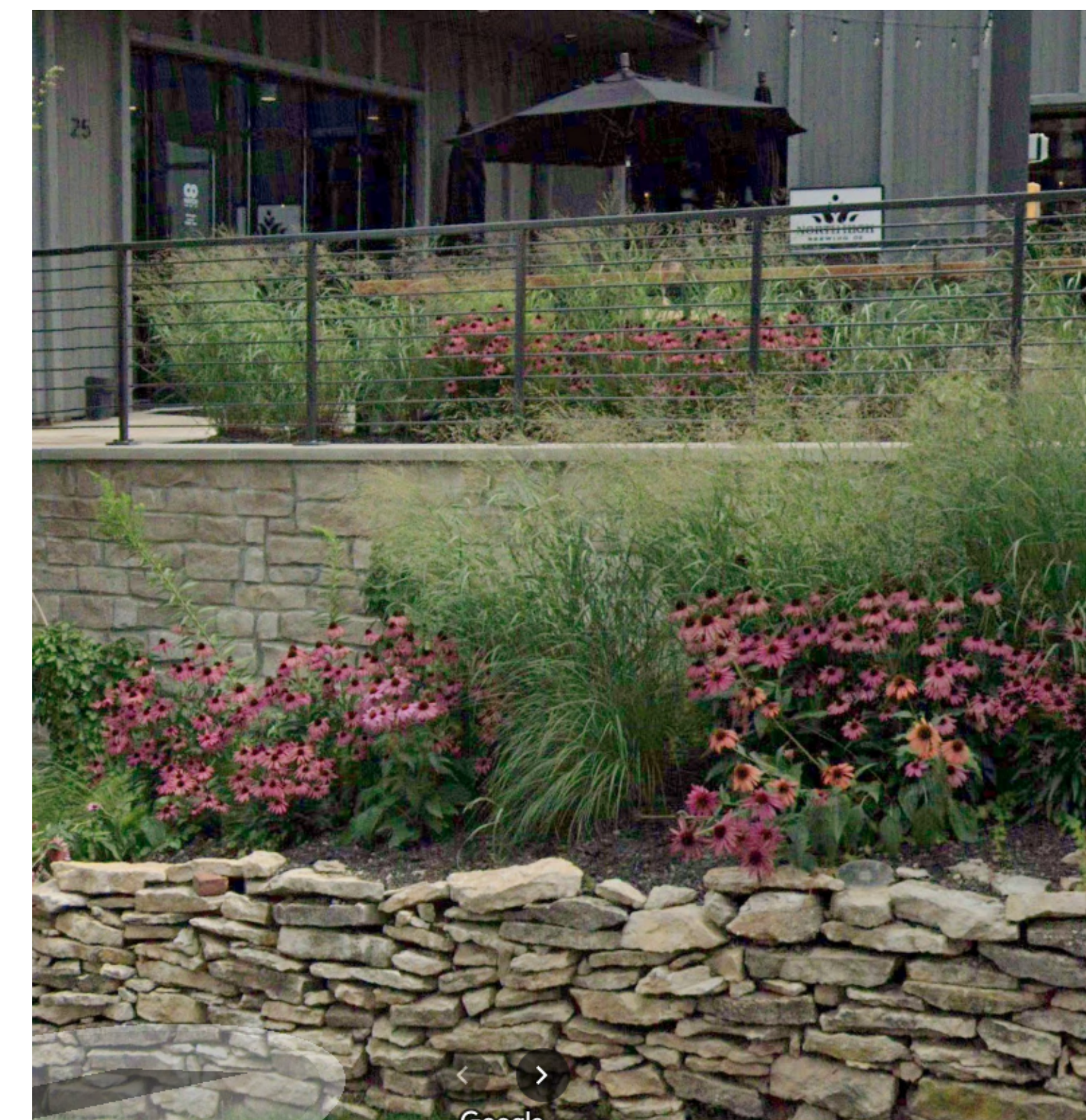




**Board and Batten Siding**

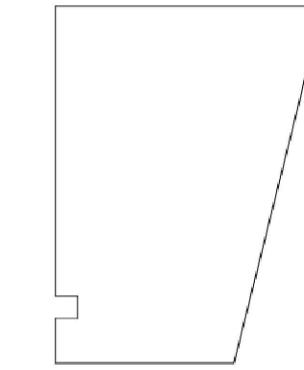


**Railing**





**CARTER**  
CUSTOM MILLWORK



SILL 920012 2" X 1 1/2"

