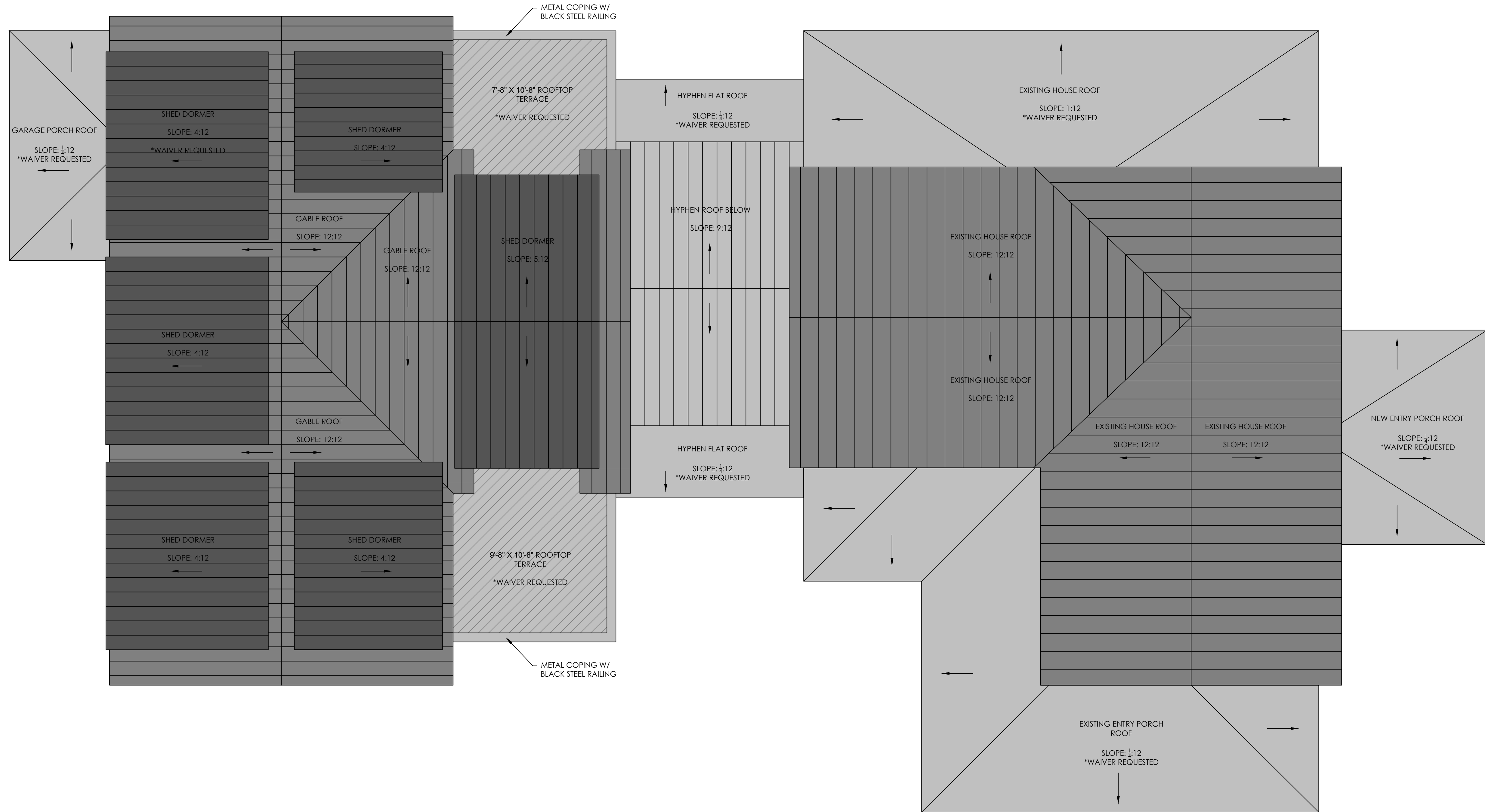


ROOFING NOTES

1. ALL EXISTING ROOF STRUCTURES/SLOPES TO REMAIN
2. ALL EXISTING AND PROPOSED LOW SLOPE ROOFING TO BE PVC MEMBRANE, CHARCOAL COLOR
3. ALL EXISTING PITCHED ROOFING TO BE ATAS BLACK PC STANDING SEAM ROOF - 15 1/2" EXPOSURE
4. ALL NEW PITCHED AND SHED DORMER ROOFING TO BE ATAS BLACK PC STANDING SEAM ROOF - 11 1/2" EXPOSURE
5. ALL ROOFING TO INCLUDE 6" BLACK ALUMINUM HALF ROUND GUTTER W/4" ROUND DOWNSPOUTS
6. ALL METAL FLASHINGS, COPINGS TO BE BLACK METAL



ARB - MINOR PROJECT 1.13.25
ISSUE DATE

REGISTRATION

BURKE RESIDENCE

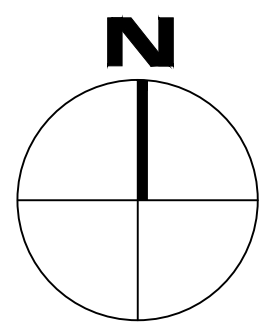
40 EAST BRIDGE STREET
DUBLIN, OHIO 43017

OWNER
KELLY & LEAH BURKE
614.599.2702
KELLYBURKE@YAHOO.COM
4389 HUNTERS BEND
POWELL, OHIO 43065

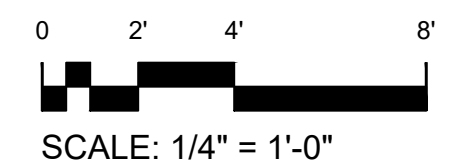
Designed D.KNAPP
Drawn D.KNAPP
Checked D.KNAPP
Approved D.KNAPP Date 1.13.25
Title

ROOF PLAN

Project Number 202305 Sheet Number A-1.2



1 ROOF PLAN
A-1.2 1/4" = 1'-0"



KEY	KEYED NOTES
ROOF	
1	MASTERFLOW BLACK GALVANIZED 8X8 CHIMNEY CAP
2	MORTAR WASH
3	8X8 CLAY CHIMNEY FLUE
4	EXISTING BRICK TUCKPOINTED
5	ATAS BLACK PC STANDING SEAM ROOF - 15 1/2" EXPOSURE
6	1X8 LP ENGINEERED WOOD FASCIA - "TRICORN BLACK"
7	1X6 LP ENGINEERED RAKE BOARD - "TRICORN BLACK"
8	6" BLACK ALUMINUM HALF ROUND GUTTER W/4" ROUND DOWNSPOUT
9	ATAS BLACK PC STANDING SEAM ROOF - 11 1/2" EXPOSURE
SIDING + DETAILS	
10	5/4 4" LP ENGINEERED WOOD TRIM/CORNER TRIM
11	RESTORE/REPLACE EXISTING SCALLOP SIDING - "YORK GRAY"
12	5/4 6" LP ENGINEERED WOOD CASING - "TRICORN BLACK"
13	SLOPED WOOD SILL - "TRICORN BLACK"
14	BUILT UP POST
15	RESTORE/REPLACE EXISTING WOOD LAP SIDING*
16	8" LP ENGINEERED WOOD LAP SIDING (SMOOTH)
17	GREENTEA ORCHARD LIMESTONE VENEER
18	4" THERMALLY TREATED WOOD ASH LAP SIDING
19	WOOD PORCH RAILING
20	WOOD FRAMED PORCH SCREEN
21	BLACK STEEL RAILING
LIGHTING	
22	BLACK GAS SCONCE
23	BLACK METAL SHADE SCONCE
24	BLACK OUTDOOR SCONCE



2 NORTH ELEVATION
A-2.0 1/4" = 1'-0"

- GENERAL NOTES**
- ALL WINDOWS TO BE ALUMINUM CLAD WOOD REPLACEMENT WINDOWS.
 - ALL DOORS TO BE ALUMINUM CLAD WOOD DOORS.
 - STONE BASE ON EXISTING HOME TO BE TUCKPOINTED W/ LIME MORTAR AS NECESSARY, TOOLED, TINTED AND TEXTURED TO MATCH EXISTING.
 - BASE OF EXISTING NORTH ADDITION AND PROPOSED NEW ADDITION TO BE LIMESTONE VENEER.
 - STONE RETAINING WALL AND CARRIAGE STAIR TO BE TUCKPOINTED W/ LIME MORTAR AS NECESSARY, TOOLED, TINTED AND TEXTURED TO MATCH EXISTING. PORTIONS OF HEAVING TO BE COORDINATED W/ CITY ENGINEER.
 - ALL EXISTING HISTORIC SIDING AND TRIM TO BE RESTORED WHERE POSSIBLE. WHERE/WHEN RESTORATION IS NOT POSSIBLE, HISTORICALLY-ACCURATE REPLICAS OF PROFILES, TEXTURES AND MATERIALS SHALL BE EMPLOYED.
 - HISTORIC PRIVY TO BE RESTORED. NON-ORIGINAL SIDING SHALL BE CAREFULLY REMOVED, AND EXISTING ORIGINAL SIDING AND TRIM DETAILS SHALL BE RESTORED PER NOTE 6 ABOVE AND PAINTED WHITE. EXISTING METAL ROOF TO BE CLEANED, REPAIRED WHERE NECESSARY, AND PAINTED WHITE.
 - ALL TRIM TO BE "TRICORN BLACK".
 - ALL EXISTING SCALLOPED SIDING TO BE "YORK GRAY"
 - ALL LAP SIDING ON THE EXISTING HOME TO BE "PURE WHITE"
 - ALL LAP SIDING ON THE ADDITION TO BE "GUNSMITH GRAY"



1 SOUTH ELEVATION
A-2.0 1/4" = 1'-0"

ARB - MINOR PROJECT	1.13.25
ARB - MINOR PROJECT	11.6.24
INFORMAL REVIEW 2	7.17.24
INFORMAL REVIEW	2.5.24

ISSUE DATE

REGISTRATION

BURKE RESIDENCE

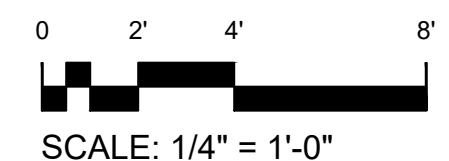
40 EAST BRIDGE STREET
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Designed D.KNAPP
Drawn D.KNAPP
Checked D.KNAPP
Approved D.KNAPP Date 1.13.25
Title

NORTH AND SOUTH ELEVATIONS

Project Number 202305 Sheet Number A-2.0

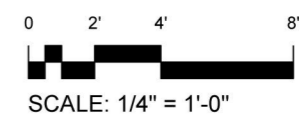




2 WEST ELEVATION
A-2.1 1/4" = 1'-0"



1 EAST ELEVATION
A-2.1 1/4" = 1'-0"



ARB - MINOR PROJECT	1.13.25
ARB - MINOR PROJECT	11.6.24
INFORMAL REVIEW 2	7.17.24
INFORMAL REVIEW RESUBMISSION	4.3.24
INFORMAL REVIEW	2.5.24

ISSUE	DATE
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REGISTRATION

BURKE RESIDENCE

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Designed D.KNAPP
Drawn D.KNAPP
Checked D.KNAPP
Approved D.KNAPP Date 1.13.25
Title

EAST AND WEST
ELEVATIONS

Project Number 202305 Sheet Number A-2.1

ARB - MINOR PROJECT	1.13.25
ARB - MINOR PROJECT	11.6.24
INFORMAL REVIEW 2	7.17.24
INFORMAL REVIEW RESUBMISSION	4.3.24
INFORMAL REVIEW	2.5.24

ISSUE	DATE
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Drawn D.KNAPP
Checked D.KNAPP
Approved D.KNAPP Date 1.13.25
Title

EAST AND WEST ELEVATIONS

Project Number 202305 Sheet Number A-2.1

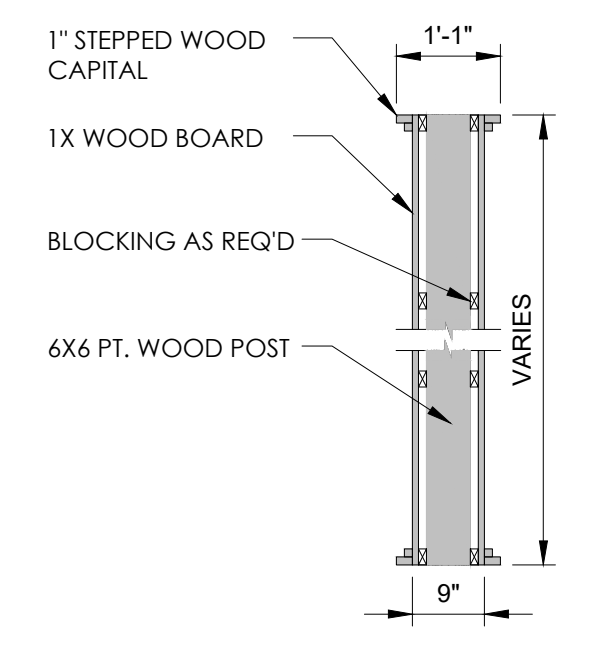
ISSUED FOR CONSTRUCTION

KEY	KEYED NOTES
ROOF	
1	MASTERFLOW BLACK GALVANIZED 8X8 CHIMNEY CAP
2	MORTAR WASH
3	8X8 CLAY CHIMNEY FLUE
4	EXISTING BRICK TUCKPOINTED
5	ATAS BLACK PC STANDING SEAM ROOF - 15 1/2" EXPOSURE
6	1x8 LP ENGINEERED WOOD FASCIA - "TRICORN BLACK"
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20	WOOD FRAMED PORCH SCREEN
21	BLACK STEEL RAILING
LIGHTING	
22	BLACK GAS SCONCE
23	BLACK METAL SHADE SCONCE
24	BLACK OUTDOOR SCONCE

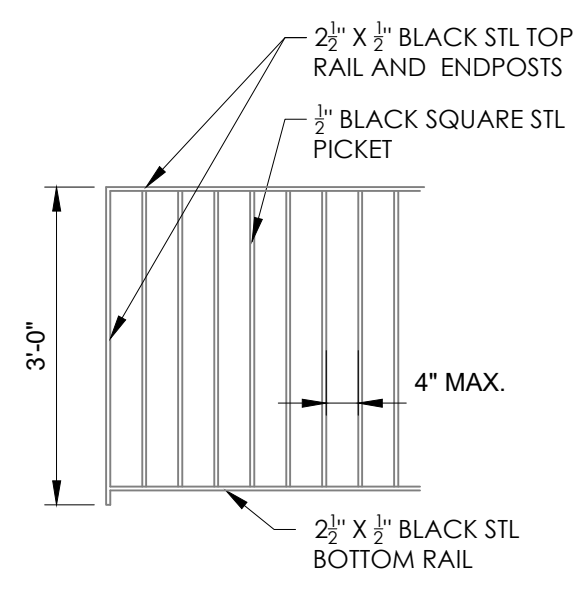
- GENERAL NOTES**
- ALL WINDOWS TO BE ALUMINUM CLAD WOOD REPLACEMENT WINDOWS.
 - ALL DOORS TO BE ALUMINUM CLAD WOOD DOORS.
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 - ALL LAP SIDING ON THE ADDITION TO BE "GUNSMITH GRAY"



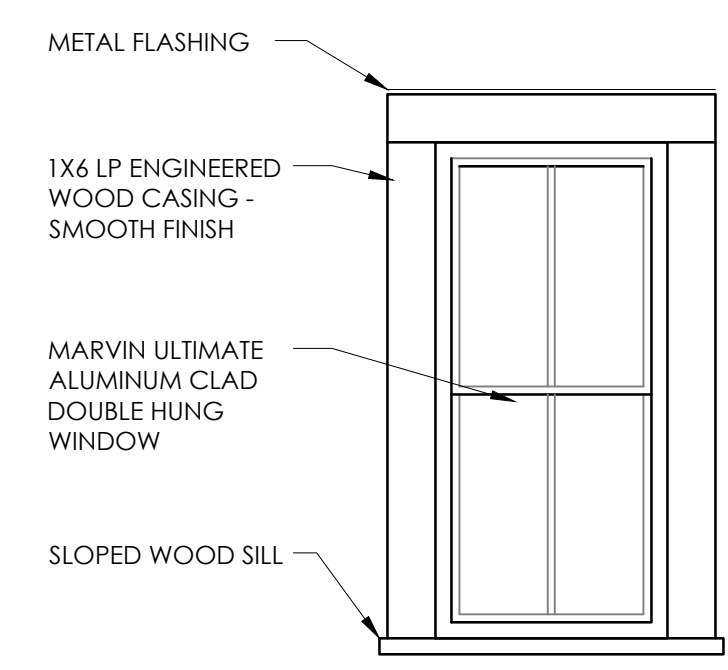
2 WEST ELEVATION
A-2.1 1/4" = 1'-0"



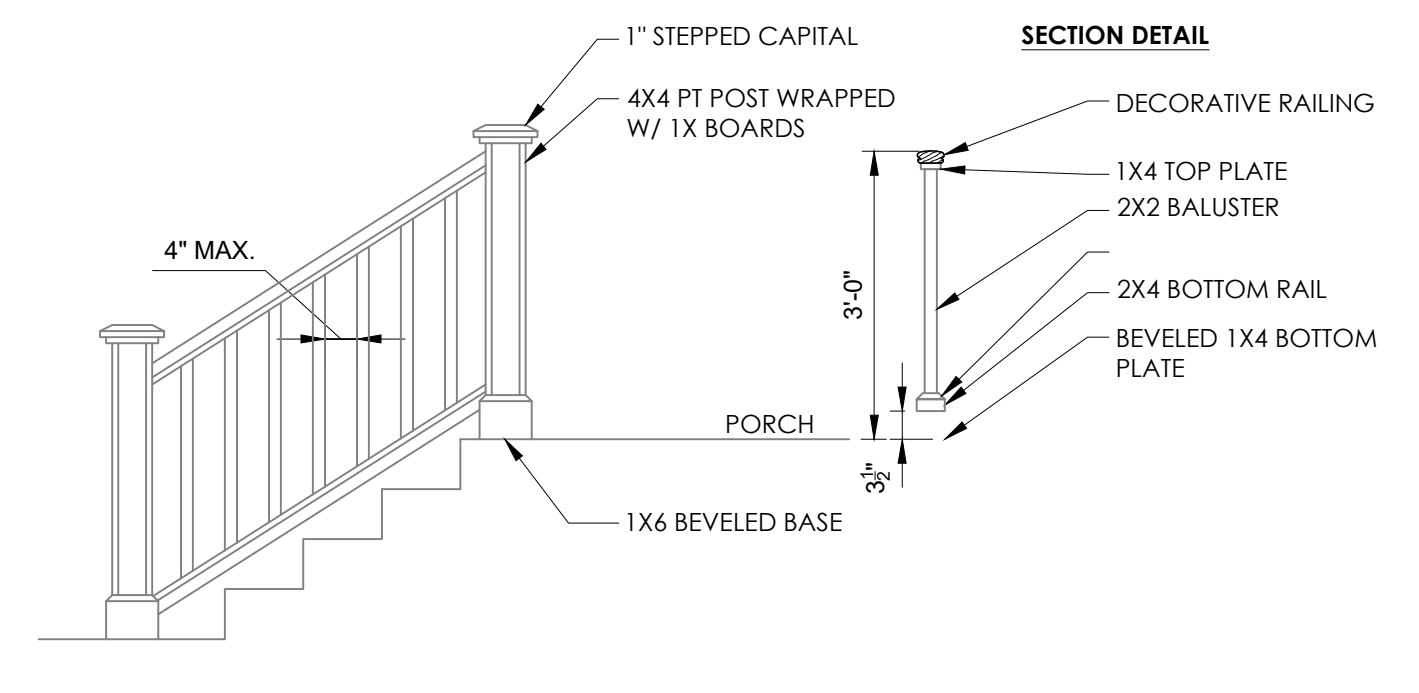
BUILT UP POST DETAIL
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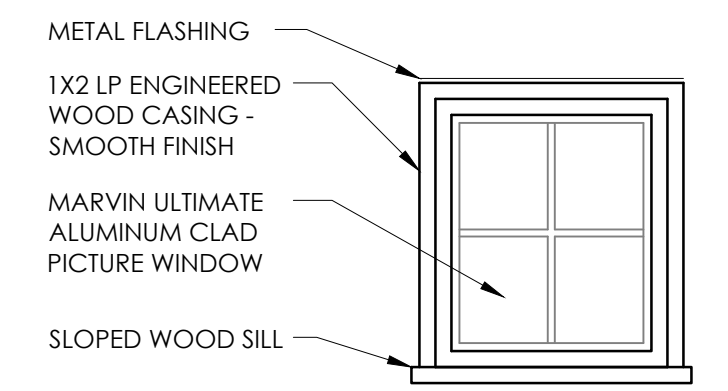
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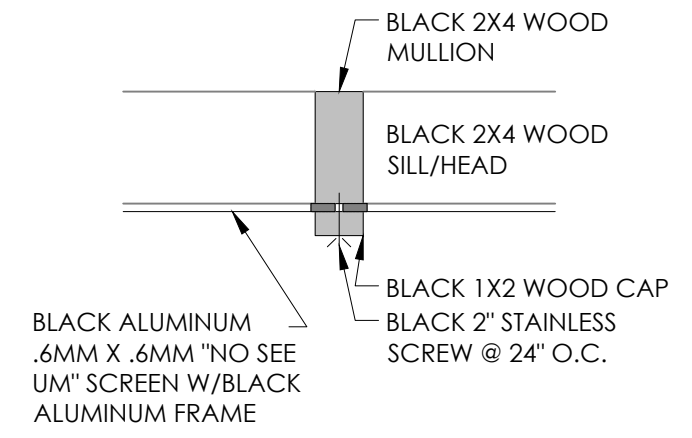
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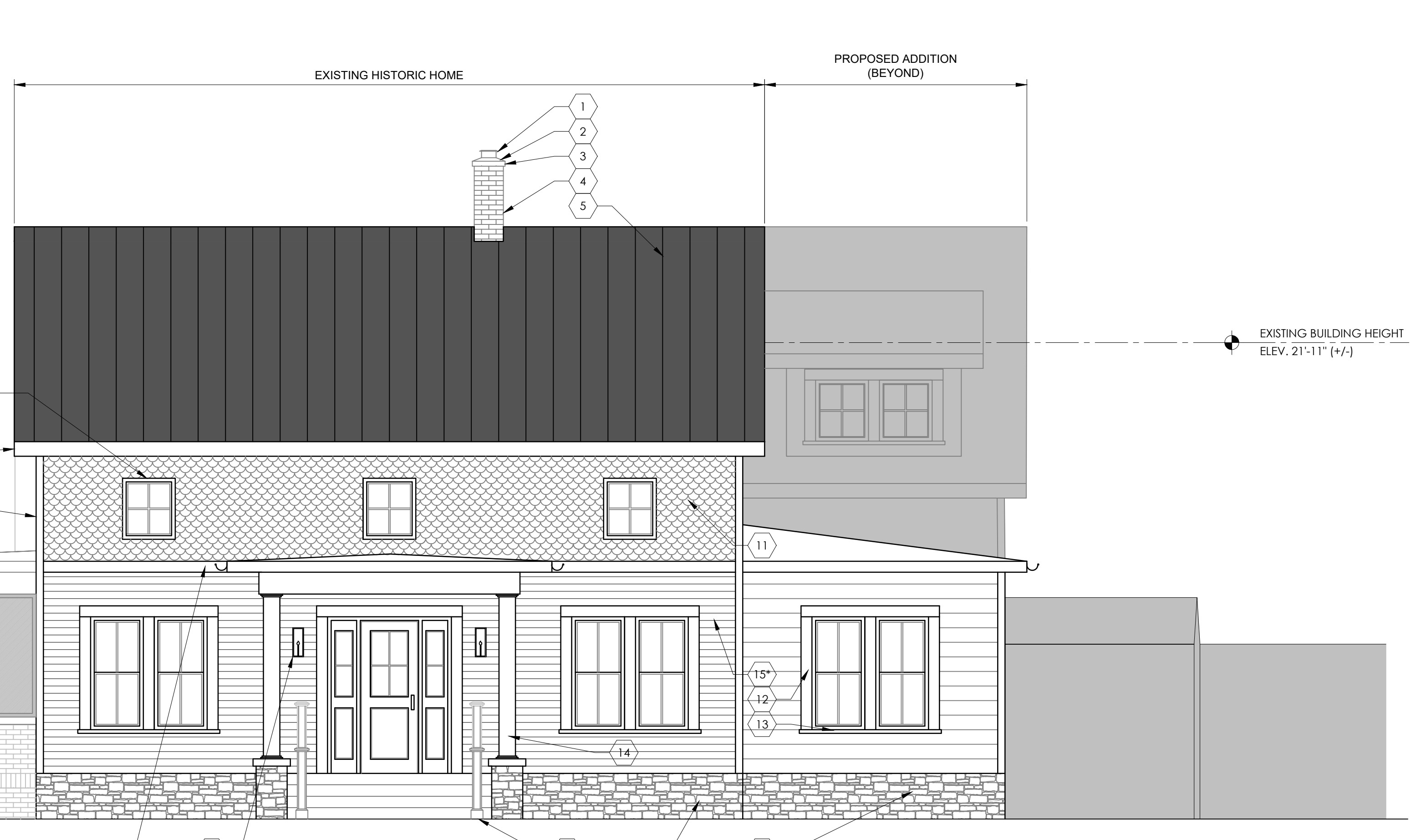
FRONT STAIR RAILING DETAIL
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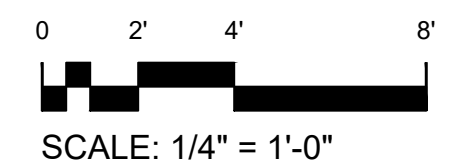
PICTURE WINDOW DETAIL
NO SCALE



INSECT SCREEN DETAIL
NO SCALE



1 EAST ELEVATION
A-2.1 1/4" = 1'-0"



BURKE RESIDENCE

40 EAST BRIDGE STREET
DUBLIN, OHIO 43017

SHEET INDEX		
ISSUE	NO.	SHEET
*	CS-1.0	COVER SHEET, VICINITY MAP, SURVEY
*	R-1.1	PROJECT NARRATIVE
*	R-1.2	EXISTING CONDITIONS
*	R-1.3	EXISTING CONDITIONS - PHOTOS
*	R-1.4	PRELIMINARY SITE PLAN
*	R-1.6	SOUTHEAST MASSING VIEW
*	R-1.7	SOUTHWEST MASSING VIEW
*	R-1.8	NORTHWEST MASSING VIEW
*	R-1.9	NORTHEAST MASSING VIEW
*	A-1.0	FIRST FLOOR PLAN
*	A-1.1	SECOND FLOOR PLAN
*	A-1.2	ROOF PLAN
*	A-2.0	NORTH AND SOUTH ELEVATIONS
*	A-2.0	NORTH AND SOUTH ELEVATIONS - RENDERED
*	A-2.1	EAST AND WEST ELEVATIONS
*	A-2.1	EAST AND WEST ELEVATIONS - RENDERED

LEGAL DESCRIPTION:

LOWER ST ALL 110 & 18 FT SS LOT 111 1 IN LOTS 110-111



OWNER:

KELLY & LEAH BURKE
614.599.2702
KELLYDBURKE@YAHOO.COM
4389 HUNTERS BEND
POWELL, OHIO 43065

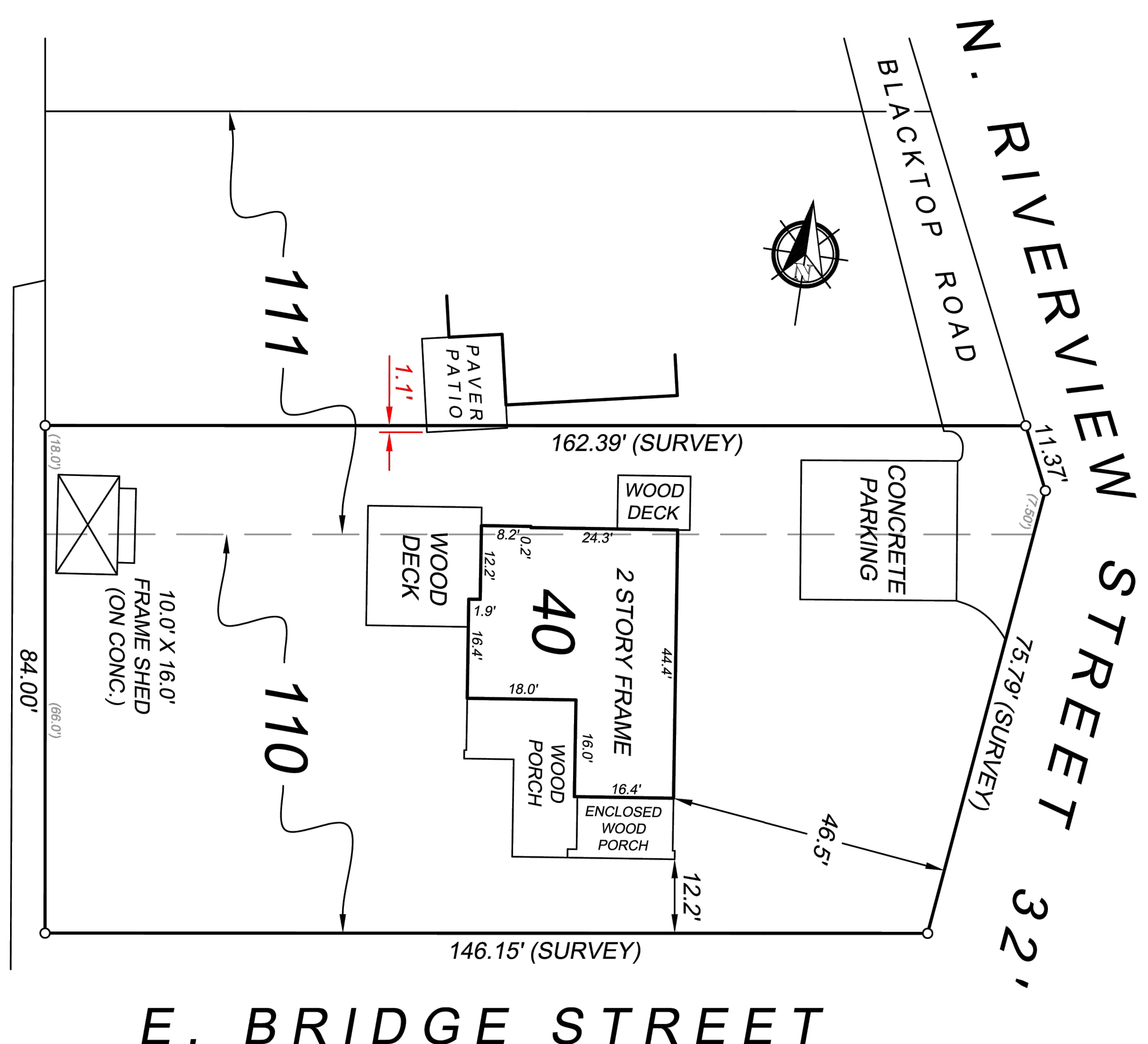
ARCHITECT:

TANDEM NORTH DESIGN, LLC.
231.493.8083
DAVID@TANDEMNORTH.COM
202 S. UNION #1266
TRAVERSE CITY, MI 49684

HOY LAND SURVEYING
1767 McCorkle Blvd #1767
Westerville, Ohio 43086
Phone: 614-679-1186

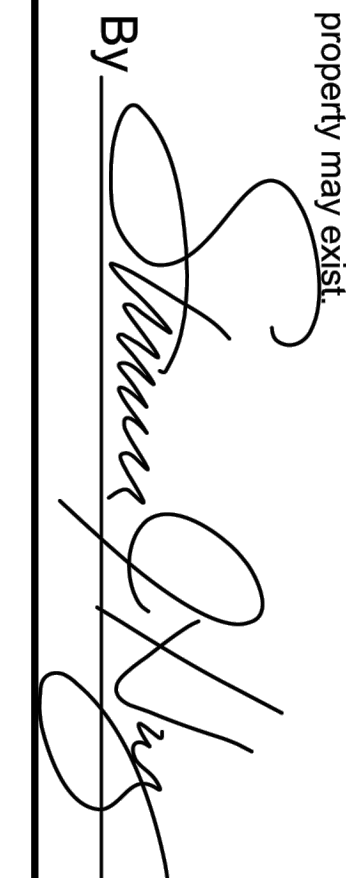
JOB NUMBER #: 4804-2023 S DATE OF DRAWING 9-18-23
CERTIFIED TO STEWART TITLE COMPANY
LENDER N / A BUYER TBD
LEGAL DESC. LOT 110 AND PART OF LOT 111 ~ PLAT OF DUBLIN PG. 3 PG. 199-200
CITY/TWP. DUBLIN COUNTY FRANKLIN DRN. KLH CK. SJH DRAWING SCALE 1" = 25'
FEMA INFORMATION: FLOOD ZONE X MAP PANEL INFO 39049C 0151K MAP DATE 6-17-08



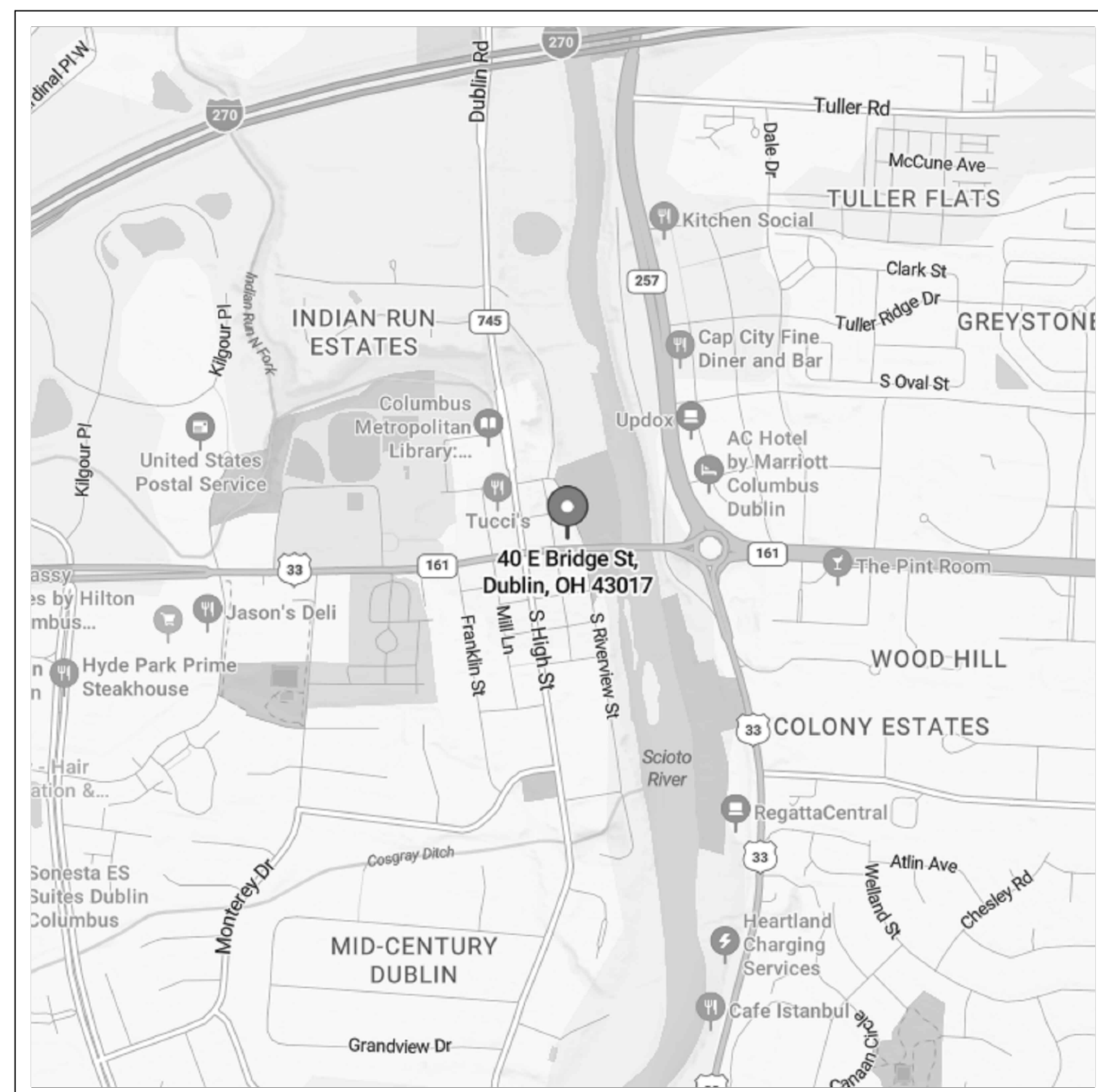
40 EAST BRIDGE STREET - SURVEY
(NOT TO SCALE)

ENCROACHMENT INFORMATION
ADJACENT PAVEMENT PATIO
OVER PROPERTY LINE BY 1.1'

WE HEREBY CERTIFY THAT THE FOREGOING MORTGAGE LOCATION SURVEY WAS PREPARED IN ACCORDANCE WITH CHAPTER 4733-38, OHIO ADMINISTRATIVE CODE, AND IS NOT A BOUNDARY SURVEY PURSUANT TO CHAPTER 4733-37, OHIO ADMINISTRATIVE CODE. THIS PLAT IS PREPARED FOR MORTGAGE LOAN AND TITLE PURPOSES ONLY AND IS NOT TO BE CONSIDERED AS HAVING BEEN PREPARED FOR THE OWNER AND IS NOT TO BE USED TO ERECT TENES OR OTHER STRUCTURES. EASEMENTS SHOWN ON THIS PLAT WERE TAKEN FROM THE SUBDIVISION PLAT OF RECORD. ADDITIONAL EASEMENTS AFFECTING THIS PROPERTY MAY EXIST.

By 
STEVEN HOY
REGISTERED PROFESSIONAL SURVEYOR
STATE OF OHIO
No. 7313

BUYER / OWNER _____
BUYER / OWNER _____
BUYER / OWNER _____



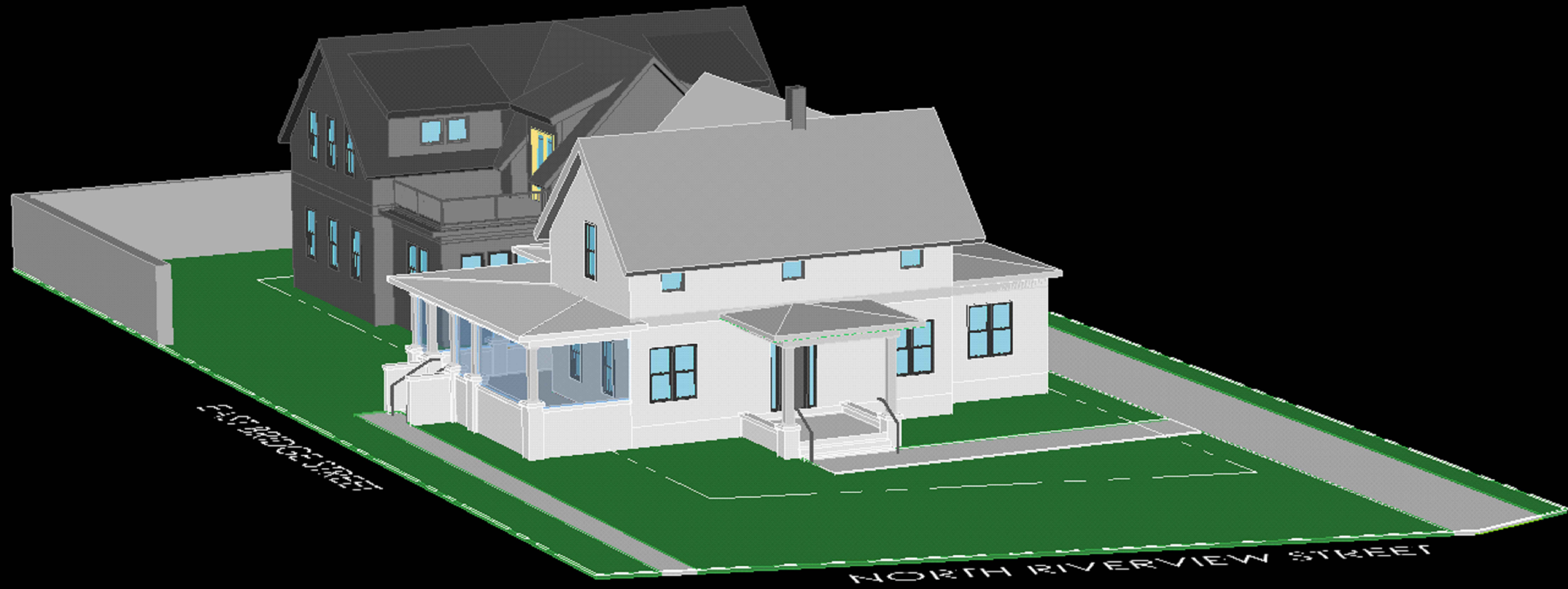
VICINITY MAP
(NOT TO SCALE)

TANDEM NORTH DESIGN

ARCHITECTURE • PLANNING • URBAN DESIGN
702 6TH ST. TRAVERSE CITY, MI. 49684

Project Number
202306

Sheet Number
CS-1.0



ARB - MINOR PROJECT	1.13.25
ARB - MINOR PROJECT	11.6.24
INFORMAL REVIEW II RESUBMISSION	8.14.24
INFORMAL REVIEW 2	7.17.24
INFORMAL REVIEW RESUBMISSION	4.3.24
INFORMAL REVIEW	2.5.24

ISSUE	DATE
-------	------

REGISTRATION

BURKE RESIDENCE

40 EAST BRIDGE STREET
DUBLIN, OHIO 43017

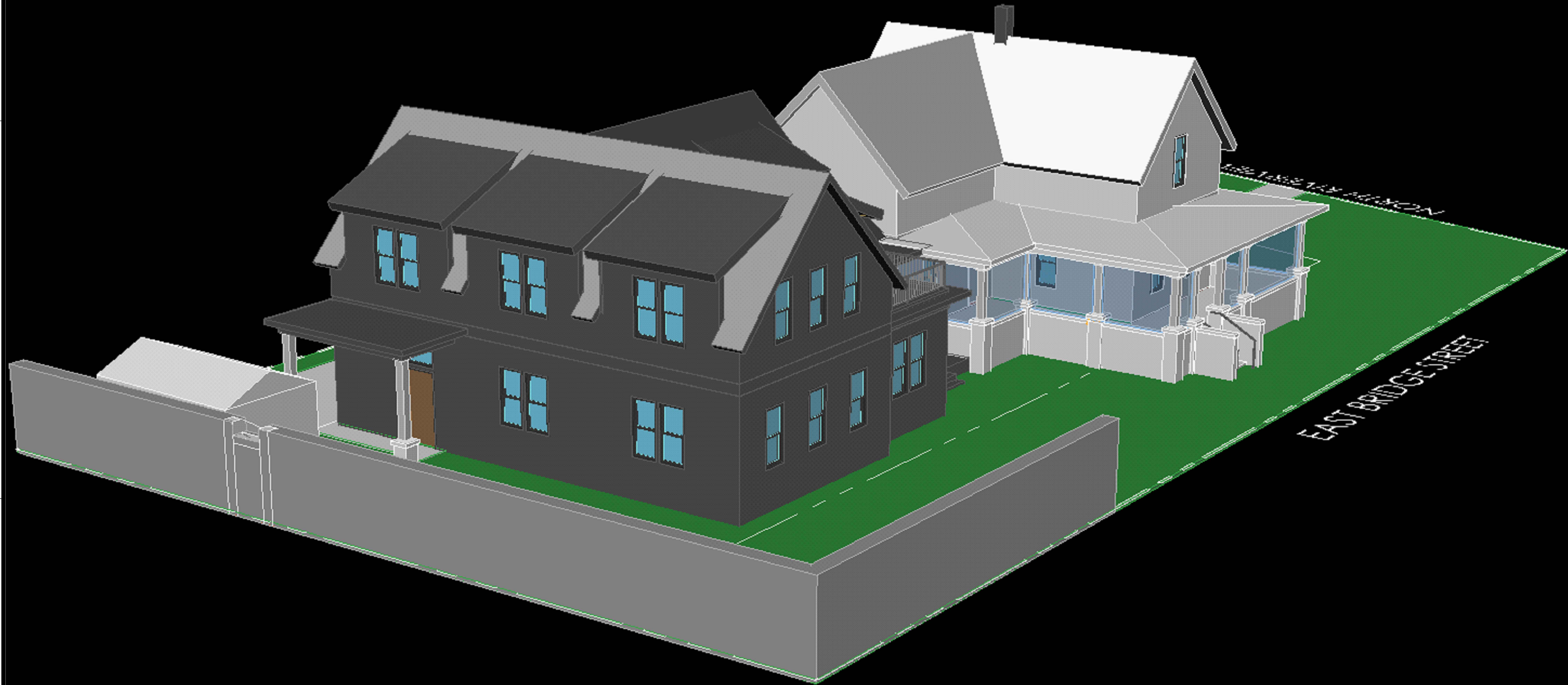
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Designed D.KNAPP
Drawn D.KNAPP
Checked D.KNAPP
Approved D.KNAPP Date 1.13.25
Title

**SOUTHEAST
MASSING VIEW**

Project Number 202305 Sheet Number R-1.6

1 SOUTHEAST VIEW
R-1.6 / NO SCALE



ARB - MINOR PROJECT	1.13.25
ARB - MINOR PROJECT	11.6.24
INFORMAL REVIEW II RESUBMISSION	8.14.24
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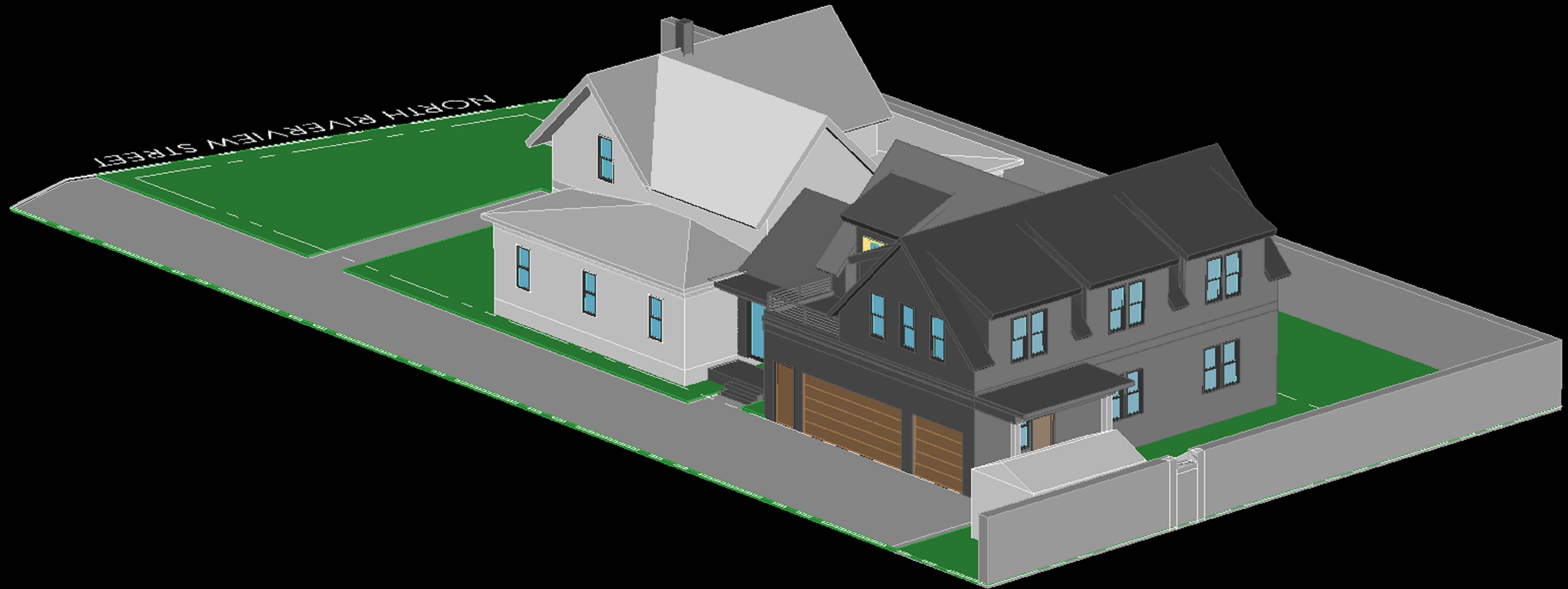
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Designed D.KNAPP
Drawn D.KNAPP
Checked D.KNAPP
Approved D.KNAPP Date 1.13.25
Title

**SOUTHWEST
MASSING VIEW**

Project Number 202305 Sheet Number R-1.7

1 **SOUTHWEST VIEW**
R-1.7 NO SCALE



ARB - MINOR PROJECT	11.6.24
INFORMAL REVIEW II RESUBMISSION	8.14.24
INFORMAL REVIEW 2	7.17.24
INFORMAL REVIEW RESUBMISSION	4.3.24
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Designed D.KNAPP
Drawn D.KNAPP
Checked D.KNAPP
Approved D.KNAPP Date 11.6.24
Title

**NORTHWEST
MASSING VIEW**

Project Number 202305 Sheet Number R-1.8

1 NORTHWEST VIEW
R-1.8 / NO SCALE

