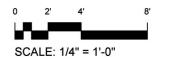








1 SOUTH ELEVATION A-2.0 1/4" = 1'-0"



TANDEM NORTH DESIGN, LLC. 202 S. UNION #1266 TRAVERSE CITY, MI 49684 231.493.8083 ARB - MINOR PROJECT 1.13.25 ARB - MINOR PROJECT 11.6.24 **INFORMAL REVIEW 2** 7.17.24 INFORMAL REVIEW 2.5.24 DATE **REGISTRATION** BURKE RESIDENCE 40 EAST BRIDGE STREET DUBLIN, OHIO 43017

OWNER

KELLY & LEAH BURKE
614.599.2702

KELLYDBURKE@YAHOO.COM
4389 HUNTERS BEND
POWELL, OHIO 43065

Designed D.KNAPP

Drawn D.KNAPP

Checked D.KNAPP

Approved D.KNAPP

NORTH AND SOUTH

ELEVATIONS Project Number

Sheet Number 202305

A-2.0

Date 1.13.25

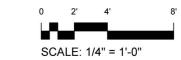




2 WEST ELEVATION A-2.1 1/4" = 1'-0"



1 EAST ELEVATION A-2.1 1/4" = 1'-0"



TANDEM NORTH DESIGN, LLC.

202 S. UNION #1266 TRAVERSE CITY, MI 49684 231.493.8083

ARB - MINOR PROJECT 1.13.25 ARB - MINOR PROJECT **INFORMAL REVIEW 2** 7.17.24 INFORMAL REVIEW RESUBMISSION 4.3.24 INFORMAL REVIEW DATE

ISSUE

REGISTRATION

BURKE RESIDENCE

40 EAST BRIDGE STREET DUBLIN, OHIO 43017

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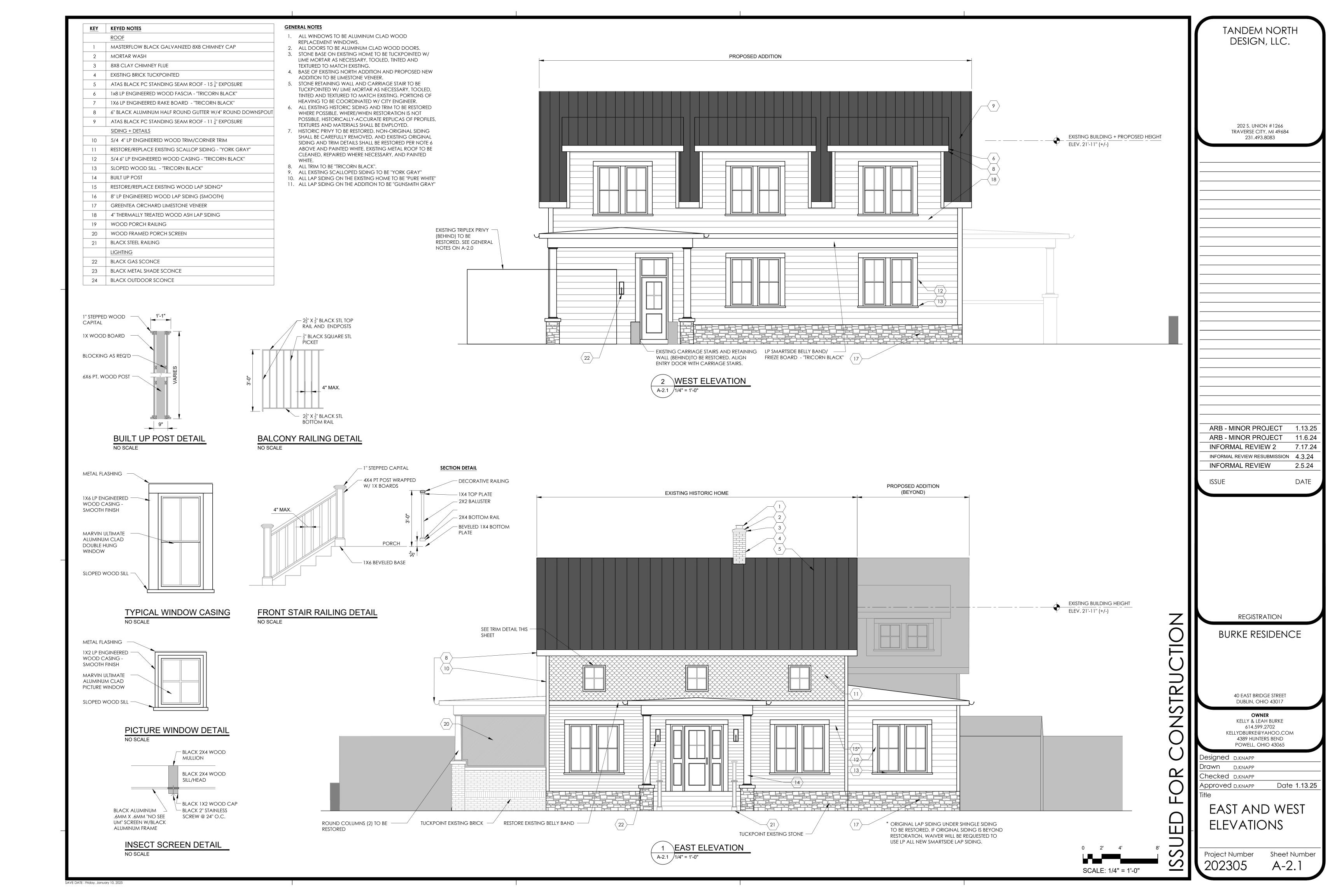
Checked D.KNAPP

Approved D.KNAPP Date 1.13.25

EAST AND WEST **ELEVATIONS**

Project Number Sheet Number 202305

A-2.1



BURKE RESIDENCE

40 EAST BRIDGE STREET DUBLIN, OHIO 43017

SHEET INDEX			
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*	A - 2.1	EAST AND WEST ELEVATIONS	
*	A - 2.1	EAST AND WEST ELEVATIONS - RENDERED	

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INDIAN RUN 745 Id Inogin ESTATES	Clark St Cap City Fine Diner and Bar S Oval St
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Dublin, OH 430 S by Hilton mbus Name of Dason's Deli Name of Dublin, OH 430 S Riverview St Steakhouse	WOOD HILL 33 COLONY ESTATES
Sonesta ES Suites Dublin Columbus MID-CENTURY	Scioto River RegattaCentral Atlin.Ave Heartland Charging
MID-CENTURY DUBLIN Grandview Dr	Heartland Charging Services Cafe Istanbul

VICINITY MAP

(NOT TO SCALE)

LEGAL DESCRIPTION:

LOWER ST ALL110&18FT SS LOT11 1IN LOTS 110-111

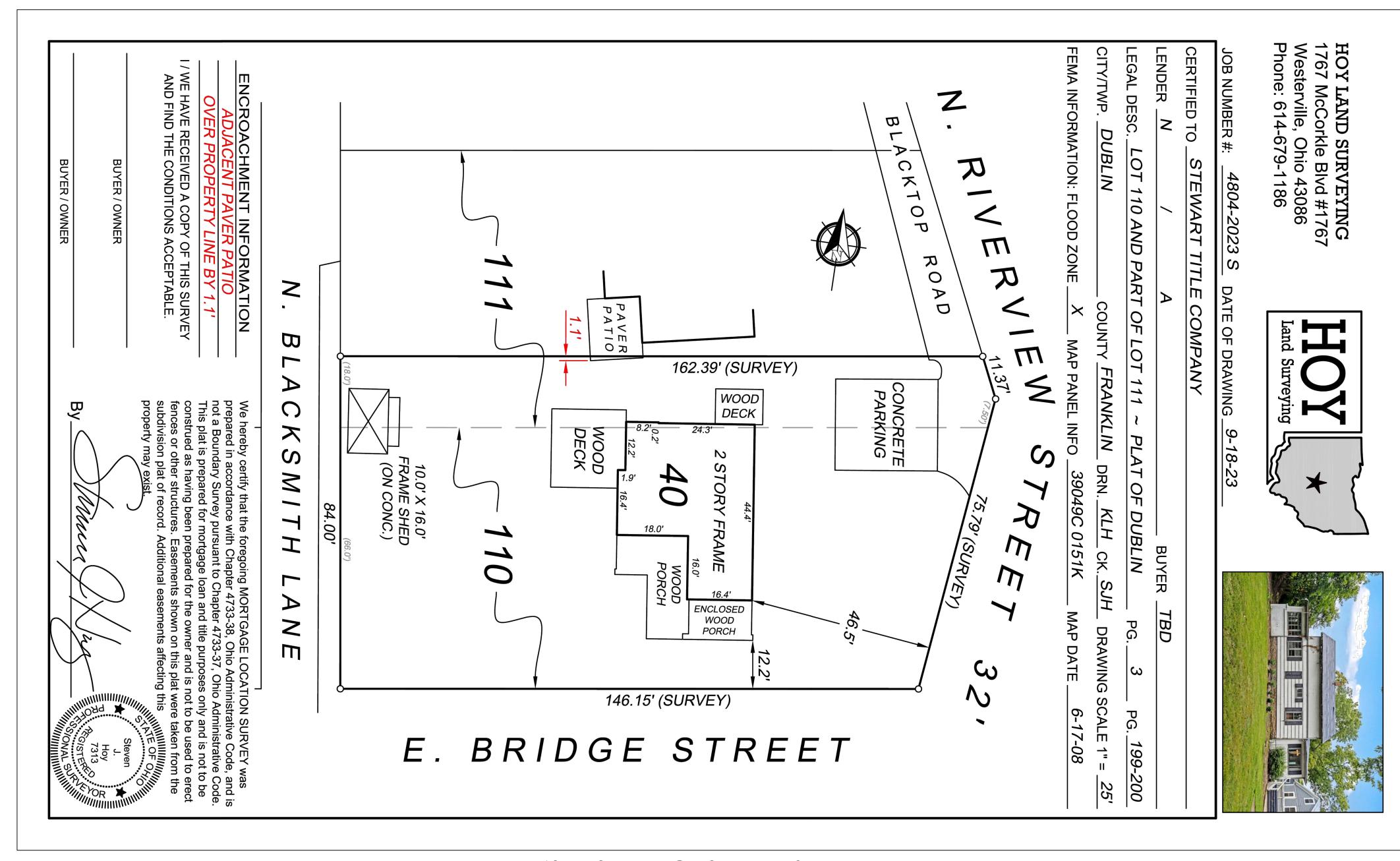
OWNER:

KELLY & LEAH BURKE 614.599.2702 KELLYDBURKE@YAHOO.COM 4389 HUNTERS BEND

POWELL, OHIO 43065

ARCHITECT:

TANDEM NORTH DESIGN, LLC. 231.493.8083 DAVID@TANDEMNORTH.COM 202 S. UNION #1266 TRAVERSE CITY, MI 49684



40 EAST BRIDGE STREET - SURVEY

(NOT TO SCALE)

TANDEM NORTH DESIGN

CTURE PLANNING URBAN DESIGN
702 6TH ST, TRAVERSE CITY, MI. 49684

Project Number 202306

Sheet Number
CS-1.0

40 EAST BRIDGE STREET • DUBLIN, OHIO • 43017

Project Narrative

Forty East Bridge Street was (presumed) built in 1850, as a single-family farmhouse for the W. Davis family. Like many of the few structures in the agrarian settlement, then named "Washington Township", the home was simple and constructed of locally-sourced materials. The home is a shallow two-story "Gabled Ell" building, "L-shaped" in plan, with second story tucked underneath two intersecting gable roof sections. The home was wood-framed, set approximately two feet above grade, on a rubble/Columbus limestone base (crawlspace), with wood lap siding on the first floor and scalloped wood siding under the eaves on the second floor. There is a generous flat-roofed covered porch on a brick base, along the entire front of the house, facing East Bridge Street to the south. The home, just a block east of High Street, is on a corner, sunken approximately ten feet below Blacksmith Ln (alley to the west) and East Bridge St. (south). There is a limestone retaining wall along the West and South property lines. Overall, the property is perched high above the west bank of the Scioto River immediately to the east.

Scope

The Owner wishes to retain much of the original historic character of the home, while adding onto it, spaces and programmatic functions that are more supportive of today's modern living.

All existing landmark features are to remain, preserved for generations to come. The triplex privy on the rear of the property will be restored, and converted to additional storage. The limestone retaining wall along the south and west property lines, along with the existing alley stair, will be tuckpointed with lime mortar, and in some cases where heaving/leaning exists, will be re-built, plumb, with existing materials matching mortar and mortar joints color, tooling, and texture. Any work to the alley wall will be coordinated with the city engineer.

The intent is to retain the existing home, footprint and massing, while adding on a similarly-sized, similarly-massed, two-story, "Gabel Ell" addition to the west, connected to the existing home by a single-story hyphen. The addition will borrow from existing rooflines both in the primary gables, as well as flat roof pitches above both exterior doors in the hyphen, second story outdoor terraces, and an alley-facing entry/patio, tying into and wrapping the entire home and addition, reinforcing the existing home's "belly band".

The addition is to be completely in-line with or within the northmost and southmost extremities of the existing home, so that when viewed head-on from Riverview Street (the home's new "frontage" street), the addition will be out of view from the existing structure. Further, the ridgeline of the addition will be at the same elevation of the existing roof ridge. The addition will have a series of evenly-spaced shed dormers to allow for useable volume for bedrooms, provide daylight into second story spaces, and provide access to two rooftop terraces.

The existing siding and architectural elements will be restored where able, and replaced with similar materials, profiles and textures when necessary. (To be coordinated with the city upon demolition of existing shingle siding). The new construction will feature LP Smartside lap siding and trim.

The existing concrete pad at the street will be removed, and a new concrete driveway will be installed along the north property line opening off of Riverview Street and running west approximately 2/3 the width of the lot, to the westmost edge of the addition. There is a small (approximately 180sf) finished concrete patio set 4'off of the south side of the existing and proposed structure to allow for a landscaping buffer.

Existing open spaces shall largely remain to preserve views and align with neighboring setbacks. Minimal and mixing of perennial plants, flowering shrubs, ornamental trees and other native landscaping is planned to soften the edges of the house at grade along the perimeter of the existing house and addition's foundations.

District Integration

Being a historic structure within the Historic Residential district of Dublin, the "Gabled Ell" house, architecturally-speaking, is naturally harmonious with most of the adjacent structures in central Dublin. Its massing, siting, and material composition both existing and as-planned, are congruent with planned renovations/additions of adjacent homes north along Riverview Street, and existing homes on the south side of Bridge Street.

Where possible, existing siding, masonry, architectural features and openings shall remain and be restored, however this home shows evidence of layers of different siding materials applied over the original over the years. Where restoration is not feasible, historically-accurate reproductions of of siding trim and details will be made using natural materials, matching existing sizes, shapes and textures.

Materials on portions of the home that will be new construction, will be a similar mix of wood siding and masonry base/elements. New openings will be of similar proportion, location and composition to that of the existing home and/or those within the specific architectural vernacular.

Finish colors both on existing and new constructions will be of period and current stylistic specificities, respectively.

Existing site features such as the retaining wall and carriage steps along the west and south property lines will be restored, and overgrown adjacent vegetation will be removed and/or trimmed back to restore its visual presence.

One mature (approx 16)" silver maple tree will be removed on the west side of the existing house for the placement of the addition, where all other native trees will remain and be pruned. Nonnative plantings along the Blacksmith Lane will be removed.

Waivers

Applicant has presented before the ARB twice. The first being an informal review, which sited the project using Bridge Street as the (currently legal) "fronting address" whereby adhering to the zoning requirements therein. The ARB declined this approach and required the "fronting address" to be East Riverview St.

At the second informal ARB review, the applicant proposed an addition to be completely behind the setbacks and footprints of the existing historic home. We proposed roof height waivers to allow for programmatic spaces to be included on the second floor of the addition, while adhering to matching the roof pitches of the existing home. It was recommended that dormers and a request for roof pitch waivers be proposed in order to keep the roofline of the addition at or below the elevation of the existing ridge line, and that the proposed flat roofs on the addition be proposed in order to maintain a harmonious volumetric relationship with the existing landmark home. It was recommended that window proportions adhere to existing and that waivers would need to be requested for the flat roof pitches, and proposed windows above the new Riverview Street elevation entry.

Being a challenging site and existing architectural juxtaposition, several minor waivers from the Historic Design Code are requested.

We are seeking a waiver of 123sf (1% overage) on the prescribed lot coverage maximum. With vehicular access limited to only one side (Riverview St.), and only allowing an addition to the existing home to be to the west (back), we need to extend the required driveway back deep into a deep lot in order to provide required off-street parking, thus requiring a lot coverage waiver.

A waiver is requested for a siding material LP Smartside - Lap siding on the addition, and on the non-original addition of the existing landmark building.

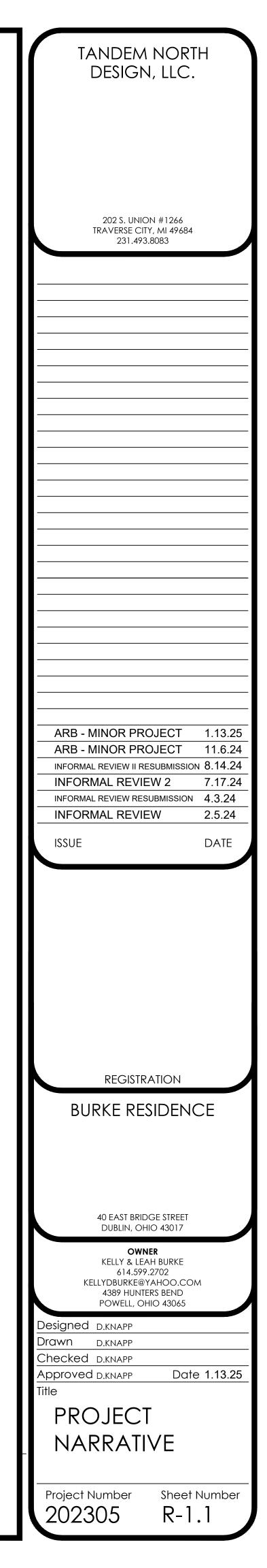
A waiver is requested for the use of LP Smartside, trim, for the trim pieces of the entire home.

A waiver is requested for the proposed three small picture windows on the east (new front) elevation. Whereby they're not historically-accurate in their location or trim details, we propose these windows, with similar proportions to the sashes of the extant double-hung windows of the landmark home to allow for punctuation and fenestration of an otherwise banal "new front facade". Intentional omission of window casing/trim was employed in order to differentiate what would be considered "new vs. historic".

We are requesting roof pitch waivers for the dormers and flat roof portions of the hyphen and addition. The three dormers facing Blacksmith and two opposite of the addition's ridge are proposed to be 4:12 pitch. Whereas the two (north and south facing) dormers on the addition propose a 5:12 pitch. In order to maintain the geometry and massing of the new addition, while encompassing our programmatic requirements, flat roofs (with balconies) are proposed on the north and south sides, of the east side of the addition. Without them, our program requirements will be unattainable. The design of the dormers is consistent with the proposed and approved dormers on the additions of the two adjacent (north) properties, further reinforcing a sense of unity along the properties on the east side of Blackstone Lane.

We are requesting a paint color waiver as we propose to clear coat the wood siding of the hyphen further identifying a separation from the historic home to the planned addition.

We are requesting a rear setback waiver, where 31'-8" is required, we're asking for a setback of 20'-3".



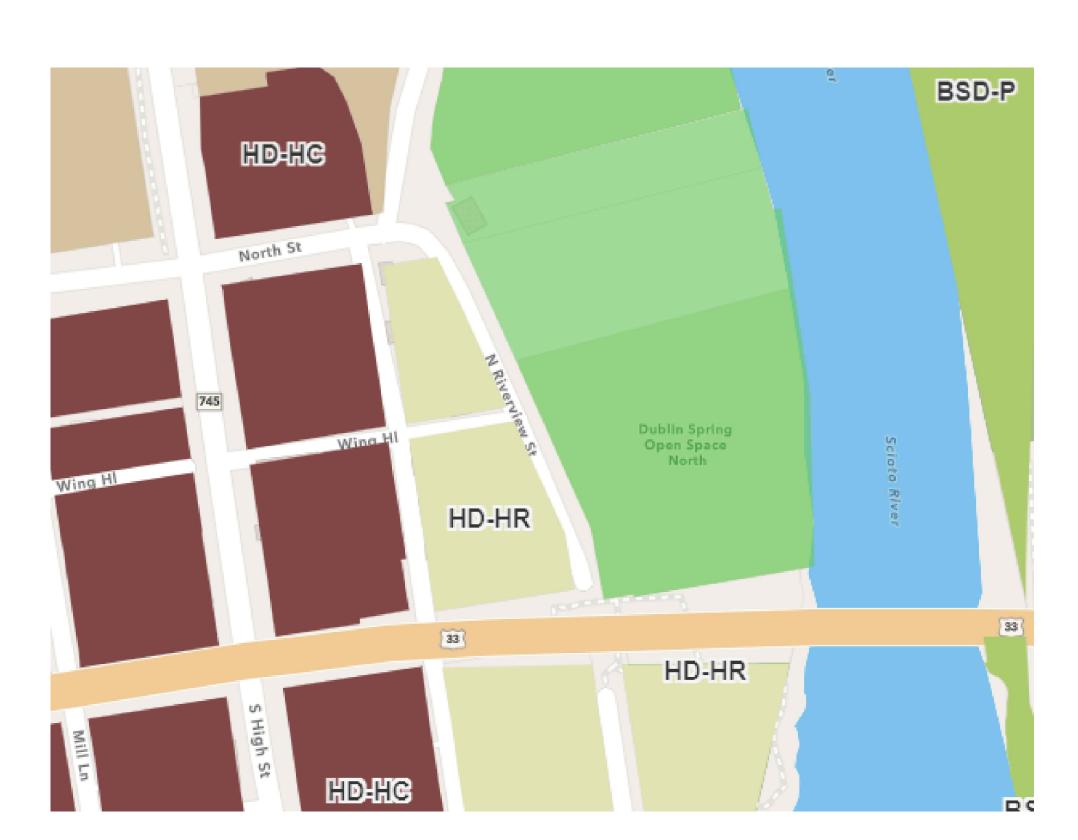
F DATE: Monday December 16, 2024



FUTURE LAND USE - MIXED USE VILLAGE CENTER



PARCEL ID AND LOT DIMENSIONS



ZONING - HD-HR (HISTORIC DISTRICT - HISTORIC RESIDENTIAL)

TANDEM NORTH DESIGN, LLC. 202 S. UNION #1266 TRAVERSE CITY, MI 49684 231.493.8083 ARB - MINOR PROJECT 1.13.25 ARB - MINOR PROJECT 11.6.24 INFORMAL REVIEW II RESUBMISSION 8.14.24 INFORMAL REVIEW 2 INFORMAL REVIEW RESUBMISSION 4.3.24 DATE REGISTRATION BURKE RESIDENCE 40 EAST BRIDGE STREET DUBLIN, OHIO 43017 OWNER Kelly & Leah Burke 614.599.2702
KELLYDBURKE@YAHOO.COM
4389 HUNTERS BEND
POWELL, OHIO 43065 Designed D.KNAPP Checked D.KNAPP Date 1.13.25 Approved D.KNAPP EXISTING CONDITIONS Project Number Sheet Number

202305

R-1.2

SAVE DATE: Monday November 04, 2024







PARTIAL SOUTH ELEVATION



WEST ELEVATION



PARTIAL EAST ELEVATION



PARTIAL EAST ELEVATION



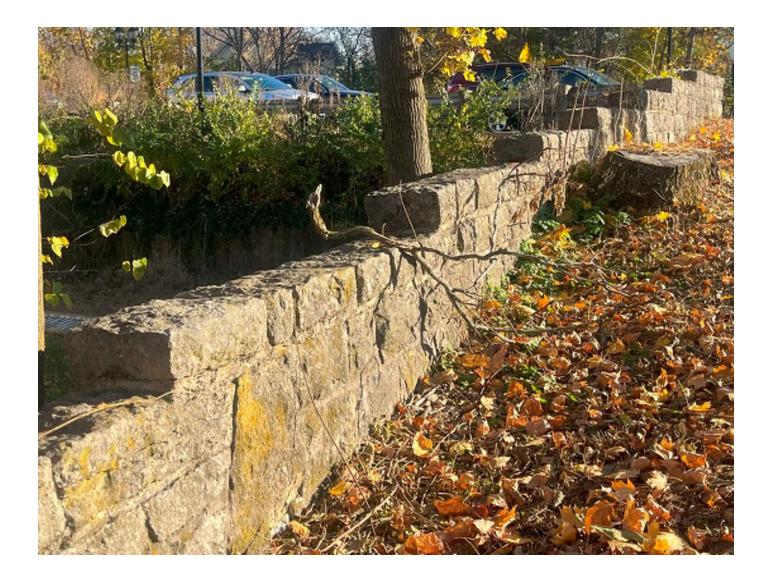
SOUTHWEST LOOKING NORTHEAST



NORTHEAST LOOKING SOUTHWEST



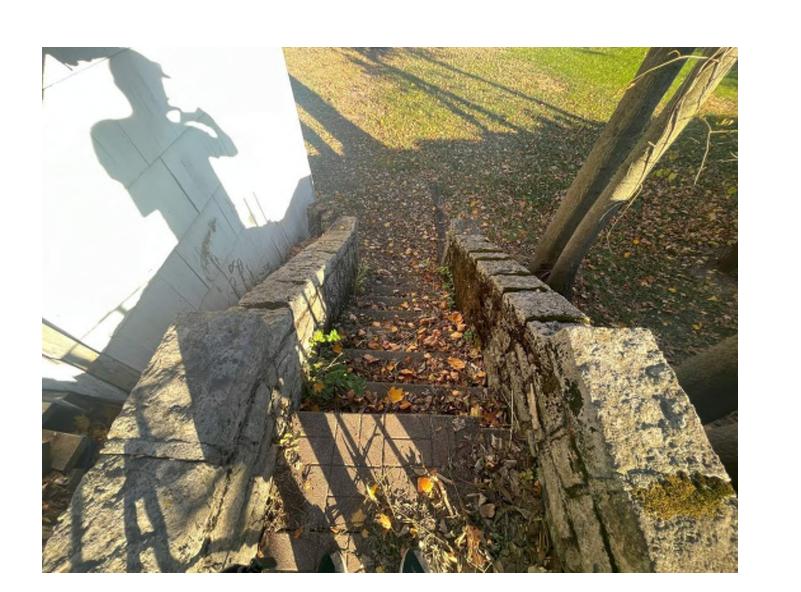
OUT BUILDING NW CORNER OF LOT



COLUMBUS LIMESTONE WALL SOUTHWEST CORNER OF LOT



ENLARGED DETAILS



CARRIAGE STAIR

TANDEM NORTH DESIGN, LLC.

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ARB - MINOR PROJECT 11.6.24 INFORMAL REVIEW II RESUBMISSION 8.14.24 INFORMAL REVIEW 2

REGISTRATION

BURKE RESIDENCE

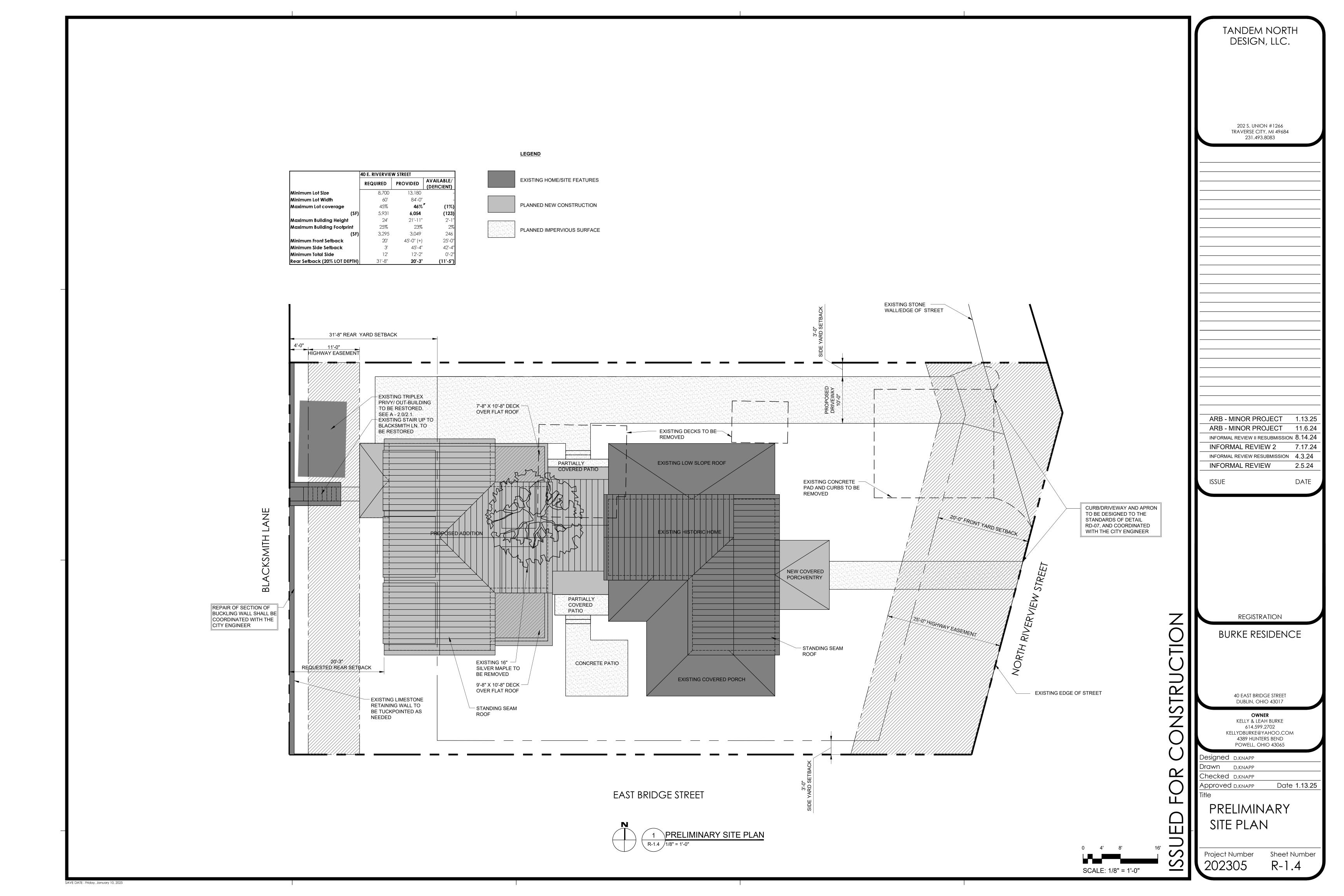
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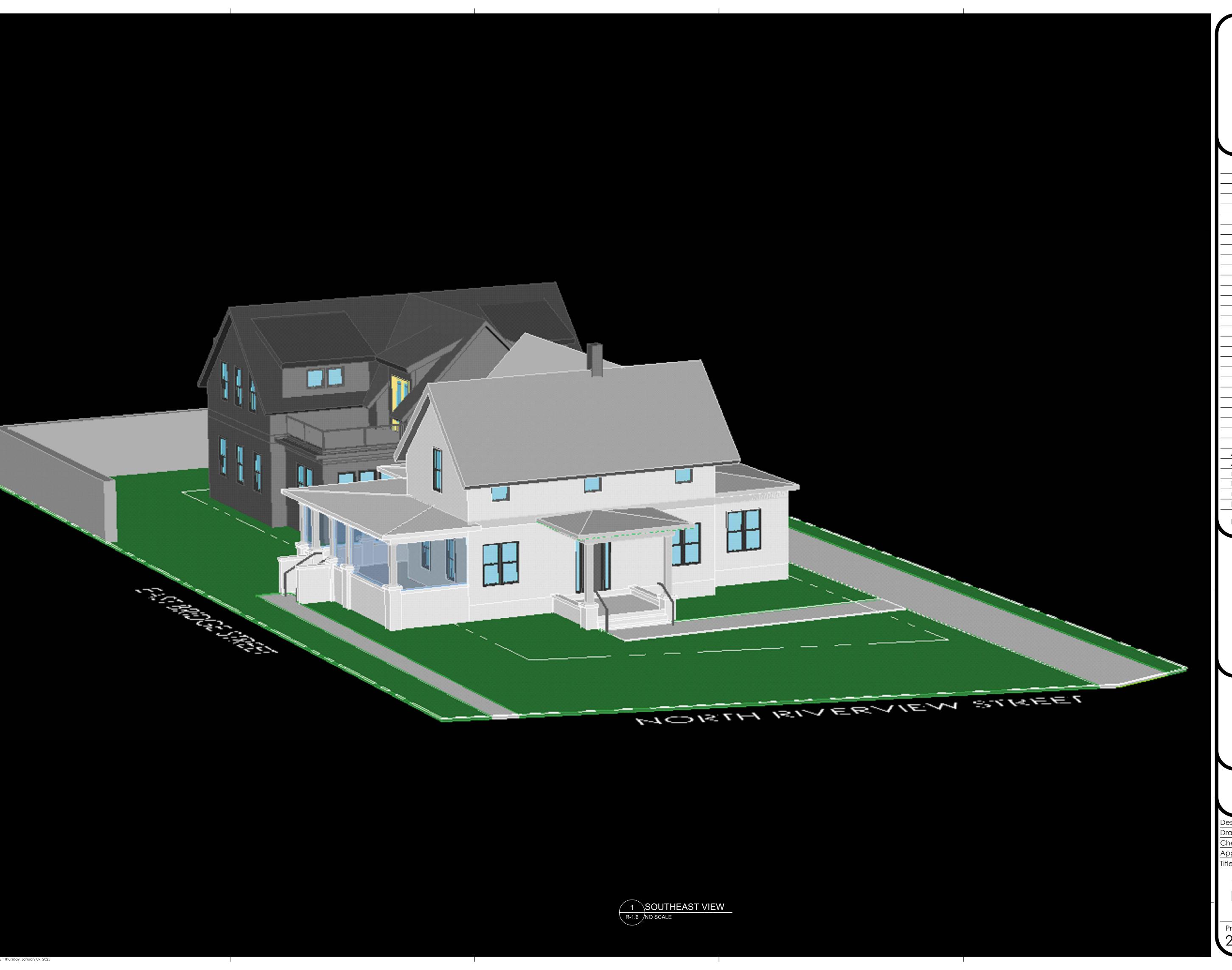
OWNER
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Designed D.KNAPP Checked D.KNAPP Date 11.6.24 Approved D.KNAPP

EXISTING CONDITIONS PHOTOS

Project Number Sheet Number 202305





TANDEM NORTH DESIGN, LLC.

202 S. UNION #1266 TRAVERSE CITY, MI 49684 231.493.8083

ARB - MINOR PROJECT 1.13.25 ARB - MINOR PROJECT 11.6.24 INFORMAL REVIEW II RESUBMISSION 8.14.24 INFORMAL REVIEW 2 INFORMAL REVIEW RESUBMISSION 4.3.24 INFORMAL REVIEW DATE ISSUE

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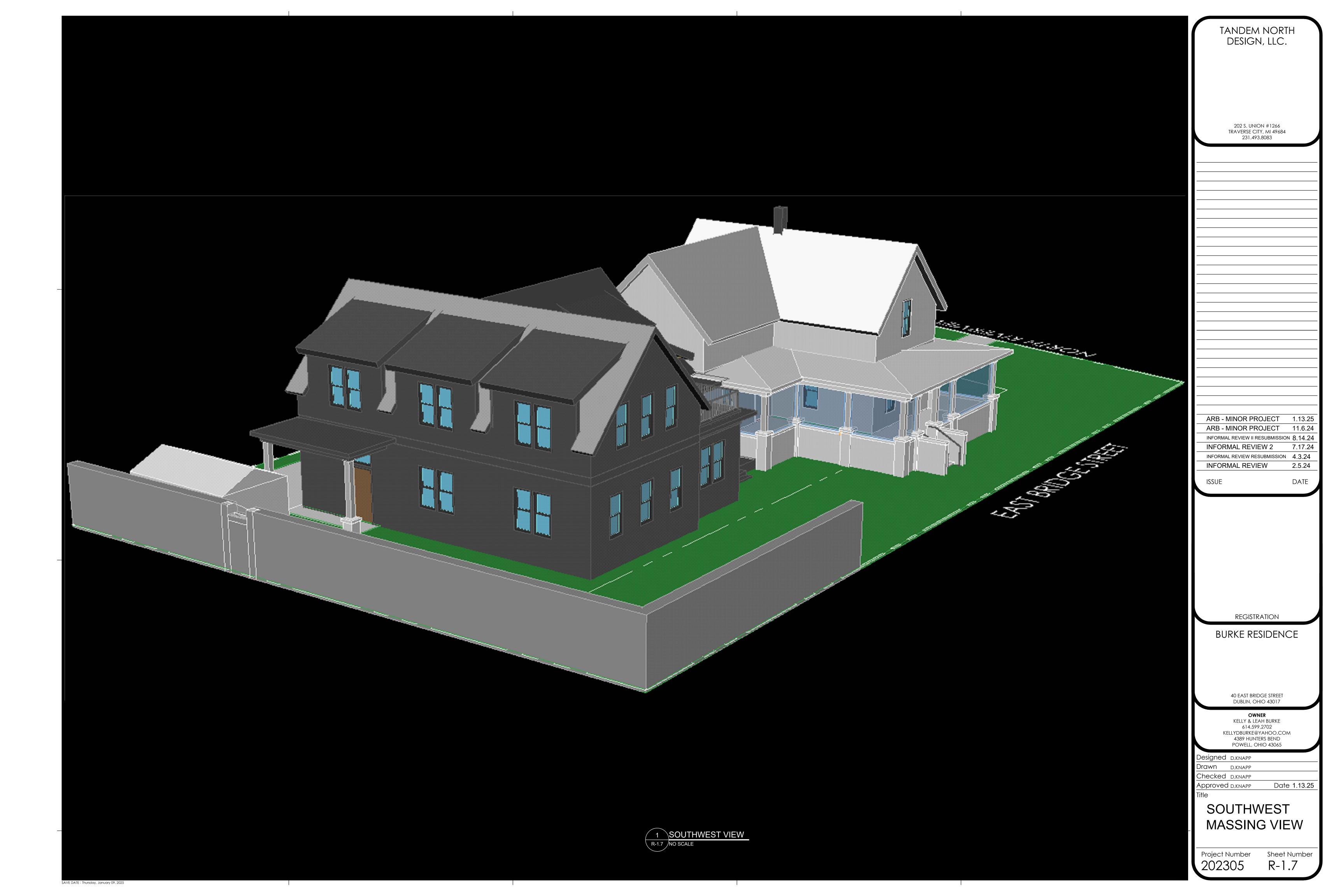
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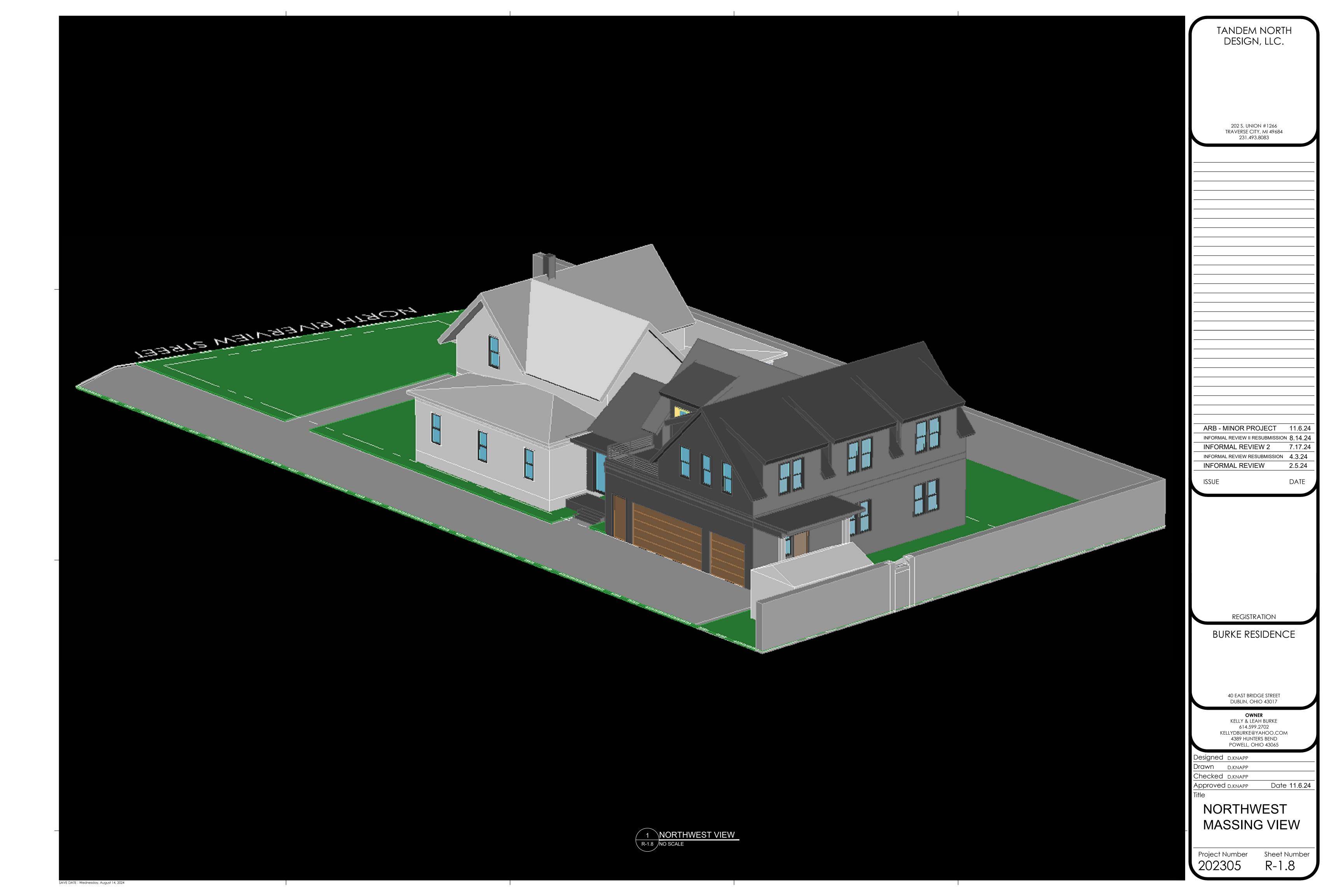
Date 1.13.25 Approved D.KNAPP

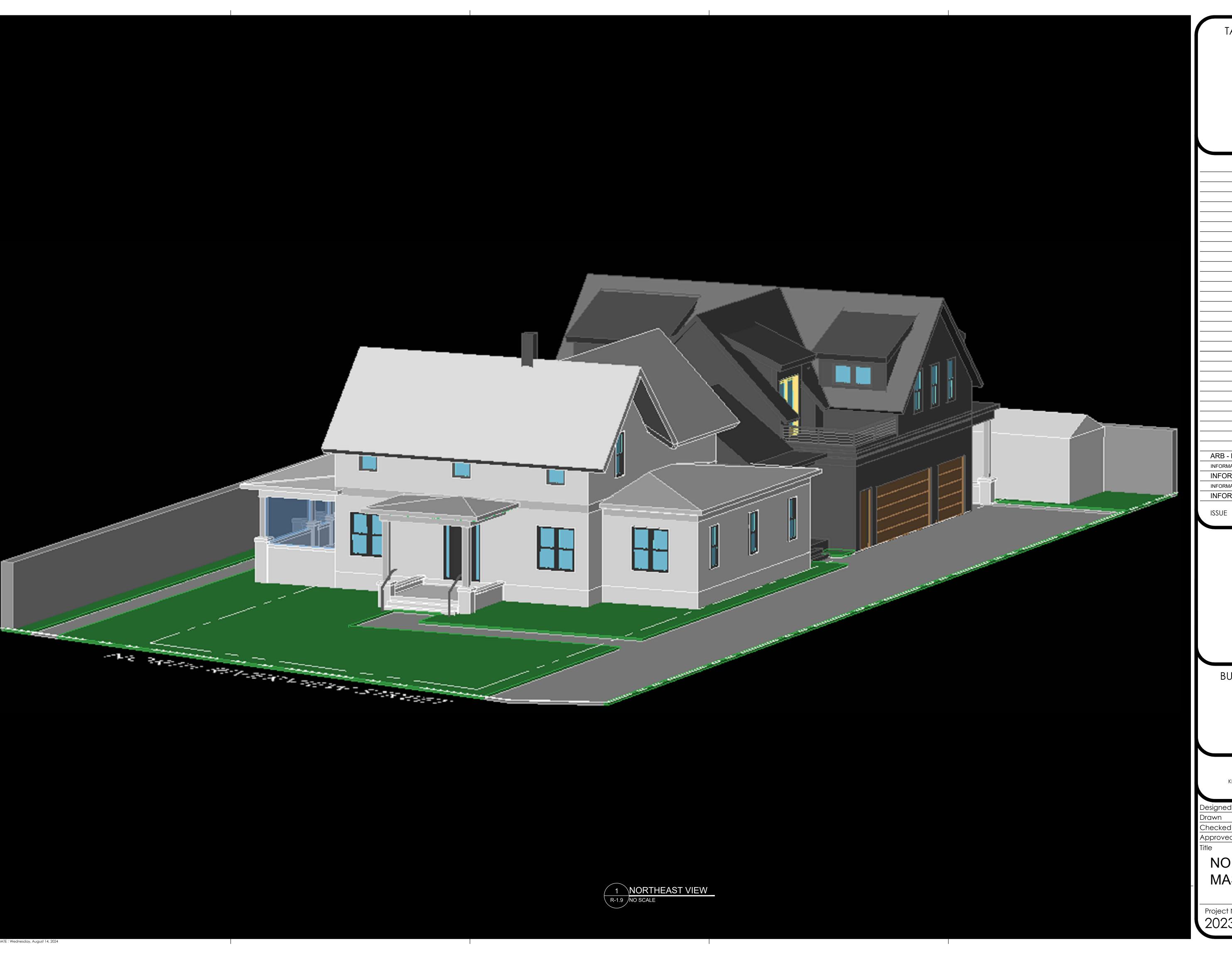
SOUTHEAST MASSING VIEW

Project Number 202305 Sheet Number

R-1.6







TANDEM NORTH DESIGN, LLC.

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ARB - MINOR PROJECT 11.6.24 INFORMAL REVIEW II RESUBMISSION 8.14.24 INFORMAL REVIEW 2 INFORMAL REVIEW RESUBMISSION 4.3.24 INFORMAL REVIEW DATE

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POWELL, OHIO 43065

Designed D.KNAPP

Checked D.KNAPP

Approved D.KNAPP
Title Date 11.6.24

NORTHEAST MASSING VIEW

Project Number 202305 Sheet Number R-1.9