

ARB - MINOR PROJECT	11.6.24
INFORMAL REVIEW II RESUBMISSION	8.14.24
INFORMAL REVIEW 2	7.17.24
ADDENDUM 1	5.16.24
INFORMAL REVIEW	2.5.24

ISSUE	DATE

REGISTRATION
BURKE RESIDENCE

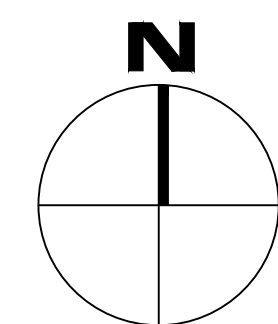
40 EAST BRIDGE STREET
DUBLIN, OHIO 43017

OWNER
KELLY & LEAH BURKE
614.599.2702
KELLYBURKE@YAHOO.COM
4389 HUNTERS BEND
POWELL, OHIO 43065

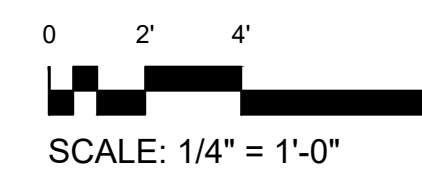
Designed D.KNAPP
Drawn D.KNAPP
Checked D.KNAPP
Approved D.KNAPP Date 11.6.24
Title

FIRST FLOOR PLANS

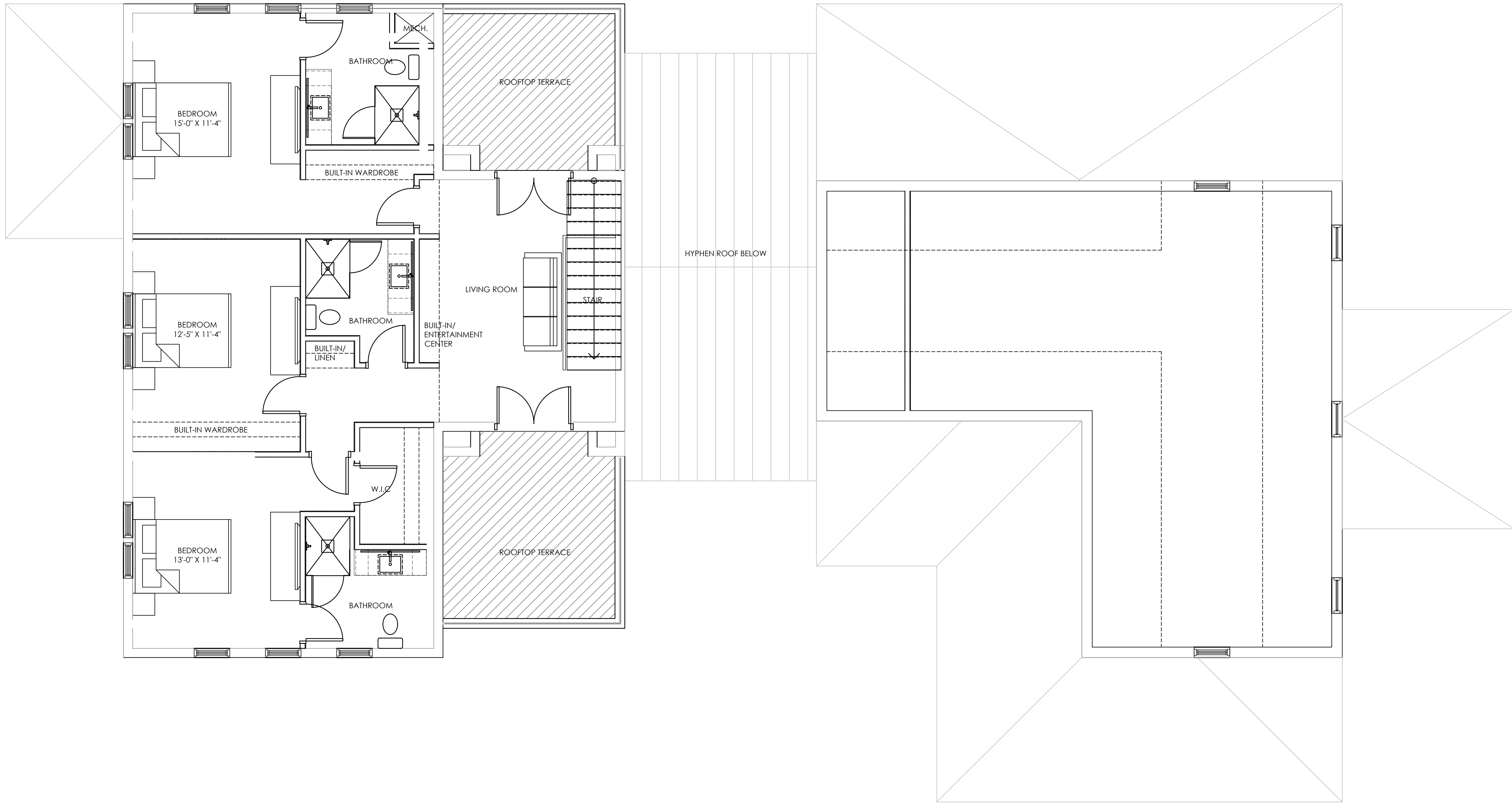
Project Number 202305 Sheet Number A-1.0



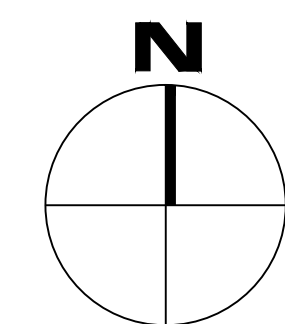
1 FIRST FLOOR PLAN
A-1.0 1/4" = 1'-0"



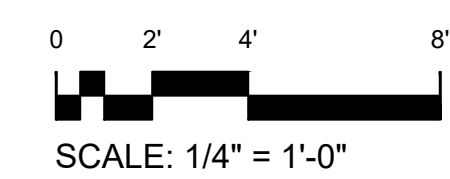
ISSUED FOR CONSTRUCTION



SECOND FLOOR AREA: 1,180 GSF



1 SECOND FLOOR PLAN
A-1.1 1/4" = 1'-0"



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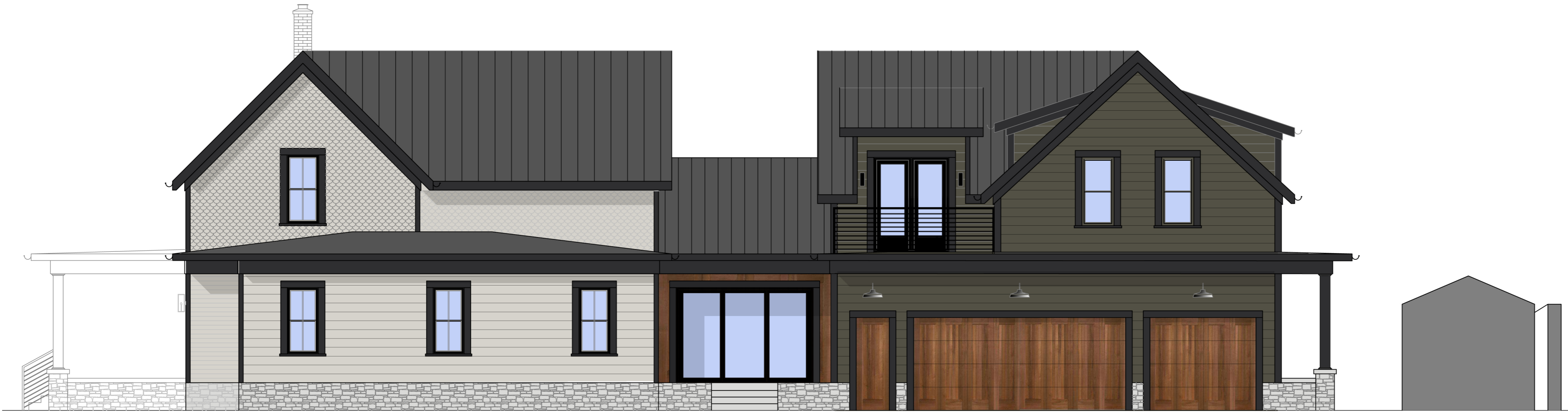
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SECOND FLOOR
PLAN

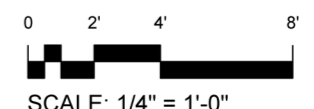
Project Number	Sheet Number
202305	A-1.1



2 NORTH ELEVATION
A-2.0 1/4" = 1'-0"



1 SOUTH ELEVATION
A-2.0 1/4" = 1'-0"



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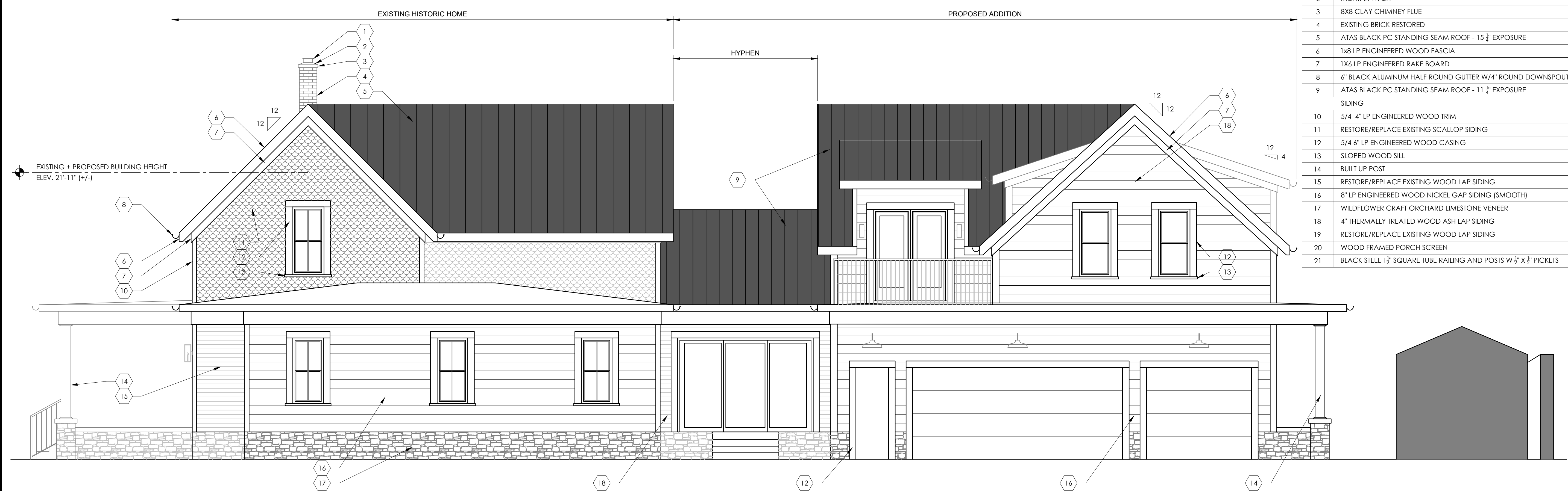
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**NORTH AND
SOUTH
ELEVATIONS**
Project Number 202305 Sheet Number A-2.0

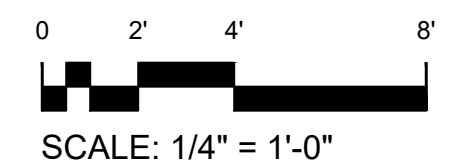
KEY	KEYED NOTES
ROOF	
1	MASTERFLOW BLACK GALVANIZED 8X8 CHIMNEY CAP
2	MORTAR WASH
3	8X8 CLAY CHIMNEY FLUE
4	EXISTING BRICK RESTORED
5	ATAS BLACK PC STANDING SEAM ROOF - 15 1/2" EXPOSURE
6	1x8 LP ENGINEERED WOOD FASCIA
7	1x6 LP ENGINEERED RAKE BOARD
8	6" BLACK ALUMINUM HALF ROUND GUTTER W/4" ROUND DOWNSPOUT
9	ATAS BLACK PC STANDING SEAM ROOF - 11 1/2" EXPOSURE
SIDING	
10	5/4 4" LP ENGINEERED WOOD TRIM
11	RESTORE/REPLACE EXISTING SCALLOP SIDING
12	5/4 6" LP ENGINEERED WOOD CASING
13	SLOPED WOOD SILL
14	BUILT UP POST
15	RESTORE/REPLACE EXISTING WOOD LAP SIDING
16	8" LP ENGINEERED WOOD NICKEL GAP SIDING (SMOOTH)
17	WILDFLOWER CRAFT ORCHARD LIMESTONE VENEER
18	4" THERMALLY TREATED WOOD ASH LAP SIDING
19	RESTORE/REPLACE EXISTING WOOD LAP SIDING
20	WOOD FRAMED PORCH SCREEN
21	BLACK STEEL 1 1/2" SQUARE TUBE RAILING AND POSTS W 3/4" X 3/4" PICKETS



2 NORTH ELEVATION
A-2.0 1/4" = 1'-0"



1 SOUTH ELEVATION
A-2.0 1/4" = 1'-0"



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NORTH AND
SOUTH
ELEVATIONS

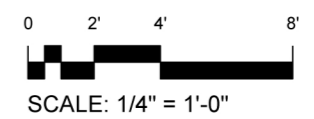
Project Number 202305 Sheet Number A-2.0



2 WEST ELEVATION
A-2.1 1/4" = 1'-0"



1 EAST ELEVATION
A-2.1 1/4" = 1'-0"



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INFORMAL REVIEW RESUBMISSION	4.3.24
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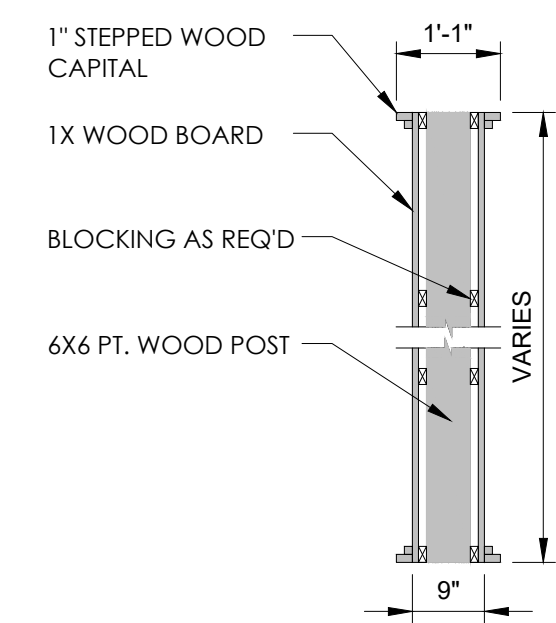
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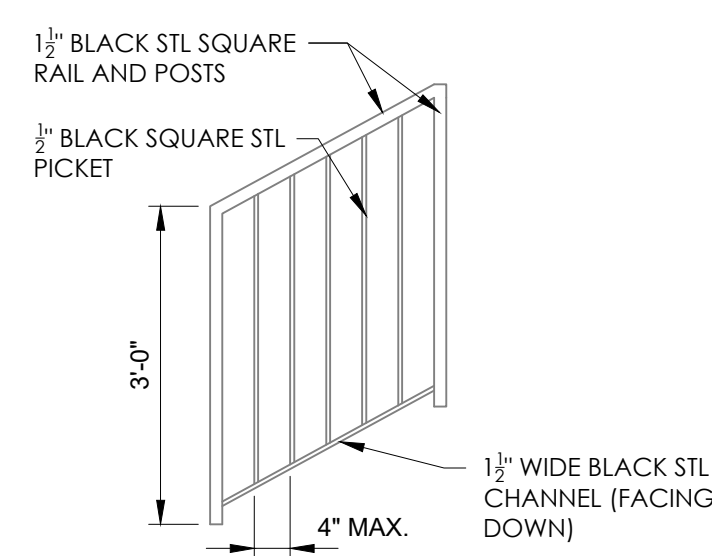
EAST AND WEST
ELEVATIONS

Project Number 202305 Sheet Number A-2.1

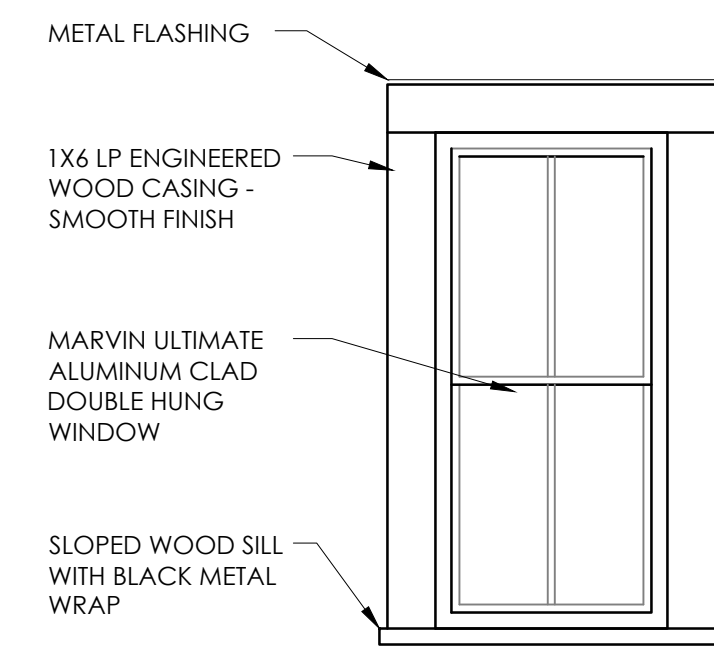
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20	WOOD FRAMED PORCH SCREEN
21	BLACK STEEL 1 1/2" SQUARE TUBE RAILING AND POSTS W 1/2" X 1 1/2" BARS



BUILT UP POST DETAIL
NO SCALE



TYPICAL RAILING DETAIL
NO SCALE



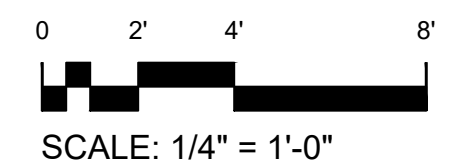
TYPICAL WINDOW CASING
NO SCALE



2 WEST ELEVATION
A-2.1 1/4" = 1'-0"



1 EAST ELEVATION
A-2.1 1/4" = 1'-0"



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4389 HUNTERS BEND
POWELL, OHIO 43065

Designed	D.KNAPP
Drawn	D.KNAPP
Checked	D.KNAPP
Approved	D.KNAPP
Title	
Date	12.16.24

**EAST AND WEST
ELEVATIONS**

Project Number	Sheet Number
202305	A-2.1

BURKE RESIDENCE

40 EAST BRIDGE STREET
DUBLIN, OHIO 43017

SHEET INDEX		
ISSUE	NO.	SHEET
*	CS-1.0	COVER SHEET, VICINITY MAP, SURVEY
*	R-1.1	PROJECT NARRATIVE
*	R-1.2	EXISTING CONDITIONS
*	R-1.3	EXISTING CONDITIONS - PHOTOS
*	R-1.4	PRELIMINARY SITE PLAN
*	R-1.6	SOUTHEAST MASSING VIEW
*	R-1.7	SOUTHWEST MASSING VIEW
*	R-1.8	NORTHWEST MASSING VIEW
*	R-1.9	NORTHEAST MASSING VIEW
*	A-1.0	FIRST FLOOR PLAN
*	A-1.1	SECOND FLOOR PLAN
*	A-2.0	NORTH AND SOUTH ELEVATIONS
*	A-2.0	NORTH AND SOUTH ELEVATIONS - RENDERED
*	A-2.1	EAST AND WEST ELEVATIONS
*	A-2.1	EAST AND WEST ELEVATIONS - RENDERED

LEGAL DESCRIPTION:

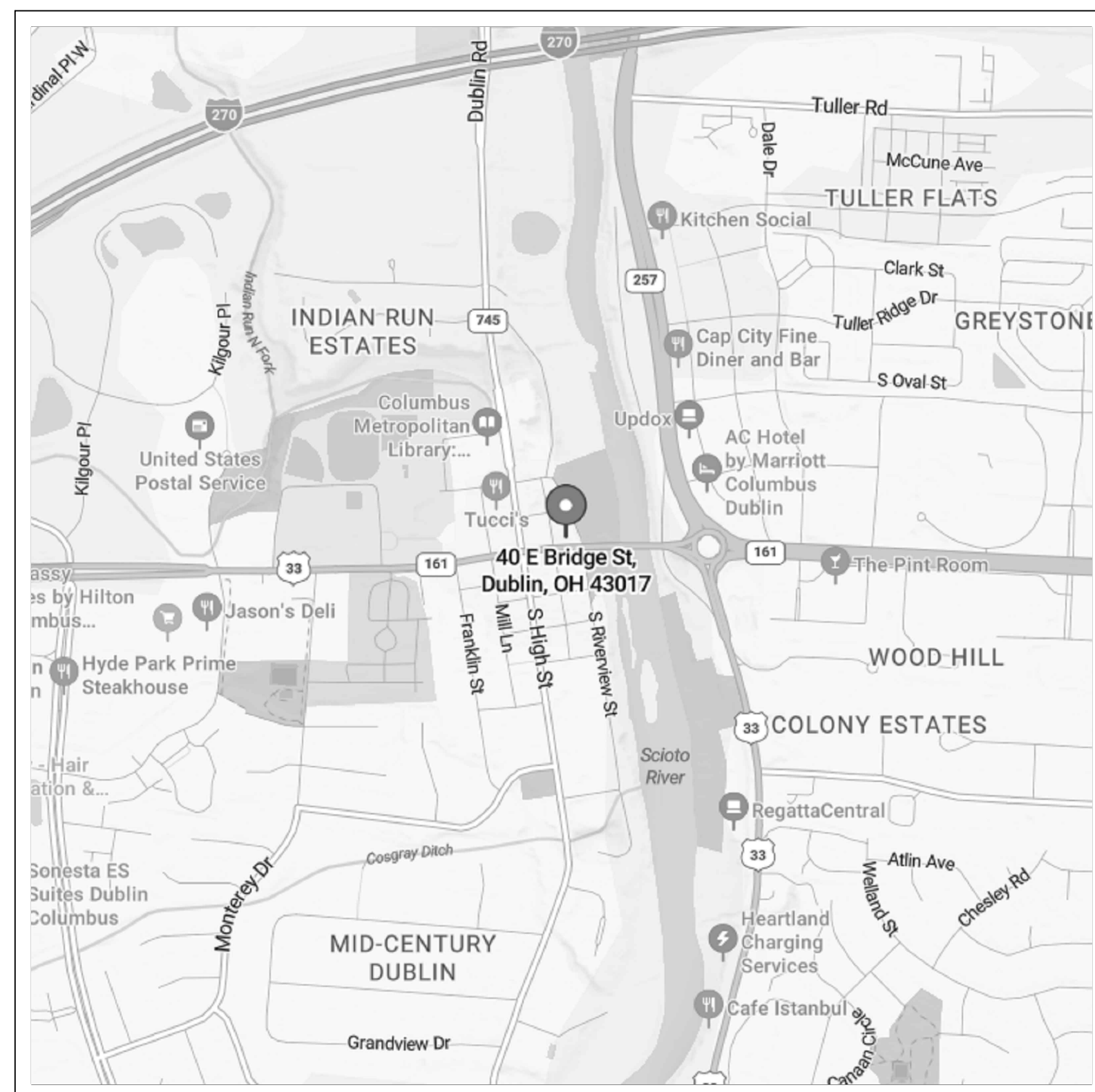
LOWER ST ALL 110 & 18 FT SS LOT 111 1 IN LOTS 110-111

OWNER:

KELLY & LEAH BURKE
614.599.2702
KELLYDBURKE@YAHOO.COM
4389 HUNTERS BEND
POWELL, OHIO 43065

ARCHITECT:

TANDEM NORTH DESIGN, LLC.
231.493.8083
DAVID@TANDEMNORTH.COM
202 S. UNION #1266
TRAVERSE CITY, MI 49684



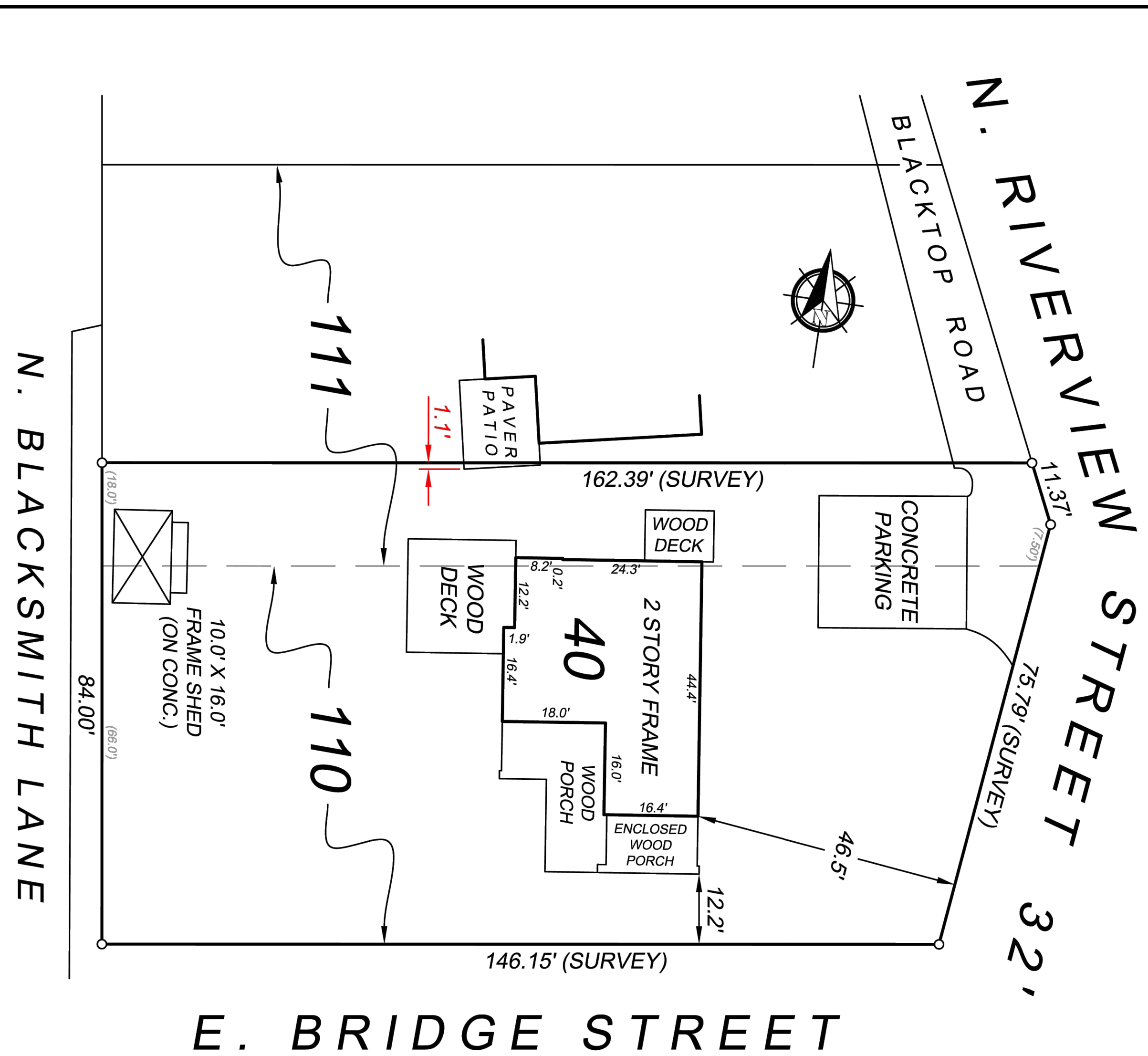
VICINITY MAP
(NOT TO SCALE)

ENCROACHMENT INFORMATION
**ADJACENT PAVEMENT PATIO
OVER PROPERTY LINE BY 1.1'**
I / WE HAVE RECEIVED A COPY OF THIS SURVEY
AND FIND THE CONDITIONS ACCEPTABLE.

BUYER / OWNER _____
BUYER / OWNER _____
BUYER / OWNER _____

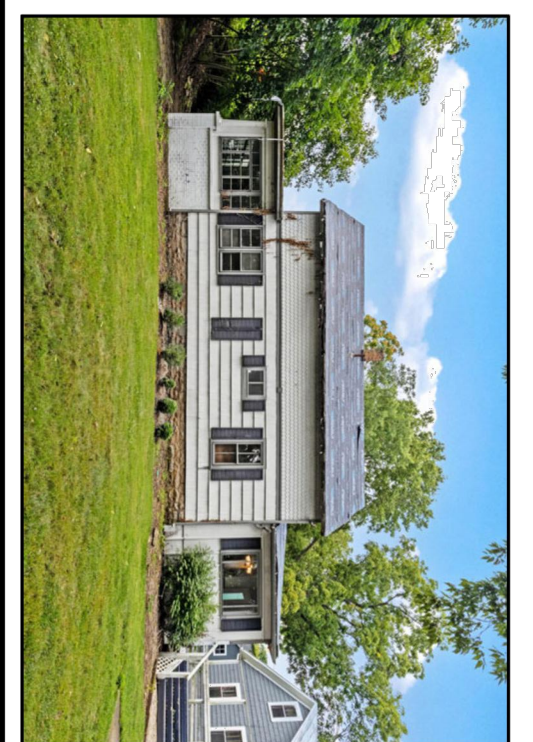
We hereby certify that the foregoing MORTGAGE LOCATION SURVEY was prepared in accordance with Chapter 4733-38, Ohio Administrative Code, and is not a Boundary Survey pursuant to Chapter 4733-37, Ohio Administrative Code. This plat is prepared for mortgage loan and title purposes only and is not to be construed as having been prepared for the owner and is not to be used to erect fences or other structures. Easements shown on this plat were taken from the subdivision plat of record. Additional easements affecting this property may exist.

By *Steven Hoy*
Steven Hoy
7313
REGISTERED PROFESSIONAL SURVEYOR
STATE OF OHIO



40 EAST BRIDGE STREET - SURVEY
(NOT TO SCALE)

HOY LAND SURVEYING
1767 McCorkle Blvd #1767
Westerville, Ohio 43086
Phone: 614-679-1186



JOB NUMBER #: 4804-2023 S DATE OF DRAWING 9-18-23
CERTIFIED TO STEWART TITLE COMPANY
LENDER N / A BUYER TBD
LEGAL DESC. LOT 110 AND PART OF LOT 111 ~ PLAT OF DUBLIN PG. 3 PG. 199-200
CITY/TWP. DUBLIN COUNTY FRANKLIN DRN. KLH CK. SJH DRAWING SCALE 1" = 25'
FEMA INFORMATION: FLOOD ZONE X MAP PANEL INFO 39049C 0151K MAP DATE 6-17-08

TANDEM NORTH DESIGN

ARCHITECTURE • PLANNING • URBAN DESIGN
702 6TH ST. TRAVERSE CITY, MI. 49684

Project Number
202306

Sheet Number
CS-1.0

Project Narrative

Forty East Bridge Street was (presumed) built in 1850, as a single-family farmhouse for the W. Davis family. Like many of the few structures in the agrarian settlement, then named "Washington Township", the home was simple and constructed of locally-sourced materials. The home is a shallow two-story "Gabled Ell" building, "L-shaped" in plan, with second story tucked underneath two intersecting gable roof sections. The home was wood-framed, set approximately two feet above grade, on a rubble/Columbus limestone base (crawlspcace), with wood lap siding on the first floor and scalloped wood siding under the eaves on the second floor. There is a generous flat-roofed covered porch on a brick base, along the entire front of the house, facing East Bridge Street to the south. The home, just a block east of High Street, is on a corner, sunken approximately ten feet below Blacksmith Ln (alley to the west) and East Bridge St. (south). There is a limestone retaining wall along the West and South property lines. Overall, the property is perched high above the west bank of the Scioto River immediately to the east.

Scope

The Owner wishes to retain much of the original historic character of the home, while adding onto it, spaces and programmatic functions that are more supportive of today's modern living.

All existing landmark features are to remain, preserved for generations to come. The triplex privy on the rear of the property will be restored, and converted to additional storage. The limestone retaining wall along the south and west property lines, along with the existing alley stair, will be tuckpointed, and in some cases where heaving/leaning exists, will be re-built, plumb, with existing materials and matching mortar and mortar joints.

The intent is to retain the existing home, footprint and massing, while adding on a similarly-sized, similarly-massed, two-story, "Gabel Ell" addition to the west, connected to the existing home by a single-story hyphen. The addition will borrow from existing rooflines both in the primary gables, as well as flat roof pitches above both exterior doors in the hyphen, second story outdoor terraces, and an alley-facing entry/patio, tying into and wrapping the entire home and addition, reinforcing the existing home's "belly band".

The addition is to be completely in-line with or within the northmost and southmost extremities of the existing home, so that when viewed head-on from Riverview Street (the home's new "frontage" street), the addition will be out of view from the existing structure. Further, the ridgeline of the addition will be at the same elevation of the existing roof ridge. The addition will have a series of evenly-spaced shed dormers to allow for useable volume for bedrooms, provide daylight into second story spaces, and provide access to two rooftop terraces.

The existing siding and architectural elements will be restored where able, and replaced with similar materials when necessary. The new construction will feature similar materials as the existing.

A new concrete driveway will be installed along the north (rear) property line opening off of Riverview Street and running west approximately 2/3 the width of the lot, to the westmost edge of the addition. There is a small (approximately 180sf) finished concrete patio set 4' off of the south side of the existing and proposed structure to allow for a landscaping buffer.

Existing open spaces shall largely remain to preserve views and align with neighboring setbacks. Minimal and mixing of perineal plants, flowering shrubs, ornamental trees and other native landscaping is planned to soften the edges of the house at grade along the perimeter of the existing house and addition's foundations.

District Integration

Being a historic structure within the Historic Residential district of Dublin, the "Gabled Ell" house, architecturally-speaking, is naturally harmonious with most of the adjacent structures in central Dublin. Its massing, sifing, and material composition both existing and as-planned, are congruent with planned renovations/additions of adjacent homes north along Riverview Street, and existing homes on the south side of Bridge Street.

Where possible, existing siding, masonry, architectural features and openings shall remain and be restored, however this home shows evidence of layers of different siding materials applied over the original over the years. Where restoration is not feasible, historically-accurate reproductions of like materials will be employed.

Materials on portions of the home that will be new construction, will be a similar mix of wood siding and masonry base/elements. New openings will be of similar proportion, location and composition to that of the existing home and/or those within the specific architectural vernacular.

Finish colors both on existing and new constructions will be of period and current stylistic specificities, respectively.

Existing site features such as the retaining wall and carriage steps along the west and south property lines will be restored, and overgrown adjacent vegetation will be removed and/or trimmed back to restore its visual presence.

One mature maple tree will be removed on the west side of the existing house for the placement of the addition, where all other native trees will remain and be pruned. Nonnative plantings along the Blacksmith Lane will be removed.

Waivers

Applicant has presented before the ARB twice. The first being a preliminary review, which sited the project using Bridge Street as the (currently legal) "fronting address" whereby adhering to the zoning requirements therein. The ARB declined this approach and required the "fronting address" to be East Riverview St.

At the second preliminary ARB review, the applicant proposed an addition to be completely behind the setbacks and footprints of the existing historic home. We proposed roof height waivers to allow for programmatic spaces to be included on the second floor of the addition, while adhering to matching the roof pitches of the existing home. It was recommended that dormers and a request for roof pitch waivers be proposed in order to keep the roofline of the addition at or below the elevation of the existing ridge line, and that the proposed flat roofs on the addition be proposed in order to maintain a harmonious volumetric relationship with the existing landmark home. It was recommended that window proportions adhere to existing and that waivers would need to be requested for the flat roof pitches, and proposed windows above the new Riverview Street elevation entry.

Being a challenging site and existing architectural juxtaposition, several minor waivers from the Historic Design Code are requested.

We are seeking a waiver of 640sf (4% overage) on the prescribed lot coverage maximum. With vehicular access limited to only one side (Riverview St.), and only allowing an addition to the existing home to be to the west (back), we need to extend the required driveway back deep into a deep lot in order to provide required off-street parking, thus requiring a lot coverage waiver.

A waiver is requested for a siding material (LP Smartside - NickelGap siding) for the addition, using LP Smartside (an already approved manufacturer). We intentionally propose this material as a minimal and contrasting like-material to the existing siding.

A waiver is requested for the proposed three small picture windows on the east (new front) elevation. Whereby they're not historically-accurate in their location or trim details, we propose these windows, with similar proportions to the sashes of the extant double-hung windows of the landmark home to allow for punctuation and fenestration of an otherwise banal "new front facade". Intentional omission of window casing/trim was employed in order to differentiate what would be considered "new vs. historic".

We are requesting roof pitch waivers for the dormers and flat roof portions of the hyphen and addition. Without them, our program requirements will be unattainable. The design of the dormers is consistent with the proposed and approved dormers on the additions of the two adjacent (north) properties, further reinforcing a sense of unity along the properties on the east side of Blackstone Lane.

We are requesting a paint color waiver as we propose to clear coat the wood siding of the hyphen and wood entry and garage doors, further identifying a separation from the historic home to the planned addition.

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Approved	D.KNAPP
Title	Date 12.16.24

PROJECT NARRATIVE



FUTURE LAND USE - MIXED USE VILLAGE CENTER



PARCEL ID AND LOT DIMENSIONS



EXISTING LAND USE - SUBURBAN RESIDENTIAL LOW DENSITY



ZONING - HD-HR (HISTORIC DISTRICT - HISTORIC RESIDENTIAL)

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EXISTING
CONDITIONS

Project Number 202305
Sheet Number R-1.2



SOUTH ELEVATION



PARTIAL SOUTH ELEVATION



WEST ELEVATION



PARTIAL EAST ELEVATION



PARTIAL EAST ELEVATION



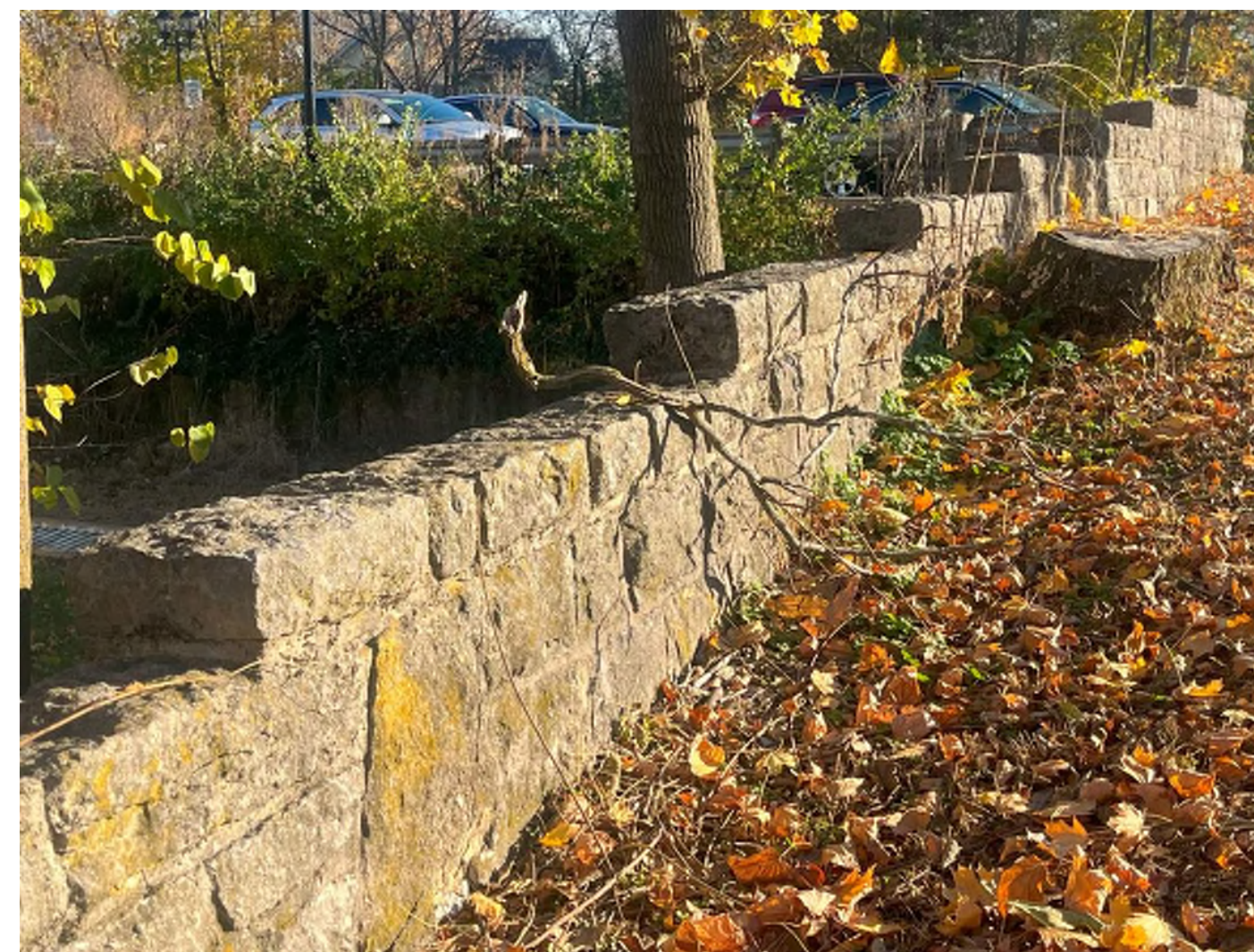
SOUTHWEST LOOKING NORTHEAST



NORTHEAST LOOKING SOUTHWEST



OUT BUILDING NW CORNER OF LOT



COLUMBUS LIMESTONE WALL SOUTHWEST CORNER OF LOT



ENLARGED DETAILS



CARRIAGE STAIR

TANDEM NORTH DESIGN, LLC.

202 S. UNION #1266
TRAVERSE CITY, MI 49684
231.493.8083

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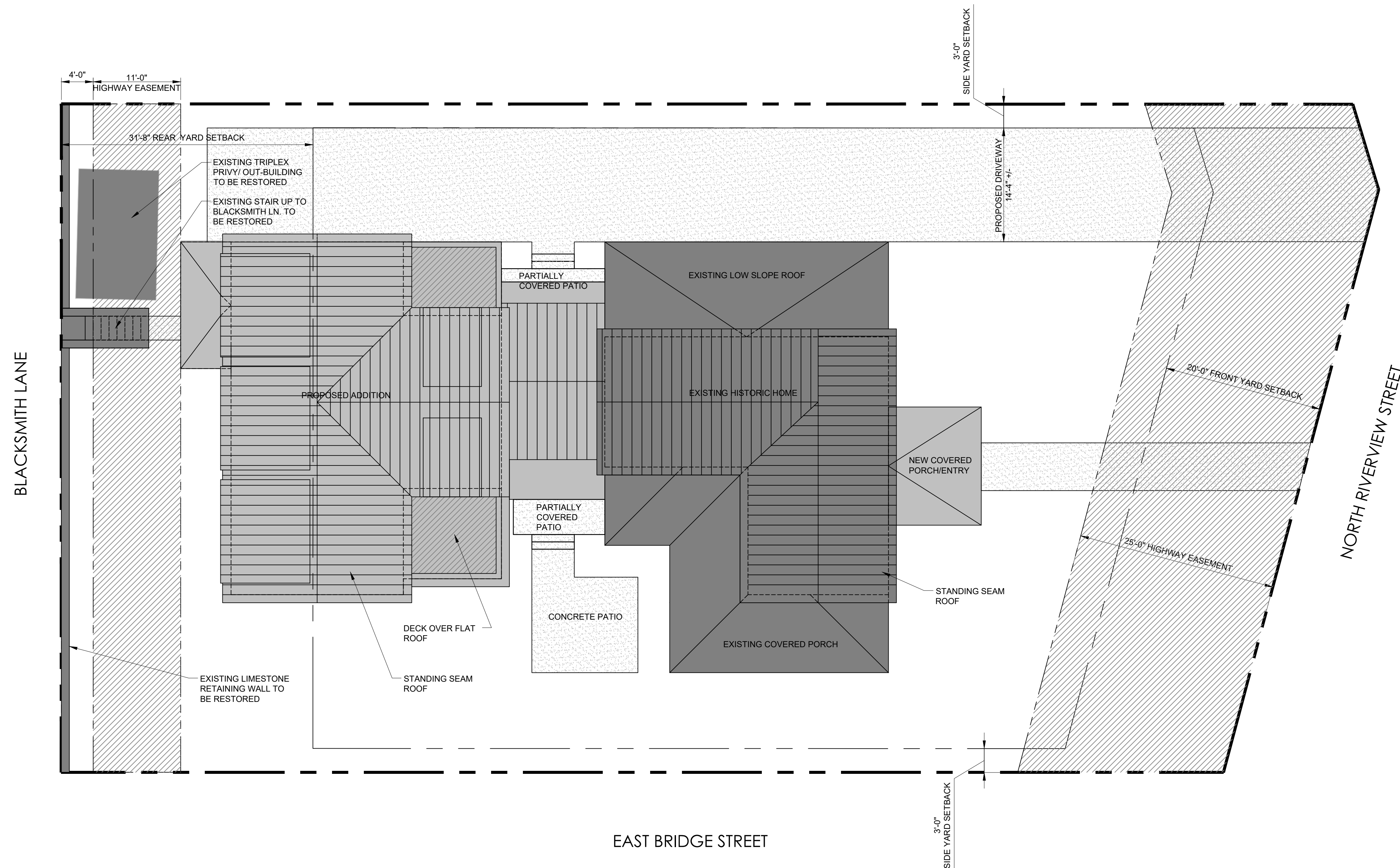
EXISTING
CONDITIONS
PHOTOS

Project Number 202305 Sheet Number R-1.3

	40 E. RIVERVIEW STREET		
	REQUIRED	PROVIDED	AVAILABLE/ (DEFICIENT)
Minimum Lot Size	8,700	13,180	
Minimum Lot Width	60'	84'-0"	
Maximum Lot Coverage	45%	50%*	(4%)
(SF)	5,931	6,571	(640)
Maximum Building Height	24'	21'-11"	2'-1"
Maximum Building Footprint	25%	23%	2%
(SF)	3,295	3,049	246
Minimum Front Setback	20'	45'-0" (+)	25'-0"
Minimum Side Setback	3'	45'-4"	42'-4"
Minimum Total Side	12'	12'-2"	0'-2"
Rear Setback (20% LOT DEPTH)	31'-8"	21'-4"	(10'-4")

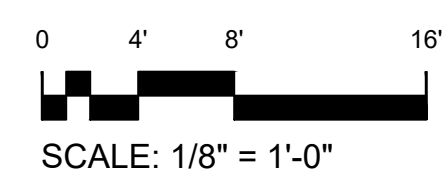
LEGEND

-  EXISTING HOME/SITE FEATURES
-  PLANNED NEW CONSTRUCTION
-  PLANNED IMPERVIOUS SURFACE



EAST BRIDGE STREET

1 PRELIMINAR SITE PLAN
R-1.4 1/8" = 1'-0"



ISSUED FOR CONSTRUCTION

ARB - MINOR PROJECT	11.6.24
INFORMAL REVIEW II RESUBMISSION	8.14.24
INFORMAL REVIEW 2	7.17.24
INFORMAL REVIEW RESUBMISSION	4.3.24
INFORMAL REVIEW	2.5.24

ISSUE DATE

REGISTRATION

BURKE RESIDENCE

40 EAST BRIDGE STREET
DUBLIN, OHIO 43017

OWNER
KELLY & LEAH BURKE
614.599.2702
KELLYBURKE@YAHOO.COM
4389 HUNTERS BEND
POWELL, OHIO 43065

Designed D.KNAPP
Drawn D.KNAPP
Checked D.KNAPP
Approved D.KNAPP Date 12.16.24
Title

PRELIMINARY
SITE PLAN

Project Number Sheet Number
202305 R-1.4

ARB - MINOR PROJECT	11.6.24
INFORMAL REVIEW II RESUBMISSION	8.14.24
INFORMAL REVIEW 2	7.17.24
INFORMAL REVIEW RESUBMISSION	4.3.24
INFORMAL REVIEW	2.5.24

ISSUE	DATE
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REGISTRATION

BURKE RESIDENCE

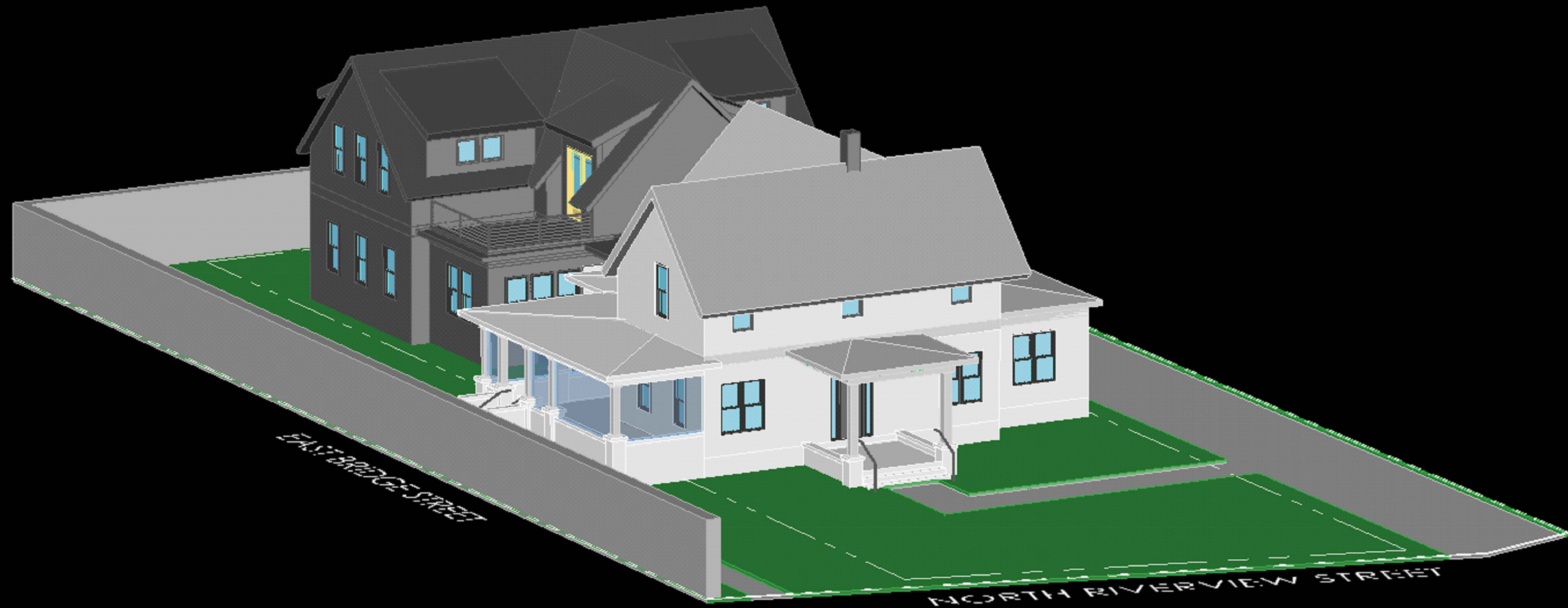
40 EAST BRIDGE STREET
DUBLIN, OHIO 43017

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KELLYBURKE@YAHOO.COM
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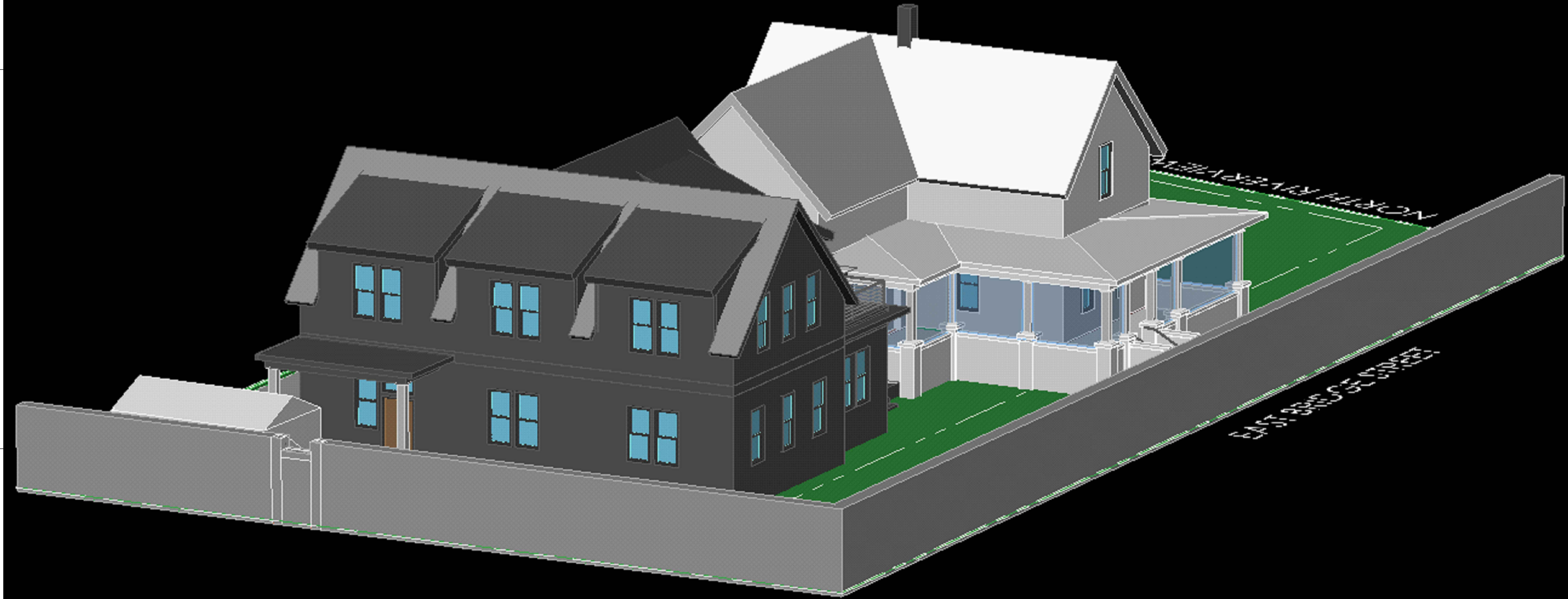
Designed	D.KNAPP	
Drawn	D.KNAPP	
Checked	D.KNAPP	
Approved	D.KNAPP	Date 11.6.24
Title		

**SOUTHEAST
MASSING VIEW**

Project Number Sheet Number
202305 R-1.6



1 **SOUTHEAST VIEW**
R-1.6 NO SCALE



1 **SOUTHWEST VIEW**
R-1.7 NO SCALE

TANDEM NORTH
DESIGN, LLC.

202 S. UNION #1266
TRAVERSE CITY, MI 49684
231.493.8083

ARB - MINOR PROJECT	11.6.24
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DUBLIN, OHIO 43017

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614.599.2702
KELLYBURKE@YAHOO.COM
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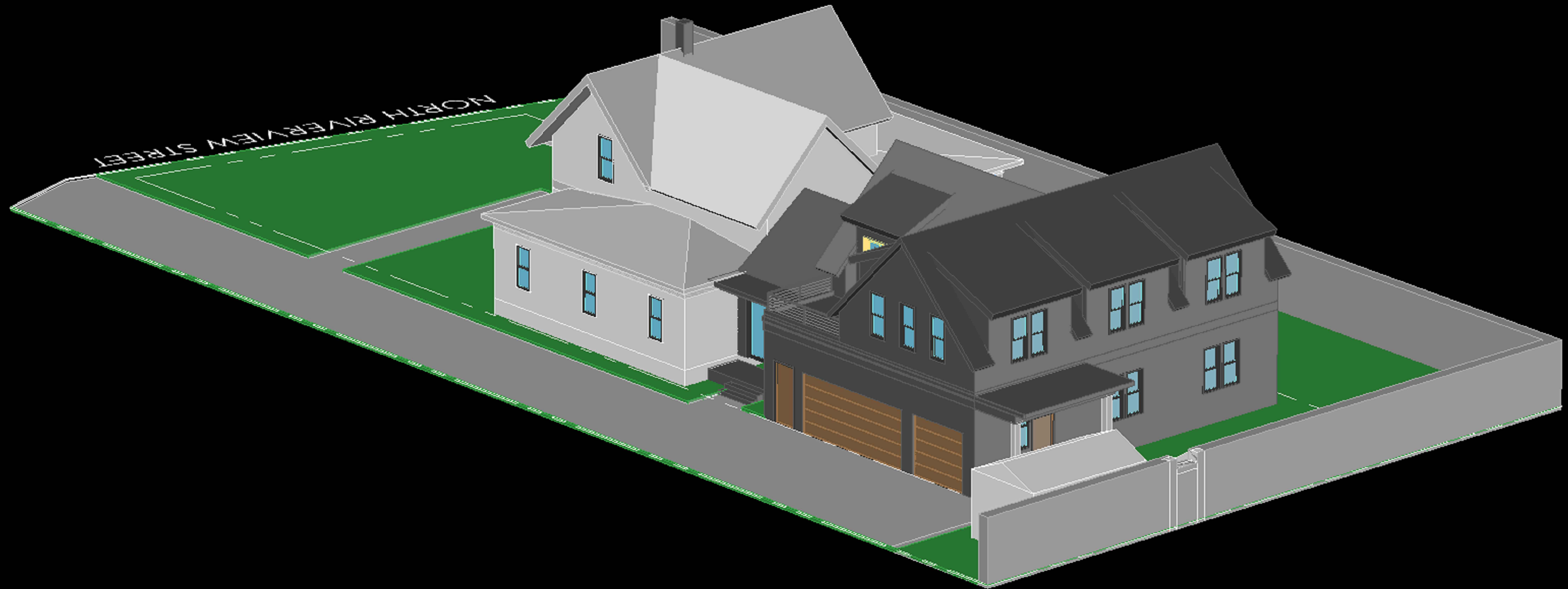
Designed	D.KNAPP
Drawn	D.KNAPP
Checked	D.KNAPP
Approved	D.KNAPP
Date	11.6.24
Title	

**SOUTHWEST
MASSING VIEW**

Project Number	Sheet Number
202305	R-1.7

TANDEM NORTH
DESIGN, LLC.

202 S. UNION #1266
TRAVERSE CITY, MI 49684
231.493.8083



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ISSUE	DATE
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REGISTRATION

BURKE RESIDENCE

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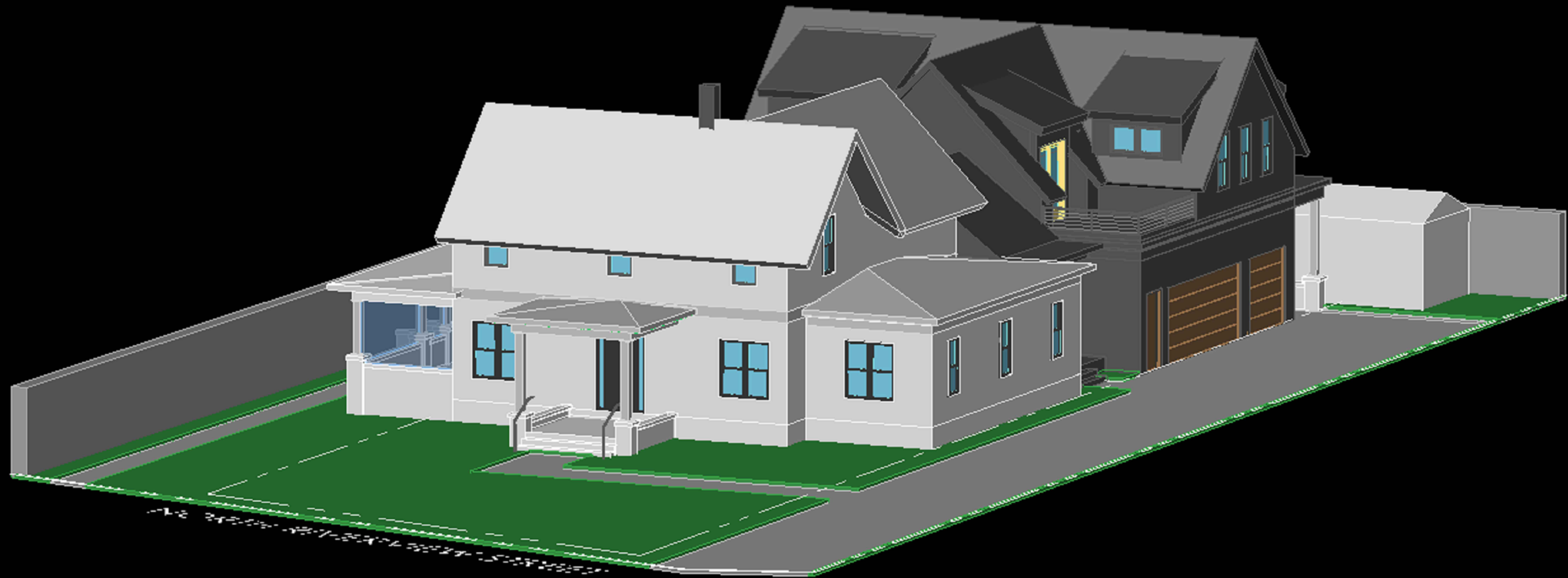
OWNER
KELLY & LEAH BURKE
614.599.2702
KELLYBURKE@YAHOO.COM
4389 HUNTERS BEND
POWELL, OHIO 43065

Designed D.KNAPP
Drawn D.KNAPP
Checked D.KNAPP
Approved D.KNAPP Date 11.6.24
Title

**NORTHWEST
MASSING VIEW**

Project Number 202305 Sheet Number R-1.8

1 NORTHWEST VIEW
R-1.8 NO SCALE



ARB - MINOR PROJECT	11.6.24
INFORMAL REVIEW II RESUBMISSION	8.14.24
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DUBLIN, OHIO 43017

OWNER
KELLY & LEAH BURKE
614.599.2702
KELLYBURKE@YAHOO.COM
4389 HUNTERS BEND
POWELL, OHIO 43065

Designed D.KNAPP
Drawn D.KNAPP
Checked D.KNAPP
Approved D.KNAPP Date 11.6.24
Title

**NORTHEAST
MASSING VIEW**

Project Number Sheet Number
202305 R-1.9

1 NORTHEAST VIEW
R-1.9 / NO SCALE