



The Pizzuti Companies  
Established 1976

5185 Blazer Parkway  
Dublin Planning & Zoning Concept Review  
1.9.2025



# PIZZUTI'S HISTORY



The Pizzuti Companies specializes in real estate development, marketing, and management. Family-owned and operated for nearly five decades, Pizzuti moves companies and neighborhoods forward by creating environments that balance function and form. Our uncompromising commitment to excellence and long-standing values in people, purpose, and design inspire us to think deeply about the many aspects of every project we build. In both the public and private sectors, our work is drawn from that thoughtful approach; it comes to the right answer in ways that are profitable, timely, and enduring. Because of that, we're proud of what we build.

Headquartered in Columbus, Ohio and with offices in Chicago and Nashville, The Pizzuti Companies was founded in 1976. Joel Pizzuti has resided as President and Chief Executive Officer since 2006, guiding development activity for the business across all project types and locations.

Over the course of nearly fifty years, the Pizzuti team has developed more than 100 million square feet in projects poised to thrive long-term.

Pizzuti transforms communities and bolsters businesses by balancing high standards for both function and form. It is by that nuanced approach that Pizzuti continues to build things that matter.



# VICINITY MAP



**MCRP Exhibit 01**



**MCRP Exhibit 02**



The site is currently vacant and located in the Blazer Research District.

To the north is the Metro Center Office District. East and West of the site are one- to three-story light industrial and office buildings. The entrance to the site is directly off Blazer Parkway, and in close proximity to Frantz Road.

The Metro Center Revitalization Plan recommends a North / South connection on our site that connects the Metro Center Office Park with the Blazer Research District.



# EXISTING SITE

The site photos illustrate a dense tree canopy on the northern edge of our site that runs east west along the Cosgray Corridor.

The eastern edge of our site has a line of existing trees that screen the adjacent parking lot from our site.

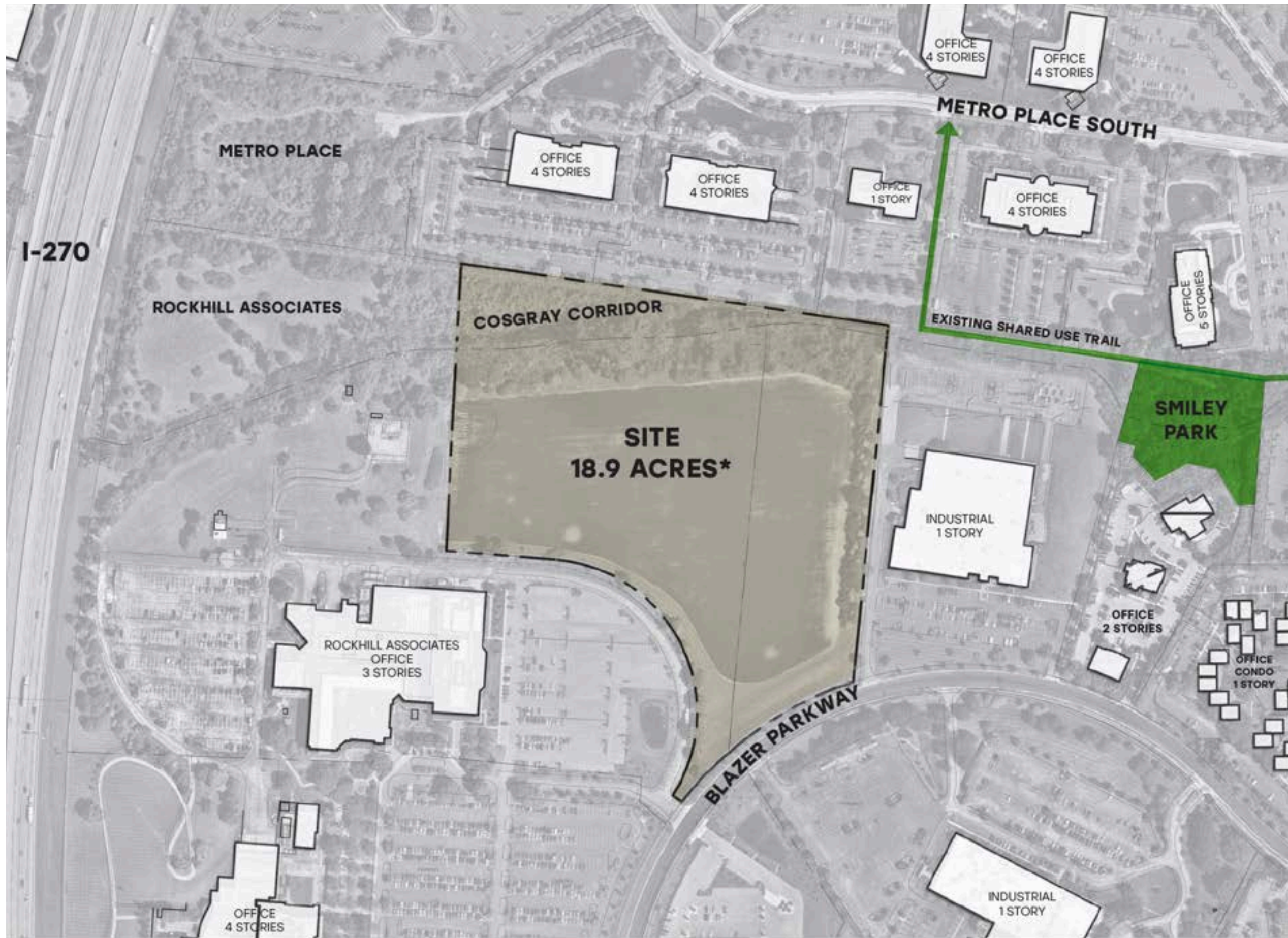
Site Photos 01 and 04 illustrate a less dense tree line, and there is no visibility of the highway from the western edge of the site as seen in Site Photo 05.











# EXISTING SITE

Blazer Parkway is the primary public road frontage and main entrance to the site.

The site is currently zoned Office Laboratory and Research District. The 2024 Metro Revitalization Plan recommends this site be rezoned to Mix-Use. “The mixed-use category allows for a great degree of flexibility as it enables commercial office, residential, retail, and community amenities to be developed over time. This enables the overall urban design framework and open space system to remain intact, yet allows for better alignment to changing market demand over time.”

Natural assets on the site include the Cosgray Corridor, an existing tree line around the perimeter and a shared use trail that connects the Metro Center Office District with Smiley Park and Frantz Road.

The Rockhill parcels to the west directly front I-270 and create a substantial buffer of 330 yards from the highway.

\*The Parcel Acreage is 18.9 acres. Due to the Cosgray Corridor Floodway, the Buildable Acreage is 15.2 acres.







# Open Space Framework Map



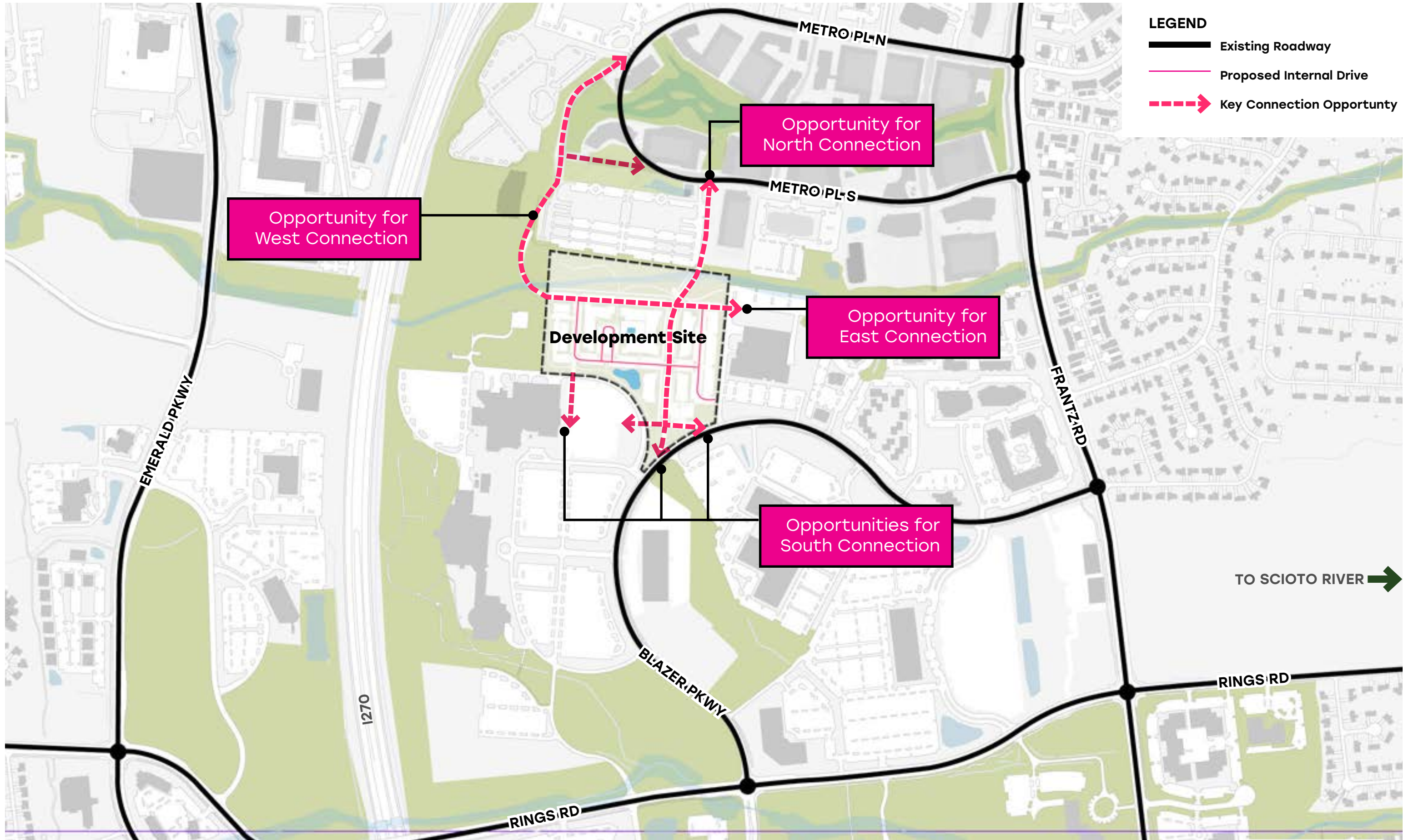
## LANDSCAPE ZONES

- Highway Corridor
- Frantz Road Gateway
- Waterway Park
- Landmark Plaza
- Cosgray Run

## SIGNATURE OPEN SPACE ELEMENTS

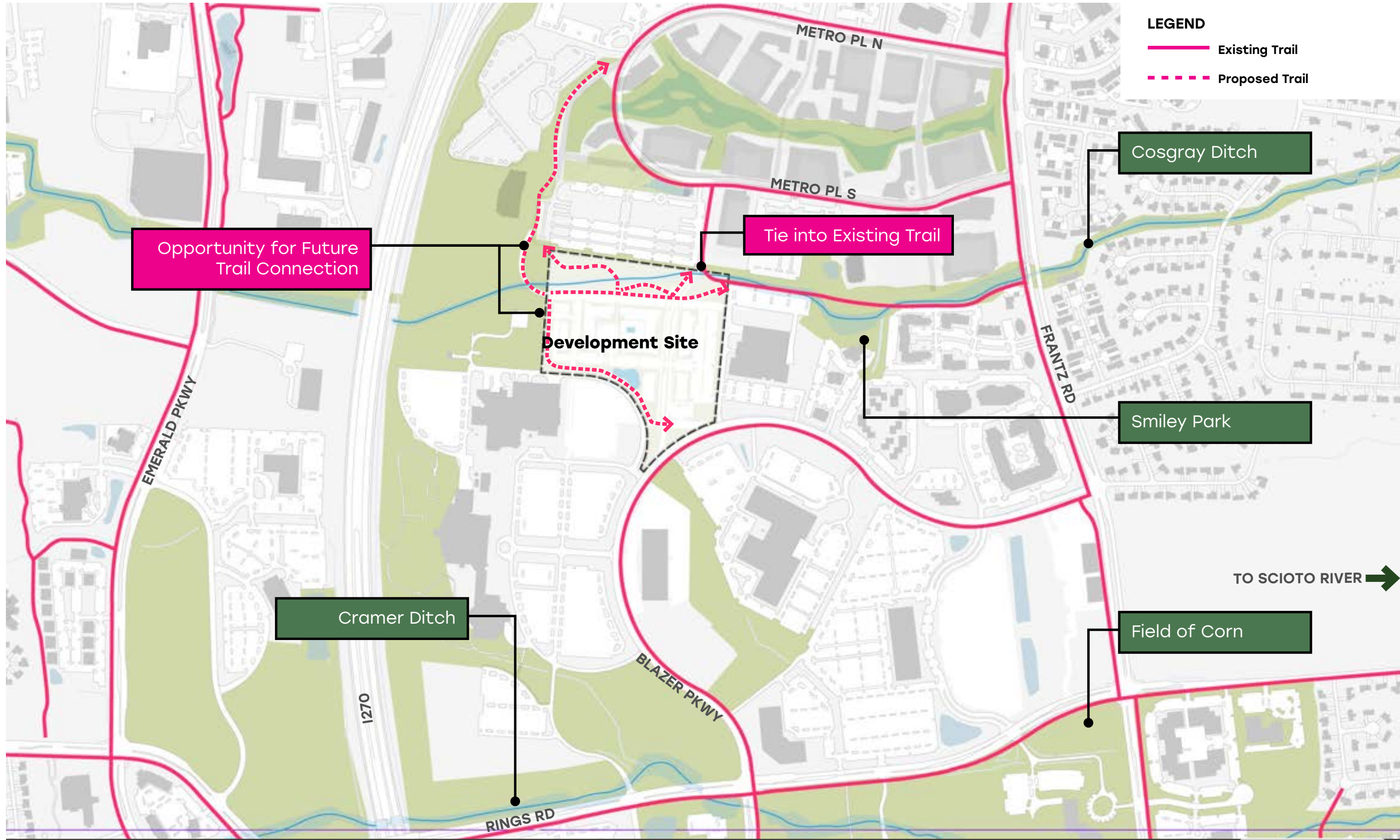
- Strategic Activation Area
- Woonerf
- Metro Bike Loop





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**LEGEND**  
 — Existing Trail  
 - - - Proposed Trail

Opportunity for Future Trail Connection

Tie into Existing Trail

Cosgray Ditch

Smiley Park

Cramer Ditch

Field of Corn

TO SCIOTO RIVER →

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# DEVELOPMENT PLAN

A retail use anchors the southern entry into the site adjacent to a realigned Blazer Parkway. The tree-lined N/S Connector provides parallel parking and represents a future connection to Metro Place. Streetscape character is defined by a landscape median, lush plantings along building facades, a shared use path providing connectivity to Metro Place and specialty paving providing an identifiable, high-quality public realm experience.

The project clubhouse building provides an outdoor café seating area with views to Cosgray Park. A 2,000 sf pool with possible amenities such as firepits, shade structure, bocce court and other gaming amenities with convenient access from the clubhouse and fitness

Cosgray Park will provide space to accommodate the southern section of the future metro bike loop. Other potential improvements include a bike hub, overlook with views into the wooded creek, fitness nodes and specialty garden opportunities offering wellness and environmental education to residents and visitors.

Finally, a perimeter path along the western and southern portion of the site links the retail / exterior amenity area and dog park to the western portion of Cosgray Park.

- Total Residential Units: 332
- Total Parking Spaces: 545
- Parking Ratio: 1.64
- Units Per Buildable Acre: 21\*

\*(21 Units per Acre excluding the Cosgray Corridor Floodway)





**Leisure Trail Art and Fitness**



**Central Piazza**

# SITE CHARACTER

The retail building provides an outdoor cafe seating area. A 2,000-sf pool with possible amenities such as firepits, a shade structure, bocce court, and other gaming activities is viewed from the clubhouse and fitness rooms.

The leisure trail is a 1/2-mile loop that connects to the pool area, through specialty gardens with an educational moment, fitness nodes, and to the north to an overlook at the Cosgray Park. Portions of the trail may include sculpture to offer an Art Walk. Cosgray Park will offer views through the existing wooded creek edge. Fitness nodes and specialty garden opportunities along the trail offer wellness and education to residents and visitors.



**Outdoor Area at the Retail Building**



**Pool and Lawn**



**Site Plan**

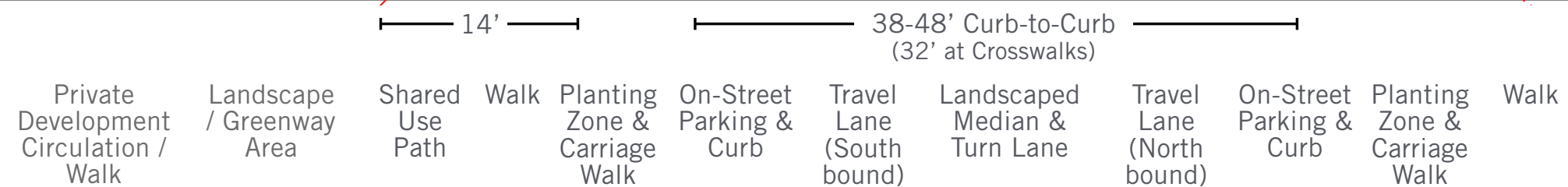


# METRO-BLAZER CONNECTOR

The Metro-Blazer connector will create a new neighborhood connection between Metro Center and the Blazer Research District. Travel lanes should not exceed 11-ft in width. Street elements include a shared use path at the back of walk on the east side of the street, on-street parking and a landscaped median to green up the right-of-way. Outside the right-of-way, a landscaped greenway area at least 15-ft in width should be maintained east of the shared use path with private site circulation and building access occurring outside the greenway to limit interruptions to the shared use path. The alignment, intersection configures and other technical details are provided in the Appendix.



## Metro-Blazer Connector Typical Section







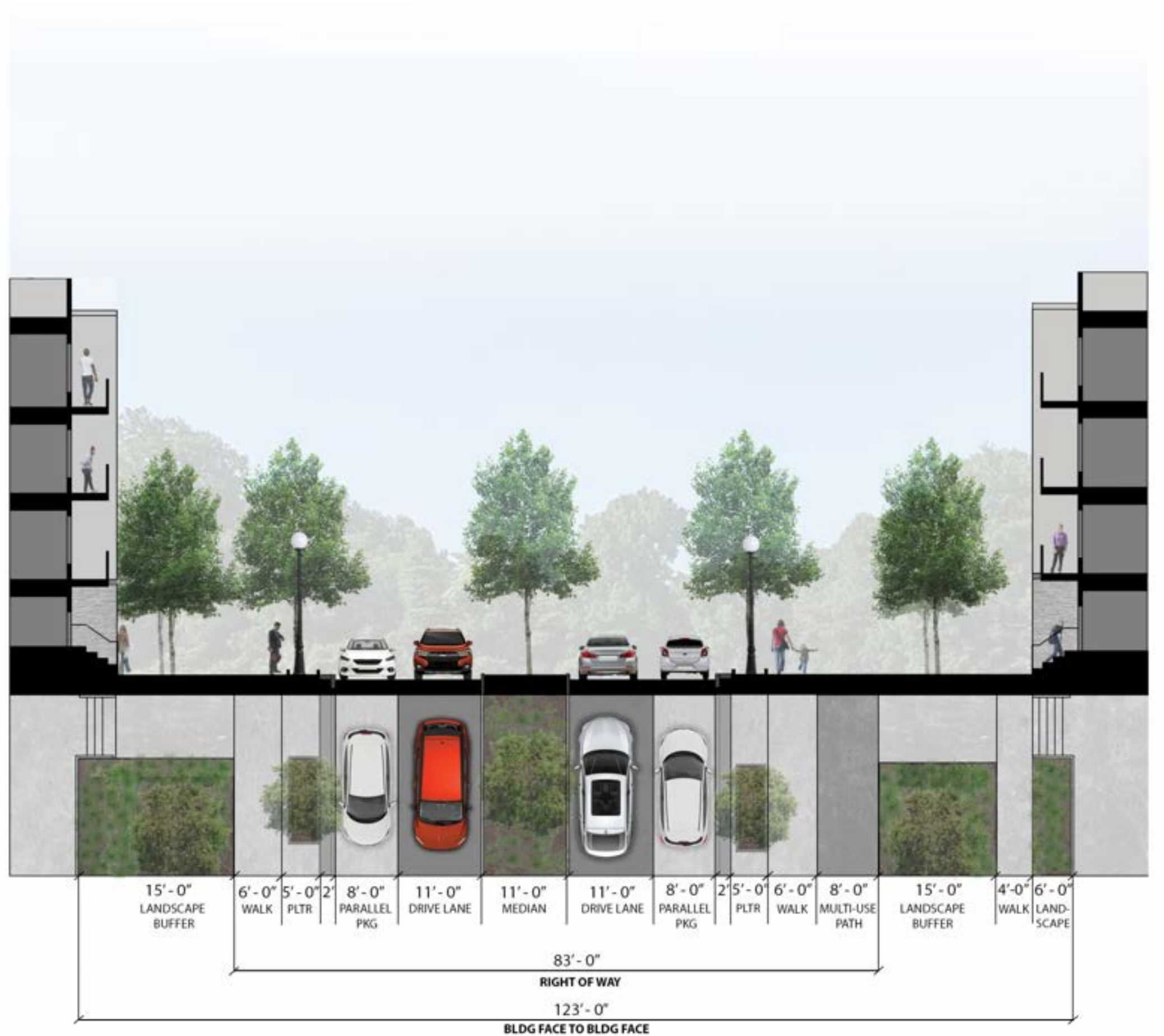
**Broadway Station - Grove City, Ohio**



**Jaeger Square - Columbus, Ohio (Under Construction)**

## DESIGN ASPIRATION

The four-story residential buildings facing the primary roadway feature ground-floor walkups with planter beds and front stoop entrances. Street trees line the roadway and parallel parking is on each side of the street for convenience of residents, and to calm traffic. The streetscape feels like an urban residential neighborhood with front stoop entrances to the walk-up units, planter beds, street trees, and parallel parking.







## West Elevation

### BUILDING 3 [material palette]

The architectural massing is characterized by simple modern block forms similar to the adjacent office buildings, with a material palette of dark masonry, fiber-cement panel, and warm wood-look accents featured at residential balconies.

Street facing facades also include ground floor walk-up units to enhance the street scape, and offer privacy for residents on the ground floor.



**01 Brick**



**02 Wood-Look  
Accent**



**03 Fiber Cement**



# LIVING WITH ART



For our residents, the opportunity for an immersive arts experience begins at home. Each building showcases contemporary art specifically curated or exclusively created for the space. From the laundry room to the exterior, art and design work together to create an environment where residents can find inspiration and re-energize. Highlights include:

- Dozens of artworks by local and international artists
- Selection of newest prints published by Joseph Editions
- Exclusive artist-designed, mural-style interior wallcoverings
- Larger-than-life murals by late Ohio artist, Kirk Mangus

Recognizing the importance of art in daily life, our developments feature an ever-growing selection of artwork displayed in a variety of creative ways. Here, living with art has never been easier.



# KIRK MANGUS

1952 - 2013

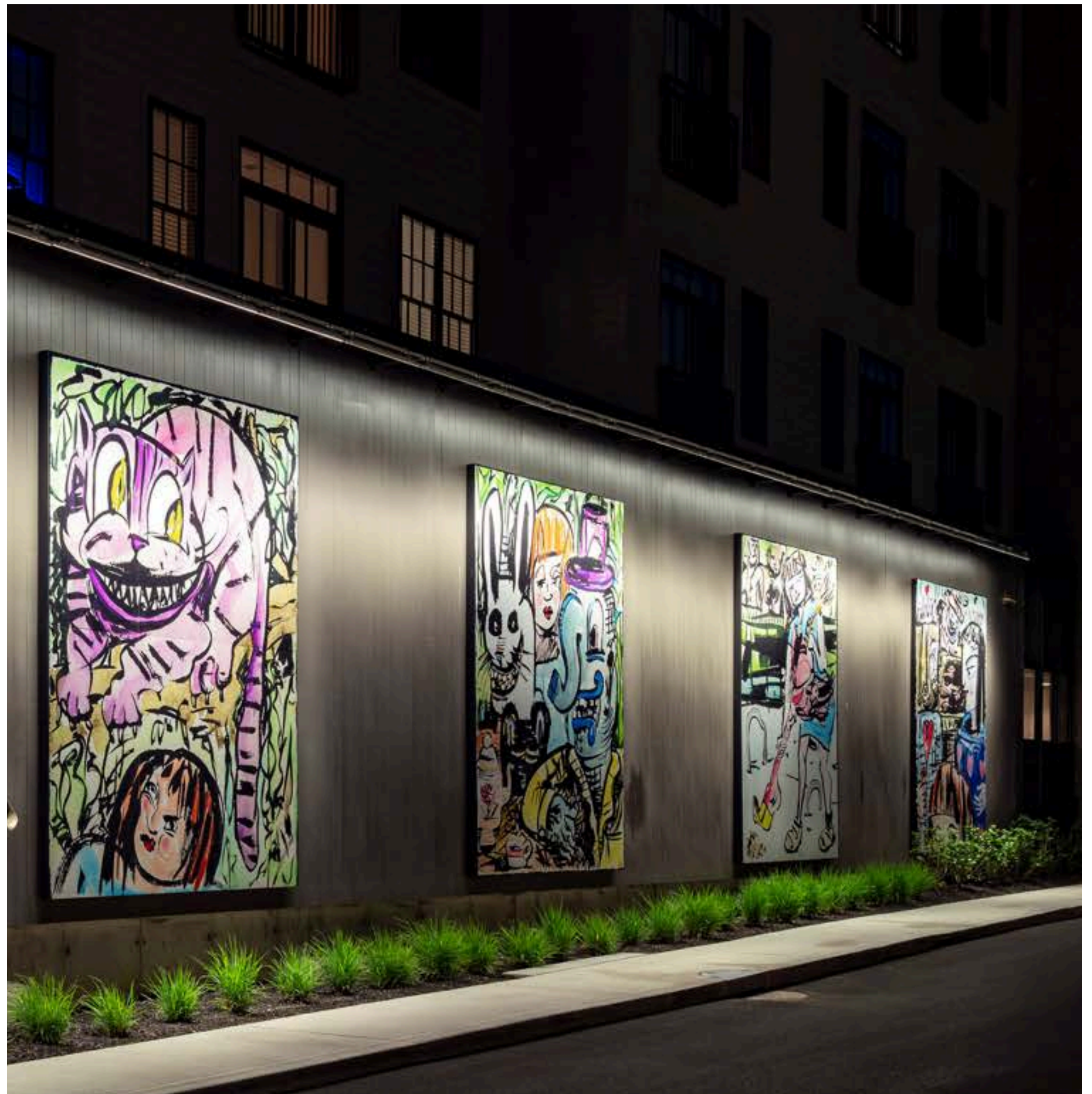
## *Alice in Wonderland Suite*

Kirk Mangus was a vital Ohio artist whose career spanned disciplines of ceramics, drawing, painting, and sculpture. Drawn to traditions of storytelling and art's abilities to connect us all, Mangus's work was simultaneously serious and witty, featuring characters both familiar and new.

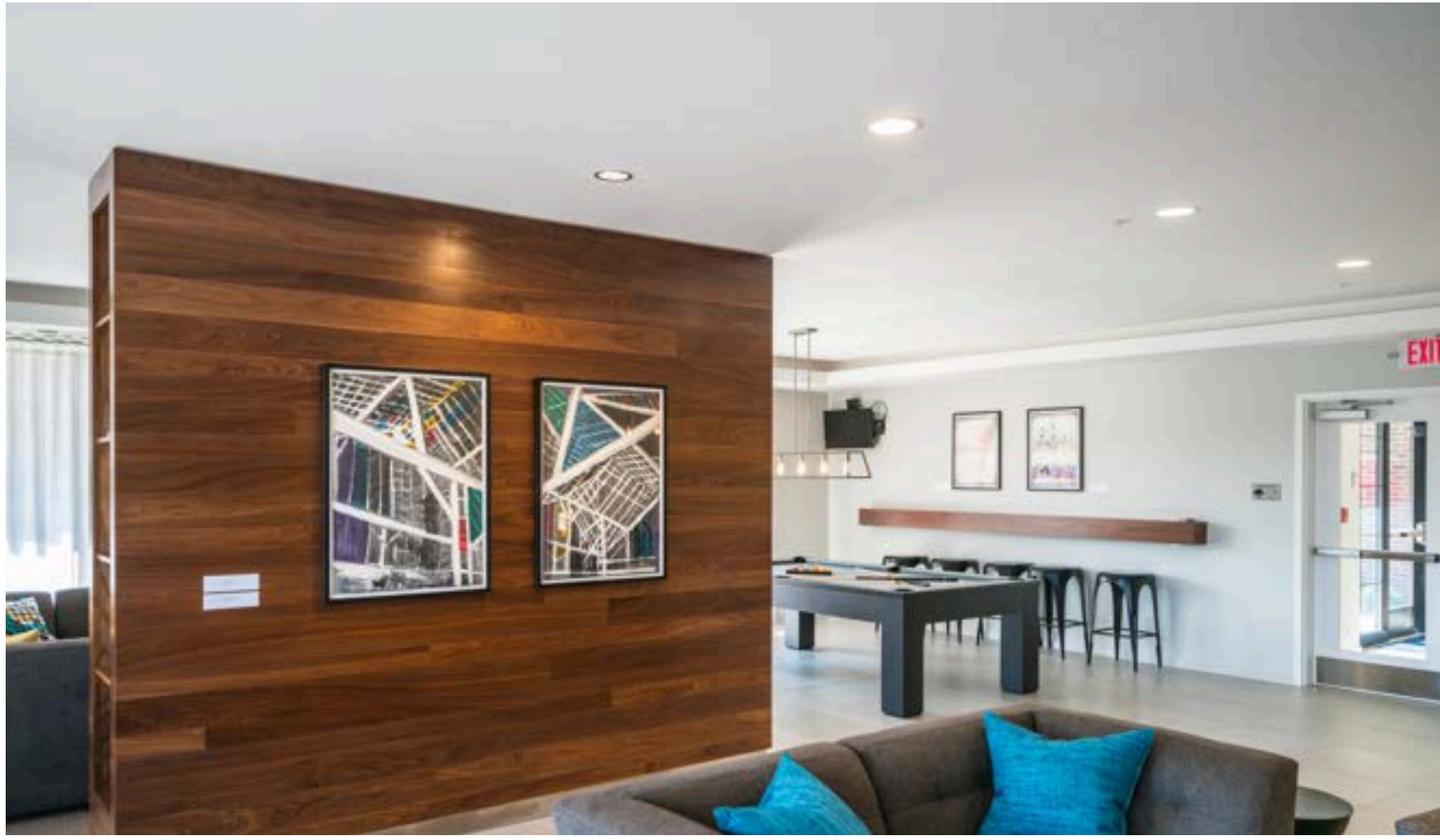
This series of murals began as watercolor paintings created by Mangus in 2012 that were subsequently reproduced here at a larger-than-life scale. Each drawing depicts a scene inspired by Lewis Carroll's timeless novel, *Alice's Adventures in Wonderland*. Viewers can experience their favorite moments from the beloved tale including Alice's encounter with the Cheshire Cat, the Mad Hatter's tea party, and the Queen's croquet game. Mangus's daughter Una, who was born in the Chinese zodiac year of the Rat, even appears as "Alice swimming with the Rat." The surreal, chaotic world beyond the rabbit hole is perfectly expressed by Mangus's trademark gestural style and spontaneous mark-making.

Born in Sharon, Pennsylvania, Mangus grew up going to museums with his artist parents and began drawing and sculpting at a young age. He received a BFA from Rhode Island School of Design and an MFA from Washington State University. He was the recipient of many awards, including grants and fellowships from both the National Endowment for the Arts and the Ohio Arts Council. He had an active studio practice, lecturing and exhibiting nationally and internationally. Mangus was appointed Head of Ceramics at Kent State University in 1985. For the next three decades, he fostered an environment of freedom and creative exchange for students that continues to influence new generations of artists today.

Sponsored by The Pizzuti Companies.  
Image courtesy of the Estate of Kirk Mangus and Pizzuti Collection.







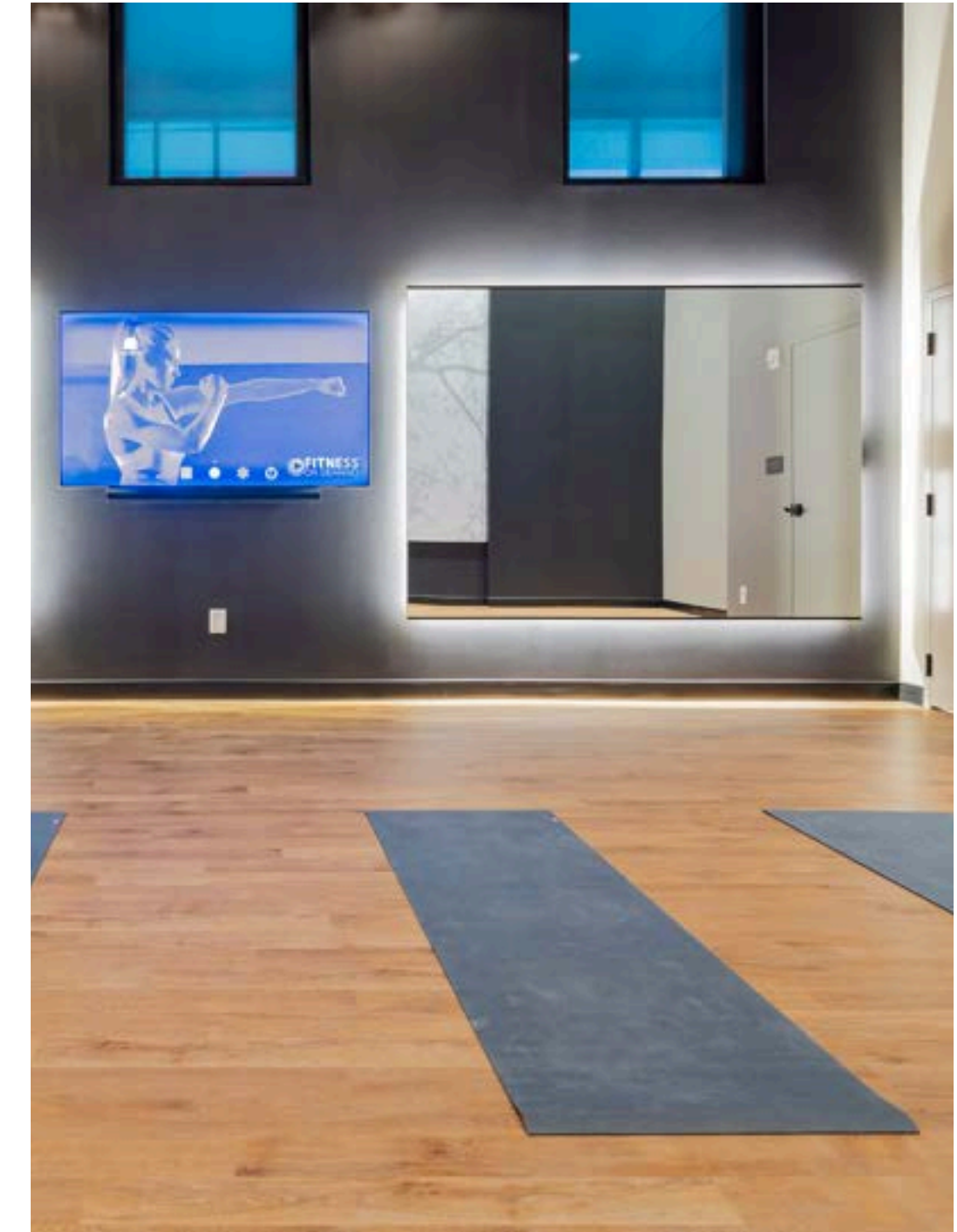




**Fitness Center at Library Park**

# PIZZUTI'S PORTFOLIO

The Pizzuti Companies offers an elevated experience of Columbus. Comfortable, carefully designed city living has never felt so good.



**Yoga Studio at Library Park**

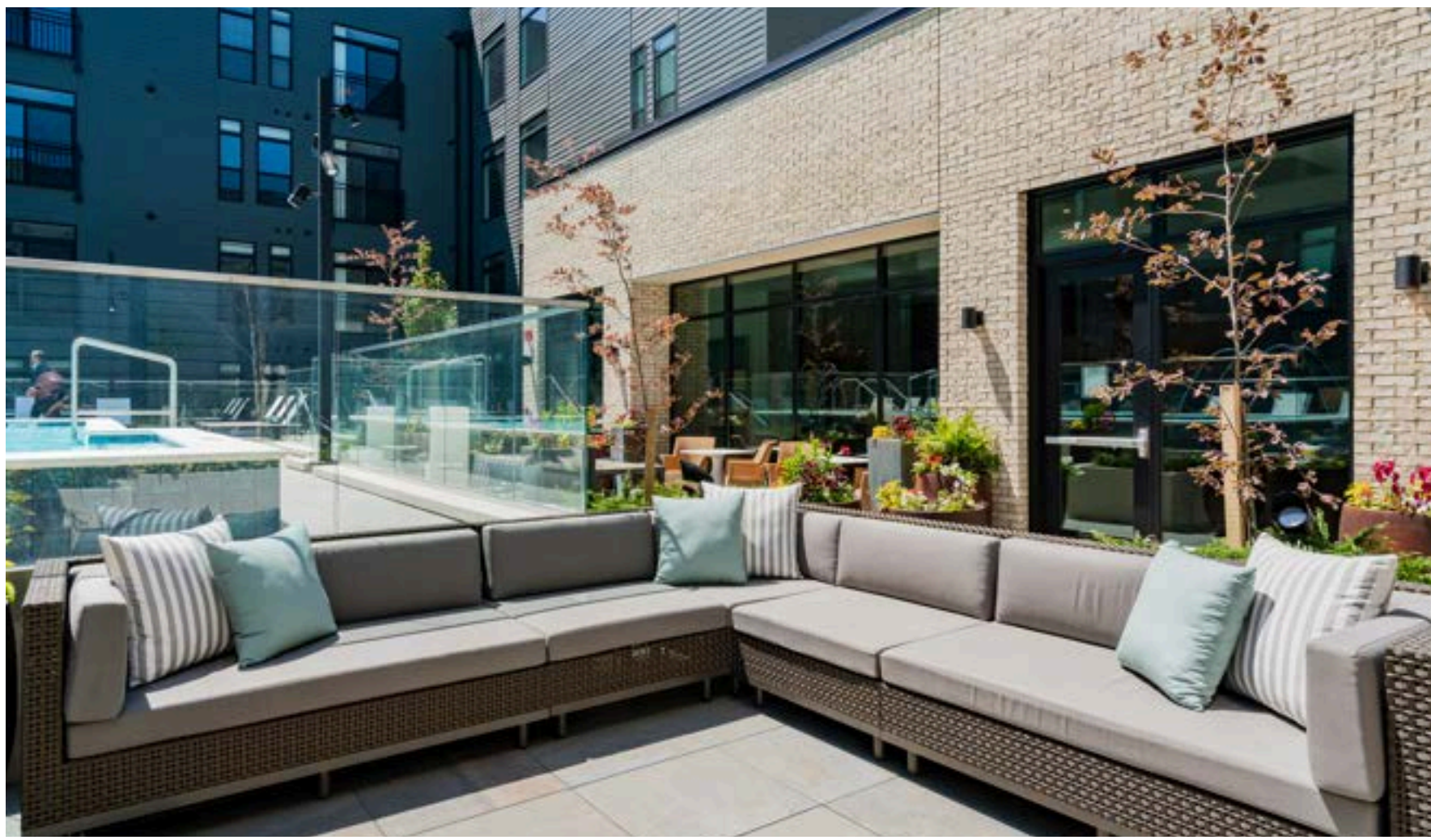


**Locker Room at Library Park**

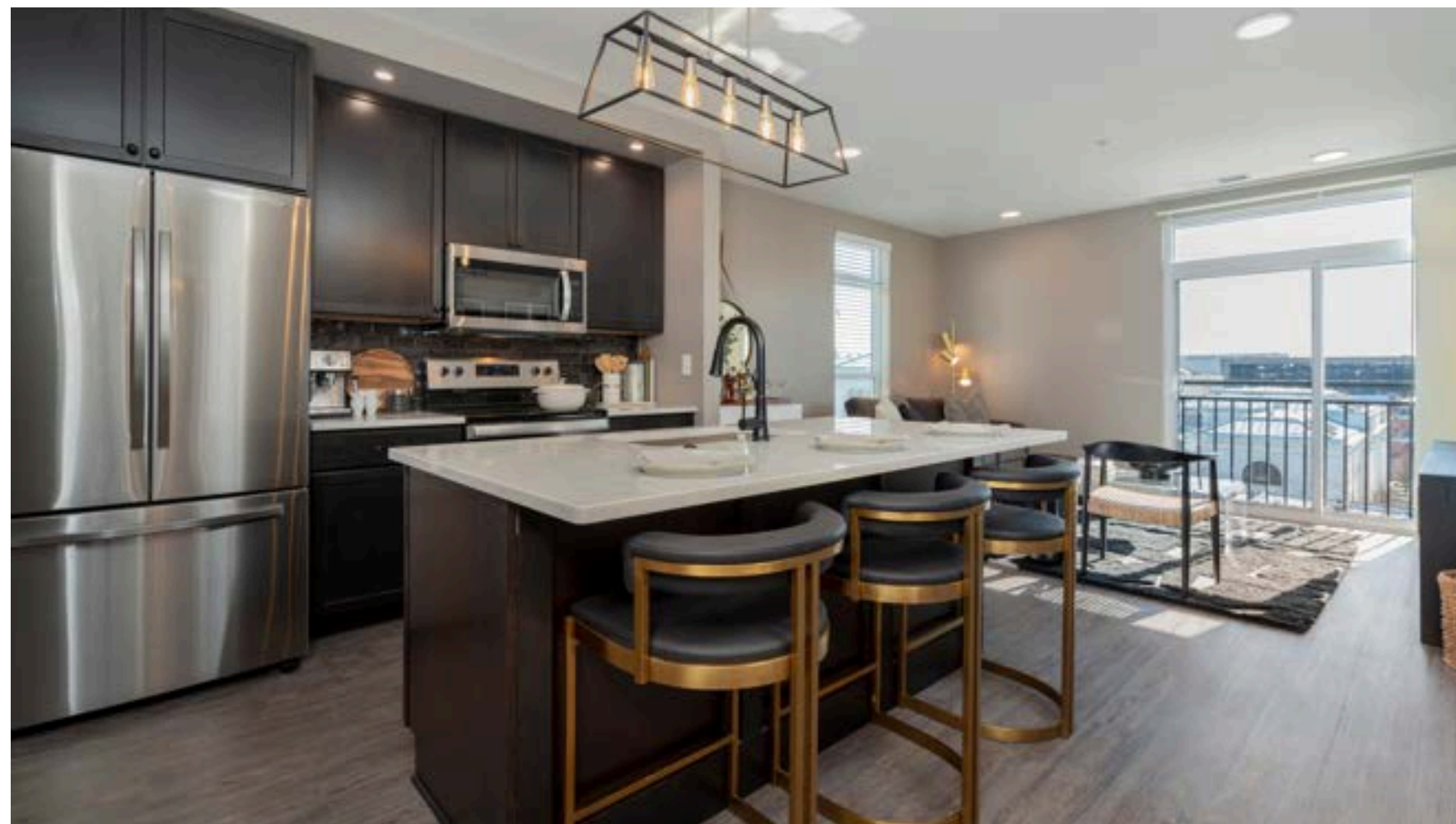
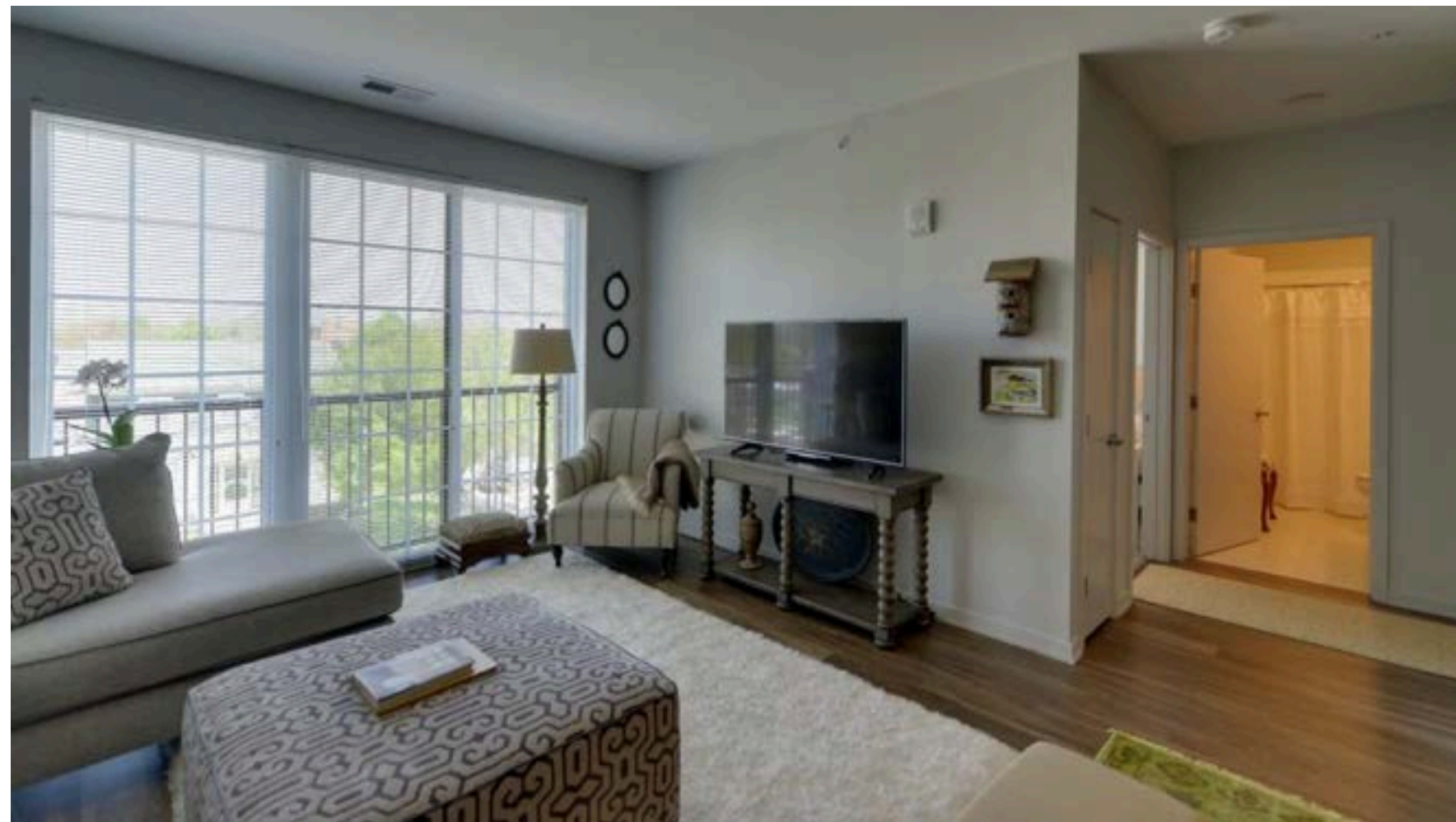


**Fitness Center at Library Park**





















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