

BRIDGE PARK AVENUE

PHASE 1 OFFICE/ RESTAURANT

PHASE 1 CONDOMINIUM DEVELOPMENT (NE)

DALE DRIVE

FUTURE PHASE 2 CONDOMINIUM DEVELOPMENT (SW)

PHASE 1 PARKING GARAGE

BANKER DRIVE

DAVE THOMAS BLVD

GRAPHIC SCALE

0 50 100 200

1 inch = 100 feet

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Zoned: BSD-SRN – BSD Scioto River Neighborhood District
Total Site Area: 5.37 Acres (Phase 1 & Phase 2)

BUILDING USE	BUILDING TYPE
Office/Commercial	Corridor Building
Northeast Condominiums	Apartment Building
Southeast Condominiums	Apartment Building
Parking Garage	Structured Parking Building

The project includes development of a 5.37 acre parcel at located east of Dale Drive, south of Bridge Park Avenue, north of Banker Drive, west of Dave Thomas Blvd and includes the development of an Office Building, Condominium Buildings and a Parking Garage. The project will feature an open space through the center of the site with a walking path and other recreation amenities.

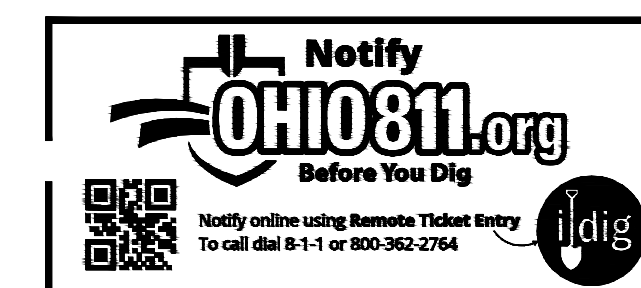
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PRELIMINARY
.....
**NOT TO BE USED FOR
CONSTRUCTION**

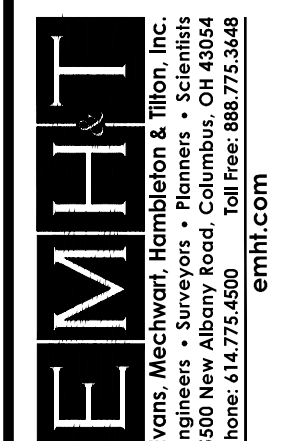
PLAN SET DATE
March 21, 2025

REVISIONS		
MARK	DATE	DESCRIPTION

CRAWFORD HOYING



CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
4350 & 4370 DALE DRIVE
PRELIMINARY DEVELOPMENT PLAN
FOR
BRIDGE PARK - BLOCK J
TITLE SHEET



DATE
March 21, 2025

SCALE

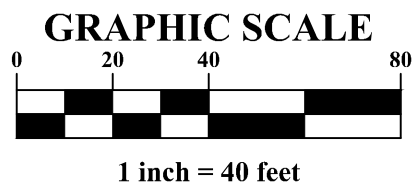
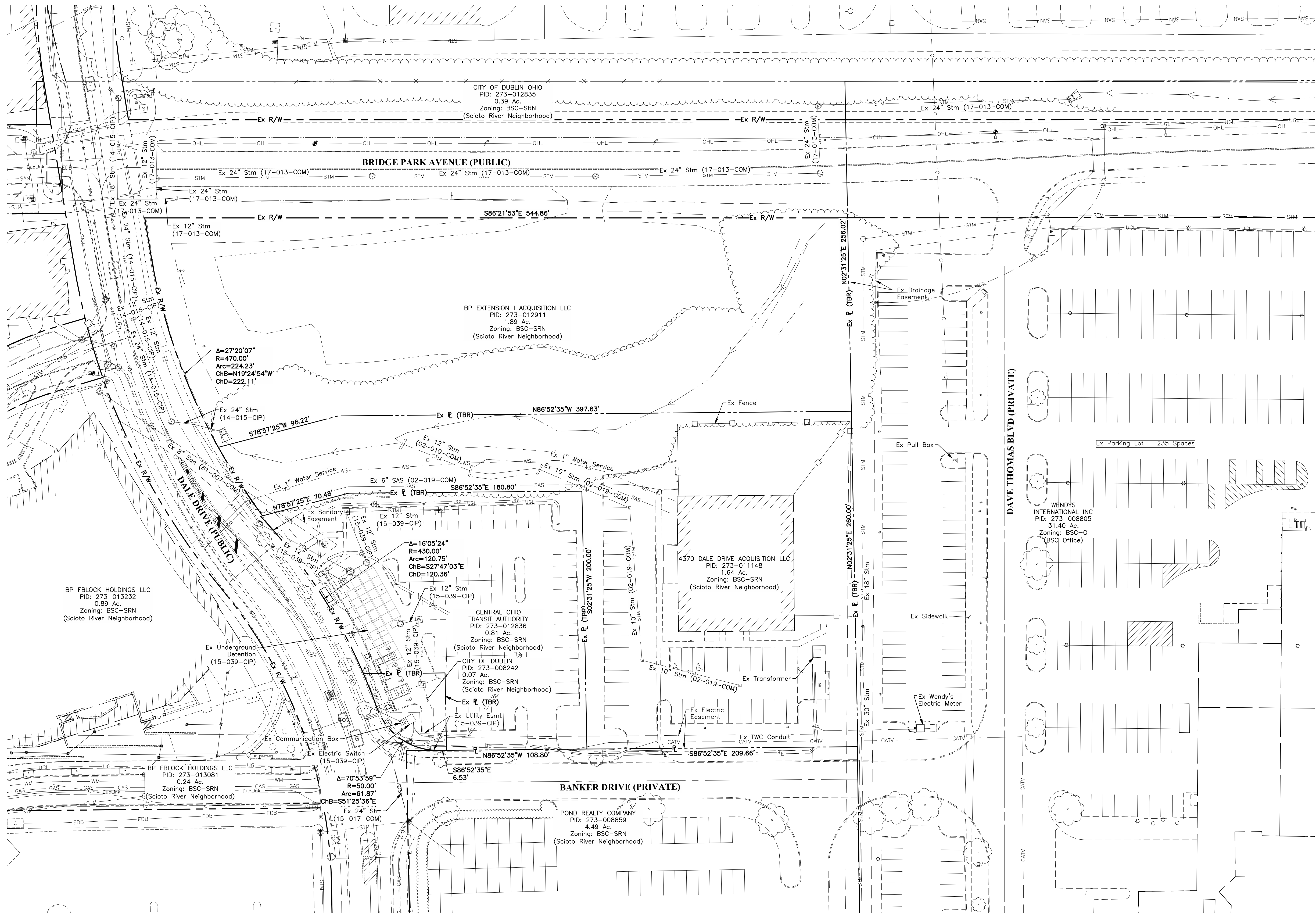
AS NOTED

JOB NO.
2024-0817

SHEET

1/9

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LEGEND	
--- 851 --- 850 ---	Contours
x Ex8XX.XX	Spot Elevation
---	Center Line Ditch
--- WM ---	Water Main
--- WS ---	Water Service
--- DWS ---	Domestic Water Service
--- FWS ---	Fire Water Service
--- SAN ---	Sanitary Sewer Main
--- SAS ---	Sanitary Sewer Service
--- STM ---	Storm Sewer
--- E ---	Underground Electric Service
--- EDB ---	Electric Duct Bank
--- OHE ---	Overhead Electric
--- UGL ---	Underground Street Lighting
--- CATV ---	Communications/Cable TV
--- CDB ---	Communications Duct Bank
--- GM ---	Natural Gas Main
--- GS ---	Natural Gas Service

REVISIONS		
MARK	DATE	DESCRIPTION

CRAWFORD HOYING

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
4350 & 4370 DALE DRIVE
PRELIMINARY DEVELOPMENT PLAN
FOR
BRIDGE PARK - BLOCK J
EXISTING CONDITIONS

EMHT

5500 New Albany Road, Columbus, OH 43254
Phone: 614.775.4500 Fax: 614.775.4500
www.emht.com

DATE
March 21, 2025

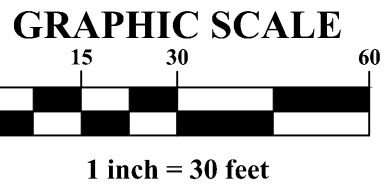
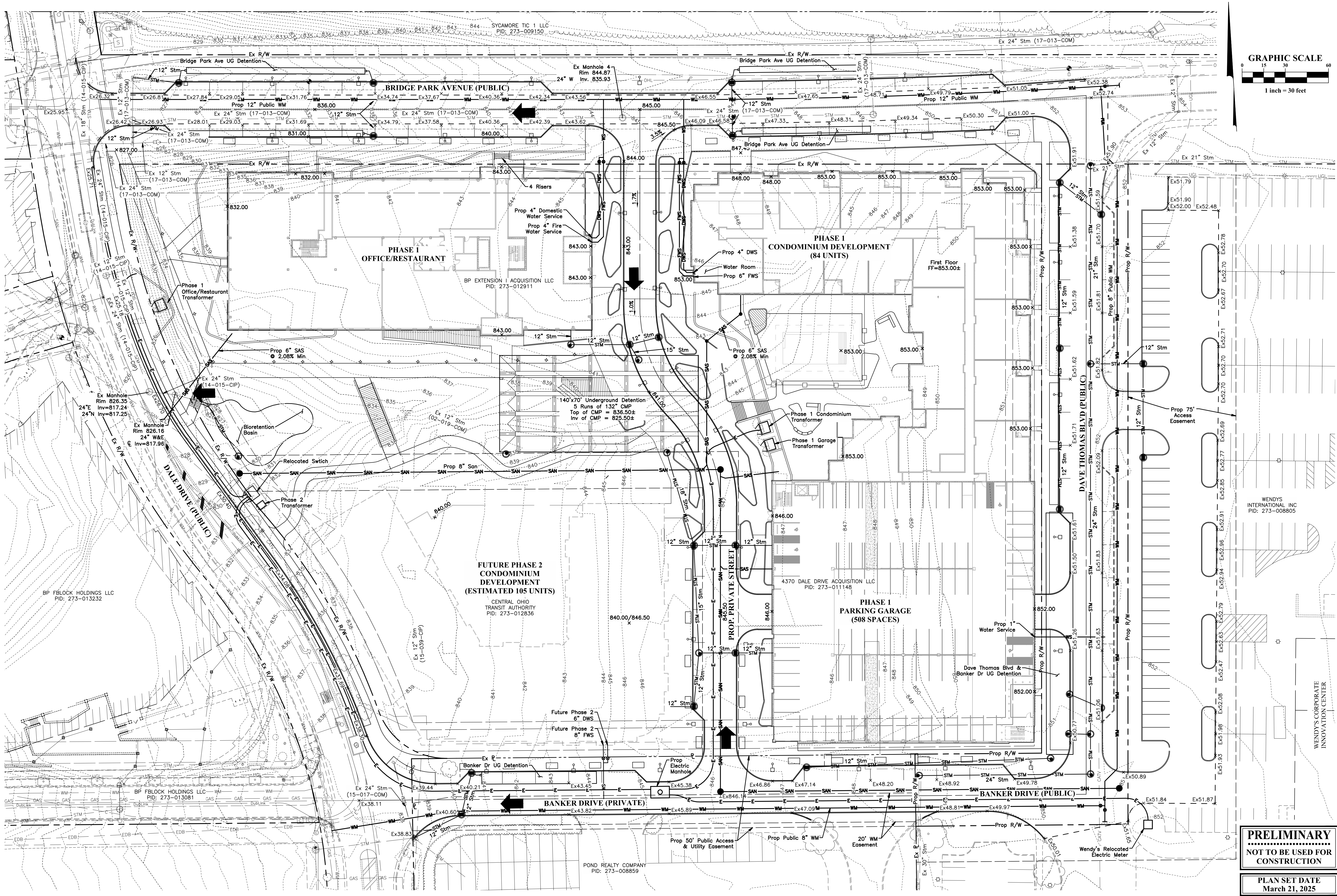
SCALE
1" = 30'

JOB NO.
2024-0817

SHEET

PRELIMINARY
NOT TO BE USED FOR
CONSTRUCTION

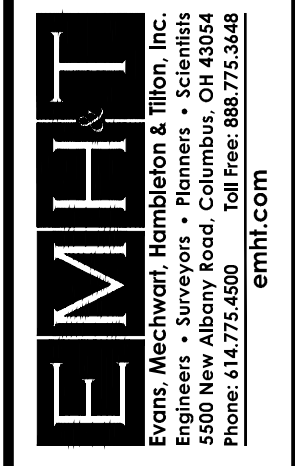
PLAN SET DATE
March 21, 2025



REVISIONS		
MARK	DATE	DESCRIPTION



CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
4350 & 4370 DALE DRIVE
PRELIMINARY DEVELOPMENT PLAN
FOR
BRIDGE PARK - BLOCK J
GRADING PLAN & UTILITY PLAN



DATE
March 21, 2025
SCALE
1" = 30'
JOB NO.
2024-0817
SHEET
4/9

PRELIMINARY
NOT TO BE USED FOR
CONSTRUCTION

PLAN SET DATE
March 21, 2025

Block J Required Residential Parking				
Building	3 BR	2 BR	1 BR	Total
Phase 1 Condominiums	18	53	13	84
Phase 2 Condominiums	50	50	5	105
Total Residential Units	68	103	18	189
Min. Residential Required Parking/Unit	2	1.5	1	
Max. Residential Allowable Parking/Unit	2	2	2	
Max. Residential Parking Allowed	136	206	36	378
Min. Residential Parking Required	136	155	18	309
Block J Required Commercial Parking				
Building	Restaurant	Commercial	Office	Total
Office/Commercial	9,243	0	88,304	97,547
Min. Required Parking	10/1000 SF	3/1000 SF	3/1000 SF	
Max Allowable	125%	125%	125%	
Max Parking Allowed	117	0	332	449
Bicycle Parking Required	1 space per 10 spaces Required			36
Min. Parking Required	93	0	265	358
Total Parking Required with Residential	229	155	283	667
Block J Provided Parking				
Provided Block J Garage Parking		On Street	In Garage	Total
		75	508	583

ADJACENT GARAGE MINIMUM AVAILABLE PARKING SPACES

Parking Counts have been provided by Crawford Hoying and were taken in the AM, PM and NOON to understand how many spaces were in use in each garage at various times of the day. Minimum spaces available were calculated based on the peak spaces used on any given day. Please refer to calculations for specific parking counts and calculations. The intent is for the adjacent garages to supplement additional parking spaces for the Block J site.

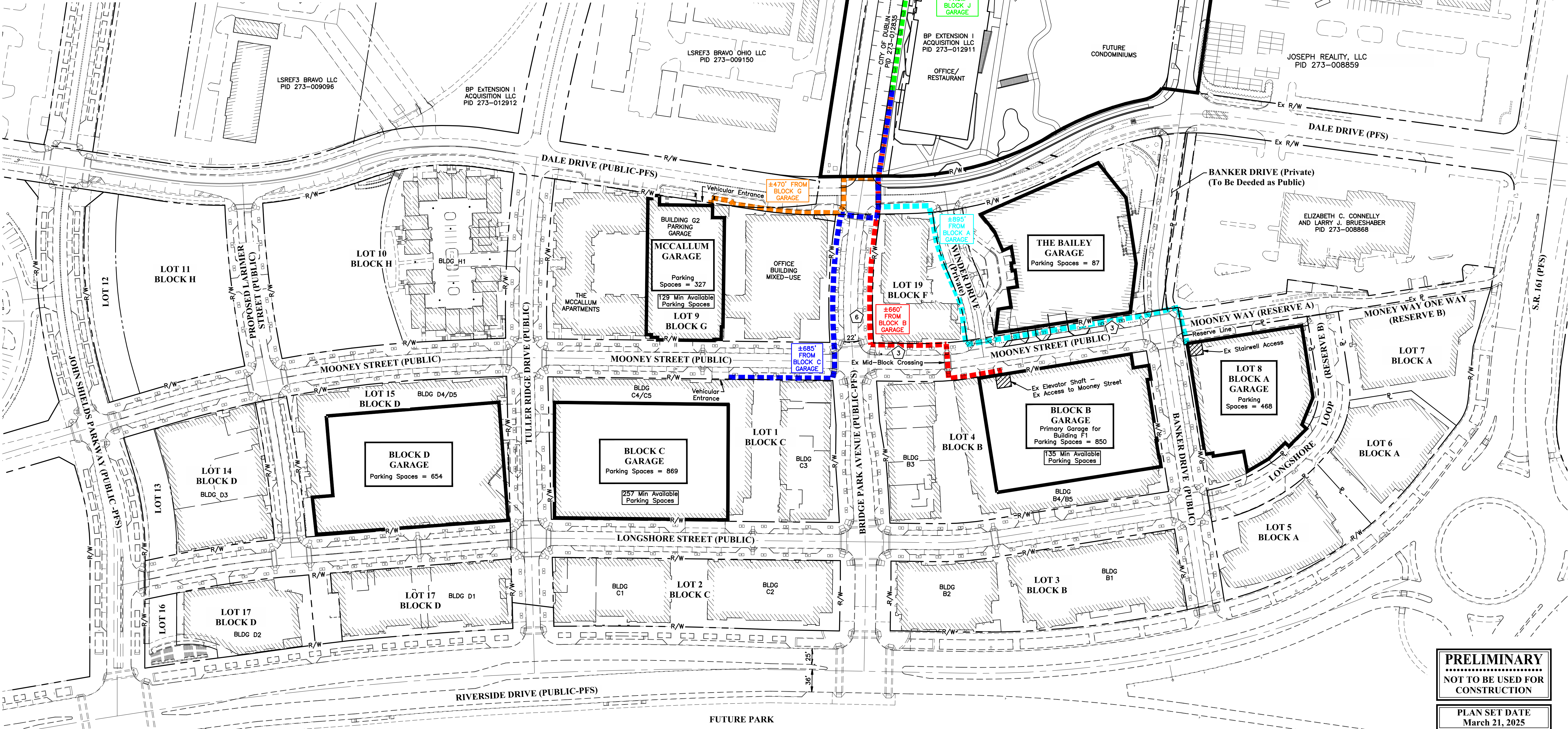
In summary, the minimum number of available spaces are as follows:

Block B Garage = 135 spaces (PM on Saturday)

Block C Garage = 257 spaces (PM on Saturday)

Block G Garage = 129 spaces (NOON on Wednesday)

Total Minimum Available Parking Spaces in Adjacent Garages = 521 spaces





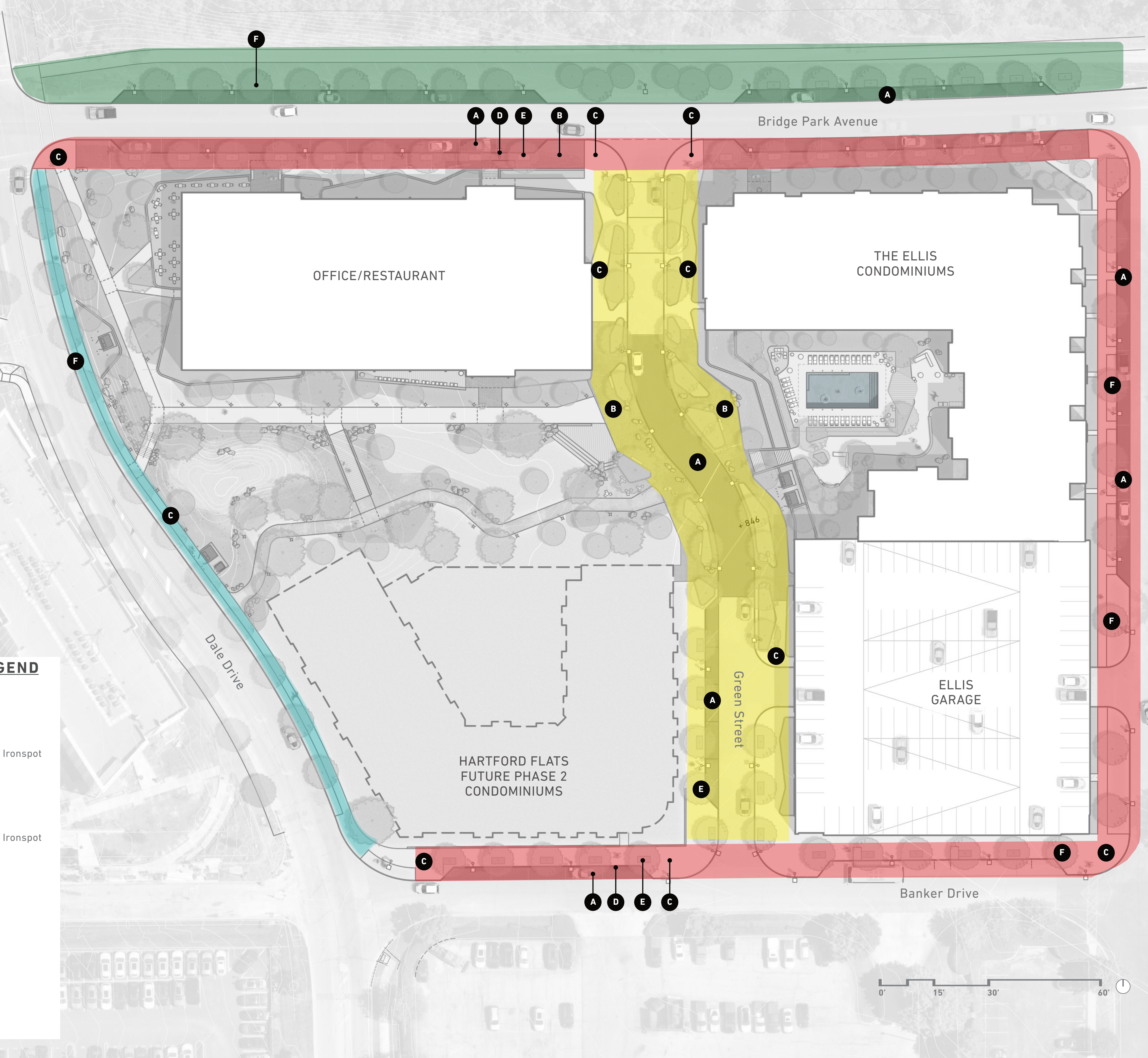


STREETSCAPE TYPOLOGIES

- Standard Streetscape**
Typical of Bridge Park with parallel parking zones
- Dale Drive Typical Streetscape**
Reflects tree planting and tree lawn existing on Dale Drive
- Private Streetscape**
Pavers, paver grates, concrete planter curbs & specialty seating
- Shared Use Path**
Bike and pedestrian path with green buffer and parallel parking zones

MATERIALS & PLANTING LEGEND

- A Brick Paver - Vehicular**
Manufacturer: Endicott Clay Products
Size: 4"x 8"
Pattern: Herringbone
Color: 50/50 Blend of Dark Ironspot & Manganese Ironspot
- B Brick Paver - Pedestrian**
Manufacturer: Endicott Clay Products
Size: 4"x 8"
Pattern: Herringbone
Color: 50/50 Blend of Dark Ironspot & Manganese Ironspot
- C Concrete Paving**
Light Broom Finish
- D Granite Curb**
Bridge Park standard
- E Street Trees in Tree Grate**
Height: +/- 20'
Structural soils to extend beyond grate
- F Street Trees in Tree Lawn**
Height: +/- 20'



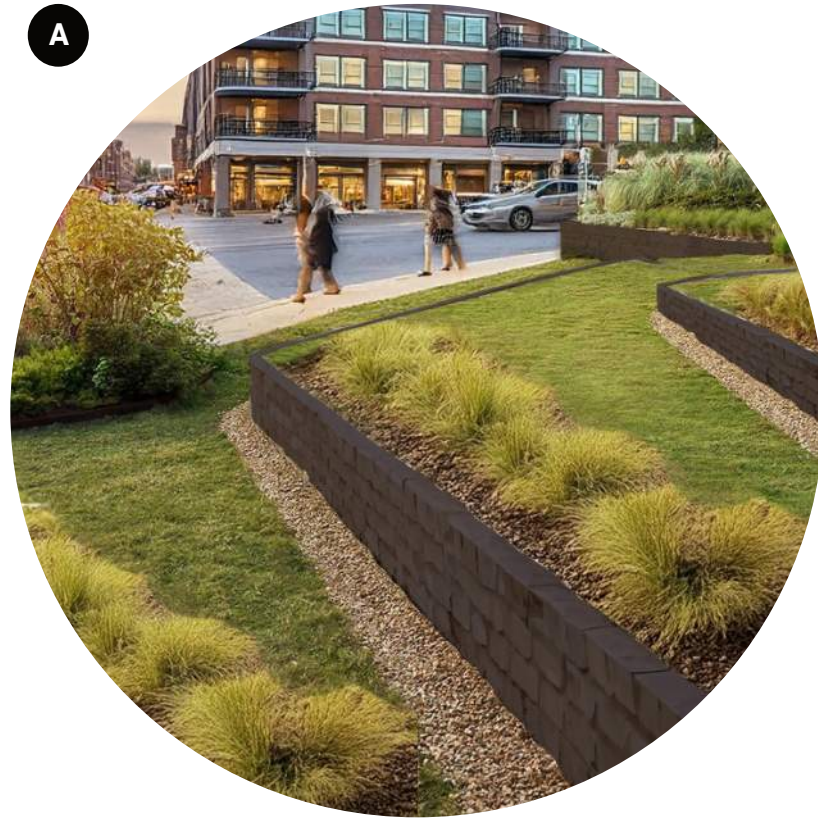


MATERIALS LEGEND

- A** Brick Paver Units
Manufacturer: Endicott Clay Products
Size: 4" x 8"
Pattern: Running bond (ped.) and herringbone (veh.)
Color: 50/50 Blend of Dark Ironspot & Manganese Ironspot
- B** Dark Brick Accent Walls
Running bond to match architecture color
- C** Concrete Paving
Light Broom Finish
- D** Stablized Decomposed Granite
- E** Seating Area
- F** Decking
- G** Site Boulders
- H** Patio
Finish by tenant
- I** Site Stairs
Concrete-Light Broom Finish
- J** Pergola Structure



0' 15' 30' 60'



PLANTING LEGEND

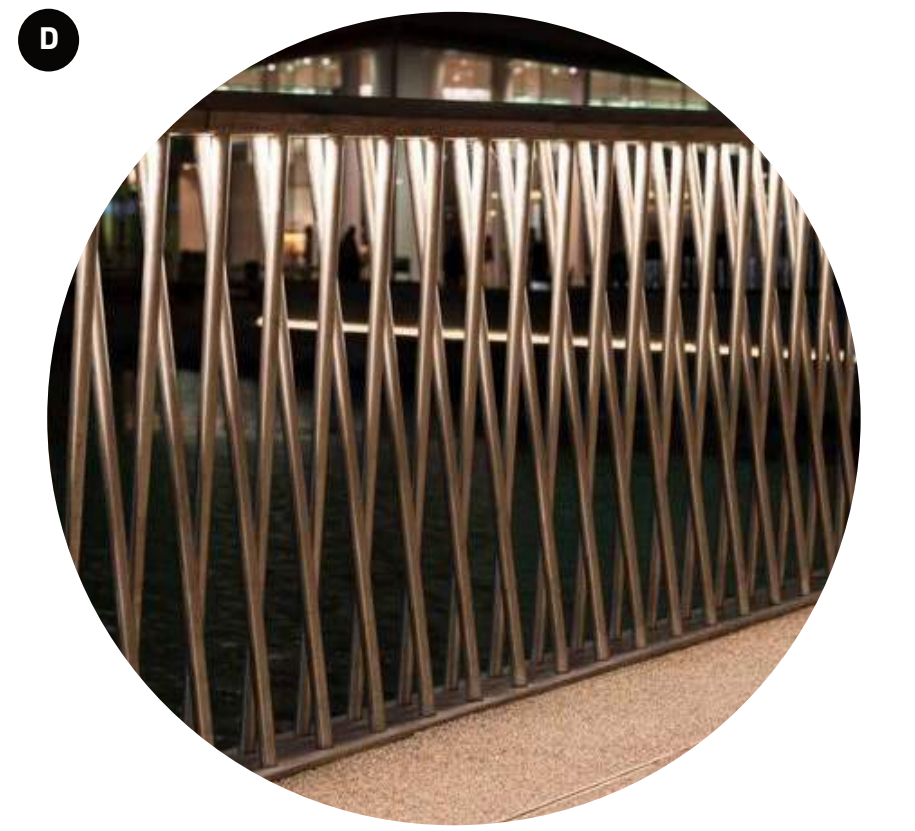
- A Ornamental Plantings**
Large masses of understory plants for seasonal interest and replicate native growing species existing on site
- B Deciduous Shade Trees**
Preserve existing species on site deemed significant
- C Lawn**
Flexible open space for gathering
- D Street Trees**
- E Bio-retention Meadow**
Mix of shade-loving, flood-tolerant perennials and sedges
Height: 12-18"
- F Utility screening**
Evergreen shrubs at minimum 48 in height at planting
- G Foundation Plantings**
Shrubs, ornamental grasses, and perennials at varying heights planted at ground floor building facades
- H Private gardens**
Shrubs, ornamental trees, grasses, and perennials to surround amenity decks and separate private and semi-private spaces





OPEN SPACE LIGHTING LEGEND

- A** Typical Bridge Park Street Pole Light
- B** Illuminated Railing Light
- C** Directional Bollard Path Light
- D** Accent Lighting
- E** Tree Downlight
- F** Landscape Uplights





Bio-retention meadow



Footbridge

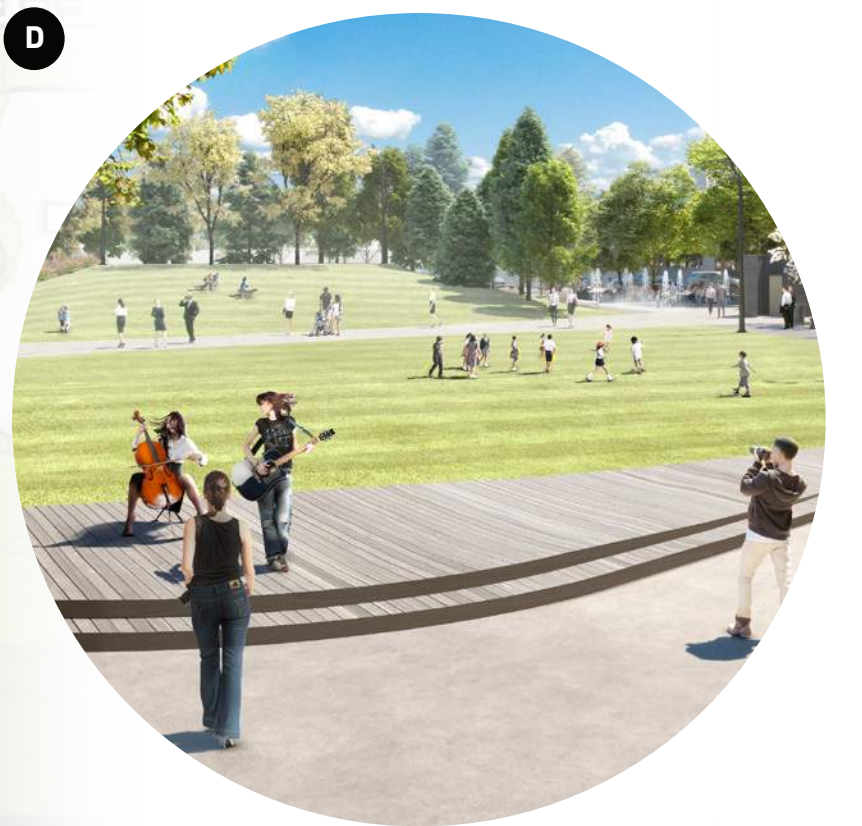
The central open space at the core of the site blends natural elements with urban design to create a tranquil retreat. At its heart, a footbridge offers scenic views out to a depressed native meadow with large shade trees and rock formations. A paved promenade on the north edge and a gravel nature path to the south provide varied experiences—from strolling to peaceful exploration. A wooden platform on the central lawn invites people to gather.

A curbsless pedestrian street to the east features upscale brick paving, site furnishings, and planters that echo the site's design motifs. Stepped gardens act as a transition to the private amenity deck above.

This multi-functional space enriches the experiences of residents, tenants, and visitors, offering a unique environment for leisure, connection, and respite from the urban setting.



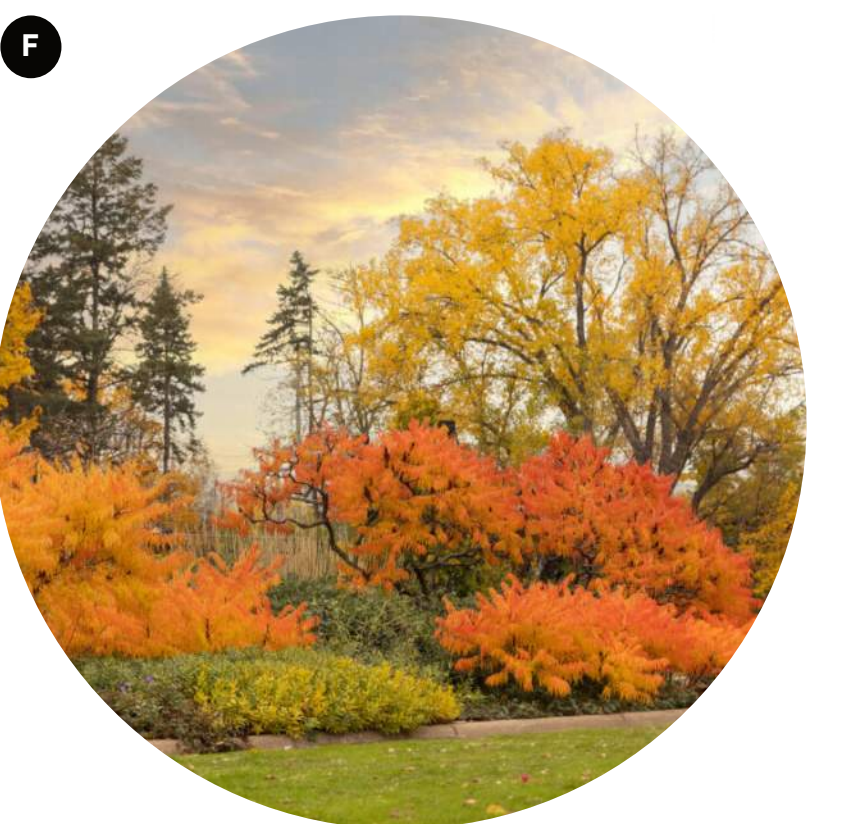
Pedestrian street



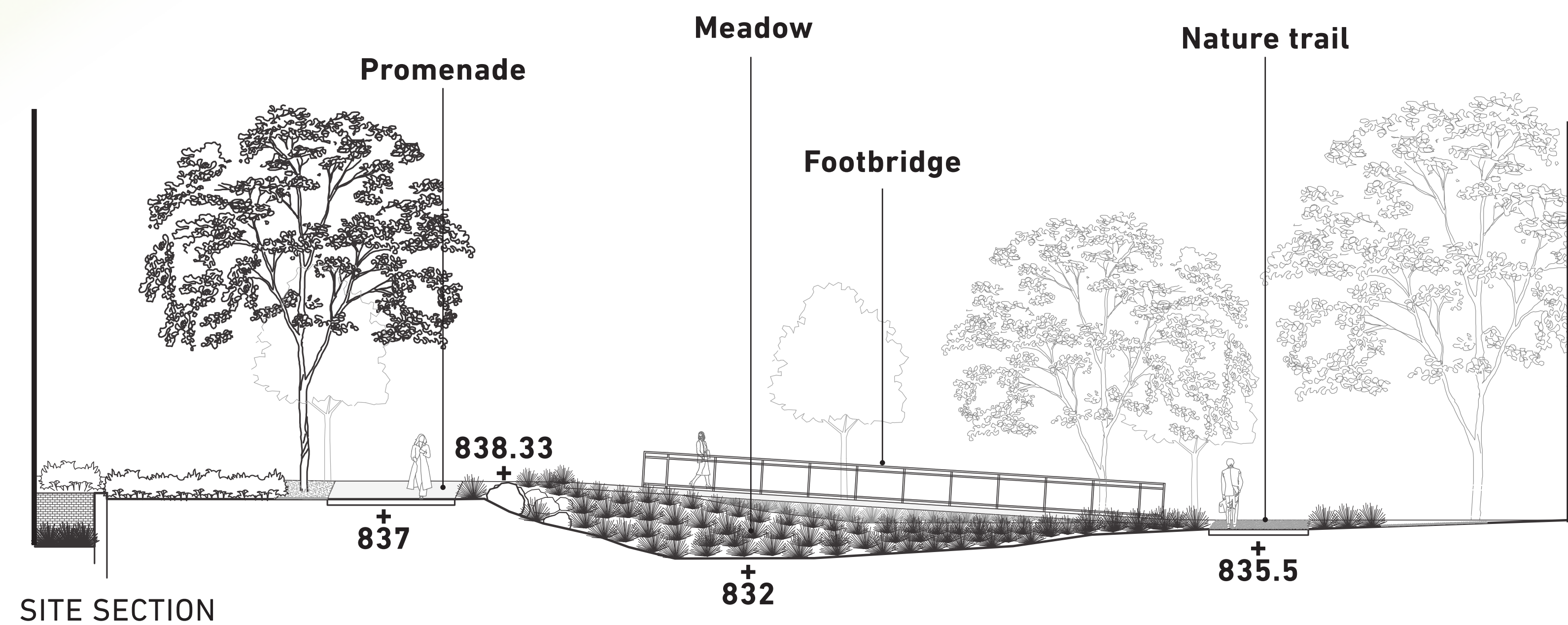
Lawn deck



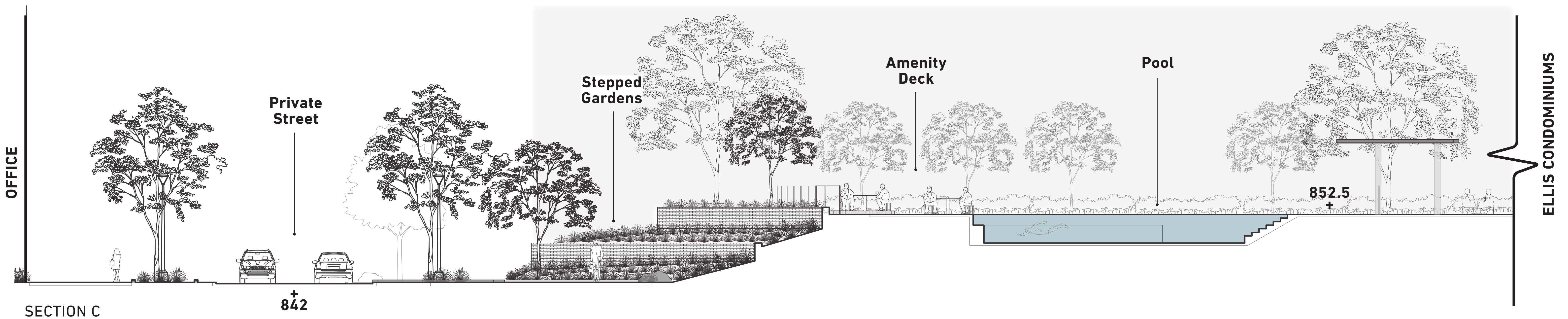
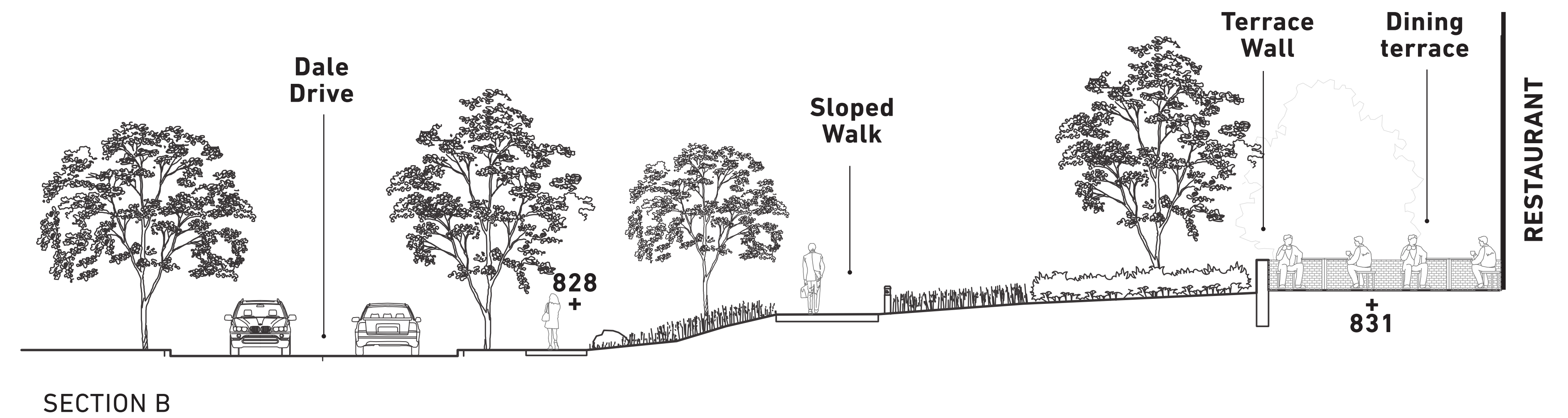
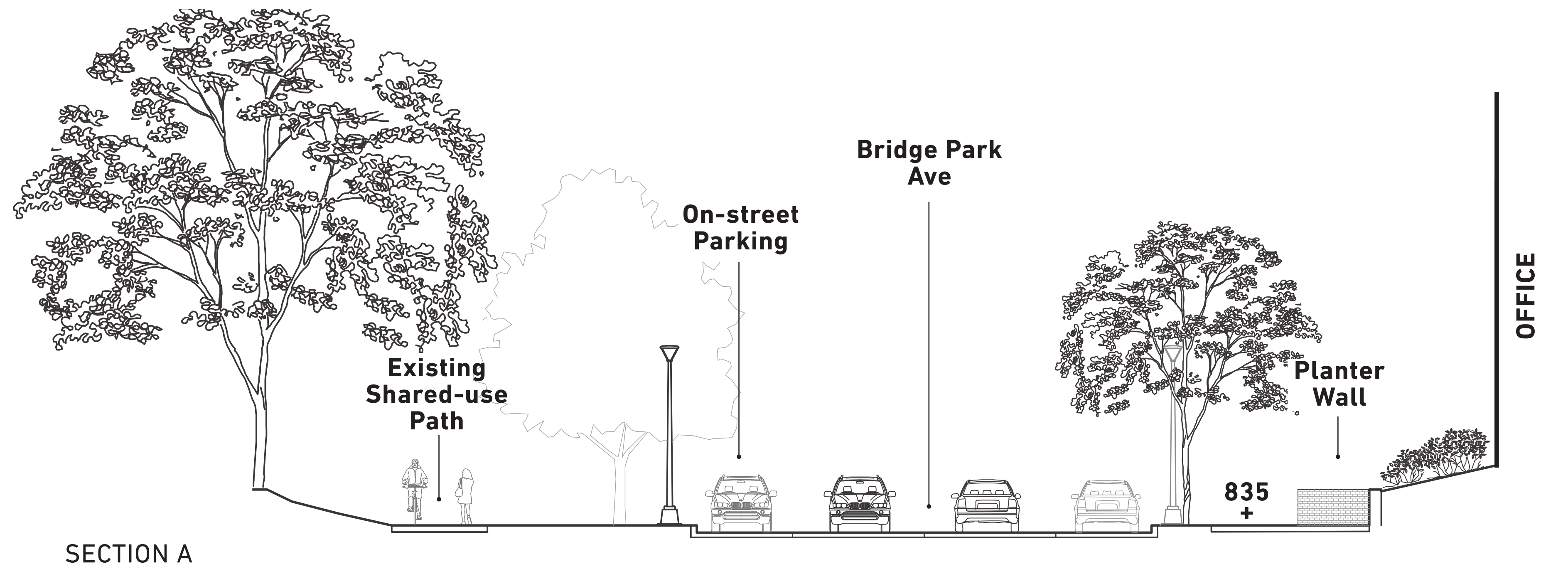
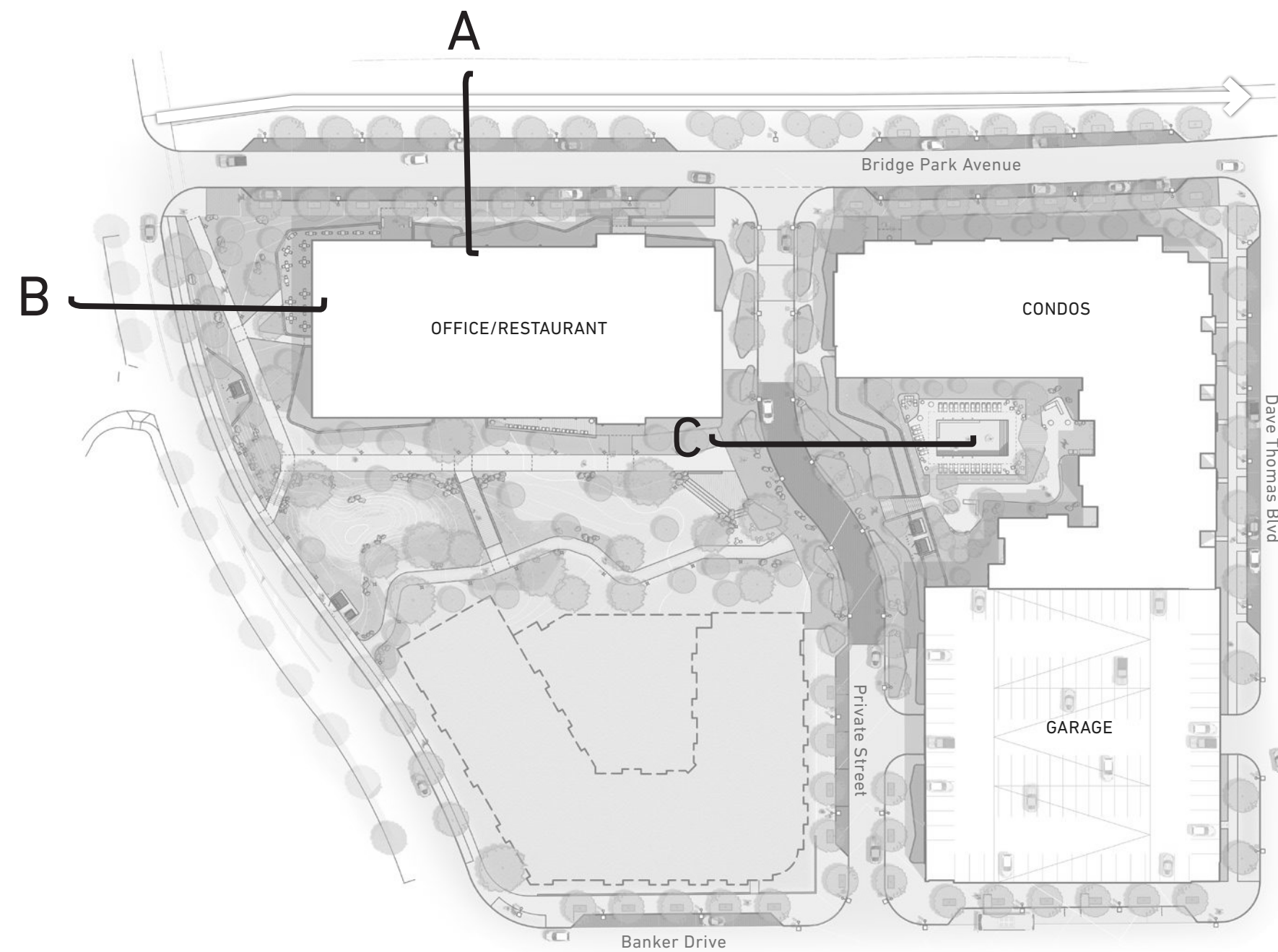
Nature trail

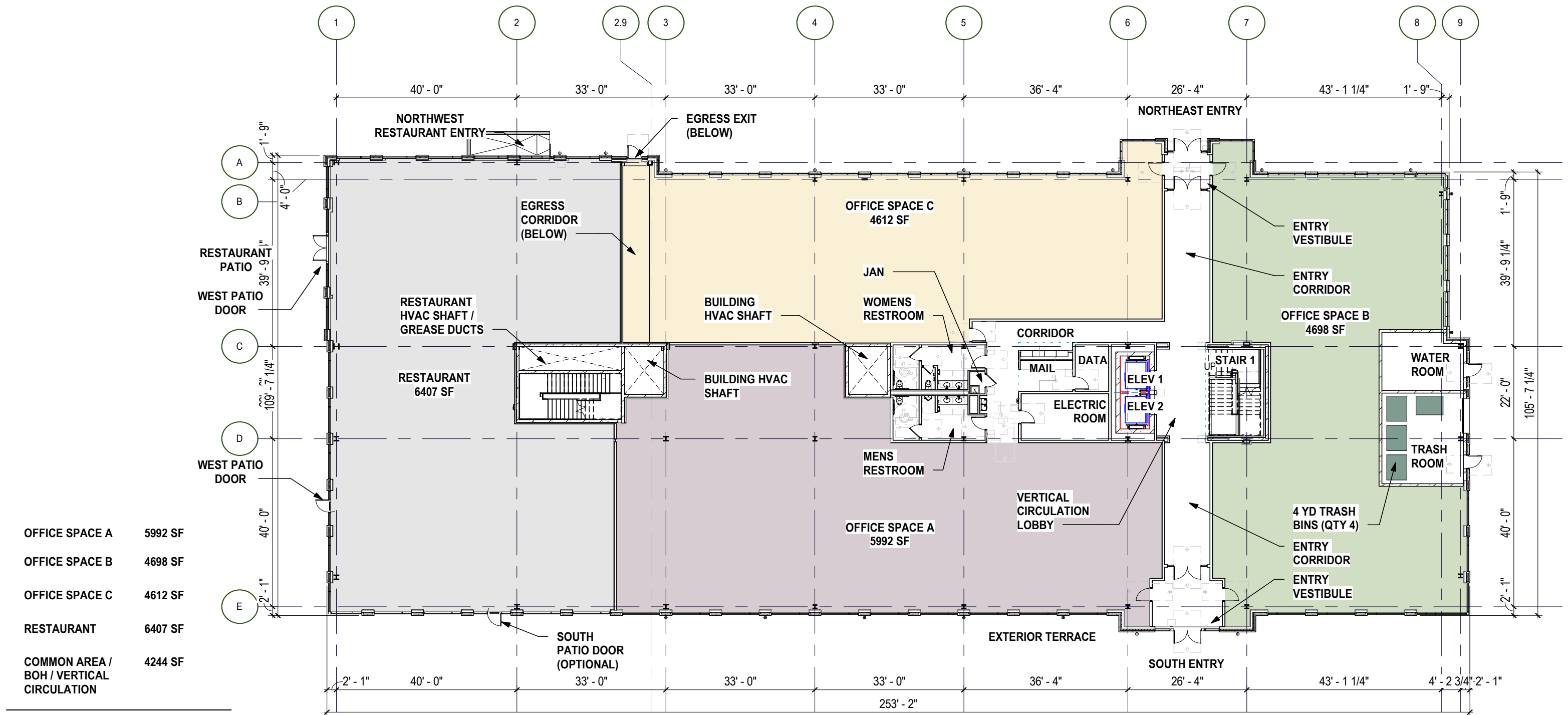


Native planting



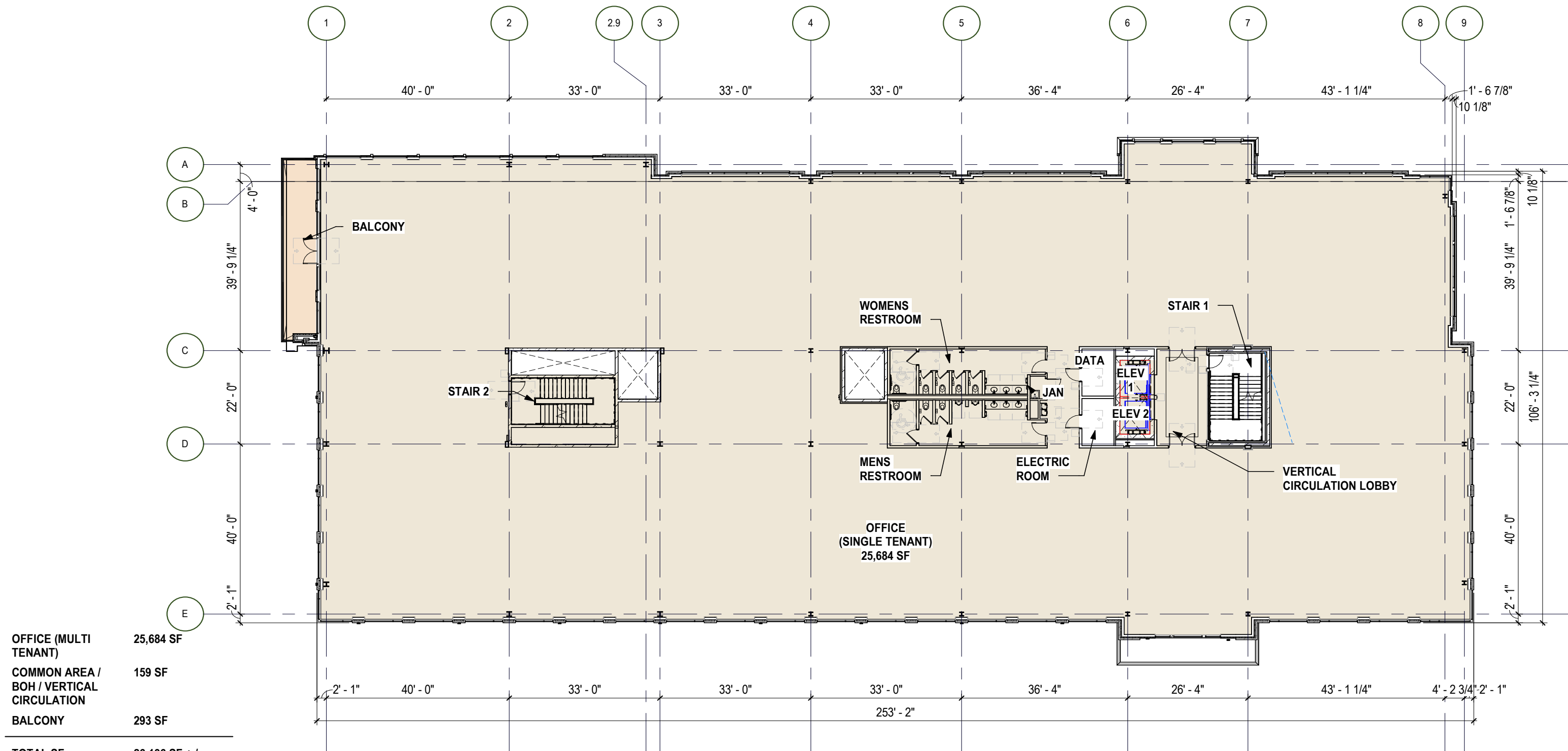
SITE SECTION





first floor plan

3/64" = 1'-0"



OFFICE (MULTI TENANT)	25,684 SF
COMMON AREA / BOH / VERTICAL CIRCULATION	159 SF
BALCONY	293 SF
<hr/>	
TOTAL SF:	26,136 SF +/-
OVERALL BUILDING AREA:	108,396 SF +/-

typical floor plan

3/64" = 1'-0"



- | | |
|--------------------------------------|--------------------------------------|
| ① Prefinished Metal Coping - Black | ⑧ Break Metal Accent Band - Black |
| ② Exterior Cladding System - Color 1 | ⑨ Aluminum Railing System |
| ③ Storefront System - Clear Glazing | ⑩ Exterior Cladding System - Color 2 |
| ④ Brick - Gray (BR-2) | ⑪ Exterior Lighting Fixture - Black |
| ⑤ Brick - Dark Gray (BR-1) | ⑫ Roof Screen - Gray |
| ⑥ Entry Canopy (Office / Restaurant) | |
| ⑦ Prefinished Metal Coping - Grey | |



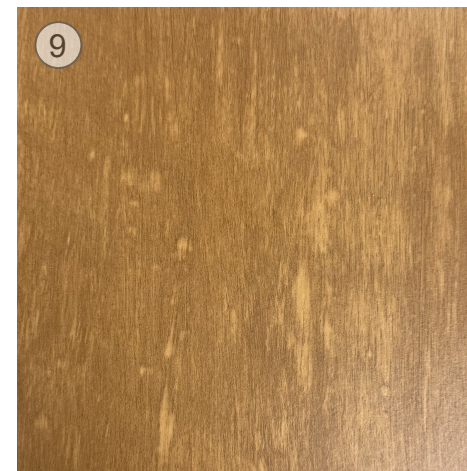
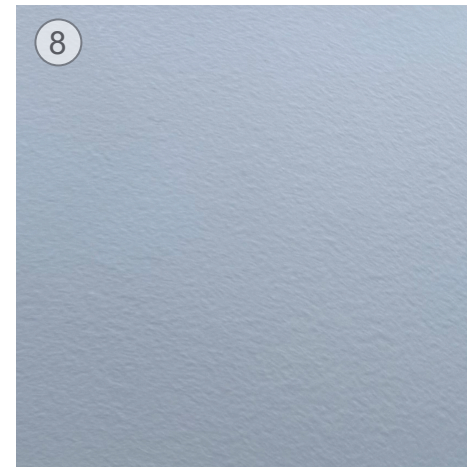
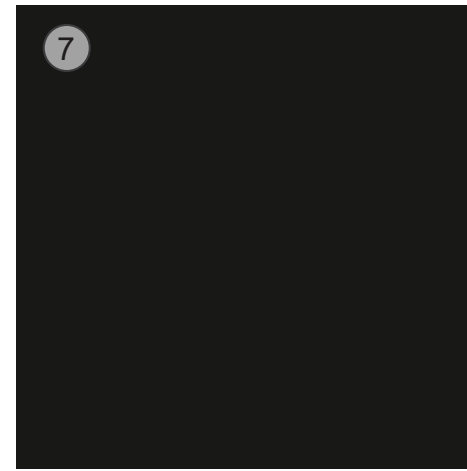
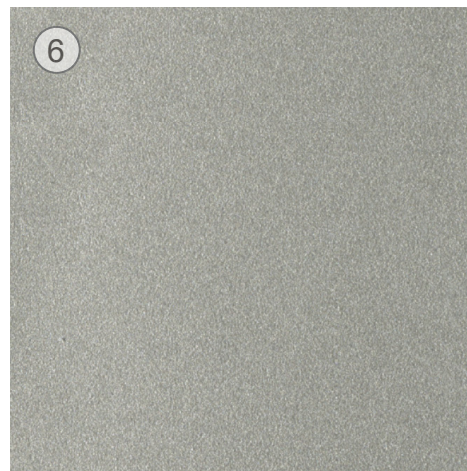
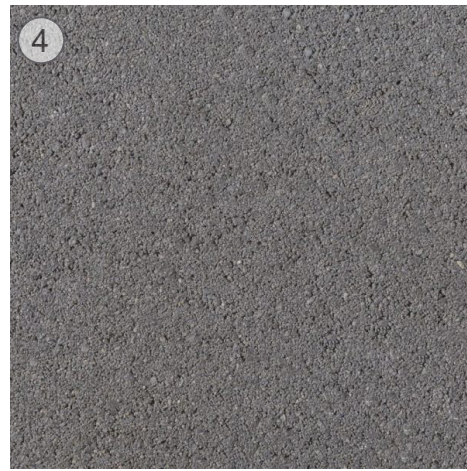
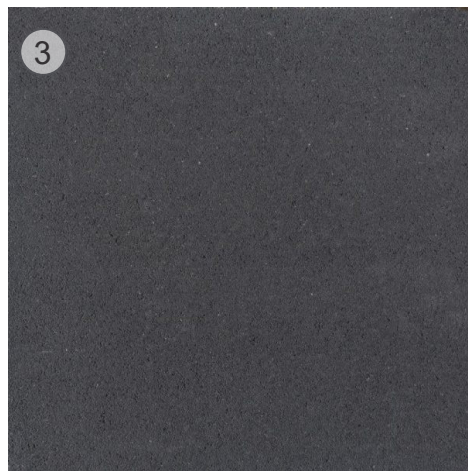
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|--------------------------------------|--------------------------------------|
| ① Prefinished Metal Coping - Black | ⑧ Break Metal Accent Band - Black |
| ② Exterior Cladding System - Color 1 | ⑨ Aluminum Railing System |
| ③ Storefront System - Clear Glazing | ⑩ Exterior Cladding System - Color 2 |
| ④ Brick - Gray (BR-2) | ⑪ Exterior Lighting Fixture - Black |
| ⑤ Brick - Dark Gray (BR-1) | ⑫ Roof Screen - Gray |
| ⑥ Entry Canopy (Office / Restaurant) | |
| ⑦ Prefinished Metal Coping - Grey | |



- | | |
|--------------------------------------|--------------------------------------|
| ① Prefinished Metal Coping - Black | ⑧ Break Metal Accent Band - Black |
| ② Exterior Cladding System - Color 1 | ⑨ Aluminum Railing System |
| ③ Storefront System - Clear Glazing | ⑩ Exterior Cladding System - Color 2 |
| ④ Brick - Gray (BR-2) | ⑪ Exterior Lighting Fixture - Black |
| ⑤ Brick - Dark Gray (BR-1) | ⑫ Roof Screen - Gray |
| ⑥ Entry Canopy (Office / Restaurant) | |
| ⑦ Prefinished Metal Coping - Grey | |



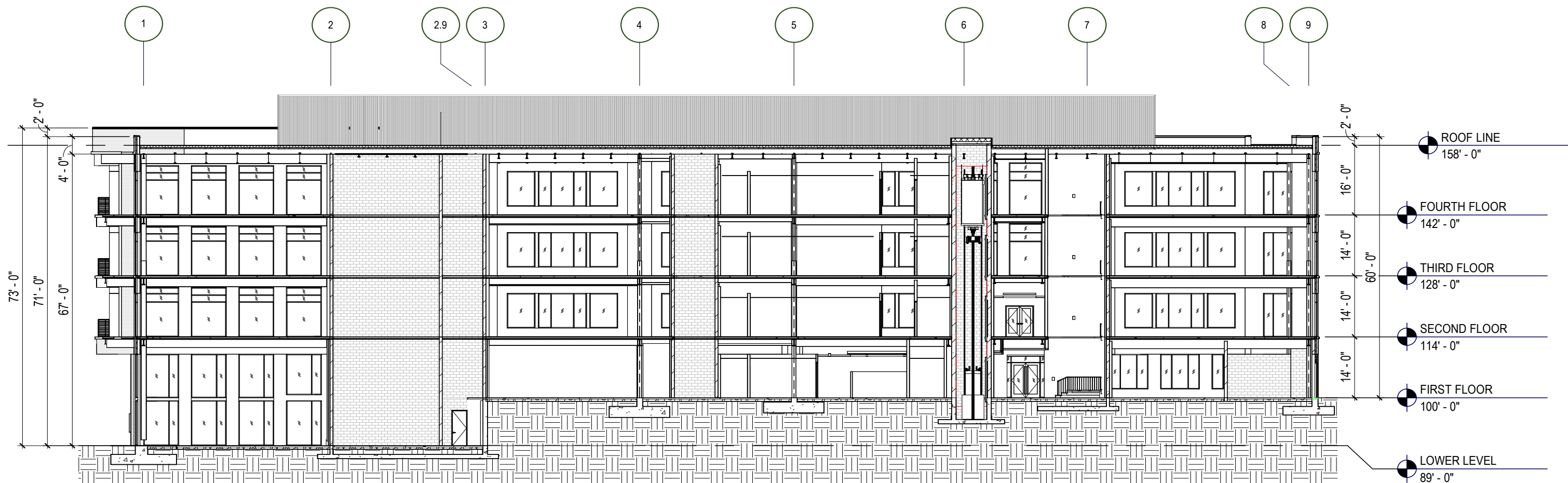
- | | |
|--------------------------------------|--------------------------------------|
| ① Prefinished Metal Coping - Black | ⑧ Break Metal Accent Band - Black |
| ② Exterior Cladding System - Color 1 | ⑨ Aluminum Railing System |
| ③ Storefront System - Clear Glazing | ⑩ Storefront System - Spandrel Panel |
| ④ Brick - Gray (BR-2) | ⑪ Exterior Cladding System - Color 2 |
| ⑤ Brick - Dark Gray (BR-1) | ⑫ Exterior Lighting Fixture - Black |
| ⑥ Entry Canopy (Office / Restaurant) | ⑬ Roof Screen - Gray |
| ⑦ Prefinished Metal Coping - Grey | |



- ① Brick - Dark Grey (BR-1)
- ② Brick - Medium Grey (BR-2)
- ③ Cast Stone - Dark Grey (CS-1)

- ④ Cast Stone - Medium Grey (CS-2)
- ⑤ Storefront System Mullion - Clear Anodized
- ⑥ Miscellaneous Metals - Metal Coping - Grey

- ⑦ Miscellaneous Metal - Break Metal - Black
- ⑧ Exterior Cladding System - Dove Blue
- ⑨ Exterior Cladding System - Akro Mandel (Wood Finish)



longitudinal building section

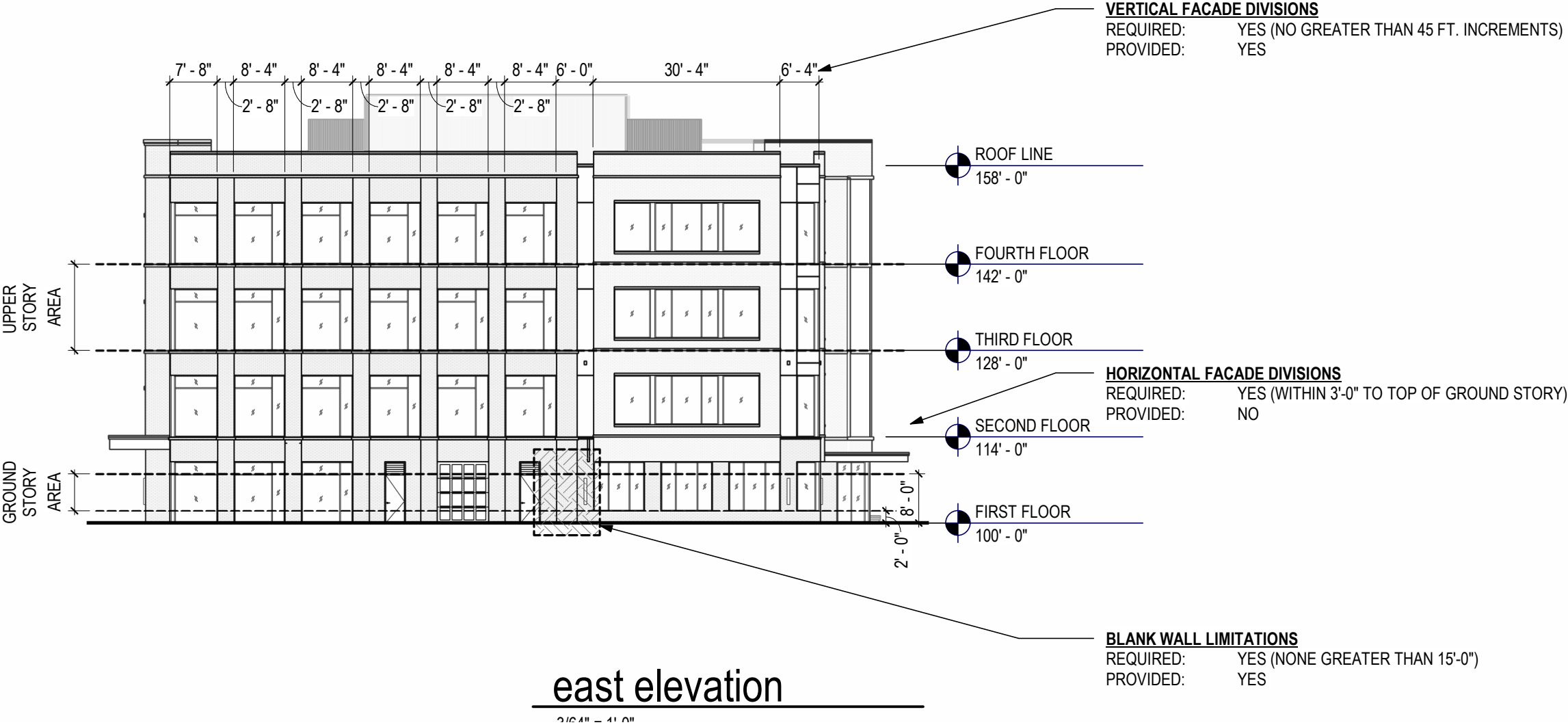
3/64" = 1'-0"



building section

3/64" = 1'-0"

MATERIAL TYPE	EAST -TOTAL FACADE AREA:	7,093 SF	NUMBER OF ENTRANCES	UPPER STORY	BLANK WALL LIMITATIONS
PRIMARY	BRICK (AREA):	3,456 SF	REQUIRED: 1 PER 75 FEET OF FACADE	HEIGHT: 14'-0"	REQUIRED: YES
PRIMARY	GLAZING (WINDOWS AND DOORS) (AREA):	2,763 SF	FACADE LENGTH: 105'-6"		PROVIDED: YES (NONE GREATER THAN 15'-0")
SECONDARY	HPL PANEL (AREA):	326 SF		UPPER STORY TOTAL AREA: 1,474 SF	VERTICAL FACADE DIVISIONS
SECONDARY	METAL ROOF SCREEN WALL (AREA):	533 SF	REQUIRED: 105.5 / 75.0 = 2(1.40)	TRANSPARENCY:	REQUIRED: YES (NO GREATER THAN 45 FT. INCREMENTS)
SECONDARY	SPANDEL PANEL (AREA):	0 SF	PROVIDED: 0 (2 BOH DOORS)	UPPER STORY TRANSPARENCY ZONE AREA: 845 SF	PROVIDED: YES
SECONDARY	LOUVERS (AREA):	15 SF		(2'-0" TO 8'-0" ABOVE FLOOR)	HORIZONTAL FACADE DIVISIONS
PRIMARY MATERIALS		TOTAL AREA: 6,219 SF	GROUND STORY	UPPER STORY GLAZING AREA: 608 SF	REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)
REQUIRED:	80%		HEIGHT (VARIES): 14'-0"	TRANSPARENCY PROVIDED: 72% (608 / 845 = .719)	PROVIDED: NO
PROVIDED:	87.6% (6,219 / 7,093 = .876)		GROUND STORY TOTAL AREA: 1,473 SF	TRANSPARENCY REQUIRED: 30%	
SECONDARY MATERIALS		TOTAL AREA: 874 SF	TRANSPARENCY:		
REQUIRED:	>20%		GROUND STORY TRANSPARENCY ZONE AREA: 845 SF		
PROVIDED:	12.3% (874 / 7,093 = .123)		(2'-0" TO 8'-0" ABOVE GRADE)		
FACADE REQUIREMENTS: EAST FACADE			GROUND STORY GLAZING AREA: 485 SF		
STREET FACADE:	YES		(2'-0" TO 8'-0" ABOVE GRADE)		
PRINCIPLE ENTRANCE:	NO		TRANSPARENCY PROVIDED: 57.3% (485 / 845 = .573)		
			TRANSPARENCY REQUIRED: 60%		

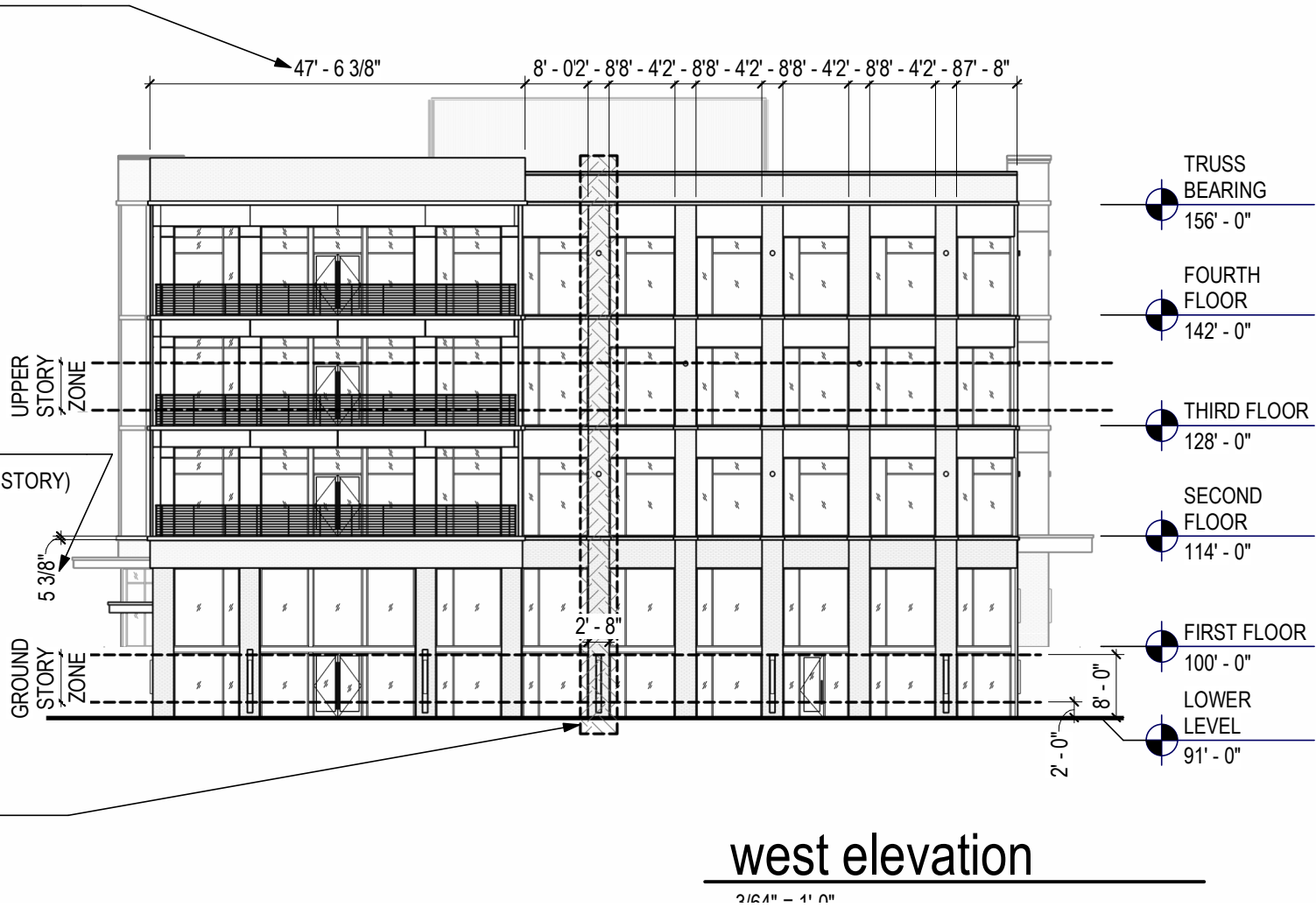


MATERIAL TYPE	WEST - TOTAL FACADE AREA:	8,716 SF	NUMBER OF ENTRANCES	UPPER STORY	BLANK WALL LIMITATIONS
PRIMARY	BRICK (AREA):	2,137 SF	REQUIRED: 1 PER 75 FEET OF FACADE	HEIGHT (VARIES): 14'-0"	REQUIRED: YES (NONE GREATER THAN 15'-0")
PRIMARY	GLAZING (WINDOWS AND DOORS) (AREA):	4,326 SF	FACADE LENGTH: 109'-6"		PROVIDED: YES
SECONDARY	HPL PANEL (AREA):	1,720 SF		UPPER STORY TOTAL AREA: 1,528 SF	VERTICAL FACADE DIVISIONS
SECONDARY	METAL ROOF SCREEN WALL (AREA):	533 SF	REQUIRED: 109.5 / 75 = 2(1.46)	TRANSPARENCY:	REQUIRED: YES (NO GREATER THAN 45 FT. INCREMENTS)
SECONDARY	SPANDEL PANEL (AREA):	0 SF	PROVIDED: 2	UPPER STORY TRANSPARENCY ZONE AREA: 656 SF	PROVIDED: NO
SECONDARY	LOUVERS (AREA):	0 SF		(2'-0" TO 8'-0" ABOVE GRADE)	HORIZONTAL FACADE DIVISIONS
PRIMARY MATERIALS TOTAL AREA: 6,463 SF			GROUND STORY	UPPER STORY GLAZING AREA: 512 SF	REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)
REQUIRED:	80%		HEIGHT (VARIES): 23'-0"	(2'-0" TO 8'-0" ABOVE GRADE)	PROVIDED: YES
PROVIDED:	74.2% (6,463 / 8,716 = .742)		GROUND STORY TOTAL AREA: 2,515 SF	TRANSPARENCY PROVIDED: 78% (512 / 656 = .780)	
SECONDARY MATERIALS TOTAL AREA: 2,253 SF			TRANSPARENCY:	TRANSPARENCY REQUIRED: 30%	
REQUIRED:	<20%		GROUND STORY TRANSPARENCY ZONE AREA: 656 SF		
PROVIDED:	25.8% (2,253 / 8,716 = .258)		(2'-0" TO 8'-0" ABOVE GRADE)		
FACADE REQUIREMENTS: WEST FACADE			GROUND STORY GLAZING AREA: 512 SF		
STREET FACADE:	YES		(2'-0" TO 8'-0" ABOVE GRADE)		
PRINCIPLE ENTRANCE:	NO		TRANSPARENCY PROVIDED: 78% (512 / 656 = .780)		
			TRANSPARENCY REQUIRED: 60%		

VERTICAL FACADE DIVISIONS
REQUIRED: YES (NO GREATER THAN 45 FT. INCREMENTS)
PROVIDED: NO

HORIZONTAL FACADE DIVISIONS
REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)
PROVIDED: YES

BLANK WALL LIMITATIONS
REQUIRED: YES (NONE GREATER THAN 15'-0")
PROVIDED: YES



west elevation





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VERTICAL BRICK PIERS



CORNER BALCONIES



SIMPLE REPETITION



ACCENT PANEL COLOR



BRICK DETAILING

FEATURE CORNER ENGAGEMENT

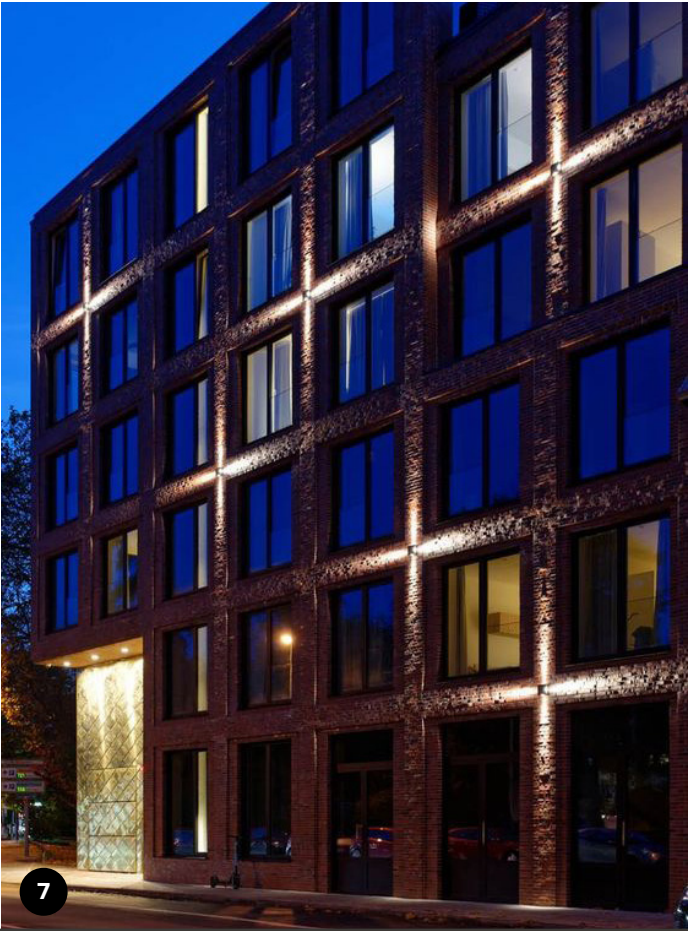


RESTAURANT PATIO

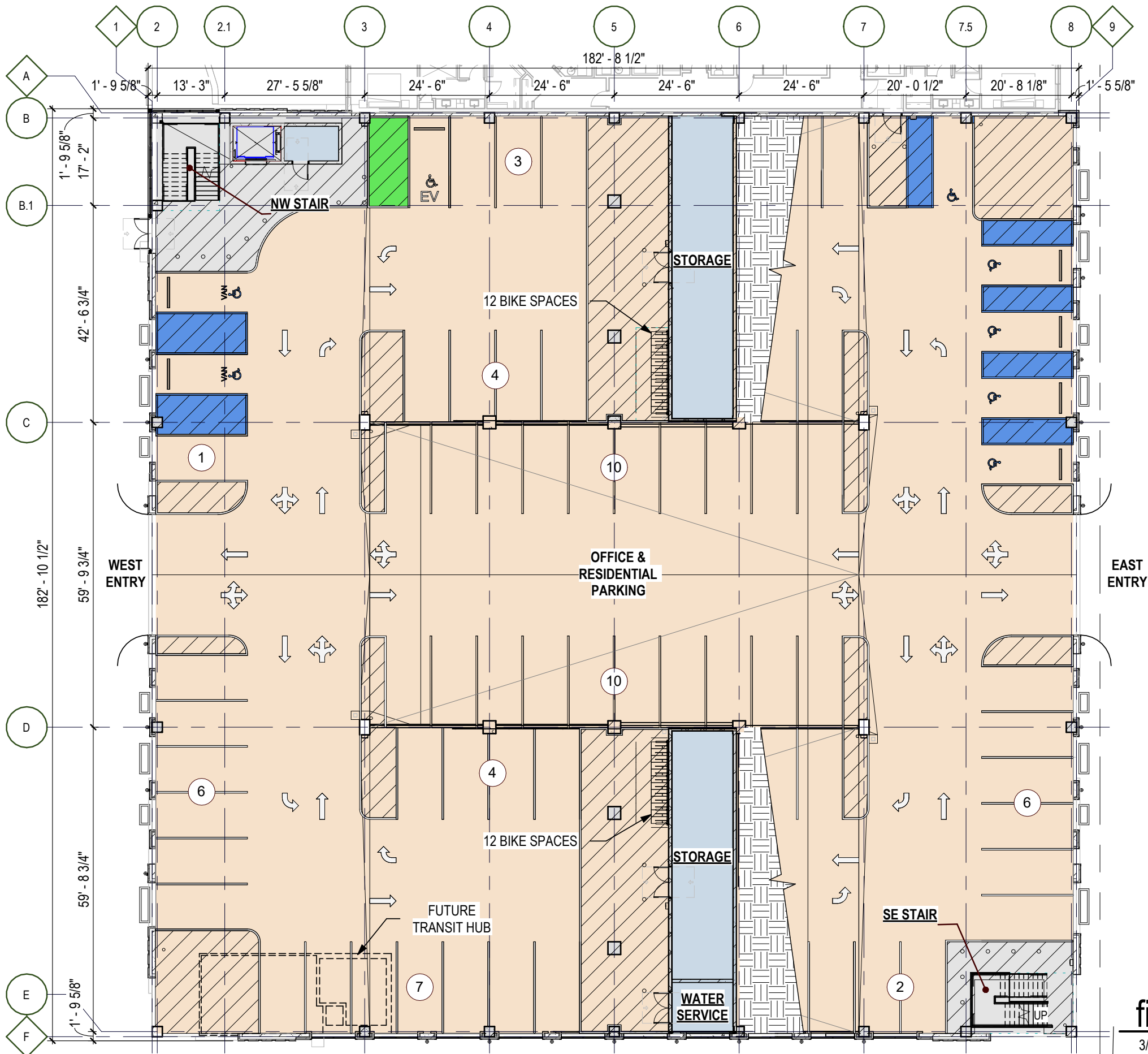
HORIZONTAL BANDING



ACCENT LIGHTING



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PARKING SCHEDULE - FIRST FLOOR

PARKING SPACE TYPE	QUANTITY
PARKING SPACES	94
ACCESSIBLE VAN SPACES	2
ACCESSIBLE SPACES	5
ACCESSIBLE EV CHARGING SPACES	1
GRAND TOTAL	102

PARKING SCHEDULE - TOTAL

PARKING SPACE TYPE	QUANTITY
ACCESSIBLE EV CHARGING SPACES	1
ACCESSIBLE SPACES	10
ACCESSIBLE VAN SPACES	2
EV CHARGING SPACES	4
PARKING SPACES	490
GRAND TOTAL	507

BICYCLE STORAGE

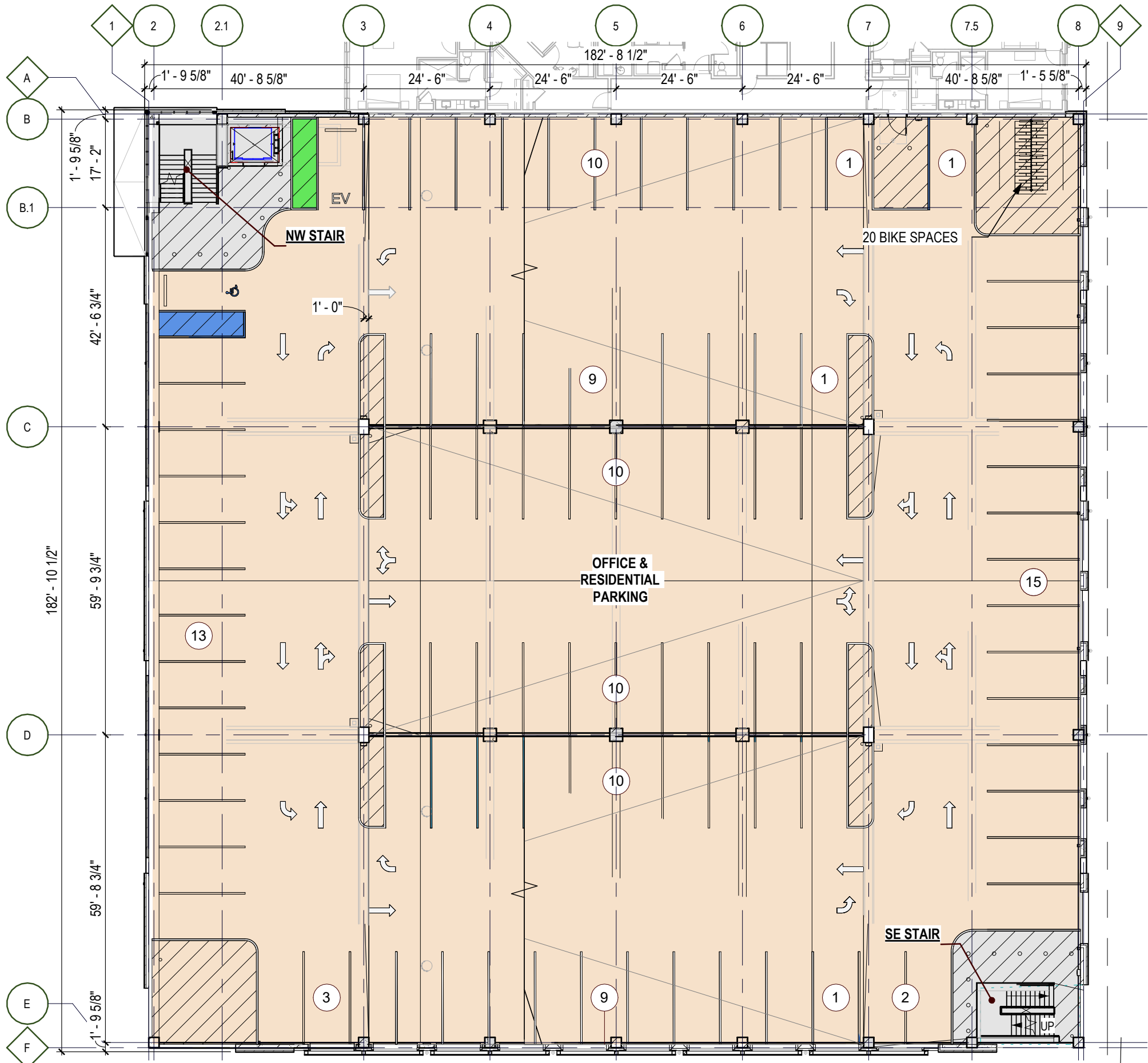
REQUIRED BICYCLE STORAGE	78
PROVIDED BICYCLE STORAGE	84

GARAGE AREA - 1ST LEVEL

BUILDING FOOTPRINT	33,060 SF
GROSS FLOOR AREA	± 41,807 SF
GROSS BUILDING AREA	± 168,756 SF

first floor plan

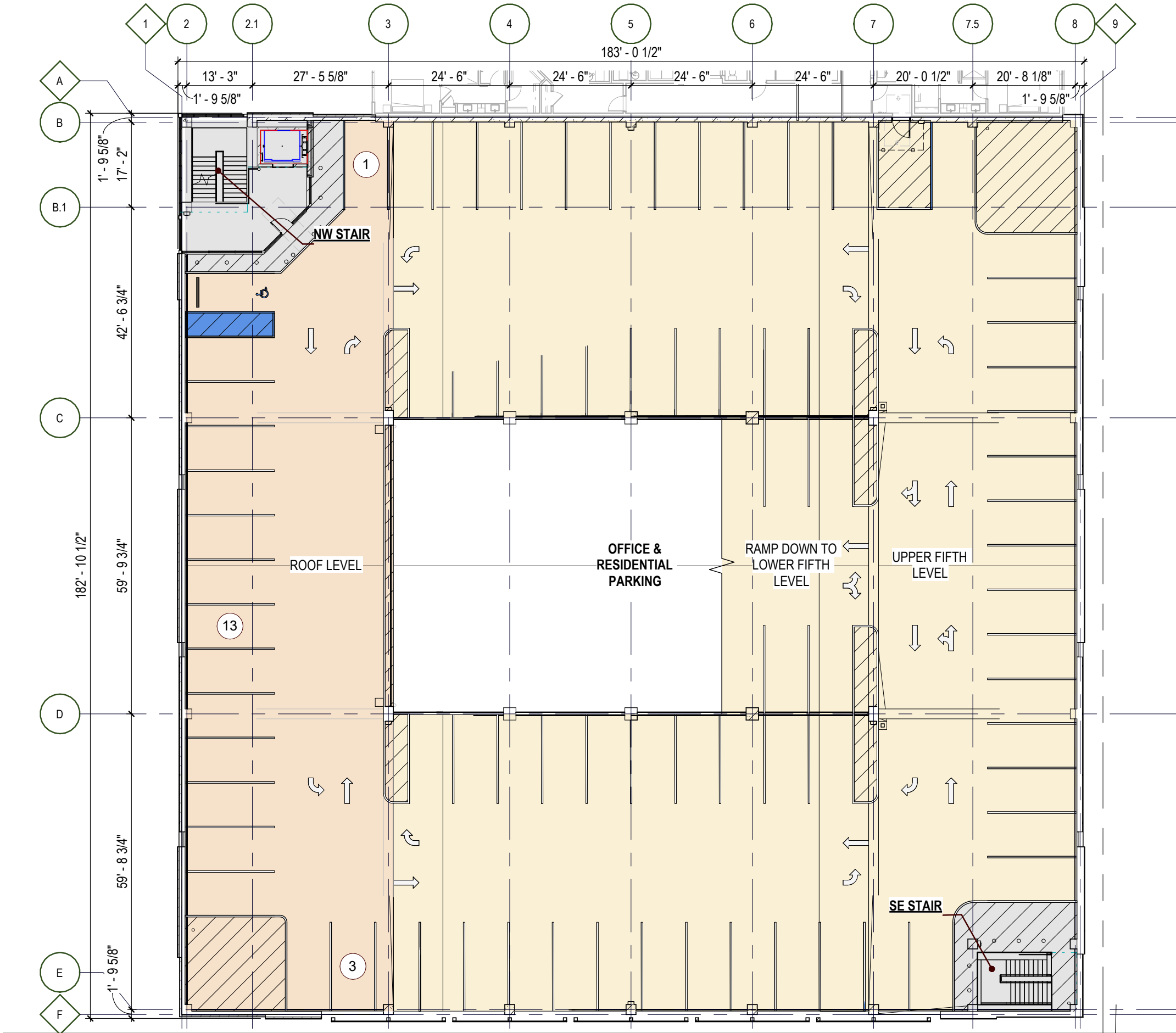
3/64" = 1'-0"



PARKING SCHEDULE - TYPICAL FLOOR	
PARKING SPACE TYPE	QUANTITY
PARKING SPACES	95
EV CHARGING SPACES	1
ACCESSIBLE SPACES	1
	97
GRAND TOTAL	97

GARAGE AREA - TYPICAL LEVEL	
GROSS FLOOR AREA	± 33,159 SF
GROSS BUILDING AREA	± 168,756 SF

typical floor plan
3/64" = 1'-0"



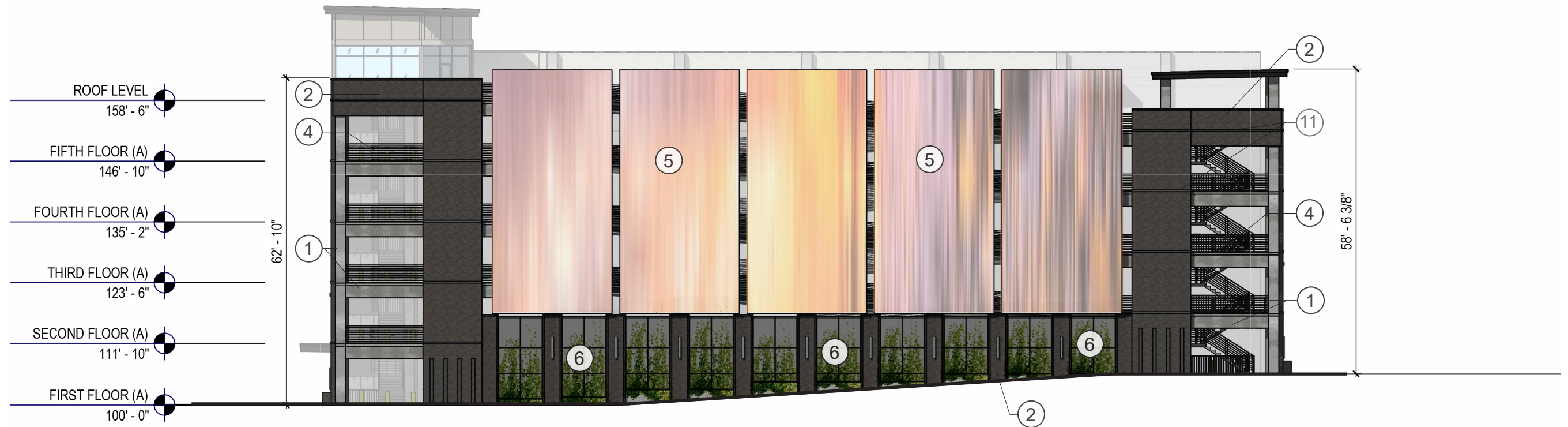
PARKING SCHEDULE - ROOF LEVEL	
PARKING SPACE TYPE	QUANTITY
PARKING SPACES	17
ACCESSIBLE SPACES	1
	18
GRAND TOTAL	18

GARAGE AREA - ROOF LEVEL	
GROSS FLOOR AREA	± 7,888 SF
GROSS BUILDING AREA	± 168,756 SF

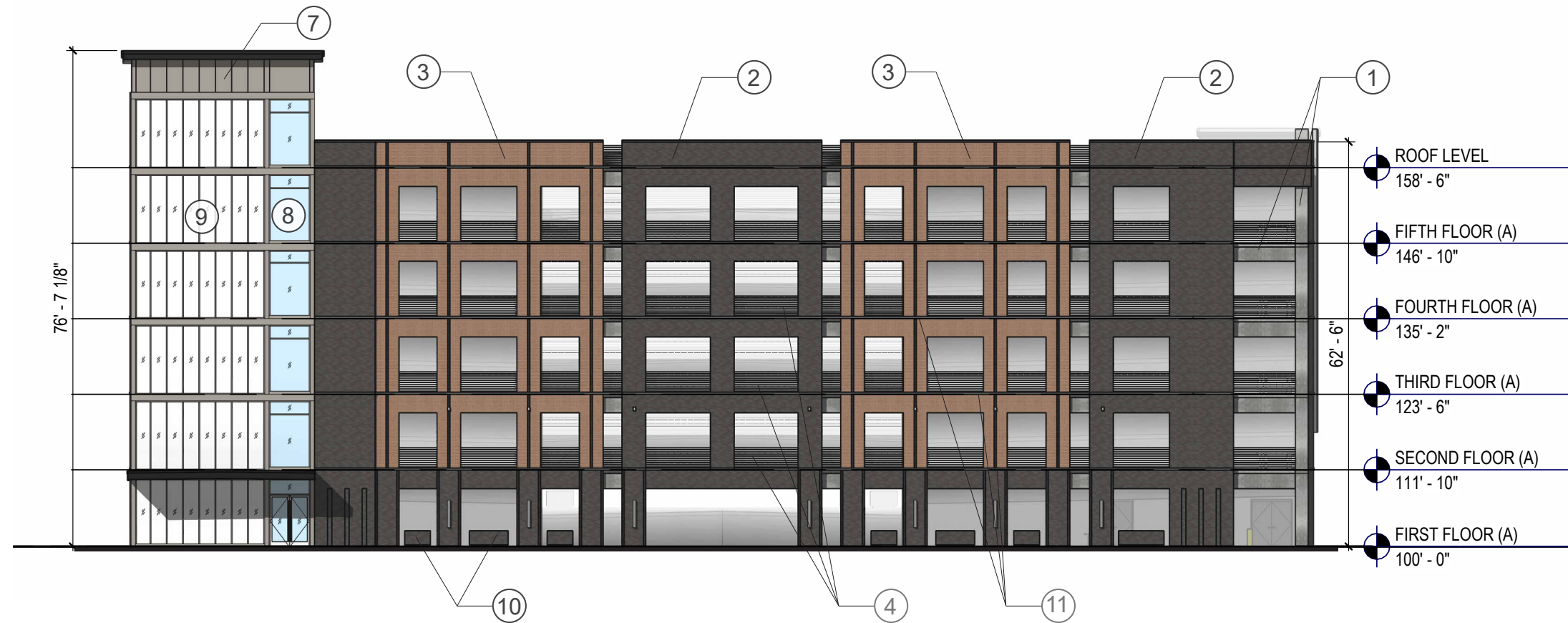
roof plan
3/64" = 1'-0"



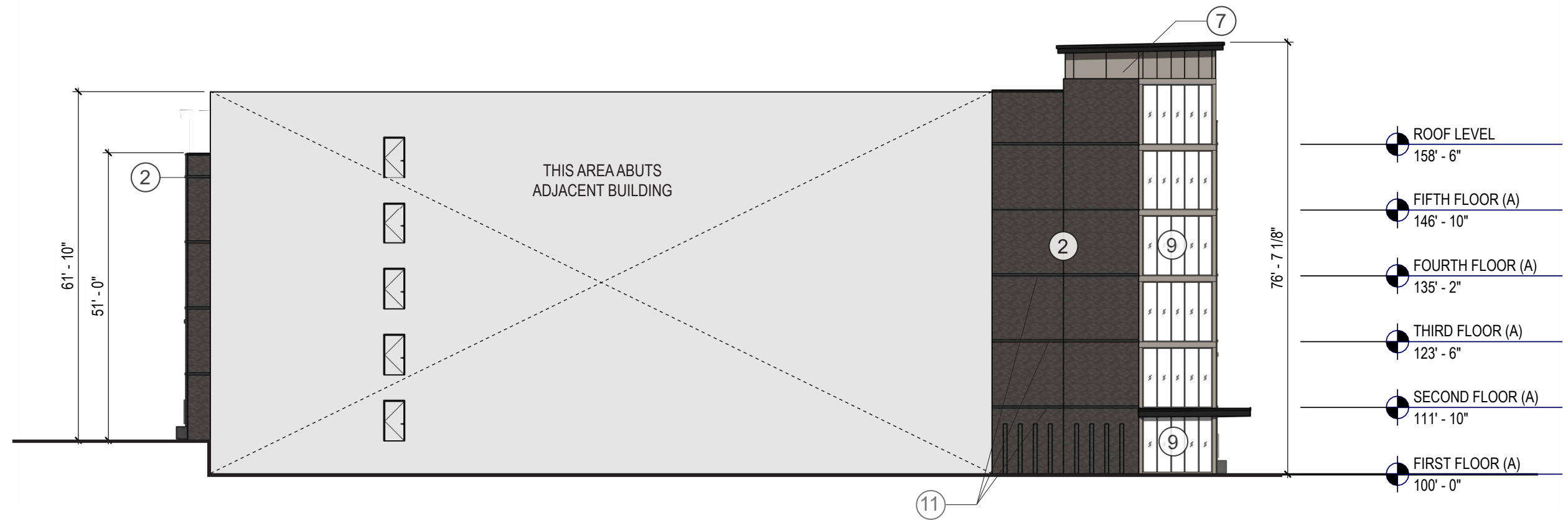
- | | |
|-------------------------------------|--|
| ① Unfinished Concrete | ⑥ Metal Trellis Side Panel w/ Vegetation |
| ② Brick - Dark Gray (BR-1) | ⑦ Lightweight Metal Panel - Silver |
| ③ Brick - Medium Red (BR-2) | ⑧ Storefront - Clear Glazing |
| ④ Post Tension Cable Barrier - Grey | ⑨ Storefront - Frosted Glazing |
| ⑤ Scrim Screen w/ Custom Art | ⑩ Vegetation Planters - Dark Grey |
| | ⑪ Cast Stone Ledge - Dark Grey |



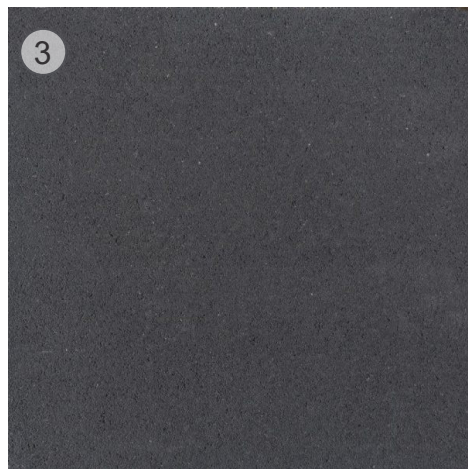
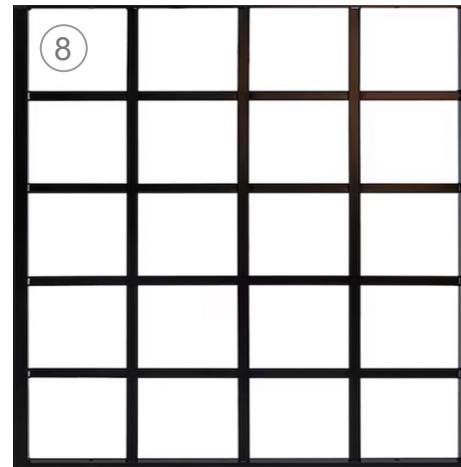
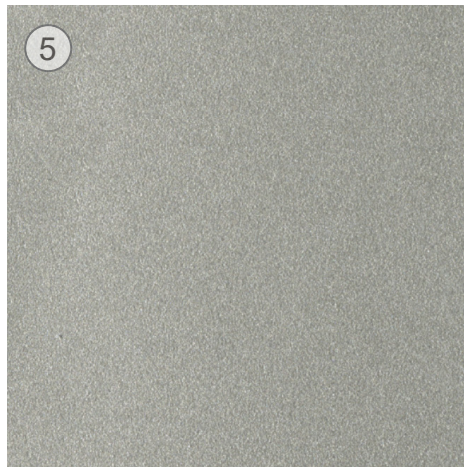
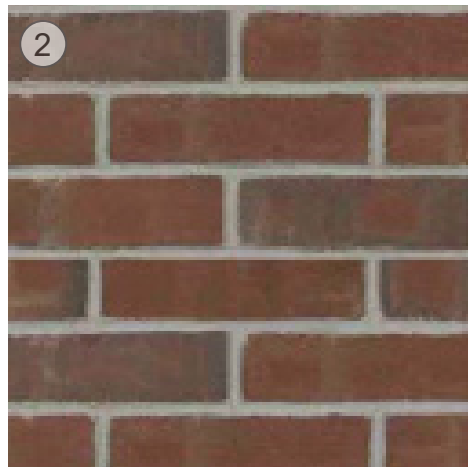
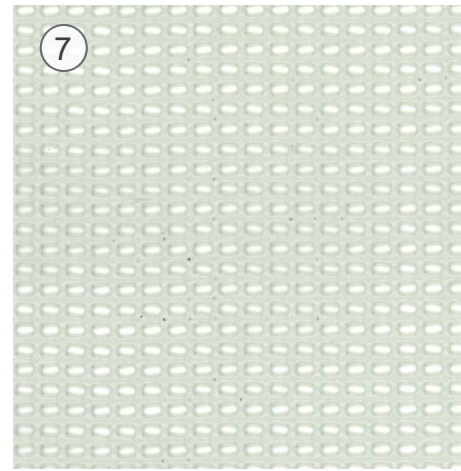
- | | |
|-------------------------------------|--|
| ① Unfinished Concrete | ⑥ Metal Trellis Side Panel w/ Vegetation |
| ② Brick - Dark Gray (BR-1) | ⑦ Lightweight Metal Panel - Silver |
| ③ Brick - Medium Red (BR-2) | ⑧ Storefront - Clear Glazing |
| ④ Post Tension Cable Barrier - Grey | ⑨ Storefront - Frosted Glazing |
| ⑤ Scrim Screen w/ Custom Art | ⑩ Vegetation Planters - Dark Grey |
| | ⑪ Cast Stone Ledge - Dark Grey |



- | | |
|-------------------------------------|--|
| ① Unfinished Concrete | ⑥ Metal Trellis Side Panel w/ Vegetation |
| ② Brick - Dark Gray (BR-1) | ⑦ Lightweight Metal Panel - Silver |
| ③ Brick - Medium Red (BR-2) | ⑧ Storefront - Clear Glazing |
| ④ Post Tension Cable Barrier - Grey | ⑨ Storefront - Frosted Glazing |
| ⑤ Scrim Screen w/ Custom Art | ⑩ Vegetation Planters - Dark Grey |
| | ⑪ Cast Stone Ledge - Dark Grey |



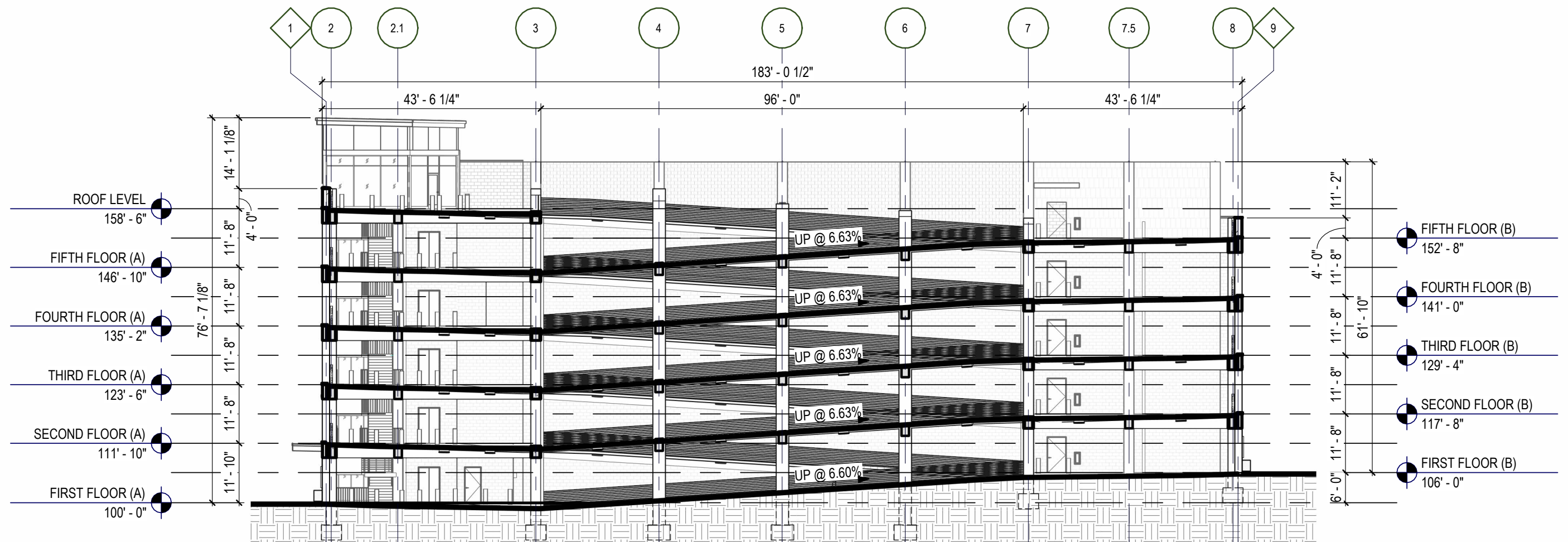
- | | |
|-------------------------------------|--|
| ① Unfinished Concrete | ⑥ Metal Trellis Side Panel w/ Vegetation |
| ② Brick - Dark Gray (BR-1) | ⑦ Lightweight Metal Panel - Silver |
| ③ Brick - Medium Red (BR-2) | ⑧ Storefront - Clear Glazing |
| ④ Post Tension Cable Barrier - Grey | ⑨ Storefront - Frosted Glazing |
| ⑤ Scrim Screen w/ Custom Art | ⑩ Vegetation Planters - Dark Grey |
| | ⑪ Cast Stone Ledge - Dark Grey |



- ① Brick - Dark Grey (BR-1)
- ② Brick - Medium Red (BR-2)
- ③ Cast Stone - Dark Grey (CS-1)

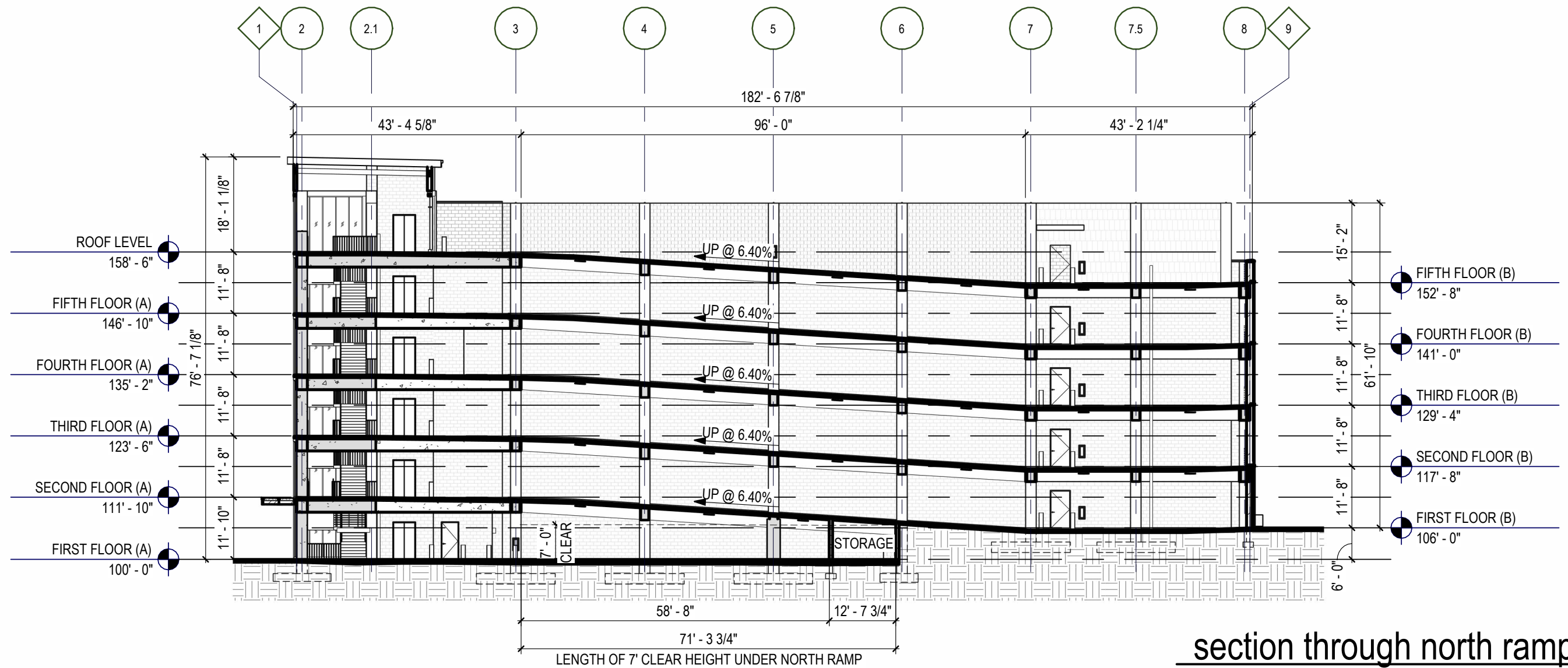
- ④ Storefront System Mullion - Clear Anodized
- ⑤ Miscellaneous Metals - Metal Panel - Grey
- ⑥ Miscellaneous Metal - Break Metal - Black

- ⑦ Scrim Cladding Screen w/ Custom Art Print - 34% Open
- ⑧ Metal Mesh w/ Vegetation - Black



section through center ramp

3/64" = 1'-0"



MATERIAL TYPE	EAST - TOTAL FACADE AREA:	5,430 SF
PRIMARY	BRICK (AREA):	4,812 SF
PRIMARY	CONCRETE (AREA):	305 SF
PRIMARY	CAST STONE (AREA):	288 SF
SECONDARY	METAL PANEL (AREA):	25 SF

PRIMARY MATERIALS TOTAL AREA: 5,405 SF

REQUIRED: 80%
PROVIDED: 99.5% (5,405 / 5,430 = .995)

SECONDARY MATERIALS TOTAL AREA: 25 SF

REQUIRED: <20%
PROVIDED: 0.5% (25 / 5,430 = 0.0045)

FACADE REQUIREMENTS: EAST FACADE

STREET FACADE: YES
PRINCIPLE ENTRANCE: YES

NUMBER OF ENTRANCES

REQUIRED: 1 PER 75 FEET OF FACADE
FACADE LENGTH: 182'-2 1/2"
REQUIRED: $182.25 / 75 = 3 (2.4)$
PROVIDED: 2

GROUND STORY

HEIGHT: 11'-8" ON EAST SIDE

GROUND STORY TOTAL AREA: 2,121 SF

TRANSPARENCY:

GROUND STORY TRANSPARENCY ZONE AREA: 1,091 SF
(2'-0" TO 8'-0" ABOVE GRADE)

GROUND STORY TRANSPARENCY AREA: 705 SF
(2'-0" TO 8'-0" ABOVE GRADE)

TRANSPARENCY PROVIDED: 65% (705 / 1,091 = 0.646)

TRANSPARENCY REQUIRED: 65%

BLANK WALL LIMITATIONS

REQUIRED: YES (NO OPEN AREA GREATER THAN 30% OF A STORY'S FACADE, AS MEASURED FROM FLOOR TO FLOOR, SHALL BE WINDOWLESS ON THE GROUND STORY AND SOLID ON THE UPPER STORIES)

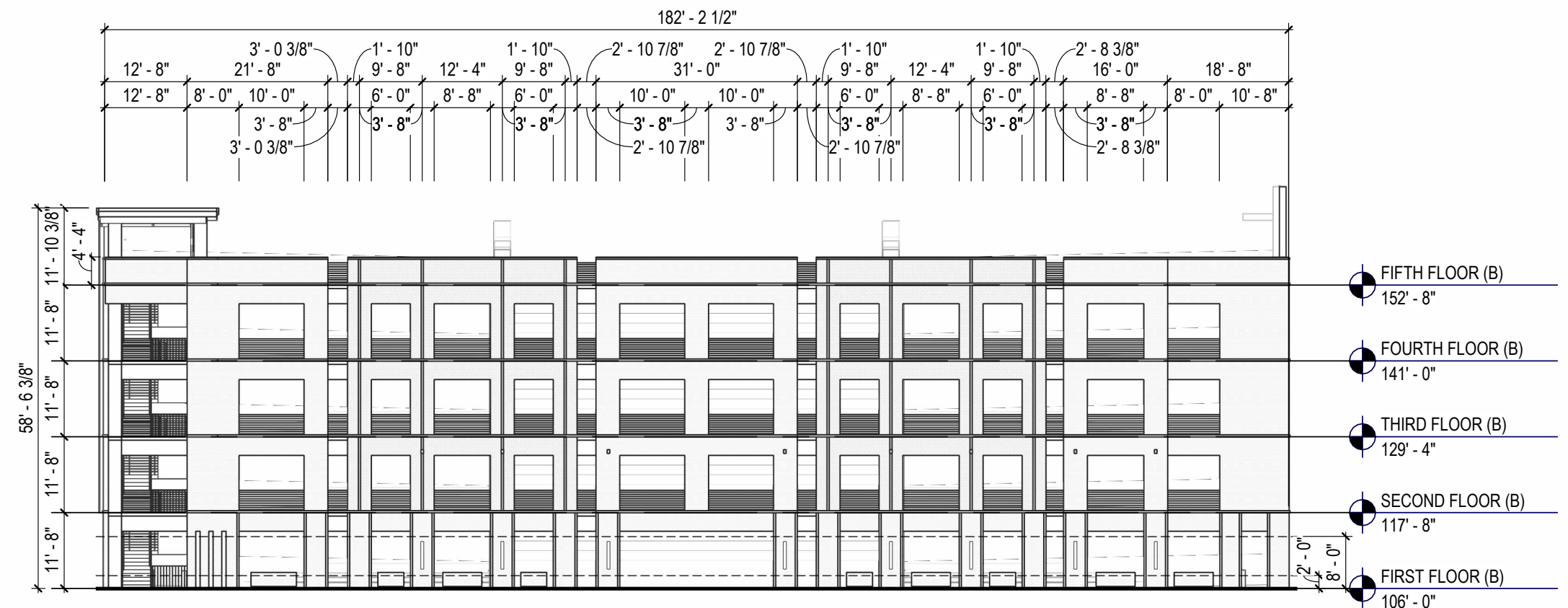
PROVIDED: YES

VERTICAL FACADE DIVISIONS

REQUIRED: YES (NO GREATER THAN 30 FT. INCREMENTS)
PROVIDED: NO

HORIZONTAL FACADE DIVISIONS

REQUIRED: YES (WITHIN 3'-0" OF TOP OF GROUND STORY)
PROVIDED: YES



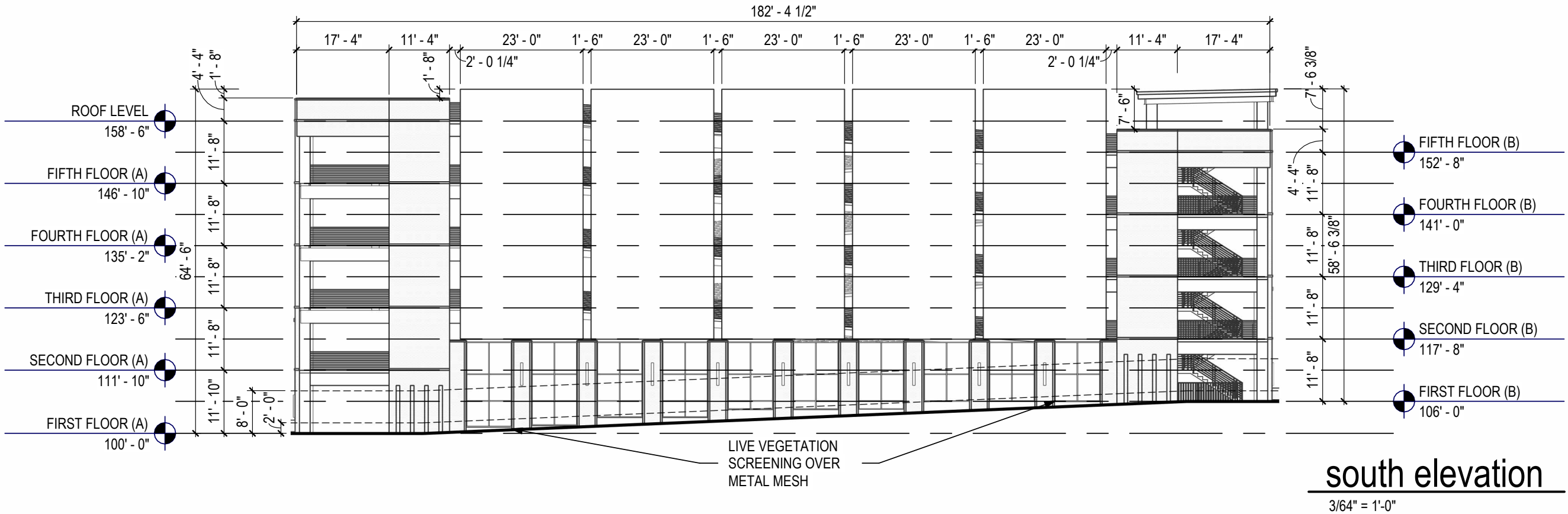
east elevation

$$3/64'' = 1'-0''$$

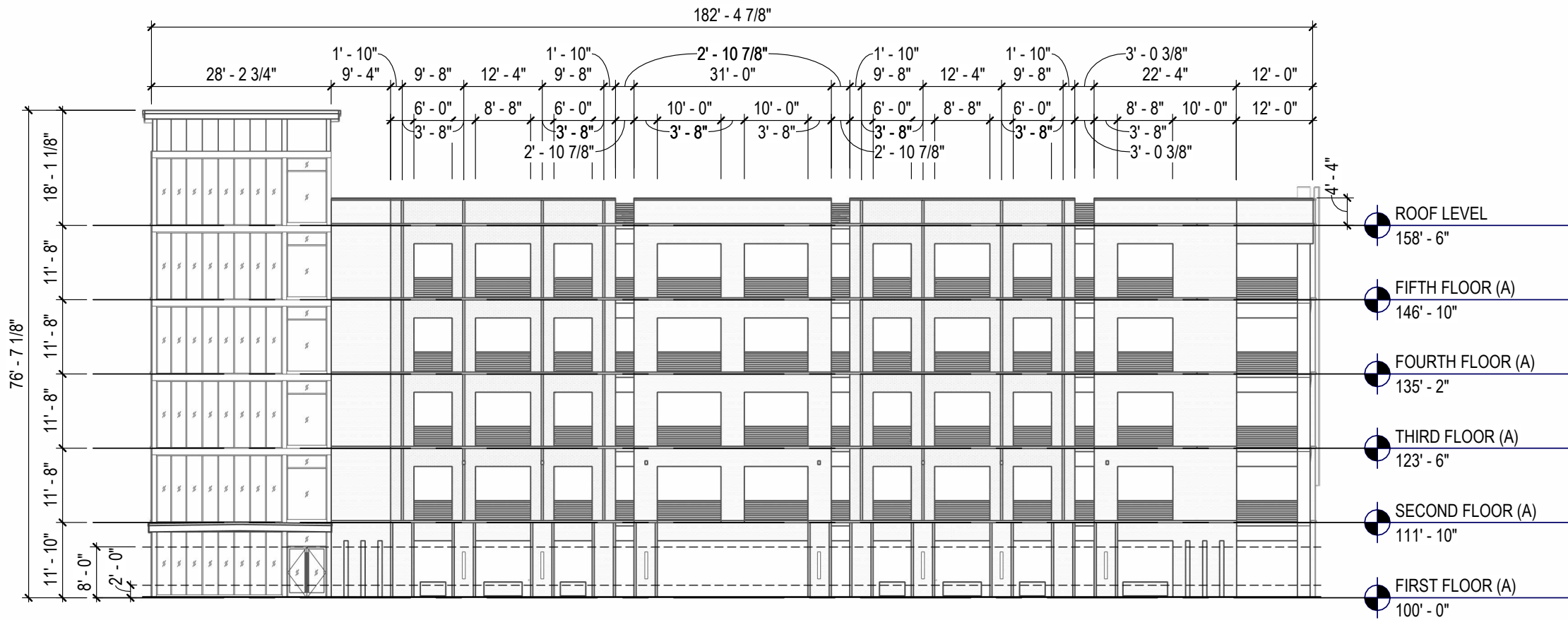
MATERIAL TYPE	SOUTH -TOTAL FACADE AREA:	9,305 SF
PRIMARY	BRICK (AREA):	2,063 SF
PRIMARY	CONCRETE (AREA):	653 SF
PRIMARY	CAST STONE (AREA):	78 SF
SECONDARY	METAL PANEL (AREA):	35 SF
SECONDARY	SCRIM SCREEN (AREA):	5,348 SF
SECONDARY	OPEN METAL MESH (AREA):	1,128 SF
PRIMARY MATERIALS		TOTAL AREA: 2,794 SF
REQUIRED:	80%	
PROVIDED:	30.0% (2,794 / 9,305 = .300)	
SECONDARY MATERIALS		TOTAL AREA: 6,511 SF
REQUIRED:	<20%	
PROVIDED:	69.9% (6,511 / 9,305 = 0.699)	
FACADE REQUIREMENTS: SOUTH FACADE		
STREET FACADE:	YES	
PRINCIPLE ENTRANCE:	NO	

NUMBER OF ENTRANCES	
REQUIRED:	1 PER 75 FEET OF FACADE
FACADE LENGTH:	182'-4 1/2"
REQUIRED:	182.375 / 75 = 3 (2.4)
PROVIDED:	2
GROUND STORY	
HEIGHT (VARIES):	11'-10" ON WEST SIDE 11'-8" ON EAST SIDE
GROUND STORY TOTAL AREA:	2,121 SF
TRANSPARENCY:	
GROUND STORY TRANSPARENCY ZONE AREA:	1,089 SF
(2'-0" TO 8'-0" ABOVE GRADE)	
GROUND STORY TRANSPARENCY AREA:	694 SF
(2'-0" TO 8'-0" ABOVE GRADE)	
TRANSPARENCY PROVIDED:	63% (694 / 1,089 = 0.637)
TRANSPARENCY REQUIRED:	0%

BLANK WALL LIMITATIONS	
REQUIRED:	YES (NO OPEN AREA GREATER THAN 30% OF A STORY'S FACADE, AS MEASURED FROM FLOOR TO FLOOR, SHALL BE WINDOWLESS ON THE GROUND STORY AND SOLID ON THE UPPER STORIES)
PROVIDED:	YES
VERTICAL FACADE DIVISIONS	
REQUIRED:	YES (NO GREATER THAN 30 FT. INCREMENTS)
PROVIDED:	YES
HORIZONTAL FACADE DIVISIONS	
REQUIRED:	YES (WITHIN 3'-0" OF TOP OF GROUND STORY)
PROVIDED:	YES



MATERIAL TYPE	WEST - TOTAL FACADE AREA:	7,948 SF	NUMBER OF ENTRANCES	BLANK WALL LIMITATIONS
PRIMARY	BRICK (AREA):	5,146 SF	REQUIRED: 1 PER 75 FEET OF FACADE	REQUIRED: YES (NO OPEN AREA GREATER THAN 30% OF A STORY'S FACADE, AS MEASURED FROM FLOOR TO FLOOR, SHALL BE WINDOWLESS ON THE GROUND STORY AND SOLID ON THE UPPER STORIES)
PRIMARY	CONCRETE (AREA):	345 SF	FACADE LENGTH: 182'-4 7/8"	
PRIMARY	CAST STONE (AREA):	290 SF	REQUIRED: 182.4 / 75 = 3 (2.4)	
PRIMARY	GLAZING (WINDOWS AND DOORS) (AREA):	1,943 SF	PROVIDED: 2	
SECONDARY	METAL PANEL (AREA):	224 SF		PROVIDED: YES
PRIMARY MATERIALS		TOTAL AREA: 7,724 SF	GROUND STORY	VERTICAL FACADE DIVISIONS
REQUIRED:	80%		HEIGHT: 11'-10" ON WEST SIDE	REQUIRED: YES (NO GREATER THAN 30 FT. INCREMENTS)
PROVIDED:	97% (7,724 / 7,948 = 0.972)		GROUND STORY TOTAL AREA: 2,153 SF	PROVIDED: NO
SECONDARY MATERIALS		TOTAL AREA: 224 SF	TRANSPARENCY:	HORIZONTAL FACADE DIVISIONS
REQUIRED:	<20%		GROUND STORY TRANSPARENCY ZONE AREA: 1,092 SF	REQUIRED: YES (WITHIN 3'-0" OF TOP OF GROUND STORY)
PROVIDED:	3% (224 / 7,948 = 0.028)		(2'-0" TO 8'-0" ABOVE GRADE)	PROVIDED: YES
FACADE REQUIREMENTS: WEST FACADE			GROUND STORY TRANSPARENCY AREA: 722 SF	
STREET FACADE:	YES		(2'-0" TO 8'-0" ABOVE GRADE)	
PRINCIPLE ENTRANCE:	YES		TRANSPARENCY PROVIDED: 66.1% (722 / 1,092 = 0.661)	
			TRANSPARENCY REQUIRED: 65%	



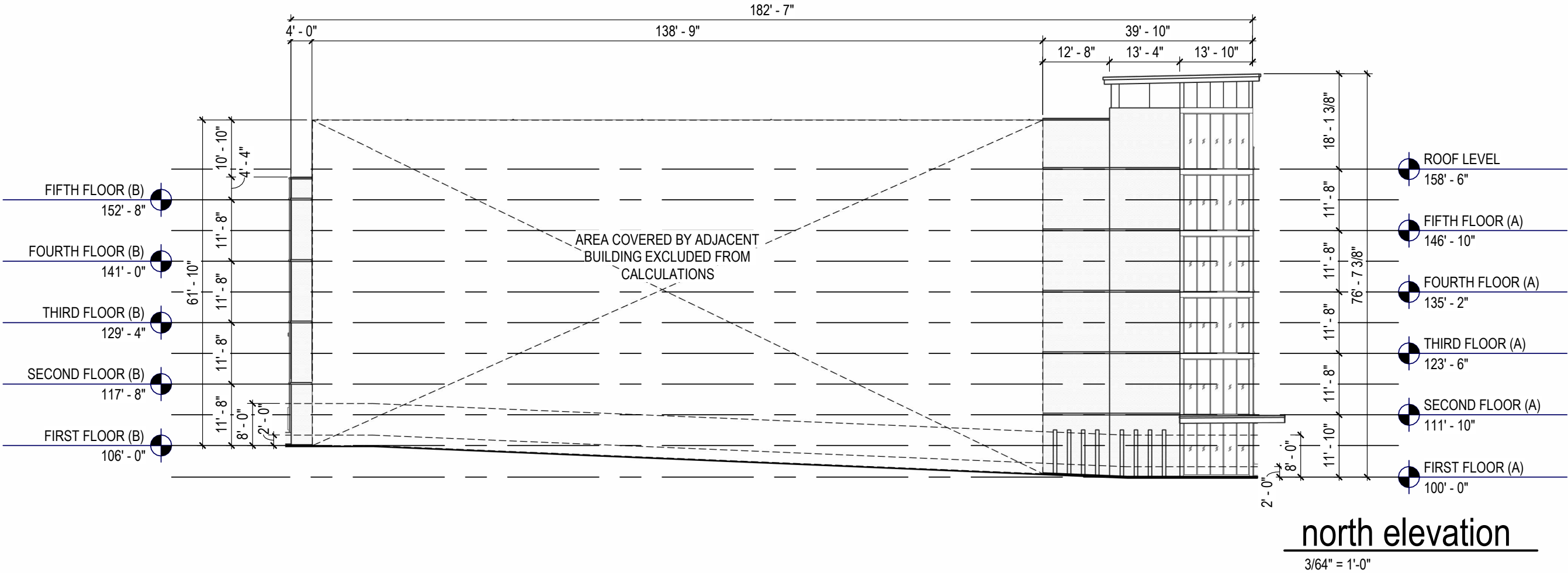
west elevation

3/64" = 1'-0"

MATERIAL TYPE		NORTH -TOTAL FACADE AREA:	3,125 SF
PRIMARY	BRICK (AREA):		1,978 SF
PRIMARY	GLAZING (WINDOWS AND DOORS) (AREA):		950 SF
SECONDARY	METAL PANEL (AREA):		197 SF
PRIMARY MATERIALS		TOTAL AREA:	2,928 SF
REQUIRED:	80%		
PROVIDED:	93.7% (2,928 / 3,125 = 0.937)		
SECONDARY MATERIALS		TOTAL AREA:	197 SF
REQUIRED:	<20%		
PROVIDED:	6.3% (197 / 3,125 = 0.063)		
FACADE REQUIREMENTS: NORTH FACADE			
STREET FACADE:			NO
PRINCIPLE ENTRANCE:			NO

NUMBER OF ENTRANCES	
REQUIRED:	0
GROUND STORY	
HEIGHT (VARIES): 11'-10" ON WEST SIDE 11'-8" ON EAST SIDE	
GROUND STORY TOTAL AREA:	527 SF
TRANSPARENCY:	
GROUND STORY TRANSPARENCY ZONE AREA: (2'-0" TO 8'-0" ABOVE GRADE)	263 SF
GROUND STORY TRANSPARENCY AREA: (2'-0" TO 8'-0" ABOVE GRADE)	83 SF
TRANSPARENCY PROVIDED:	31% (83 / 263 = 0.315)
TRANSPARENCY REQUIRED:	0%

BLANK WALL LIMITATIONS	
REQUIRED:	YES (NO RECTANGULAR AREA GREATER THAN 30% OF A STORY'S FACADE, AS MEASURED FROM FLOOR TO FLOOR, SHALL BE SOLID)
PROVIDED:	YES
VERTICAL FACADE DIVISIONS	
REQUIRED:	NO
PROVIDED:	YES (NO GREATER THAN 30 FT. INCREMENTS)
HORIZONTAL FACADE DIVISIONS	
REQUIRED:	NO (WITHIN 3'-0" TO TOP OF GROUND STORY)
PROVIDED:	YES





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VEGETATED SCREENING



DECORATIVE ART SCRIM



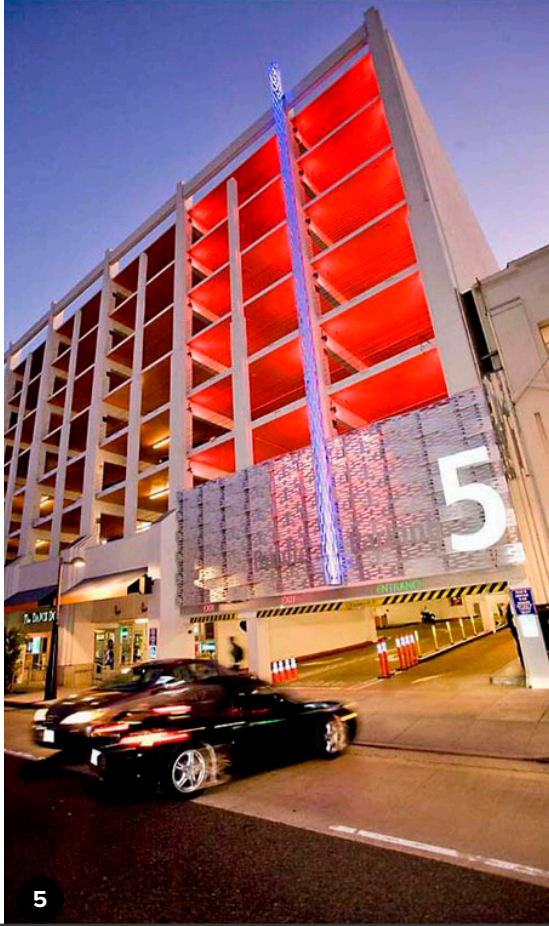
CONCRETE STAIR



FROSTED GLAZING



ACCENT LIGHTING



ACCENT COLOR



ACCENT LIGHTING



DECORATIVE ART SCRIM

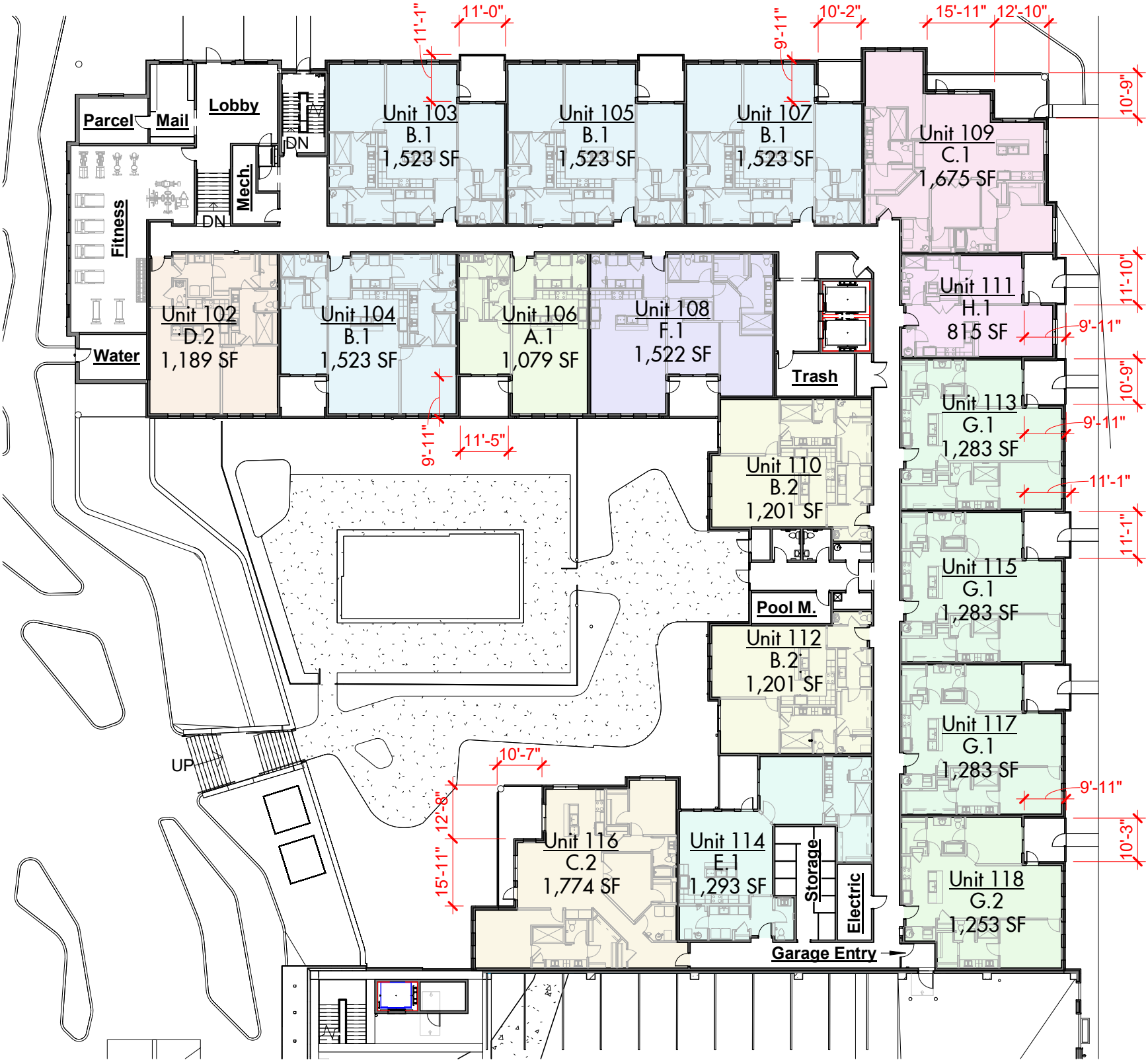
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Front RBZ: 5 - 20 ft.
Requirement Met

Corner Side RBZ: 5 - 20 ft.
Requirement Met

Building Area Schedule	
Level	Area (Gross)
Floor 1	31,769 SF
Floor 2	32,246 SF
Floor 3	32,223 SF
Floor 4	32,246 SF
Floor 5	31,706 SF
	160,191 SF

Unit Area Schedule			
Unit Type	Unit Description	Area (Gross)	Count
A.1	1 Bedroom, 1 1/2 Bath	1,079 SF	5
B.1	2 Bedroom, 2 Bath	1,523 SF	20
B.2	1 Bedroom, 1 1/2 Bath	1,201 SF	2
B.3	2 Bedroom, 2 Bath	1,497 SF	8
C.1	3 Bedroom, 2 Bath	1,675 SF	5
C.2	3 Bedroom, 2 Bath	1,774 SF	5
D.1	3 Bedroom 2 1/2 Bath	1,806 SF	8
D.2	1 Bedroom, 1 1/2 Bath	1,189 SF	1
E.1	1 Bedroom, 1 1/2 Bath	1,293 SF	5
F.1	2 Bedroom, 2 Bath	1,522 SF	5
G.1	2 Bedroom, 2 Bath	1,283 SF	15
G.2	2 Bedroom, 2 Bath	1,253 SF	5
H.1	1 Bedroom, 1 Bath	815 SF	5
Grand total		126,784 SF	89





Condominium Floor 1 Plan
1" = 30'-0"

BLOCK J - Condominium Building

BSD Building Type: Apartment Building

03-19-2025



Condominium Floor 2 Plan

1" = 30'-0"

BLOCK J - Condominium Building

BSD Building Type: Apartment Building

03-19-2025







Condominium Floor 3 Plan


1" = 30'-0"

BLOCK J - Condominium Building

BSD Building Type: Apartment Building

03-19-2025





Condominium Floor 4 Plan
1" = 30'-0"

BLOCK J - Condominium Building

BSD Building Type: Apartment Building

03-19-2025





Condominium Floor 5 Plan
1" = 30'-0"

BLOCK J - Condominium Building

BSD Building Type: Apartment Building

03-19-2025

- MATERIALS KEY:
1.

THIN BRICK VENEER WITH
MATCHING MORTAR;
RUNNING BOND COURSING
2.

THIN BRICK ROWLOCK SILL
3.

THIN BRICK SOLDIER
HEADER
4.

CORBELED THIN BRICK
STRETCHER COURSE
5.

CORBELED THIN BRICK
DOUBLE SOLDIER COURSE
6.

CAST STONE WATERTABLE
WITH MATCHING MORTAR
7.

CAST STONE SILL WITH
MATCHING MORTAR
8.

CAST STONE MASONRY
VENEER WITH MATCHING
MORTAR
9.

FLAT SHINGLE STYLE
INTERLOCKING METAL WALL
PANEL SIDING
10.

ALUMINUM COMPOSITE
MATERIAL PANEL SIDING
11.

INTAKE / EXHAUST VENT;
COLOR TO MATCH
ADJACENT MATERIAL
12.

PREFINISHED ALUMINUM
STOREFRONT ENTRY,
BLACK, WITH PREFINISHED
METAL CANOPY WITH
HANGER RODS, BLACK
13.

COMPOSITE FIXED OR
SINGLE HUNG WINDOW
WITH TRANSOM, BLACK
14.

INSULATED METAL, FULL
GLASS BALCONY DOOR,
PAINT - BLACK
15.

PREFINISHED ALUMINUM
GUARD RAIL WITH
STAINLESS STEEL CABLE
RAILS
16.

PREFINISHED METAL
COPING, BLACK
17.

WALL WASH LED LIGHT
FIXTURE, BLACK
18.

LINEAR LED LIGHT FIXTURE,
BLACK
19.

PREFINISHED ALUMINUM
SCUPPER, LEADER BOX &
DOWNSPOUT, BLACK
20.

PREFINISHED ALUMINUM
SCUPPER OVERFLOW
21.

CAST STONE CORBELLED
VENEER



Condominium East Elevation

1" = 20'-0"



Condominium North Elevation

1" = 20'-0"

BLOCK J - Condominium Building

BSD Building Type: Apartment Building

03-19-2025

- MATERIALS KEY:
1. THIN BRICK VENEER WITH MATCHING MORTAR; RUNNING BOND COURSING

2. THIN BRICK ROWLOCK SILL

3. THIN BRICK SOLDIER HEADER

4. CORBELED THIN BRICK STRETCHER COURSE

5. CORBELED THIN BRICK DOUBLE SOLDIER COURSE

6. CAST STONE WATERTABLE WITH MATCHING MORTAR

7. CAST STONE SILL WITH MATCHING MORTAR

8. CAST STONE MASONRY VENEER WITH MATCHING MORTAR

9. FLAT SHINGLE STYLE INTERLOCKING METAL WALL PANEL SIDING

10. ALUMINUM COMPOSITE MATERIAL PANEL SIDING

11. INTAKE / EXHAUST VENT; COLOR TO MATCH ADJACENT MATERIAL

12. PREFINISHED ALUMINUM STOREFRONT ENTRY, BLACK, WITH PREFINISHED METAL CANOPY WITH HANGER RODS, BLACK

13. COMPOSITE FIXED OR SINGLE HUNG WINDOW WITH TRANSOM, BLACK

14. INSULATED METAL, FULL GLASS BALCONY DOOR, PAINT - BLACK

15. PREFINISHED ALUMINUM GUARD RAIL WITH STAINLESS STEEL CABLE RAILS

16. PREFINISHED METAL COPING, BLACK

17. WALL WASH LED LIGHT FIXTURE, BLACK

18. LINEAR LED LIGHT FIXTURE, BLACK

19. PREFINISHED ALUMINUM SCUPPER, LEADER BOX & DOWNSPOUT, BLACK

20. PREFINISHED ALUMINUM SCUPPER OVERFLOW

21. CAST STONE CORBELLED VENEER



Condominium West Elevation

1" = 20'-0"



Condominium South Elevation

1" = 20'-0"

Condominium Courtyard North Elevation

1" = 20'-0"

BLOCK J - Condominium Building

BSD Building Type: Apartment Building

03-19-2025



WALL WASH LED LIGHT FIXTURE - 5 INCH



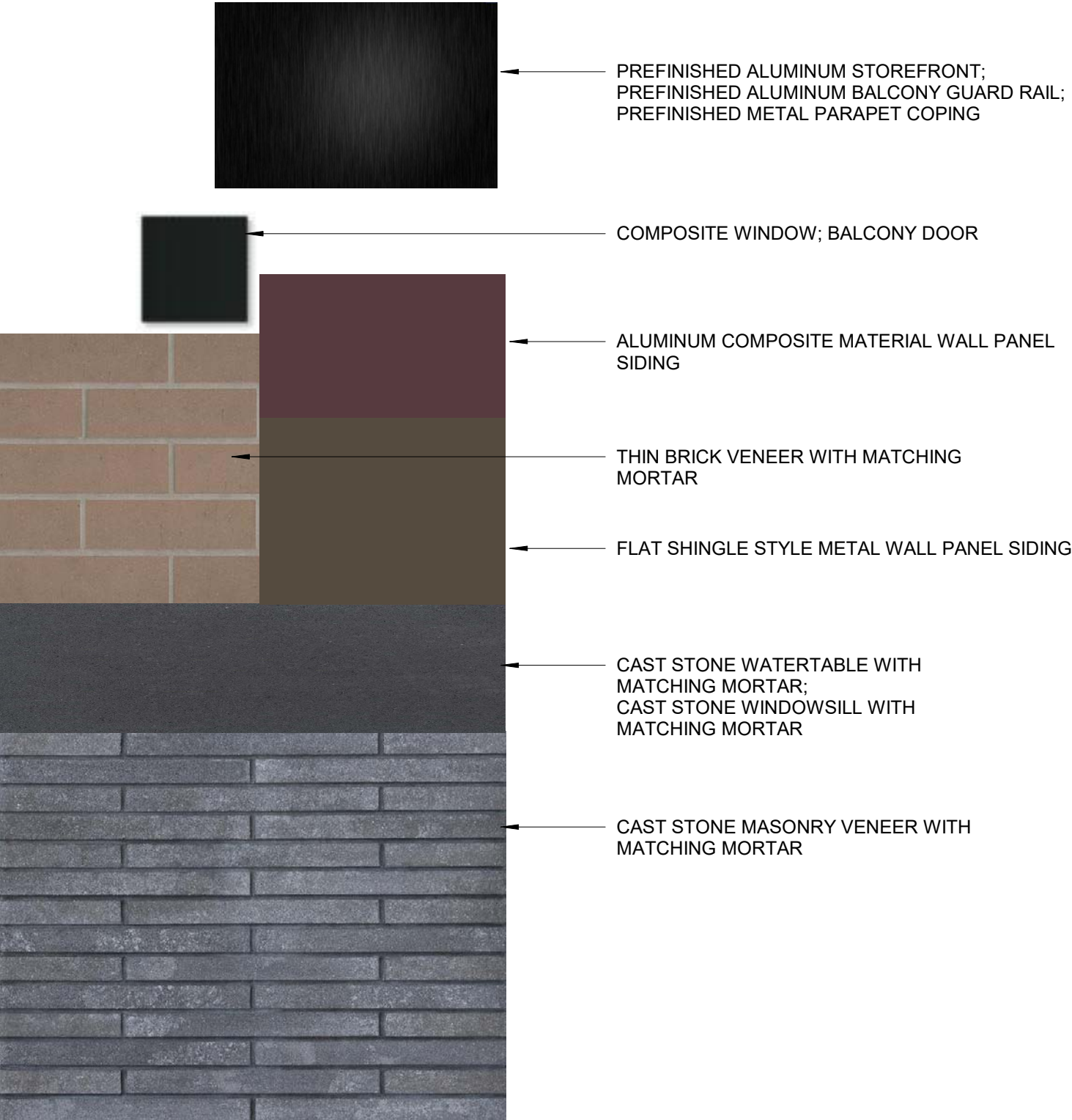
UNIT BALCONY LED LIGHT FIXTURE - 6 INCH



LINEAR LED LIGHT FIXTURE - 72 INCH



COURTYARD ENTRY LED LIGHT FIXTURE - 18 INCH



BLOCK J - Condominium Building

BSD Building Type: Apartment Building

03-19-2025



Total Facade Area* = 10,756 SF			Waiver Requested		
*Windows/Doors not included in Facade Area					
Material	Primary / Secondary	Area (SF)	Percentage	Required	Met?
Brick Base	Primary	3,266	30.36%		
Thin Brick	Primary	3,900	36.26%		
		7,166	66.62%	80%	N
Metal Siding (including vents)	Secondary	3,590	33.38%	<20%	N

BSD Building Type: Apartment Building

Z9

Facade Materials, Transparency & Calculations

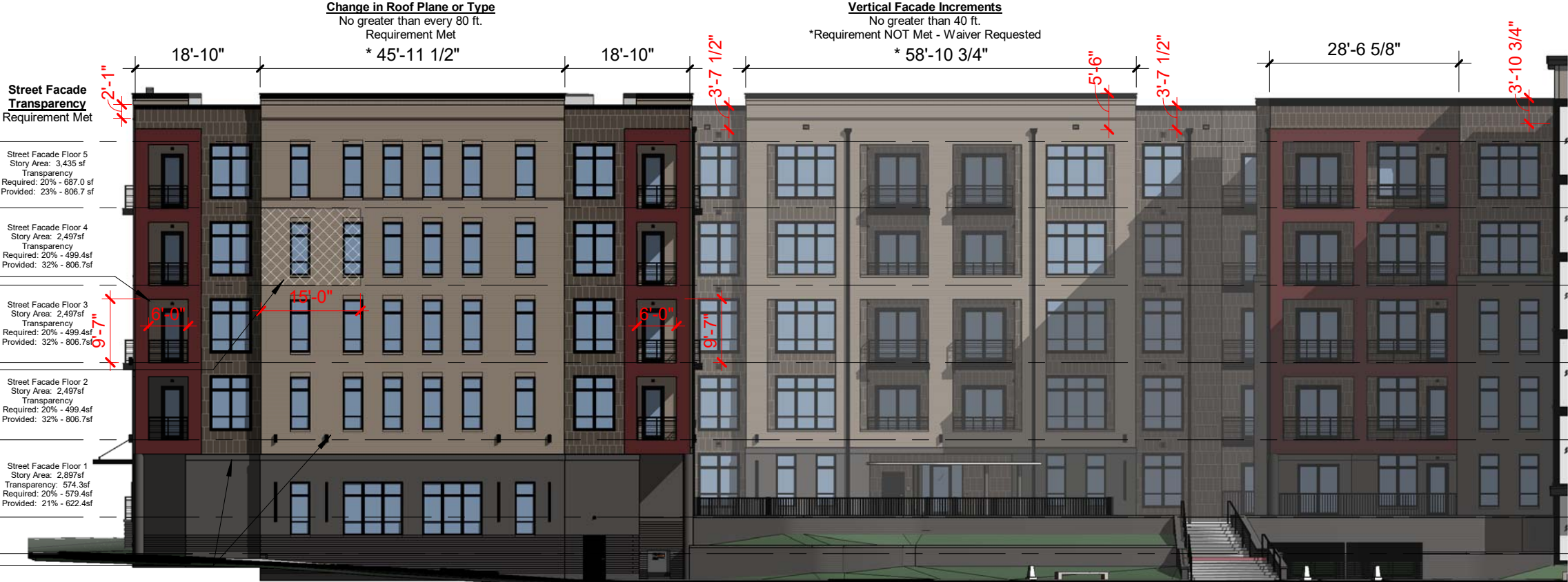


SULLIVAN BRUCK
ARCHITECTS

Balcony Facade Coverage
Total Facade Area: 5,775 sf
Total Balcony Area: 460 sf
Required: 40% maximum
Provided: 8%
Requirement Met

Blank Wall Limitation
Requirement Met

Horizontal Facade Divisions
(required within 3' of top of ground story on buildings 3 stories and taller)
Requirement Met



Condominium West Elevation Calculations

1" = 20'-0"

Vertical Facade Increments
No greater than 40 ft.
*Requirement NOT Met - Waiver Requested
102'-3"

Non-Street Facade Transparency
Requirement Met

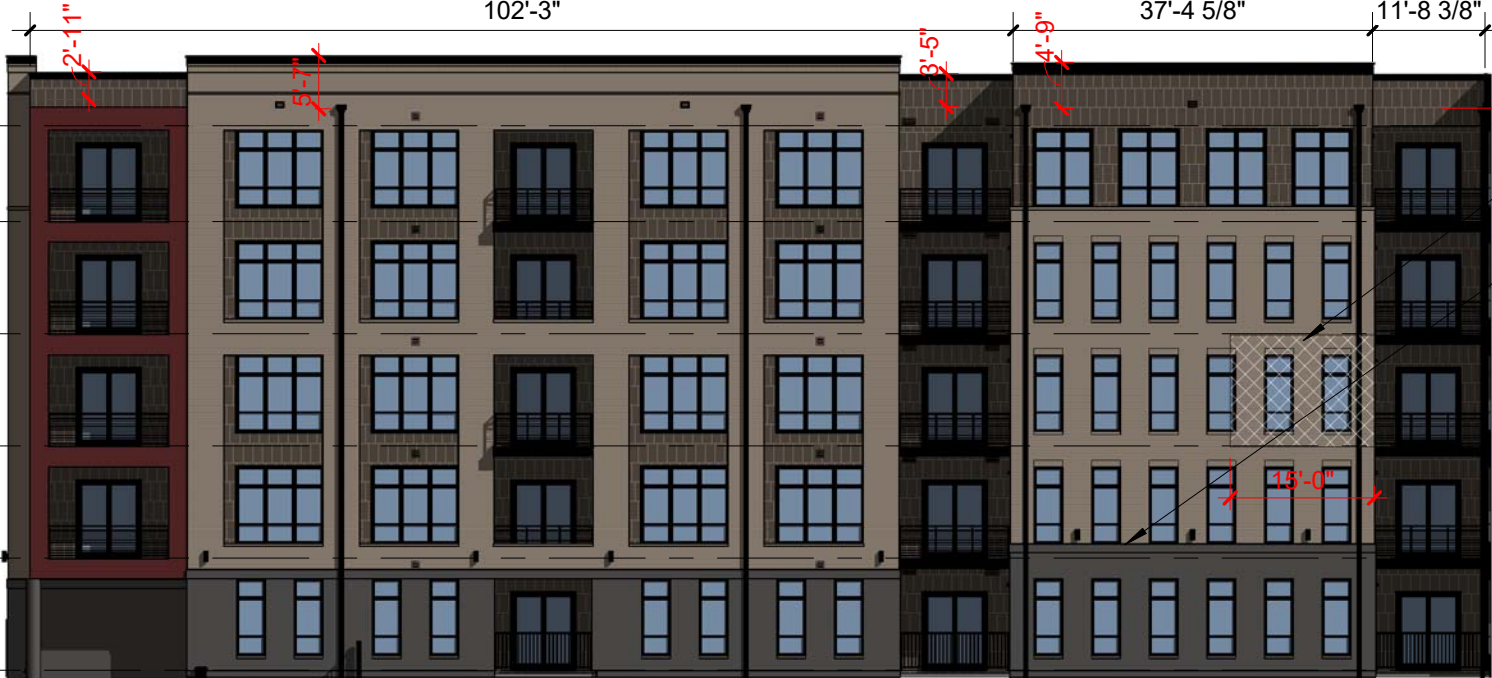
Non-Street Facade Floor 5
Story Area: 2,439 sf
Transparency
Required: 15% - 365.8 sf.
Provided: 26% - 673.2 sf.

Non-Street Facade Floor 4
Story Area: 1,766 sf
Transparency
Required: 15% - 264.9 sf.
Provided: 35% - 624.2 sf.

Non-Street Facade Floor 3
Story Area: 1,766 sf
Transparency
Required: 15% - 264.9 sf.
Provided: 35% - 624.2 sf.

Non-Street Facade Floor 2
Story Area: 1,766 sf
Transparency
Required: 15% - 264.9 sf.
Provided: 35% - 624.2 sf.

Non-Street Facade Floor 1
Story Area: 1,815 sf
Transparency
Required: 15% - 272.3 sf.
Provided: 26% - 480.4 sf.



Condominium South Elevation Calculations

1" = 20'-0"

BLOCK J - Condominium Building

BSD Building Type: Apartment Building

Total Facade Area* = 9,916 SF			Waiver Requested		
*Windows/Doors not included in Facade Area					
Material	Primary / Secondary	Area (SF)	Percentage	Required	Met?
Brick Base	Primary	1,955	19.72%		
Thin Brick	Primary	3,365	33.93%		
		5,320	53.65%	80%	N
Metal Siding (including vents)	Secondary	4,596	46.35%	<20%	N

Blank Wall Limitation
Requirement Met

Horizontal Facade Divisions
(required within 3 ft. of top of ground story on buildings 3 stories and taller)
Requirement Met

Total Facade Area* = 6,527 SF				Waiver Requested	
*Windows/Doors not included in Facade Area					
Material	Primary / Secondary	Area (SF)	Percentage	Required	Met?
Brick Base	Primary	1,053	16.13%		
Thin Brick	Primary	2,733	41.87%		
		3,786	58.00%	80%	N
Metal Siding (including vents)	Secondary	2,741	42.00%	<20%	N

03-19-2025



Condominium East Elevation Calculations

1" = 20'-0"

Total Facade Area* = 9,730 SF			Waiver Requested		
*Windows/Doors not included in Facade Area					
Material	Primary / Secondary	Area (SF)	Percentage	Required	Met?
Brick Base	Primary	2,058	21.15%		
Thin Brick	Primary	3,663	37.65%		
		5,721	58.80%	80%	N
Metal Siding (including vents)	Secondary	4,009	41.20%	<20%	N

Non-Street Facade Transparency Requirement Met

Non-Street Facade Floor 5
Story Area: 1,043 sf
Transparency
Required: 15% - 156.5 sf
Provided: 21% - 216.0 sf

Non-Street Facade Floor 3
Story Area: 787 sf
Transparency
Required: 15% - 118.0 sf
Provided: 27% - 216.0 sf

Non-Street Facade Floor 3
Story Area: 787 sf
Transparency
Required: 15% - 118.0 sf
Provided: 27% - 216.0 sf

Non-Street Facade Floor 2
Story Area: 787 sf
Transparency
Required: 15% - 118.0 sf
Provided: 27% - 216.0 sf

Non-Street Facade Floor 2
Story Area: 632 sf
Transparency
Required: 15% - 124.8 sf
Provided: 26% - 216.0 sf



Blank Wall Limitation Requirement Met

Roof Truss Brg.
909'-7 5/8"

Floor 5
899'-8"

Floor 4
888'-0"

Floor 3
876'-4"

Floor 2
864'-8"

Floor 1
853'-0"

Horizontal Facade Divisions (required within 3' of top of ground story on buildings 3 stories and taller) Requirement Met

Total Facade Area* = 3,154 SF			Waiver Requested		
*Windows/Doors not included in Facade Area					
Material	Primary / Secondary	Area (SF)	Percentage	Required	Met?
Brick Base	Primary	814	25.81%		
Thin Brick	Primary	0	0.00%		
		814	25.81%	80%	N
Metal Siding (including vents)	Secondary	2,340	74.19%	<20%	N

Courtyard North Elevation Calculations

1" = 20'-0"

BLOCK J - Condominium Building

BSD Building Type: Apartment Building

03-19-2025



BLOCK J - Condominium Building

03-19-2025



BLOCK J - Condominium Building

03-19-2025



BLOCK J - Condominium Building

03-19-2025

BSD Building Type: Apartment Building



BLOCK J - Condominium Building

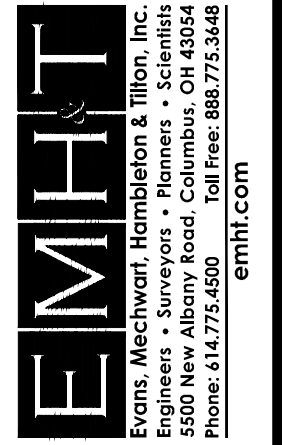
03-19-2025

ID	Common Name	Scientific Name	DBH (inches)	No. of Trunks	Condition
1	Eastern Cottonwood	Populus deltoides	6	1	Good
2	Eastern Cottonwood	Populus deltoides	6	1	Good
3	Eastern Cottonwood	Populus deltoides	6	1	Good
4	Eastern Cottonwood	Populus deltoides	8	1	Good
5	Eastern Cottonwood	Populus deltoides	6,6 (12)	2	Good
6	Eastern Cottonwood	Populus deltoides	6	1	Good
7	Eastern Cottonwood	Populus deltoides	6	1	Good
8	Eastern Cottonwood	Populus deltoides	6	1	Good
9	Eastern Cottonwood	Populus deltoides	6	1	Good
10	Eastern Cottonwood	Populus deltoides	7	1	Good
11	Eastern Cottonwood	Populus deltoides	7,7 (14)	2	Good
12	Eastern Cottonwood	Populus deltoides	6	1	Good
13	Staghorn Sumac	Rhus typhina	6	1	Good
14	Eastern Cottonwood	Populus deltoides	6	1	Good
15	Eastern Cottonwood	Populus deltoides	6	1	Good
16	Eastern Cottonwood	Populus deltoides	7	1	Good
17	Eastern Cottonwood	Populus deltoides	6	1	Good
18	Eastern Cottonwood	Populus deltoides	6	1	Good
19	Eastern Cottonwood	Populus deltoides	6	1	Good
20	Eastern Cottonwood	Populus deltoides	6	1	Good
21	Eastern Cottonwood	Populus deltoides	7	1	Good
22	Eastern Cottonwood	Populus deltoides	6	1	Good
23	Eastern Cottonwood	Populus deltoides	7	1	Good
24	Eastern Cottonwood	Populus deltoides	6	1	Good
25	Eastern Cottonwood	Populus deltoides	8	1	Good
26	Eastern Cottonwood	Populus deltoides	6	1	Good
27	Eastern Cottonwood	Populus deltoides	6	1	Good
28	Eastern Cottonwood	Populus deltoides	6	1	Good
29	Box Elder	Acer negundo	6,6 (12)	2	Good
30	Eastern Cottonwood	Populus deltoides	10	1	Good
31	Staghorn Sumac	Rhus typhina	7	1	Good
32	Green Ash	Fraxinus pennsylvanica	8	1	Poor
33	Box Elder	Acer negundo	14	1	Good
34	Box Elder	Acer negundo	9	1	Good
35	Green Ash	Fraxinus pennsylvanica	12	1	Poor
36	Green Ash	Fraxinus pennsylvanica	8	1	Poor
37	Green Ash	Fraxinus pennsylvanica	6	1	Fair
38	Green Ash	Fraxinus pennsylvanica	8	1	Fair
39	Callery Pear	Pyrus callergana	6	1	Good
40	Callery Pear	Pyrus callergana	10	1	Good
41	Callery Pear	Pyrus callergana	8	1	Good
42	Box Elder	Acer negundo	6	1	Good
43	Green Ash	Fraxinus pennsylvanica	9	1	Fair
44	Green Ash	Fraxinus pennsylvanica	9	1	Fair
45	Hackberry	Celtis occidentalis	15	1	Good
46	Callery Pear	Pyrus callergana	7	1	Good
47	Callery Pear	Pyrus callergana	7	1	Good
48	Callery Pear	Pyrus callergana	10	1	Good
49	Black Locust	Robinia pseudoacacia	8,7 (15)	2	Good
50	Black Walnut	Juglans nigra	7,6,6 (19)	3	Good
51	Red Maple	Acer rubrum	12	1	Good
52	Red Maple	Acer rubrum	12	1	Good
53	Japanese Zelkova	Zelkova serrata	10	1	Good
54	Small-Leaved Linden	Tilia cordata	22	1	Fair
55	Small-Leaved Linden	Tilia cordata	20	1	Fair
56	Small-Leaved Linden	Tilia cordata	18	1	Good
57	Red Maple	Acer rubrum	11,8 (19)	2	Good
58	Small-Leaved Linden	Tilia cordata	7	1	Good
59	Red Maple	Acer rubrum	14	1	Good
60	Red Maple	Acer rubrum	14	1	Good
61	Hedge Maple	Acer campestre	6,6 (12)	2	Good
62	Japanese Zelkova	Zelkova serrata	8	1	Good
63	Japanese Zelkova	Zelkova serrata	8	1	Good
64	Thornless Honey Locust	Gleditsia triacanthos var. inermis	14	1	Good
65	Thornless Honey Locust	Gleditsia triacanthos var. inermis	19	1	Good
66	Thornless Honey Locust	Gleditsia triacanthos var. inermis	17	1	Good
67	Tulip Poplar	Liriodendron tulipifera	17	1	Good
68	Tulip Poplar	Liriodendron tulipifera	17	1	Good
69	Hedge Maple	Acer campestre	12	1	Good
70	Silver Maple	Acer saccharinum	12	1	Good

ID	Common Name	Scientific Name	DBH (inches)	No. of Trunks	Condition
71	Black Cherry	Prunus serotina	8	1	Good
72	Tulip Poplar	Liriodendron tulipifera	18	1	Good
73	Tulip Poplar	Liriodendron tulipifera	16	1	Good
74	Silver Maple	Acer saccharinum	10	1	Good
75	Norway Spruce	Picea abies	12	1	Good
76	Crabapple sp.	Malus sp.	8	1	Fair
77	Crabapple sp.	Malus sp.	8	1	Fair
78	Crabapple sp.	Malus sp.	7	1	Fair
79	Crabapple sp.	Malus sp.	8	1	Fair
80	Crabapple sp.	Malus sp.	7,6 (13)	2	Fair
81	Crabapple sp.	Malus sp.	6	1	Fair
82	Crabapple sp.	Malus sp.	7	1	Fair
83	Crabapple sp.	Malus sp.	8,6 (15)	2	Fair
84	Silver Maple	Acer saccharinum	15	1	Good
85	Silver Maple	Acer saccharinum	14	1	Poor
86	Green Ash	Fraxinus pennsylvanica	12	1	Poor
87	Green Ash	Fraxinus pennsylvanica	11	1	Poor
88	Small-Leaved Linden	Tilia cordata	8	1	Good
89	Green Ash	Fraxinus pennsylvanica	10	1	Poor
90	Green Ash	Fraxinus pennsylvanica	10	1	Poor
91	Hackberry	Celtis occidentalis	10	1	Good
92	London Plane Tree	Platanus x hispanica	8	1	Good
93	London Plane Tree	Platanus x hispanica	7	1	Good
94	London Plane Tree	Platanus x hispanica	8	1	Good
95	Hackberry	Celtis occidentalis	20	1	Good
96	London Plane Tree	Platanus x hispanica	6	1	Good
97	London Plane Tree	Platanus x hispanica	6	1	Good
98	London Plane Tree	Platanus x hispanica	8	1	Good
99	London Plane Tree	Platanus x hispanica	8	1	Good
100	London Plane Tree	Platanus x hispanica	8	1	Good
101	London Plane Tree	Platanus x hispanica	8	1	Good
102	Small-Leaved Linden	Tilia cordata	6	1	Good
103	Small-Leaved Linden	Tilia cordata	6	1	Good
104	Small-Leaved Linden	Tilia cordata	6	1	Good
105	Small-Leaved Linden	Tilia cordata	6	1	Good
106	Sugar Maple	Acer saccharum	6	1	Good
107	Small-Leaved Linden	Tilia cordata	6	1	Good
108	Small-Leaved Linden	Tilia cordata	6	1	Good
109	Small-Leaved Linden	Tilia cordata	6	1	Good
110	Small-Leaved Linden	Tilia cordata	6	1	Good
111	Silver Maple	Acer saccharinum	*6	1	Good
112	Japanese Zelkova	Zelkova serrata	*8	1	Good
113	Sugar Maple	Acer saccharum	*20	1	Good
114	Japanese Zelkova	Zelkova serrata	*4	1	Good
115	Sugar Maple	Acer saccharum	*12	1	Good
116	Sugar Maple	Acer saccharum	*10	1	Good
117	Sugar Maple	Acer saccharum	*8	1	Good
118	Sugar Maple	Acer saccharum	*8	1	Good
119	Sugar Maple	Acer saccharum	*6	1	Good
120	Sugar Maple	Acer saccharum	*6	1	Good
Inside Building Footprint Totals					
Poor Condition Ash Tree Caliper			71		
Fair to Good Condition Ash Tree Caliper			458		
Outside Building Footprint Totals					
Poor Condition Ash Tree Caliper			42		
Fair to Good Condition Ash Tree Caliper			590		
Trees To Be Transplanted Totals					
Other Tree Caliper Total (inches)			44		

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CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
43350 & 4370 DALE DRIVE
PRELIMINARY DEVELOPMENT PLAN
FOR
BRIDGE PARK - BLOCK J
TREE SURVEY TABLE

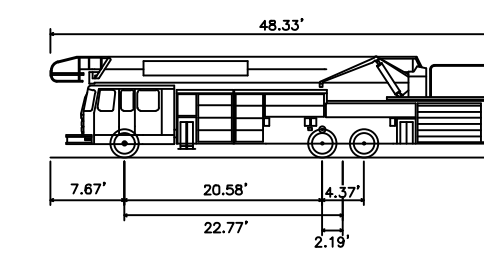
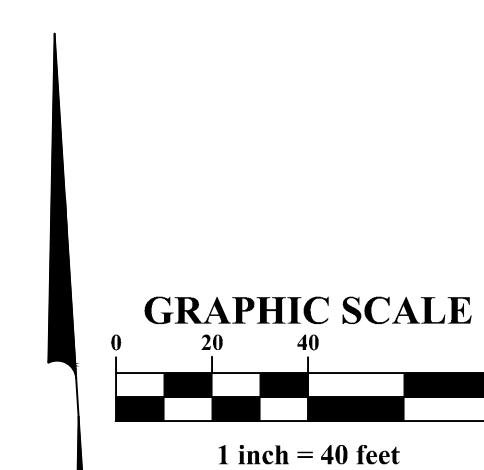
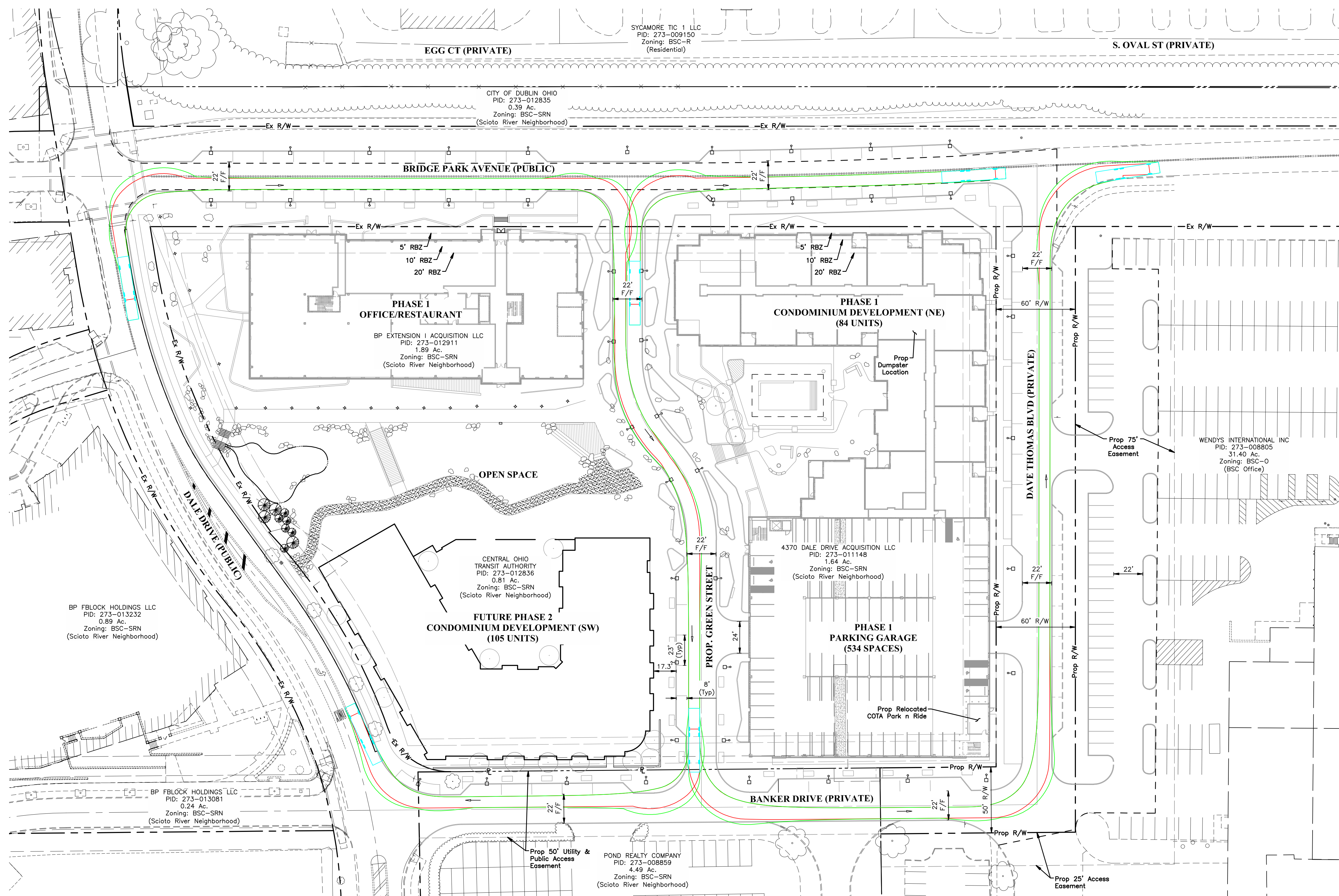


DATE
March 21, 2025
SCALE
NONE
JOB NO.
2024-0817
SHEET
8/9

PRELIMINARY

NOT TO BE USED FOR
CONSTRUCTION

PLAN SET DATE
March 21, 2025



2.19
Aerial Ladder Fire Truck
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Max Wheel Angle

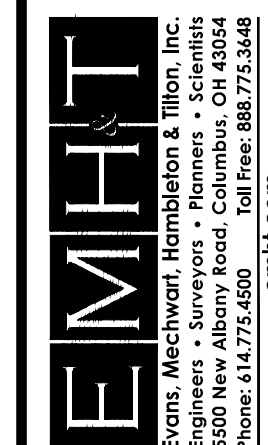
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8.330ft
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8.330ft
6.00s
38.10°

[illegible]

CRAWFORD HOYING



CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
4350 & 4370 DALE DRIVE
PRELIMINARY DEVELOPMENT PLAN
FOR
BRIDGE PARK - BLOCK J
FIRE TRUCK TURNING ANALYSIS



DATE
March 21, 2025

SCALE

1" = 40'

JOB NO.
2024-0817

SHEET

9/9

PRELIMINARY
.....
NOT TO BE USED FOR
CONSTRUCTION

PLAN SET DATE	March 21, 2025
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