

PLANNING REPORT

Architectural Review Board

Wednesday, May 21, 2025

Laird Residence 25-025MPR

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Case Summary

Location	PID 273-013558 - East side of S. Riverview Street, approximately 200 feet north of Short Street.
Proposal	Construction of new residence on .27-acre site.
Request	Review and approval for Minor Project Review (MPR) under the provisions of Zoning Code Section 153.176.
Zoning	HD-HR, Historic Residential District
Planning Recommendations	<u>Approval of Waivers</u> <u>Approval of MPR with Conditions</u>
Next Steps	Upon approval of the Minor Project Review and Waivers, the applicant may apply for building permits through Building Standards.
Applicant	Taylor Sommer, His and Hers Architects
Case Manager	Sarah Tresouthick Holt, AICP, ASLA, Senior Planner (614) 410-4662 sholt@dublin.oh.us

Community Planning and Development



5200 Emerald Parkway
Dublin, Ohio 43017



614.410.4600
dublinohiousa.gov

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Site Location Map

25-025MPR - Laird Residence



Site Features

1 Approx. 1% annual chance floodplain

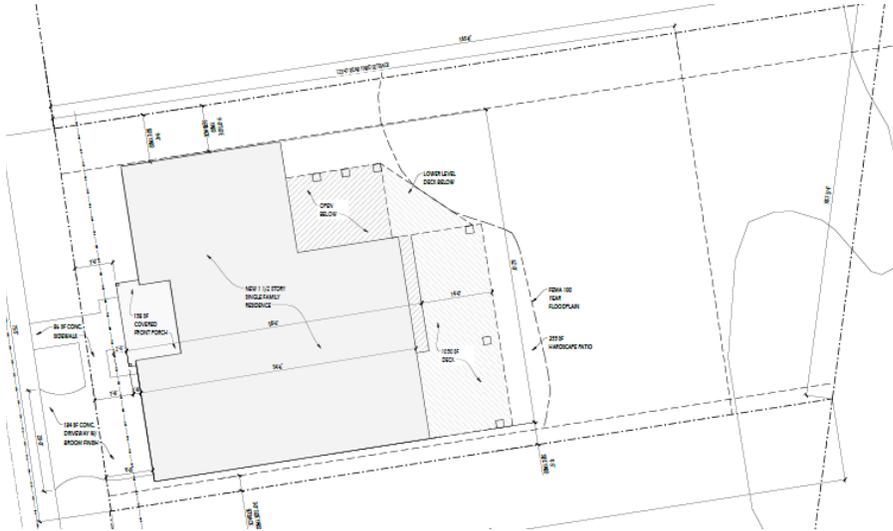


1. Request and Process

Request

The applicant seeks approval for construction of a new home on a newly-created lot on S. Riverview Street. The applicant's goals are stated as:

- Construction of "No Academic Style", 1 1/2 story form, massing, and design; similar size as neighboring structures
- Waivers are necessary for rear height, shed roof pitches, and use of Trex decking



Site Plan

Process

This project comes to the Board because single family homes require approval of a Minor Project Review (MPR). The Community Plan, Code Section 153.176(I)(1), and *Historic Design Guidelines* (Sections 4 and 5) apply.

2. Background

Site Summary

The .27-acre site is newly-created via an approved administrative lot split. The site is located on S. Riverview Street, approximately 200 feet north of Short Street and is adjacent to the Scioto River. It is heavily treed and slopes dramatically down to the river. Five trees are planned to be removed (9.5", 10", 23.5", and multi-stemmed Hackberry, plus 15" Boxelder). Large Chinkapin Oaks and an American Linden will remain. The site contains significant floodplain, similar to other lots on the east side of S. Riverview. Currently, no pedestrian or bike facilities are located on S. Riverview Street.

Case History

January 2025 (Case 24-161)

Informal before the ARB. Board comments included (with updates in italics):

- Overall massing was supported. *No changes made.*

- Larger windows were suggested, especially on the south side. *Paired windows added on south; shutters added to first floor front elevation windows.*
- Materials appeared busy, although differentiation from adjacent houses was appreciated. *No changes made; see comments herein.*

3. Zoning Code and Guidelines

Historic District – Historic Residential District (HD-HR)

The intent of the Historic Residential District per Code is to “encourage the preservation and development of homes on existing or new lots that are comparable in size, mass, and scale, while maintaining and promoting the traditional residential character of the Historic District”.

Historic Design Guidelines

Guidelines Section 5 recommends that new construction take cues from historic buildings to maintain continuity and compatibility. Design, form, mass, height, scale, and lot coverage should all be similar to the Landmark properties.

4. Project

Site Layout

The proposed site layout shows the house close to S. Riverview Street to avoid the slope and floodplain, as permitted by Code. A driveway to a two-car garage is shown on the right side, and the main entry is in the center of the site/front façade. The proposed driveway width at ROW shall be confirmed at building permit.

The applicant requested a gravel parking spot within the S. Riverview right-of-way. Staff reviewed, and acknowledges that other properties have these parking spots within the right-of-way; however, except for 110 S. Riverview, none of these have been approved. 110’s parking spot was permitted specifically, and only, to help school buses and trash trucks to navigate the corner at Pinney Hill Lane. Private improvements are not permitted in the public right-of-way, so the request for a gravel parking area here was denied.

Setbacks and Lot Coverage

Code Table 153.173A governs permissible lot coverage, building footprint sizes, and setbacks for all districts within Historic Dublin. For Historic Residential, the table allows up to 45 percent lot coverage; the building footprint may be up to 25 percent of the lot size; and the rear setback is 20 percent of lot depth, not to exceed 50 feet. The existing lot area is 11,630 square feet. The average lot depth is 153.9 feet. A required stamped survey has not been provided and will be needed at building permit.

Setbacks	Permitted by Code	Shown	Waiver Required
Front	0'	7'6"	no
Side	3' min, total 12'	4'5" and 9'4"	no
Rear	30' 10"	>30' 10"	no

Lot Coverage/ Footprint/ Height	Permitted by Code	Shown	Waiver Required
Lot Coverage	5,233.5 SF (45%)	4,571 SF (39.3%)	no
Building Footprint	2,907.5 SF (25%)	2,896 SF (24%)	no
Height	24'	21' at front 40' at rear	no YES

Building Massing and Scale

The massing and scale is much as presented at Informal, which was well-received and meets Code Table 153.173A. A Waiver is needed for rear height, based on the steep topography, as discussed herein.

Architecture

West Elevation/S. Riverview

The front elevation is essentially as presented at Informal. A large cross gable faces the street and contains a centrally-located front door and a garage door. Staff questioned if the front door area could be brought forward to emphasize it or if it could be emphasized otherwise; the applicant stated that there are utility conflicts that prevent that from occurring, and no changes were made to materials. The proposed supporting columns were thickened to be more proportional to the gable size. Staff requested that the single, windowless garage door be broken into two doors or at least contain windows and hardware. The applicant stated that a single door provides greater maneuverability for her client; windows and some hardware (see specifications) were provided to better address Guidelines 5.5B: avoid monotony of materials.



West Elevation

The first floor, left side windows now have shutters to help balance window size and proportion, per Guidelines Sections 5.6A and B.

The upper level shows a shed roof dormer, with a 3:12 slope, which requires a Waiver to Code 153.174(B)(4)(c)3), herein. The shed roof's windows have trim boards between the windows for a more historically accurate appearance.

East Elevation/Scioto River

The rear elevation is also as presented at Informal. The total height here is noted as 40 feet to the mid-point of the gable; this requires a Waiver, which is supported based on site topography.

The cross gable is visible on the left side and the bay below contains the majority of the rear decking. A sub-gable is brought slightly forward with a greater number of windows, plus deck access. The right side contains a sunroom. Its roof slope requires a Waiver, for which the Board indicated support at Informal. The right side has a shed roof dormer, also needing a roof slope Waiver.



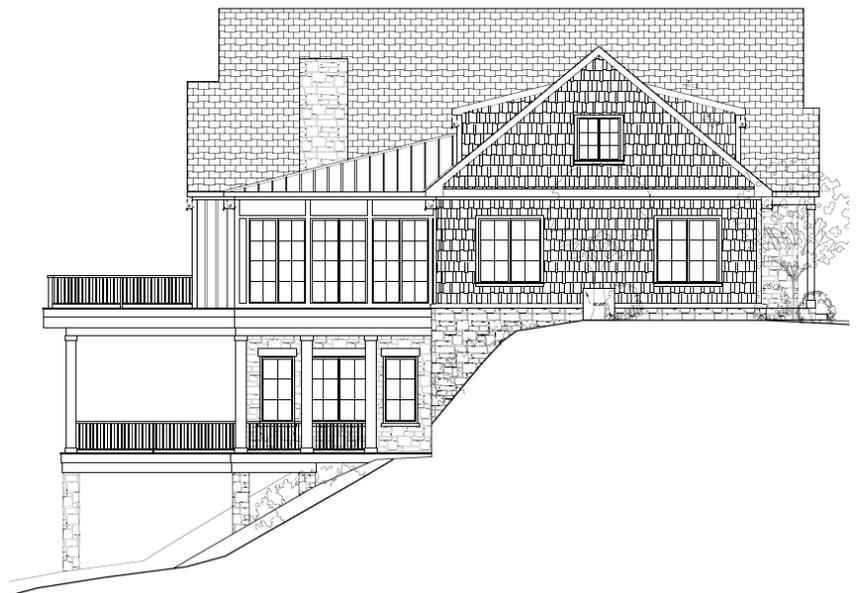
East Elevation

Window arrangements meet Guidelines recommendations for placement and proportion. Window frames, sills, and lintels are provided according to Code.

North Elevation

Staff questioned the applicant about the massing of the cross gable, compared to the gable form parallel to the road: it may be overwhelming. The applicant declined to address, stating that a complete redesign would be necessary. The side elevations for this house will not be highly visible, based on proximity of adjacent houses and the slope of the land.

This elevation shows regularly-placed and well-proportioned windows per the Guidelines, the shed dormers, the sunroom at the rear, and the lower deck. Trim boards appropriately break up the windows



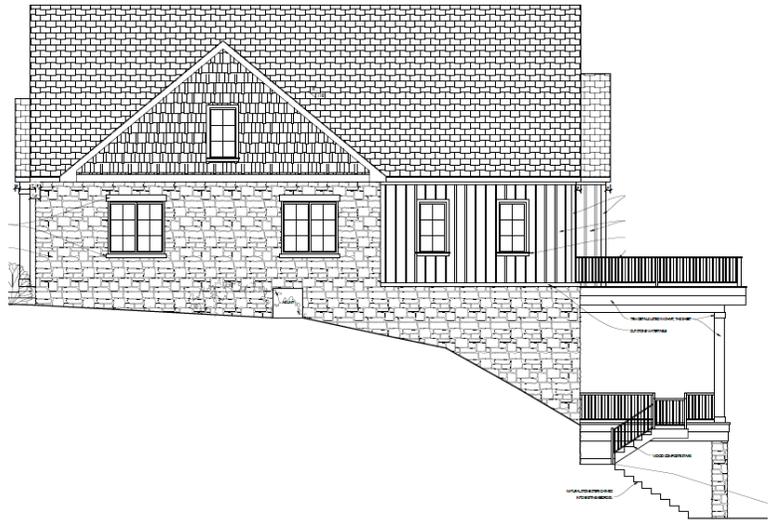
North Elevation

in the sunroom. The elevation generally steps down the slope of the lot, as suggested in Guidelines 5.3D. Traditional deck railings are shown, and are acceptable.

South Elevation

The same cross gable effect is evident on this side elevation.

This elevation also shows regularly-placed windows, the slight protrusions for the front door and center sub-gable, and the stacked decks. All roof pitches on this elevation meet Code requirements.



South Elevation

Materials and Colors

Roofs

- Main roof: Certainteed Landmark asphalt shingles in Weathered Wood.
- Sunroom and shed roofs: Coated Metals Group standing seam in Iron Ore ultra-low gloss.

Siding and Trim

Hardie Plank materials for all: shake with straight edge; smooth board and batten, battens 12" on center; smooth trim; smooth paneling above sun room doors. No Waivers are required.

Staff is uncertain about the Hardie Plank shake. The applicant supplied photos of historic straight-edged shakes in both Dublin and Columbus, attached; however, these have greater detail/authenticity based on the varied thickness of each individual shake. The proposed product is very uniform in appearance. Its use at the first floor, directly adjacent to the street is questioned. Staff suggested confining it to the gable ends and rear, using stone on the front façade; the applicant declined. On the other hand, the product's uniformity may help with the previously-discussed busyness of materials and design.

Foundation, 1st Floor, Chimney

Halquist Dimensional stone in Beaver Creek Ledge. Staff pointed out that the sample (irregular edges, requires visible mortar) does not match provided materials photo (smooth edges, no mortar gap, dry laid appearance). Professional practice dictates specifications/callouts on page A3.2 will prevail.

Doors

- Entry door and Sidelights: Marvin Ultimate French style, Ebony aluminum-clad wood, with simulated divided lights with spacers.
- Garage door: Clopay Classic Wood, two-car door with windows and hardware.

Windows

Marvin Ultimate casements, sliders, transoms, and round; Ebony aluminum-clad wood, with simulated divided lights with spacers.

Decking

Trex Enhance in Honey Grove, requires Waiver, herein.

Railings and Columns

- Hardie wrapped columns
- Wood for railings, see details on Sheet A3.2.

Other Materials

- Headers and sills within masonry, and masonry water table cap are Indiana Limestone.
- Hardie Board trim for round faux gable vents.
- Chimney cap, gutters, and downspouts have appropriate form, all black metal.
- Visual Comfort extra-large one-light outdoor wall lantern, in black.
- A concrete patio is shown at the front entry.
- Shutters are not specified and a recommended condition addresses this.

Paint

- Board and Batten, Trim: Alabaster, SW7008
- Shake: Oyster Bay, SW6206
- Shutters: not specified
- Panels: not specified
- Columns: not specified
- Deck Railings: Alabaster, SW7008
- Garage Door: Alabaster, SW7008

Floodplain

Staff notes that a special flood hazard area permit will be required during the building permit process to account for the landscaping shown within the 1% annual chance floodplain. No further action is needed at this time.

Utilities

Staff notes that at building permit, a grinder pump for the entire house will be required for sewer service. The discharge pipe will need to exit the foundation at, or above, elevation 794.5. Additionally, the building permit site and grading plan shall show the location of the sanitary sewer and water line connections. No further action is required until building permit.

3. Plan Review

Waiver Review: Rear Building Height

Table 153.173A requires a maximum of 24' height.

Request: to allow 40' height at rear.

Criteria	Review
a) The need for the Waiver is caused by unique site conditions, the use of or conditions on the property or	Criterion Met: The lot is impacted by the significant grade change to the Scioto River.

surrounding resources, or other circumstance outside the control of the owner/lessee, including easements and rights-of-way.

This is a unique site condition that is outside the control of the applicant.

- b) The Waiver, if approved, will not negatively impact the historic context of the immediately surrounding area or the district as a whole.

Criterion Met: The request is solely based on topography, and the historic context and district character are not negatively affected.

- c) The Waiver, if approved, will generally meet the spirit and intent of the Community Plan, *Historic Design Guidelines*, other adopted City plans and policies, and all applicable requirements in §153.170 through §153.178.

Criterion Met: The Waiver request meets the spirit and intent of the Code, where the east side of S. Riverview Street is distinctly identified in Code Table 153.173B for topographic reasons.

- d) The Waiver is not being required solely to reduce cost or as a matter of general convenience.

Criterion Met: Cost and convenience are not factors in this request.

- e) The Waiver, if approved, will ensure that the development is of equal or greater development quality with respect to design, materials, and other similar development features than without the Waiver.

Criterion Met: Having a much taller rear façade is the only reasonable way to develop on this type of lot, and the resulting design is appropriate.

- f) The requested Waiver is better addressed through the Waiver rather than an amendment to the requirements of this Chapter.

Criterion Met: The Code permits these requests via the Waiver process, and a Code amendment would not be appropriate.

- g) The Waiver does not have the effect of authorizing any use that is not otherwise permitted in the applicable zoning district.

Criterion Met: The property will remain single family residential.

- h) The request is the minimum relief necessary to resolve a practical difficulty.

Criterion Met: The overall house design is appropriate to the lot, and the rear façade is proportional to the rest of the house. Therefore this is the minimum needed to solve the topographic difficulty.

- i) In the event of Waivers from determination of Landmark or Background status, the provisions in §153.175(J)(5) shall also apply.

Not Applicable: The property will be Background once constructed.

Waiver Review: Roof Pitch

153.174(B)(4)(c)(3) requires roof pitch for porches, dormers, etc. to be greater than 3:12.
 Request: to allow roof pitches of 3:12 for shed roofs and sunroom roof.

Criteria	Review
<p>a) The need for the Waiver is caused by unique site conditions, the use of or conditions on the property or surrounding resources, or other circumstance outside the control of the owner/lessee, including easements and rights-of-way.</p>	<p>Criterion Not Met: The request is not driven by site conditions or circumstances outside the control of the applicant.</p>
<p>b) The Waiver, if approved, will not negatively impact the historic context of the immediately surrounding area or the district as a whole.</p>	<p>Criterion Met: The request is appropriate based on historic forms found in the district, so the impact will be positive.</p>
<p>c) The Waiver, if approved, will generally meet the spirit and intent of the Community Plan, <i>Historic Design Guidelines</i>, other adopted City plans and policies, and all applicable requirements in §153.170 through §153.178.</p>	<p>Criterion Met: The Waiver request meets the spirit and intent of the Code and Guidelines, while allowing upper-level living spaces with minimal massing impacts. The sunroom roof preserves positive roof drainage away from the house.</p>
<p>d) The Waiver is not being required solely to reduce cost or as a matter of general convenience.</p>	<p>Criterion Met: The request is an appropriate design response, unrelated to cost or convenience.</p>
<p>e) The Waiver, if approved, will ensure that the development is of equal or greater development quality with respect to design, materials, and other similar development features than without the Waiver.</p>	<p>Criterion Met: The use of these low roof forms is an appropriate design response. The proposed materials are also appropriate and high-quality.</p>
<p>f) The requested Waiver is better addressed through the Waiver rather than an amendment to the requirements of this Chapter.</p>	<p>Criterion Met: The Code permits these requests via the Waiver process, and a Code amendment would not be appropriate.</p>
<p>g) The Waiver does not have the effect of authorizing any use that is not otherwise permitted in the applicable zoning district.</p>	<p>Criterion Met: The structure will be single-family residential, which is permitted in this district.</p>

- h) The request is the minimum relief necessary to resolve a practical difficulty.
- i) In the event of Waivers from determination of Landmark or Background status, the provisions in §153.175(J)(5) shall also apply.

Criterion Met: The request is the minimum form to avoid a flat roof, while also adding appropriate architectural interest.

Not Applicable: The request will not affect the status of the future structure.

Waiver Review: Trex Decking

Code 153.174(J)(1) requires wood, with others as approved by the Board.
 Request: to allow Trex for rear decks

Criteria	Review
a) The need for the Waiver is caused by unique site conditions, the use of or conditions on the property or surrounding resources, or other circumstance outside the control of the owner/lessee, including easements and rights-of-way.	Criterion Not Met: This is a personal request of the applicant for ease of maintenance and comfort.
b) The Waiver, if approved, will not negatively impact the historic context of the immediately surrounding area or the district as a whole.	Criterion Met: The proposed use on the rear of a new house is supported and has been approved in similar circumstances.
c) The Waiver, if approved, will generally meet the spirit and intent of the Community Plan, <i>Historic Design Guidelines</i> , other adopted City plans and policies, and all applicable requirements in §153.170 through §153.178.	Criterion Met: The use on new construction at the rear of the house is appropriate, thus meeting the spirit and intent of the related documents.
d) The Waiver is not being required solely to reduce cost or as a matter of general convenience.	Criterion Not Met: This request is to ease maintenance concerns, and therefore is for convenience. The criterion is balanced by the fact that the material that will be high-quality, not highly visible, and on new construction.
e) The Waiver, if approved, will ensure that the development is of equal or greater development quality with respect to design, materials, and other similar development features than without the Waiver.	Criterion Met: The material will not be visible from the public right-of-way and provides a high-quality, easy to maintain rear feature for the house.

- f) The requested Waiver is better addressed through the Waiver rather than an amendment to the requirements of this Chapter. **Criterion Met:** The Waiver is the proper mechanism for this request, rather than a Code amendment.
- g) The Waiver does not have the effect of authorizing any use that is not otherwise permitted in the applicable zoning district. **Criterion Met:** The use will remain single family residential.
- h) The request is the minimum relief necessary to resolve a practical difficulty. **Not Applicable:** The request is not numeric in nature.
- i) In the event of Waivers from determination of Landmark or Background status, the provisions in §153.175(J)(5) shall also apply. **Not Applicable:** This Waiver will not affect the status of the structure.

Minor Project Review

Criteria	Review
a) The MPR is consistent with the Community Plan, the applicable Zoning Code requirements, <i>Historic Design Guidelines</i> , and adopted plans, policies, and regulations.	Criterion Met with Waivers and Conditions: The house design has appropriate massing and features, as noted at Informal. The Waivers allow mitigation of Code requirements when criteria are met. Conditions of approval address missing colors, materials, and required shutter hardware.
b) In cases where a MPR is proposed within or as part of an approved PDP or FDP, the MPR shall be consistent with such approved PDP or FDP.	Not Applicable: There are no associated PDPs or FDPs.
c) The MPR shall be consistent with the record established by the required reviewing body, the associated Staff Report, and the Director’s recommendation.	Criterion Met with Waivers and Conditions: The application will be consistent with the record established by the Board with the Waivers and recommended conditions.
d) The proposed land uses meet all applicable requirements and use specific standards of §153.172, Uses.	Criterion Met: The project will be single-family residential, which is permitted by the Code. No specific use standards apply.
e) The proposed development is consistent with the <i>Historic Design Guidelines</i> .	Criterion Met with Waivers and Conditions: The project will meet the Guidelines with the Waivers and conditions as proposed.

f) The proposed MPR is consistent with surrounding historic context, character, and scale of the immediately surrounding area and the district as a whole.

Criterion Met: The new house will be consistent with the surrounding context, character, and scale of the neighborhood.

g) The proposed buildings are appropriately sited and conform to the requirements of §153.173, Site Development Standards, and the *Historic Design Guidelines*.

Criterion Met with Waiver: The building siting is appropriate, and with the rear height Waiver, will meet Site Development Standards.

h) The proposed site improvements, landscaping, screening, signs, and buffering shall meeting all applicable requirements of the Code and respond to the standards of the *Historic Design Guidelines*.

Not Applicable: The Code does not require review of landscaping for residential projects, unless hardscape is greater than three feet tall. No evidence is provided of such a feature.

Recommendations

Planning Recommendation: Approval of Waivers for:

- Rear building height
- Roof pitch
- Trex decking

Planning Recommendation: Approval of MPR with conditions:

1. Prior to building permit, the applicant shall supply staff with the colors for the sunroom panels and the columns.
2. Prior to building permit, the applicant shall supply staff with the materials, colors, and hardware for the shutters.