

## PLANNING REPORT

# Architectural Review Board

Wednesday, August 27, 2025

## 83 S. Riverview Street 25-070 MPR

[www.dublinohiousa.gov/arb/25-070](http://www.dublinohiousa.gov/arb/25-070)

### Case Summary

Address	83 S. Riverview Street, Dublin, Ohio, 43017
Proposal	Request for review and approval of a house addition on a .25-acre lot in the Historic District.
Request	Review and approval for Minor Project Review (MPR) under the provisions of Zoning Code Section 153.176.
Zoning	HD-HR, Historic Residential District
Planning Recommendation	<b><u>Approval of Waiver</u></b> <b><u>Approval of MPR with conditions</u></b>
Next Steps	Upon approval of the Waiver and MPR, the applicant may apply for building permits through Building Standards.
Applicant	Geoffrey and Melissa Hahm, Owners Kara McCoy, Simplified Living Architecture + Design
Case Manager	Sarah Tresouthick Holt, AICP, ASLA, Senior Planner (614) 410-4662 <a href="mailto:sholt@dublin.oh.us">sholt@dublin.oh.us</a>



### Community Planning and Development



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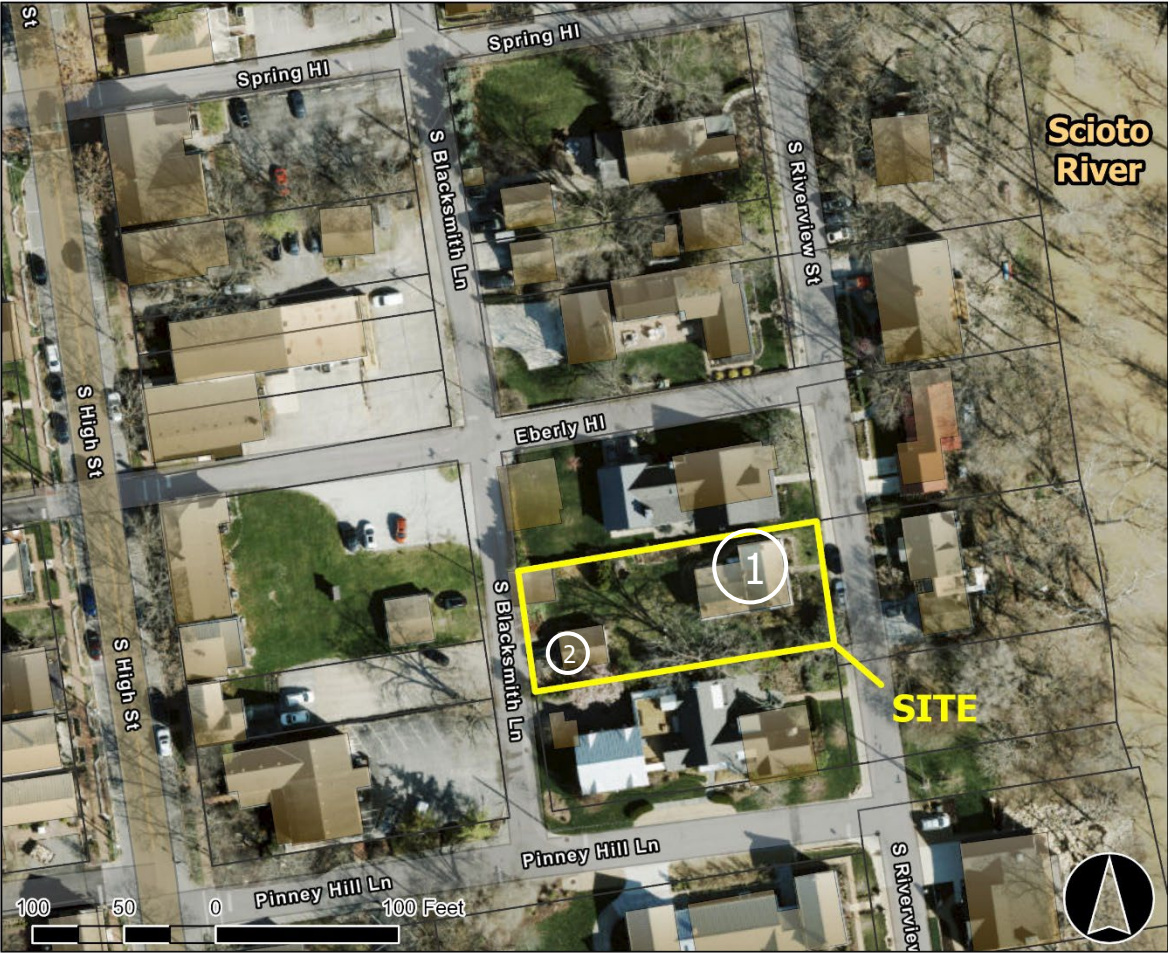
Site Location Map

25-070ARB - 83 S Riverview St



**Site Features**

- 1 Eliud Sells House
- 2 Garage, Case 23-128

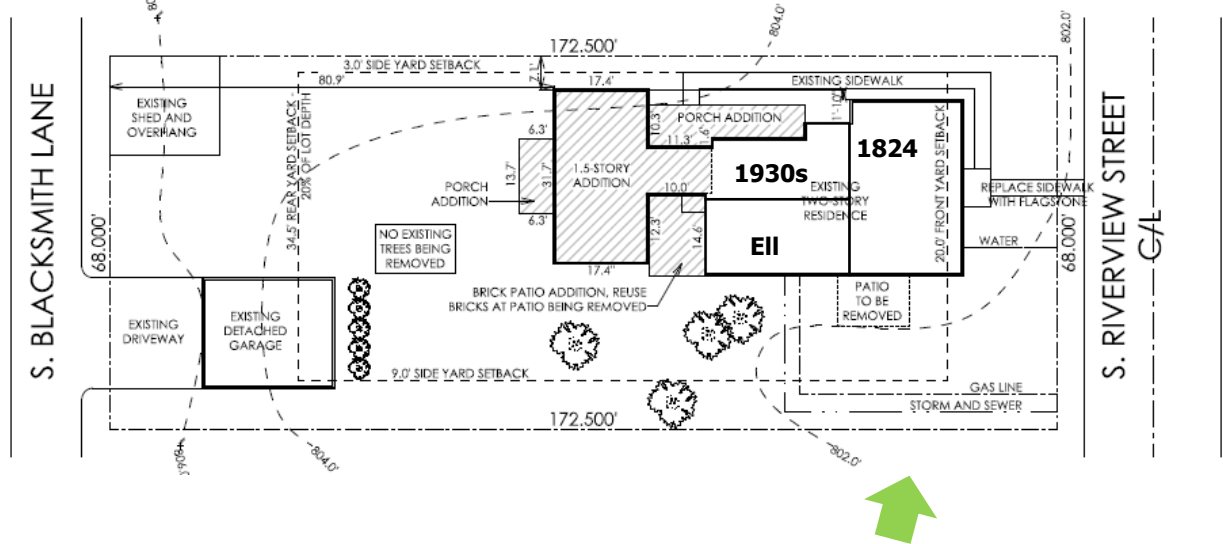


# 1. Request and Process

## Request

The applicant is seeking approval of a MPR for an addition to a Landmark property:

- Two options presented (Base Option was preferred; see herein).
- Waiver sought for building footprint.



Site Plan

## Process

This project comes to the Board because additions to Landmark structures require approval of a Minor Project Review (MPR). The Community Plan, the Historic District Code, and *Historic Design Guidelines* apply.

# 2. Background

## Site Summary

The site contains a Landmark Federal-style house, built in 1824 by Eliud Sells, making it the oldest stone house in the District. It started as a single-story structure, and a second story was added shortly after construction. A single-story kitchen ell was also added early in the house's history. The house has very simple materials: native stone with flush quoins, minimal wood trim, and a standing seam roof. The front façade has three fenestration bays, with a slightly recessed front door in the center. The 2017 Historic and Cultural Assessment (HCA) noted the building having good integrity and condition. A sympathetic, ca. 1930 CMU addition and chimney were added between the core and kitchen ell.

The 11,108-square-foot lot is zoned HD-HR, Historic Residential District, and is located approximately 80 feet northwest of the intersection of Pinney Hill Lane and S. Riverview Street.

## History

June 2025, Case 25-048

- Board informally reviewed two options for building addition with Waivers
- Board preferred Option 1 as presented, based primarily on spacing of hyphen
- Board supported minor structure coverage Waiver
- Board generally supported massing of addition
- Board did not support use of horizontal windows

- Board had mixed response to proposed materials: generally too busy

*November 2024, Case 24-134*

- Approval of demolition for the 1930s CMU addition and the associated brick chimney. Owner now wishes to use the CMU structure as base for addition to avoid disturbing historic foundation.

*February 2024, Case 23-128*

- Garage reclassified to Background per a Waiver (built of concrete block)
- Owner granted approval for new garage door, with Waiver for material

### 3. Zoning Code and Guidelines

Both the Dublin Historic District Code and the *Historic Design Guidelines* are derived from the Secretary of the Interior's Standards for Rehabilitation, which have been developed and refined over significant time and are accepted as the standard for all national preservation and rehabilitation practices. For properties of this significance, it is important to follow these requirements and guidelines to protect the asset from harm. Because of the significance of the Eliud Sells House, the City's consultant preservation architect, Karen Bokor, was conferred with for this project. Her report is attached.

#### Historic District – Historic Residential District (HD-HR)

The intent of the Historic Residential District per Code is to "encourage the preservation and development of homes on existing or new lots that are comparable in size, mass, and scale, while maintaining and promoting the traditional residential character of the Historic District".

#### Historic Design Guidelines

Guidelines Section 3.3 states that the emphasis on Landmark buildings is "maintaining or restoring the historic integrity of [them] is the highest policy objective of these Guidelines." Section 4.1 states that "preservation of original architectural features and materials are the first preference in rehabilitation", which includes not hiding historic materials or features. Section 4 governs building additions (Section 4.12) as well as window and door replacements, materials, roof forms and materials, and porch design.

### 4. Project

#### Site Layout

The existing house sits at the front of the lot, within the modern setback requirements. The historic shed, and more modern garage, are also within these setback requirements. Per the Code, these are all legal, non-conforming and are permitted to remain without further approvals needed.

The proposed addition is to the rear of the historic structure, protruding beyond the north side of the historic structure by 1' 10", contrary to Guidelines Figures 4.1 and 4.2. The applicant states that this was necessary to keep a symmetrical window and door placement per staff direction. Since this is wholly new construction, an alternative exterior/interior layout might be possible. Nevertheless, the project has made significant progress, and the protrusion could be offset with design refinements, since it is a Guideline goal.



No trees will be removed as a part of this request, and the applicant wishes to preserve as much yard space as possible.

### Setbacks and Lot Coverage

Code Table 153.173A governs permissible lot coverage, building footprint sizes, and setbacks for all districts within Historic Dublin. For Historic Residential, up to 45 percent lot coverage is permitted; the total building footprint may be up to 25 percent of the lot size; and the rear setback is 20 percent of lot depth, not to exceed 50 feet. The existing lot area is 11,108 SF. A stamped survey has not been provided and will be needed at building permit. A building footprint Waiver is requested herein.

<b>Setbacks</b>	<i>Permitted by Code</i>	<i>Shown</i>	<i>Waiver Required</i>
<i>Front</i>	20'	±17' (existing)	no
<i>Side</i>	3' min, total 12'	±7' north; ±28'south	no
<i>Rear</i>	34' 6"	±74'	no

<b>Lot Coverage/ Footprint/ Height</b>	<i>Permitted by Code</i>	<i>Shown</i>	<i>Waiver Required</i>
<i>Lot Coverage</i>	4,998.6 SF (45%)	3645.2 SF (32.8%)	no
<i>Building Footprint</i>	2,777 SF (25%)	3,160 SF (28.4%)SF	YES
<i>Height</i>	24'	17' 4" (addition)	no

### Building Massing and Scale

The massing and scale is much as presented at Informal, both of which were acceptable to the Board. The applicant has provided two options for Board consideration with the only differences between them being the roof pitch of the addition and the roof slope of its rear porch. Option B has a very steeply pitched addition roof that allows for lower eaves matching the eave height of the kitchen ell. However, the form appears out of context with the original structure. The rear porch has a shallower slope than that in the Base Option, which is also not preferred. Thus, the Base Option was the focus of this review.

There are a number of overarching details worth noting due to their deviation from the Guidelines, which have been shared with the applicant:

- As noted, the addition projects beyond the historic structure on the north side, which may potentially be mitigated. See discussion and conditions herein.
- The addition's roof height is taller than that of the kitchen ell. Nevertheless, the result is generally positive, especially when combined with the recommended conditions.
- The new roof above the 1930s addition/new porch extends further west than the existing 1930s addition. It matches the roof length of the historic ell, contrary to Guidelines 4.12A, where additions are to be separated/differentiated from historic portions. Shortening the new roof form would achieve this goal while also better corresponding to the column placement below. Recessing the hyphen roof would also help this feature read separately and could be considered.

- Addition window sizes and proportions appear too large and should more closely match the proportions of the original first-floor window on the left elevation, per Guidelines 5.6A and B. The proposed windows have square lights, versus the rectangular ones of the original house: if they were proportional, the new lights would be rectangular.
- All porch details should be classical style for better cohesion with the original structure. Guidelines 5.7A notes that they should be modern interpretations of historic styles, and the Bokor report offers an appropriate detail.
- The rear porch roof was revised to be more of a portico form with a hipped roof, which is more appropriate than the shed roof previously proposed. Option B's porch roof slope is less proportional to the rest of the elevation, so the Base Option is preferred.
- Use of the 1930s addition's attributes to drive the design and massing for the center connection, specifically by using an "enclosed porch" effect, can be refined and seems possible per interior programming. This would lighten the hyphen connections per best practices. This may be a personal choice of the applicant, which is acknowledged. The applicant does show panels under the windows in this location, per the Bokor recommendation. Panel details are needed.
- The proposed new roof above the 1930s addition seems to hide more historic fabric than appears to be necessary, contrary to Guidelines 4.4A, where original architectural elements should not be covered and 4.12D, where additions should not destroy significant materials (original stone construction). A flatter/lower roof form would be most appropriate if possible.

## Architecture

### *East Elevation/S. Riverview Street*

No changes to this main front façade are proposed other than window replacements. This was newly confirmed, and elevation notes should be added indicating:

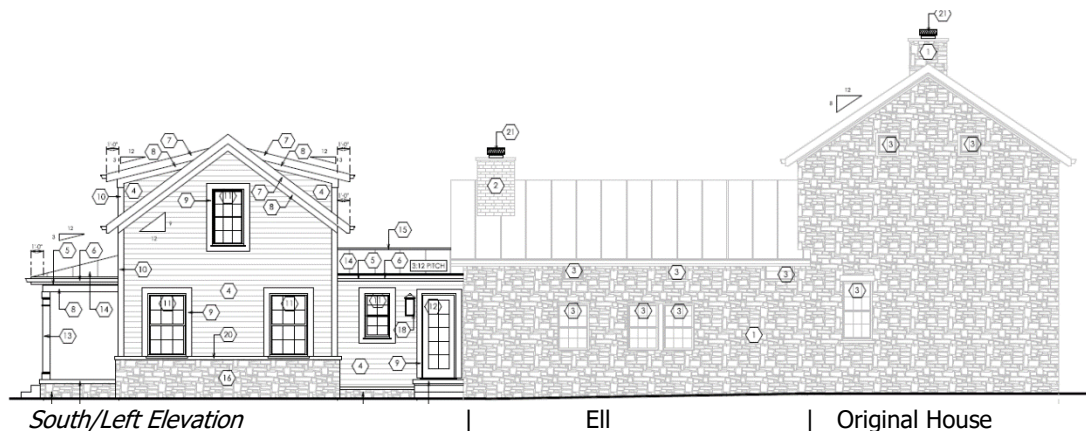
- Replacement windows are necessary per Guidelines 4.8B. Staff suspects this is the case, as many appear to have been past replacements inconsistent with the structure's architectural style.
- Window replacements will be exact to current openings, per Guidelines 4.8C.
- The existing trim size and details will be maintained or replicated.
- Window sashes are suggested to be a darker color to help create shadow/depth for these features. Darker window and door colors are noted in the Pre-Approved Historic Paint Colors as features of buildings from this era of construction.

### *South/Left Elevation*

This elevation shows the hyphen link to the historic kitchen ell, connecting to the 1 ½ story addition. Windows are arranged symmetrically and the proposed hyphen roof meets the minimum roof pitch criteria at 3:12. The main roof form of the addition is shown at 9:12 in the Base Option, and its shed and porch roofs are at 3:12. The stone water table and cap were brought to the bottom of the windows on the addition as requested.

Many of the massing suggestions from the Bokor report have been incorporated into the revised elevation. Remaining specific recommendations from both staff and the Bokor report include:

- More transparent hyphen per Guidelines 4.12A.
- Lower story windows too big/not proportional to original, per Guidelines 5.6 A and B.

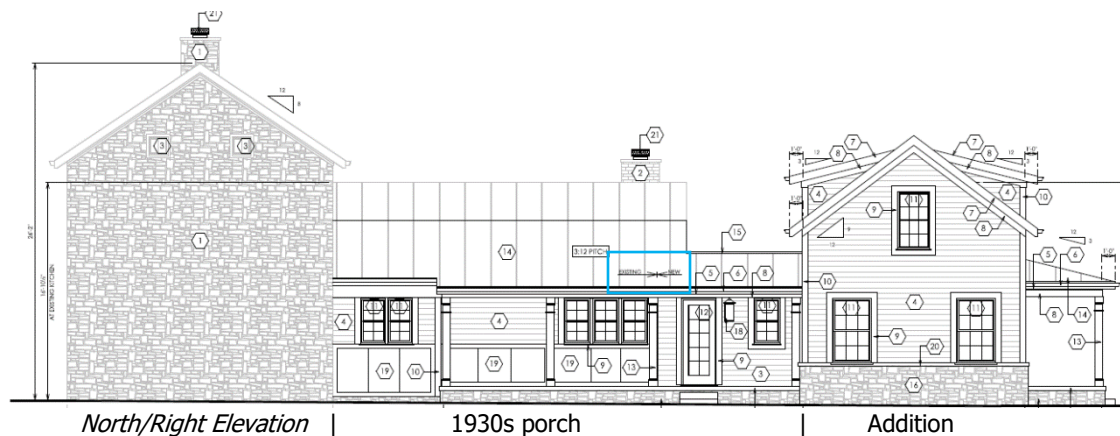


### *North/Right Elevation*

This elevation contains the 1930s addition, which is being converted into a hallway and kitchen space with a new porch added. A new 3:12 shed roof above the addition and porch, meeting Code § 153.174(B)(4)(c)(3) for roof pitch, joins the roof of the original kitchen ell, but still may cover more historic fabric than is necessary. This section of the building has groupings of windows with paneling underneath and horizontal siding in between. The roof extends above a recessed hyphen that has an exterior door and window. The side of the new addition is visible, along with the rear porch on the far right.

Again, many of the massing suggestions from the Bokor report have been included. Remaining specific recommendations from staff and the report include:

- Flatten 1930s addition roof form if possible to minimize impacts on historic fabric; Waiver supported. Hyphen roof might then be further flattened.
- Shorten length of new roof on the 1930s addition to differentiate from that of historic ell (see annotation showing historic vs new roof lines in blue box below).
- Center three-window grouping between columns.
- Use classical column detail (Bokor report) or square classical column mirroring ghosted remnants of 1930s columns. Provide architrave details. Use classical column spacing: columns closer together than their height (vertical openings).
- Refine "enclosed porch" paneling design; details needed.
- Use more windows/doors (potentially a centered door flanked by two windows) in center hyphen.
- Consider honoring 1930s addition more: keep window proportions, column locations, and heavy frieze detail where possible.
- Consider making a three-window grouping out of the paired windows on the left for greater consistency and coordination with the panels below. Interior programming seems to permit this.



### *West Elevation/S. Blacksmith Lane*

The west elevation, shows the 1 ½ story addition and porch facing the alley. The design now includes vertical windows in the upper story shed roof dormer, and windows are arranged symmetrically, per Code § 153.174(D)(5). The porch is a portico form, with a preferred 3:1 roof pitch. The water table and cap were brought up under the windows as requested.

Similarly, remaining recommendations from both staff and the Bokor report include:

- Lower story window proportions are not historic.
- Column details need to be revised.
- Span of porch is longer than column height: add two more columns.



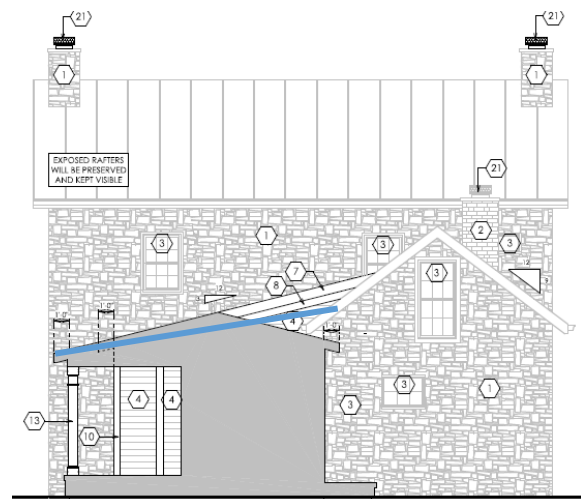
*West Elevation*

### *East Elevation/Interior*

The east elevation is the connecting point between the historic house, the 1930s addition/new roof, and the kitchen ell. Notes confirm that the floor joists that penetrate through the stone on the rear of the original house will remain visible.

Recommendations include:

- Flatter roof connection minimizing impacts on original window/stone if possible (see blue line approximation).
- Clarification on status of upper right window behind call-out number.



*East Elevation*



## Materials and Colors

### *Roof*

- ATAS International standing seam metal, Dove Grey, 12 3/8" seam width
  - Staff suggested different panel widths to differentiate between old and new. Not required, but used effectively at 17 and 27 N. Riverview

### *Siding and Trim*

- Hardie Plank lap, smooth siding, 5.25" reveal
- Hardie Trim, smooth texture
- Panels under 1930s porch windows, unknown

### *Foundation, 1<sup>st</sup> Floor*

- Natural Buff Limestone, Antique Tuscan by Quarrymill
  - No information on mortar
  - Cultured stone cap call-out on elevations appears different than supplied photo; need specific cap detail

### *Windows and Doors*

- Jeld Wen W-5500 wood-clad casements and double-hung, simulated divided lights in Mocha Cream
  - Cut sheet indicates variety of glass options: need to be specified
  - Cut sheet indicates grilles between the glass, different than noted simulated divided lights, contrary to Guidelines 4.8E. Spacers to be included as well.
  - Cladding material needs to be confirmed
  - Sash appears too wide, not best suited for historic projects, as noted in Guidelines 4.8D. Previous Board-approved windows in the District include Marvin Ultimate, or similar, for consideration
  - Darker color recommended to create depth against stone. Pre-approved Paint Color Section 3 indicates stone color body with black or green sashes, or a darker shade of the body color for trim.
- Jeld Wen W-5500 doors, simulated divided lights in Mocha Cream
  - No cut sheets provided; same questions as with windows
  - Darker color recommended

### *Other Materials*

- Chimney caps and flanges shown in aluminum or stainless steel; recommend matte black/bronze to minimize visibility
- Gutters shown as painted ogee; downspouts to match
- Hinckley Anchorage light, light oiled bronze, 7" wide x 13" tall
- New sidewalk stone: Ohio Gray Flagging
- Existing patio material reused, conflicting information re: brick vs. stone

### *Paint*

- Lap Siding: Behr Baja, PPU7-8 (tan)
- Trim: Behr Antique White #23
  - Pre-approved Paint Color document uses Sherwin Williams, Benjamin Moore,

and PPG. Need actual Behr samples for comparison to the approved colors and to the historic stone itself

- Columns: not specified
- Gutters/downspouts: not specified

## Utilities

The building permit site and grading plan shall show the location of the sanitary sewer and water line connections. No further action is required until building permit.

## 5. Plan Review

### Waiver Review: Building Footprint

Table 153.173A requires a maximum building footprint of 25% of lot size

Request: to allow 28.4% building footprint

Criteria	Review
a) The need for the Waiver is caused by unique site conditions, the use of or conditions on the property or surrounding resources, or other circumstance outside the control of the owner/lessee, including easements and rights-of-way.	<b>Criterion Met:</b> The lot is impacted by existing structures on the site, which count toward total building footprint. One of these is historic, and both staff and the Board wish to honor that structure by not having it count against total structure coverage, as discussed at Informal.
b) The Waiver, if approved, will not negatively impact the historic context of the immediately surrounding area or the district as a whole.	<b>Criterion Met:</b> The request is based on keeping existing buildings, which has positive impact on the historic context and district character.
c) The Waiver, if approved, will generally meet the spirit and intent of the Community Plan, <i>Historic Design Guidelines</i> , other adopted City plans and policies, and all applicable requirements in §153.170 through §153.178.	<b>Criterion Met:</b> The Waiver serves to allow a reasonable addition while not penalizing the owner for keeping the historic shed. This is in keeping with the spirit of the City's Community Plan, policies, Code, and Guidelines.
d) The Waiver is not being required solely to reduce cost or as a matter of general convenience.	<b>Criterion Met:</b> Cost and convenience are not factors in this request.
e) The Waiver, if approved, will ensure that the development is of equal or greater development quality with respect to design, materials, and other similar development features than without the Waiver.	<b>Criterion Met:</b> The proposal allows a reasonable addition while keeping other historic structures, thus preserving quality features and character within the District.

- |  |  |
|--|--|
| f) The requested Waiver is better addressed through the Waiver rather than an amendment to the requirements of this Chapter.       | <b>Criterion Met:</b> The Code permits these requests via the Waiver process, and a Code amendment would not be appropriate.   |
| g) The Waiver does not have the effect of authorizing any use that is not otherwise permitted in the applicable zoning district.   | <b>Criterion Met:</b> The property will remain single family residential.  |
| h) The request is the minimum relief necessary to resolve a practical difficulty.  | <b>Criterion Met:</b> The request is the minimum relief based on the desired programming of the owner. The proposed addition is not overly large and leaves ample open space on the lot. |
| i) In the event of Waivers from determination of Landmark or Background status, the provisions in §153.175(J)(5) shall also apply. | <b>Not Applicable:</b> The property will remain Landmark.  |

### Minor Project Review

Criteria	Review
a) The MPR is consistent with the Community Plan, the applicable Zoning Code requirements, <i>Historic Design Guidelines</i> , and adopted plans, policies, and regulations.	<b>Criterion Met with Waiver and Conditions:</b> The application can be consistent with the Code, the Guidelines, and best practices for Landmark buildings as enumerated herein, when combined with the Waiver and recommended conditions.
b) In cases where a MPR is proposed within or as part of an approved PDP or FDP, the MPR shall be consistent with such approved PDP or FDP.	<b>Not Applicable:</b> There is not PDP/FDP associated with this property.
c) The MPR shall be consistent with the record established by the required reviewing body, the associated Staff Report, and the Director's recommendation.	<b>Criterion Met with Waiver and Conditions:</b> The application can be consistent with the record established when combined with the Waiver and recommended conditions.
d) The proposed land uses meet all applicable requirements and use specific standards of §153.172, Uses.	<b>Criterion Met:</b> The land use will remain single family residential.

- e) The proposed development is consistent with the *Historic Design Guidelines*.

**Criterion Met with Conditions:** The application has made a lot of progress, and when combined with the conditions, will be consistent with the Guidelines.

- f) The proposed MPR is consistent with surrounding historic context, character, and scale of the immediately surrounding area and the district as a whole.

**Criterion Met with Conditions:** The application, when combined with the recommended conditions, will be consistent with the context and character of the historic building itself.

- g) The proposed buildings are appropriately sited and conform to the requirements of §153.173, Site Development Standards, and the *Historic Design Guidelines*.

**Criteria Met with Conditions:** The addition protrudes 1' 10" from the historic structure contrary to Guidelines Figures 4.1 and 4.2; however, when combined with the conditions, this issue may be mitigated.

- h) The proposed site improvements, landscaping, screening, signs, and buffering shall meeting all applicable requirements of the Code and respond to the standards of the *Historic Design Guidelines*.

**Not Applicable:** Residential projects do not require landscape review; screening, signs, and buffering do not apply.

## Recommendations

**Planning Recommendation:** Approve Waiver for building footprint.

**Planning Recommendation:** Approve MPR with conditions all to occur prior to building permit and with revised plans:

- 1) Roof pitch:
  - a. Explore a lower roof pitch for the 1930s porch connection, possibly further flattening the hyphen pitch to differentiate.
  - b. Shorten the length of the 1930s addition's new roof relative to the historic ell roof.
  - c. If this is not possible, the applicant shall demonstrate why not.
- 2) Provide classical details for all porch columns (round or square) and architraves. Ensure column spacing and placement is consistent with classical proportions.
- 3) For windows and doors:
  - a. Adjust window sizes and proportions for the addition as noted.
  - b. Address window and trim details as noted for the historic portion of the house.
  - c. Ensure specified windows meet both Code and Guidelines requirements, including appropriate sash, muntin, and glass proportions.
  - d. Clarify which windows are double-hung, fixed, and casement.
  - e. Provide exact window sample with simulated divided lights and spacers.
  - f. Consider color that provides depth to the windows.



- g. Provide door specifications, ensuring compliance with items a-f, above, as applicable.
- 4) Add more windows/doors to each side of the hyphen as noted.
- 5) Rework the 1930s addition panel design to better address proportions and window arrangements: provide materials for, and a detail of, the same.
- 6) Center the north elevation's triple window grouping between the columns.
- 7) Provide a detail showing paired/tripled windows have casings between.
- 8) Provide information on foundation/water table mortar and a traditional detail for the stone cap.
- 9) Coordinate information on site plan regarding material for new patio: brick vs stone.
- 10) Provide actual paint chips for all materials for comparison with the Pre-approved Paint Colors and compatibility with the stone. Specify colors for columns, gutters, and downspouts.
- 11) Change color of chimney caps and related venting/collars to matte bronze or black.
- 12) Consider using a different roof seam width to differentiate between old and addition.