

Karen Bokor, B.S., M.Arch.  
**DESIGN CONSULTANT**

July 20, 2025

Sarah Holt  
City of Dublin  
5200 Emerald Parkway  
Dublin, Ohio 43017

Dear Sarah,

Attached please find my professional review and opinion letter for the renovation and addition to the structure located at 83 S Riverview in Historic Dublin.

If you would like any further information, clarification or analysis please let me know.

Best regards,

*Karen*

Karen Bokor, B.S., M. Arch.  
Design Consultant

## HISTORICAL ANALYSIS AND DESIGN REVIEW:

**Property Address:** 83 S Riverview  
Dublin, Ohio 43017  
**Owner:** Geoffrey and Melissa Hahm  
**Applicant:** Kara McCoy, Simplified Living Architecture + Design  
**Request:** An addition to a Landmark property

### HISTORICAL ANALYSIS:

#### Overview:

*(From the City of Dublin Planning report 06/25/2025)*

The Eliud Sells House is a Landmark Federal-style residence constructed in 1824, recognized as the oldest stone house in the District. Originally built as a single-story structure by Eliud Sells, a second story was added shortly after its initial construction. A one-story kitchen ell (a rear wing set at an angle) was also incorporated early in the home's history. The house's 2017 Historic and Cultural Assessment reflects its strong historical integrity and solid condition, despite thoughtful modifications introduced over the past two centuries.

#### Architectural Features:

- **Style:** Federal
- **Year Built:** 1824
- **Original Structure:** Single-story, with a second story and kitchen ell added soon after
- **Materials:** Native stone with flush quoins, minimal wood trim, standing seam metal roof
- **Façade:** Three fenestration bays, centered front door slightly recessed for emphasis
- **Additions:** ca. 1930 CMU (concrete masonry unit) addition and chimney connecting the core to the kitchen ell
- **Condition:** Noted as having good integrity and being well-preserved (2017 assessment)

#### Secretary of the Interior's Standards and Recommendations for Additions to Historic Properties:

For an additions to a property of this historic significance, it is crucial to adhere to the Secretary of the Interior's Standards for Rehabilitation, which emphasize preserving character-defining features and ensuring new work is compatible. The standards also recommend that additions be compatible but discernibly new from the original structure.

Key guidance points and specific strategies appropriate for historical structures:

- **Respect Historic Character:** New additions should not destroy historic materials or alter distinctive features.
- **Differentiation & Compatibility:** Additions should be identifiable as new, yet harmonious with the original through scale, massing, color, and materials.
- **Reversibility:** Additions should be constructed so that they can be removed in the future without harming the historic structure.

#### Appropriate Addition Strategies:

- **Placement:** Site additions at the rear or side of the house, set back from the main façade to minimize their visual impact on the historic street view.
- **Scale & Proportion:** Keep new construction subordinate in size and height to the historic house; avoid overwhelming the original structure.
- **Materials:** Use materials similar in color, texture, and quality to the native stone and wood trim but distinguishable on close inspection—consider using stone veneer or wood siding that “reads” as new but is compatible.
- **Roof Form:** Continue using a standing seam roof for visual continuity, but with slight differences in seam pattern or gauge to differentiate.
- **Fenestration:** Reflect the rhythm and proportional relationship of window and door openings but avoid replication; modern windows can be employed if their shapes and scales complement the original three-bay pattern.
- **Connection:** Ensure the addition is connected in a way that leaves the original walls visible or physically distinct—using a glass connector or inset link can make the addition clearly separate yet visually connected.

#### Respecting Historic Character:

Expansions of 83 S Riverview can enhance its usability while safeguarding its unique historical and architectural character. When planning changes or additions to a historic property like the Eliud Sells House, respecting historic character is a fundamental principle guided by the Secretary of the Interior’s Standards for Rehabilitation. This ensures that the property’s architectural and cultural significance is preserved for future generations.

#### Key Practices for Respecting Historic Character

- **Retain Important Features:** Keep character-defining elements such as the original native stone walls, flush quoins, minimal wood trim, and the historic roofline unaltered. These features embody the house’s historic identity and craftsmanship.
- **Preserve Distinctive Spatial Relationships:** Maintain the structure’s original proportions, façade composition (like the three-bay organization and centered recessed door), and the spatial arrangement of additions, such as the kitchen ell and the ca. 1930 CMU addition.
- **Avoid Destroying Historic Materials:** Any modification or addition should leave significant historic materials and finishes intact. If necessary, new elements should connect to the historic structure in ways that don’t obscure or replace original work.
- **Minimize Visual Impact:** Additions and alterations should be placed where they have the least impact on the house’s primary street-facing elevations.

Typically, locating new work at the rear or set back from the main façade is recommended.

#### What This Looks Like in Practice

- New construction is clearly subordinate and does not compete visually with the original house.
- New materials should be sympathetic in color, texture, and quality, but still distinguishable, so the historic and new work are not confused.
- Historic features and finishes are not covered up, removed, or irreversibly altered to accommodate new additions.

By following these practices, the character and integrity of the Eliud Sells House will be maintained even as it adapts to contemporary needs. This approach not only honors the site's history and architectural legacy but also ensures its story remains legible and valued in the future.

#### What to Avoid

- Mimicking the historic elements so closely that the new work is mistaken for original.
- Adding features that never historically existed, such as ornate trim or decorative elements alien to the house's simple Federal lines.
- Removing historic features or materials to accommodate the addition.

#### Example Addition Concepts

- Rear Infill Addition: A single-story or one-and-a-half-story addition extending from the kitchen ell, using compatible stonework and a lower roofline.
- Glass Connector: Using a transparent corridor to link the new space to the old, maintaining visibility of historic walls.
- Subordinate Side Wing: Adding a new wing set back from the front and stepping down in roof height, finished in similar—but differentiated—materials.

#### **ANALYSIS OF PROPOSED ADDITION:**

This proposed addition to 83 S Riverview is a reasonable solution in terms of placement and massing. However, the design details do not maximize compatibility with the original structure as outlined below and in reference to the earlier defined practices for retaining historic character:

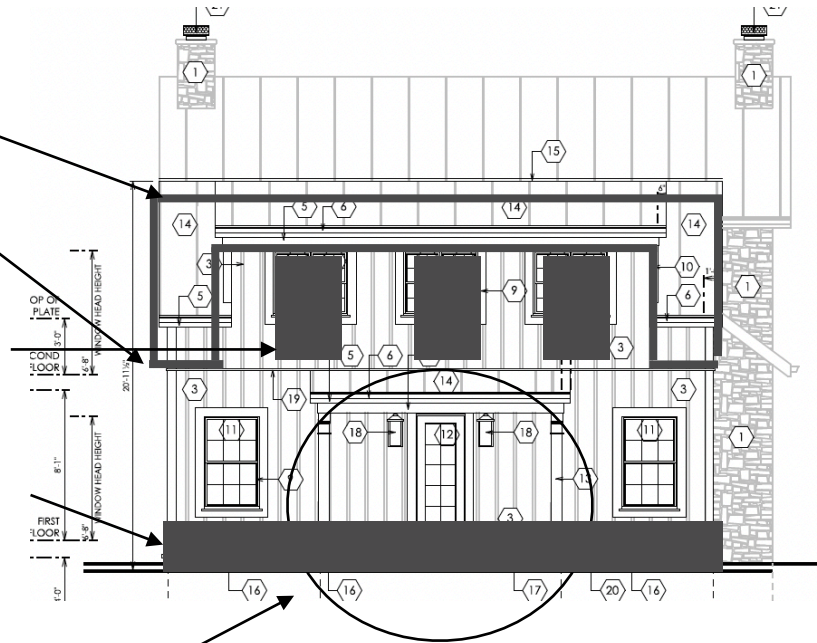
- There is very little compatible stonework. Raising the water table or using a compatible stone on a feature wall or section would make a better reference to the original stonework.
- The roofline should be subservient to the original structure. While this may be unreasonable to match the one story roof line of the original and early addition, lowering the roofline and roof massing by adjusting the dormers would be appropriate.
  - The dormers should be lowered by 6 -12" below the ridge line on the addition.



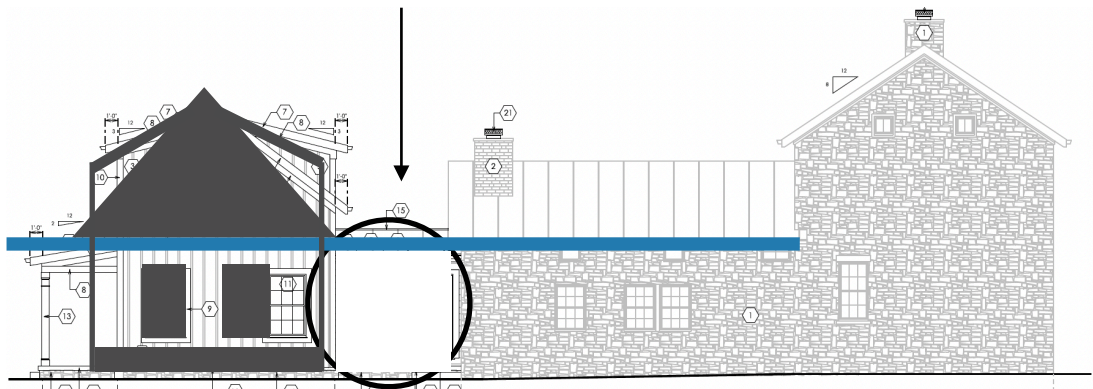
- Windows in the dormers are now appropriately proportioned but need adjusted to more closely match the proportion of grids in both the original structure and addition. The current design has too many smaller and grids per pane and should be redesigned accordingly.

#### Suggested Design Studies:

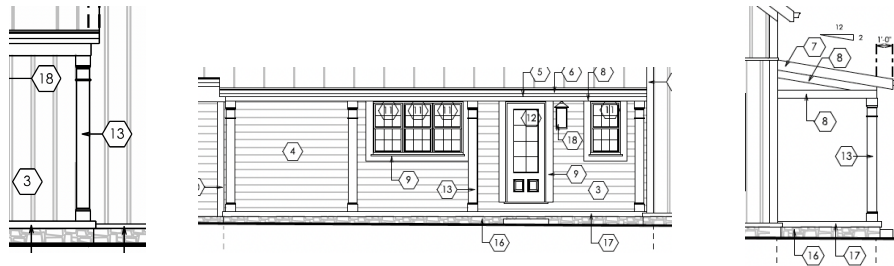
- Lower the dormer below the ridge line
- Lower the eave on roof to match the original home for a more seamless connection
- Elongate the windows on the dormers to match other window proportions
- Increase height of stone water table to create more visible connection to the existing home
- Consider changing the siding to a horizontal installation throughout the addition to simplify and streamline
- Study other types of porticos that are more historical such as gable or hip



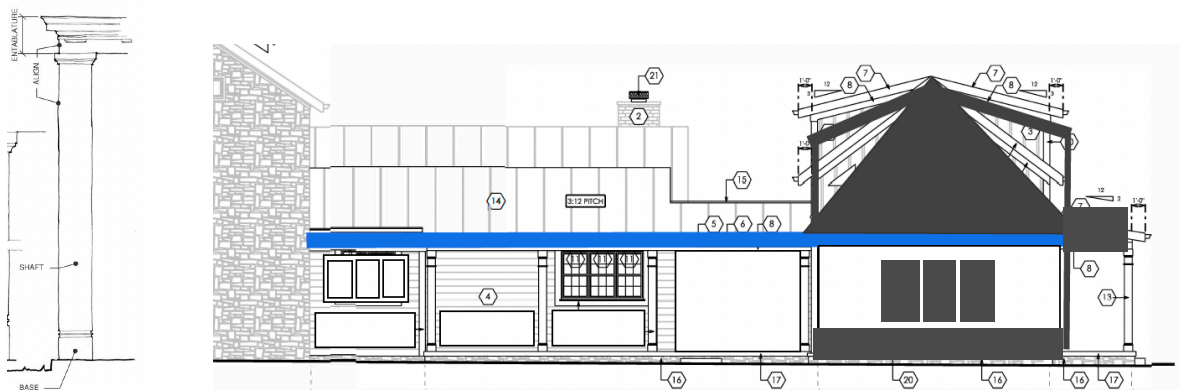
- Glass Connector: Using more glass in the connector to create a transparent link from the new space to the old would perceptually lessen the massing and scale of the overall structure and would maintaining visibility of the original structure special and unique.



- Details, such as columns, porticos, light fixtures, and windows can be modern but should be classically proportioned and true to the 1830s simplicity in detailing and match the original windows in color. A gable or hip style portico may be more appropriate as an homage to the original 1830s style with modern simplicity.



Classically Proportioned:



#### Suggested Design Studies (cont.) :

- Explore matching window patterns - ie - gangs of 3 - to create symmetry
  - Use classically proportioned and detailed columns
  - Explore gable or hip portico
  - Use horizontal siding with panels on one story existing piece to pay homage to existing aesthetic
  - Adjust eave line to match existing, lower dormer
- New materials should be sympathetic in color, texture, and quality, but still distinguishable, so the historic and new work are not confused.
    - Maintaining the color of the 1930s CMU addition in a new but complimentary material would be more appropriate than introducing additional colors not currently used on the home.
    - Eliminated two types of siding and choosing one uniform type would be much more compatible with the simplicity and elegance of the original home.
    - The use of paneling in the recladding of the CMU addition could be an option to pay homage to the original style while giving the existing structure an update.

- Creating a transparency in the connector by cladding it in glass or as an open space would break up the massing and expose more of the original stone structure.
- The use of metal roofing is appropriate given the metal roof on the original structure. It is important that the panels match in color and width. The current drawing appears to have much wider panels than currently exist.



#### CONCLUSIONS AND RECOMMENDATIONS:

The proposed conceptual project seems reasonable in scale and appropriate for the site while addressing current day needs and modernization. It is however, lacking in the design principles and architectural details that will maintain the historic significance deserving of the original structure.

The massing of the new addition is subordinate to the original home. As the project develops and design development occurs analysis should be done to insure that the history and character of this home is maintained.

Respectfully submitted,

*Karen Bokor*

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