

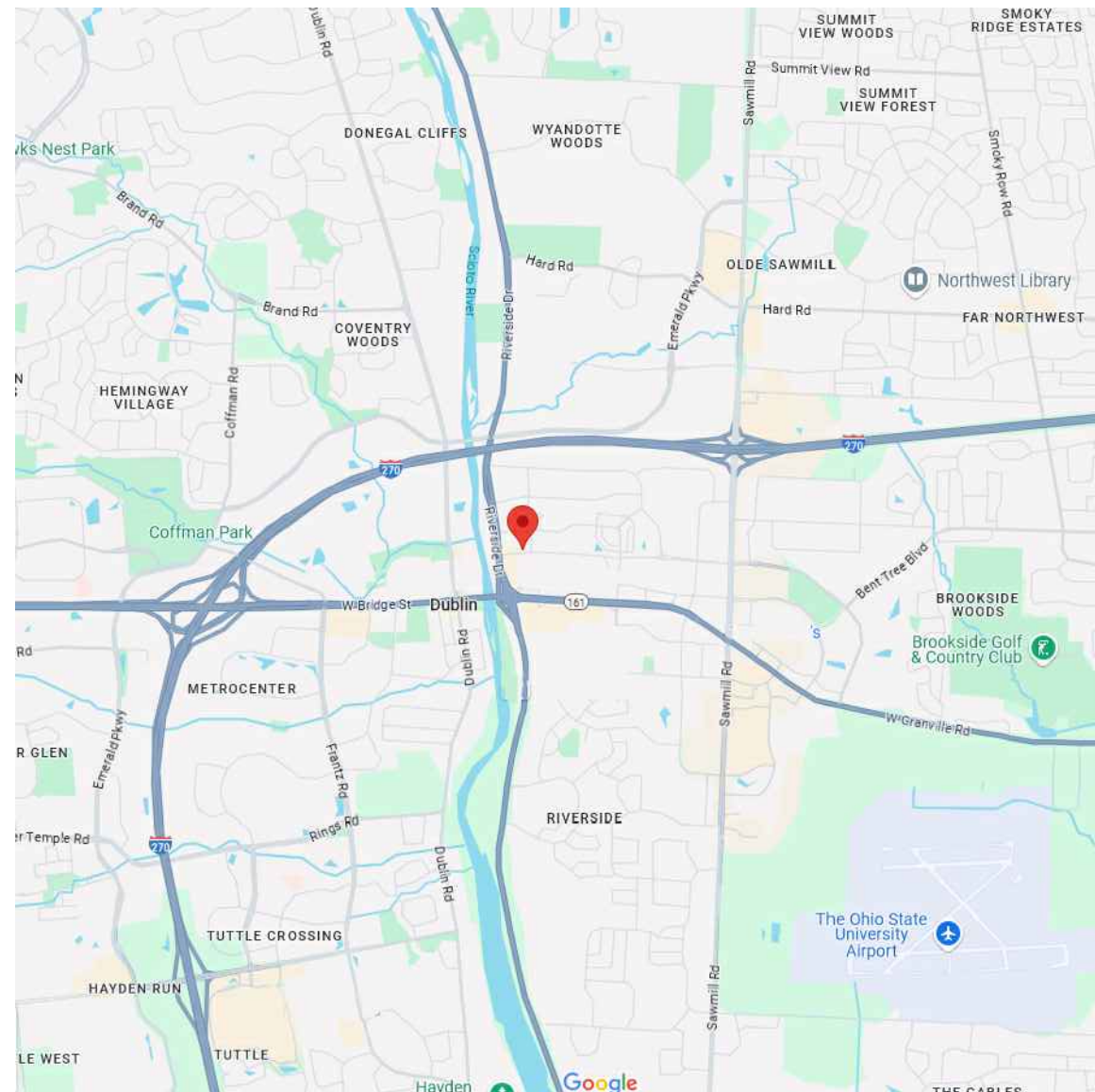


Orange **frog** Design Group
411 Meditation Lane
Columbus, Ohio 43235
P 614.578.1707

EHG PARTNERS - TENANT IMPROVEMENT

4495 BRIDGE PARK AVENUE DUBLIN, OHIO 43017

LOCATION MAP



SHEET INDEX

A000	COVER
A001	CODE SHEET
A002	FIRST EGRESS PLAN
A003	SECOND FLOOR EGRESS PLAN
S0.1	GENERAL NOTES
S0.2	GENERAL NOTES
S1.1	FOUNDATION PLAN
S2.1	SECOND FLOOR FRAMING PLAN
S3.1	ROOF FRAMING PLAN AND DETAILS
S5.1	FOUNDATION DETAILS
S6.1	FLOOR FRAMING DETAILS
A101	SITE PLAN
A301	FIRST FLOOR PLAN
A302	SECOND FLOOR PLAN
A303	FIRST FLOOR REFLECTED CEILING PLAN
A304	SECOND FLOOR REFLECTED CEILING PLAN
A305	INTERIOR ELEVATIONS
A306	INTERIOR ELEVATIONS
A307	INTERIOR RENDERINGS
A308	INTERIOR RENDERINGS
A309	INTERIOR RENDERINGS
A310	INTERIOR RENDERINGS
A401	EXTERIOR ELEVATIONS
A402	EXTERIOR ELEVATIONS
A501	BUILDING SECTIONS
A601	WALL SECTIONS & DETAILS
A602	WALL SECTIONS & DETAILS
A603	STAIR AND RAILING DETAILS
A604	WALL SECTIONS & DETAILS
A801	DOOR/ FINISH SCHEDULE & DETAILS
A802	WINDOW SCHEDULE & DETAILS
A803	INTERIOR DESIGNER FINISH SCHEDULE
A804	INTERIOR DESIGNER FINISH SCHEDULE
P1.0	FIRST FLOOR PLUMBING PLAN
P1.1	SECOND FLOOR PLUMBING PLAN
P2.0	FIRST FLOOR PLUMBING PLAN
P2.1	SECOND FLOOR PLUMBING PLAN
P3.0	PLUMBING SCHEDULES
P3.1	PLUMBING DETAILS
P3.2	PLUMBING SCHEMATIC
P4.0	PLUMBING SPECIFICATIONS
M1.0	FIRST FLOOR MECHANICAL PLAN
M1.1	SECOND FLOOR MECHANICAL PLAN
M1.2	MECHANICAL ROOF PLAN
M2.0	MECHANICAL SCHEDULES
M2.1	MECHANICAL DETAILS
M3.0	MECHANICAL SPECIFICATIONS
E1.0	FIRST FLOOR LIGHTING PLAN
E1.1	SECOND FLOOR LIGHTING PLAN
E2.0	FIRST FLOOR POWER PLAN
E2.1	SECOND FLOOR POWER PLAN
E2.2	ROOF ELECTRICAL PLAN
E3.0	ELECTRICAL DETAILS AND SCHEDULES
E3.1	ELECTRICAL PANEL SCHEDULES

SHEET INDEX

KITCHEN DRAWINGS REMOVED FROM SET

HOOD DRAWINGS	PLAN AND SCHEDULES
1	SECTIONS
2	HOOD DETAILS
3	HOOD DETAILS
4	HOOD DETAILS
5	HOOD DETAILS
6	EQUIPMENT PLAN
7	HOOD DETAILS
8	HOOD DETAILS
9	DUCT SCHEDULE
10	DUCT PLAN
11	DUCT PLAN
12	DUCT PLAN
13	DUCT PLAN
14	DUCT SCHEDULE
15	DUCT PLAN
16	DUCT PLAN
17	DUCT PLAN
18	CLOSEOUT SHEET

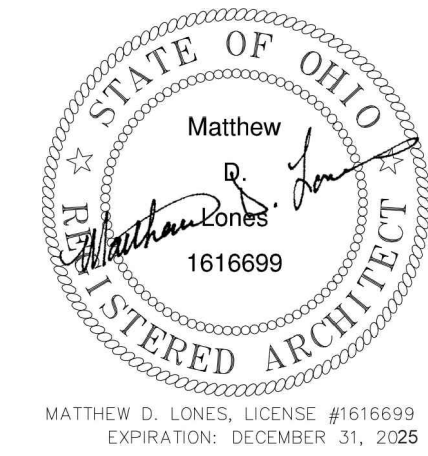
SOUND DRAWING	OVERALL REFLECTED CEILING PLAN -
A-201	FIRST FLOOR

REVISION 1 - 5.2.2025

BRACKETT BUILDERS INC	6640 RIVERSIDE DRIVE SUITE 500, DUBLIN, OHIO 43017	TELE: 614-545-3078
DERWACTER & ASSOCIATES	5275 Millard Drive Zanesville, Ohio 43701	TELE: 740-319-1822
POINT ONE DESIGN	2800 Corporate Exchange Drive, Suite 270 Columbus, OH 43231	TELE: 614-540-3500
MARENIC FOOD SERVICE CONSULTING	5811 Old Well House Road Charlotte, NC 28226	TELE: 954-817-1183
ADVANCED HOOD SYSTEMS	407 Weliva Spring Road, Suite 255 Longwood, Florida 32779	TELE: 407-269-4813

GENERAL CONTRACTOR
STRUCTURAL ENGINEER
MEP ENGINEER
KITCHEN EQUIPMENT
KITCHEN HOOD

PROJECT INFORMATION	
ISSUED FOR:	CONSTRUCTION DOCUMENTS
DATE OF ISSUE:	12.20.2024
PROJECT NUMBER:	2024-01



COVER
SHEET

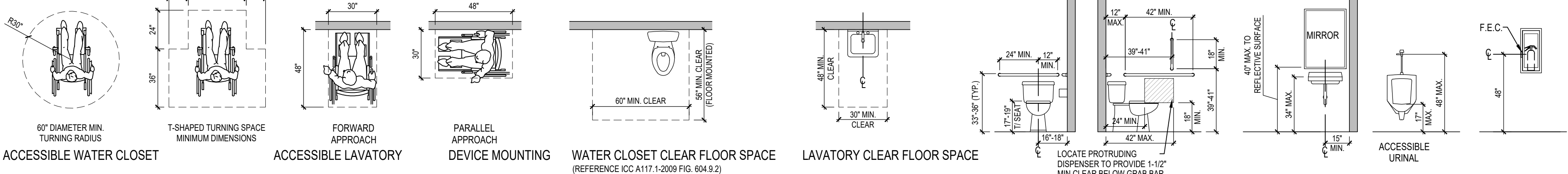
A000

SYMBOL LEGEND			
	LEVEL REFERENCE		INTERIOR ELEVATION REFERENCE
	STRUCTURAL GRID		CODED NOTE TAG
	NORTH ARROW		WALL TAG
	BUILDING SECTIONS REFERENCE		DOOR TAG
	WALL & DETAIL SECTIONS REFERENCE		WINDOW TAG
	EXTERIOR ELEVATION REFERENCE		DEMO TAG
	DETAIL REFERENCE		CEILING HEIGHT TAG
			ROOM TAG
			REVISION TAG
MATERIAL LEGEND			
	EXISTING		WOOD BLOCKING (CONTINUOUS)
	DEMOLITION		WOOD BLOCKING OR SHIMMING (NON-CONTINUOUS)
	RIGID INSULATION		WOOD (FINISH)
	FIBROUS INSULATION (BATT)		PLYWOOD
	STEEL I-BEAM		GYPSUM BOARD
	CONCRETE MASONRY UNIT (CMU)		CONCRETE
	BRICK MASONRY		EARTH
	GRAVEL FILL		
ABBREVIATIONS			
ACCOMM. A.F.F. A.L.S.S. ALUM. & APPROX. Ø	ACCOMMODATE ABOVE FINISH FLOOR AUTOMATIC FIRE SUPPRESSION SYSTEM ALUMINUM AND APPROXIMATE AT (THE RATE OF)	INSUL. L.F. L.S.C. LV.	INSULATION LINEAR FOOT LIFE SAFETY CODE LUXURY VINYL
BD. BLDG.	BOARD BUILDING	MFR. MAX. MECH. MIN. MISC.	MANUFACTURE (R) MAXIMUM MECHANICAL MINIMUM MISCELLANEOUS
CLG. E. C.T. CLR. CONC. C.M.U. CONST. CONT. C.I. C.M. CPT	CEILING CENTERLINE CERAMIC TILE CLEAR CONCRETE CONCRETE MASONRY UNIT CONSTRUCT. (ION) CONTINUOUS CONTROL JOINT CONSTRUCTION MANAGER CARPET	NOM. N/A N.L.C. N.L.S. N.T.S. # or No. O.C. O.D. OPP. OSB P-LAM. PT. PTD. PR. PRTN.	NOMINAL NOT APPLICABLE NOT IN CONTRACT NOT IN SCOPE NOT TO SCALE NUMBER ON CENTER OVERFLOW DRAIN OPPOSITE ORIENTED STRAND BOARD PLASTIC LAMINATE PLYWOOD SHITG PAINT PAINTED PAIR PARTITION
DEMO DEPT. DIM. DIR. DWG.	DEMOLISH DEPARTMENT DIMENSION DIRECTED DRAWING	R.D. REF. RCP REQ'D. R.O. R.B.	ROOF DRAIN REFERENCE REFLECTED CEILING PLAN REQUIREMENTS/RECOMMENDATIONS REQUIRED ROUGH OPENING RUBBER BASE
ELEC. E.O. EXIST./EXISTG E.J. EXP. E.I.F.S.	ELECTRICAL EQUAL EXISTING EXPANSION JOINT EXPOSED EXTERIOR INSULATION FINISH SYSTEM	SECT. SIM. SF / S.F. SIFT SV	SECTION SIMILAR SQUARE FOOT (FEET) STOREFRONT SHEET VINYL
F.D. F.E. F.C. FIN. F.F. FLR. FL.R. F.R.R. FT. IN. FURN.	FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER AND CABINET FINISH DIMENSION FINISH FLOOR FLOOR (ING) FILLER FIRE RESISTANCE RATED FOOT (FEET) INCHES INCHES FURNITURE	TRANS. TYP. U.N.O.	TRANSPARENT TYPICAL UNLESS NOTED OTHERWISE
GALV. G.C. GYP. BD. HVAC H.M. HR	GALVANIZE GENERAL CONTRACT(OR) GYPSUM BOARD HEATING/VENTILATING/AIR COND'TG HOLLOW METAL HOUR (S)	V.B. V.C.T. V.I.F. W/ W/O WD	VINYL BASE VINYL COMPOSITION TILE VERIFY IN FIELD WITH WITHOUT WOOD

GENERAL CONSTRUCTION NOTES:

- A. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BID, INCLUDING BUT NOT LIMITED TO: DIMENSIONS, SOIL CONDITIONS, INCOMING UTILITIES, ETC. GENERAL CONTRACTOR IS TO REPORT IMMEDIATELY TO THE ARCHITECT ANY VARIANCES OR FIELD CONDITIONS THAT MAY CAUSE CONSTRUCTION PROBLEMS TO COMMENCING WORK.
- B. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS FOR THE PROTECTION OF PERSONS INCLUDING EMPLOYEES AND PROPERTY. CONTRACTORS TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS.
- C. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK, INCLUDING MEANS, METHODS, PROCEDURES, TECHNIQUES AND SEQUENCING OF CONSTRUCTION.
- D. GENERAL CONTRACTOR IS RESPONSIBLE TO MAKE SURE ALL FIRE PROTECTION DEVICES ARE MAINTAINED, INCLUDING, EXITS, EXIT LIGHTING, FIRE EXTINGUISHERS AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE LOCAL CODES/REQUIREMENTS.
- E. FIREBLOOKING SHALL BE INSTALLED IN CONCEALED SPACES OF STUD WALL AND PARTITIONS, INCLUDING FURRED SPACES OF MASONRY OR CONCRETE WALLS AND AT CEILING/FLOOR/ROOF LEVELS, PER OBC SECTION 712.2.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
- F. FIRE BLOCKING SHALL BE INSTALLED AT ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES, SUCH AS SOFFITS OVER CABINETS, DROP CEILINGS AND SIMILAR CONDITIONS PER OBC SECTION 717.2.3.
- G. REQUIRED FLAME SPREAD RATING: INTERIOR FINISH OF WALLS AND CEILING SHALL HAVE A FLAME SPREAD RATING NOT GREATER THAN THAT DESIGNATED BY THE CLASS PRESCRIBED FOR THE VARIOUS GROUPS LISTED IN OBC TABLE 803.5, WHEN TESTED IN ACCORDANCE WITH OBC SECTION 803.2.
- H. GENERAL CONTRACTOR SHALL GUARANTEE ALL WORK FOR A PERIOD OF ONE (1) YEAR COMMENCING WITH THE DATE OF SUBSTANTIAL COMPLETION.
- J. ALL PRODUCTS/MATERIALS ARE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATION/INDUSTRY STANDARDS.
- K. PROVIDE FIRESTOP AND ACCESSORY MATERIALS AND INSTALL WITH FIRE RESISTANT RATING COMPLYING WITH LISTED UL RATING PER ASTM E814 OR E119 OR UL2079. INSTALL FIRESTOPPING TO CONFORM TO ALL LOCAL APPLICABLE BUILDING CODES. PROVIDE 3M, INC. PRODUCTS OR EQUAL.

CLEAR FLOOR SPACE DIAGRAMS



MOUNTING HEIGHTS

SCALE: 1/4" = 1'-0"

INTERIOR WALL TYPE SCHEDULE								
SYMBOL	RATING	UL DESIGN	STC RATING	CONSTRUCTION DETAIL	CONSTRUCTION			TERMINATION
					SIDE 1 (TOP)	STUDS	SIDE 2 (BOTTOM)	
	-	-	-		5/8" TYPE "X" GYP BD	20 GA. @ 16" O.C.	5/8" TYPE "X" GYP BD	STUDS FULL HEIGHT GYP BD TO DECK OR RATED MEMBRANE
	-	-	-		5/8" TYPE "X" GYP BD	6" MTL 20 GA. @ 16" O.C.	5/8" TYPE "X" GYP BD	STUDS FULL HEIGHT GYP BD TO DECK OR RATED MEMBRANE
	-	-	-		5/8" TYPE "X" GYP BD	3-5/8" MTL 20 GA. @ 16" O.C.	-	STUDS FULL HEIGHT GYP BD TO DECK OR RATED MEMBRANE
	-	-	-		5/8" TYPE "X" GYP BD	2-1/2" MTL 20 GA. @ 16" O.C.	-	STUDS FULL HEIGHT GYP BD TO DECK OR RATED MEMBRANE

GENERAL WALL TYPE NOTES:

- SEE FLOOR PLANS FOR WALL TYPE REFERENCES.
- INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD OF BLOCK TO FACE OF STUD UNLESS NOTED OTHERWISE.
- EXTERIOR DIMENSIONS ARE FROM FACE OF SHEATHING TO FACE OF SHEATHING UNLESS NOTED OTHERWISE. SEE EXTERIOR ELEVATIONS AND WALL SECTIONS FOR THE EXTERIOR WALL MATERIALS.
- RATED PARTITIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LISTED AND TESTED ASSEMBLY INDICATED BY UNDERWRITERS LABORATORIES (UL) NUMBER. ALL RATED PARTITIONS ARE TO BE CONTINUOUS FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE AND SEALED IN ACCORDANCE WITH TESTED ASSEMBLY.
- WALLS SHALL BE TYPE "W" UNLESS NOTED OR DETAILED OTHERWISE.
- ALL GYPSUM BOARD SHALL BE TYPE "X" UNLESS NOTED OTHERWISE. NOTE: RATED WALL SYSTEMS ARE INDICATED ON THE FIRE SEPARATION PLAN ON SHEET A002. WALL TYPE DESIGNATIONS FOR RATED FIRE RESISTANT WALLS ARE SPECIFIC TO THE WALLS LOCATED DESIGNATED AS SUCH (ie. ALL GYPSUM BOARD SHALL BE TYPE "X" FOR EASE OF CONSTRUCTION, BUT THIS DOES NOT NECESSARILY INDICATE A RATED WALL LOCATION).
- ALL WALL TYPES TO RECEIVE TILE OR OTHER POROUS WALL PANEL SHALL HAVE GLASS MAT GYPSUM BOARD AND ALL OTHER WALL TYPES IN WET LOCATIONS WHICH ARE NOT RECEIVING TILE SHALL HAVE MOISTURE RESISTANT BOARD.
- PROVIDE GYPSUM BOARD CONTROL JOINTS WHERE WALLS & CEILINGS EXTEND MORE THAN 30'-0" AT INTERIOR PARTITIONS (VERTICALLY OR HORIZONTALLY) PER MANUFACTURER RECOMMENDATIONS. COORDINATE EXACT LOCATIONS IN THE FIELD WITH THE ARCHITECT/ OWNER.
- PROVIDE FIRE SAFING AT ALL PARTITIONS/ FURRED WALLS AT CEILING LEVELS OPEN TO CEILING PLenums.
- PROVIDE SOUND BATTING TYPICAL AT ALL RESTROOMS, MECHANICAL ROOMS, SUPPORT ROOMS AND CORRIDORS.

WALL TYPES

SCALE: 1/4" = 1'-0"



SIGNAGE

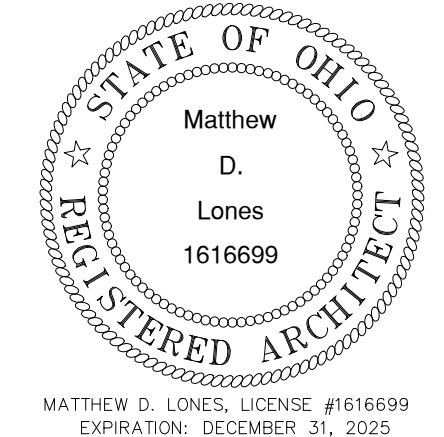
SCALE: 3" = 1'-0"

BUILDING CODE SUMMARY			
CODES:			
THIS PROJECT IS GOVERNED BY THE FOLLOWING CODES AND AUTHORITIES:			
1.	2024 OHIO EXISTING BUILDING CODE (OBC) - PRESCRIPTIVE METHOD		
2.	2024 MECHANICAL CODE		
3.	2024 PLUMBING CODE		
4.	2023 NATIONAL ELECTRIC CODE (NEC)		
5.	2021 FIRE CODE		
6.	2017 ICC ANSI A117.1 ACCESSIBLE BUILDING AND FACILITIES		
USE GROUP AND CONSTRUCTION TYPE (IBC 305)			
USE GROUP:		ASSEMBLY GROUP A-2 (SECT. 303.3)	
CONSTRUCTION:		1A (SECT. 601) PRESCRIPTIVE METHOD	
FIRE PROTECTION:			
THIS BUILDING IS EQUIPPED WITH A SPRINKLER SYSTEM AND HAS AN AUTOMATIC FIRE ALARM SYSTEM			
ALLOWABLE BUILDING LIMITATIONS (IBC CH 5)			
TABULAR BUILDING HEIGHT (OBC TABLE 503)		A-2 - USE GROUP	
TABULAR BUILDING AREA (OBC TABLE 503)		1-STORY 40'-0" UNLIMITED	
ACTUAL BUILDING LIMITATIONS:			
PROPOSED TENANT IMPROVEMENT BUILDING HEIGHT:		A-2 - USE GROUP TENANT IMPROVEMENT - OBC 2024 PRESCRIPTIVE METHOD	
PROPOSED TENANT IMPROVEMENT BUILDING AREA:		2 STORIES (20'-4") EXISTING HEIGHT	
FIRST FLOOR:		6,493 S.F.	
SECOND FLOOR:		2,003 S.F. NEW SPACE	
TOTAL EXISTING TENANT AREA:		8,496 S.F.	
FIRE RESISTANCE RATINGS (IBC TABLE 601 AND REFERENCE SECTION)			
STRUCTURAL FRAME: (A REF. SECT. 714) (INCLUDING COLUMNS, GIRDERS, TRUSSES)		CODE (1A)	
BEARING WALLS:		3 HR - UL YES TUBE COLUMNS	
EXTERIOR WALLS: (A REF. SECT. 602)		3 HR	
INTERIOR WALLS:		3 HR	
NON BEARING WALLS AND PARTITIONS:		0 HR	
EXTERIOR WALLS: (A REF. SECT. 602)		AS REQ'D. SEE BELOW	
INTERIOR WALLS:		2 HR - UL D602	
FLOOR CONSTRUCTION: (A REF. SECT. 712) (INCLUDING SUPPORTING BEAMS & JOISTS)		3 HR	
ROOF CONSTRUCTION: (A REF. SECT. 712) (INCLUDING SUPPORTING BEAMS & JOISTS)		0 HR - NO RATING DUE TO SPACE HAVING A SPRINKLER SYSTEM	
FIRE PARTITIONS: (A REF. SECT. 709)		75 L.F.	
CORRIDOR WALLS: (A REF. SECT. 407.3, 801, 711 & 1020.2)		44" MIN.	
COMMON PATH OF TRAVEL:		250 L.F. TRAVEL DISTANCE FROM ANY POINT INTO A ROOM TO AN EXIT (NFPA 101)	
A-2 (A REF. SECT. 1006.2.1)		50'-0"	
EXIT ACCESS CORRIDOR WIDTH:			
A-2 (REF. SECT. 1020.3)			
EXIT ACCESS TRAVEL DISTANCE:			
A-2 (A REF. SECT. 1017.2)			
DEAD END CORRIDOR LENGTH:			
A-2 (REF. SECT. 1020.5)			
OCCUPANT LOAD (SECTION 1004.1.2 TABLE)			
FIRST FLOOR	FL. AREA PER OCCUPANT	G.S.F.	OCCUPANT POSTED
MAIN DINING 102	15 NET	2,678	178
MAIN BAR 103	200 GROSS	352	2
STAGE 105	15 NET	190	13
KITCHEN 107	200 GROSS	1,578	8
WHISKY BAR 109	200 GROSS	158	1
WHISKY SITTING AREA 110	15 NET	735	49
COVERED PATIO	15 NET	718	48
FIRST FLOOR TOTAL OCCUPANT LOAD		299	
SECOND FLOOR			
EVENT AREA 201	15 NET	819	55
EVENT BAR 202	200 GROSS	130	1
OFFICE 205	150 GROSS	101	1
MECHANICAL ROOM 208	300 GROSS	574	2
SECOND FLOOR TOTAL OCCUPANT LOAD		59	
TOTAL OCCUPANT LOAD FOR ENTIRE SPACE:		358	
PROJECT NARRATIVE			
THIS IS A TENANT IMPROVEMENT. THIS TENANT SPACES WAS DESIGNED FOR AN A-2 USE GROUP RESTAURANT. THE EXTERIOR MODIFICATIONS INCLUDED COVERING THE EXISTING PATIO ON THE NORTH, REMOVING THE PLYWOOD INFILL WINDOW OPENINGS. THESE OPENINGS WILL BE FILLED WITH ALUMINUM STOREFRONT WINDOWS AND LOUVERS.			



Orange frog Design Group
411 Meditation Lane
Columbus, Ohio 43235
P 614.578.1707

EHG PARTNERS - TENANT IMPROVEMENT
4495 BRIDGE PARK AVENUE, DUBLIN, OHIO 43017
BRACKETT BUILDERS
6640 RIVERSIDE DRIVE SUITE 500, DUBLIN, OHIO 43017



NO.	DATE	REVISION
1	5.2.25	REVISION
JOB NO. : 2024-01		
DATE : 12.20.2024		

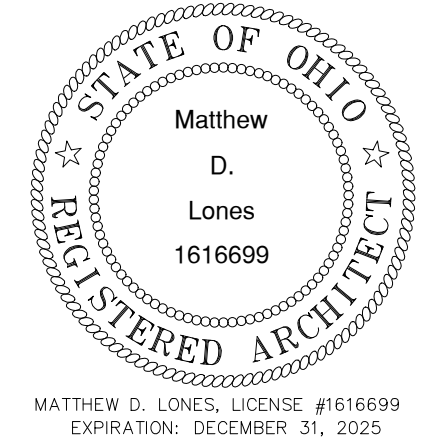
CODE SHEET

A001



Orange **frog** Design Group
411 Meditation Lane
Columbus, Ohio 43235
P 614.578.1707

EHG PARTNERS - TENANT IMPROVEMENT
4495 BRIDGE PARK AVENUE, DUBLIN, OHIO 43017
BRACKET BUILDERS
6640 RIVERSIDE DRIVE SUITE 500, DUBLIN, OHIO 43017

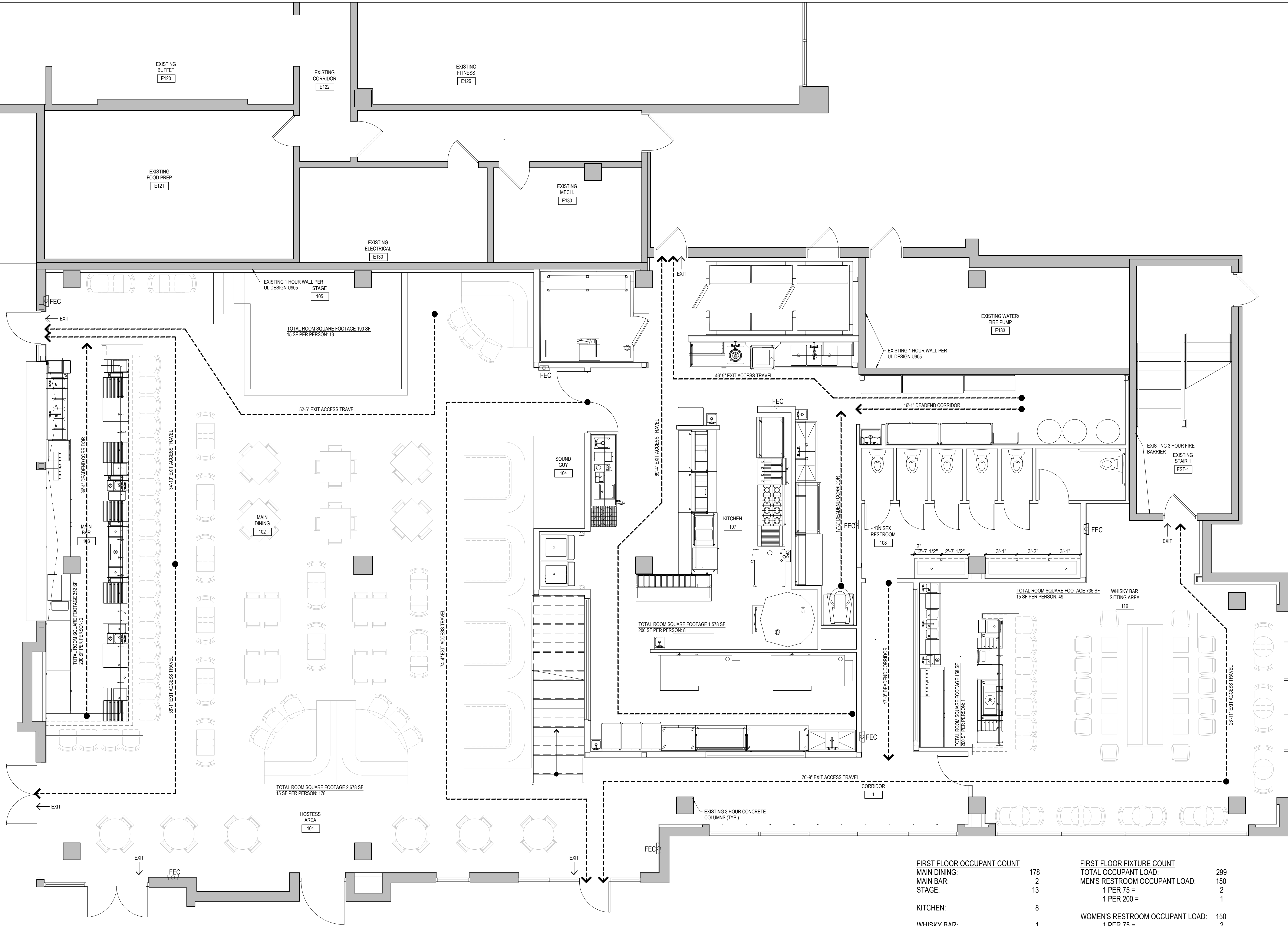


NO.	DATE	REVISION
1	5.2.25	REVISION
JOB NO. : 2024-01		
DATE : 12.20.2024		

FIRST FLOOR
EGRESS &
RATING PLAN

A002

N
FIRST FLOOR EGRESS PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR OCCUPANT COUNT	
MAIN DINING:	178
MAIN BAR:	2
STAGE:	13
KITCHEN:	8
WHISKY BAR:	1
WHISKY SITTING AREA:	49
COVERED PATIO:	48
TOTAL OCCUPANTS:	299

FIRST FLOOR FIXTURE COUNT	
TOTAL OCCUPANT LOAD:	299
MEN'S RESTROOM OCCUPANT LOAD:	150
1 PER 75 =	2
1 PER 200 =	1

WOMEN'S RESTROOM OCCUPANT LOAD:	
1 PER 75 =	2
1 PER 200 =	1

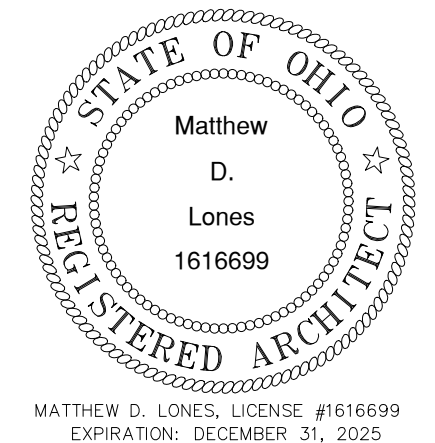
WATER CLOSETS REQUIRED:	4
LAVATORIES PROVIDED:	2

WATER CLOSETS PROVIDED:	6
LAVATORIES PROVIDED:	5



Orange **frog** Design Group
411 Meditation Lane
Columbus, Ohio 43235
P 614.578.1707

EHG PARTNERS - TENANT IMPROVEMENT
4495 BRIDGE PARK AVENUE, DUBLIN, OHIO 43017
BRACKET BUILDERS
6640 RIVERSIDE DRIVE SUITE 500, DUBLIN, OHIO 43017



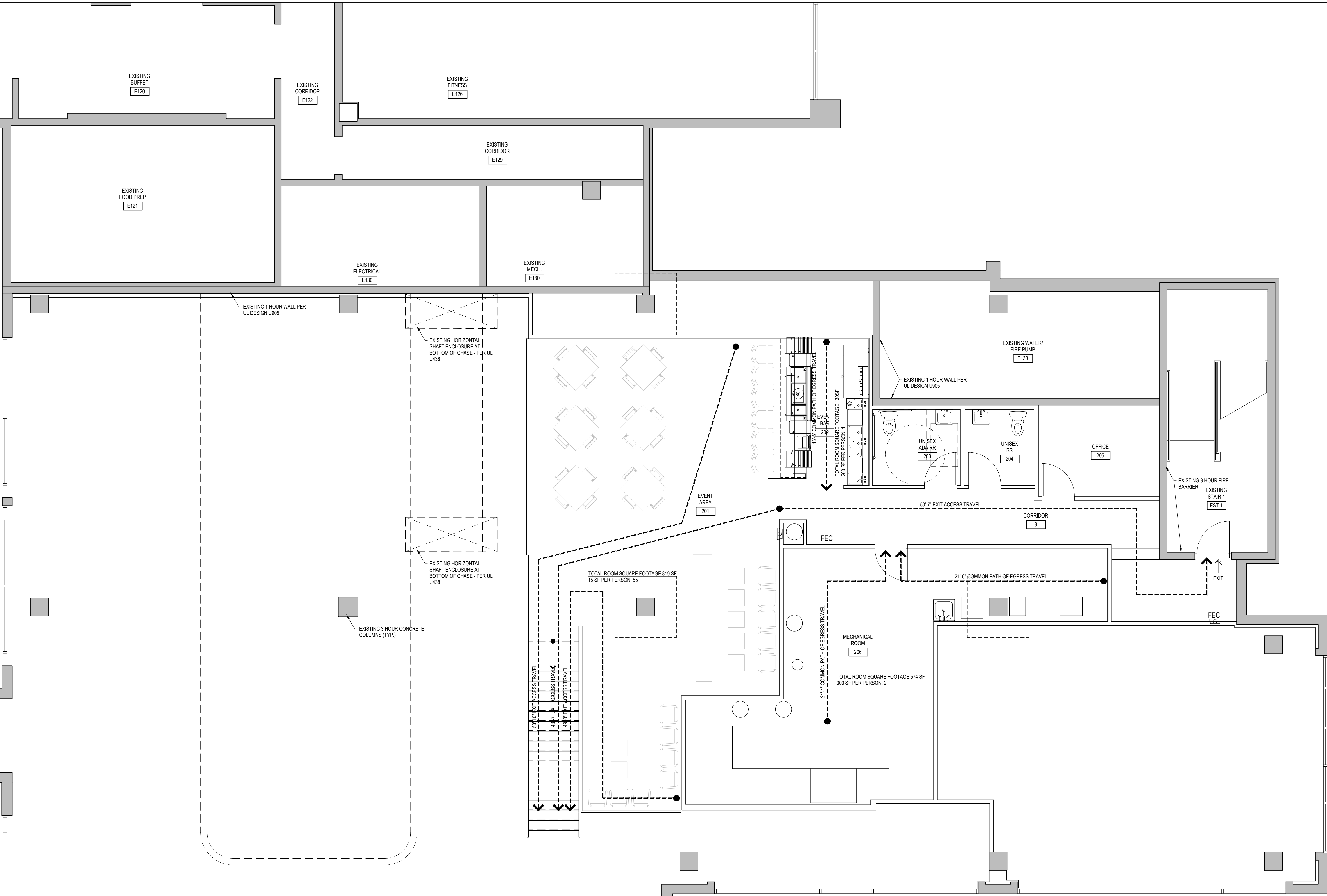
MATTHEW D. LONES, LICENSE #1616699
EXPIRATION: DECEMBER 31, 2025

NO.	DATE	REVISION
1	5.2.25	REVISION
JOB NO. : 2024-01		
DATE : 12.20.2024		

SECOND FLOOR
EGRESS &
RATING PLAN

A003

N
SECOND FLOOR EGRESS PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR OCCUPANT COUNT	
EVENT AREA:	55
EVENT BAR:	1
OFFICE:	1
STORAGE:	2
TOTAL OCCUPANTS:	59

SECOND FLOOR FIXTURE COUNT	
TOTAL OCCUPANT LOAD:	59
MEN'S RESTROOM OCCUPANT LOAD:	30
1 PER 75 =	1
1 PER 200 =	1

WOMEN'S RESTROOM OCCUPANT LOAD:	30
1 PER 75 =	1
1 PER 200 =	1

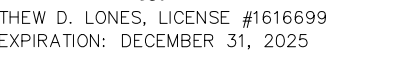
WATER CLOSETS REQUIRED:	2
LAVATORIES PROVIDED:	2

WATER CLOSETS PROVIDED:	2
LAVATORIES PROVIDED:	2



EHG PARTNERS - TENANT IMPROVEMENT
4495 BRIDGE PARK AVENUE, DUBLIN, OHIO 43017

BRACKETT BUILDERS
6640 RIVERSIDE DRIVE SUITE 500, DUBLIN, OHIO 43017



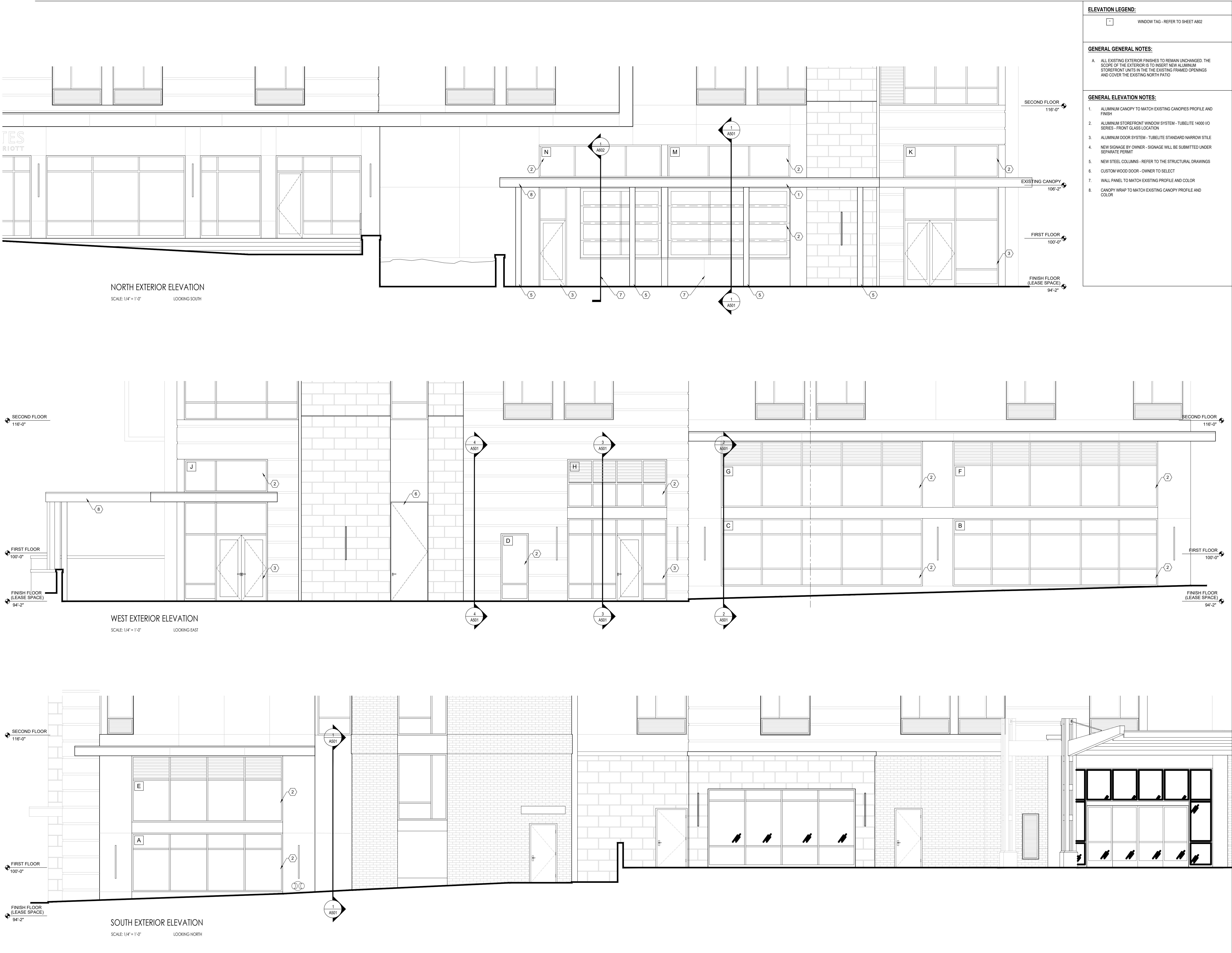
NO.	DATE	REVISION
1	5.2.25	REVISION

JOB NO. : 2024-01
DATE : 12.20.2024

EXTERIOR ELEVATIONS

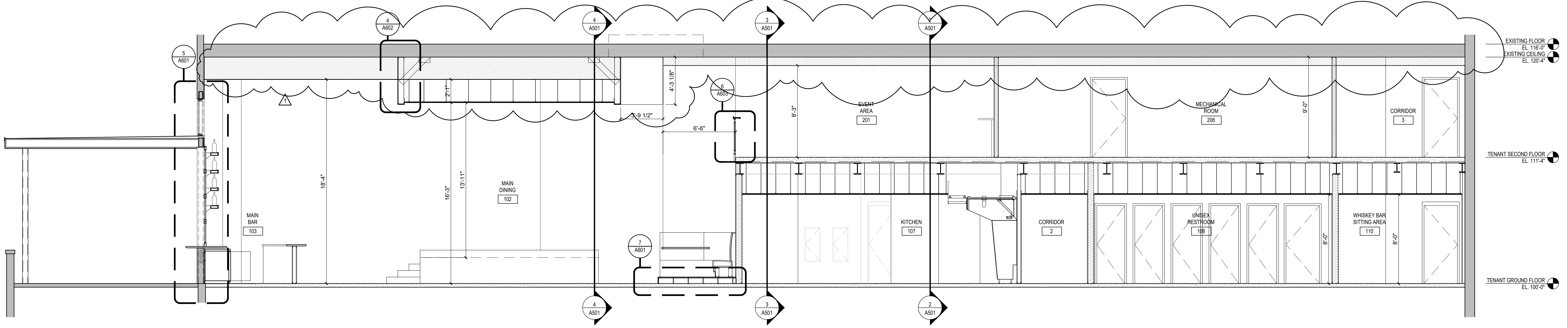
A401

COPYRIGHT © 2024 Orange  Design Group, LLC
ALL RIGHTS RESERVED

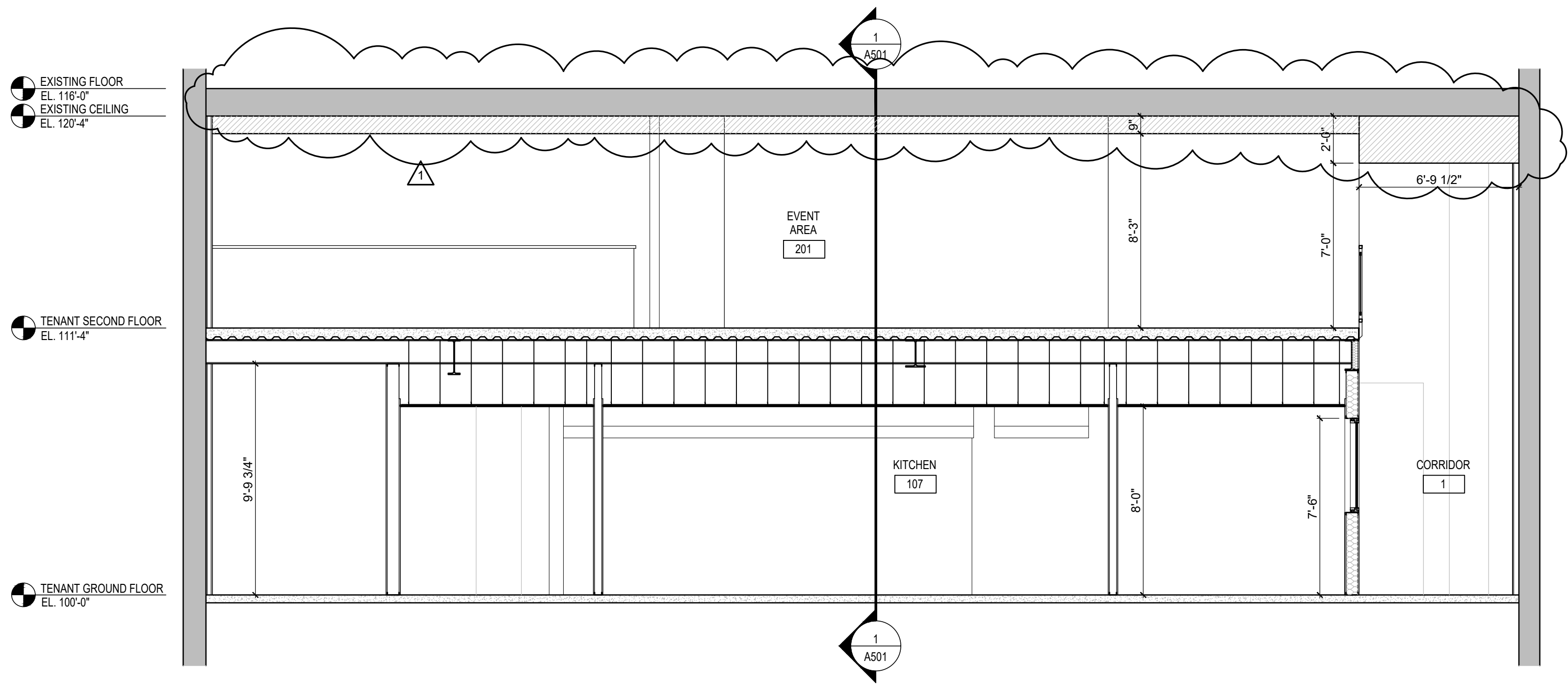




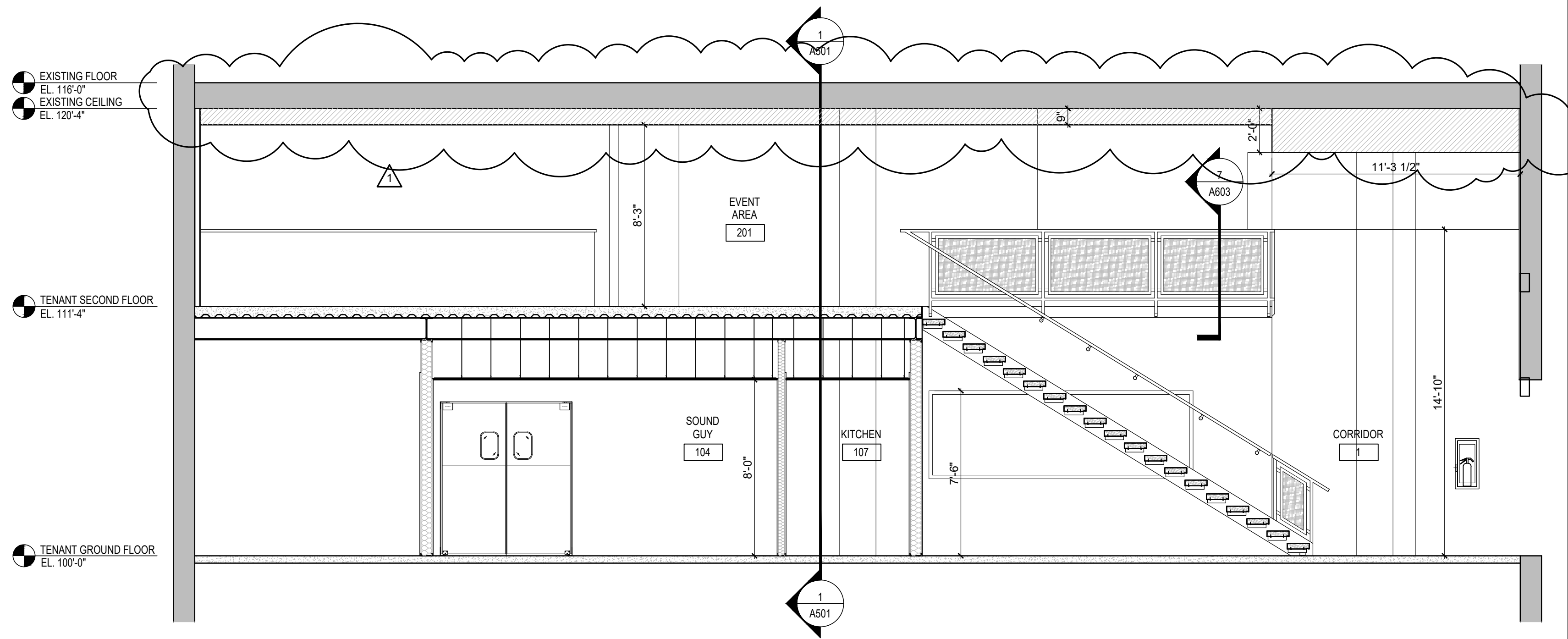
Orange **frog** Design Group
411 Meditation Lane
Columbus, Ohio 43235
P 614.578.1707



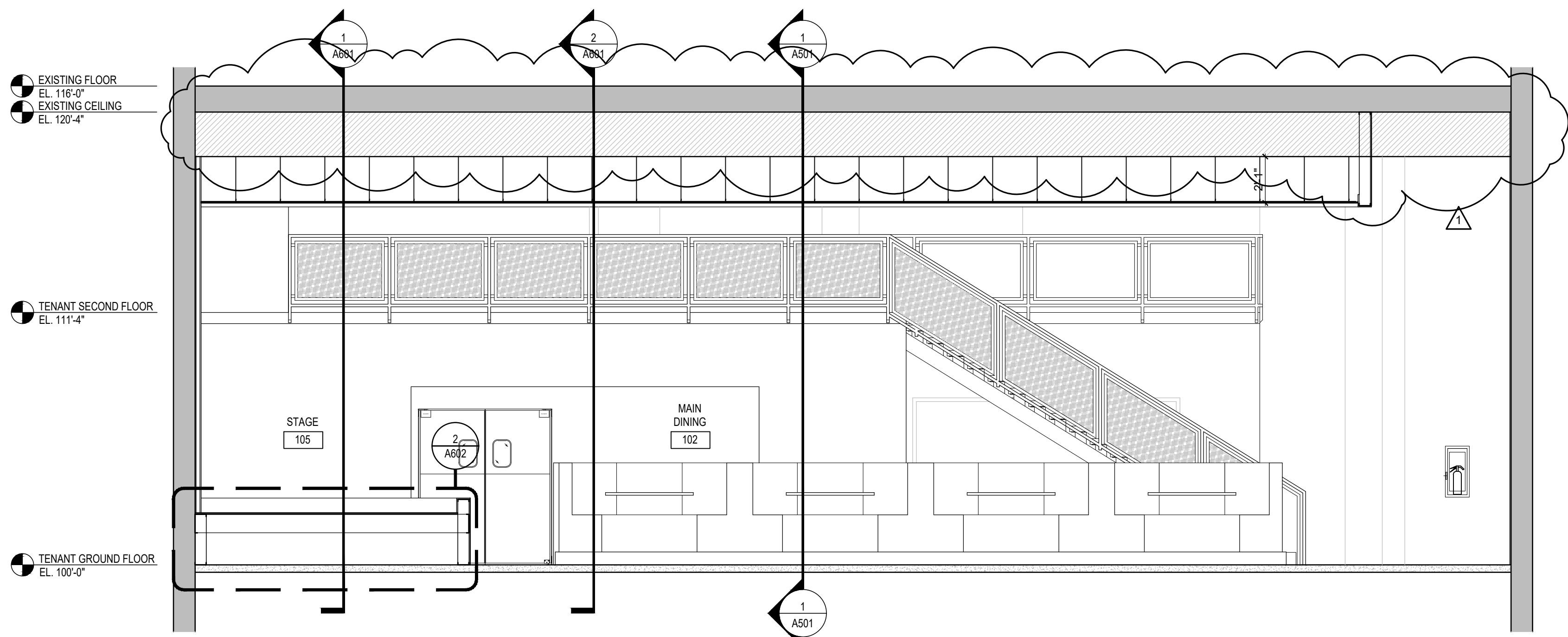
1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"

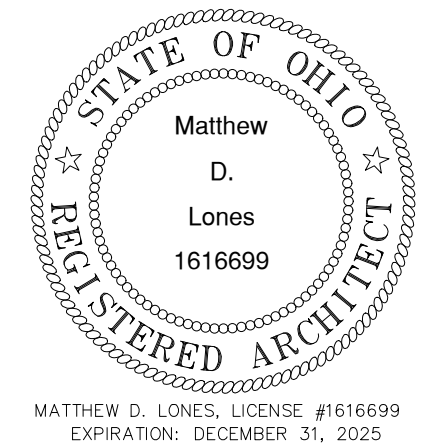


3 BUILDING SECTION
SCALE: 1/4" = 1'-0"



4 BUILDING SECTION
SCALE: 1/4" = 1'-0"

EHG PARTNERS - TENANT IMPROVEMENT
4495 BRIDGE PARK AVENUE, DUBLIN, OHIO 43017
BRACKETT BUILDERS
6640 RIVERSIDE DRIVE SUITE 500, DUBLIN, OHIO 43017



NO.	DATE	REVISION
1	5.2.25	REVISION
JOB NO. : 2024-01		
DATE : 12.20.2024		

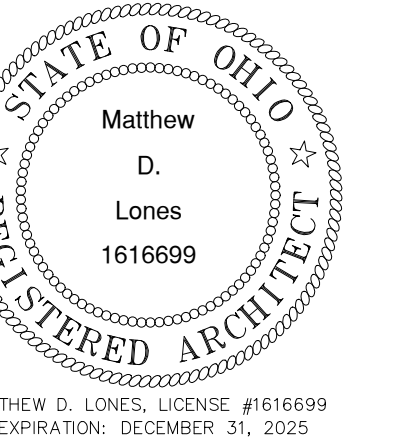
BUILDING
SECTIONS

A501



EHG PARTNERS - TENANT IMPROVEMENT
4495 BRIDGE PARK AVENUE, DUBLIN, OHIO 43017

BRACKETT BUILDERS
6640 RIVERSIDE DRIVE SUITE 500, DUBLIN, OHIO 43017



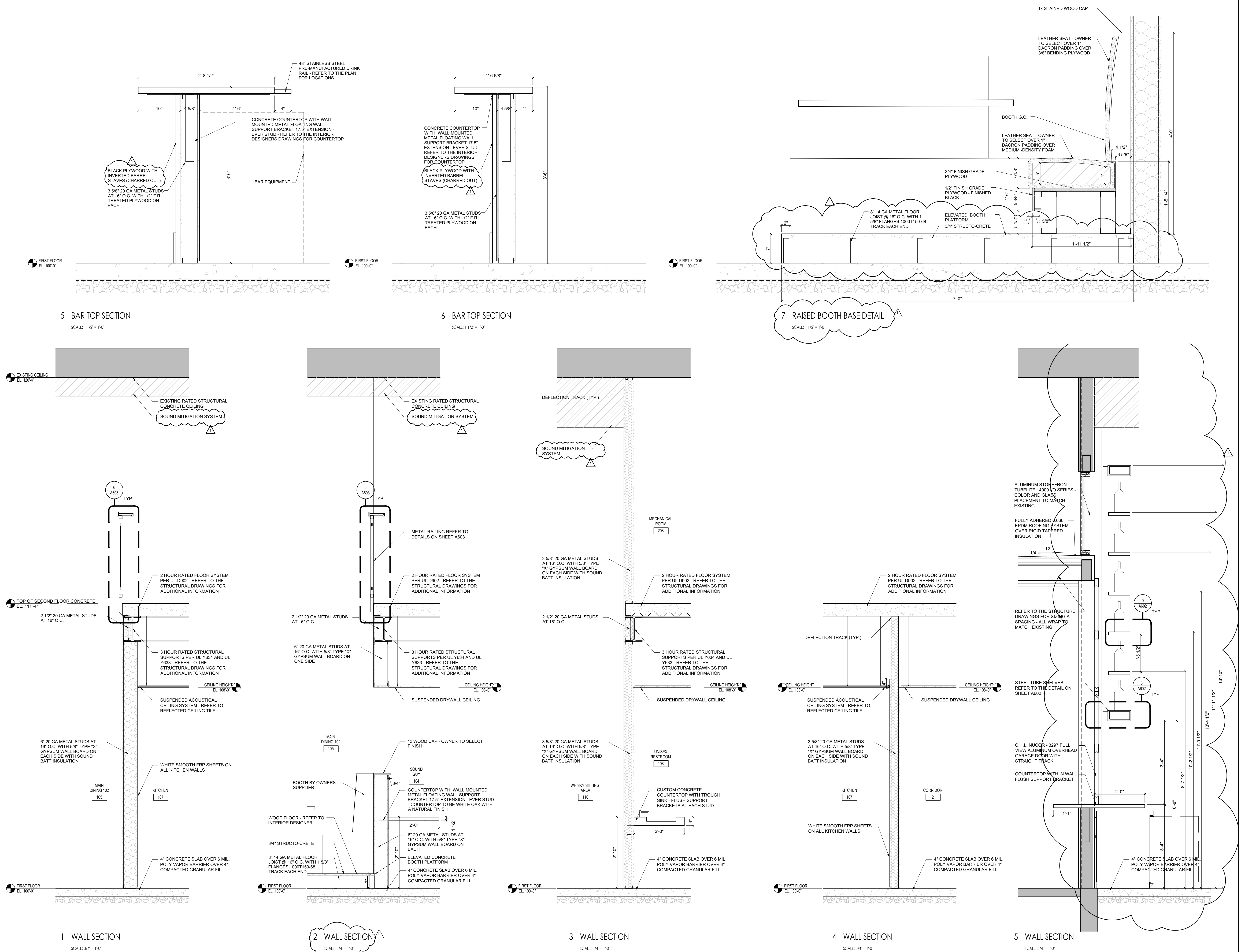
NO.	DATE	REVISION
1	5.2.25	REVISION

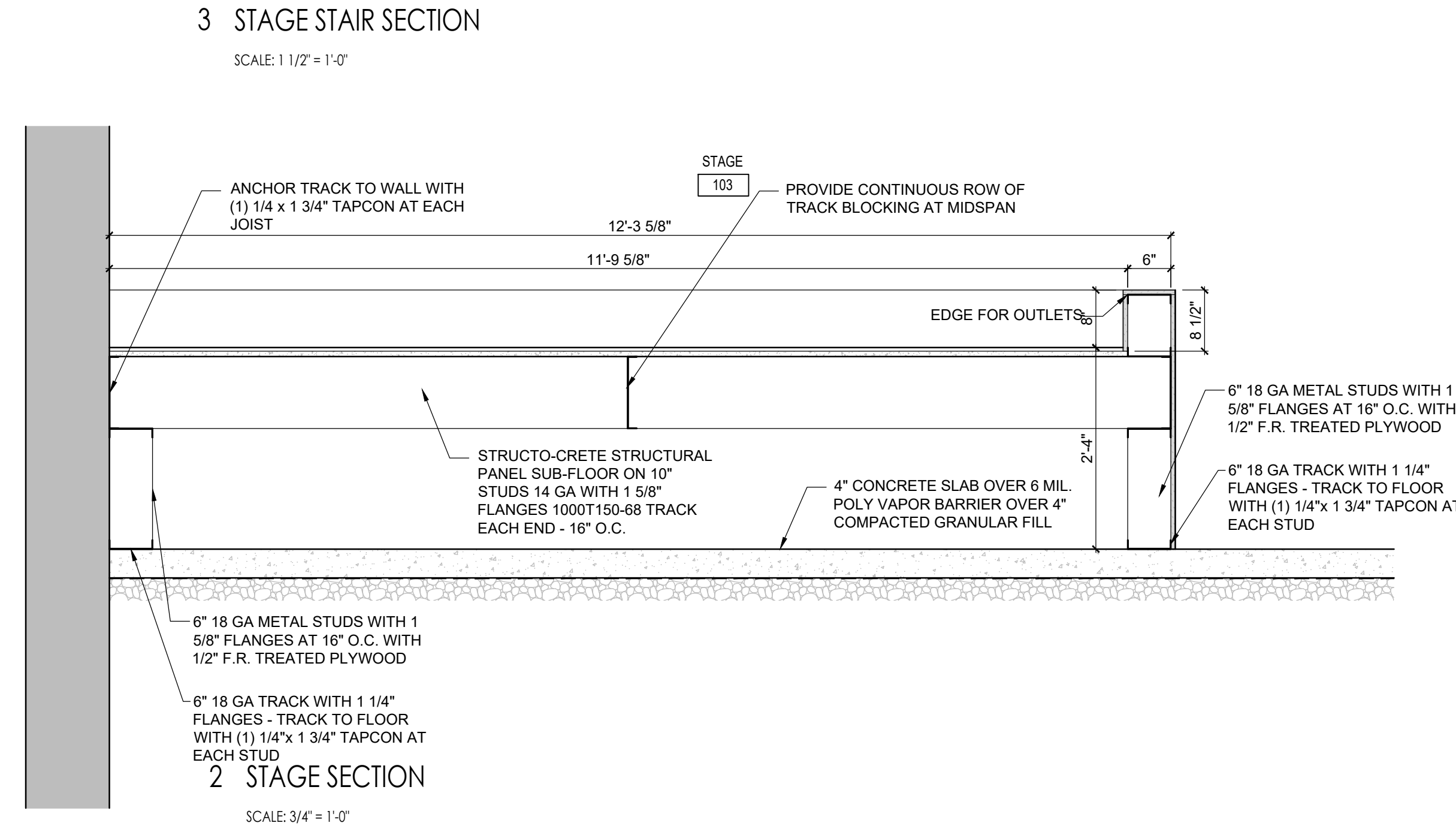
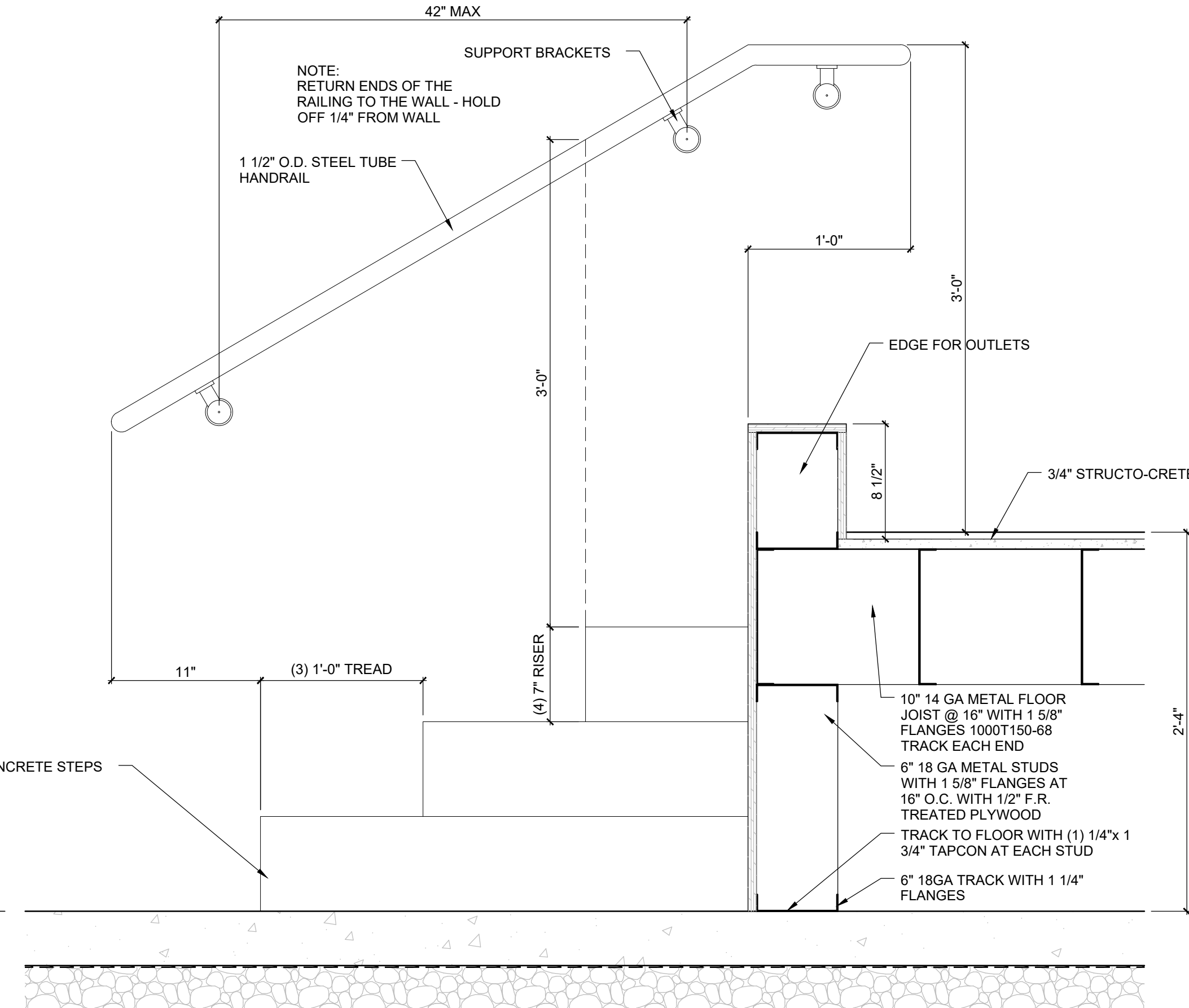
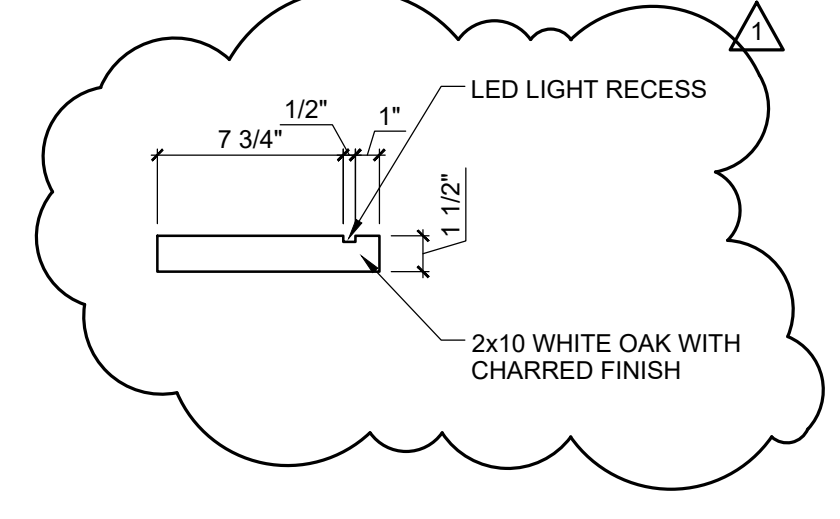
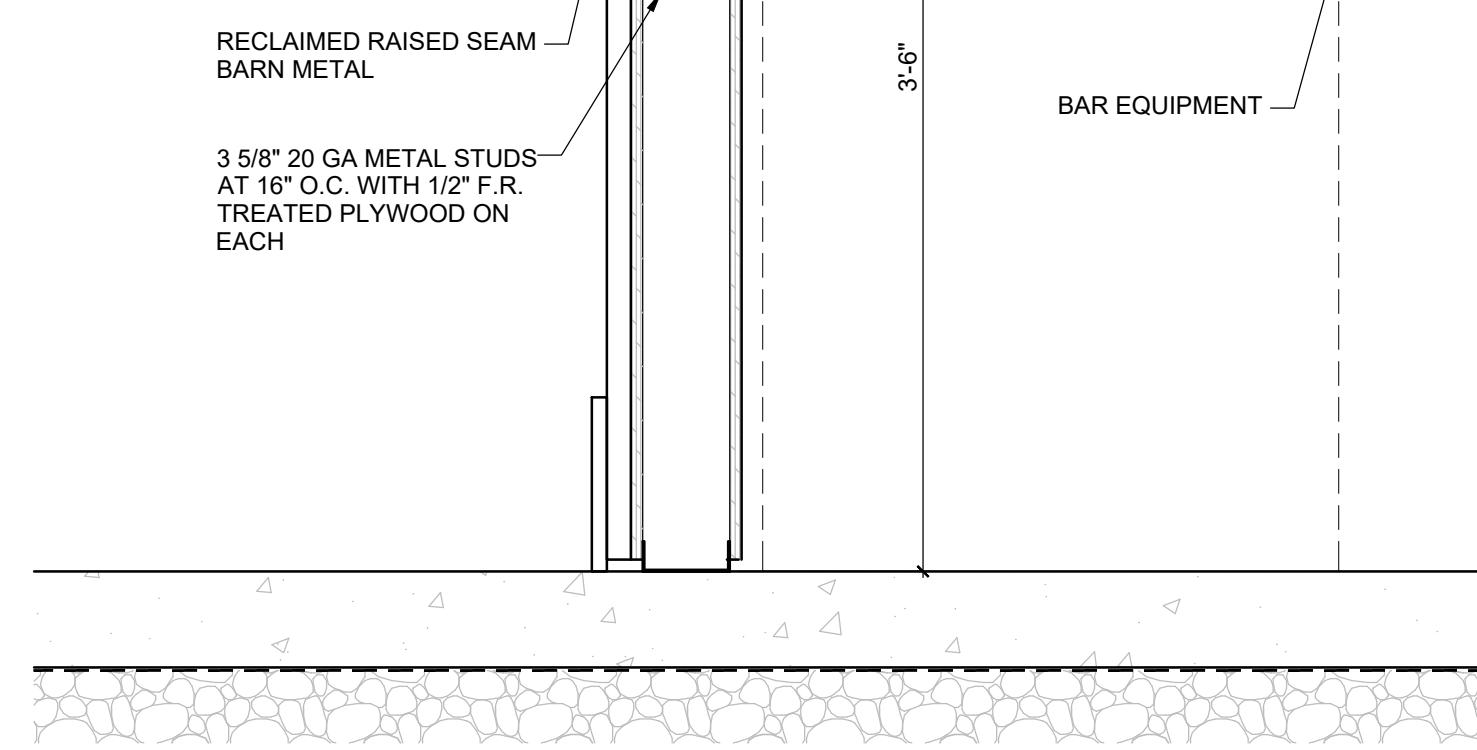
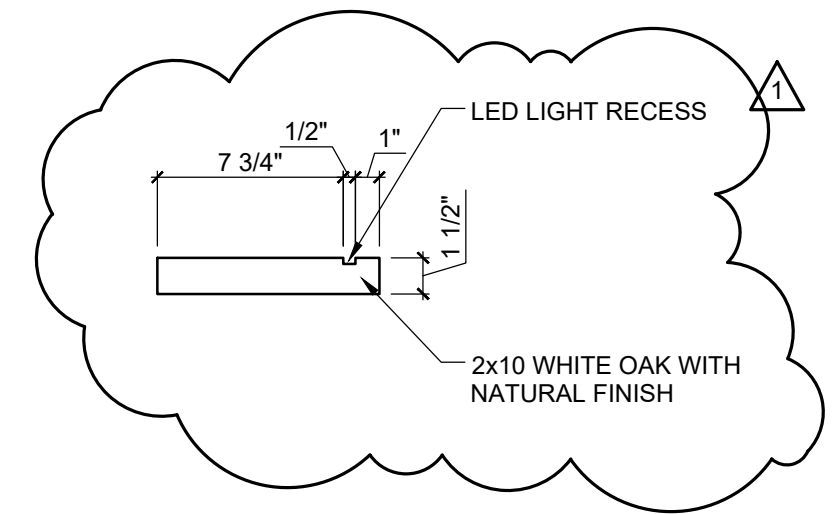
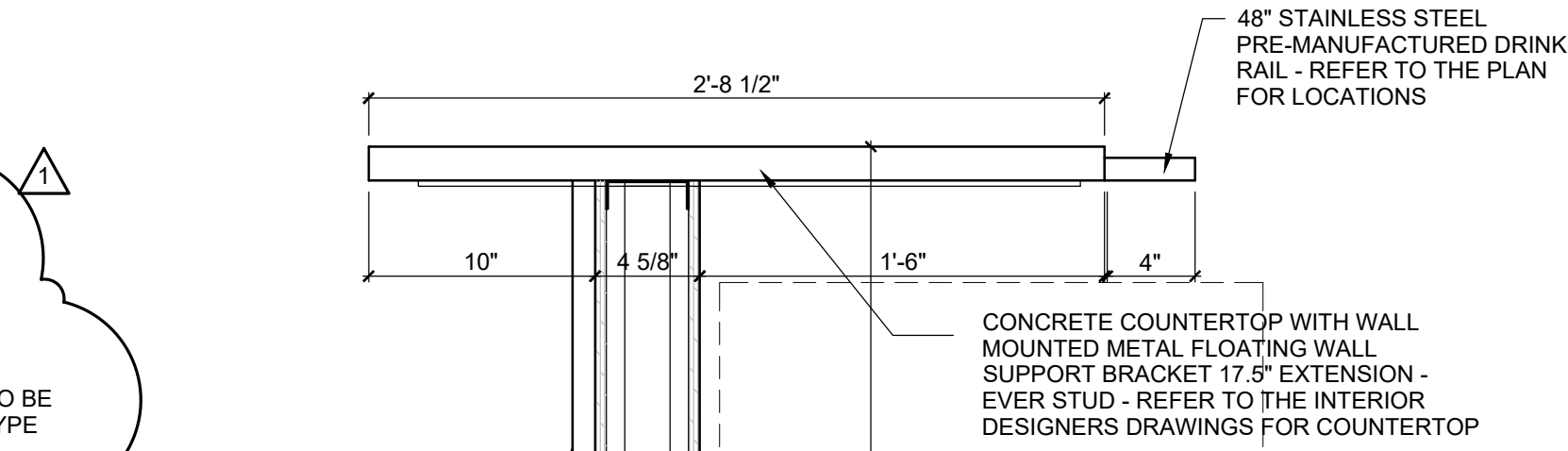
JOB NO. : 2024-01

DATE : 12.20.2024

WALL SECTIONS & DETAILS

A601





EHG PARTNERS - TENANT IMPROVEMENT
4495 BRIDGE PARK AVENUE, DUBLIN, OHIO 43017

BRACKETT BUILDERS
6640 RIVERSIDE DRIVE SUITE 500, DUBLIN, OHIO 43017



MATTHEW D. LONES, LICENSE #1616699
 EXPIRATION: DECEMBER 31, 2025

NO.	DATE	REVISION
1	5.2.25	REVISION

JOB NO. : 2024-01
 DATE : 12.20.2024

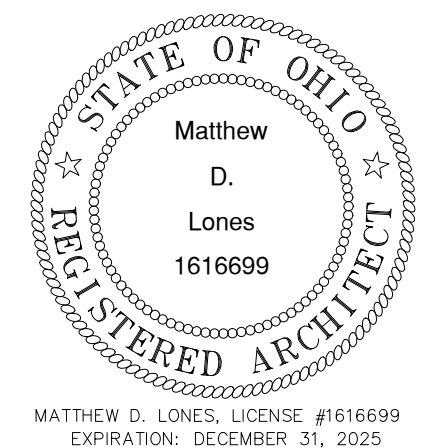
WALL SECTIONS & DETAILS

A602



Orange **frog** Design Group
411 Meditation Lane
Columbus, Ohio 43235
P 614.578.1707

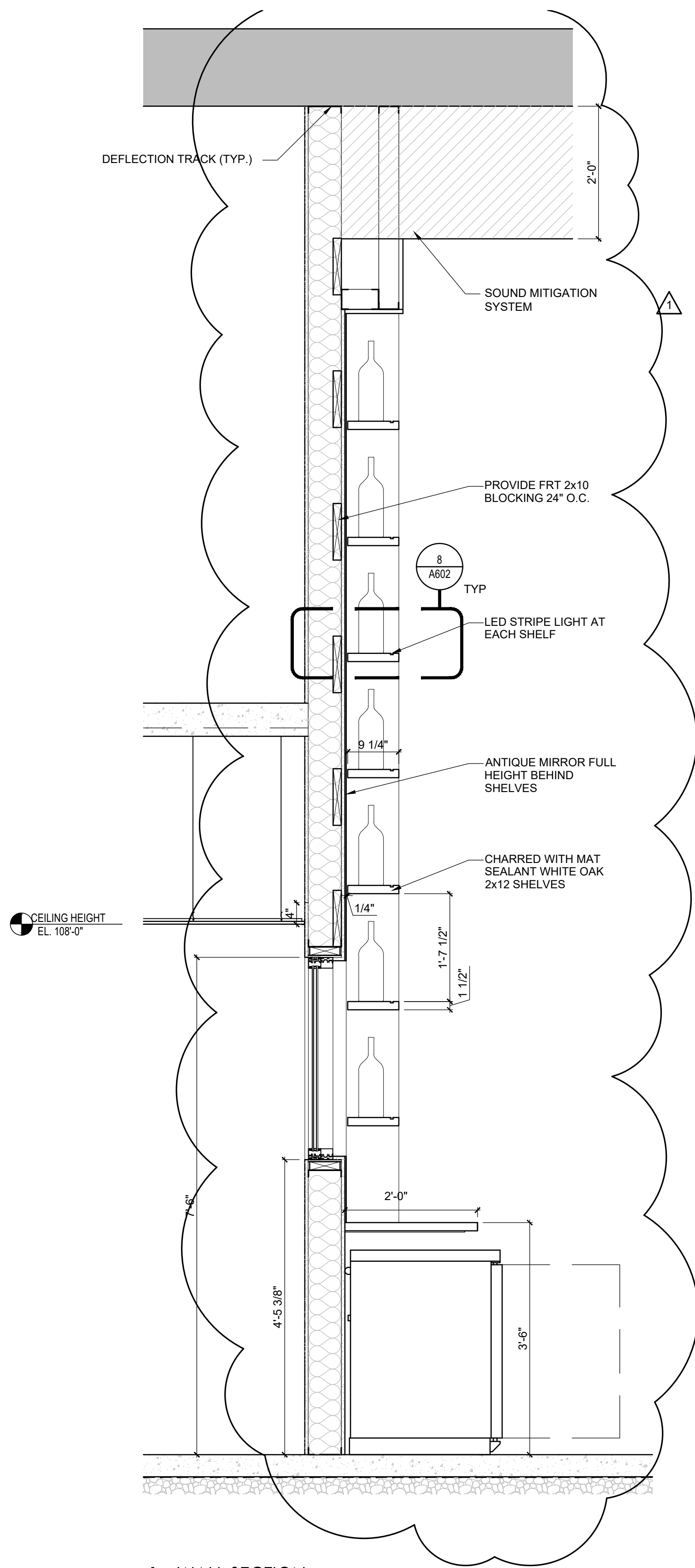
EHG PARTNERS - TENANT IMPROVEMENT
4495 BRIDGE PARK AVENUE, DUBLIN, OHIO 43017
BRACKET BUILDERS
6640 RIVERSIDE DRIVE SUITE 500, DUBLIN, OHIO 43017



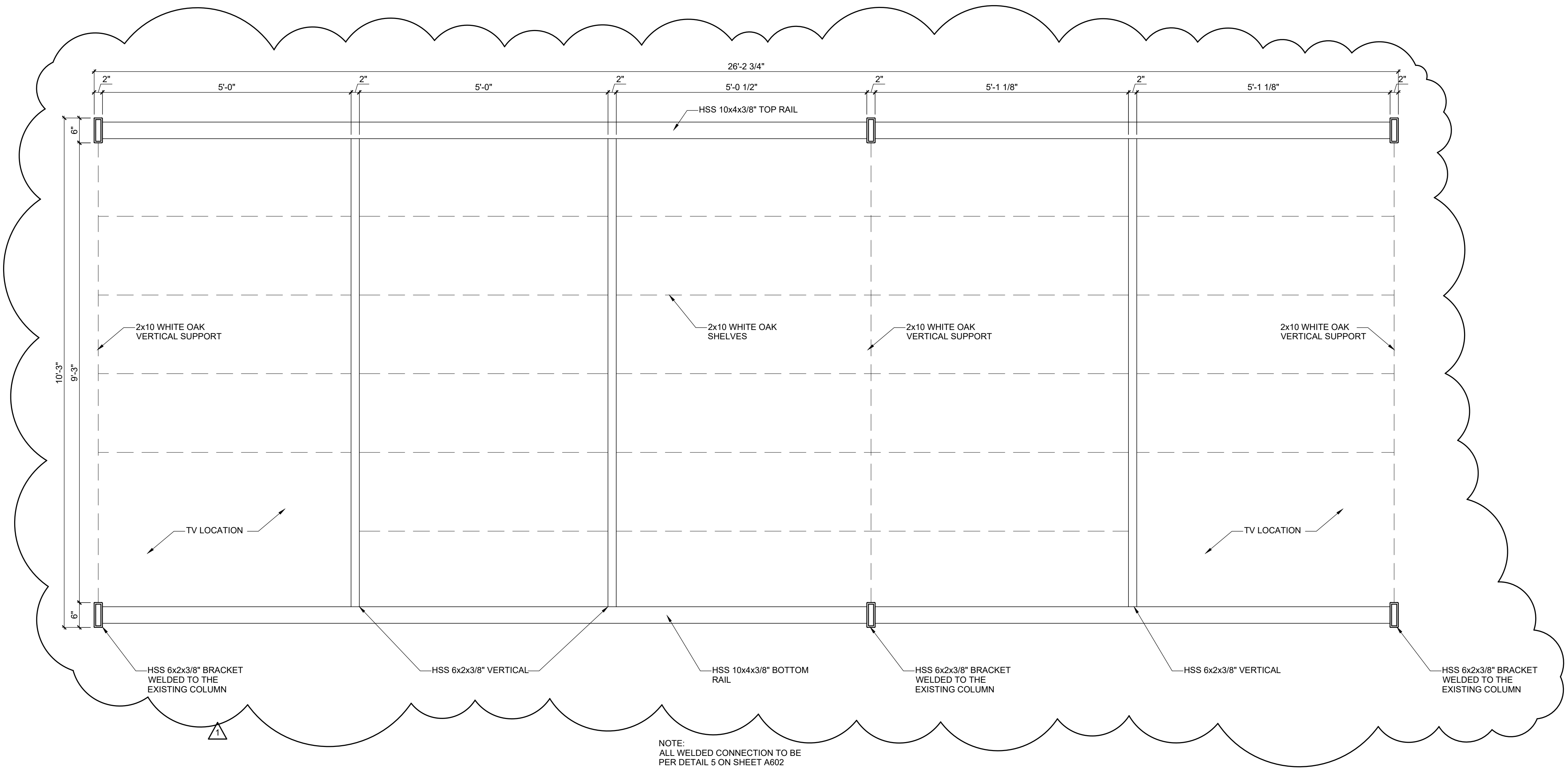
NO.	DATE	REVISION
1	5.2.25	REVISION
JOB NO. : 2024-01		
DATE : 12.20.2024		

WALL SECTIONS &
DETAILS

A604



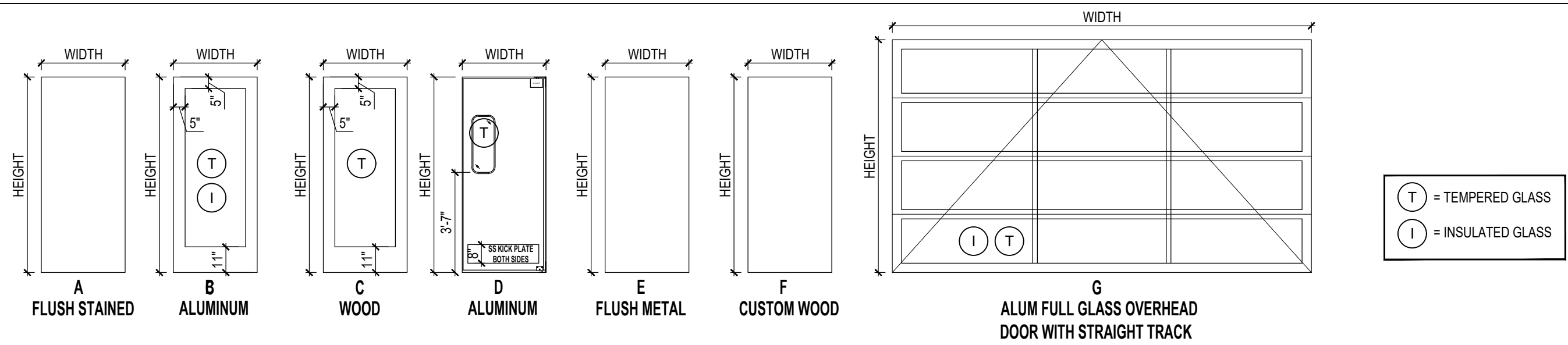
1 WALL SECTION
SCALE: 3/4" = 1'-0"



2 MAIN BAR SHELVEING SECTION
SCALE: 3/4" = 1'-0"

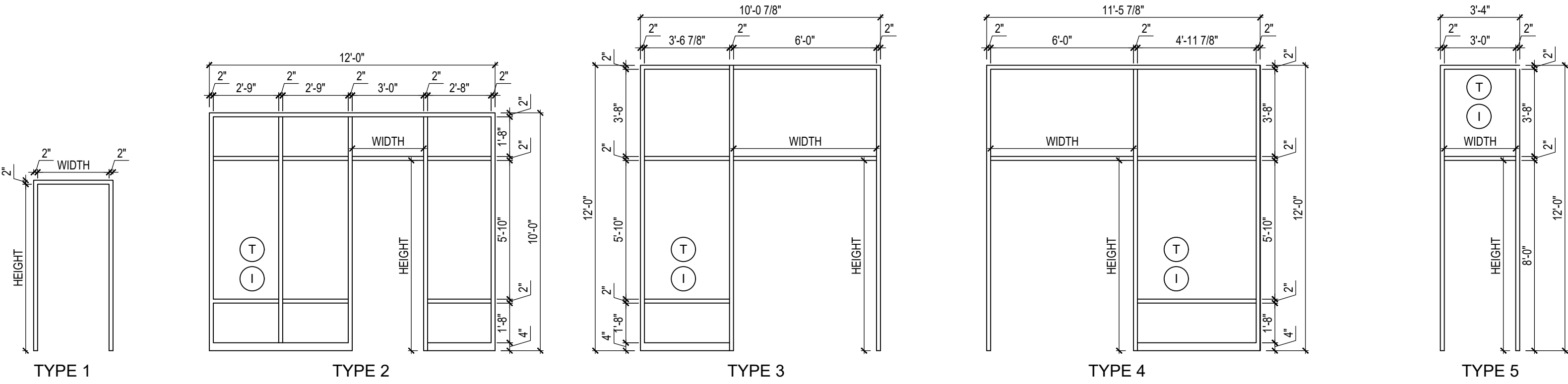
DOOR SCHEDULE													
DOOR NO.	ROOM NAME	DOOR				FRAME		HEAD	JAMB	SILL	FIRE RATING	HARDWARE	COMMENTS
		WIDTH	HEIGHT	DOOR TYPE	DOOR MATERIAL	FRAME TYPE	FRAME MATERIAL						
101A	HOSTESS AREA	PR 3'-0"	8'-0"	B	ALUM	2	ALUM	5/ A801	6/ A801		-	09	
101B	HOSTESS AREA	4'-0"	12'-0"	F	ALUM	1	ALUM	5/ A801	6/ A801		-	08	
101C	HOSTESS AREA	PR 3'-0"	8'-0"	B	ALUM	3	ALUM	5/ A801	6/ A801		-	10	
101D	HOSTESS AREA	PR 3'-0"	8'-0"	B	ALUM	4	ALUM	5/ A801	6/ A801		-	10	
102	MAIN DINING AREA	3'-0"	8'-0"	B	ALUM	5	ALUM	5/ A801	6/ A801		-	10	
103A	MAIN BAR	15'-0"	8'-4"	G	ALUM	-	MTL	-	-	-	-	09	
103B	MAIN BAR	10'-0"	8'-4"	G	ALUM	-	MTL	-	-	-	-	09	
107A	KITCHEN	PR3'-0"	7'-0"	D	MTL	1	HM	-	-		-	13	
107B	KITCHEN	3'-0"	7'-0"	-	MTL	-	HM	-	-		-	14	EXISTING DR TO REMAIN
107C	KITCHEN	3'-0"	7'-0"	-	MTL	-	HM	-	-		-	01	EXISTING DR TO REMAIN
108A	UNISEX RESTROOM	2'-6"	7'-0"	A	WOOD	1	HM	1/ A801	2/ A801		-	02	
108B	UNISEX RESTROOM	2'-6"	7'-0"	A	WOOD	1	HM	1/ A801	2/ A801		-	03	
108C	UNISEX RESTROOM	2'-6"	7'-0"	A	WOOD	1	HM	1/ A801	2/ A801		-	03	
108D	UNISEX RESTROOM	2'-6"	7'-0"	A	WOOD	1	HM	1/ A801	2/ A801		-	03	
108E	UNISEX RESTROOM	2'-6"	7'-0"	A	WOOD	1	HM	1/ A801	2/ A801		-	03	
108F	UNISEX RESTROOM	3'-0"	7'-0"	A	WOOD	1	HM	1/ A801	2/ A801		-	03	
1	CORRIDOR	3'-0"	12'-0"	F	WOOD	1	HM	1/ A801	2/ A801		-	07	
EST-1A	EXISTING STAIR 1	3'-0"	7'-0"	-	MTL	-	HM	-	-		90 MIN.	11	EXISTING DR TO REMAIN
EST-1B	EXISTING STAIR 1	3'-0"	7'-0"	-	MTL	-	HM	-	-			14	EXISTING DR TO REMAIN
EST-1C	EXISTING STAIR 1	3'-0"	7'-0"	E	MTL	1	HM	3/ A801	4/ A801		90 MIN.	12	
203	UNISEX ADA RESTROOM	3'-0"	7'-0"	A	WOOD	1	HM	1/ A801	2/ A801		--	02	
204	UNISEX RESTROOM	3'-0"	7'-0"	A	WOOD	1	HM	1/ A801	2/ A801		--	02	
205	OFFICE	3'-0"	7'-0"	A	WOOD	1	HM	1/ A801	2/ A801		--	04	
206	MECHANICAL ROOM	3'-0"	7'-0"	A	WOOD	1	HM	1/ A801	2/ A801		--	06	
NOTES: - ALL DOOR HARDWARE TO COMPLY WITH ADA REQUIREMENTS OBC 1010.2.2													

ROOM FINISH SCHEDULE						
ROOM NO.	ROOM NAME	FLOOR FINISH	BASE MATERIAL	WALL FINISH	CEILING FINISH	COMMENTS
101	HOSTESS AREA	SC	RB	PNT	C-PNT	
102	MAIN DINING	SC	RB	PNT	C-PNT/ WD	
103	MAIN BAR	SC	RB	PNT	C-PNT	
104	SOUND GUY	SC	RB	PNT	GYP/ PNT	
105	STAGE	WD	RB	PNT	C-PNT/ WD	
107	KITCHEN	EPOXY	EPOXY	FRP	ACT	WASHABLE/ VINYL FACED CEILING TILE
108	UNISEX RESTROOM	SC	B-TILE	TILE/ PNT	GYP/ PNT	
109	WHISKY BAR	SC	RB	PNT	C-PNT	
110	WHISKY SITTING AREA	SC	RB	PNT	C-PNT	
1	CORRIDOR 1	SC	RB	PNT	C-PNT	
2	CORRIDOR 2	SC	RB	PNT	PNT	
LEGEND: SC - STAINED CONCRETE - REFER TO INTERIOR DESIGNER FINISH SCHEDULE TILE B. TILE - 6" TILE BASE RB - 4" RUBBER COVE BASE WD - WOOD FLOOR - REFER TO INTERIOR DESIGNER FINISH SCHEDULE PNT - PAINTED GYPSUM C-PNT - PAINTED CEILING GYP.PNT - PAINTED CEILING GYPSUM FRP - SMOOTH WHITE						
201	EVENT AREA	WD	RB	PNT	C-PNT	
202	EVENT BAR	WD	RB	PNT	C-PNT	
203	UNISEX ADA RESTROOM	SC	B-TILE	TILE/ PNT	C-PNT	
204	UNISEX RESTROOM	SC	B-TILE	TILE/ PNT	C-PNT	
205	OFFICE	SC	RB	PNT	C-PNT	
206	MECHANICAL ROOM	SC	RB	PNT	-	
3	CORRIDOR 3	WD	RB	PNT	C-PNT	



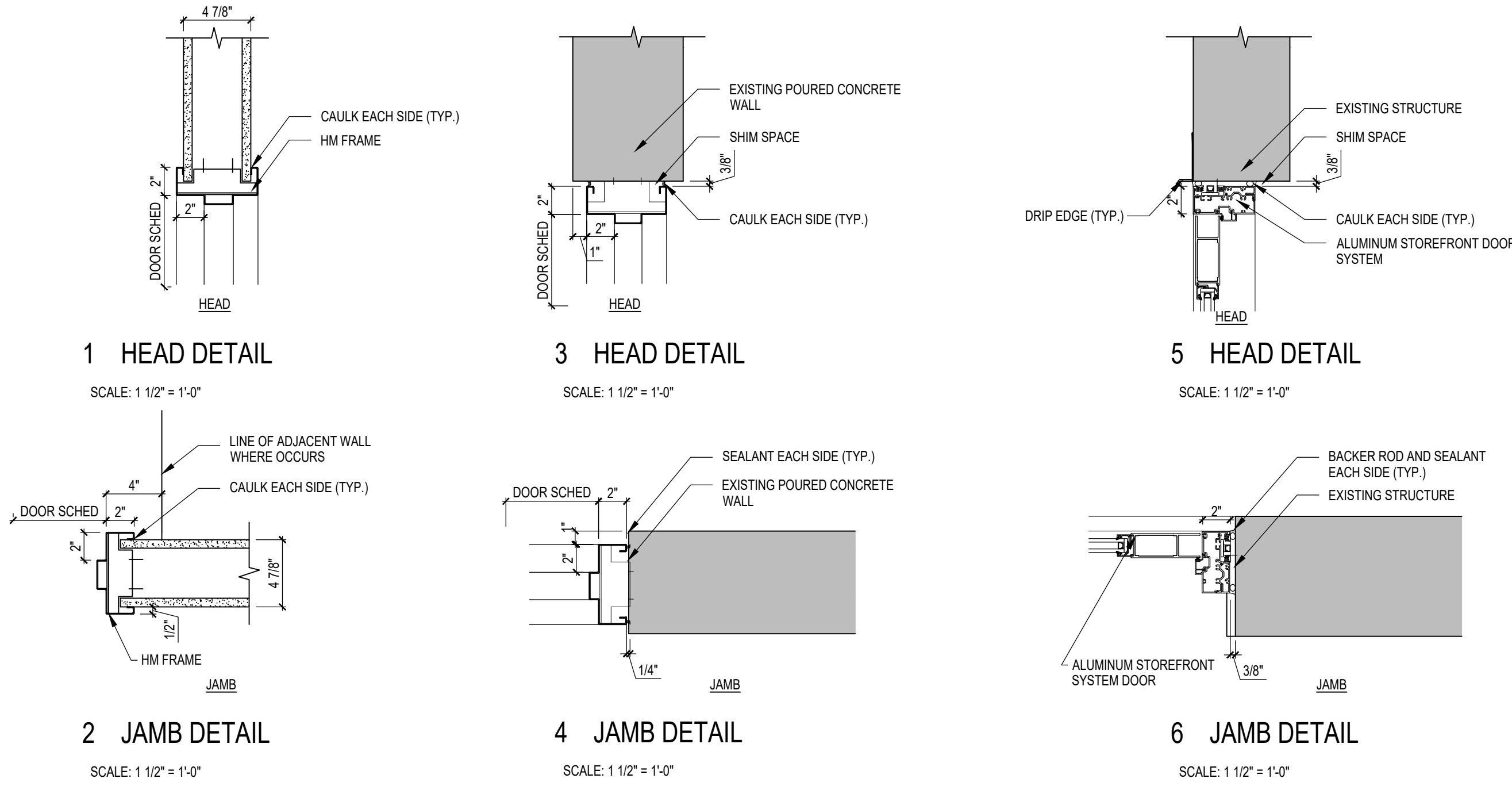
DOOR TYPES

SCALE: 1/4" = 1'-0"



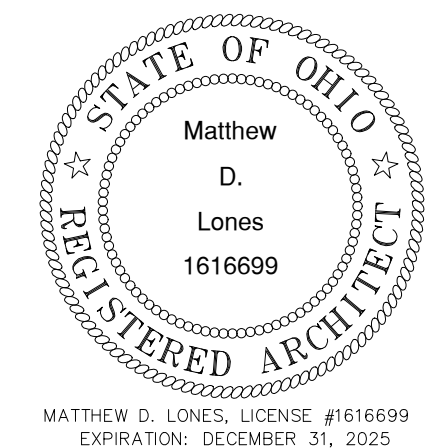
FRAME TYPES

SCALE: 1/4" = 1'-0"



Orange **frog** Design Group
411 Meditation Lane
Columbus, Ohio 43235
P 614.578.1707

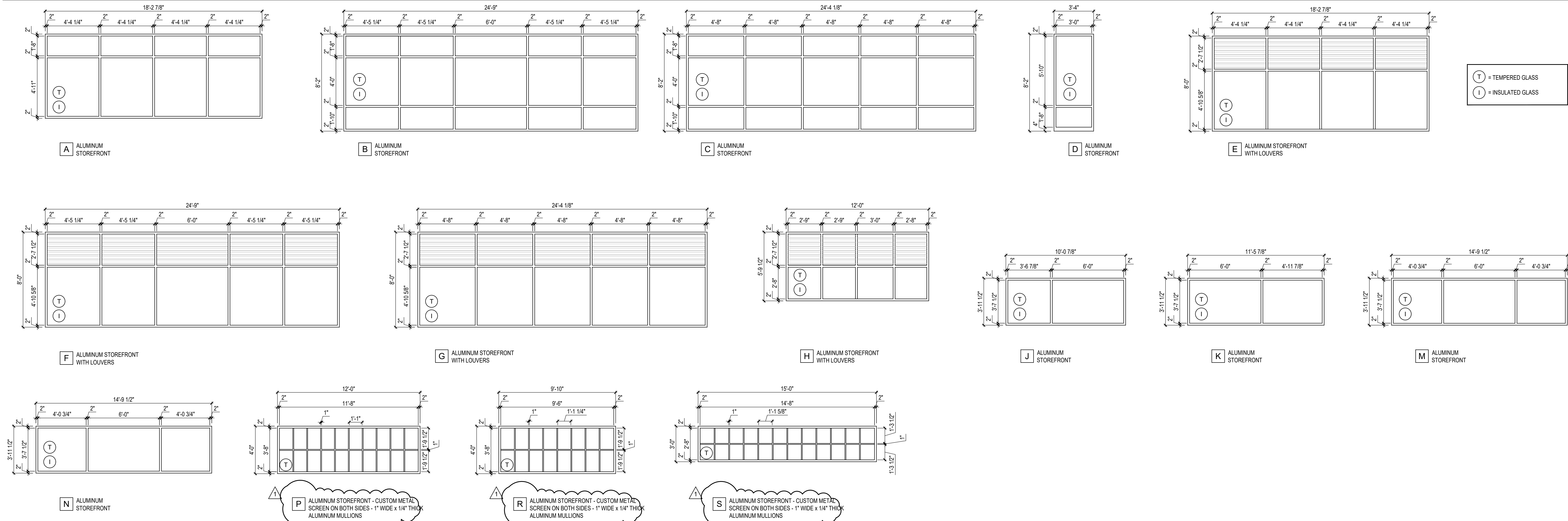
EHG PARTNERS - TENANT IMPROVEMENT
4495 BRIDGE PARK AVENUE, DUBLIN, OHIO 43017
BRACKET BUILDERS
6640 RIVERSIDE DRIVE SUITE 500, DUBLIN, OHIO 43017



NO.	DATE	REVISION
1	5.2.25	REVISION
JOB NO. : 2024-01		
DATE : 12.20.2024		

DOOR/ FINISH
SCHEDULE &
DETAILS

A801

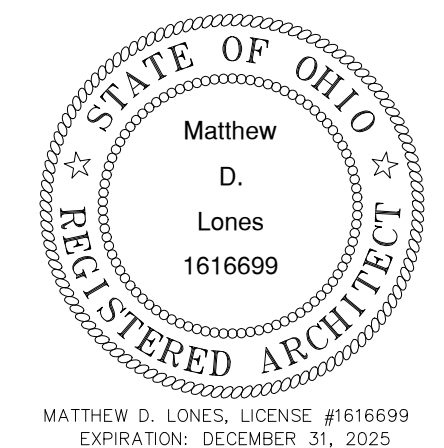


WINDOW TYPES
SCALE: 1/4" = 1'-0"



Orange **frog** Design Group
411 Meditation Lane
Columbus, Ohio 43235
P 614.578.1707

EHG PARTNERS - TENANT IMPROVEMENT
4495 BRIDGE PARK AVENUE, DUBLIN, OHIO 43017
BRACKET BUILDERS
6640 RIVERSIDE DRIVE SUITE 500, DUBLIN, OHIO 43017



NO.	DATE	REVISION
1	5.2.25	REVISION
JOB NO. : 2024-01		
DATE : 12.20.2024		

WINDOW SCHEDULE
& DETAILS

A802