

Y Block Development

Dublin, Ohio

Preliminary Development Plan

June 26, 2025



Owner Representative
Russell Hunter
Executive VP of Development

Crawford Hoying
Development Partners
6640 Riverside Drive, Suite 500
Dublin, Ohio 43017
t. 614.335.2020
e. rhunter@crawfordhoying.com

Project Representative
Christopher Meyers, FAIA LEED AP
Principal Architect

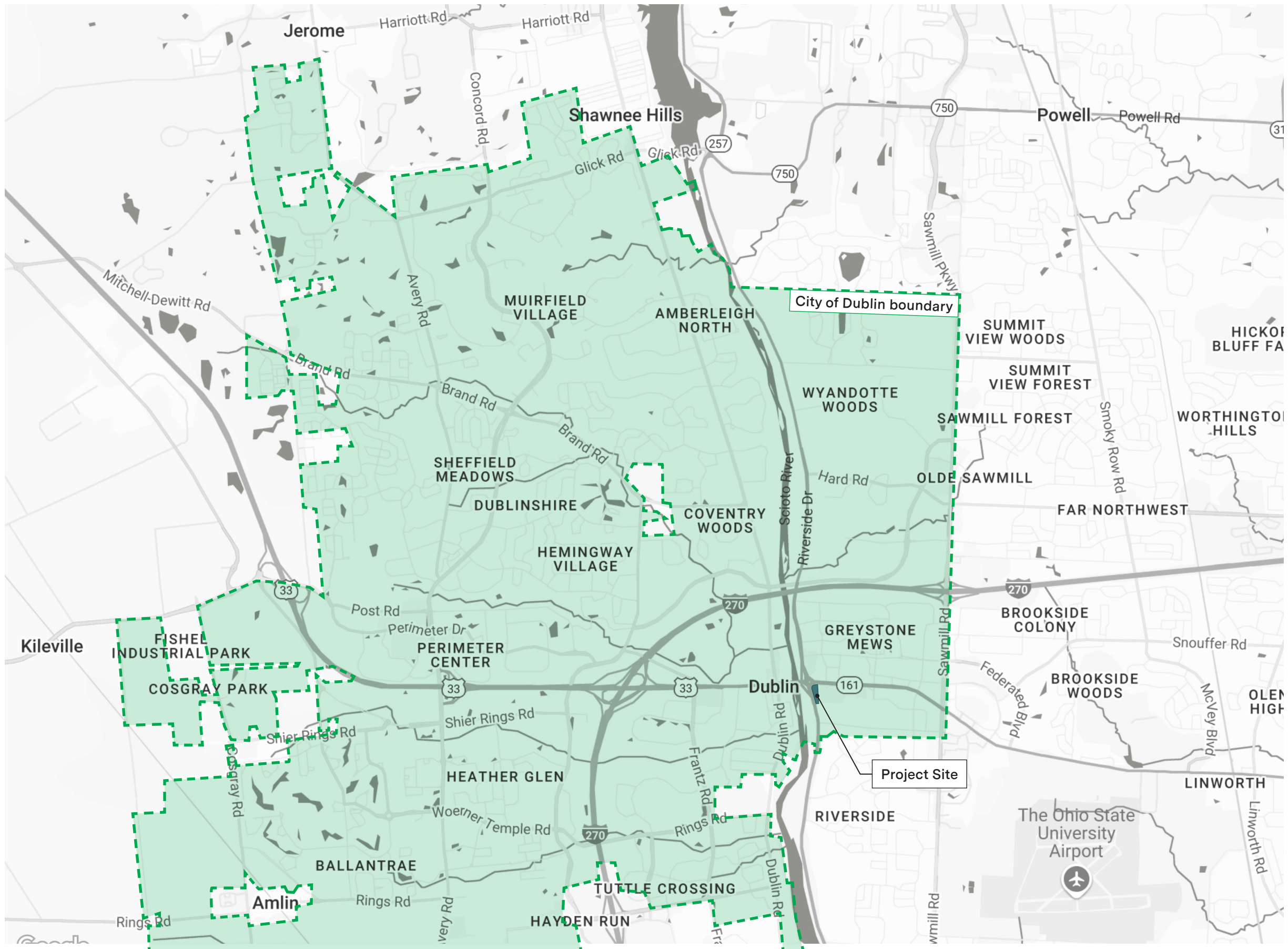
Meyers+Associates
232 N. Third St., Suite 300
Columbus, Ohio 43215
t. 614.221.9433
e. cmeyers@meyersarchitects.com

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05	Civil Engineering
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54	Architecture - Office Building

Y Block Development

Vicinity and Context





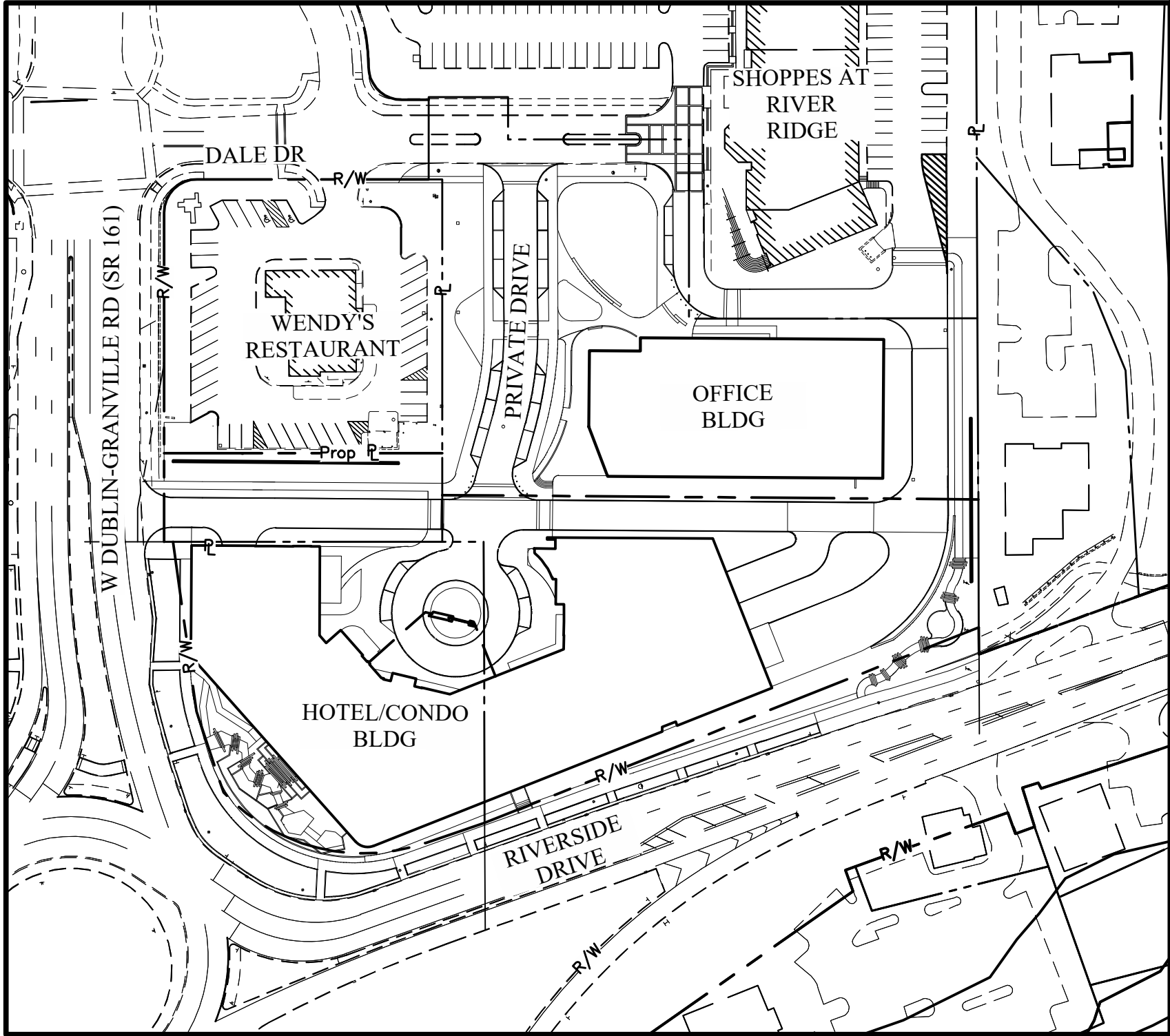
Y Block Development

Civil Engineering

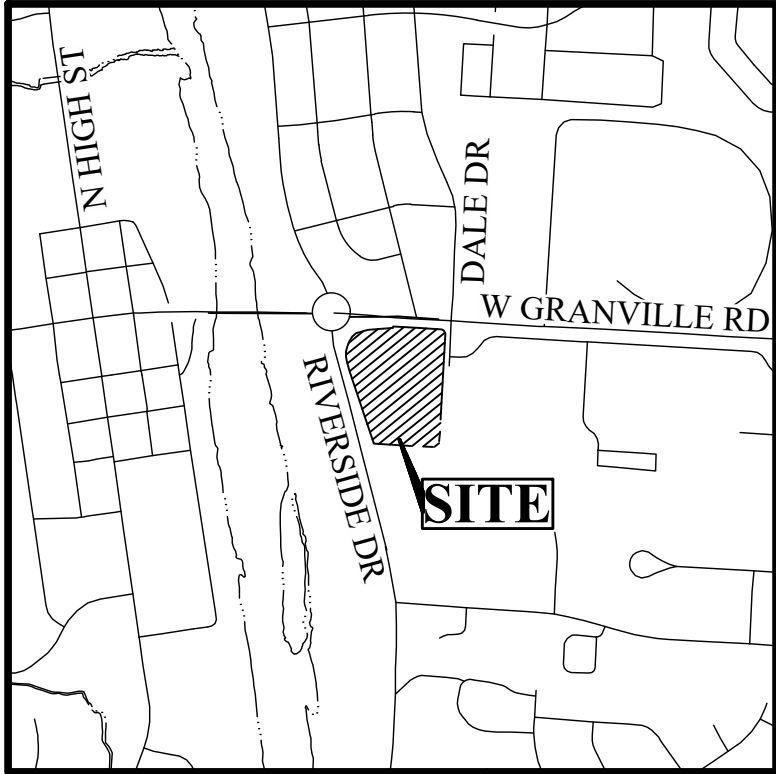
PRELIMINARY DEVELOPMENT PLAN
BRIDGE PARK - BLOCK Y
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
2025

SITE DATA TABLE

Total Site Area	4.82 Ac
Pre-Developed Impervious Area	1.81 Ac
Post-Developed Impervious Area	3.50 Ac
Flood Insurance Rate Map Number	39049C0151K
Zone	Zone X
Effective Date	6/17/2008
Base Flood Elevation	N/A



INDEX MAP
Scale: 1" = 100'



VICINITY MAP
Scale: 1" = 1000'

SHEET INDEX

SHEET NUMBER	SHEET NAME
1	C001 Title Sheet
2	C002 Existing Conditions & Demolition Plan
3	C003 Site Plan
4	C004 Utility & Grading Plan
5	C005 Open Space & Parking Plan
6	C006 Overall Site Plan
7	C007 Fire Truck Turning Analysis
8-9	C008-C009 Tree Survey

DEVELOPER

Crawford Haying Development Partners
6640 Riverside Drive, Suite 500
Dublin, Ohio 43017
Tel: (614) 335-2020
Fax: (614) 950-9191
Krystin Schmid

ENGINEER

EMH&T Inc.
5500 New Albany Road
Columbus, Ohio 43054
Tel: (614) 775-4500
Fax: (614) 775-4800
Brian Quackenbush

LANDSCAPE ARCHITECT

MKS
462 S. Ludlow Alley
Columbus, OH 43215
Tel: (614) 621-2796
Tony Roell

HOTEL/CONDOMINIUM
ARCHITECT

Meyers Architects
232 N 3rd Street, Suite 300
Columbus, OH 43215
Tel: (614)-221-9433
Brian Peterson

OFFICE
ARCHITECT

Moody Nolan
300 Spruce St, Suite 300
Columbus, OH 43215
Tel: (614)-461-4664
Arienne Overking

PROJECT DESCRIPTION

The project includes the development of a 4.82 acre site located South of W Granville Rd, East of Riverside Dr, West of Dale Dr, and includes an Office Building, Condominium, Event Center, Hotel, and Parking Garage. The project will include a new right-in right-out access from W Granville Rd.

Signatures below signify only concurrence with the general purposes and general location of the project and does not constitute assurance to operate as intended. all technical details remain the responsibility of the professional civil engineer preparing the plans.

Director of Engineering/City Engineer
City of Dublin, Ohio
Paul A. Hammersmith, P.E.

Date

Director of Community Planning and Development
City of Dublin, Ohio
Jenifer M. Rauch, AICP

Date

This is to certify that good engineering practices have been utilized in the design of this project and that all of the minimum standards as set forth by the city of dublin, including those standards greater than minimum where, in my opinion, they are needed to protect the safety of the public.

Professional Engineer

No.

Date

NO.	DATE	REVISION DESCRIPTION	ENG	DUB

EMH&T
ENGINEERING, MECHANICAL, ELECTRICAL, & THERMAL, INC.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4500 Cell/Fax: 614.775.4800
emht.com

PRELIMINARY DEVELOPMENT PLAN
BRIDGE PARK - BLOCK Y
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

TITLE SHEET

June 26, 2025

CITY OF DUBLIN
PROJECT NUMBER
25-XXX-COM

DRAWING NUMBER

C001

SHEET NUMBER

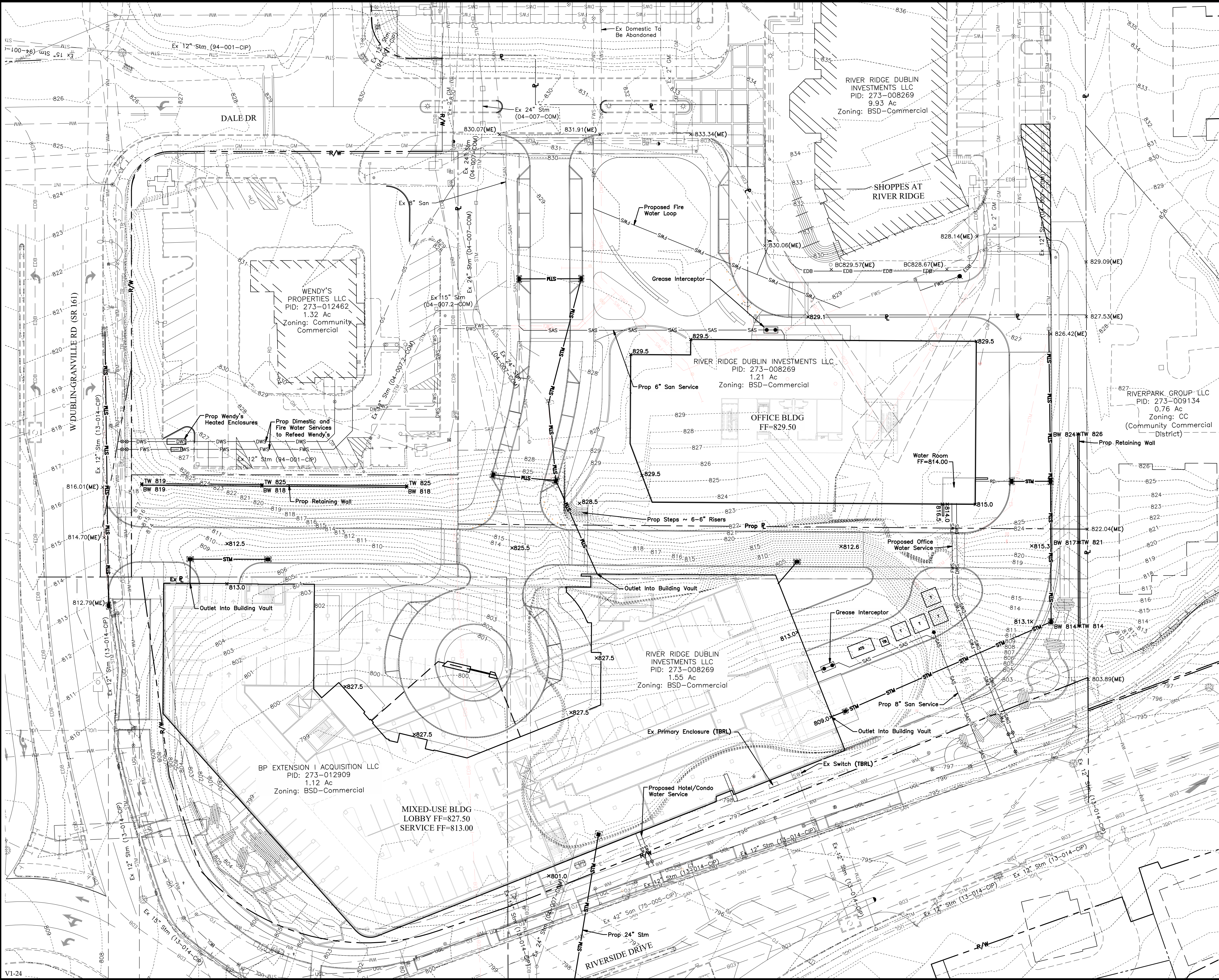
1 OF 9



PRELIMINARY
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CONSTRUCTION

PLAN SET DATE
June 26, 2025

J:\20220867\DWG\QAS\res\VPDP\20220867 PDP Utility & Grading Plan.dwg, Last Saved By: Kaiser, Hayden, 6/26/2025 1:52 PM. Last Printed By: Kaiser, Hayden, 6/26/2025 1:53 PM



GRAPHIC SCALE

0 15 30 60

1 inch = 30 feet

PROPOSED

WM	Water Main
WS	Water Service
DWS	Domestic Water Service
FWS	Fire Water Service
SAN	Sanitary Sewer Main
SAS	Sanitary Sewer Service
STM	Storm Sewer
RD	Roof Drain
U	Underdrain
EDB	Electric Duct Bank
L	Site Lighting
C	Communications Service
GS	Natural Gas Service
x(50.00)	Existing Spot Elevation
TC50.50	Top of Curb
x50.00	Proposed Spot Elevation

EXISTING

X	Fence/Handrail
WM	Water Main
WS	Water Service
DWS	Domestic Water Service
FWS	Fire Water Service
SAN	Sanitary Sewer Main
SAS	Sanitary Sewer Service
STM	Storm Sewer
RD	Roof Drain
U	Underdrain
E	Underground Electric Service
EDB	Electric Duct Bank
OHE	Overhead Electric
OHE-OHC	Overhead Electric & Communications
UGL	Underground Street Lighting
L	Private Site Lighting
C	Communications Service
CDB	Communications Duct Bank
GM	Natural Gas Main
GS	Natural Gas Service

ABBREVIATIONS

BW = Bottom of Wall
EP = Edge of Pavement
ME = Match Existing
TC = Top of Curb
TW = Top of Wall

STORMWATER NOTE:
A vault will be provided within the parking lot structure that contains 1.515 acre-feet of storage. A new 24" storm sewer will also be provided across Riverside Drive to provide additional conveyance capacity directly to the Scioto River. Refer to the Stormwater Memo and separate SSA analysis for additional information.

PRELIMINARY
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June 26, 2025

REVISION RECORD

NO.	DATE	REVISION DESCRIPTION

PRELIMINARY DEVELOPMENT PLAN
BRIDGE PARK - BLOCK Y
4565 W GRANVILLE ROAD
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

UTILITY & GRADING
PLAN

June 26, 2025

CITY OF DUBLIN
PROJECT NUMBER
25-XXX-COM

DRAWING NUMBER
C004

SHEET NUMBER
4 OF 9

ID	Common Name	Scientific Name	DBH (inches)	No. of Trunks	Condition
1	Sweet Crabapple	<i>Malus coronaria</i>	10	1	Good
2	Bradford Pear	<i>Pyrus calleryana</i>	6	1	Good
3	Bradford Pear	<i>Pyrus calleryana</i>	6	1	Good
4	Pin Cherry	<i>Prunus pensylvanica</i>	12	1	Good
5	Honey Locust	<i>Gleditsia triacanthos</i>	11	1	Good
6	Honey Locust	<i>Gleditsia triacanthos</i>	9	1	Good
7	Pin Cherry	<i>Prunus pensylvanica</i>	11	1	Good
8	American Elm	<i>Ulmus americana</i>	9	1	Fair
9	American Elm	<i>Ulmus americana</i>	7,2	2	Fair
10	American Elm	<i>Ulmus americana</i>	7,4	2	Fair
11	Bradford Pear	<i>Pyrus calleryana</i>	7	1	Fair
12	Bradford Pear	<i>Pyrus calleryana</i>	6	1	Good
13	Bradford Pear	<i>Pyrus calleryana</i>	7,4	2	Good
14	Bradford Pear	<i>Pyrus calleryana</i>	7	1	Good
15	Bradford Pear	<i>Pyrus calleryana</i>	8	1	Good
16	American Elm	<i>Ulmus americana</i>	6	1	Fair
17	Red Maple	<i>Acer rubrum</i>	11	1	Good
18	Bradford Pear	<i>Pyrus calleryana</i>	10,5	2	Good
19	Bradford Pear	<i>Pyrus calleryana</i>	11,6,6,5,5,5	6	Good
20	Bradford Pear	<i>Pyrus calleryana</i>	12,6,6,4,2	5	Good
21	Bradford Pear	<i>Pyrus calleryana</i>	9,8,6,4,4	5	Good
22	Bradford Pear	<i>Pyrus calleryana</i>	9,9,8,6,6,2	6	Good
23	Bradford Pear	<i>Pyrus calleryana</i>	12,6,2,2	4	Good
24	Bradford Pear	<i>Pyrus calleryana</i>	7,5,4,4	5	Good
25	Bradford Pear	<i>Pyrus calleryana</i>	11,6,4,3,3	5	Good
26	Bradford Pear	<i>Pyrus calleryana</i>	13,4,4,2	4	Good
27	Bradford Pear	<i>Pyrus calleryana</i>	9,4,3,2	4	Good
28	Bradford Pear	<i>Pyrus calleryana</i>	12,5,4,2,2	5	Good
29	Bradford Pear	<i>Pyrus calleryana</i>	9	1	Good
30	Bradford Pear	<i>Pyrus calleryana</i>	10	1	Good
31	Bradford Pear	<i>Pyrus calleryana</i>	13	1	Good
32	Bradford Pear	<i>Pyrus calleryana</i>	12	1	Good
33	Red Maple	<i>Acer rubrum</i>	6	1	Good
34	Red Maple	<i>Acer rubrum</i>	7	1	Good
35	American Elm	<i>Ulmus americana</i>	11	1	Good
36	Sawtooth Oak	<i>Quercus acutissima</i>	11	1	Good
37	American Elm	<i>Ulmus americana</i>	10	1	Good
38	American Elm	<i>Ulmus americana</i>	12	1	Good
39	White Cedar	<i>Thuja occidentalis</i>	8	1	Good
40	Pin Cherry	<i>Prunus pensylvanica</i>	14	1	Good
41	American Sycamore	<i>Platanus occidentalis</i>	6	1	Good
42	Sweet Crabapple	<i>Malus coronaria</i>	8	1	Good
43	Lacebark Elm	<i>Ulmus parvifolia</i>	26	1	Good
44	Pin Oak	<i>Quercus palustris</i>	26	1	Good
45	Swamp White Oak	<i>Quercus bicolor</i>	34	1	Good
46	Tree of Heaven	<i>Ailanthus altissima</i>	4,3	2	Good
47	American Elm	<i>Ulmus americana</i>	10,8,6	3	Good
48	Tree of Heaven	<i>Ailanthus altissima</i>	6,5,4	3	Good
49	Tree of Heaven	<i>Ailanthus altissima</i>	4,3,3,2	4	Good
50	Lacebark Elm	<i>Ulmus parvifolia</i>	6,5,3,3,2	5	Good
51	Lacebark Elm	<i>Ulmus parvifolia</i>	8,5,4,3,3,2	6	Good
52	Red Mulberry	<i>Morus rubra</i>	4,4,4,4	4	Good
53	Ginko	<i>Ginko biloba</i>	6	1	Good
54	Sweet Crabapple	<i>Malus coronaria</i>	6	1	Good

ID	Common Name	Scientific Name	DBH (inches)	No. of Trunks	Condition
55	Sweet Crabapple	Malus coronaria	7	1	Good
56	Sweet Crabapple	Malus coronaria	10	1	Good
57	Swamp White Oak	Quercus bicolor	26	1	Good
58	Pin Oak	Quercus palustris	25	1	Good
59	Gallery Pear	Acer negundo	10	1	Fair
60	Sugar Maple	Acer saccharum	9	1	Good
61	Blue Spruce	Picea pungens	6	1	Good
62	Blue Spruce	Picea pungens	8	1	Good
63	Blue Spruce	Picea pungens	7	1	Good
64	Red Maple	Acer rubrum	12	1	Good
65	Silver Maple	Acer saccharinum	12	1	Good
66	Fanleaf Hawthorn	Crataegus flabellata	6	1	Good
67	Fanleaf Hawthorn	Crataegus flabellata	6	1	Good
68	Tree of Heaven	Ailanthus altissima	6,6,5	3	Good
69	Sweet Crabapple	Malus coronaria	9	1	Good
70	Pin Oak	Quercus palustris	11	1	Good
71	Sweet Crabapple	Malus coronaria	6,3	2	Good
72	Blue Spruce	Picea pungens	7	1	Good
73	Sugar Maple	Acer saccharum	8	1	Good
74	Black Locust	Robinia pseudoacacia	8	1	Good
75	Red Mulberry	Morus rubra	10	1	Good
76	Sugar Maple	Acer saccharum	9	1	Good
77	Black Locust	Robinia pseudoacacia	37	1	Poor
78	Black Cherry	Prunus serotina	11	1	Poor
79	Hackberry	Celtis occidentalis	10,10	2	Good
80	Black Locust	Robinia pseudoacacia	34	1	Poor
81	Black Locust	Robinia pseudoacacia	22	1	Poor
82	Black Locust	Robinia pseudoacacia	10	1	Poor
83	Black Locust	Robinia pseudoacacia	15	1	Fair
84	Black Locust	Robinia pseudoacacia	8	1	Fair
85	Black Locust	Robinia pseudoacacia	18	1	Poor
86	Hackberry	Celtis occidentalis	8	1	Good
87	Box Elder	Acer negundo	10	1	Good
88	Hackberry	Celtis occidentalis	18	1	Good
89	Black Locust	Robinia pseudoacacia	8	1	Poor
90	American Elm	Ulmus americana	13	1	Good
91	Black Locust	Robinia pseudoacacia	6	1	Poor
92	Black Walnut	Juglans nigra	8,6	2	Good
93	Black Locust	Robinia pseudoacacia	18	1	Fair
94	Black Locust	Robinia pseudoacacia	8	1	Poor
95	Black Locust	Robinia pseudoacacia	15	1	Fair
96	Black Locust	Robinia pseudoacacia	9	1	Poor
97	Hackberry	Celtis occidentalis	13	1	Good
98	Black Locust	Robinia pseudoacacia	6	1	Good
99	Black Locust	Robinia pseudoacacia	15	1	Fair
100	Tree of Heaven	Ailanthus altissima	10	1	Good
101	Tree of Heaven	Ailanthus altissima	6	1	Good
102	Tree of Heaven	Ailanthus altissima	6,6	2	Good
103	Black Locust	Robinia pseudoacacia	13	1	Good
104	Tree of Heaven	Ailanthus altissima	4,4,3,3,3	5	Good
105	Hackberry	Celtis occidentalis	11	1	Good
106	American Sycamore	Platanus occidentalis	10,10	2	Good
107	Tree of Heaven	Ailanthus altissima	10	1	Good

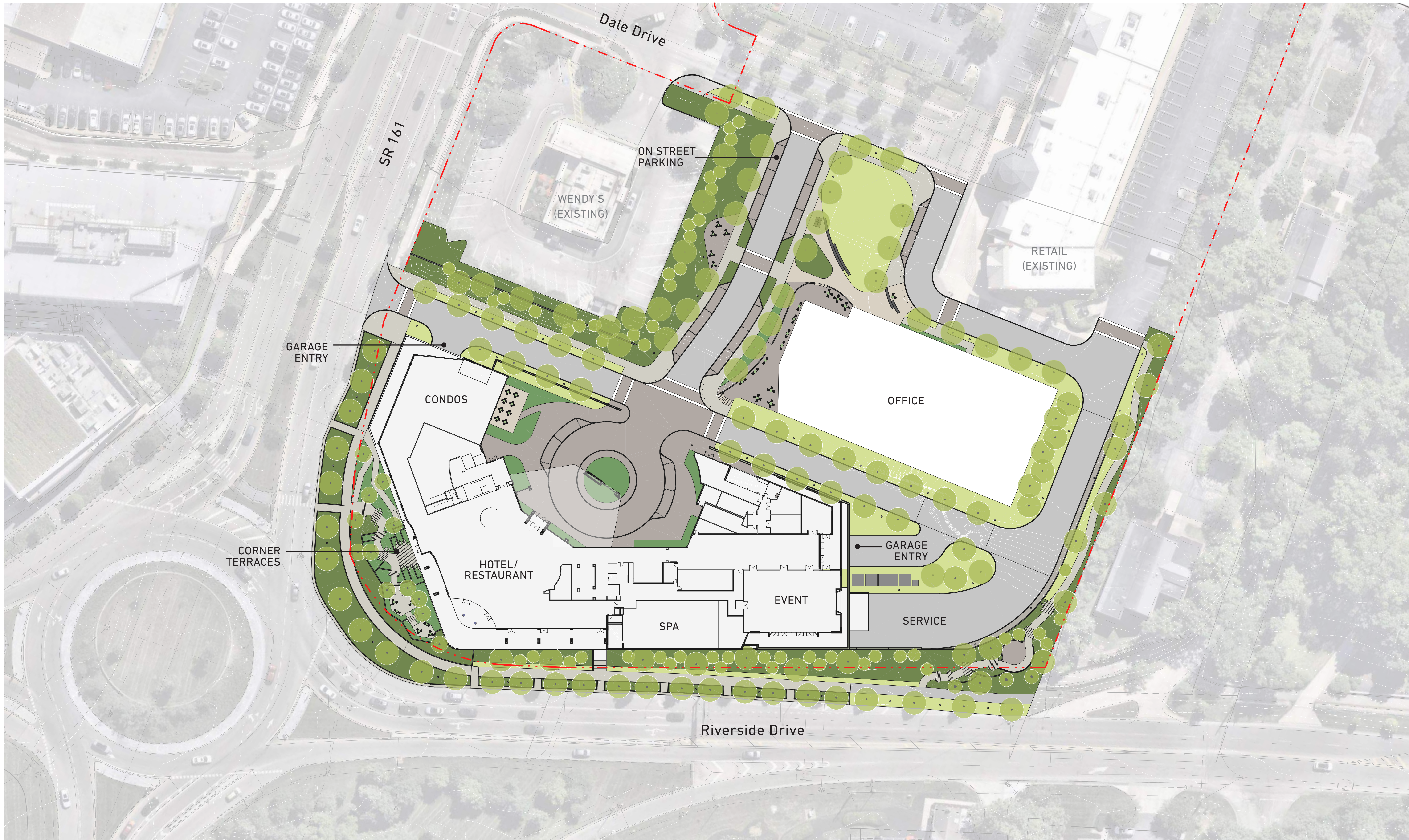
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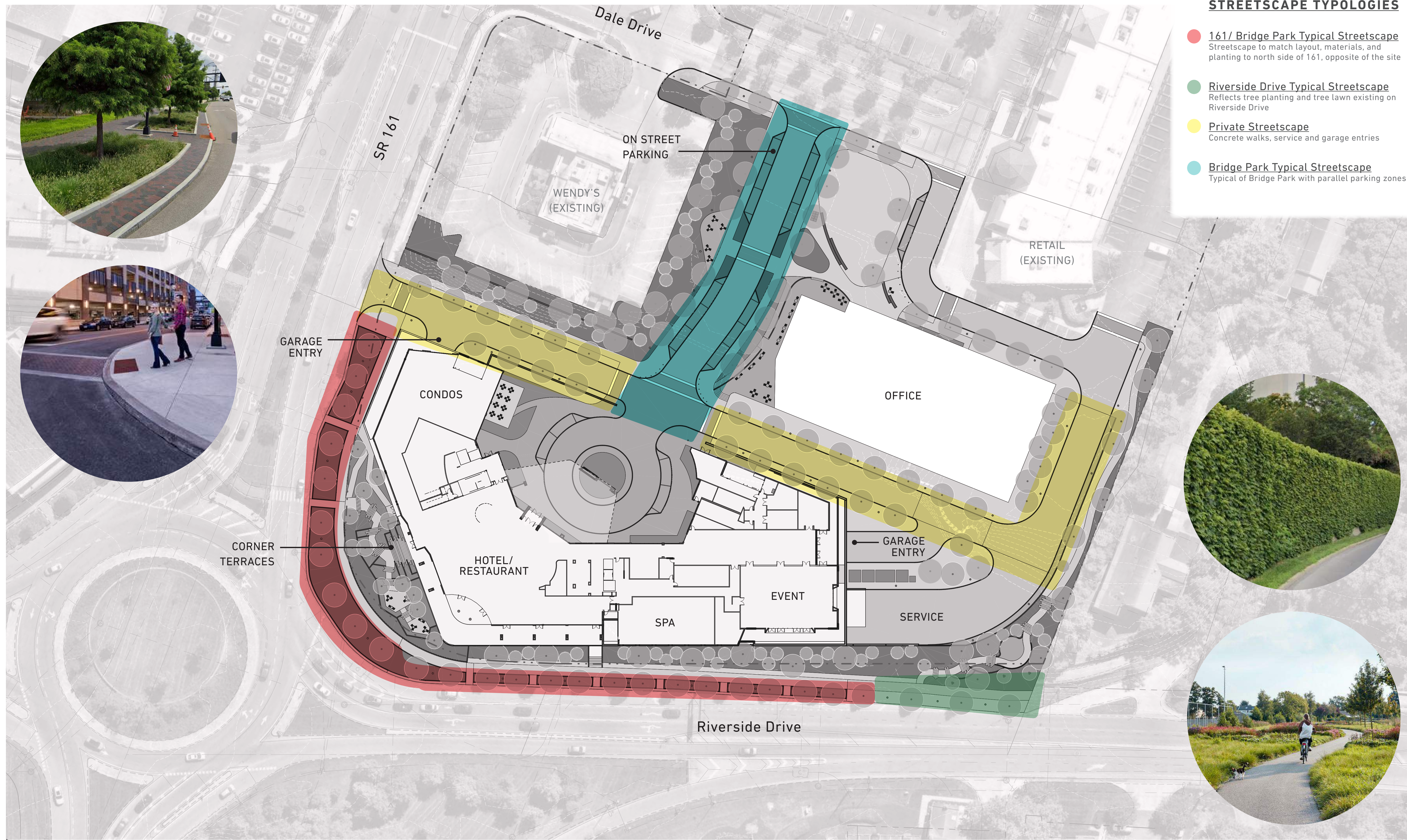
Y Block Development

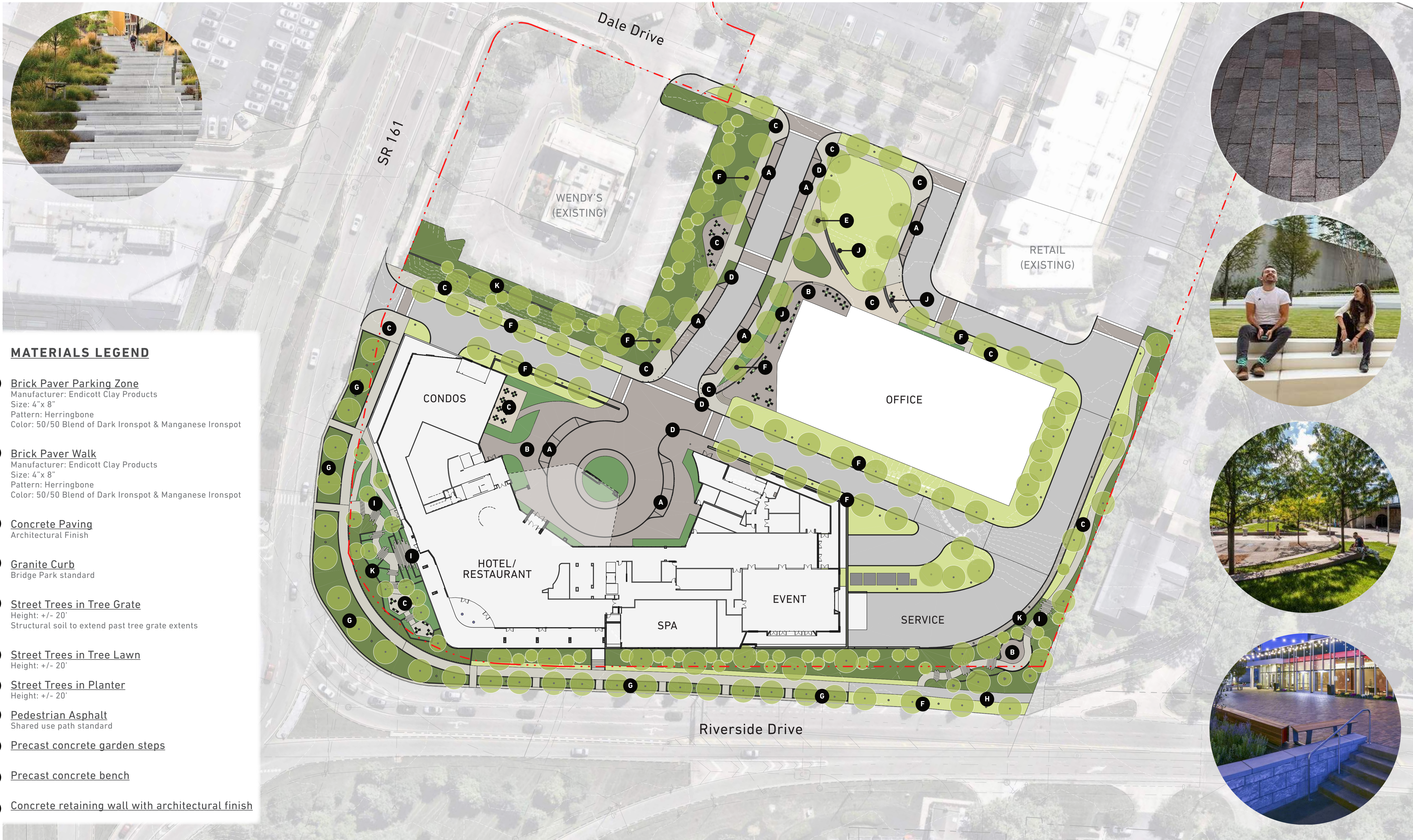
Site Design & Landscape Architecture

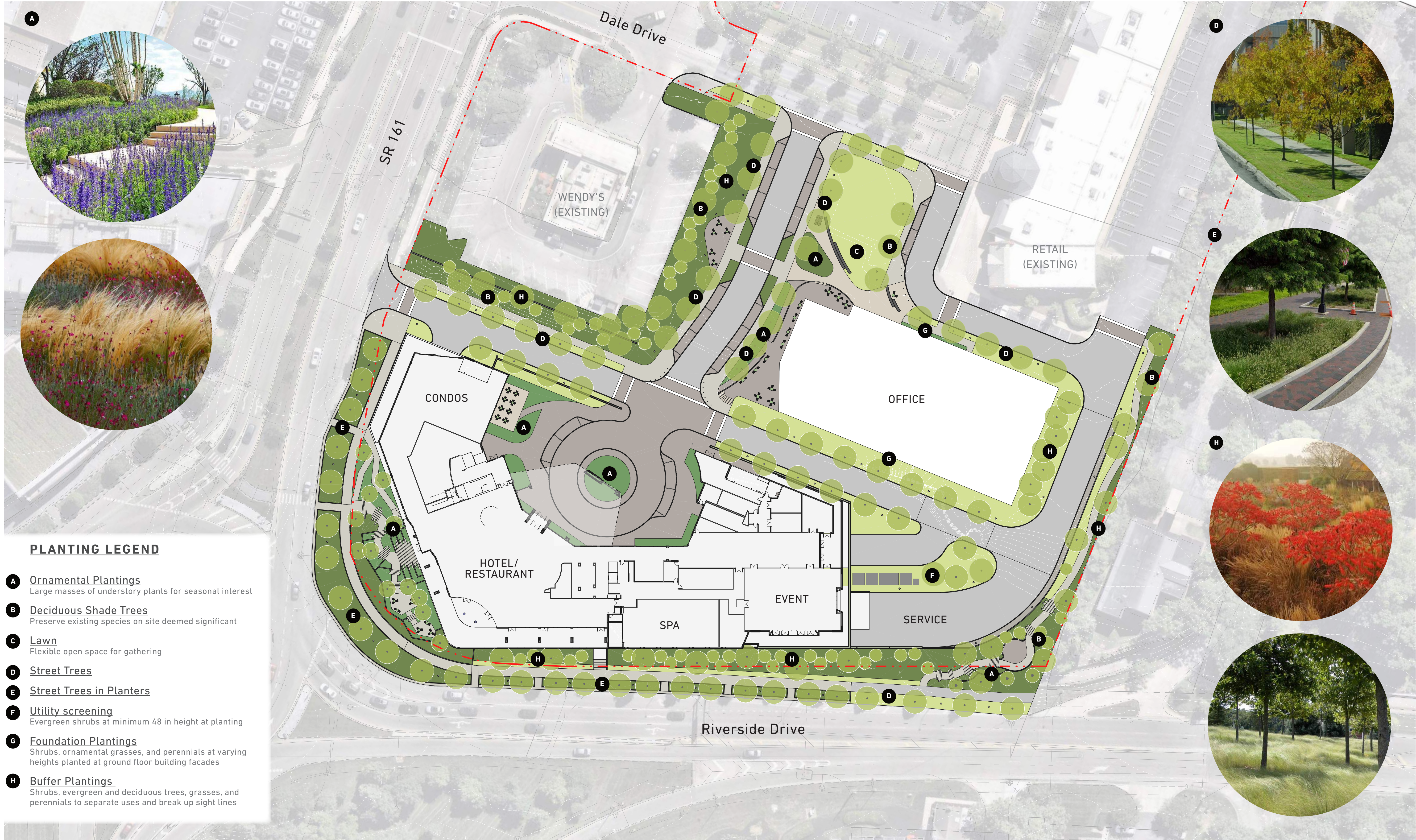


STREETSCAPE TYPOLOGIES

- **161/ Bridge Park Typical Streetscape**
Streetscape to match layout, materials, and planting to north side of 161, opposite of the site
- **Riverside Drive Typical Streetscape**
Reflects tree planting and tree lawn existing on Riverside Drive
- **Private Streetscape**
Concrete walks, service and garage entries
- **Bridge Park Typical Streetscape**
Typical of Bridge Park with parallel parking zones

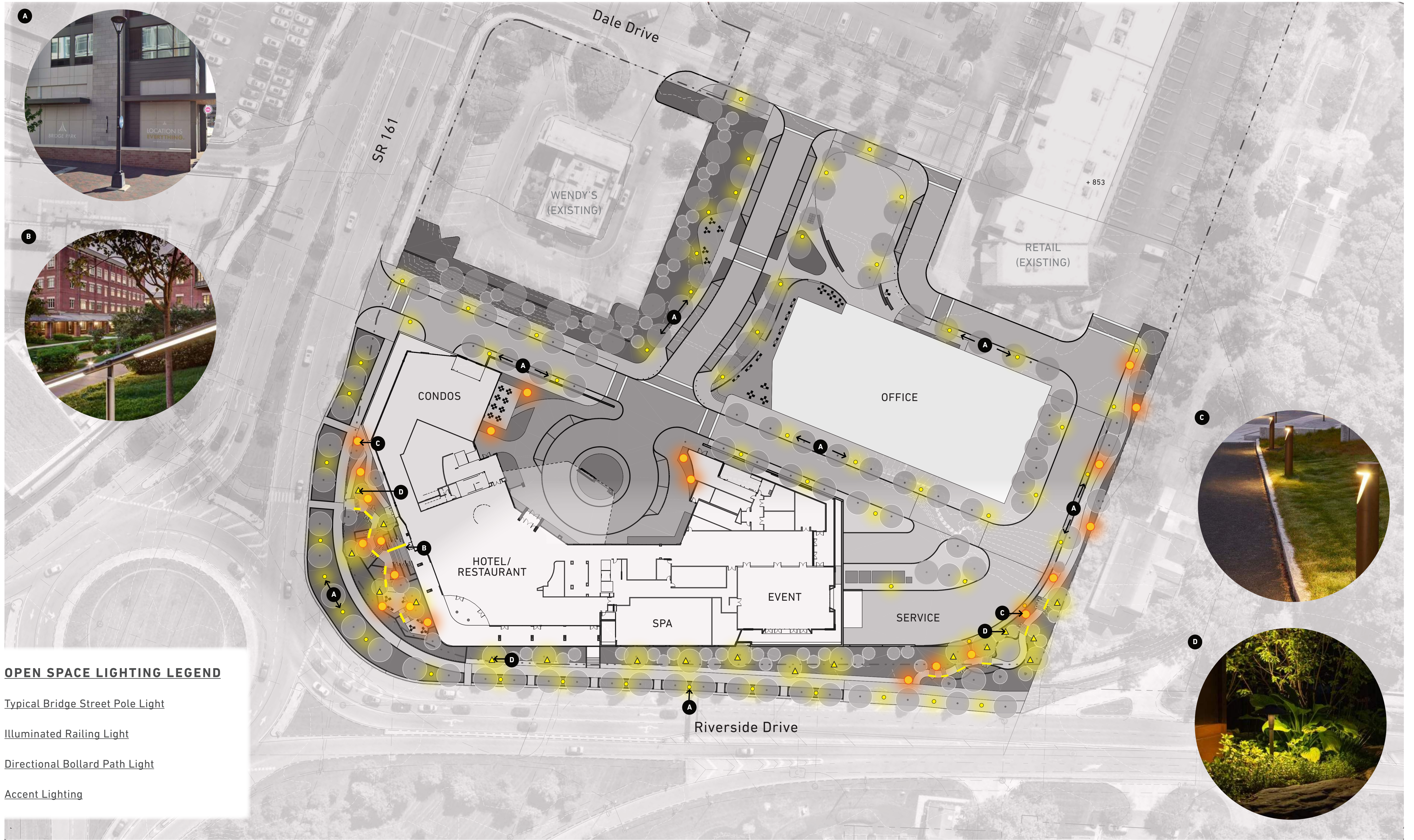


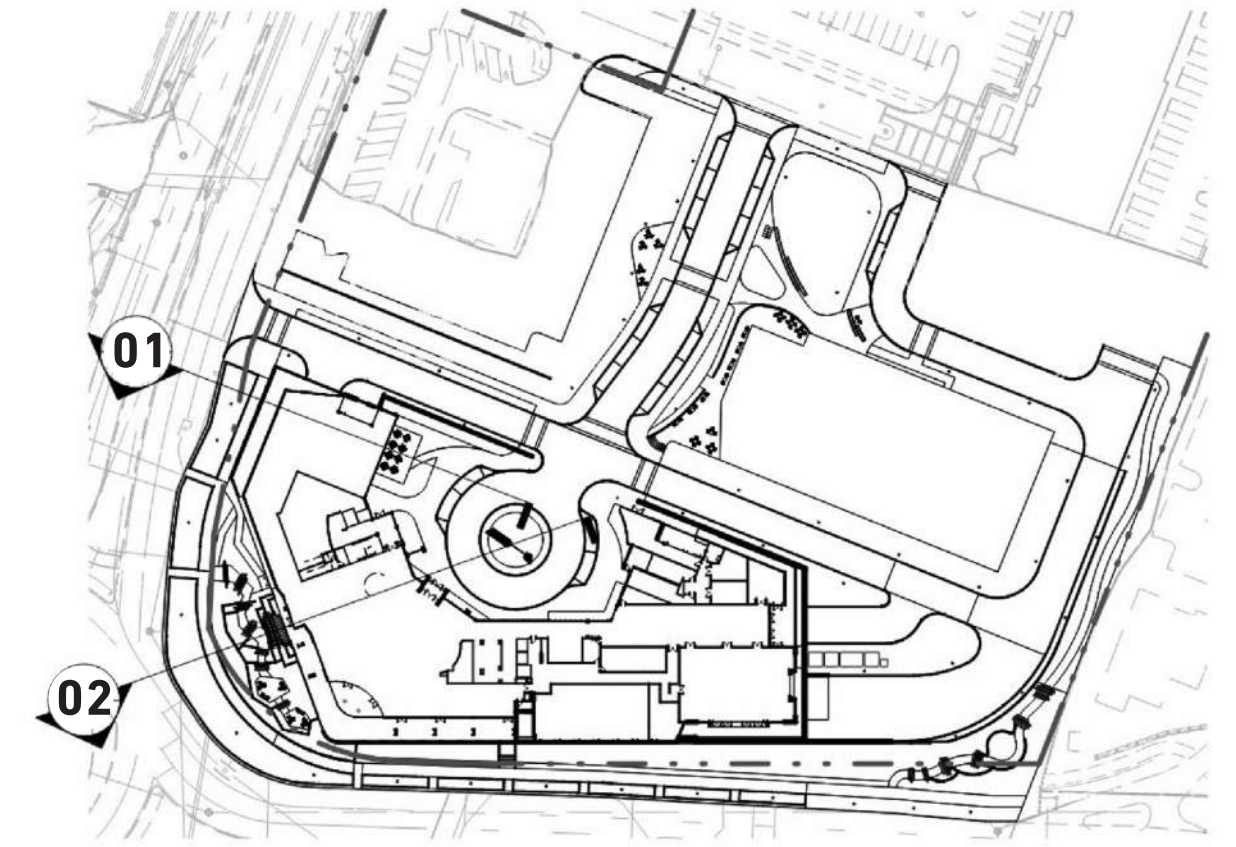
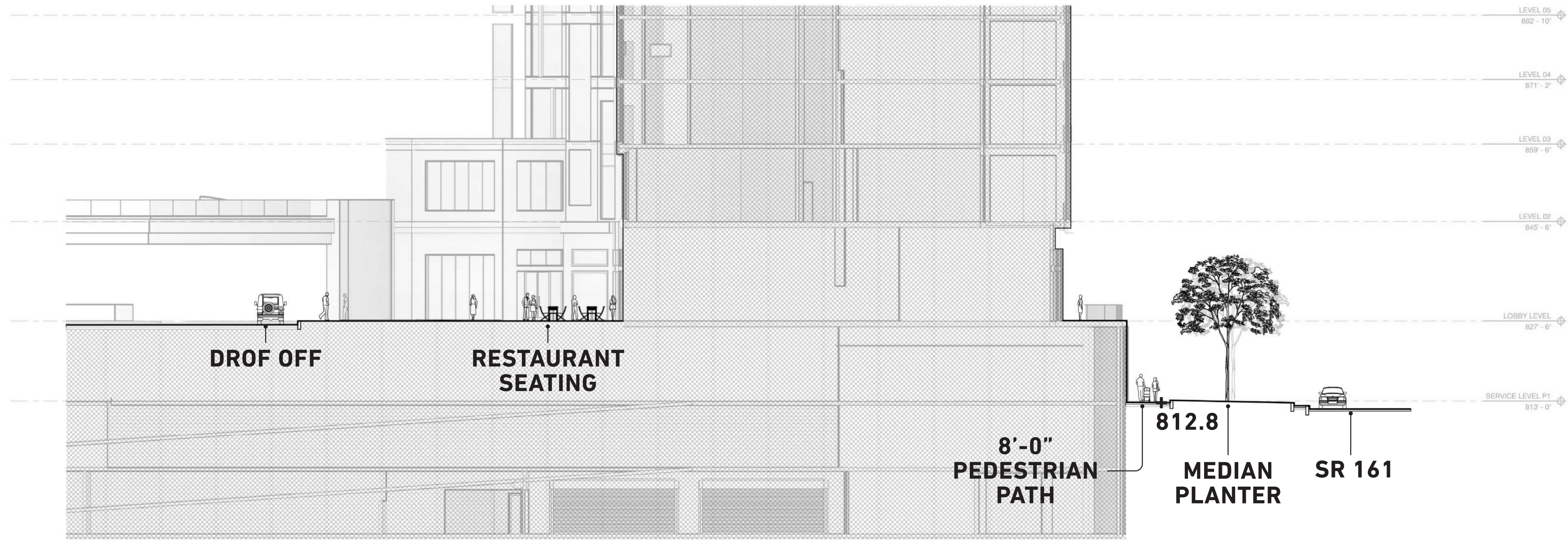




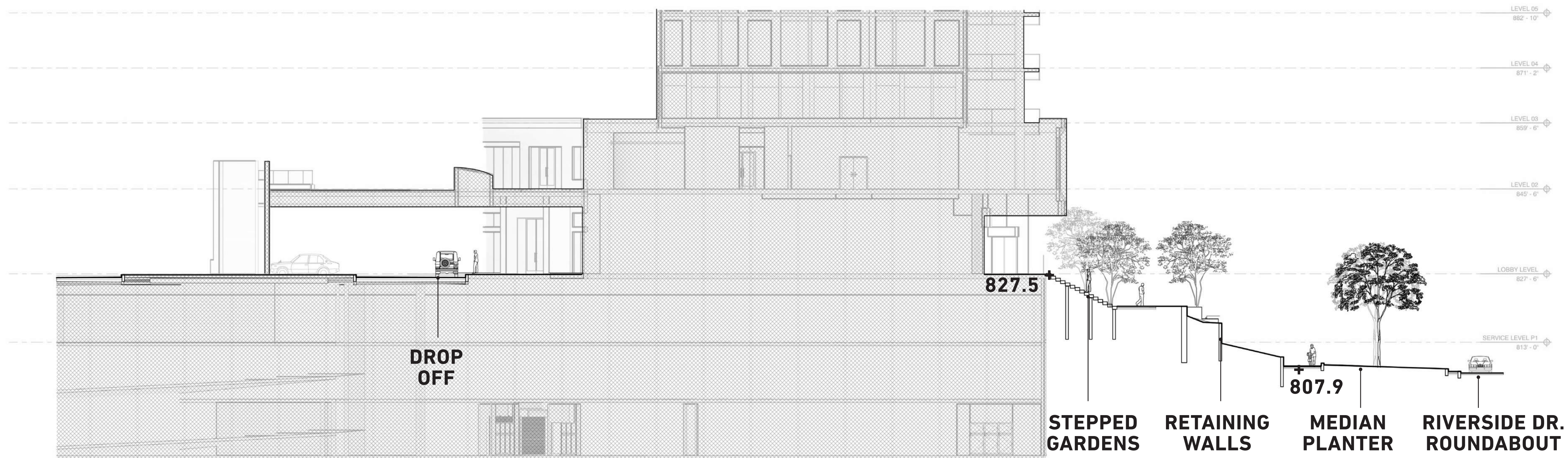
PLANTING LEGEND

- A Ornamental Plantings**
Large masses of understory plants for seasonal interest
- B Deciduous Shade Trees**
Preserve existing species on site deemed significant
- C Lawn**
Flexible open space for gathering
- D Street Trees**
- E Street Trees in Planters**
- F Utility screening**
Evergreen shrubs at minimum 48 in height at planting
- G Foundation Plantings**
Shrubs, ornamental grasses, and perennials at varying heights planted at ground floor building facades
- H Buffer Plantings**
Shrubs, evergreen and deciduous trees, grasses, and perennials to separate uses and break up sight lines



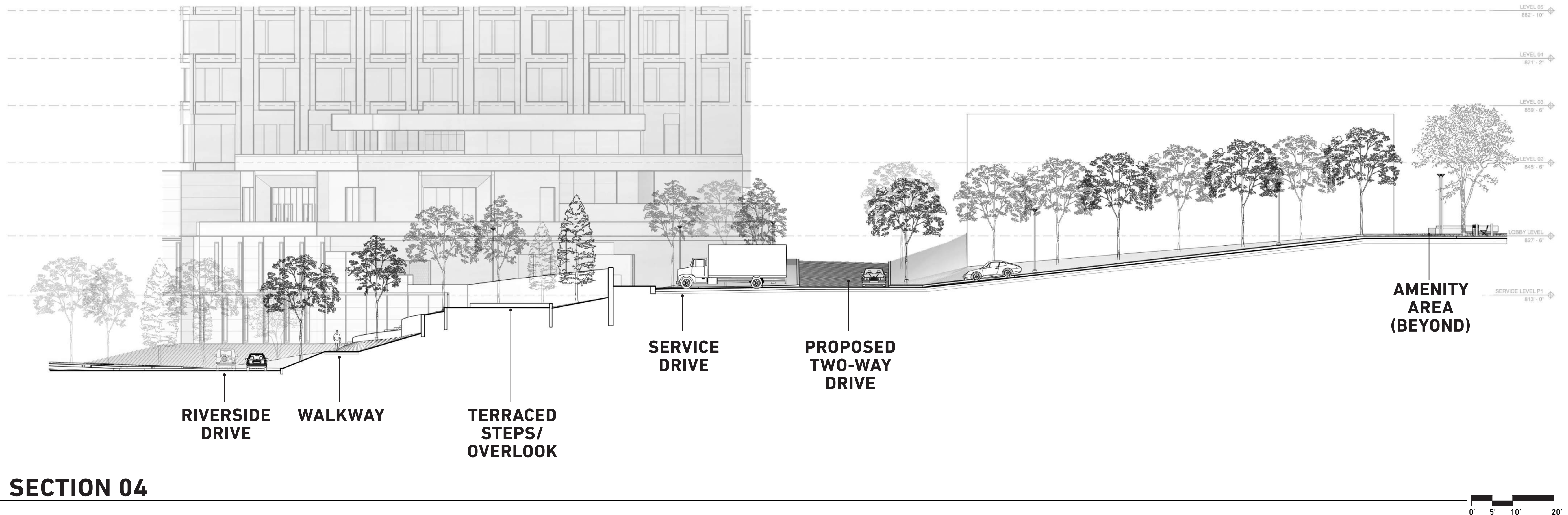
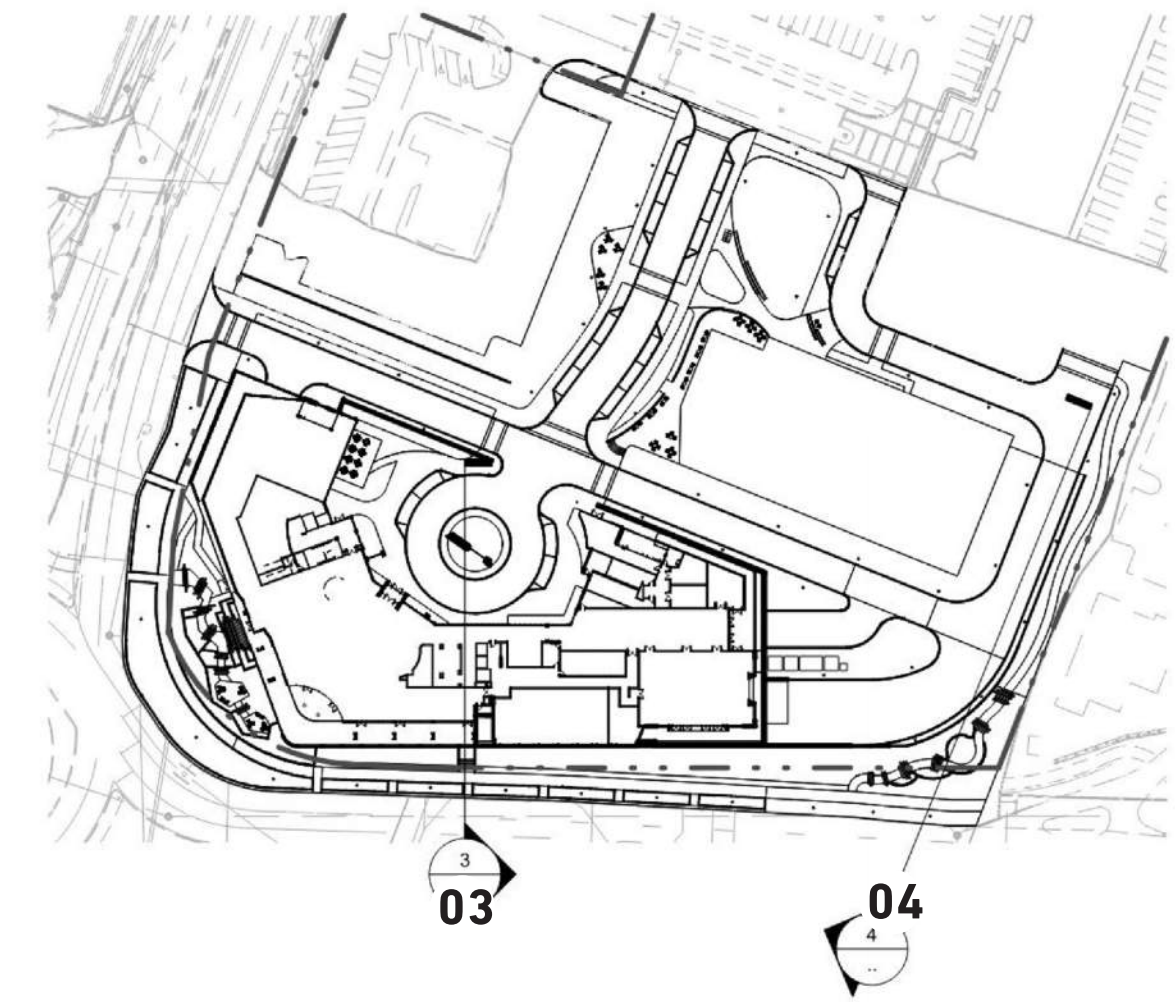
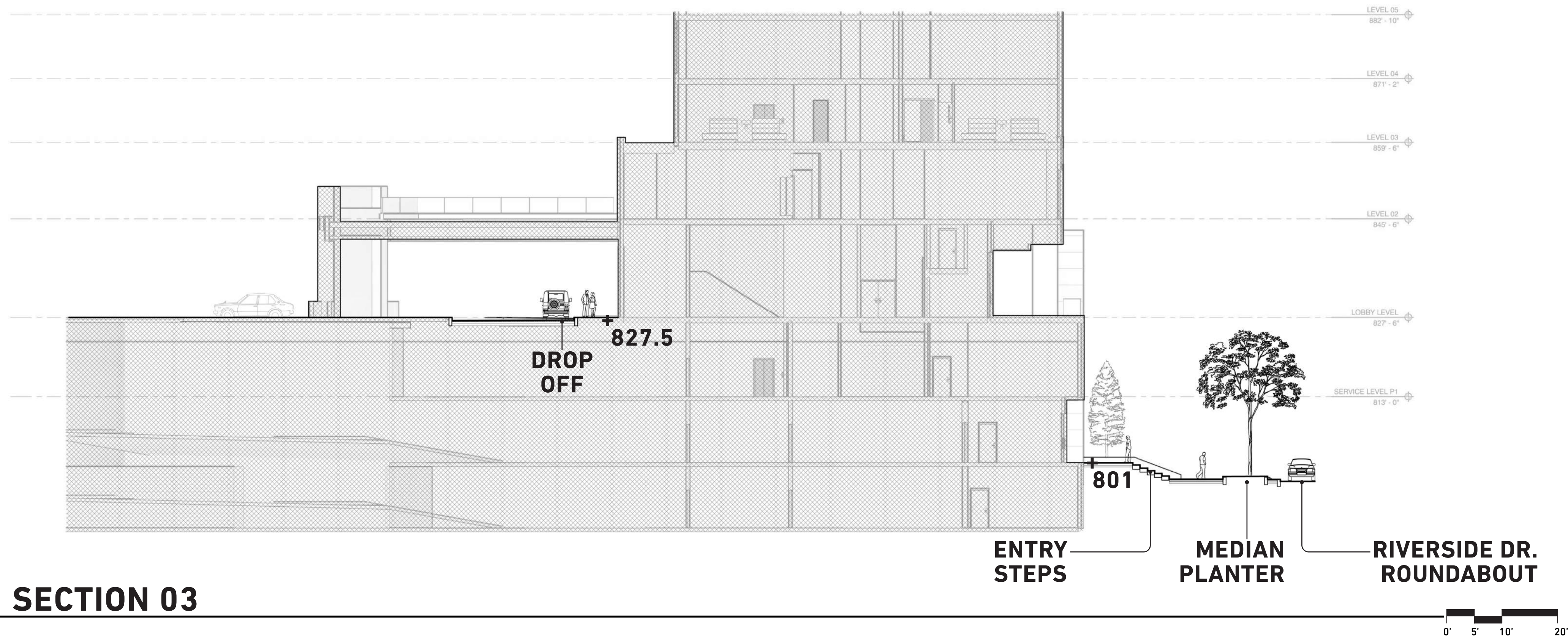


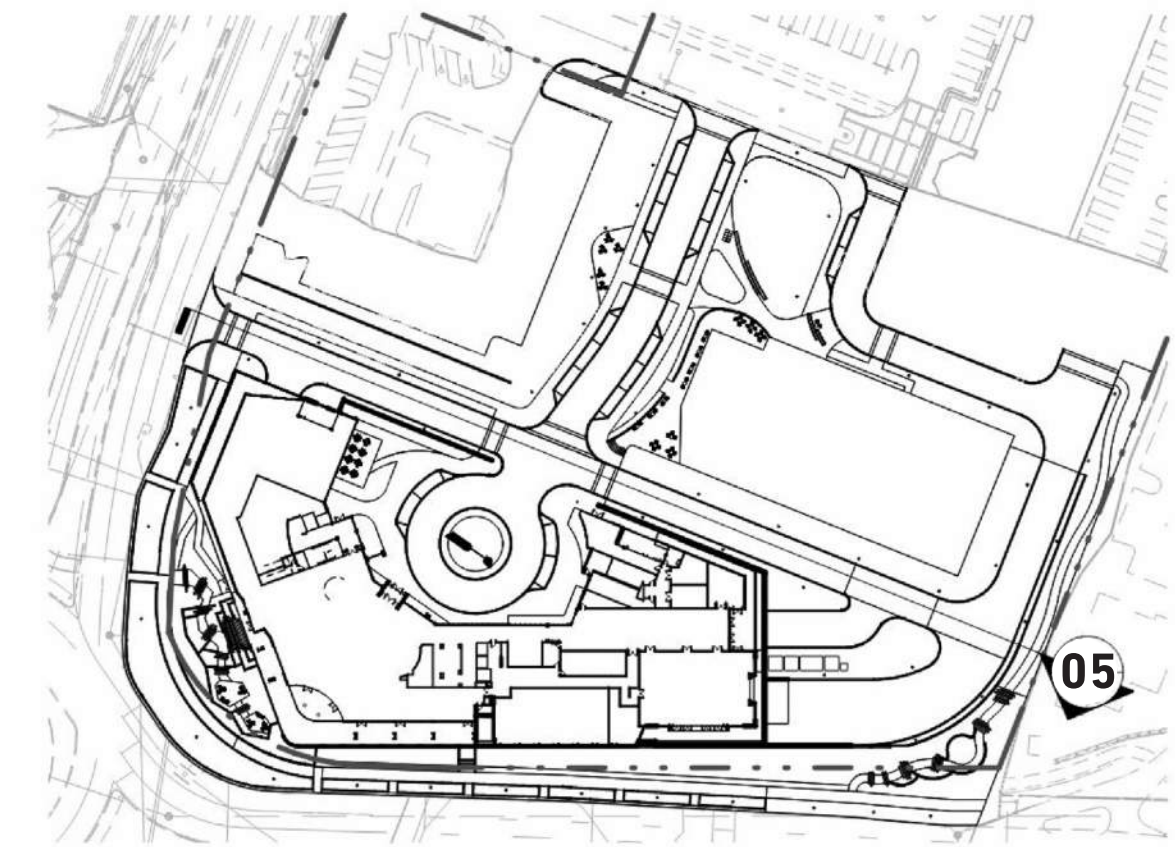
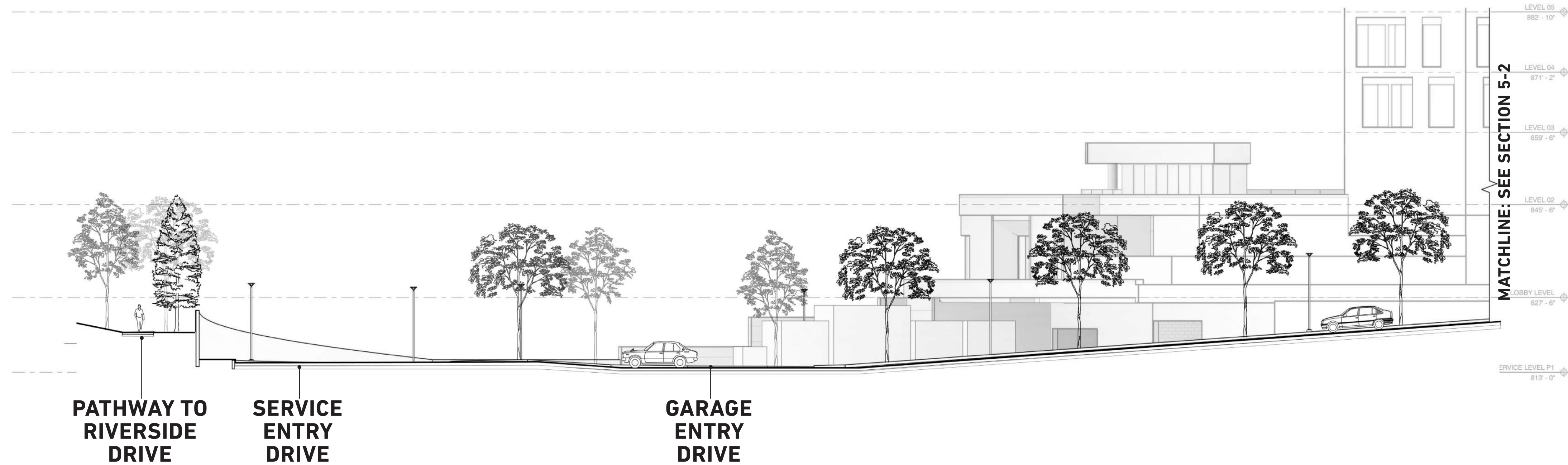
SECTION 01



SECTION 02







SECTION 5-1



SECTION 5-2



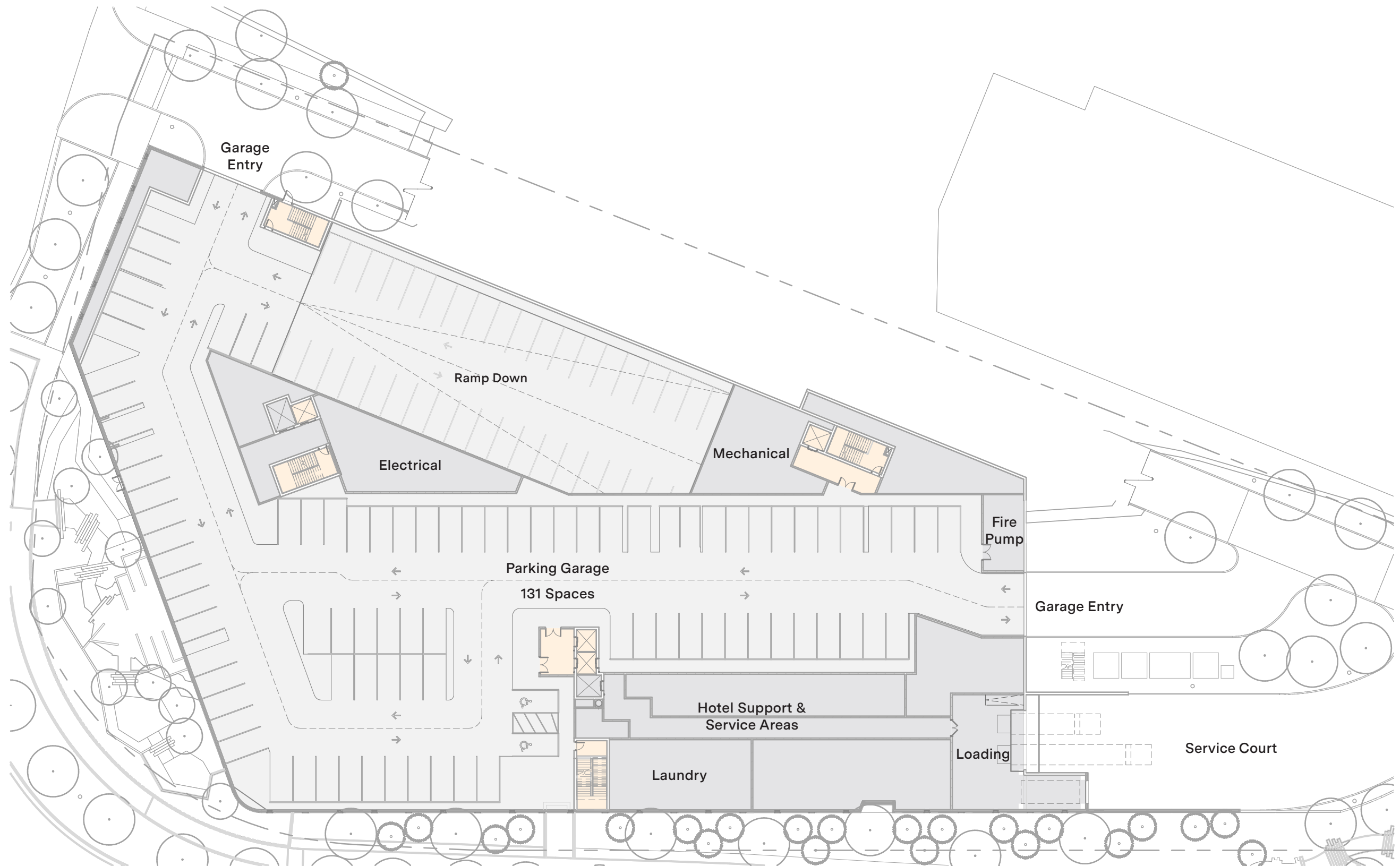
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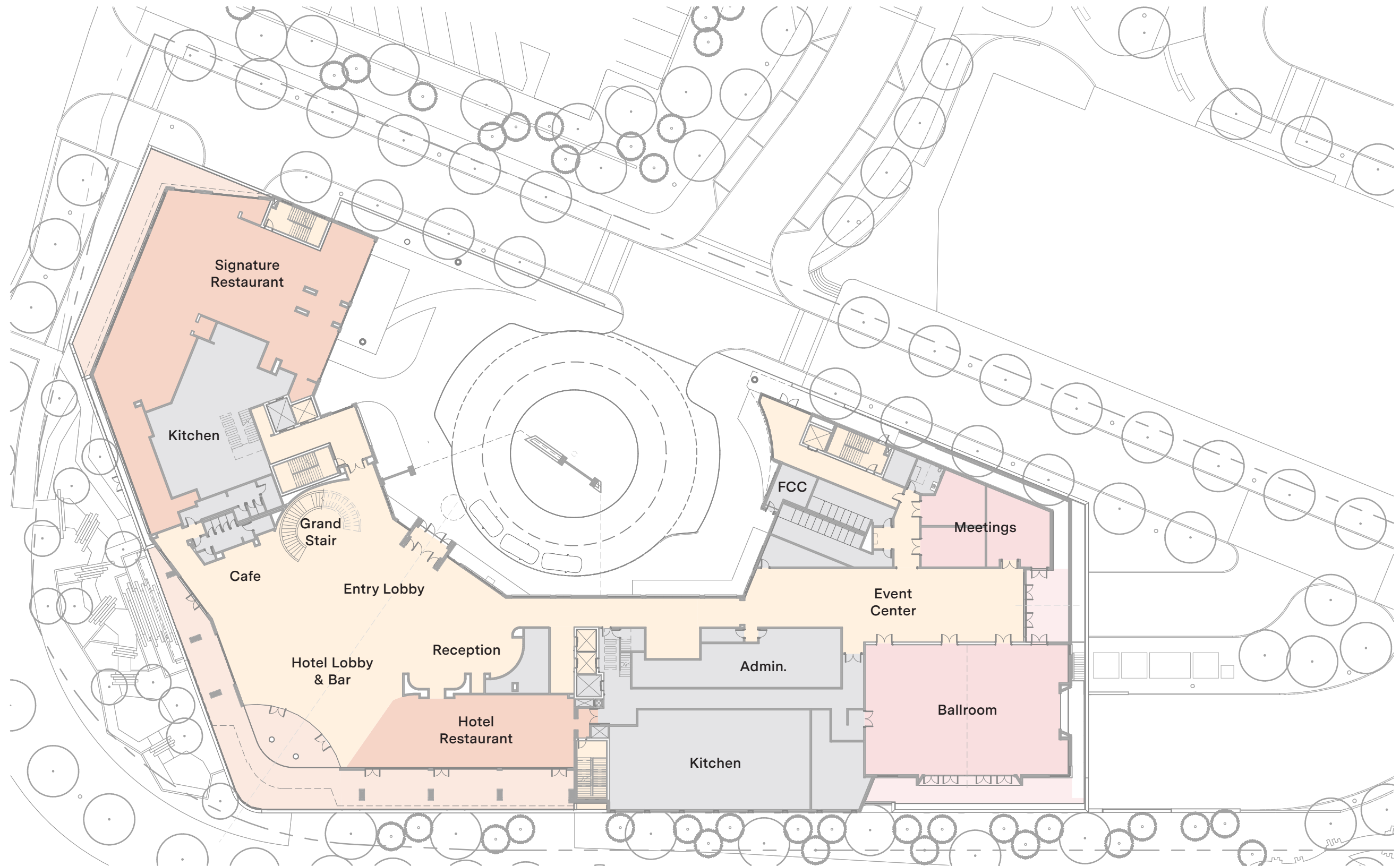
Architecture

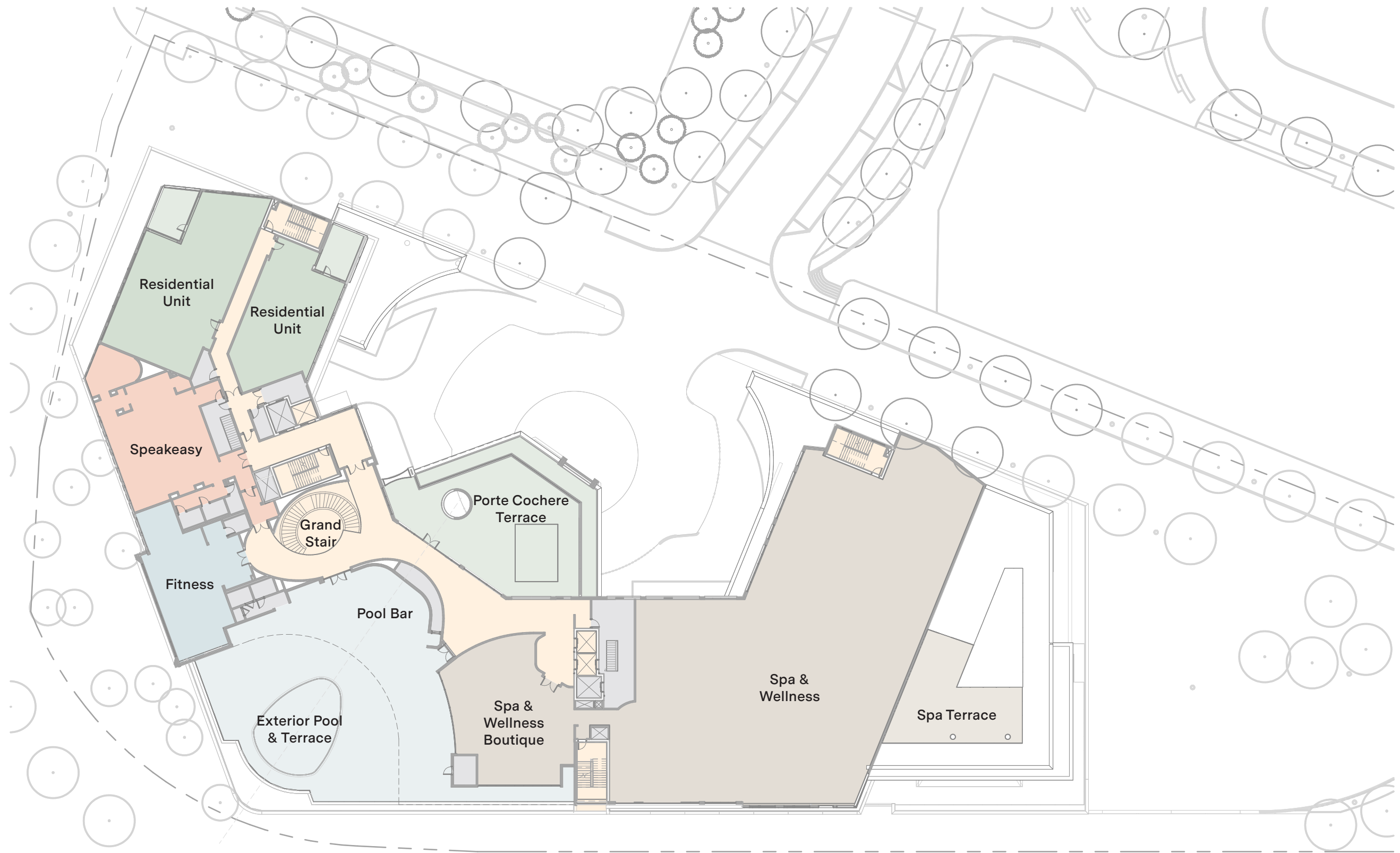
Mixed-Use Building





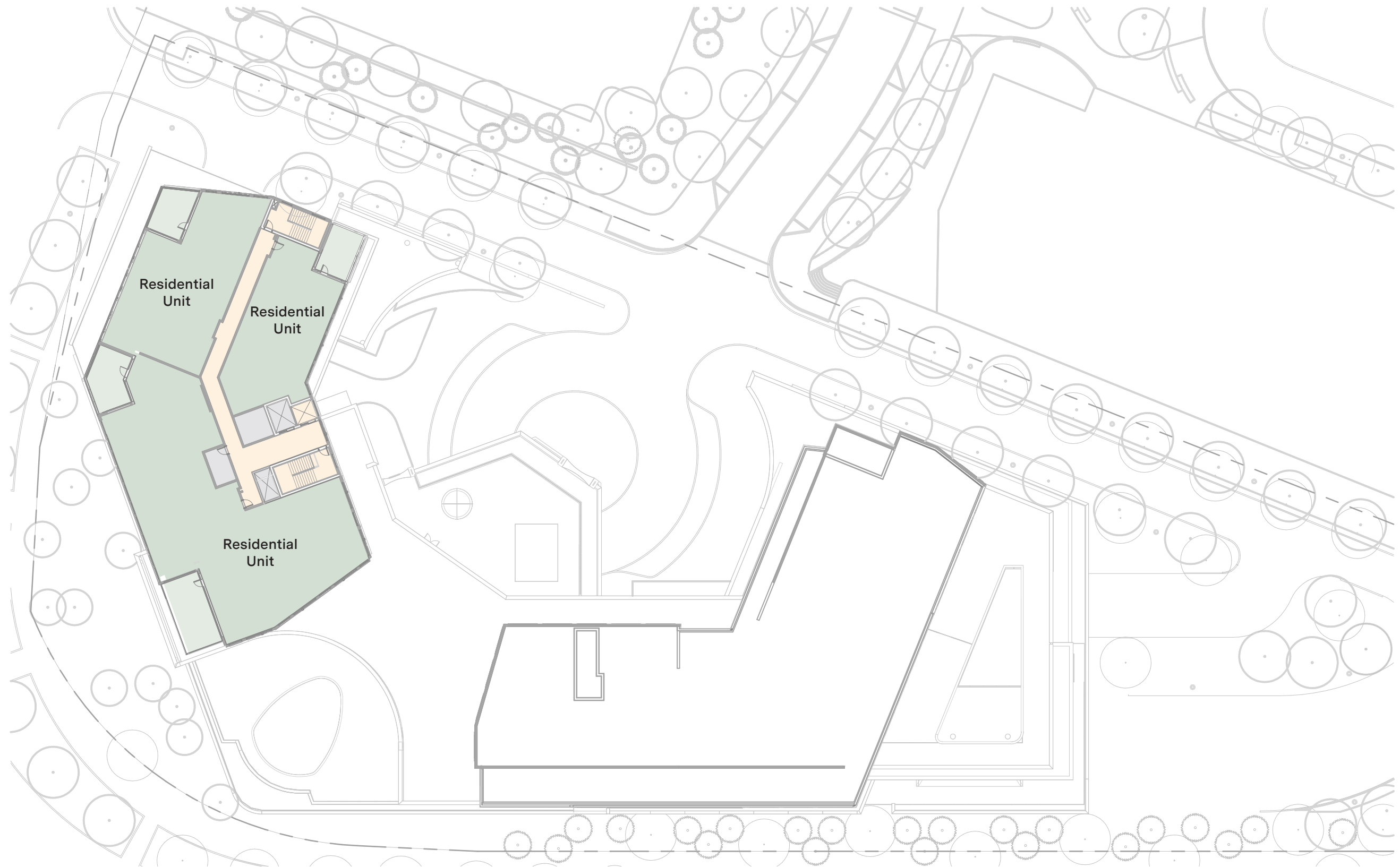


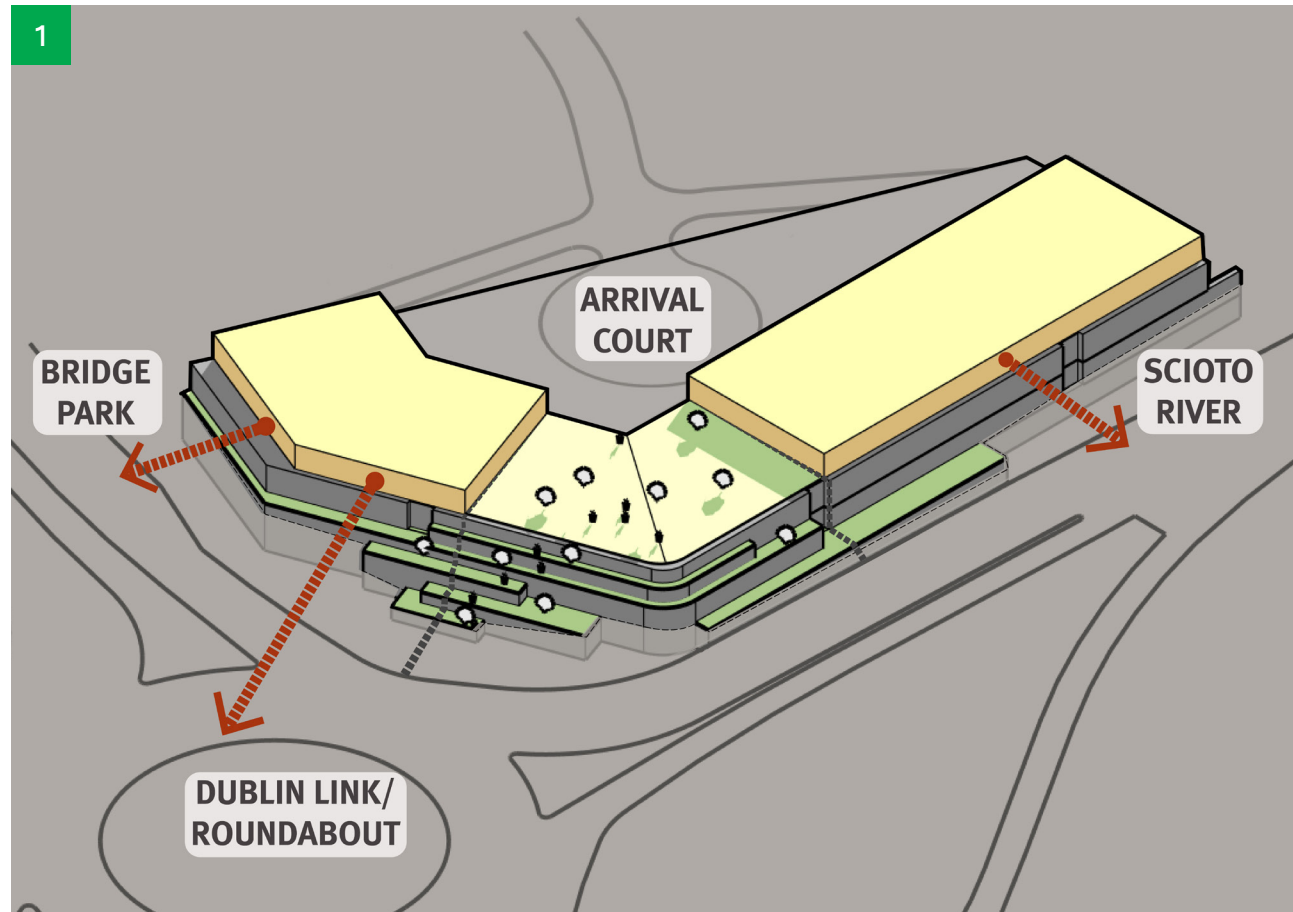






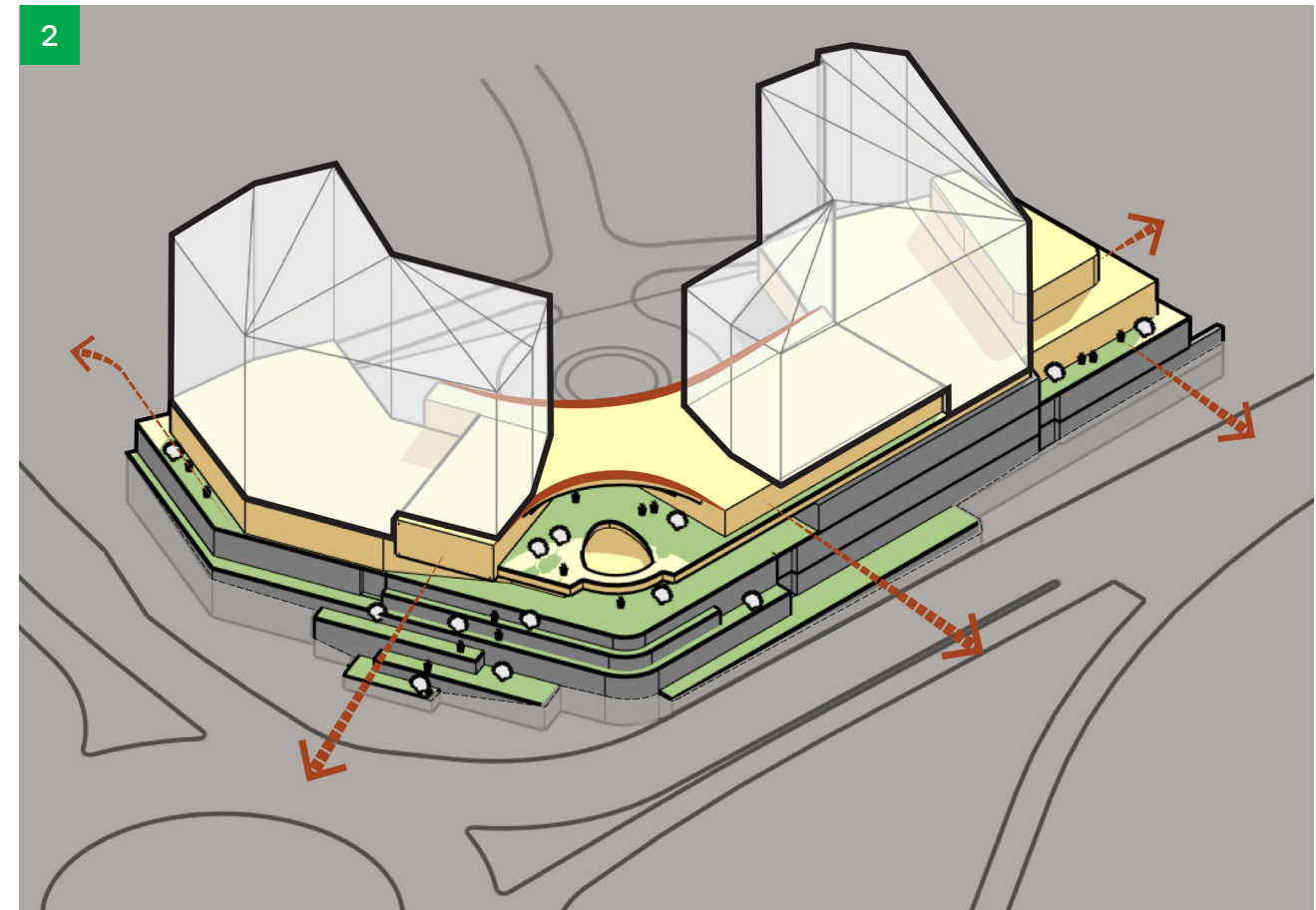






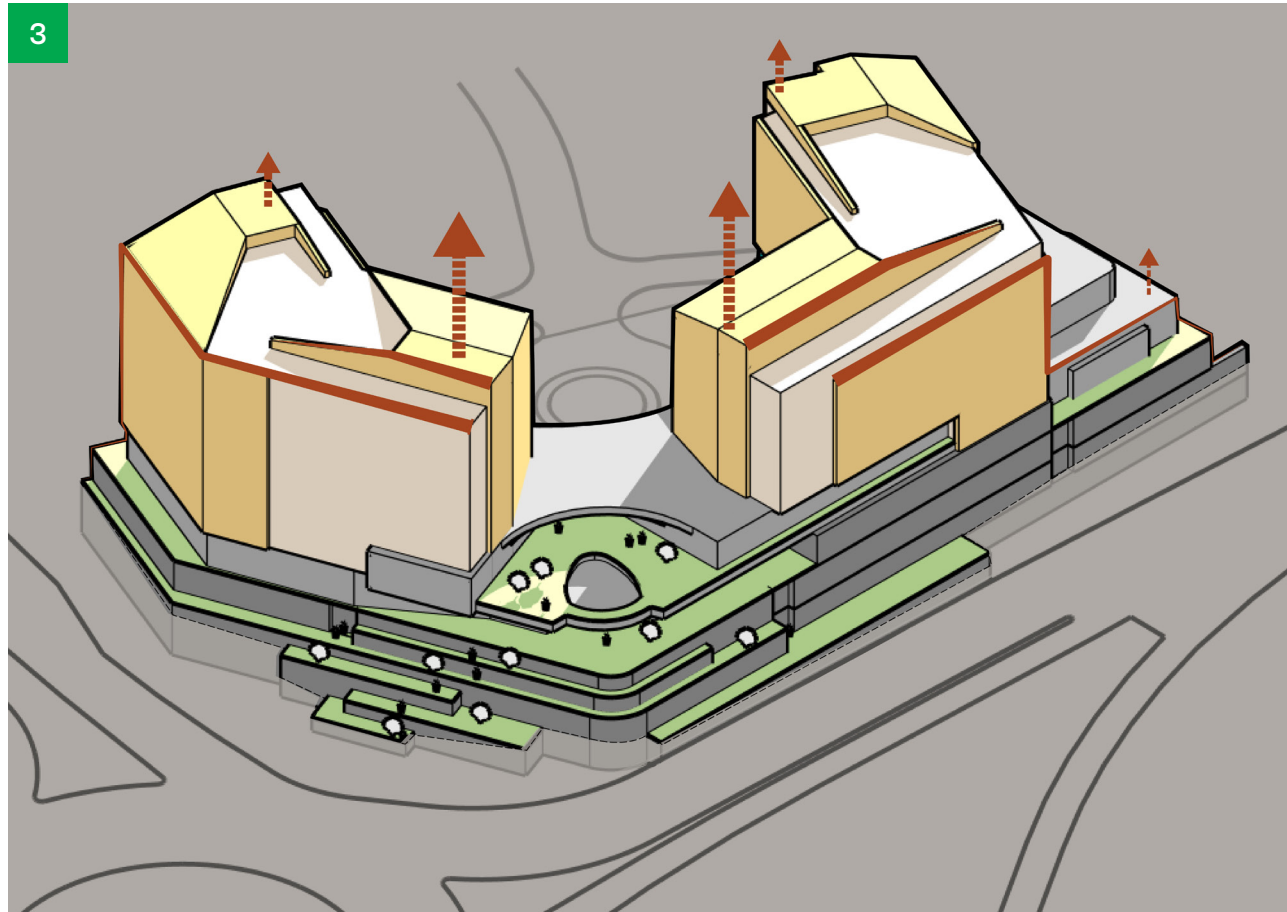
Views & Podium

The site steps up to the parking podium from the roadways and roundabout, maintaining relief at the corner and maximizing the surrounding views.



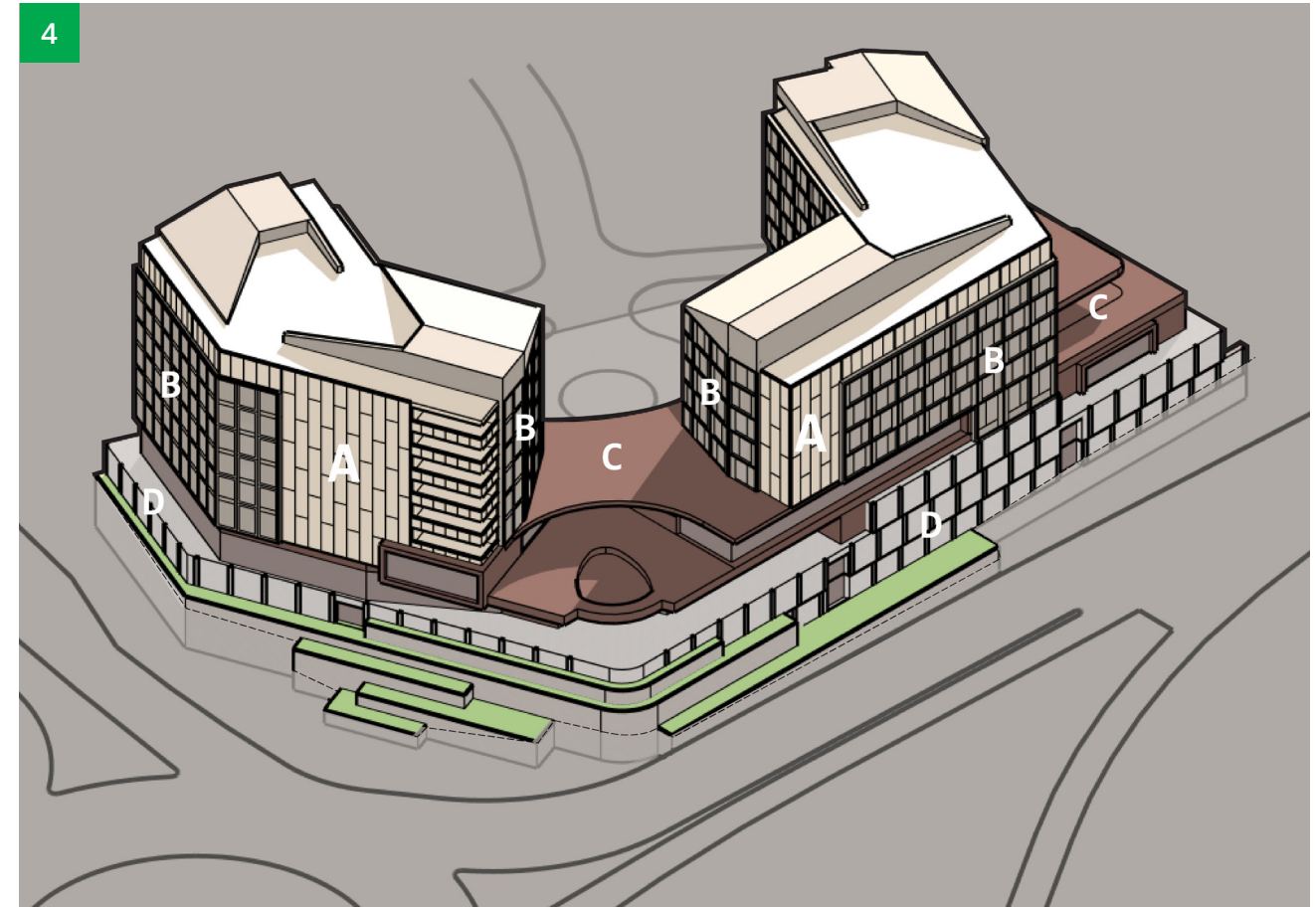
Towers & Connection

The towers are shaped by contextual adjacencies, and carved to enhance program needs. A continuous thread of public space connects the hotel and condominium towers, guiding users through a curated journey of shared amenities.



Stepping & Arrangement

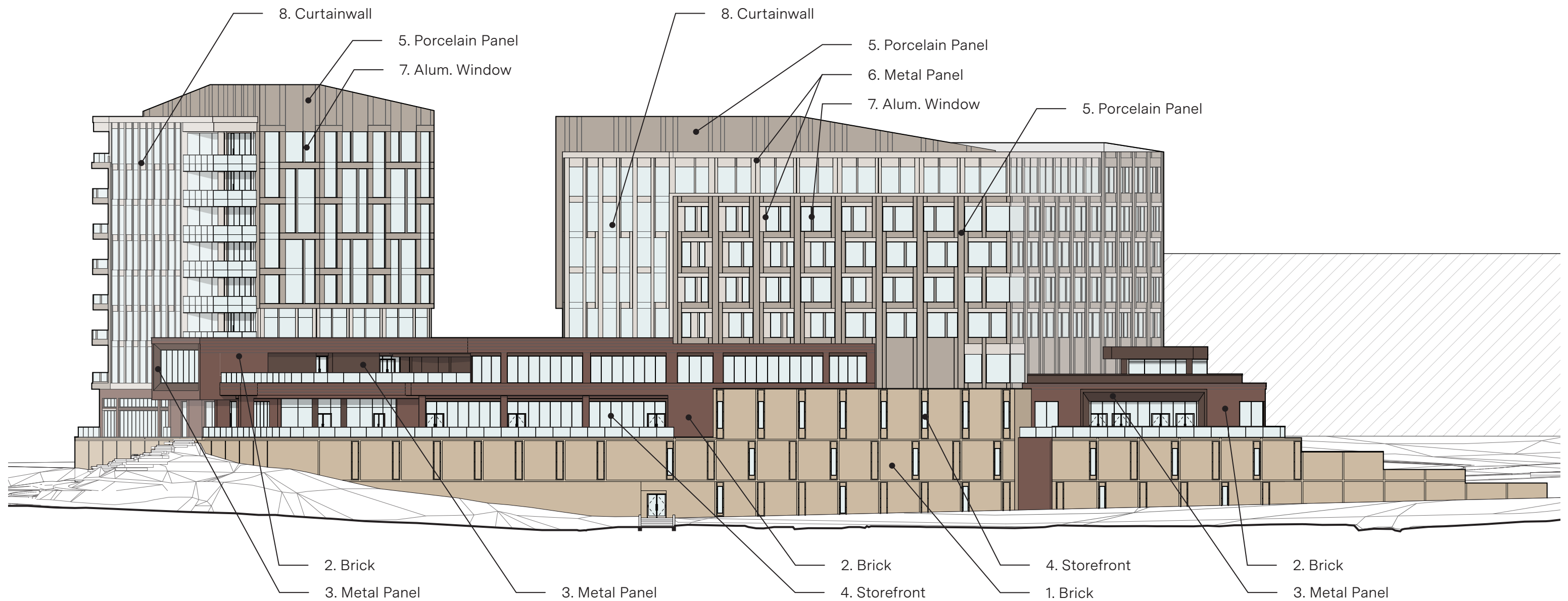
Tower heights are tallest at the corner and step down toward the neighboring sites. The internal focus of the hotel and condos display moments of outward expression.



Material & Articulation

The towers share a relatable material palette, distinguished by texture and rhythm to establish identity. A unified public space enhances transparency and grounds the architecture in its natural context.





Base

Band

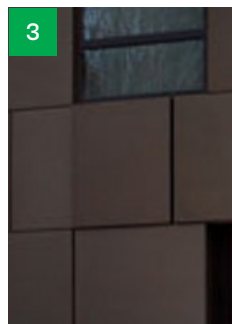
Towers



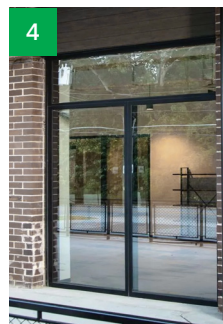
1. Brick
- Buff Range



2. Brick
- Dark Brown to Black Range



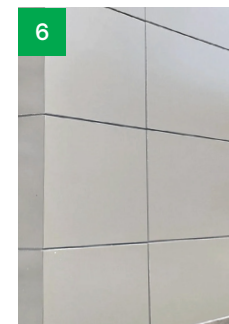
3. Metal Panel
- Bronze Range



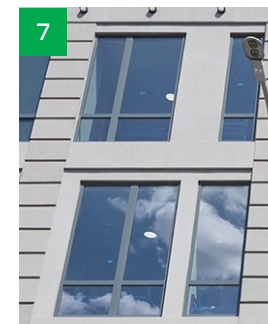
4. Storefront
- Dark Bronze



5. Porcelain Panel
- Stone look



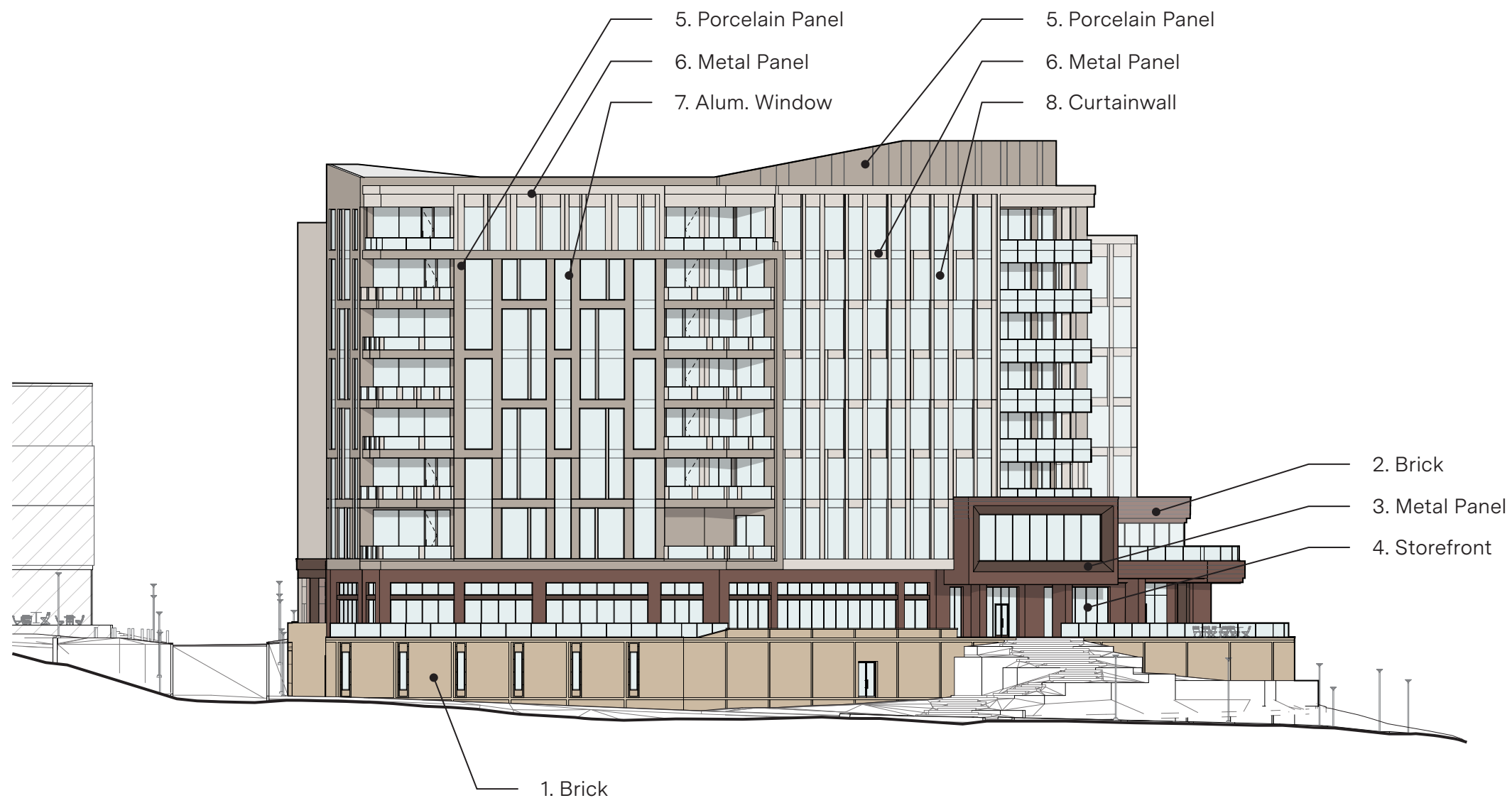
6. Metal Panel
- Warm Gray



7. Alum. Window
- Clear Anodized



8. Curtainwall
- Clear Anodized



Base

Band

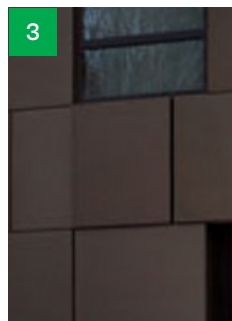
Towers



1. Brick
- Buff Range



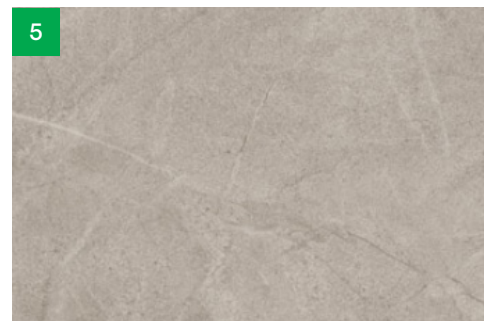
2. Brick
- Dark Brown to Black Range



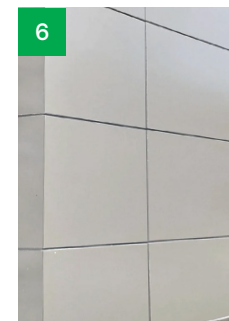
3. Metal Panel
- Bronze Range



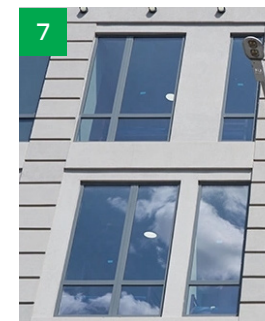
4. Storefront
- Dark Bronze



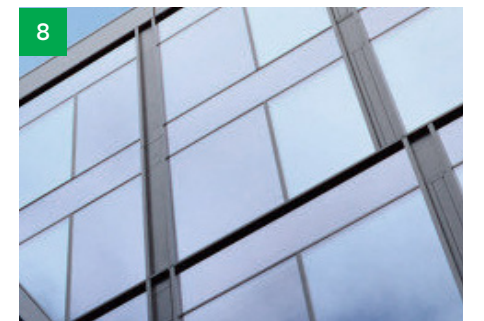
5. Porcelain Panel
- Stone look



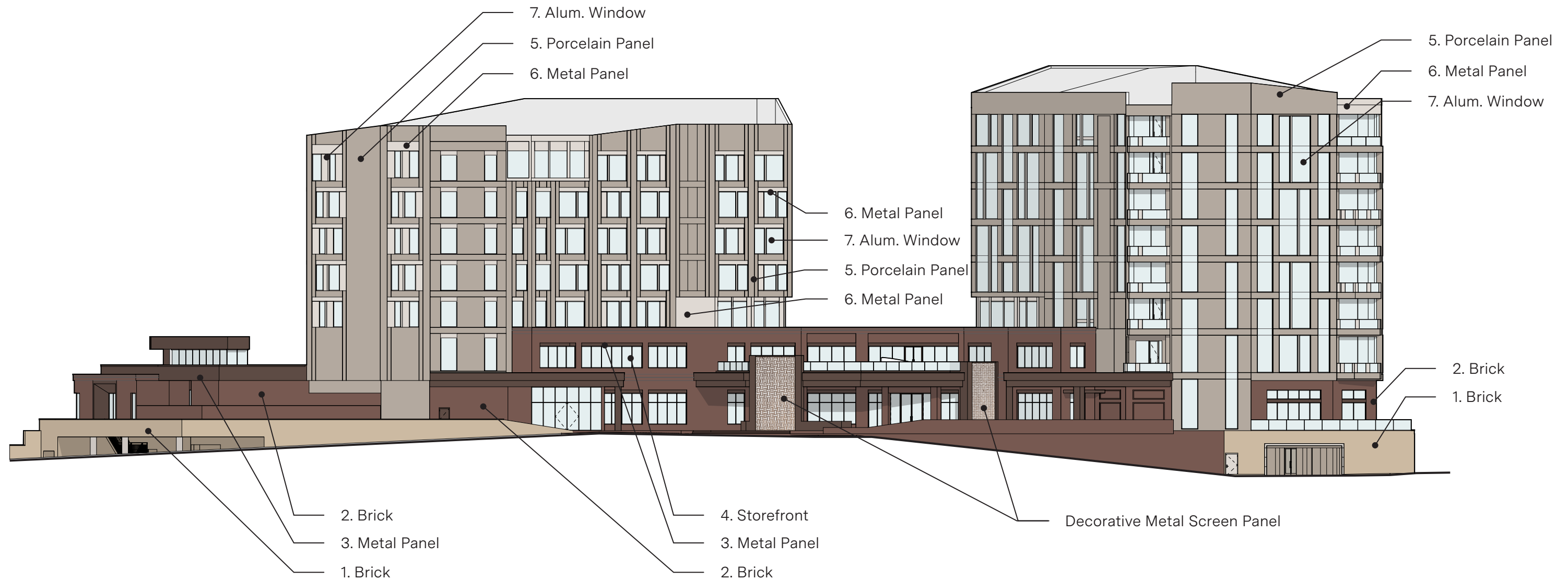
6. Metal Panel
- Warm Gray



7. Alum. Window
- Clear Anodized



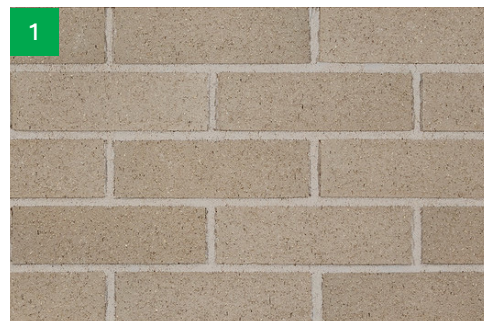
8. Curtainwall
- Clear Anodized



Base

Band

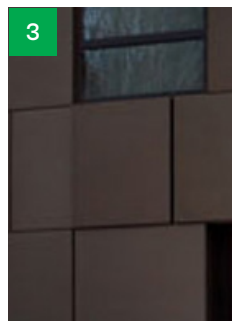
Towers



1. Brick
- Buff Range



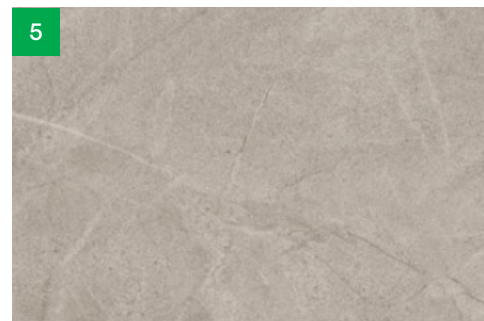
2. Brick
- Dark Brown to Black Range



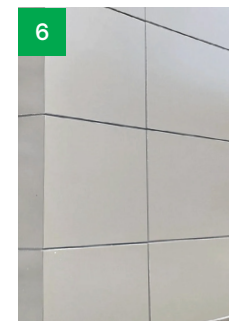
3. Metal Panel
- Bronze Range



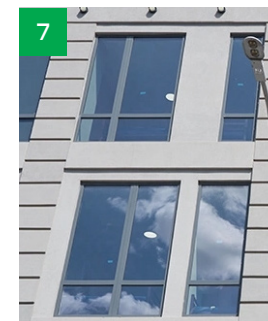
4. Storefront
- Dark Bronze



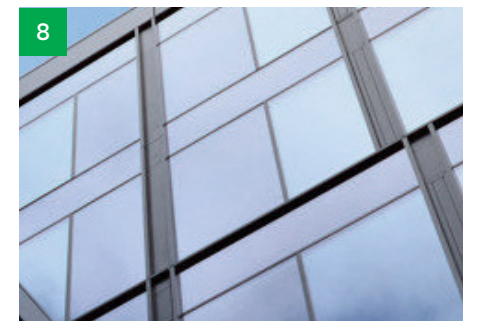
5. Porcelain Panel
- Stone look



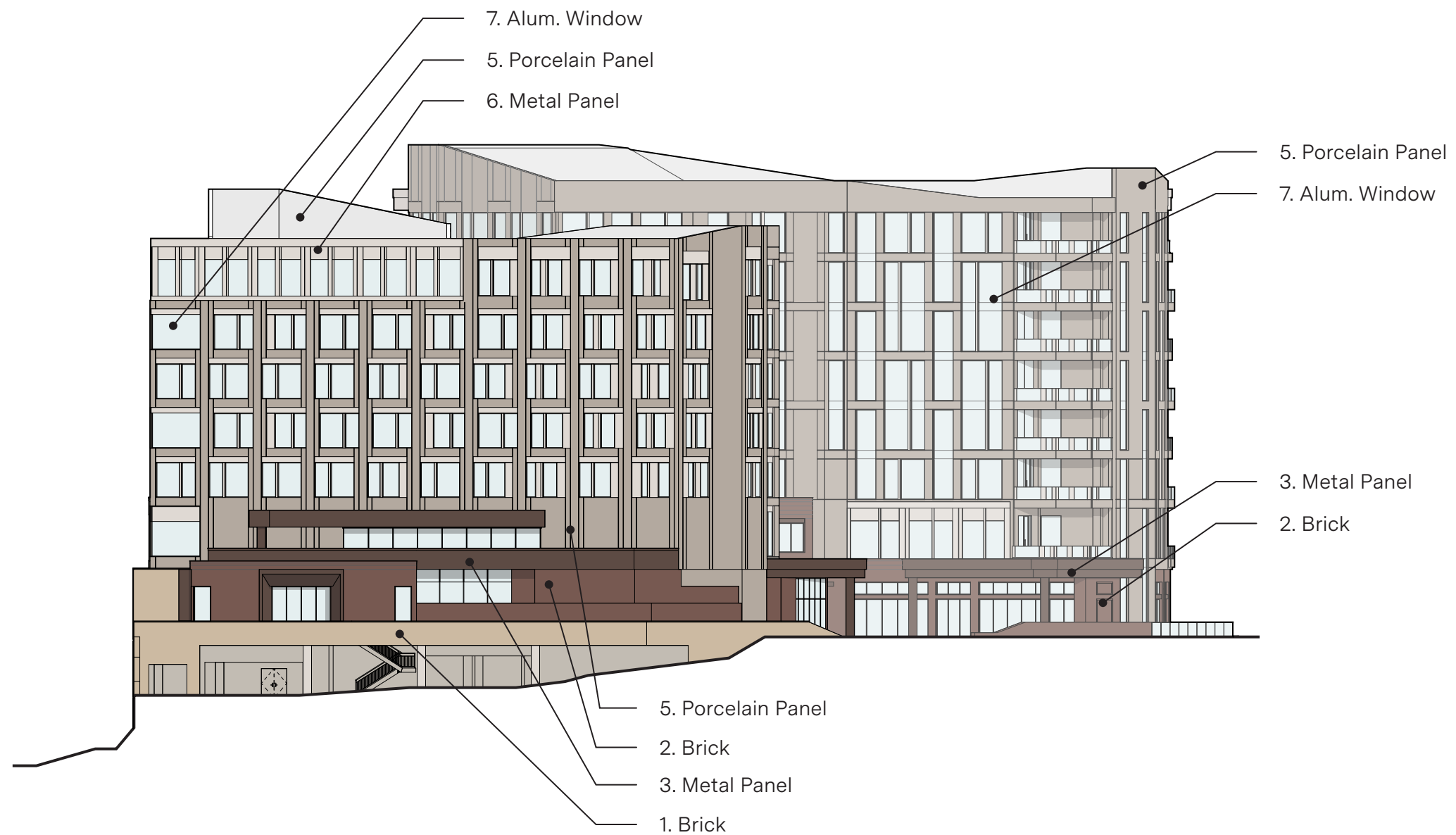
6. Metal Panel
- Warm Gray



7. Alum. Window
- Clear Anodized



8. Curtainwall
- Clear Anodized



Base

Band

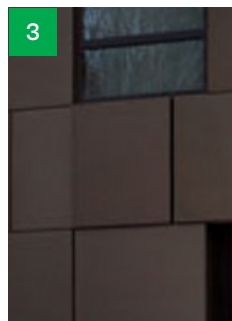
Towers



1. Brick
-Buff Range



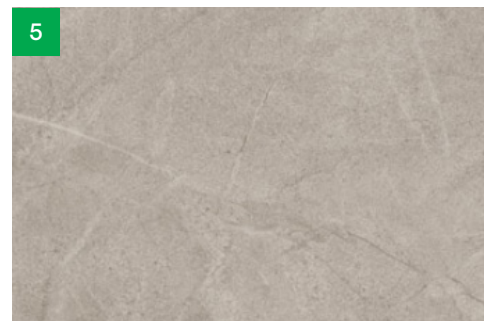
2. Brick
-Dark Brown to Black Range



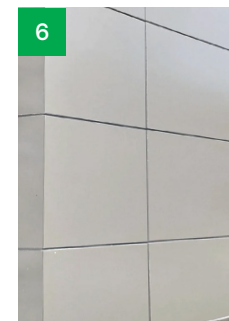
3. Metal Panel
-Bronze



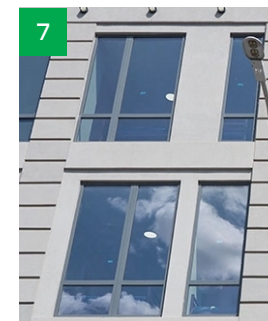
4. Storefront
-Dark Bronze



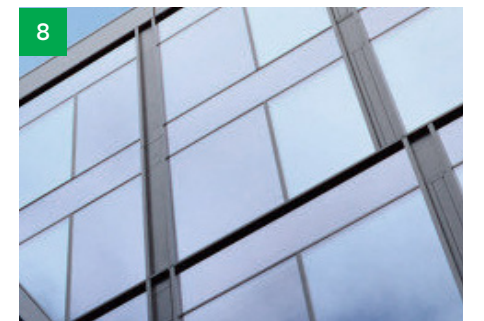
5. Porcelain Panel
-Stone look



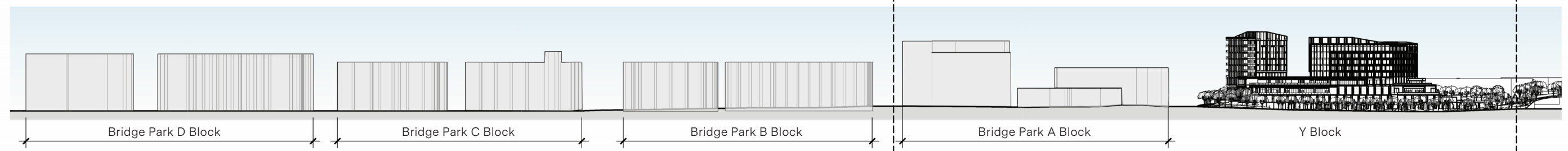
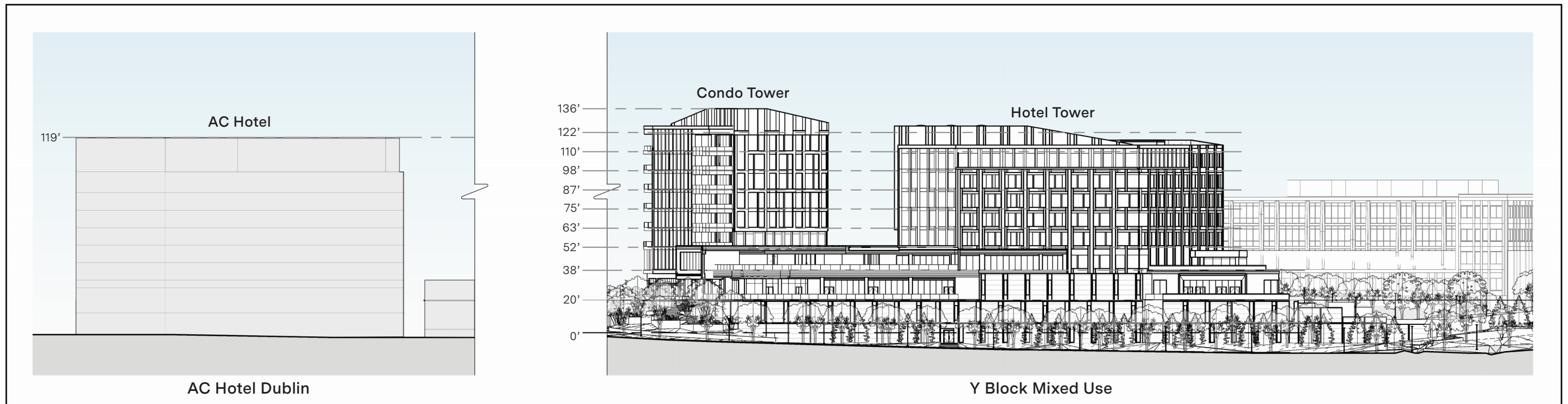
6. Metal Panel
-Warm Gray



7. Alum. Window
-Clear Anodized



8. Curtainwall
-Clear Anodized



A1. Street Frontage

Multiple Principal Buildings:	<u>Allowable:</u> Permitted	<u>Actual:</u> Complies
Front Property Line Coverage:	75% minimum	Complies; 80%
Occupation of Corner:	Required	Complies
Front RBZ:	0ft - 15ft	Complies
Corner Side RBZ:	0ft - 15ft	Complies
RBZ Treatment:	Landscape, Patio, or Streetscape; along West Dublin- Granville Road, Streetscape required	Complies
Right-of-Way Encroachment:	0ft - 15ft	Complies

A2. Buildable Area

	<u>Allowable:</u>	<u>Actual:</u>
Minimum Side Yard Setback:	5ft	Complies; 41'-0"
Minimum Rear Yard Setback:	5ft	N/A
Minimum Lot Width:	50ft	Complies; 444'-0"
Maximum Lot Width:	None	N/A
Maximum Impervious Coverage:	80%	81.2%
Additional Semi-Pervious Coverage:	10%	N/A

A3. Parking Location & Loading

Parking Location:	<u>Allowable:</u> Rear yard; within building	<u>Actual:</u> Within Building
Loading Facility Location:	Rear & side Facade	Side Facade
Entry for Parking within Building:	Rear & side facade; corner side facade on non-principal frontage streets	Rear & side facades
Access:	Refer to 153.062(N)(1)(c)	Complies

B. Height

Minimum Height:	<u>Allowable:</u> 3 stories	<u>Actual:</u> Complies
Maximum Height:	6 stories	11 Total Stories 8 Above Ground Level
Ground Stories - Minimum Height:	12ft	Complies; 18ft
Ground Stories - Maximum Height	16ft	18ft
Stories - Minimum Height	10ft	Complies; 11ft 8in
Stories - Maximum Height	14ft	Complies; 14ft

C. Uses & Occupancy Requirements

Ground Story:	<u>Allowable:</u> Residential and general office uses are prohibited in shopping corridors; Podium parking structures are conditional uses in accordance with 153.059(C)(3)(g)	<u>Actual:</u> N/A Podium Parking Structure included
Upper Story:	No additional requirements	Complies
Parking within Building:	Permitted in the rear of the first 3 floors and fully in any basement(s)	Parking garage in Lower 3 Levels
Occupied Space:	Minimum 30ft depth facing street(s)	Complies

D1. Street Facade Transparency

Ground Story Street Facing Transparency:	<u>Allowable:</u> Minimum 60% required	<u>Actual:</u> Ref. Elevations
Transparency:	Minimum 30%	Ref. Elevations
Blank Wall Limitations	Required	Ref. Elevations

D2. Non-Street Facade Transparency

Transparency:	<u>Allowable:</u> Minimum 15%	<u>Actual:</u> Ref. Elevations
Blank Wall Limitations:	Required	Ref. Elevations

D3. Building Entrance

Principal Entrance Location:	<u>Allowable:</u> Primary street facade of building	<u>Actual:</u> Complies
Street Facades - Number of Entrances:	1 per 75ft of facade minimum	Ref. Elevations
Parking Lot Facades - Number of Entrances	1 per 100ft of facade minimum	Ref. Elevations
Mid-Building Pedestrianway:	In shopping corridors, required for buildings greater than 250ft in length	N/A

D4. Facade Divisions

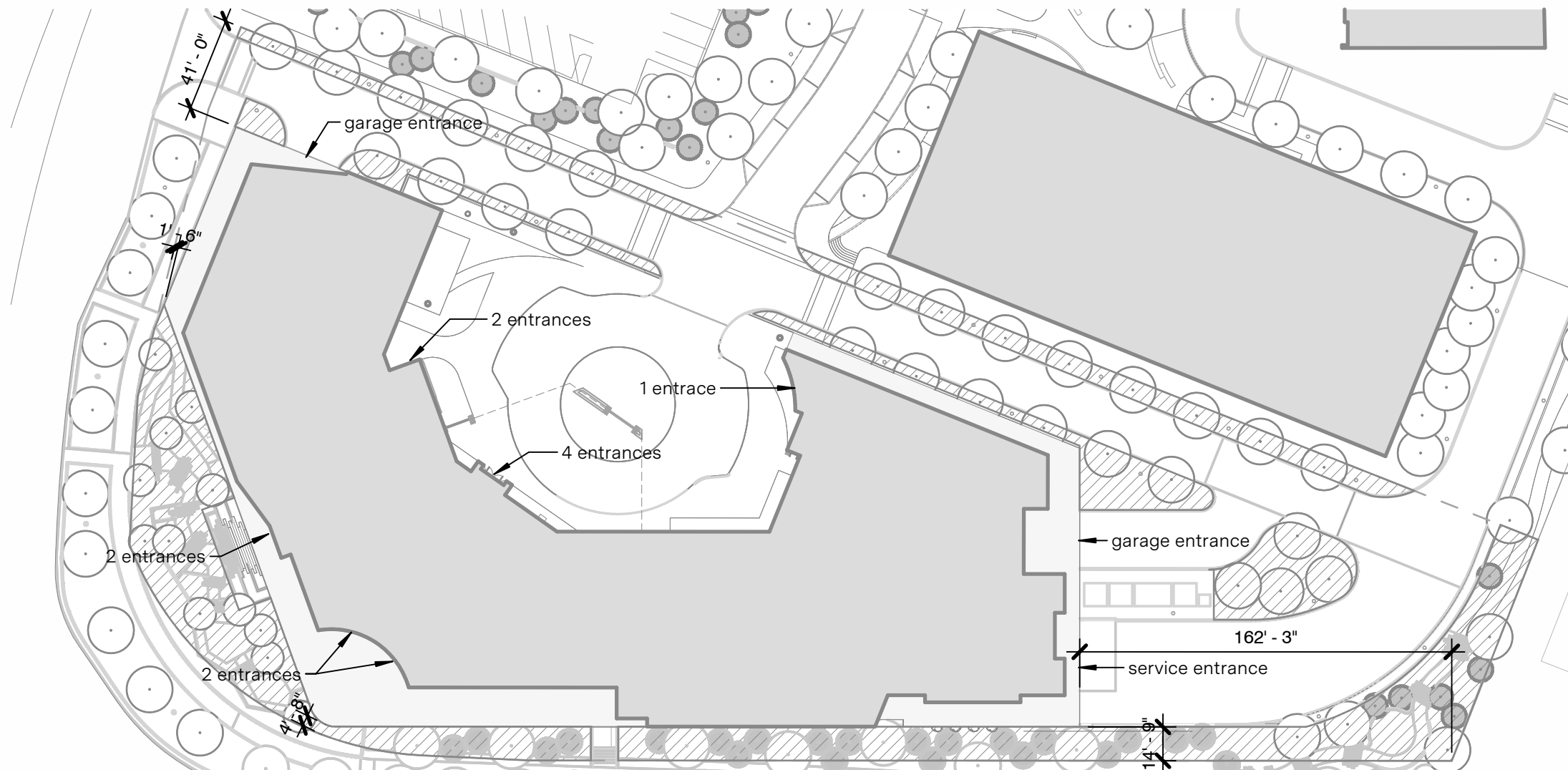
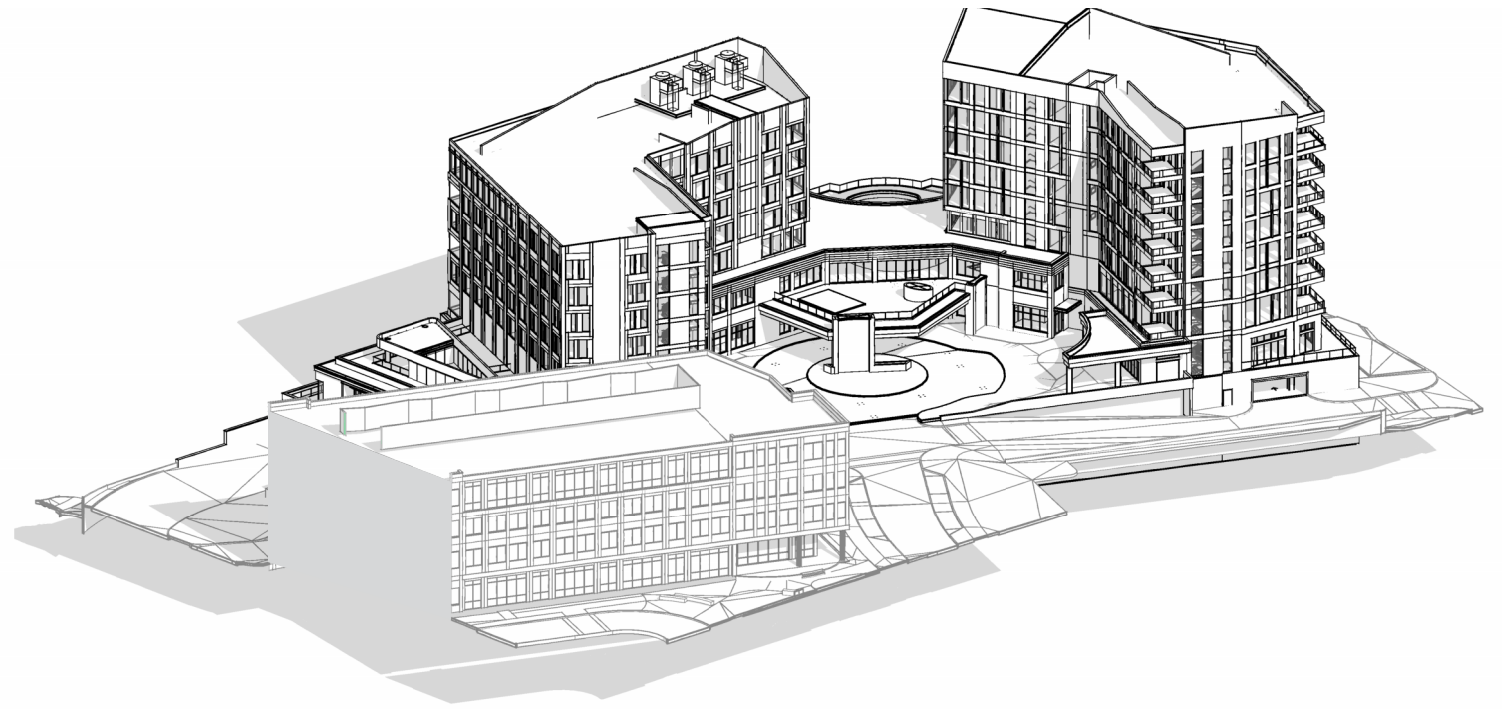
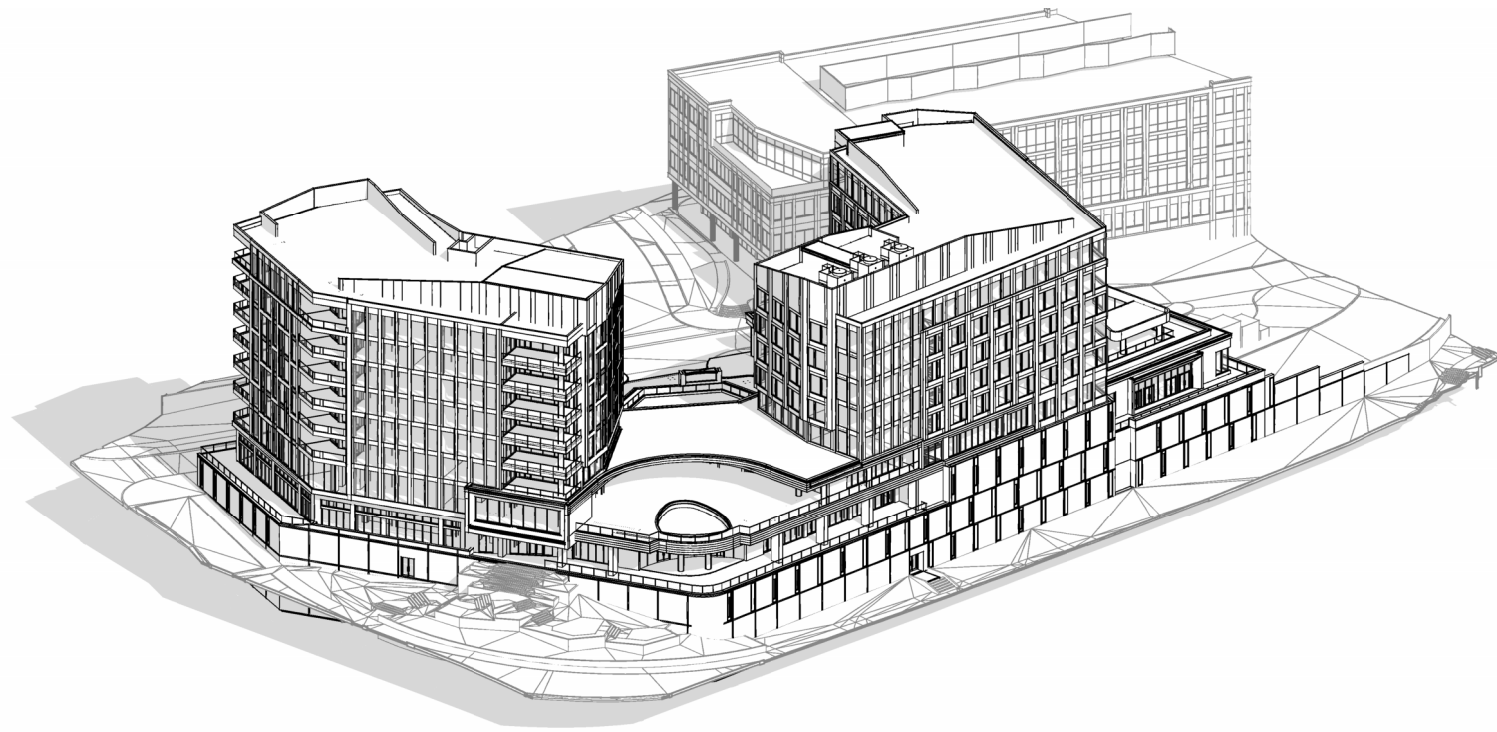
Vertical Increments:	<u>Allowable:</u> No greater than 45ft	<u>Actual:</u> Ref. Elevations
Horizontal Facade Divisions:	On buildings 3 stories or taller, required within 3ft of the top of the ground story. Required at any building step-back	Complies - Ref. Elevations
Required Change in Roof Plane or Type:	None	N/A

D5. Facade Materials

Permitted Primary Materials:	<u>Allowable:</u> Stone, Brick, Glass	<u>Actual:</u> Ref. Elevations
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D6. Roof Types

Permitted Types:	<u>Allowable:</u> Parapet, pitched roof, flat roof;; other types may be permitted with approval	<u>Actual:</u> Ref. Elevations
Tower:	Permitted of facades only at terminal vistas, corners at two principal frontage streets, and/or adjacent to an open space type.	Ref. Elevations



WEST ELEVATION GENERAL NOTES:

FACADE REQUIREMENTS:

STREET FACADE: YES
PRINCIPLE ENTRANCE: YES

NUMBER OF ENTRANCES

FACADE LENGTH: 444'-0"
REQUIRED: 5 (4.44)
PROVIDED: 3

BLANK WALL LIMITATION

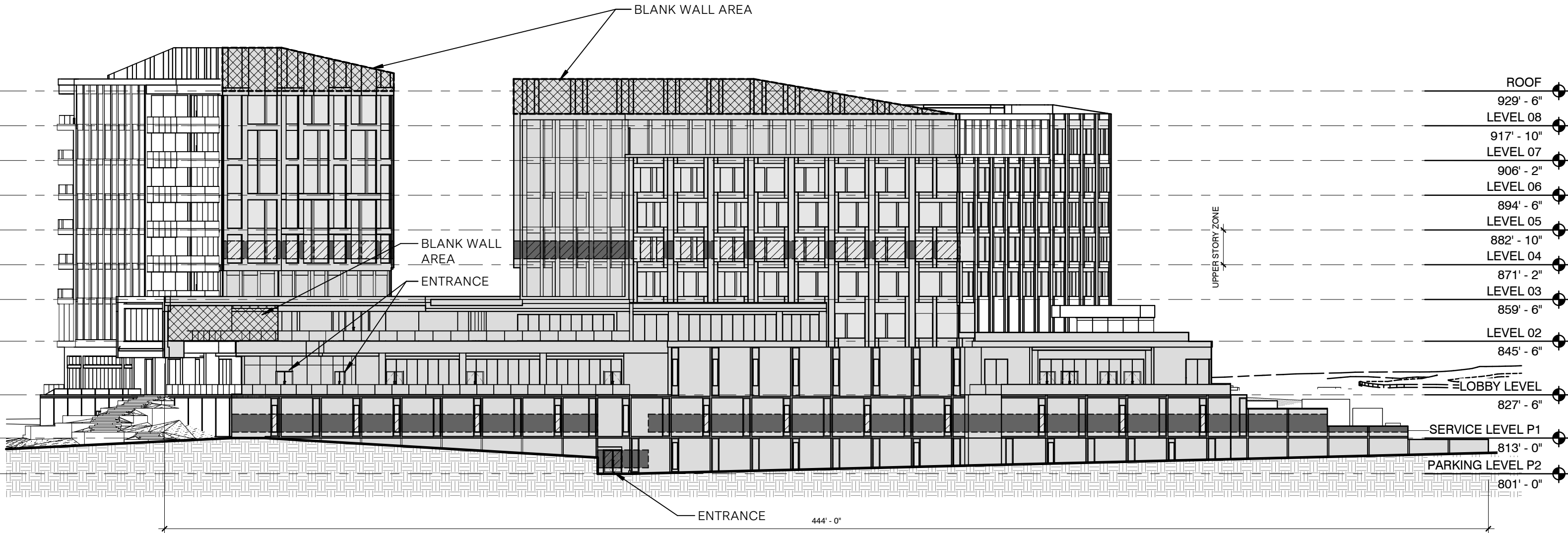
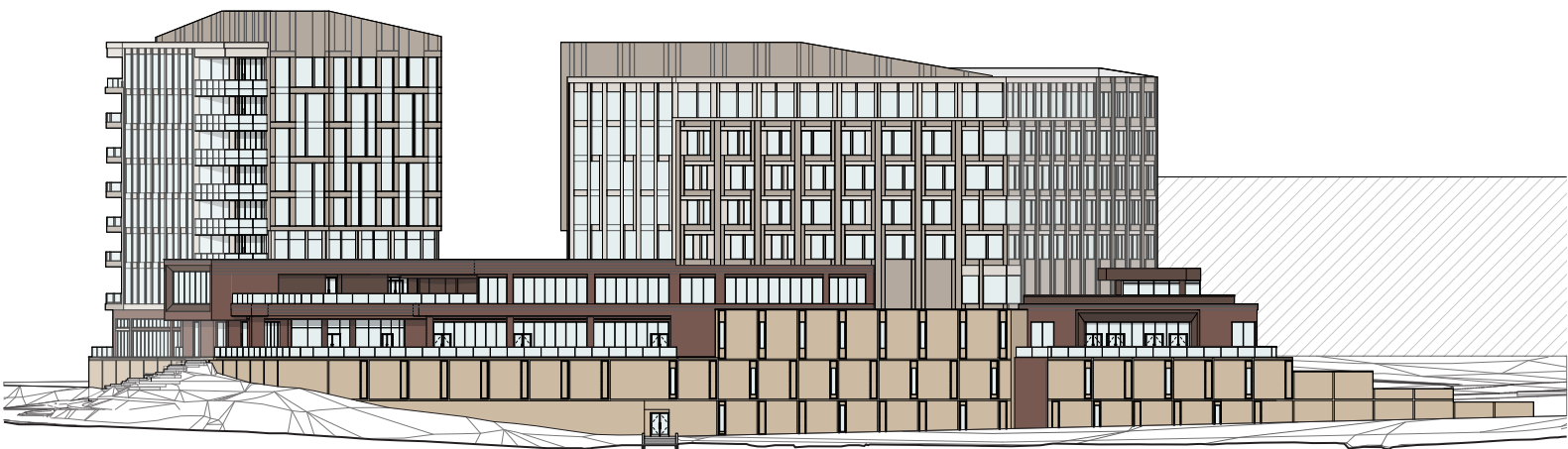
REQUIRED: YES (NONE GREATER THAN 15'-0")
PROVIDED: NO; OCCUPIES 2,439 SF (NO MORE
THAT 30% OF BUILDING FACADE;
GREATER THAN 15'-0")

GROUND LEVEL

HEIGHT: Varies, ref. levels
TOTAL AREA: 5,217 sqft
TRANSPARENCY:
ZONE AREA: 2,259 sqft
GLAZING AREA: 170 sqft
REQUIRED: 60% min
PROVIDED: 7.5%

UPPER LEVEL (4TH LEVEL)

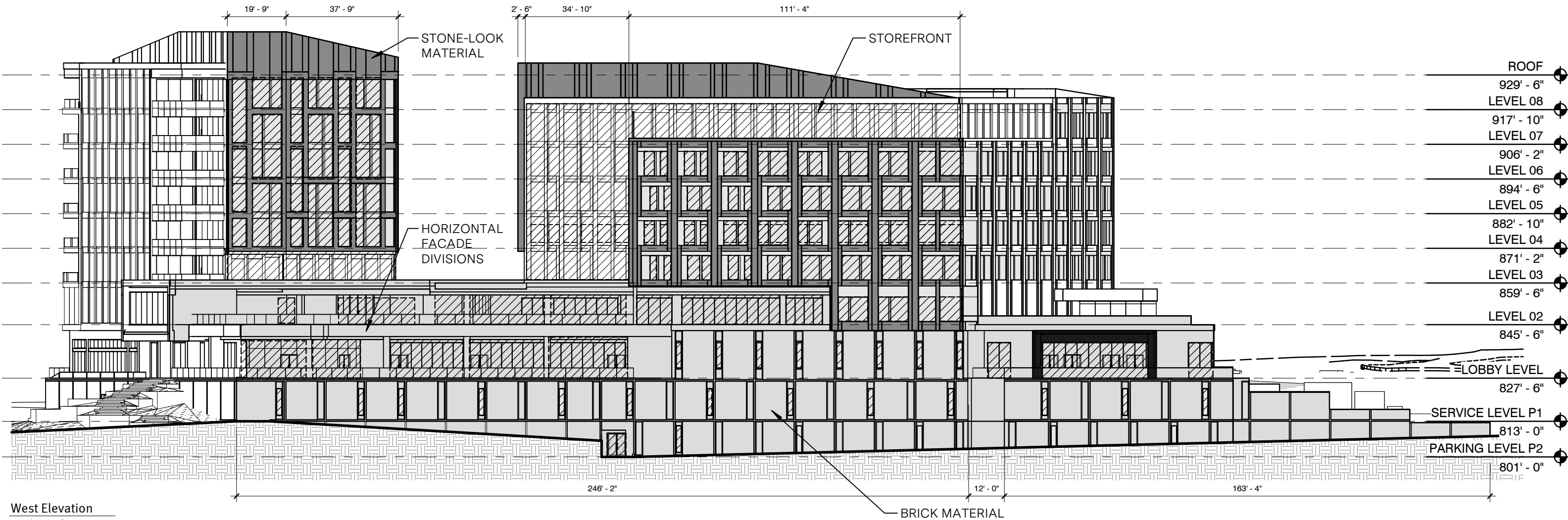
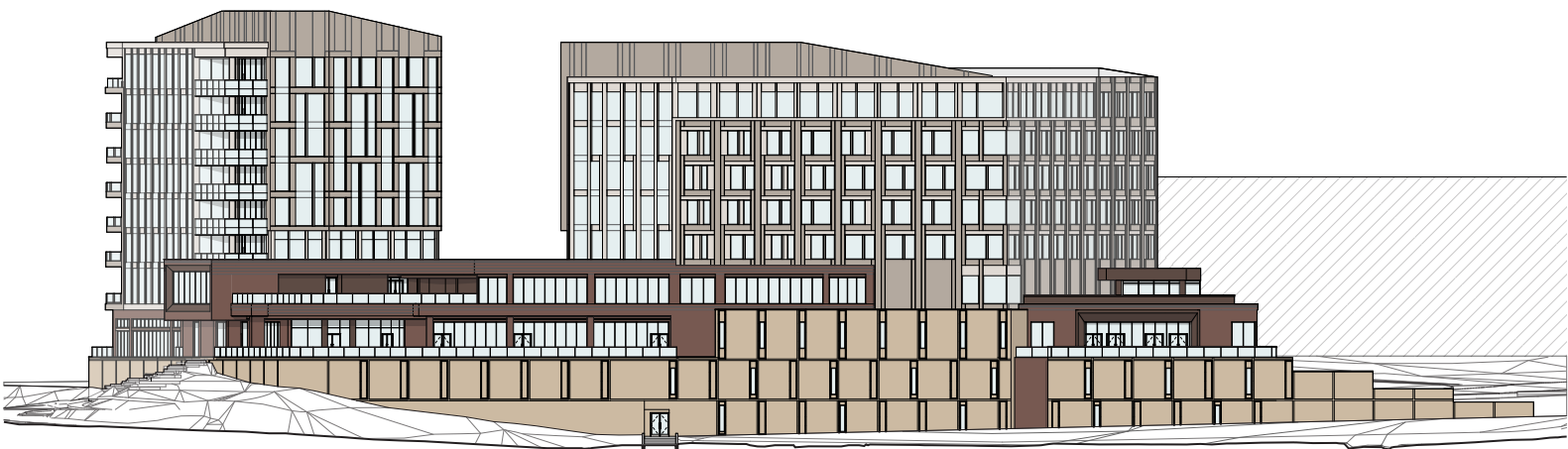
HEIGHT: 11'-8"
TOTAL AREA: 2,545 sqft
TRANSPARENCY:
ZONE AREA: 1,244 sqft
GLAZING AREA: 820 sqft
REQUIRED: 30% min
PROVIDED: 65%



West Elevation
scale: 1/32" = 1'-0"

WEST ELEVATION GENERAL NOTES:

TOTAL FACADE AREA:	33,394 SF	<u>VERTICAL FACADE DIVISIONS</u>
MATERIALS		REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS)
PRIMARY MATERIAL TYPES		PROVIDED: NO
BRICK:	13,541 SF	
GLAZING (WINDOWS AND DOORS):	12,531 SF	
SECONDARY MATERIAL TYPES:		<u>HORIZONTAL FACADE DIVISIONS</u>
STONE-LOOK PANEL:	7,083 SF	REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)
METAL PANEL:	239 SF	PROVIDED: YES
PRIMARY MATERIALS		
REQUIRED:	80%	
PROVIDED:	78.1% (26,072 / 33,394 = 0.781)	
SECONDARY:		
REQUIRED:	<20%	
PROVIDED:	21.9% (7,322 / 33,394 = 0.219)	



West Elevation
scale: 1/32" = 1'-0"

NORTH ELEVATION GENERAL NOTES:

FACADE REQUIREMENTS:

STREET FACADE: YES
PRINCIPLE ENTRANCE: YES

NUMBER OF ENTRANCES

FACADE LENGTH: 226'-11"
REQUIRED: 3
133'-9" / 100 = 1.34
130'-2" / 75 = 1.74
1.34 + 1.74 = 3.08
PROVIDED: 1

BLANK WALL LIMITATION

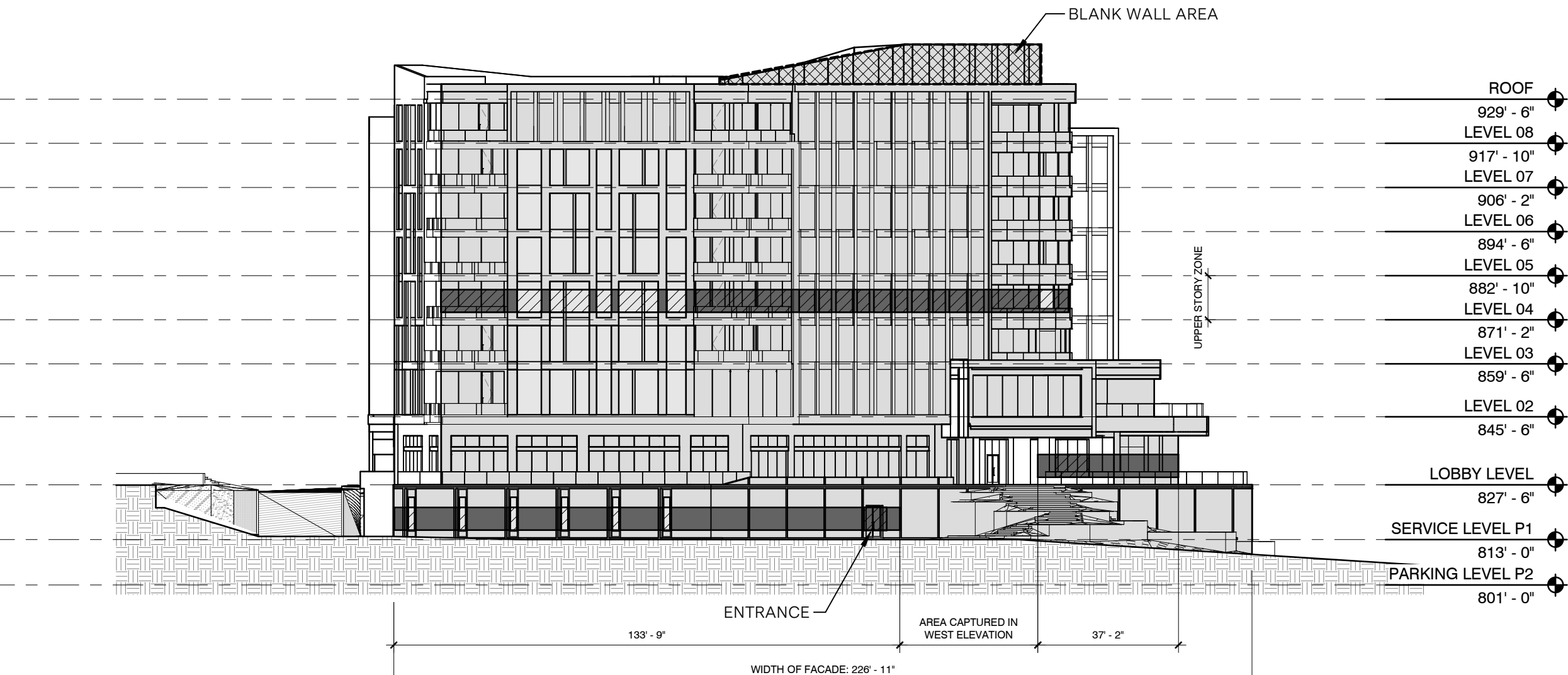
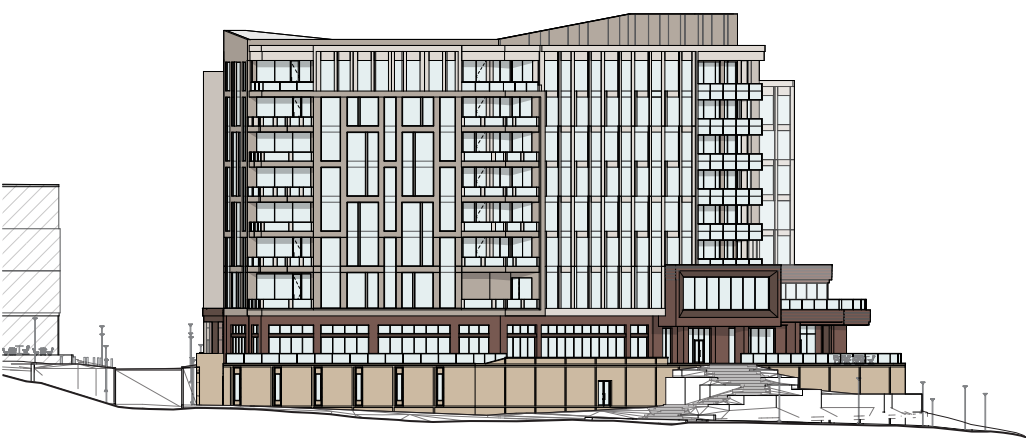
REQUIRED: YES (NONE GREATER THAN 15'-0")
PROVIDED: NO; OCCUPIES 674 SF (NO MORE THAT 30% OF BUILDING FACADE; GREATER THAN 15'-0")

GROUND LEVEL

HEIGHT: Varies, ref. levels
TOTAL AREA: 3,316 SF
TRANSPARENCY:
ZONE AREA: 1,025 SF
GLAZING AREA: 157 SF
REQUIRED: 60% MIN
PROVIDED: 15.3%

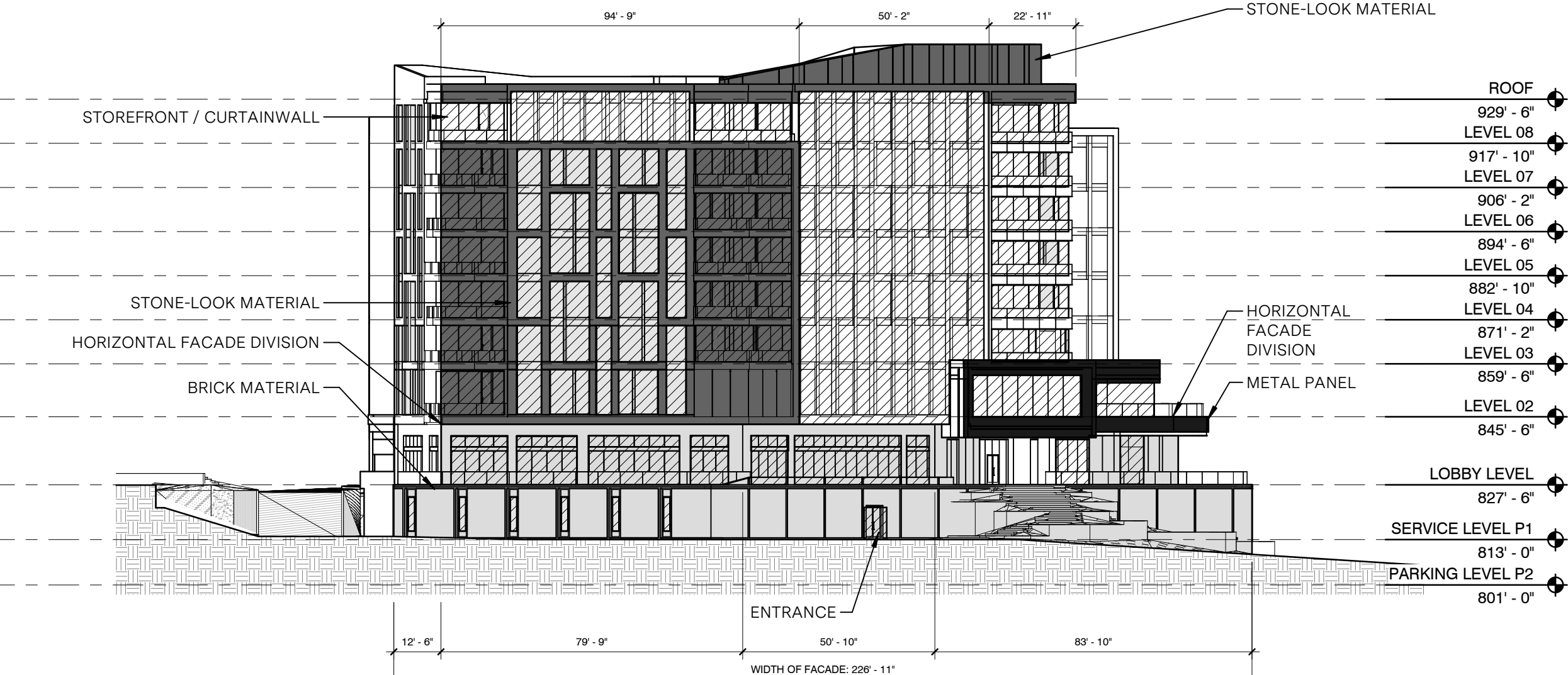
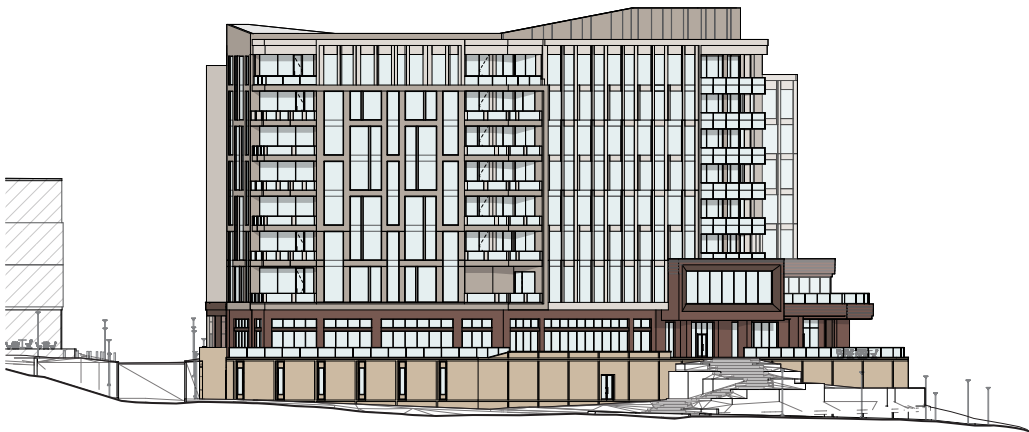
UPPER LEVEL (4TH LEVEL)

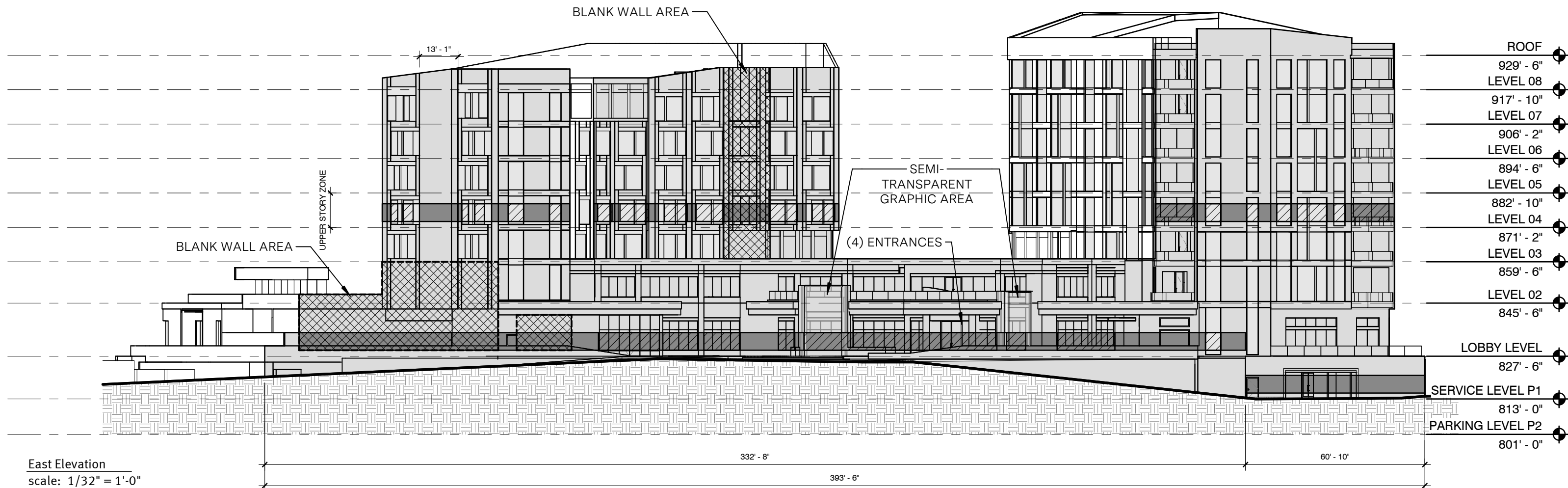
HEIGHT: 11'-8"
TOTAL AREA: 1982 SF
TRANSPARENCY:
ZONE AREA: 996 SF
GLAZING AREA: 824 SF
REQUIRED: 30% min
PROVIDED: 82.7%



NORTH ELEVATION GENERAL NOTES:

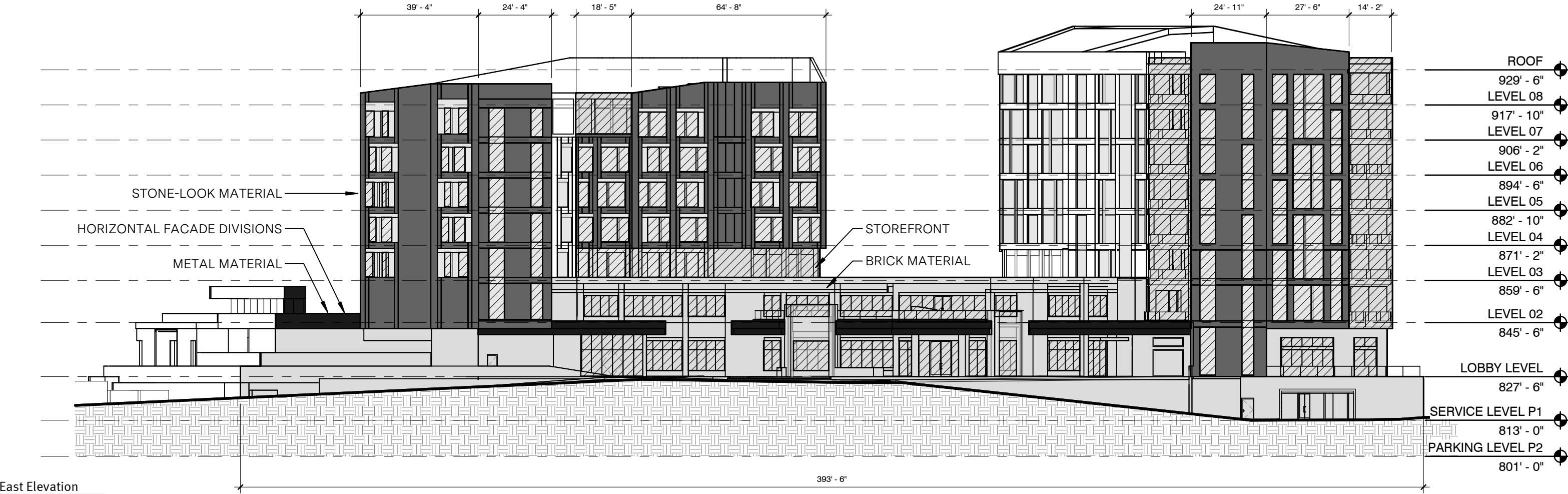
TOTAL FACADE AREA:	21,759 SF	VERTICAL FACADE DIVISIONS
MATERIALS		REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS)
PRIMARY MATERIAL TYPES		PROVIDED: NO
BRICK:	4,291 SF	
GLAZING (WINDOWS AND DOORS):	13,128 SF	
SECONDARY MATERIAL TYPES:		HORIZONTAL FACADE DIVISIONS
STONE-LOOK PANEL:	3,717 SF	REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)
METAL PANEL:	623 SF	PROVIDED: YES
PRIMARY MATERIALS		
REQUIRED:	80%	
PROVIDED:	80.1% (17,419 / 21,759 = 0.801)	
SECONDARY:		
REQUIRED:	<20%	
PROVIDED:	19.9% (4,340 / 21,759 = 0.199)	





EAST ELEVATION GENERAL NOTES:

TOTAL FACADE AREA:	29,869 SF	VERTICAL FACADE DIVISIONS
MATERIALS		REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS)
PRIMARY MATERIAL TYPES		PROVIDED: NO
BRICK:	7,971 SF	
GLAZING (WINDOWS AND DOORS):	11,046 SF	
SECONDARY MATERIAL TYPES:		HORIZONTAL FACADE DIVISIONS
STONE-LOOK PANEL:	9,947 SF	REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)
METAL PANEL:	970 SF	PROVIDED: YES
PRIMARY MATERIALS		
REQUIRED:	80%	
PROVIDED:	63.7% (19,017 / 29,869 = 0.637)	
SECONDARY:		
REQUIRED:	<20%	
PROVIDED:	36.5% (10,917 / 29,869 = 0.365)	



East Elevation
scale: 1/32" = 1'-0"

SOUTH ELEVATION GENERAL NOTES:

FACADE REQUIREMENTS:

STREET FACADE: NO
PRINCIPLE ENTRANCE: NO

NUMBER OF ENTRANCES

FACADE LENGTH: 131'-4"
REQUIRED: 2
131'-4" / 100 = 1.3
PROVIDED: 0

BLANK WALL LIMITATION

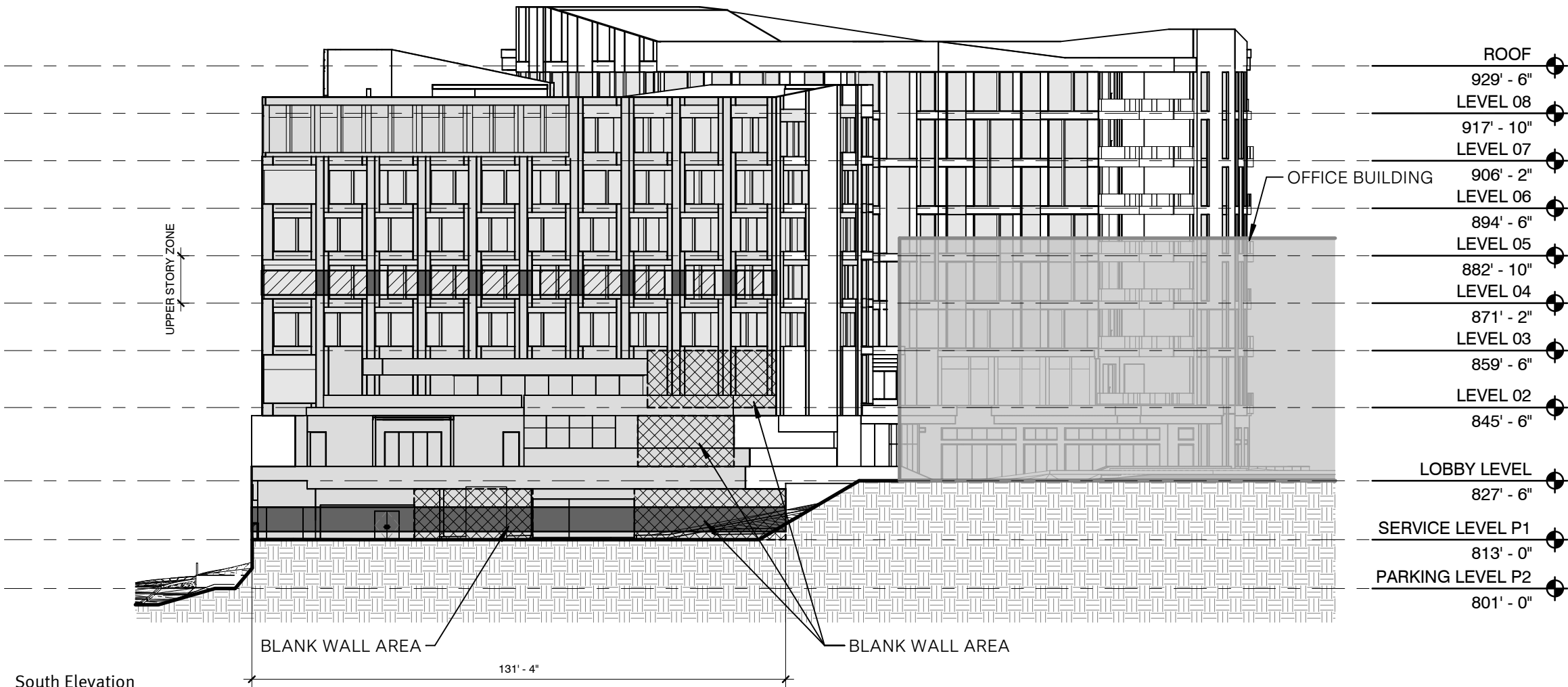
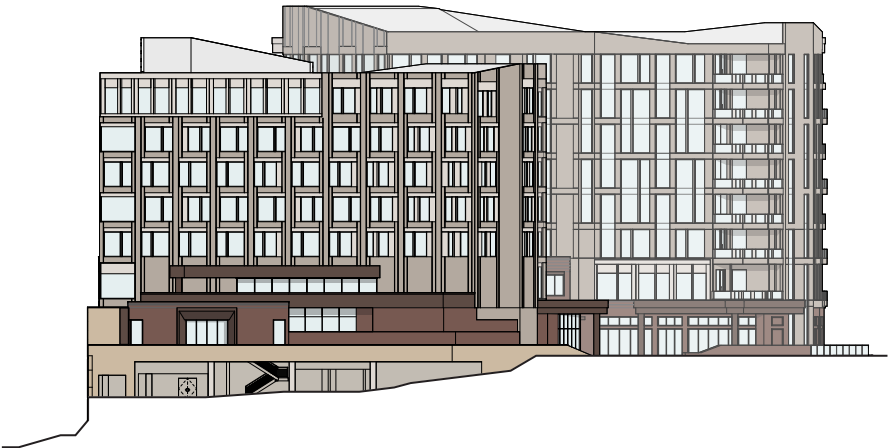
REQUIRED: YES (NONE GREATER THAN 15'-0")
PROVIDED: NO; OCCUPIES 1,569 SF (NO MORE
THAT 30% OF BUILDING
FACADE;
15'-0")

GROUND LEVEL

HEIGHT: Varies, ref. levels
TOTAL AREA: 1,917 SF
TRANSPARENCY:
ZONE AREA: 789 SF
GLAZING AREA: 0 SF
REQUIRED: 15% min
PROVIDED: 0%

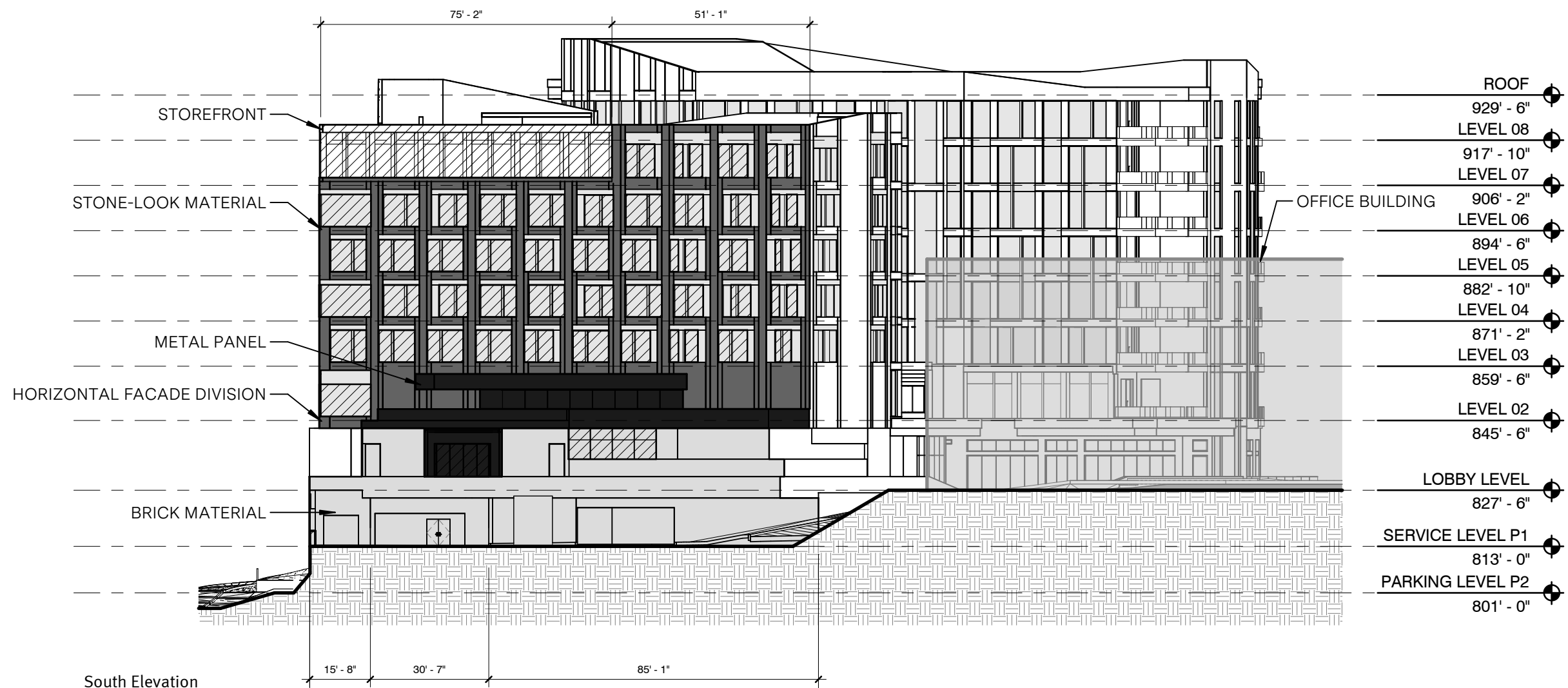
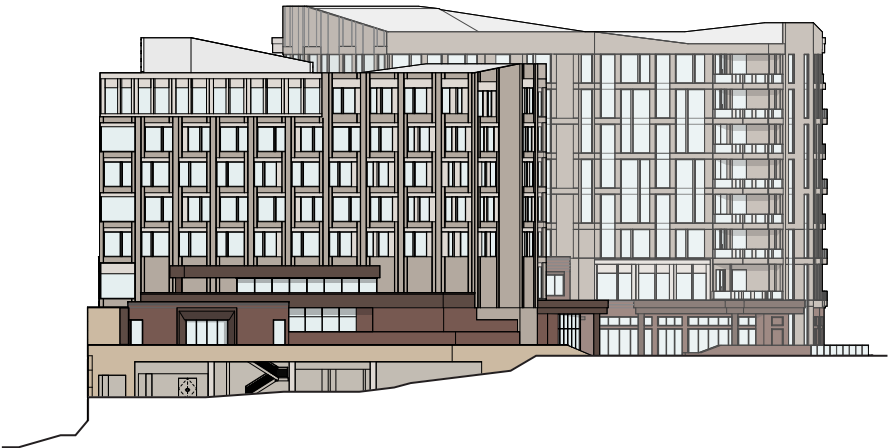
UPPER LEVEL (4TH LEVEL)

HEIGHT: 11'-8"
TOTAL AREA: 1,477 SF
TRANSPARENCY:
ZONE AREA: 760 SF
GLAZING AREA: 503 SF
REQUIRED: 30% min
PROVIDED: 66.2%



SOUTH ELEVATION GENERAL NOTES:

TOTAL FACADE AREA:	13,962 SF	<u>VERTICAL FACADE DIVISIONS</u>
MATERIALS		REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS)
PRIMARY MATERIAL TYPES		PROVIDED: NO
BRICK:	3,144 SF	
GLAZING (WINDOWS AND DOORS):	4,780 SF	
SECONDARY MATERIAL TYPES:		<u>HORIZONTAL FACADE DIVISIONS</u>
STONE-LOOK PANEL:	4,736 SF	REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)
METAL PANEL:	1,302 SF	PROVIDED: YES
PRIMARY MATERIALS		
REQUIRED:	80%	
PROVIDED:	57.8% (7,924 / 13,962 = 0.578)	
SECONDARY:		
REQUIRED:	<20%	
PROVIDED:	42.2% (6,038 / 13,962 = 0.422)	







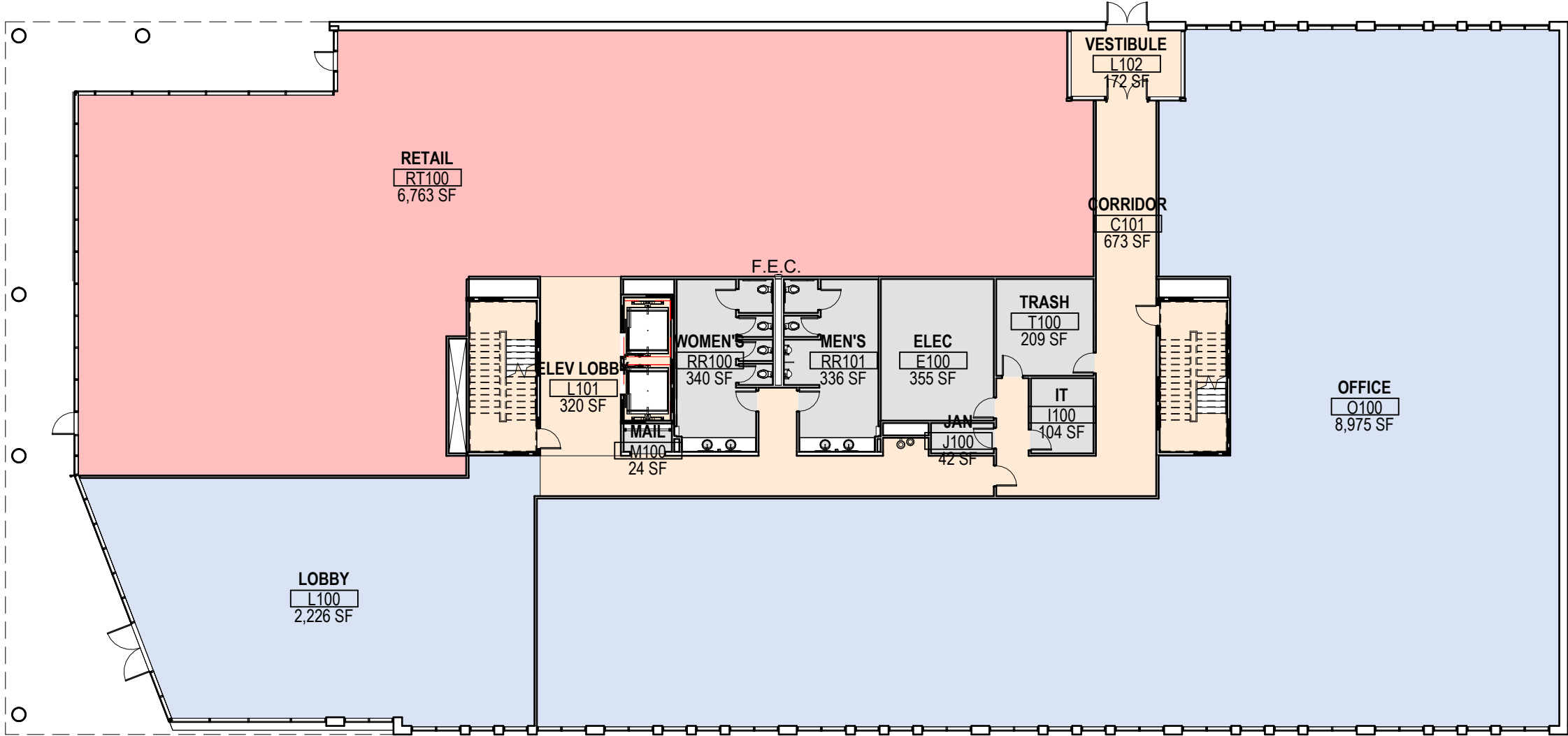


Y Block Development

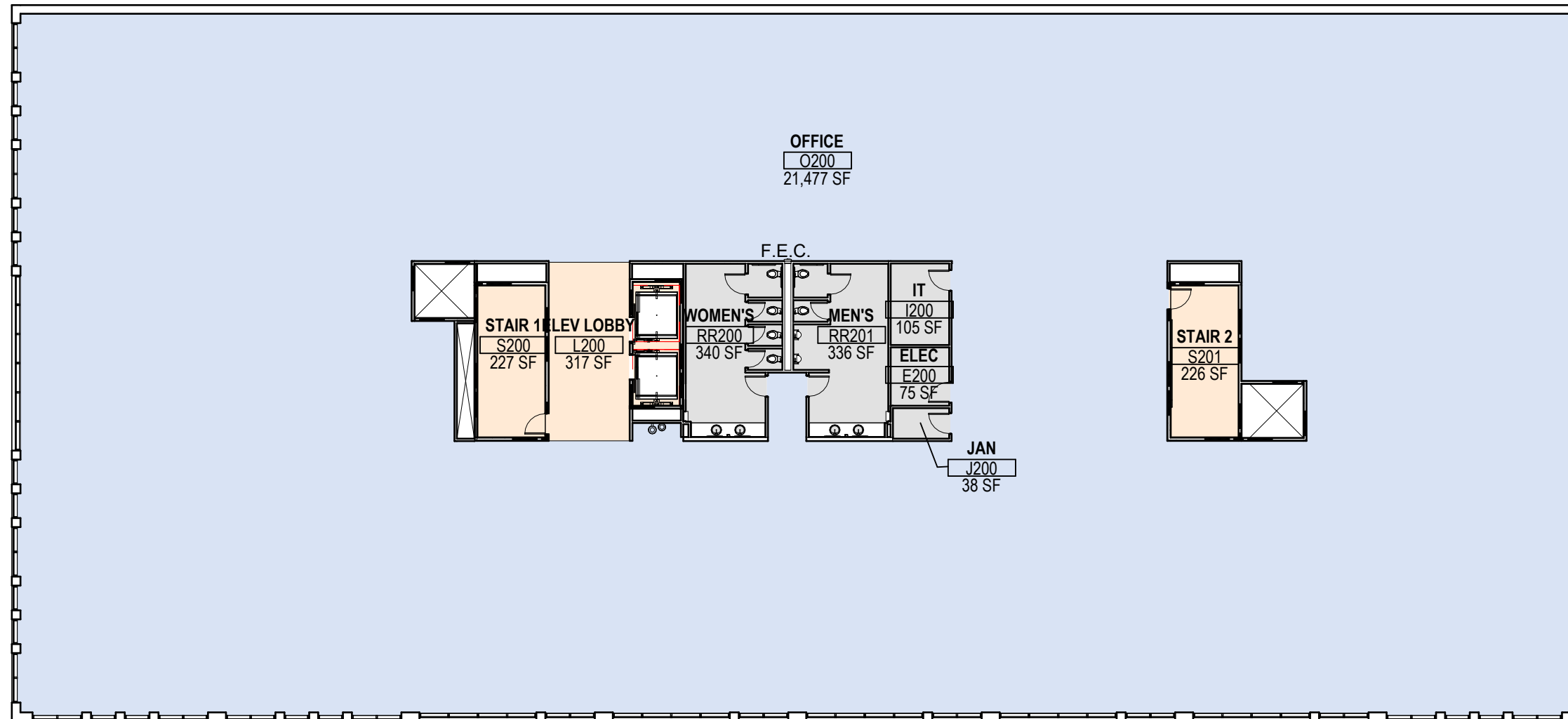
Architecture

Office Building

- CIRCULATION
- CORE PROGRAM
- OFFICE
- RETAIL/ TENANT

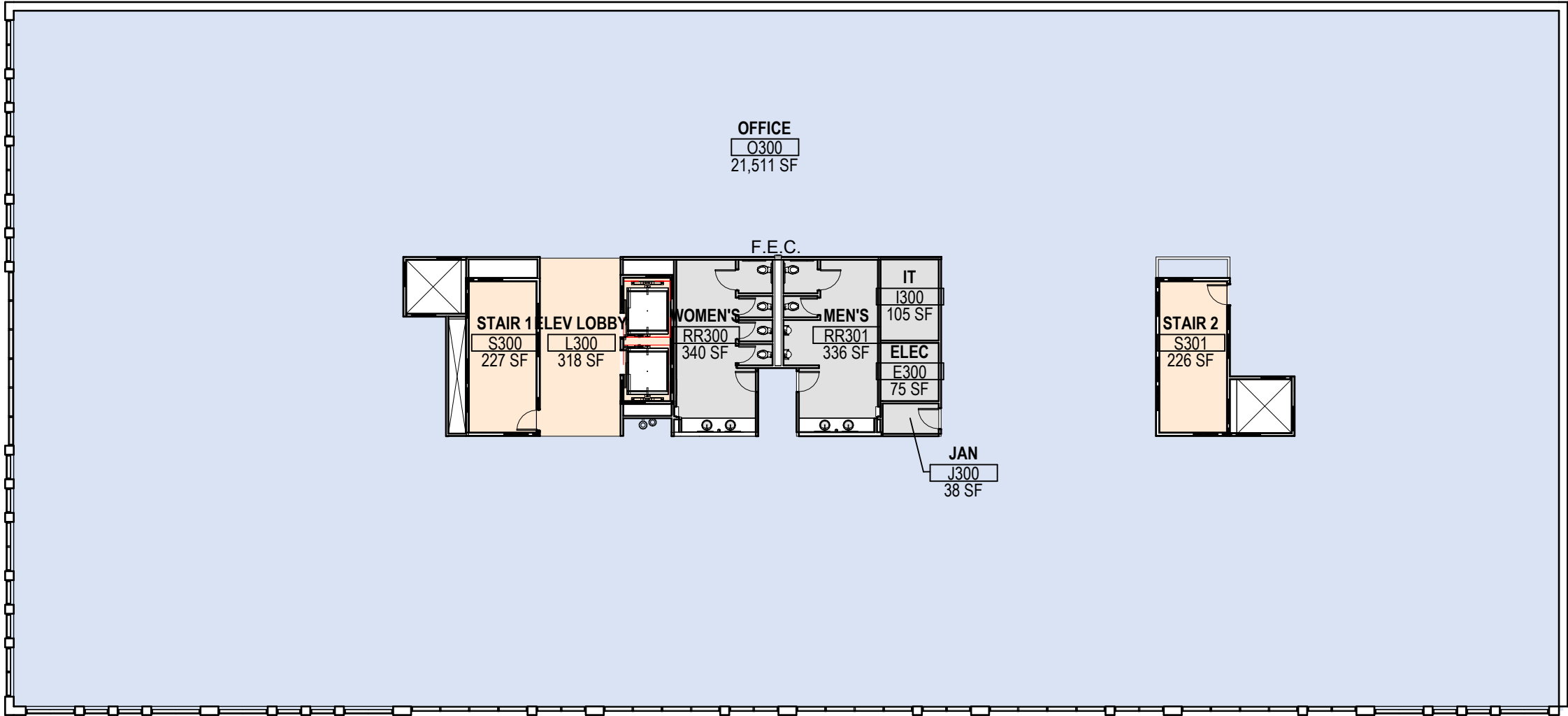


SCALE: 1" = 20'



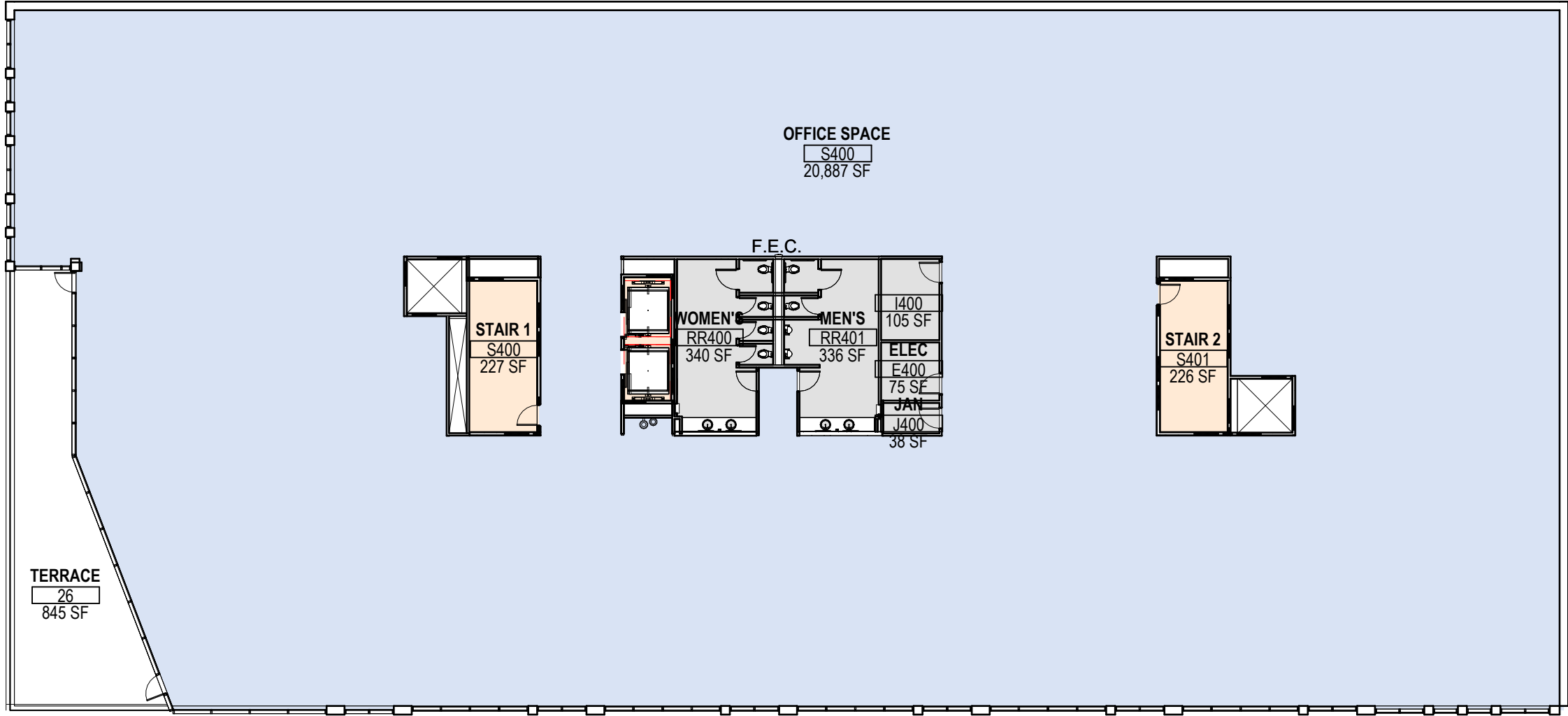
SCALE: 1" = 20'

- CIRCULATION
- CORE PROGRAM
- OFFICE



SCALE: 1" = 20'

- CIRCULATION
- CORE PROGRAM
- OFFICE



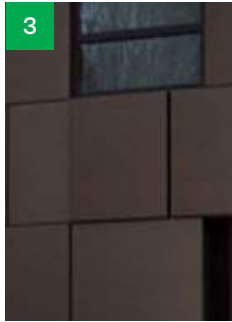
SCALE: 1" = 20'



1. BRICK
-BEIGE



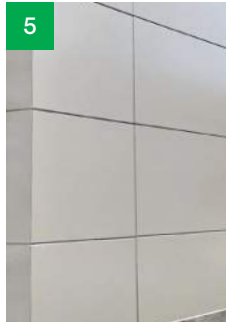
2. BRICK
-SIENNA



3. METAL PANEL
-BRONZE



4. STOREFRONT
-BRONZE



5. METAL PANEL
-WARM GRAY



SCALE: 1" = 20'

ACTUAL BUILDING DATA - WEST FACADE

MATERIAL TYPE:	
WEST FACADE TOTAL AREA	14,613 SF
PRIMARY GLAZING	5,351 SF
PRIMARY BRICK	4,677 SF
SECONDARY METAL	2,449 SF
SECONDARY METAL ROOF SCREEN WALL	0 SF
SECONDARY LOUVERS/SLAZING/METAL	0 SF
(TBD PER TENANT REQ. -UPPER PORTION OF GROUND FLOOR STOREFRONTS)	
PRIMARY MATERIAL TOTAL:	
REQUIRED: 80%	5,351 SF
PROVIDED: 36% (5,351 / 14,613 = .366)	
SECONDARY MATERIAL TOTAL:	
REQUIRED: <20%	4,677 SF
PROVIDED: 32% (4,677 / 14,613 = .32)	
FACADE REQUIREMENTS:	
STREET FACADE:	YES
PRINCIPAL ENTRANCE:	YES
NUMBER OF ENTRANCES:	
REQUIRED:	1 PER 75'-0" OF FACADE
TOTAL FACADE LENGTH:	105'-0"
REQUIRED:	105'-0" / 75' = 2 (1.41 ROUNDED UP)
PROVIDED:	1 BASE + 3 ANTICIPATED FUTURE TENANT ENTRANCES
GROUND STORY:	
HEIGHT (VARIES):	16'-0" (NORTH)
GROUND STORY TOTAL AREA:	3556 SF
GROUND STORY TRANSPARENCY:	
GROUND STORY TRANSPARENCY ZONE:	1782 SF
(2'-0" TO 8'-0" ABOVE GRADE)	
GROUND STORY GLAZING AREA:	1419 SF
(2'-0" TO 8'-0" ABOVE GRADE)	
TRANSPARENCY REQUIRED:	60%
TRANSPARENCY PROVIDED:	79.6%
UPPER STORY:	
HEIGHT:	14'-0"
UPPER STORY TOTAL AREA:	3246 SF (EA. FLOOR 02-04)
UPPER STORY TRANSPARENCY:	
UPPER STORY TRANSPARENCY ZONE:	3,246 SF (FLOOR TO FLOOR 02-04)
UPPER STORY GLAZING AREA:	2724 SF (FLOOR TO FLOOR 02-04)
TRANSPARENCY REQUIRED:	30%
TRANSPARENCY PROVIDED:	84%
BLANK WALL LIMITATIONS:	
REQUIRED:	YES
PROVIDED:	YES
VERTICAL FACADE DIVISIONS:	
REQUIRED:	YES NO GREATER THAN 45'-0" INCREMENTS
PROVIDED:	YES (GREATER THAN 45'-0")
HORIZONTAL FACADE DIVISIONS:	
REQUIRED:	YES WITHIN 3'-0" TO TOP OF GROUND STORY
PROVIDED:	YES, BRICK TYPE CHANGE AT 2'-8" BELOW LEVEL 02



Moody Nolan



CRAWFORD HOYING

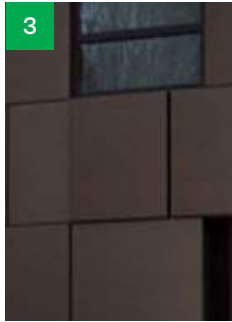
CAMERON MITCHELL
▪ RESTAURANTS ▪



1. BRICK
-BEIGE



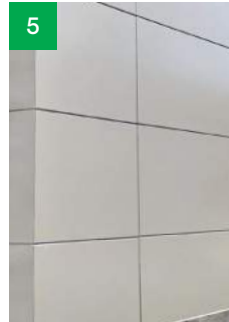
2. BRICK
-SIENNA



3. METAL PANEL
-BRONZE



4. STOREFRONT
-BRONZE



5. METAL PANEL
-WARM GRAY



ACTUAL BUILDING DATA - EAST FACADE

MATERIAL TYPE:		
EAST FACADE TOTAL AREA		13,671 SF
PRIMARY	GLAZING	5,390 SF
PRIMARY	BRICK	5,882 SF
SECONDARY	METAL	1,344 SF
SECONDARY	METAL ROOF SCREEN WALL	0 SF
SECONDARY	LOUVERS/CLAZING/METAL	0 SF
(180 PER TENANT REQ -UPPER PORTION OF GROUND FLOOR STOREFRONTS)		
PRIMARY MATERIAL TOTAL:		5,390 SF
REQUIRED: 80%		
PROVIDED: 39% (5,390 / 13,671 = .394)		
SECONDARY MATERIAL TOTAL:		5,882 SF
REQUIRED: <20%		
PROVIDED: 43% (5,248 / 15,367 = .430)		
FACADE REQUIREMENTS:		
STREET FACADE:		YES
PRINCIPAL ENTRANCE:		YES
NUMBER OF ENTRANCES:		
REQUIRED:		1 PER 16'-0" OF FACADE
TOTAL FACADE LENGTH:		105'-5"
REQUIRED:		105'-5" / 75 = 2 (1.41 ROUNDED UP)
PROVIDED:		1 BASE + 3 ANTICIPATED FUTURE TENANT ENTRANCES
GROUND STORY:		
HEIGHT (VARIES):		16'-0" (SOUTH)
GROUND STORY TOTAL AREA:		3556 SF
GROUND STORY TRANSPARENCY:		
GROUND STORY TRANSPARENCY ZONE:		1782 SF
(2'-0" TO 8'-0" ABOVE GRADE)		
GROUND STORY GLAZING AREA:		1419 SF
(2'-0" TO 8'-0" ABOVE GRADE)		
TRANSPARENCY REQUIRED:		60%
TRANSPARENCY PROVIDED:		79.6%
UPPER STORY:		
HEIGHT:		14'-0"
UPPER STORY TOTAL AREA:		3,246 SF (EA. FLOOR 02-04)
UPPER STORY TRANSPARENCY:		
UPPER STORY TRANSPARENCY ZONE:		3,246 SF (FLOOR TO FLOOR 02-04)
UPPER STORY GLAZING AREA:		2724 SF (FLOOR TO FLOOR 02-04)
TRANSPARENCY REQUIRED:		30%
TRANSPARENCY PROVIDED:		84%
BLANK WALL LIMITATIONS:		
REQUIRED:		YES
PROVIDED:		YES
VERTICAL FACADE DIVISIONS:		
REQUIRED:		YES (NO GREATER THAN 45'-0" INCREMENTS)
PROVIDED:		YES (GREATER THAN 45'-0")
HORIZONTAL FACADE DIVISIONS:		
REQUIRED:		YES (WITHIN 3'-0" TO TOP OF GROUND STORY)
PROVIDED:		YES, BRICK TYPE CHANGE AT 2'-8" BELOW LEVEL 02

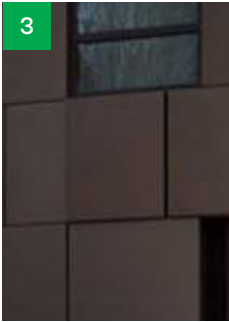
SCALE: 1" = 20'



1. BRICK
-BEIGE



2. BRICK
-SIENNA



3. METAL PANEL
-BRONZE



4. STOREFRONT
-BRONZE



5. METAL PANEL
-WARM GRAY



ACTUAL BUILDING DATA - NORTH FACADE

MATERIAL TYPE:		
NORTH FACADE TOTAL AREA		6,122 SF
PRIMARY	GLAZING	2,944 SF
PRIMARY	BRICK	2,174 SF
SECONDARY	METAL	534 SF
SECONDARY	METAL ROOF SCREEN WALL	0 SF
SECONDARY	LOUVERS/GLAZING/METAL	0 SF
(TBD PER TENANT REQ. -UPPER PORTION OF GROUND FLOOR STOREFRONTS)		
PRIMARY MATERIAL TOTAL:		2,944 SF
REQUIRED:		80%
PROVIDED:		48% (2,944 / 6,122 = 48%)
SECONDARY MATERIAL TOTAL:		2,174 SF
REQUIRED:		<20%
PROVIDED:		35% (2,174 / 6,122 = 35%)
FACADE REQUIREMENTS:		
STREET FACADE:		YES
PRINCIPAL ENTRANCE:		YES
NUMBER OF ENTRANCES:		
REQUIRED:		1 PER 75'-0" OF FACADE
TOTAL FACADE LENGTH:		105'-5"
REQUIRED:		105'-5" / 75' = 2 (1.41 ROUNDED UP)
PROVIDED:		1 BASE + 3 ANTICIPATED FUTURE TENANT ENTRANCES
GROUND STORY:		
HEIGHT (VARIES):		16'-0"
GROUND STORY TOTAL AREA:		1,536 SF
GROUND STORY TRANSPARENCY:		
GROUND STORY TRANSPARENCY ZONE:		849 SF
(2'-0" TO 8'-0" ABOVE GRADE)		
GROUND STORY GLAZING AREA:		778 SF
(2'-0" TO 8'-0" ABOVE GRADE)		
TRANSPARENCY REQUIRED:		60%
TRANSPARENCY PROVIDED:		91.6%
UPPER STORY:		
HEIGHT:		14'-0"
UPPER STORY TOTAL AREA:		1484 SF (FLOOR TO FLOOR 02-04)
UPPER STORY TRANSPARENCY:		
UPPER STORY TRANSPARENCY ZONE:		1484 SF (FLOOR TO FLOOR 02-04)
UPPER STORY GLAZING AREA:		755 SF (FLOOR TO FLOOR 02-04)
TRANSPARENCY REQUIRED:		30%
TRANSPARENCY PROVIDED:		50.8%
BLANK WALL LIMITATIONS:		
REQUIRED:		YES
PROVIDED:		YES

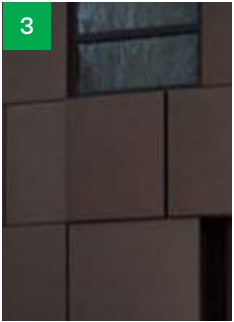
SCALE: 1" = 20'



1. BRICK
-BEIGE



2. BRICK
-SIENNA



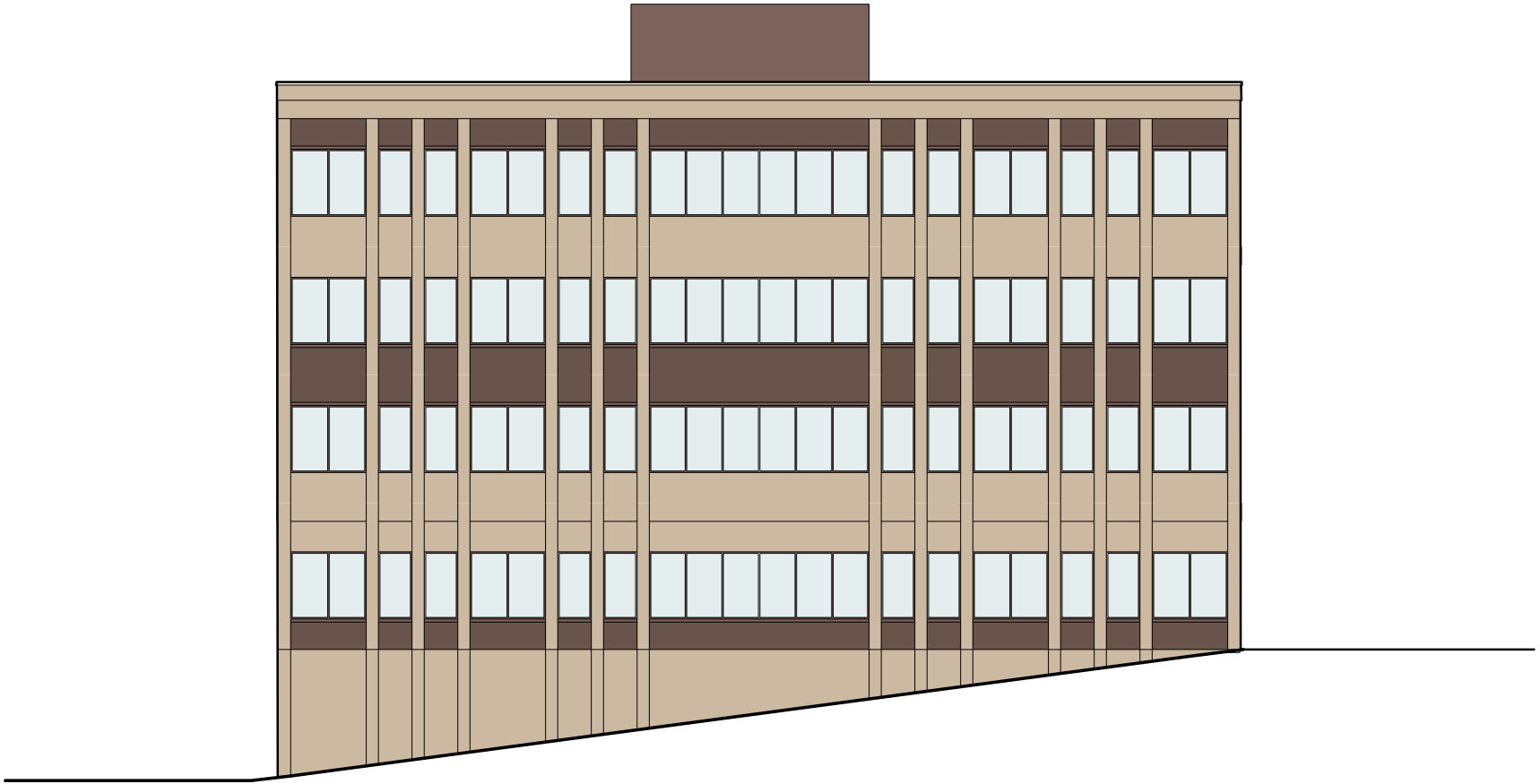
3. METAL PANEL
-BRONZE



4. STOREFRONT
-BRONZE



5. METAL PANEL
-WARM GRAY



ACTUAL BUILDING DATA - SOUTH FACADE

MATERIAL TYPE:		
SOUTH FACADE TOTAL AREA		7,245 SF
PRIMARY	GLAZING	2,532 SF
PRIMARY	BRICK	4,713 SF
SECONDARY	METAL	0 SF
SECONDARY	METAL ROOF SCREEN WALL	0 SF
SECONDARY	LOUVERS/SLAZING/METAL	0 SF
-UPPER PORTION OF GROUND FLOOR STOREFRONTS)		
PRIMARY MATERIAL TOTAL:		2,532 SF
REQUIRED:	80%	
PROVIDED:	34% (2,532 / 7,245 = .349)	
SECONDARY MATERIAL TOTAL:		5,248 SF
REQUIRED:	<20%	
PROVIDED:	34% (5,248 / 15,367 = .342)	
FACADE REQUIREMENTS:		
STREET FACADE:		YES
PRINCIPAL ENTRANCE:		YES
NUMBER OF ENTRANCES:		
REQUIRED:	1 PER 75'-0" OF FACADE	
TOTAL FACADE LENGTH:	105'-5"	
REQUIRED:	105'-5" / 75' = 2 (1.41 ROUNDED UP)	
PROVIDED:	1 BASE + 3 ANTICIPATED FUTURE TENANT ENTRANCES	
GROUND STORY:		
HEIGHT:	16'-0"	
GROUND STORY TOTAL AREA:		1536 SF
GROUND STORY TRANSPARENCY:		
GROUND STORY TRANSPARENCY ZONE:		849 SF
(2'-0" TO 8'-0" ABOVE GRADE)		
GROUND STORY GLAZING AREA:		778 SF
(2'-0" TO 8'-0" ABOVE GRADE)		
TRANSPARENCY REQUIRED:		60%
TRANSPARENCY PROVIDED:		91.6%
UPPER STORY:		
HEIGHT:	14'-0"	
UPPER STORY TOTAL AREA:		1484 SF (FLOOR TO FLOOR 02-04)
UPPER STORY TRANSPARENCY:		
UPPER STORY TRANSPARENCY ZONE:		1484 SF (FLOOR TO FLOOR 02-04)
UPPER STORY GLAZING AREA:		755 SF (FLOOR TO FLOOR 02-04)
TRANSPARENCY REQUIRED:		30%
TRANSPARENCY PROVIDED:		50.8%
BLANK WALL LIMITATIONS:		
REQUIRED:		YES
PROVIDED:		YES
VERTICAL FACADE DIVISIONS:		
REQUIRED:		YES (NO GREATER THAN 45'-0" INCREMENTS)
PROVIDED:		YES (GREATER THAN 45'-0")
HORIZONTAL FACADE DIVISIONS:		
REQUIRED:		YES (WITHIN 3'-0" TO TOP OF GROUND STORY)
PROVIDED:		YES, BRICK TYPE CHANGE AT 2'-8" BELOW LEVEL 02

SCALE: 1" = 20'



Moody Nolan



CRAWFORD HOYING

CAMERON MITCHELL

RESTAURANTS



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▪ RESTAURANTS ▪

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