

# Y Block Development

Dublin, Ohio

## Preliminary Development Plan



**Owner Representative**  
Russell Hunter  
Executive VP of Development

Crawford Hoying  
Development Partners  
6640 Riverside Drive, Suite 500  
Dublin, Ohio 43017  
t. 614.335.2020  
e. rhunter@crawfordhoying.com

**Project Representative**  
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Principal Architect

Meyers+Associates  
232 N. Third St., Suite 300  
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e. cmeyers@meyersarchitects.com

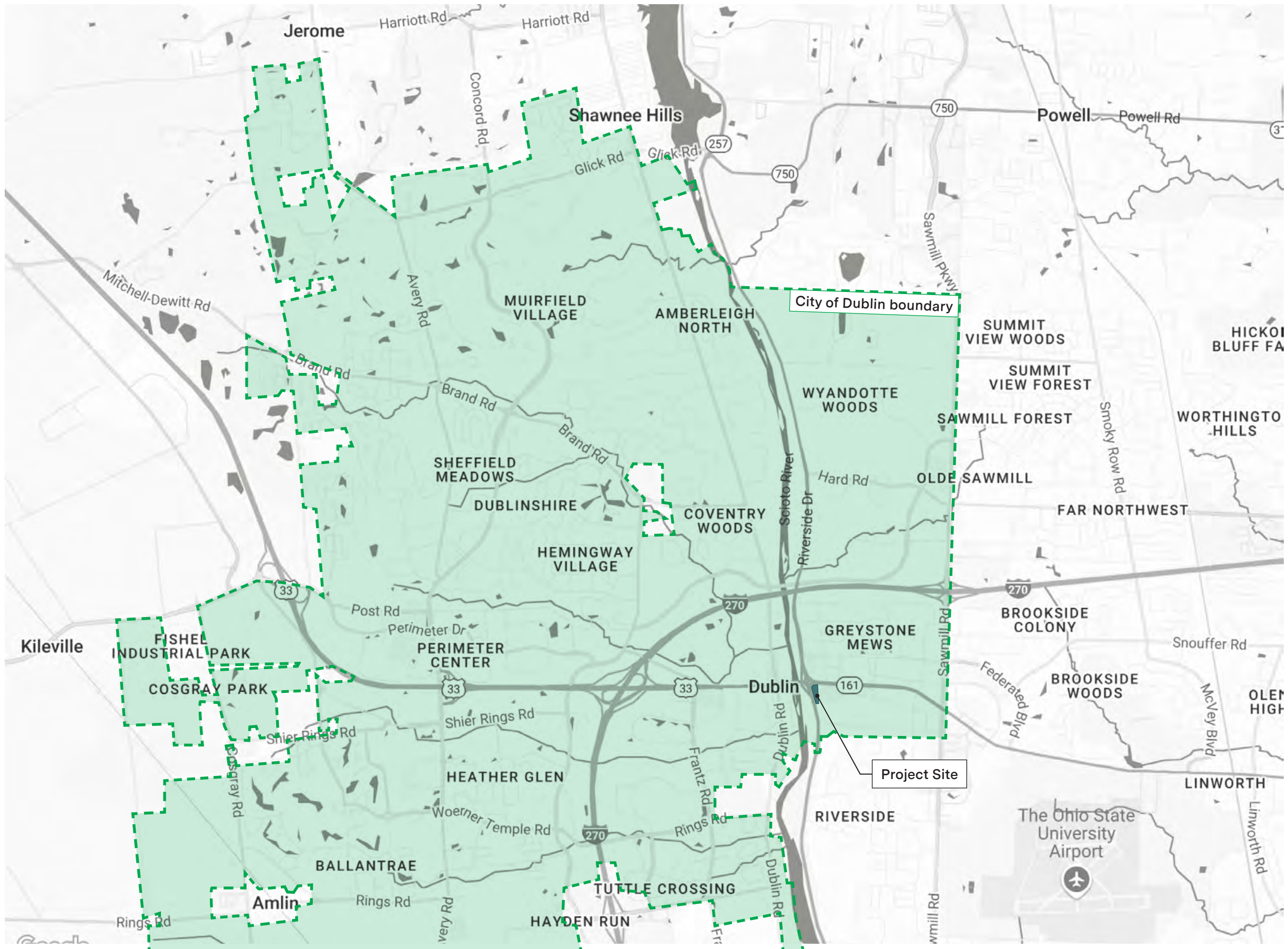
# CONTENTS

03	Vicinity & Context
06	Civil Engineering
18	Site Design & Landscape Architecture
27	Architecture - Mixed-Use Building
84	Architecture - Office Building



Y Block Development

# Vicinity and Context







## Bridge Street District Plan - Shoppes at River Ridge

Redevelopment of the site is expected, with an extension of Bridge Park at the southeast corner of West Dublin-Granville Road and Riverside Drive. Similar to the AC Hotel, this development should **frame the roundabout** and create a **distinctive character as a landmark** of the district. The desired character is for buildings ranging between **three to eight stories at the intersection with contemporary architecture**. The remainder of the site should **begin a transition** from the intensity of the district to the existing small-scale office and residential to the south. The desired character is for buildings ranging from **two to five stories**, with smaller buildings along the southern boundary. Additional street connections should be accommodated for Dale Drive and Stoneridge Lane.

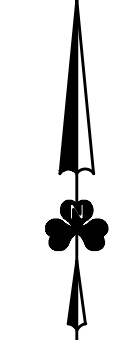
*- Envision Dublin Community Plan, 2024*

Y Block Development

# Civil Engineering

**PRELIMINARY**  
.....  
**NOT TO BE USED FOR  
CONSTRUCTION**

**PLAN SET DATE**  
**October 15, 2025**



SHEET INDEX		
SHEET NUMBER	SHEET NAME	
1	C001	Title Sheet
2	C002	Existing Conditions Plan
3	C003	Site Plan
4	C004	Utility Plan
5	C005	Grading Plan
6	C006	Open Space & Parking Plan
7	C007	Overall Site Plan
8	C008	Fire Truck Turning Analysis
9	C009	Fire Truck Turning Analysis
10	C010	Tree Survey Plan
11	C011	Tree Survey

DALE DR

EXISTING WENDY'S RESTAURANT

PROPOSED PRIVATE DRIVE

OFFICE BLDG

PRIVATE DRIVE

HOTEL/CONDO BLDG

RIVERSIDE DRIVE

EXISTING SHOPS AT RIVER RIDGE

Site Boundary

BM#31

BM#29

SOURCE BM FRANK 73

Moody Nolan  
300 Spruce St, Suite 300  
Columbus, OH 43215  
Tel: (614)-461-4664  
Arienne Overking

The project includes the development of a 4.98 acre site located South of W Granville Rd, East of Riverside Dr, West of Dale Dr, and includes an Office Building, Condominium, Event Center, Hotel, and Parking Garage. The project will include a new right-in right-out access from W Granville Rd.





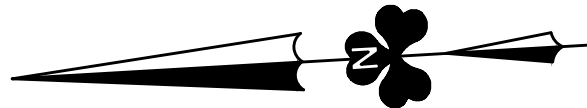
PRELIMINARY  
NOT TO BE USED FOR  
CONSTRUCTION

PLAN SET DATE  
October 15, 2025

LEGEND

- 851 850 Contours  
x Ex8XX.XX Spot Elevation  
Center Line Ditch  
WM Water Main  
WS Water Service  
DWS Domestic Water Service  
FWS Fire Water Service  
SAN Sanitary Sewer Main  
SAS Sanitary Sewer Service  
STM Storm Sewer  
E Underground Electric Service  
EDB Electric Duct Bank  
OHE Overhead Electric  
UGL Underground Street Lighting  
CATV Communications/Cable TV  
CDB Communications Duct Bank  
GM Natural Gas Main  
GS Natural Gas Service  
TBR To Be Removed  
TBRL To Be Relocated  
Asphalt To Be Removed  
Asphalt To Be Milled  
Concrete To Be Removed  
Brick To Be Removed  
Stone To Be Removed  
Curb To Be Removed  
Curb To Be Cut  
X X X X X X X X Utility Removal  
Utility To Be Abandoned  
Trees To Be Removed  
Limit of Disturbance

GRAPHIC SCALE  
0 15 30 60  
1 inch = 30 feet



REVISION RECORD

REVISION DESCRIPTION

NO. DATE

**EMH**  
ENGINEERING & ARCHITECTURE  
5800 New Albany Road, Columbus, OH 43254  
Phone: 614.775.5500  
Fax: 614.775.5501  
emh.com

PRELIMINARY DEVELOPMENT PLAN  
**BRIDGE PARK - Y BLOCK**  
4305-4335 W DUBLIN GRANVILLE ROAD  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

EXISTING CONDITIONS  
PLAN

October 15, 2025

CITY OF DUBLIN  
PROJECT NUMBER  
**25-005-COM**

DRAWING NUMBER

**C002**

SHEET NUMBER

**2 OF 11**

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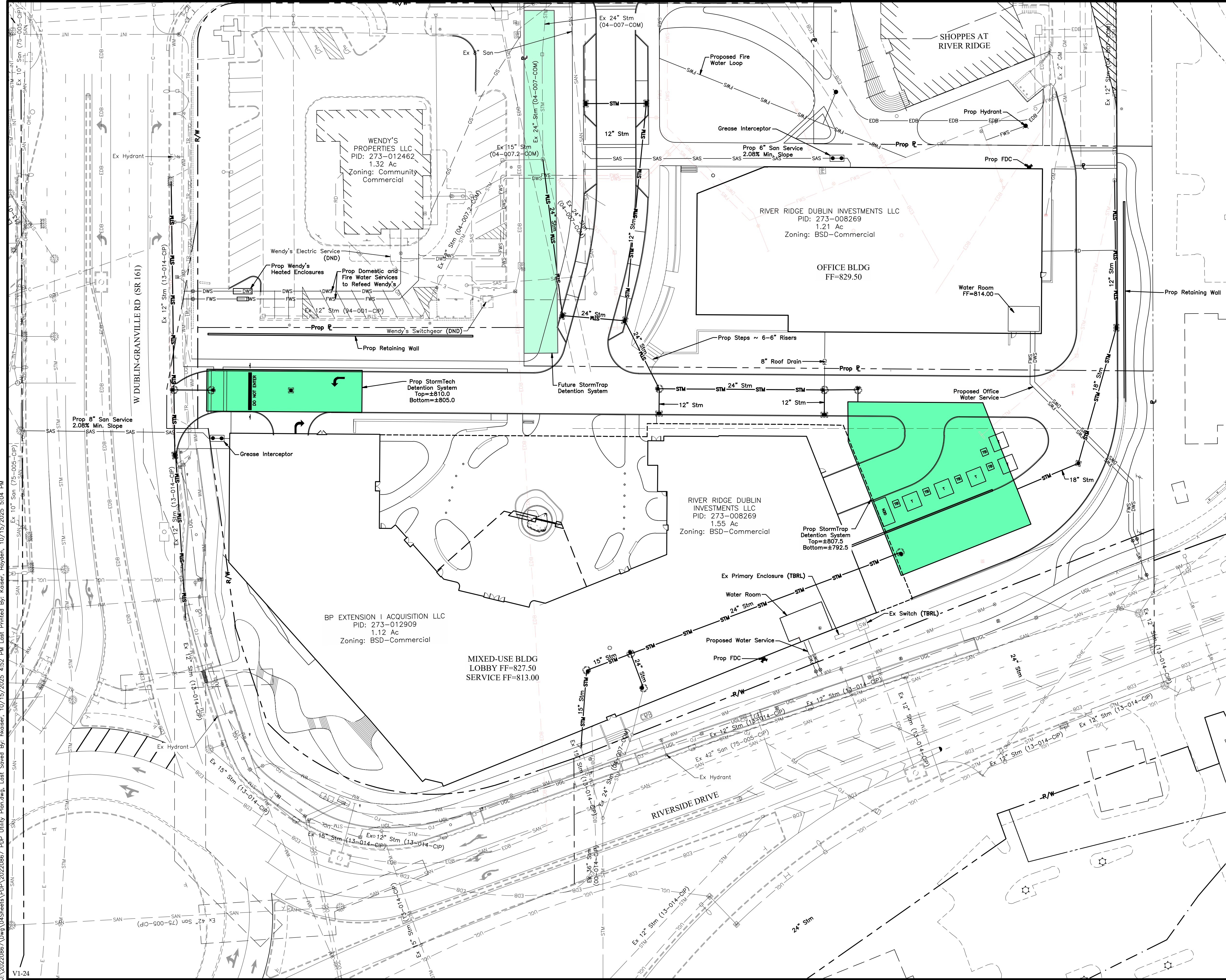
VI-24







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**PRELIMINARY**  
NOT TO BE USED FOR  
CONSTRUCTION

**PLAN SET DATE**  
October 15, 2025

**GRAPHIC SCALE**  
0 15 30 60  
1 inch = 30 feet

**PROPOSED**

WM	Water Main
WS	Water Service
DWS	Domestic Water Service
FWS	Fire Water Service
SAN	Sanitary Sewer Main
SAS	Sanitary Sewer Service
STM	Storm Sewer
RD	Roof Drain
EDB	Underdrain
L	Electric Duct Bank
C	Site Lighting
GS	Communications Service
GS	Natural Gas Service
GEN	Generator
TB	Tap Box
T	Transformer Enclosure
	Stormwater Detention

**EXISTING**

X	Fence/Handrail
WM	Water Main
WS	Water Service
DWS	Domestic Water Service
FWS	Fire Water Service
SAN	Sanitary Sewer Main
SAS	Sanitary Sewer Service
STM	Storm Sewer
RD	Roof Drain
EDB	Underdrain
E	Underground Electric Service
EDB	Electric Duct Bank
OHE	Overhead Electric
OHE-OHC	Overhead Electric & Communications
UGL	Underground Street Lighting
L	Private Site Lighting
C	Communications Service
CDB	Communications Duct Bank
GM	Natural Gas Main
GS	Natural Gas Service

**ABBREVIATIONS**

BW	=	Bottom of Wall
EP	=	Edge of Pavement
ME	=	Match Existing
TC	=	Top of Curb
TW	=	Top of Wall

REVISION RECORD		ENG	DUB
NO.	DATE	DESCRIPTION	

**EMHT**  
ENGINEERS, ARCHITECTS, PLANNERS & DESIGNERS  
5800 New Albany Road, Columbus, OH 43054  
Phone: 614.775.5500 | Fax: 614.775.3446  
emht.com

**PRELIMINARY DEVELOPMENT PLAN**  
**BRIDGE PARK - Y BLOCK**  
4305-4335 W DUBLIN GRANVILLE ROAD  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

**UTILITY PLAN**

**October 15, 2025**

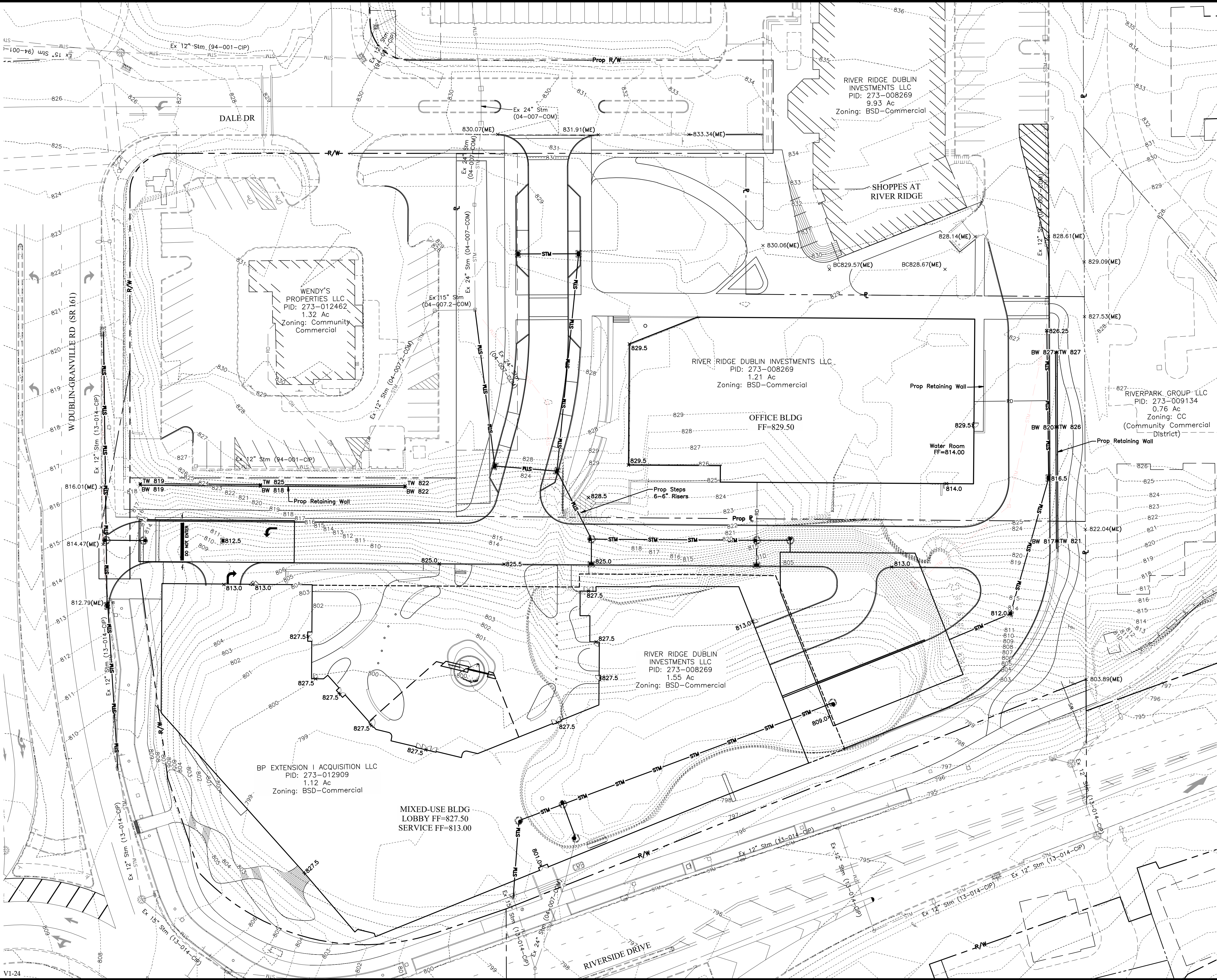
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**PROJECT NUMBER**  
**25-005-COM**

**DRAWING NUMBER**  
**C004**

**SHEET NUMBER**  
**4 OF 11**



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PRELIMINARY  
NOT TO BE USED FOR  
CONSTRUCTION

PLAN SET DATE  
October 15, 2025

GRAPHIC SCALE  
0 15 30 60  
1 inch = 30 feet

PROPOSED

Storm Sewer

Roof Drain

Underdrain

Existing Spot Elevation

TC50.50 Top of Curb

Proposed Spot Elevation

EXISTING

Fence/Handrail

Storm Sewer

Roof Drain

Underdrain

ABBREVIATIONS

BW = Bottom of Wall

EP = Edge of Pavement

ME = Match Existing

TC = Top of Curb

TW = Top of Wall

ELEVATIONS

- LOBBY=827.5
- SERVICE=813.0
- 2ND LEVEL PARKING=801.0
- 1ST LEVEL PARKING=789.0

REVISION RECORD

NO.	DATE	REVISION DESCRIPTION

PRELIMINARY DEVELOPMENT PLAN  
BRIDGE PARK - Y BLOCK

4305-4335 W DUBLIN GRANVILLE ROAD  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

GRADING PLAN

October 15, 2025

CITY OF DUBLIN  
PROJECT NUMBER

25-005-COM

DRAWING NUMBER

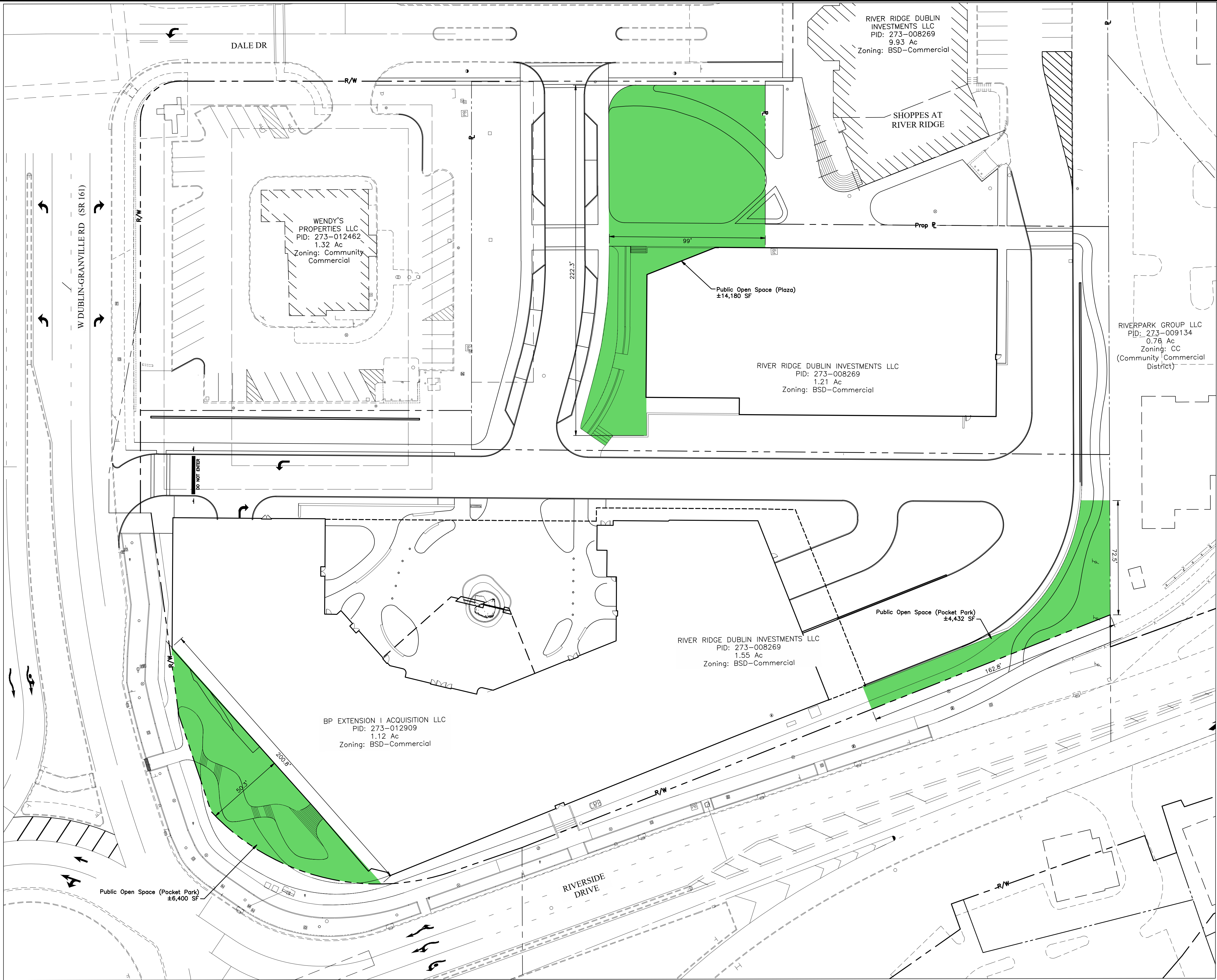
C005

SHEET NUMBER

5 OF 11



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**PRELIMINARY**  
NOT TO BE USED FOR  
CONSTRUCTION

PLAN SET DATE  
October 15, 2025

**LEGEND**

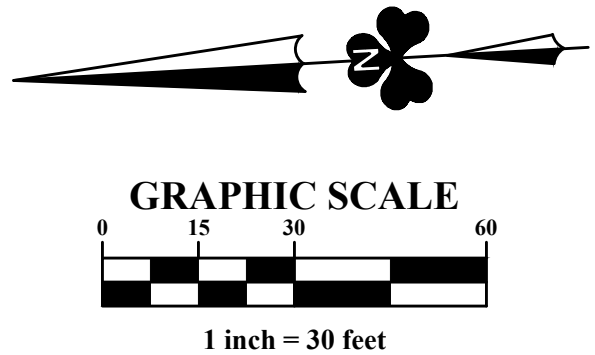
Proposed Open Space

**BLOCK Y OPEN SPACE SUMMARY**

Office Building (Commercial)	95,241 sf / 50 sf =1,905 sf =0.044 Acres
Mixed-Use (Commercial)	160,221 sf/50 sf =3,205 sf =0.074 Acres
Mixed-Use (Residential)	24 units x 200 sf =4,800 sf =0.110 Acres
Total Required Open Space Area	±0.228 Acres
Total Provided Public Open Space (On-Site):	±0.574 Acres

**PARKING CALCULATION**

USE	SQUARE FOOTAGE/UNITS	REQUIRED
3+ Bedroom Dwelling	8 units	2/unit=16
2 Bedroom Dwelling	15 units	1.5/unit=23
1 Bedroom Dwelling	1 unit	1/unit=1
Conference Center	589 occupants	1 occupants= 99
Eating and Drinking	7913 sf	1000 sf = 80
Hotel	130 guestrooms + 26,578 sf Accessory	2 per 3 guestrooms + 1000 sf Accessory= 193
Spa	15,769 sf	1000 sf = 48
Retail, General	6,800 sf	1000 sf = 21
Office, General	71,300 sf	1000 sf = 214
Total Required		695
Provided Parking (On Street/In Garage)		433 Total (18/415)
Extra Parking on Shoppes at River Ridge Site (See Sheet 7)		197
Required ADA Parking (Van/Standard)		9 Total (2/7)
ADA Parking Provided (Van/Standard)		9 Total (2/7)



**PARKING NOTES:**  
If required, a ULI Shared Parking Analysis will be performed during Final Development Plan to demonstrate sufficient parking during specific times during the week.

There are 197 additional parking spaces available within the Shoppes at River Ridge that will overflow parking for the Y Block Development. See sheet 7 for details.

REVISION RECORD	NO.	DATE	REVISION DESCRIPTION

**EMHT**  
ENGINEERS • ARCHITECTS • PLANNERS • SURVEYORS  
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emht.com

PRELIMINARY DEVELOPMENT PLAN  
**BRIDGE PARK - Y BLOCK**  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

OPEN SPACE & PARKING  
PLAN

October 15, 2025

CITY OF DUBLIN  
PROJECT NUMBER  
**25-005-COM**

DRAWING NUMBER  
**C006**

SHEET NUMBER  
**6 OF 11**



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PLAN SET DATE  
October 15, 2025

SHOPPES AT RIVER RIDGE PARKING TABLE

Existing Total Floor Area:	±86,745 SF
Total Eating & Drinking Floor Area:	±6,780 SF
Total Eating & Drinking Parking Required:	68 Spaces (10 Spaces/1000 SF)
Total Exercise & Fitness Floor Area:	±3,500 SF
Total Exercise & Fitness Parking Required:	7 Spaces (2 Spaces/500 SF)
Total Office Floor Area:	±42,685 SF
Total Office Parking Required:	107 Spaces (2.5 Spaces/1000 SF)
Total Retail Floor Area:	±33,780 SF
Total Retail Parking Required:	102 Spaces (3 Spaces/1000 SF)
Total Parking Required:	284 Spaces
Existing Parking Provided:	481 Spaces
ADA Parking Required:	9 Spaces
Existing ADA Parking Provided:	10 Spaces
Available Parking (Based on Zoning)	197 Spaces

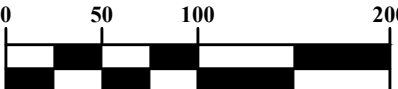
SHOPPES AT RIVER RIDGE PARKING STUDY

Time	9:00 AM	3:00 PM
Tuesday 10/7	58 spaces occupied	74 spaces occupied
Thursday 10/9	71 spaces occupied	59 spaces occupied
Saturday 10/11	65 spaces occupied	86 spaces occupied

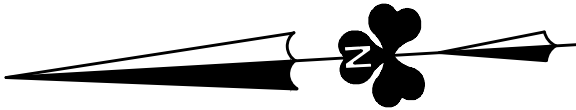
SHOPPES AT RIVER RIDGE AVAILABLE  
PARKING SPACES

Crawford-Hoying property management staff completed parking counts during the AM and PM hours during three representative days to determine the number of available parking spaces within the Shoppes at River Ridge that can practically be utilized by the Y Block users. The counts are provided below for reference and there was an average of 69 spaces being used during the day, which equates to an average of 412 spaces that can practically be utilized by Y Block.

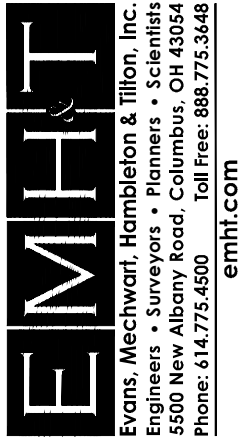
GRAPHIC SCALE



1 inch = 100 feet



REVISION RECORD		
NO.	DATE	REVISION DESCRIPTION



PRELIMINARY DEVELOPMENT PLAN  
BRIDGE PARK - Y BLOCK  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

OVERALL SITE PLAN

October 15, 2025

CITY OF DUBLIN  
PROJECT NUMBER

25-005-COM

DRAWING NUMBER

C007

SHEET NUMBER

7 OF 11



[illegible]

PRELIMINARY DEVELOPMENT PLAN  
**BRIDGE PARK - Y BLOCK**  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

## FIRE TRUCK TURNING ANALYSIS

**October 15, 2025**

**CITY OF DUBLIN  
PROJECT NUMBER**

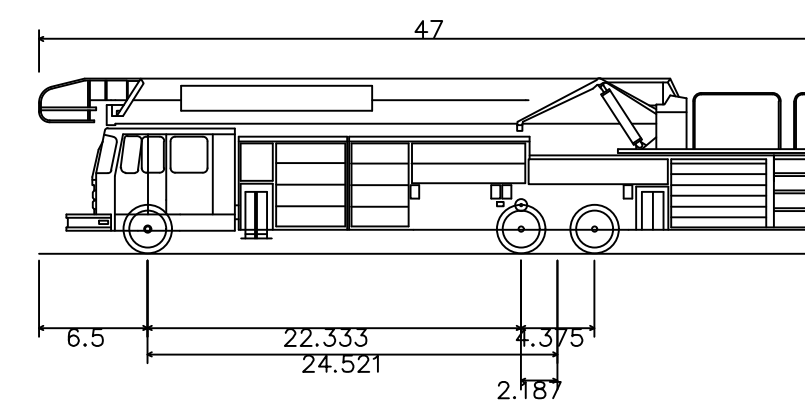
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DRAWING NUMBER

C008

**SHEET NUMBER**

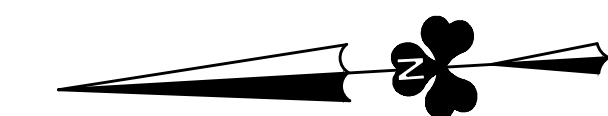
**8 OF 11**



Washington Township Ladder Fire Truck	
Overall Length	47.000ft
Overall Width	9.500ft
Overall Body Height	10.490ft
Min Body Ground Clearance	0.920ft
Track Width	8.333ft
Lock-to-lock time	6.00s
Max Steering Angle (Virtual)	34.50°

### LEGEND

- |   |                                   |
|---|-----------------------------------|
|  | Wheel Path – Forward              |
|  | Footprint of Truck Body – Forward |
|  | Wheel Path – Reverse              |
|  | Footprint of Truck Body – Reverse |



### GRAPHIC SCALE



**1 inch = 30 feet**



[illegible]

PRELIMINARY DEVELOPMENT PLAN  
**BRIDGE PARK - Y BLOCK**  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

## FIRE TRUCK TURNING ANALYSIS

CITY OF DUBLIN  
PROJECT NUMBER

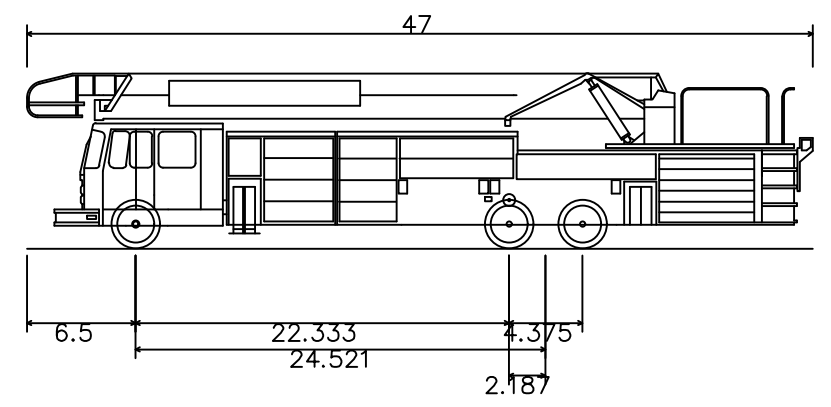
5-005-COM

DRAWING NUMBER

C009

SHEET NUMBER

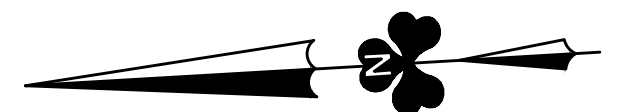
9 OF 11



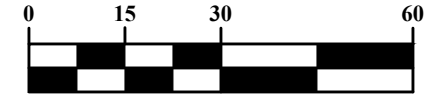
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### LEGEND

- \_\_\_\_\_ Wheel Path – Forward
- \_\_\_\_\_ Footprint of Truck Body – Forward
- \_\_\_\_\_ Wheel Path – Reverse
- \_\_\_\_\_ Footprint of Truck Body – Reverse

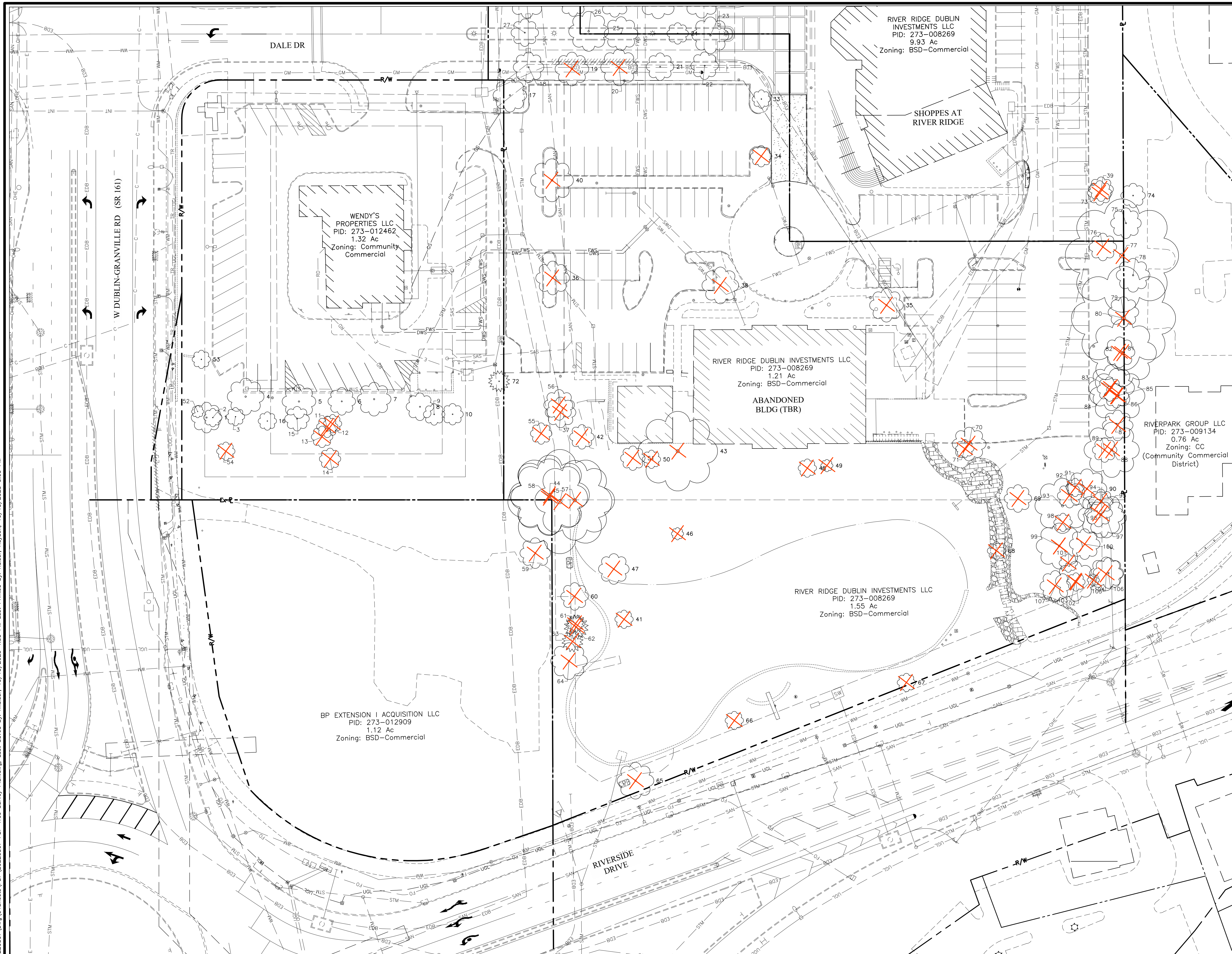


### GRAPHIC SCALE



**1 inch = 30 feet**



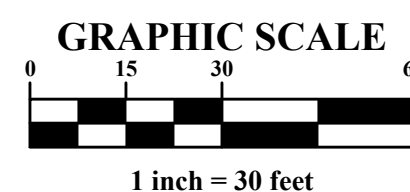


**PRELIMINARY**  
.....  
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**PLAN SET DATE**  
**October 15, 2025**

### LEGEND

### Trees To Be Removed

[illegible]

**EMHT**  
Evans, Mechwarl, Hambleton & Tillon, Inc.  
Engineers • Surveyors • Planners • Scientists  
45500 New Albany Road, Columbus, OH 43054  
Phone: 614.775.4500 Toll Free: 888.775.3448  
[emht.com](http://emht.com)

PRELIMINARY DEVELOPMENT PLAN  
**BRIDGE PARK - Y BLOCK**  
4305-4335 W DUBLIN GRANVILLE ROAD  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

## TREE SURVEY PLAN

**October 15, 2025**

**CITY OF DUBLIN**  
**PROJECT NUMBER**  
**25-005-COM**

25-005-COM

DRAWING NUMBER

**C0010**

SHEET NUMBER

**10 OF 11**



[illegible]

PRELIMINARY DEVELOPMENT PLAN  
**BRIDGE PARK - Y BLOCK**  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

## TREE SURVEY

October 15, 2025

**CITY OF DUBLIN**  
**PROJECT NUMBER**

25-005-COM

DRAWING NUMBER

**C0011**

**SHEET NUMBER**  
**11 OF 11**

ID	Common Name	Scientific Name	DBH (inches)	No. of Trunks	Condition
1	Sweet Crabapple	<i>Malus coronaria</i>	10	1	Good
2	Bradford Pear	<i>Pyrus calleryana</i>	6	1	Good
3	Bradford Pear	<i>Pyrus calleryana</i>	6	1	Good
4	Pin Cherry	<i>Prunus pensylvanica</i>	12	1	Good
5	Honey Locust	<i>Gleditsia triacanthos</i>	11	1	Good
6	Honey Locust	<i>Gleditsia triacanthos</i>	9	1	Good
7	Pin Cherry	<i>Prunus pensylvanica</i>	11	1	Good
8	American Elm	<i>Ulmus americana</i>	9	1	Fair
9	American Elm	<i>Ulmus americana</i>	7,2	2	Fair
10	American Elm	<i>Ulmus americana</i>	7,4	2	Fair
11	Bradford Pear	<i>Pyrus calleryana</i>	7	1	Fair
12	Bradford Pear	<i>Pyrus calleryana</i>	6	1	Good
13	Bradford Pear	<i>Pyrus calleryana</i>	7,4	2	Good
14	Bradford Pear	<i>Pyrus calleryana</i>	7	1	Good
15	Bradford Pear	<i>Pyrus calleryana</i>	8	1	Good
16	American Elm	<i>Ulmus americana</i>	6	1	Fair
17	Red Maple	<i>Acer rubrum</i>	11	1	Good
18	Bradford Pear	<i>Pyrus calleryana</i>	10,5	2	Good
19	Bradford Pear	<i>Pyrus calleryana</i>	11,6,6,5,5,5	6	Good
20	Bradford Pear	<i>Pyrus calleryana</i>	12,6,6,4,2	5	Good
21	Bradford Pear	<i>Pyrus calleryana</i>	9,8,6,4,4	5	Good
22	Bradford Pear	<i>Pyrus calleryana</i>	9,9,8,6,6,2	6	Good
23	Bradford Pear	<i>Pyrus calleryana</i>	12,6,2,2	4	Good
24	Bradford Pear	<i>Pyrus calleryana</i>	7,5,4,4	5	Good
25	Bradford Pear	<i>Pyrus calleryana</i>	11,6,4,3,3	5	Good
26	Bradford Pear	<i>Pyrus calleryana</i>	13,4,4,2	4	Good
27	Bradford Pear	<i>Pyrus calleryana</i>	9,4,3,2	4	Good
28	Bradford Pear	<i>Pyrus calleryana</i>	12,5,4,2,2	5	Good
29	Bradford Pear	<i>Pyrus calleryana</i>	9	1	Good
30	Bradford Pear	<i>Pyrus calleryana</i>	10	1	Good
31	Bradford Pear	<i>Pyrus calleryana</i>	13	1	Good
32	Bradford Pear	<i>Pyrus calleryana</i>	12	1	Good
33	Red Maple	<i>Acer rubrum</i>	6	1	Good
34	Red Maple	<i>Acer rubrum</i>	7	1	Good
35	American Elm	<i>Ulmus americana</i>	11	1	Good
36	Sawtooth Oak	<i>Quercus acutissima</i>	11	1	Good
37	American Elm	<i>Ulmus americana</i>	10	1	Good
38	American Elm	<i>Ulmus americana</i>	12	1	Good
39	White Cedar	<i>Thuja occidentalis</i>	8	1	Good
40	Pin Cherry	<i>Prunus pensylvanica</i>	14	1	Good
41	American Sycamore	<i>Platanus occidentalis</i>	6	1	Good
42	Sweet Crabapple	<i>Malus coronaria</i>	8	1	Good
43	Lacebark Elm	<i>Ulmus parvifolia</i>	26	1	Good
44	Pin Oak	<i>Quercus palustris</i>	26	1	Good
45	Swamp White Oak	<i>Quercus bicolor</i>	34	1	Good
46	Tree of Heaven	<i>Ailanthus altissima</i>	4,3	2	Good
47	American Elm	<i>Ulmus americana</i>	10,8,6	3	Good
48	Tree of Heaven	<i>Ailanthus altissima</i>	6,5,4	3	Good
49	Tree of Heaven	<i>Ailanthus altissima</i>	4,3,3,2	4	Good
50	Lacebark Elm	<i>Ulmus parvifolia</i>	6,5,3,3,2	5	Good
51	Lacebark Elm	<i>Ulmus parvifolia</i>	8,5,4,3,3,2	6	Good
52	Red Mulberry	<i>Morus rubra</i>	4,4,4,4	4	Good
53	Ginko	<i>Ginko biloba</i>	6	1	Good
54	Sweet Crabapple	<i>Malus coronaria</i>	6	1	Good

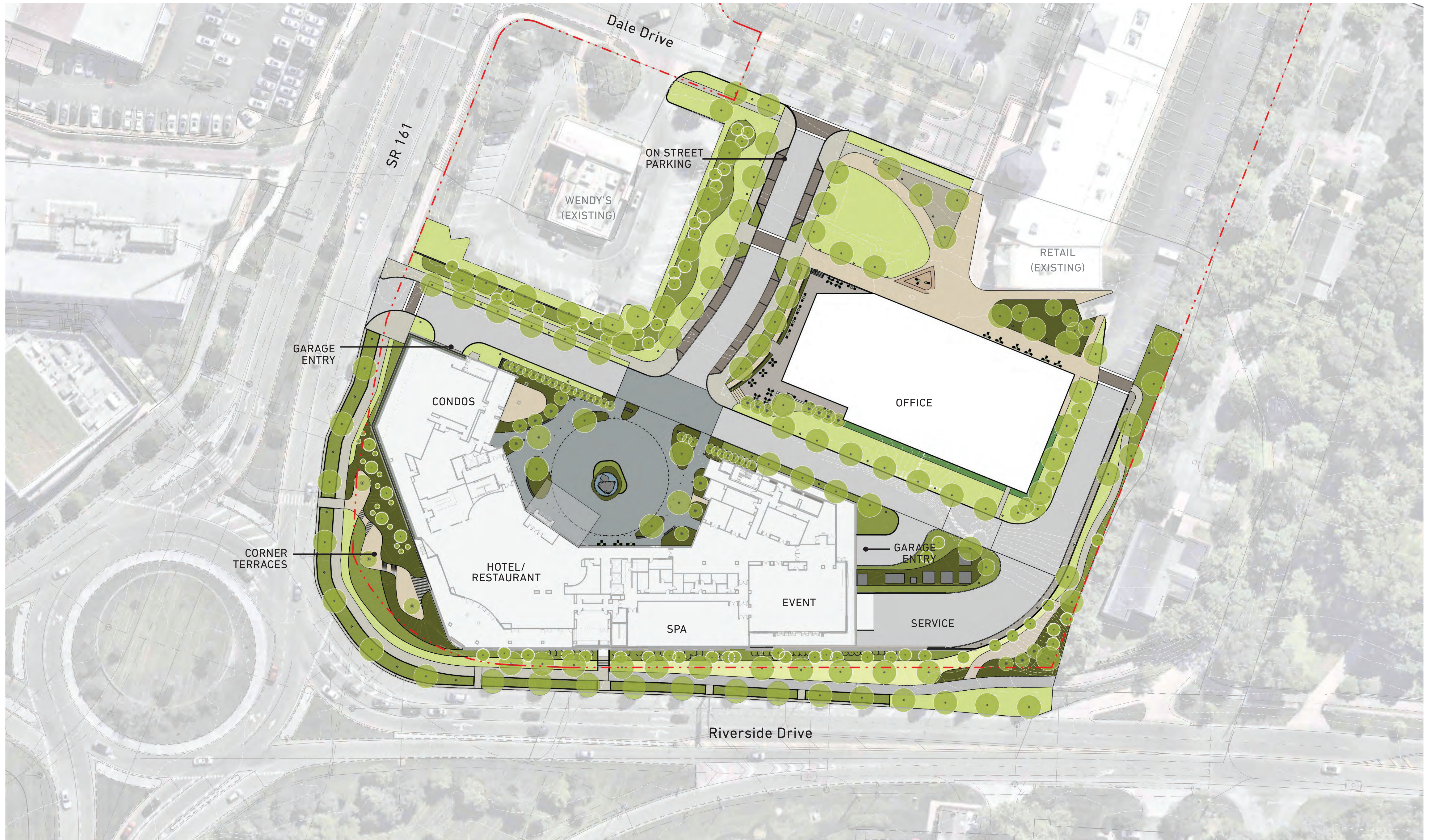
ID	Common Name	Scientific Name	DBH (inches)	No. of Trunks	Condition
55	Sweet Crabapple	Malus coronaria	7	1	Good
56	Sweet Crabapple	Malus coronaria	10	1	Good
57	Swamp White Oak	Quercus bicolor	26	1	Good
58	Pin Oak	Quercus palustris	25	1	Good
59	Callery Pear	Acer negundo	10	1	Fair
60	Sugar Maple	Acer saccharum	9	1	Good
61	Blue Spruce	Picea pungens	6	1	Good
62	Blue Spruce	Picea pungens	8	1	Good
63	Blue Spruce	Picea pungens	7	1	Good
64	Red Maple	Acer rubrum	12	1	Good
65	Silver Maple	Acer saccharinum	12	1	Good
66	Fantleaf Hawthorn	Crataegus flabellata	6	1	Good
67	Fantleaf Hawthorn	Crataegus flabellata	6	1	Good
68	Tree of Heaven	Ailanthus altissima	6,6,5	3	Good
69	Sweet Crabapple	Malus coronaria	9	1	Good
70	Pin Oak	Quercus palustris	11	1	Good
71	Sweet Crabapple	Malus coronaria	6,3	2	Good
72	Blue Spruce	Picea pungens	7	1	Good
73	Sugar Maple	Acer saccharum	8	1	Good
74	Black Locust	Robinia pseudoacacia	8	1	Good
75	Red Mulberry	Morus rubra	10	1	Good
76	Sugar Maple	Acer saccharum	9	1	Good
77	Black Locust	Robinia pseudoacacia	37	1	Poor
78	Black Cherry	Prunus serotina	11	1	Poor
79	Hackberry	Celtis occidentalis	10,10	2	Good
80	Black Locust	Robinia pseudoacacia	34	1	Poor
81	Black Locust	Robinia pseudoacacia	22	1	Poor
82	Black Locust	Robinia pseudoacacia	10	1	Poor
83	Black Locust	Robinia pseudoacacia	15	1	Fair
84	Black Locust	Robinia pseudoacacia	8	1	Fair
85	Black Locust	Robinia pseudoacacia	18	1	Poor
86	Hackberry	Celtis occidentalis	8	1	Good
87	Box Elder	Acer negundo	10	1	Good
88	Hackberry	Celtis occidentalis	18	1	Good
89	Black Locust	Robinia pseudoacacia	8	1	Poor
90	American Elm	Ulmus americana	13	1	Good
91	Black Locust	Robinia pseudoacacia	6	1	Poor
92	Black Walnut	Juglans nigra	8,6	2	Good
93	Black Locust	Robinia pseudoacacia	18	1	Fair
94	Black Locust	Robinia pseudoacacia	8	1	Poor
95	Black Locust	Robinia pseudoacacia	15	1	Fair
96	Black Locust	Robinia pseudoacacia	9	1	Poor
97	Hackberry	Celtis occidentalis	13	1	Good
98	Black Locust	Robinia pseudoacacia	6	1	Good
99	Black Locust	Robinia pseudoacacia	15	1	Fair
100	Tree of Heaven	Ailanthus altissima	10	1	Good
101	Tree of Heaven	Ailanthus altissima	6	1	Good
102	Tree of Heaven	Ailanthus altissima	6,6	2	Good
103	Black Locust	Robinia pseudoacacia	13	1	Good
104	Tree of Heaven	Ailanthus altissima	4,4,3,3,3	5	Good
105	Hackberry	Celtis occidentalis	11	1	Good
106	American Sycamore	Platanus occidentalis	10,10	2	Good
107	Tree of Heaven	Ailanthus altissima	10	1	Good



Y Block Development

# Site Design & Landscape Architecture









**STREETSCAPE TYPOLOGIES**

- 161/ Bridge Park Typical Streetscape**  
Streetscape to match layout, materials, and planting to north side of 161, opposite of the site
- Riverside Drive Typical Streetscape**  
Reflects tree planting and tree lawn existing on Riverside Drive
- Private Streetscape**  
Concrete walks, service and garage entries
- Bridge Park Typical Streetscape**  
Typical of Bridge Park with parallel parking zones

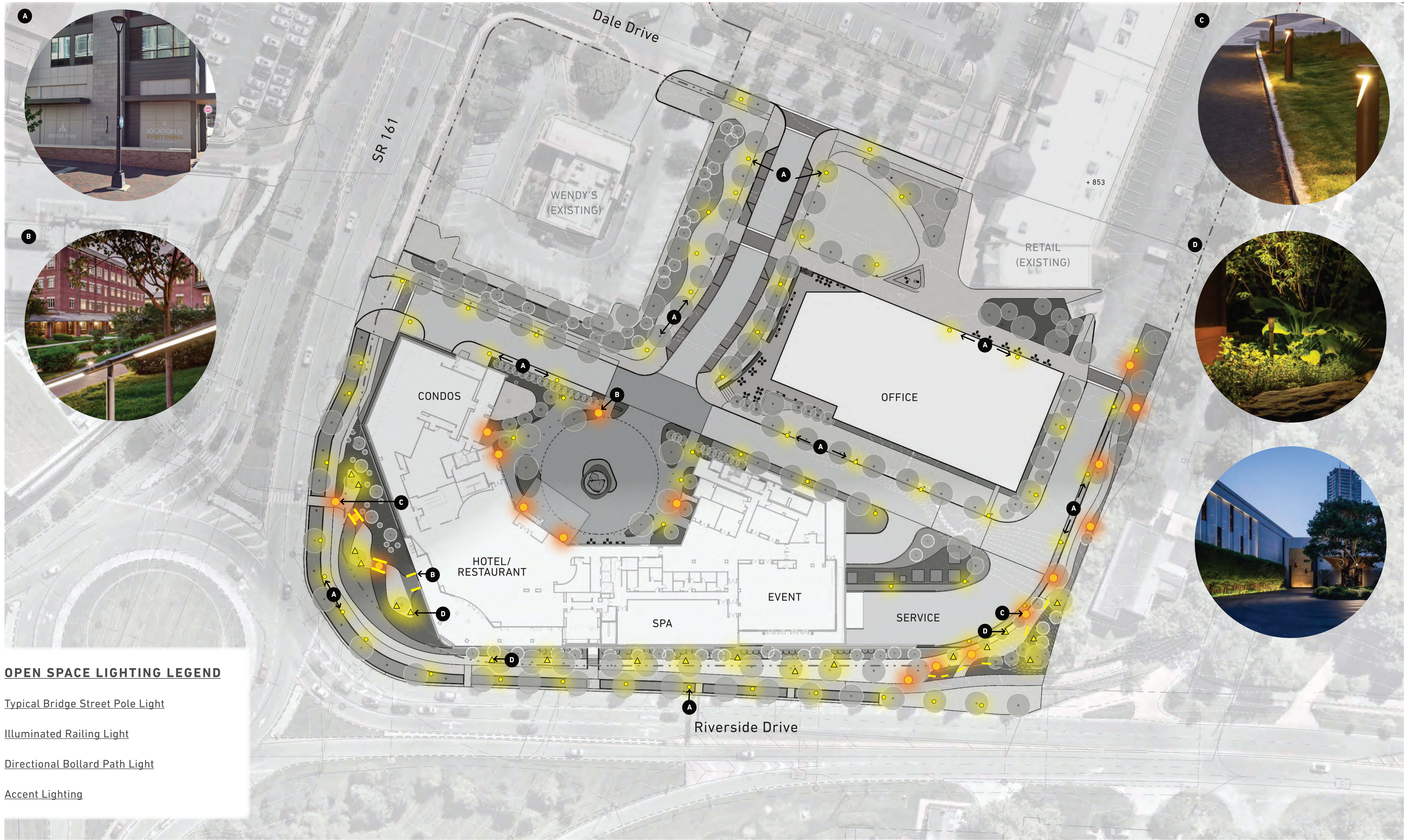




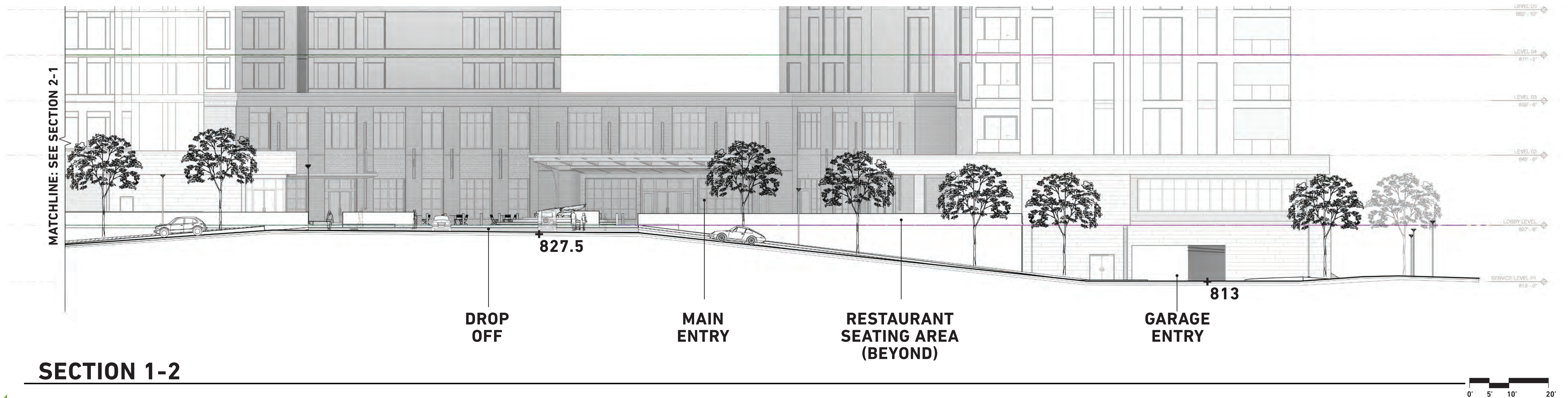
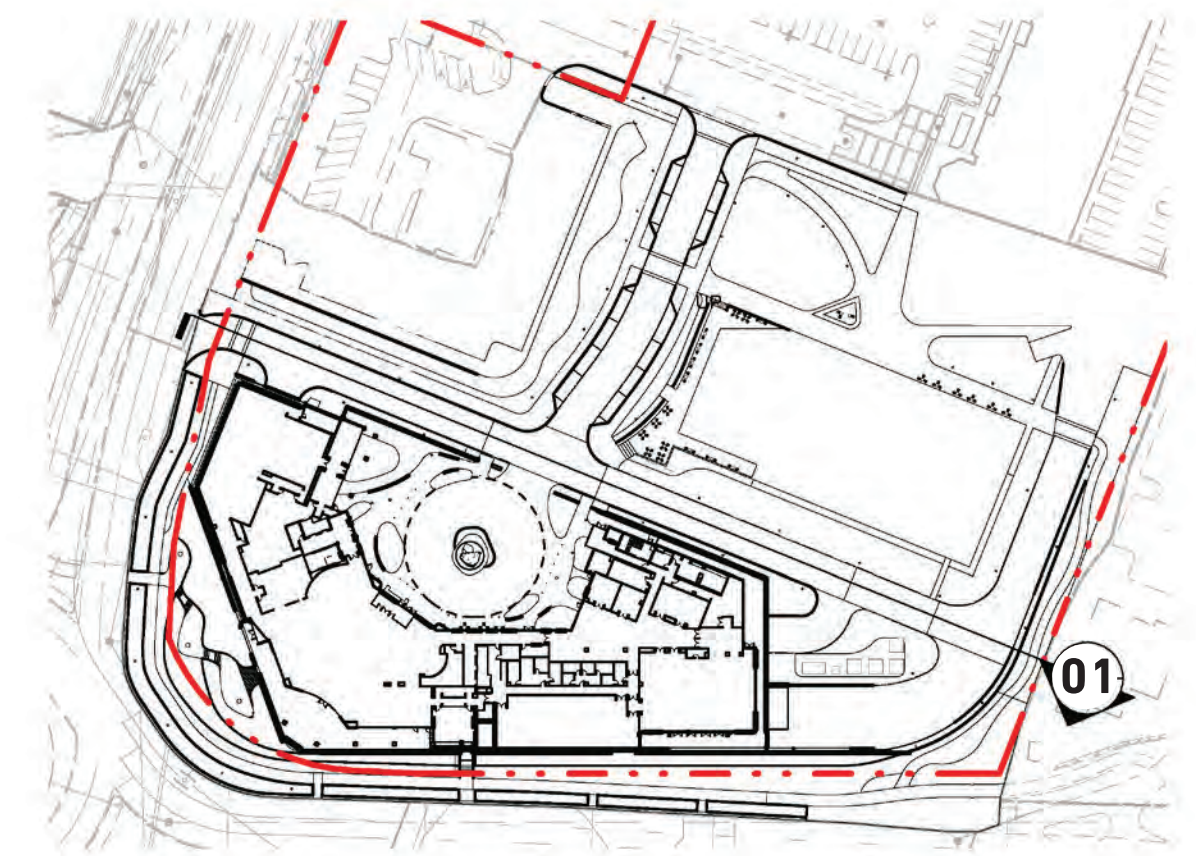
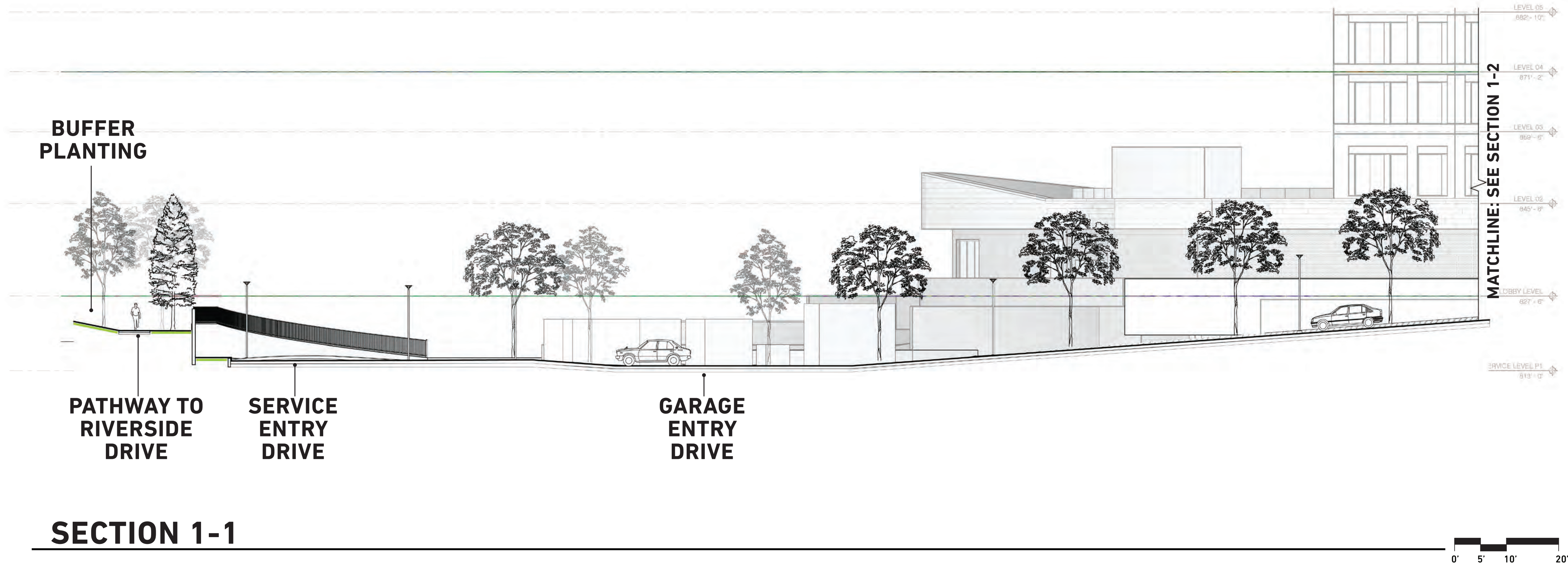




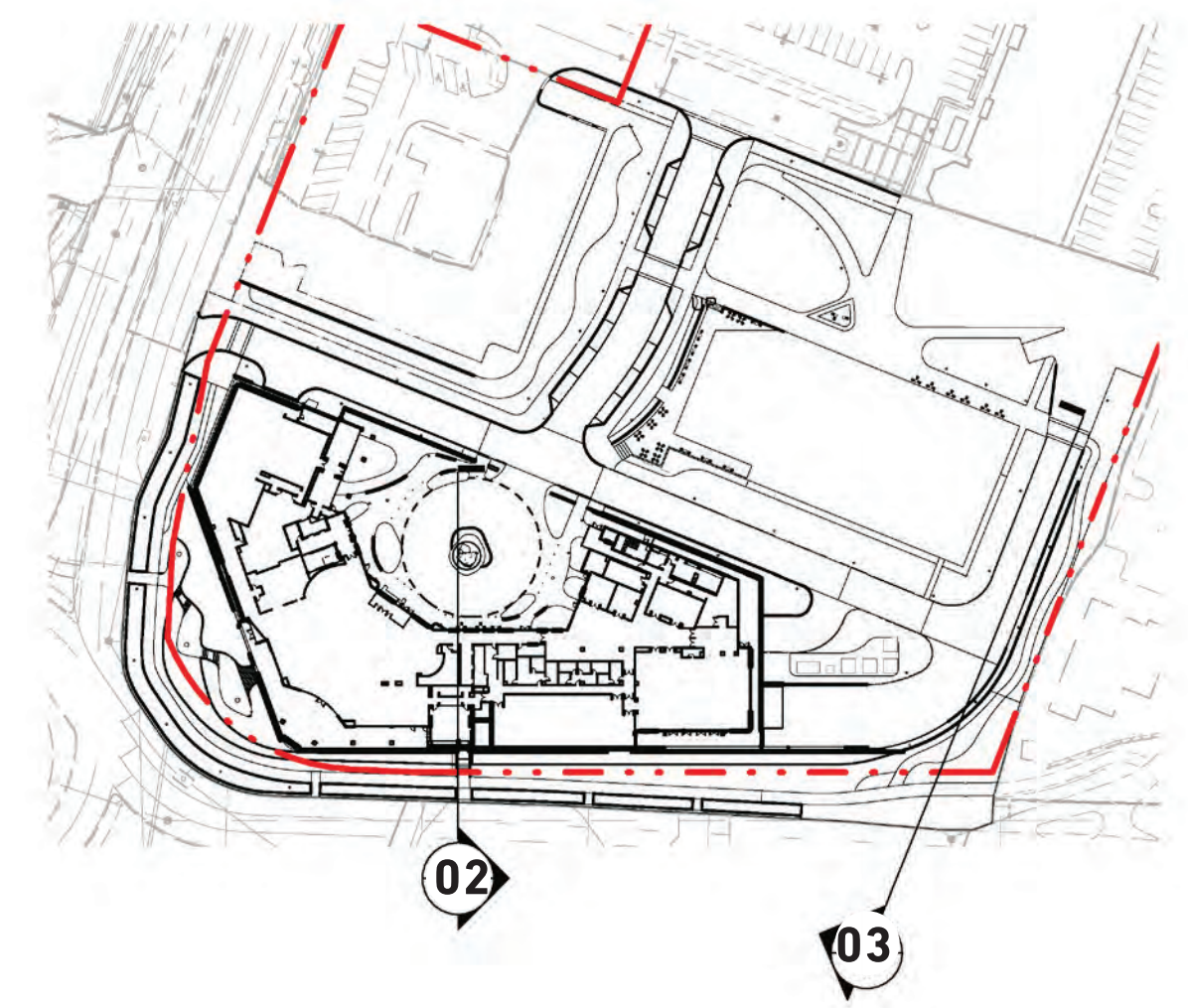
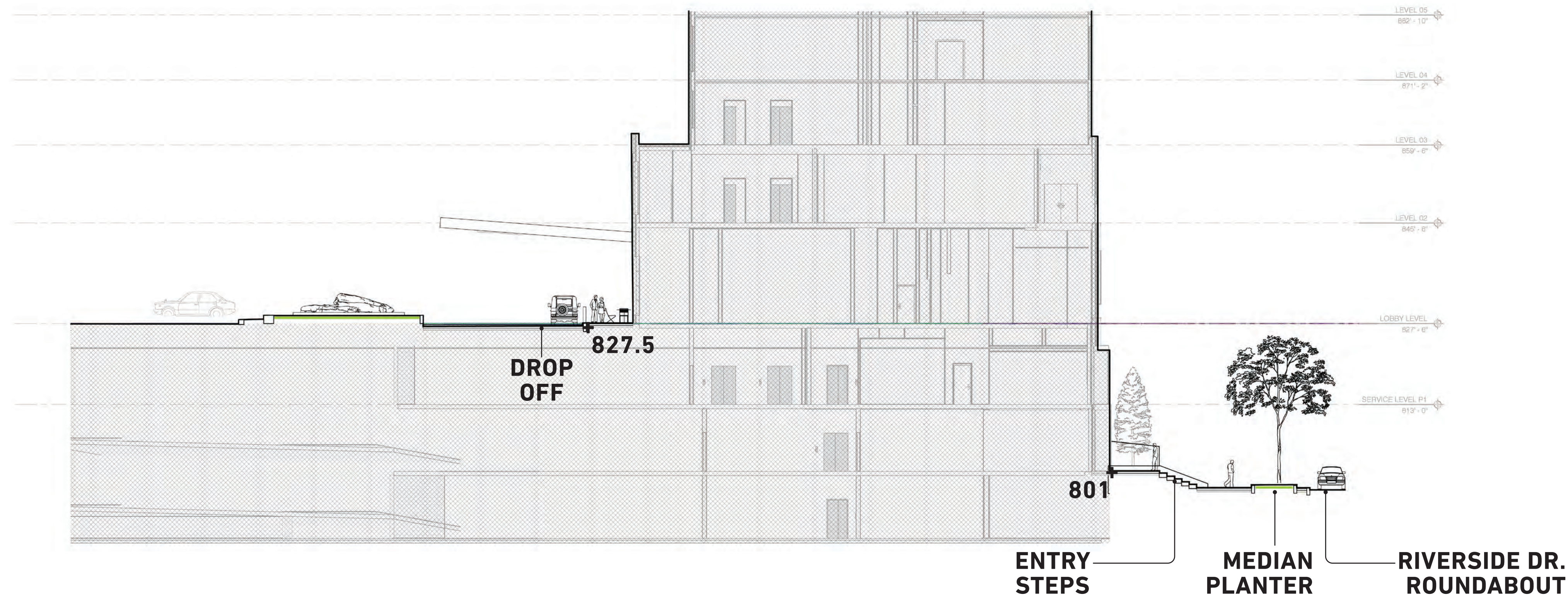




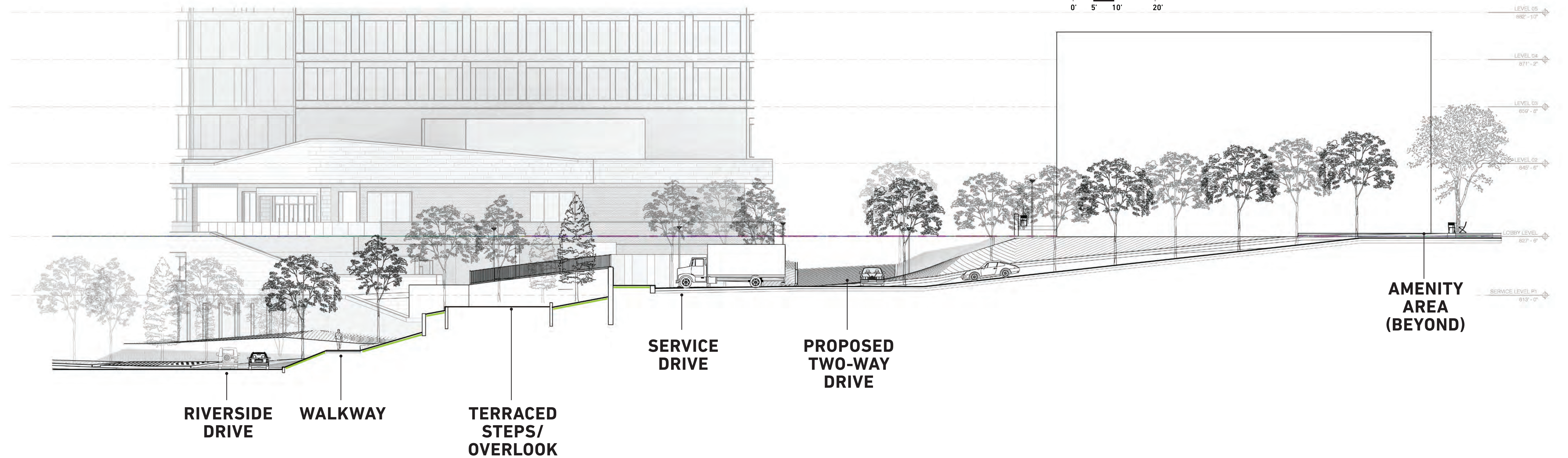






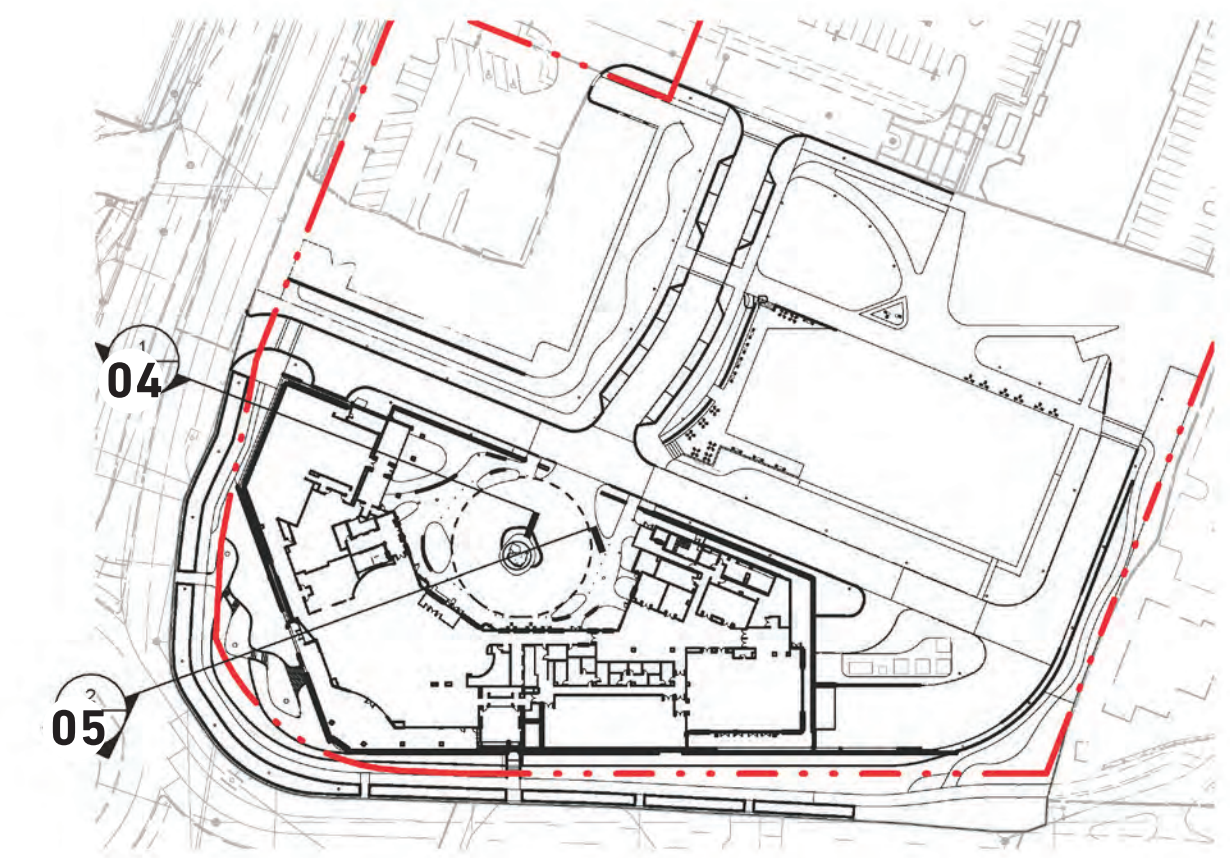
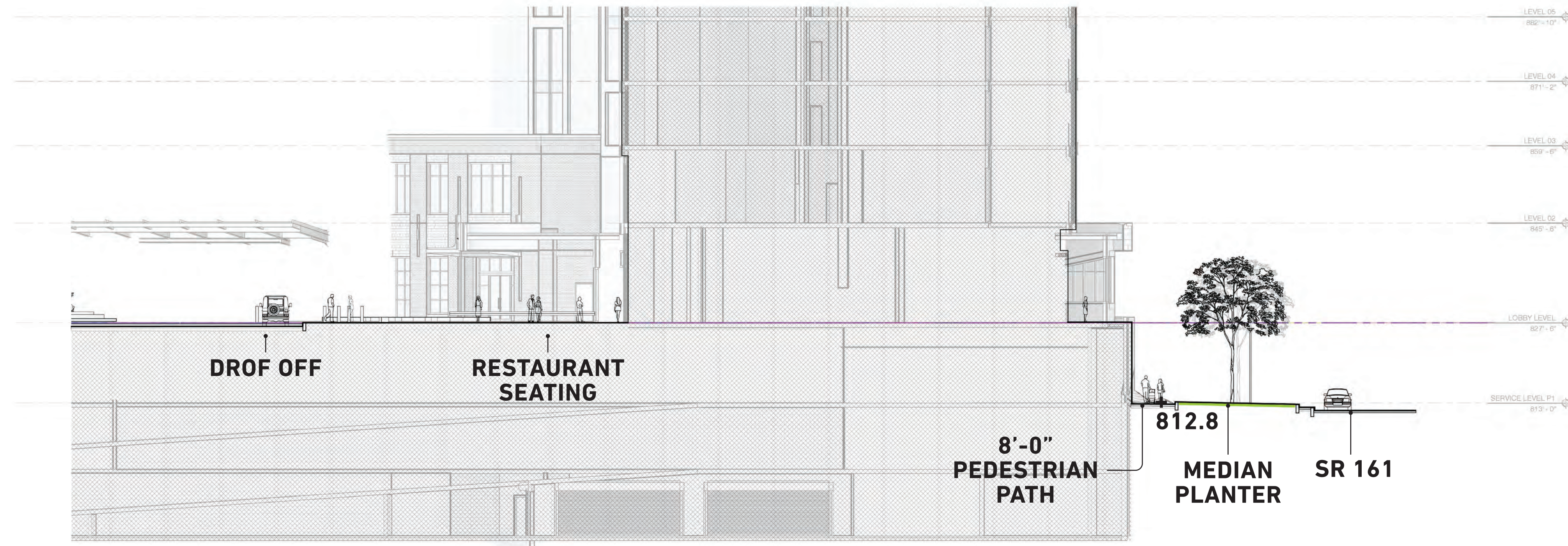


## SECTION 02

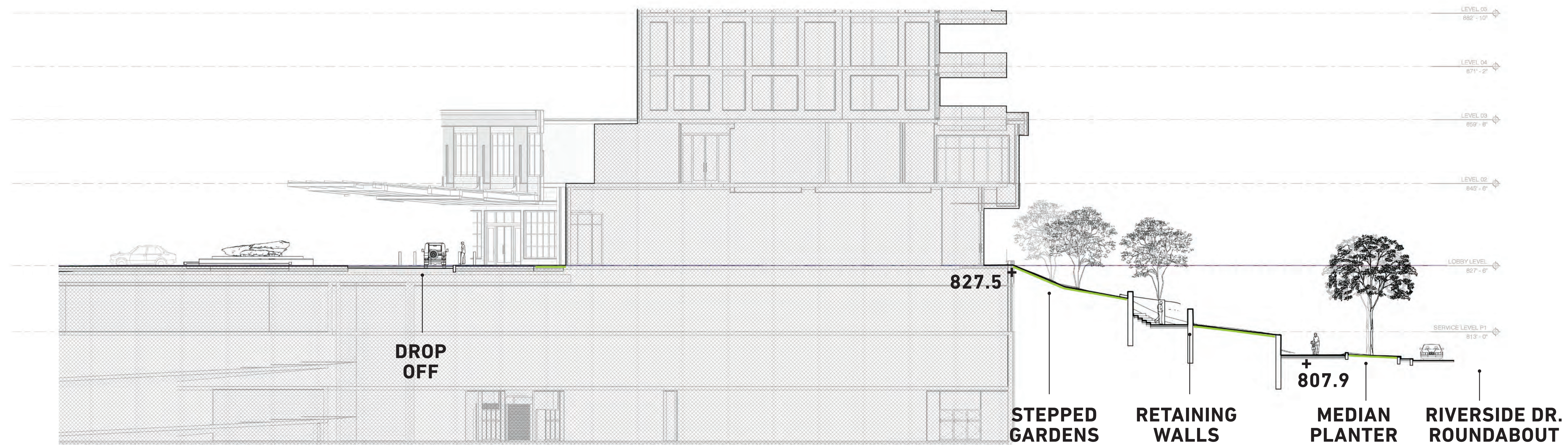


## SECTION 03





## SECTION 04



## SECTION 05





Y Block Development

Architecture

Mixed-Use Building

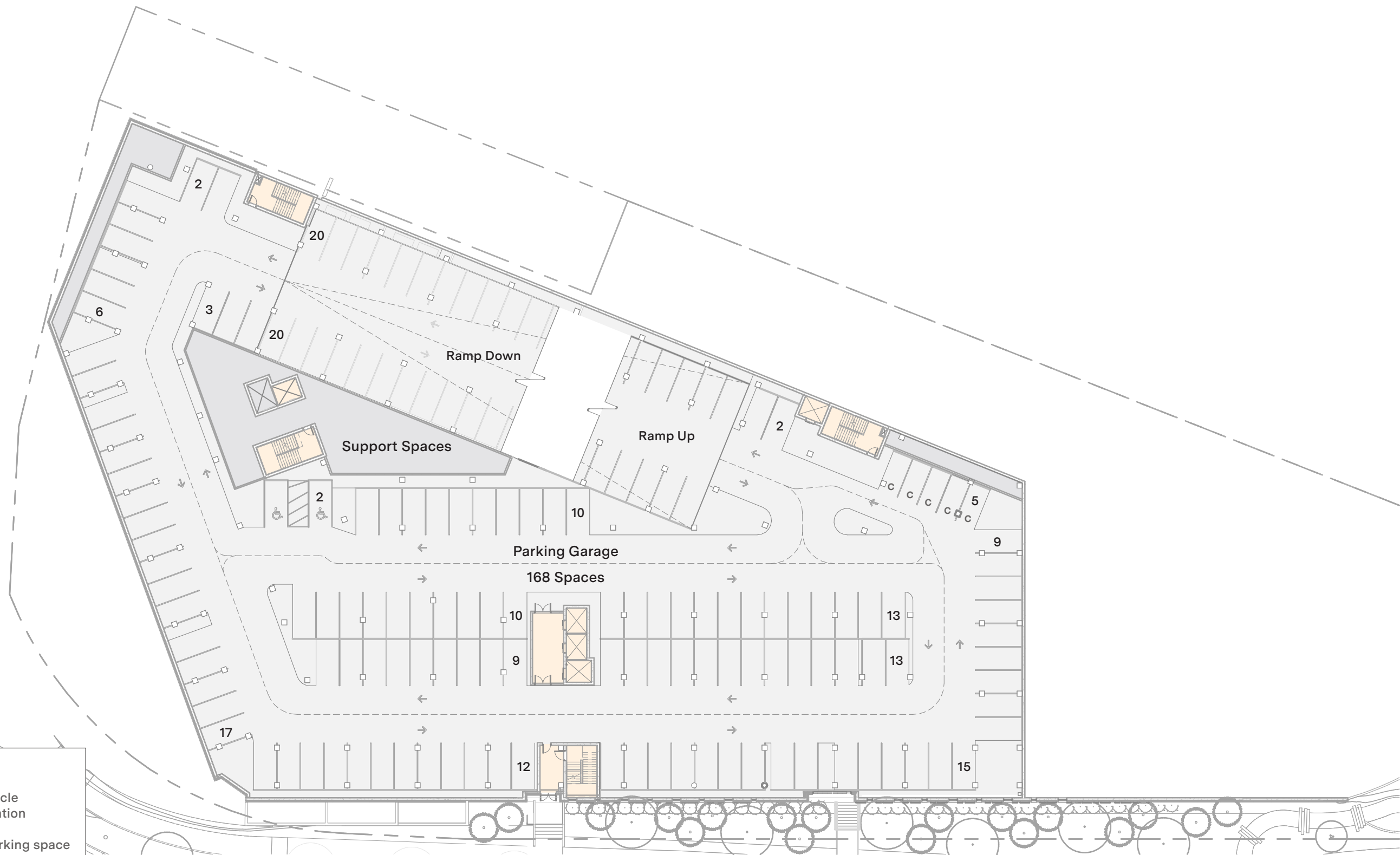


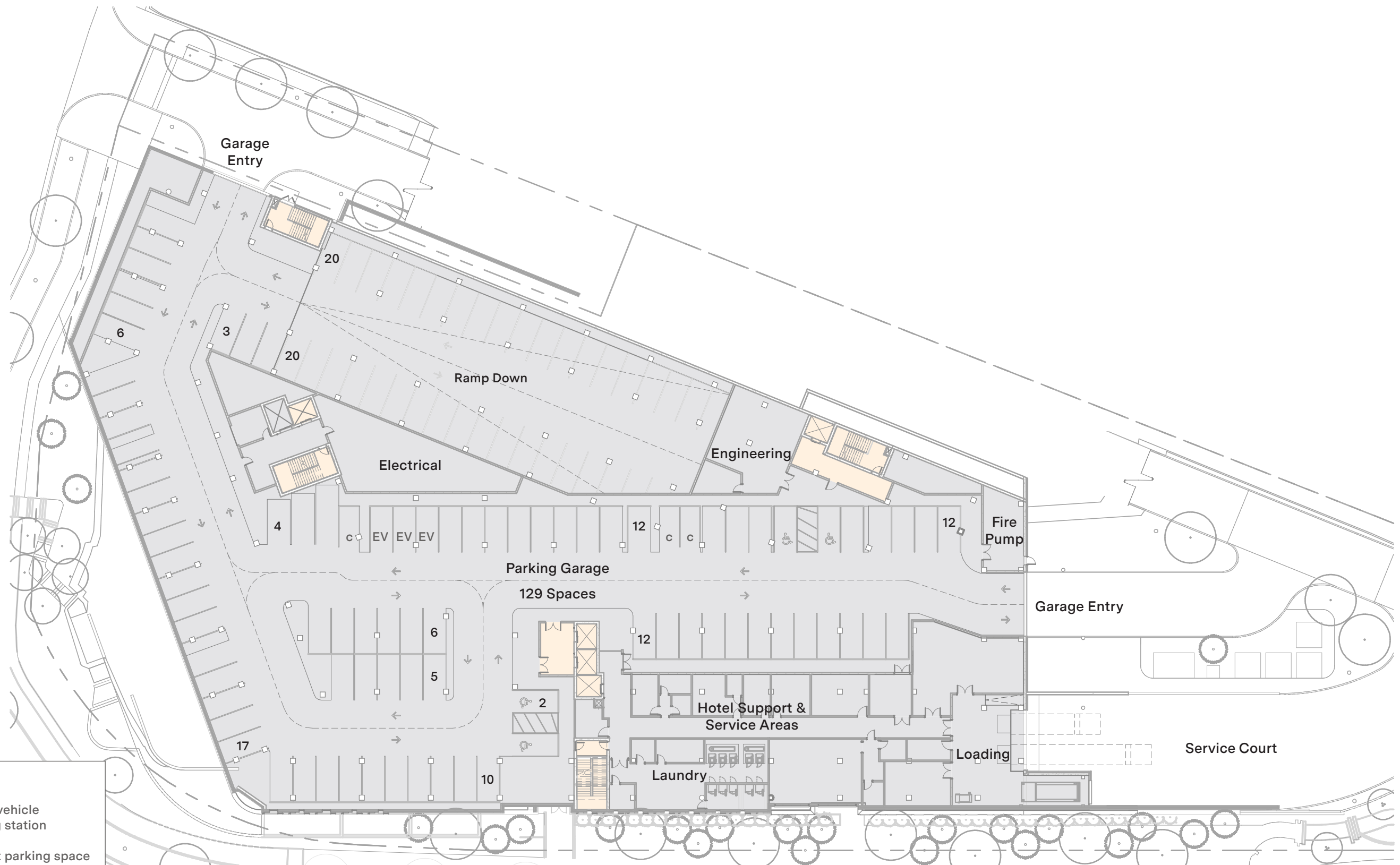
All resident parking spaces to be constructed as EV-ready with supporting infrastructure

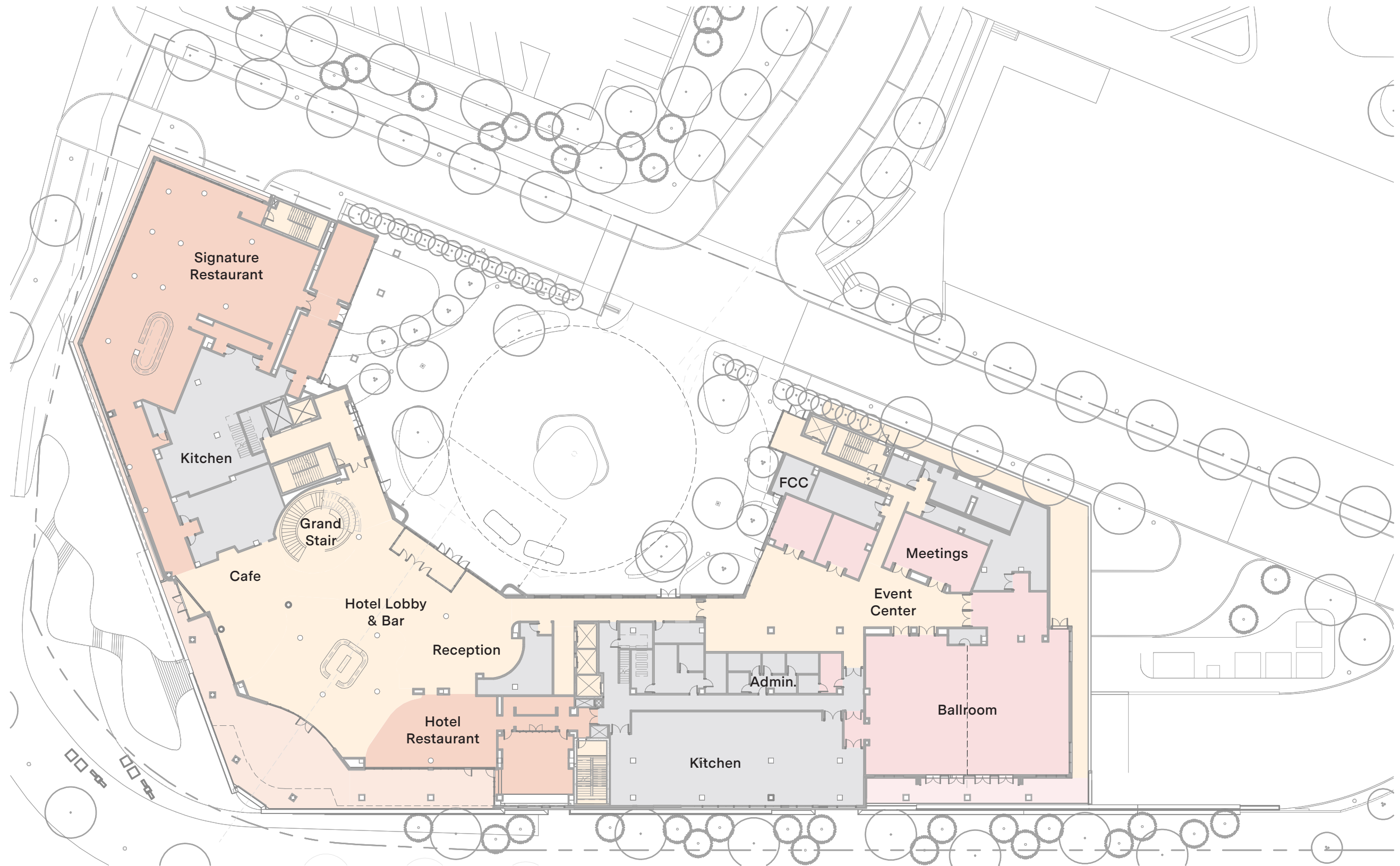
**Legend**

EV    electric vehicle charging station

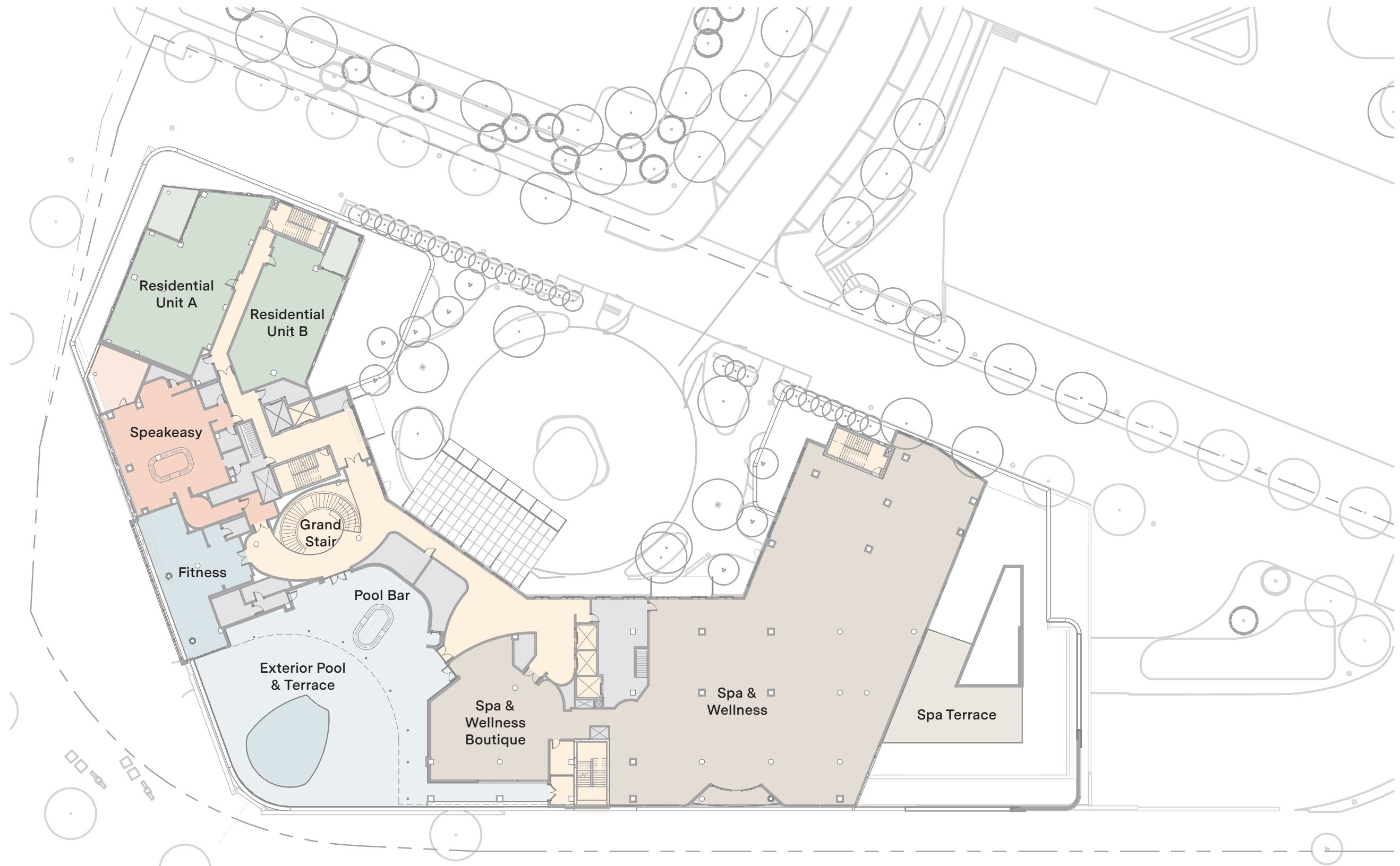
c    compact parking space

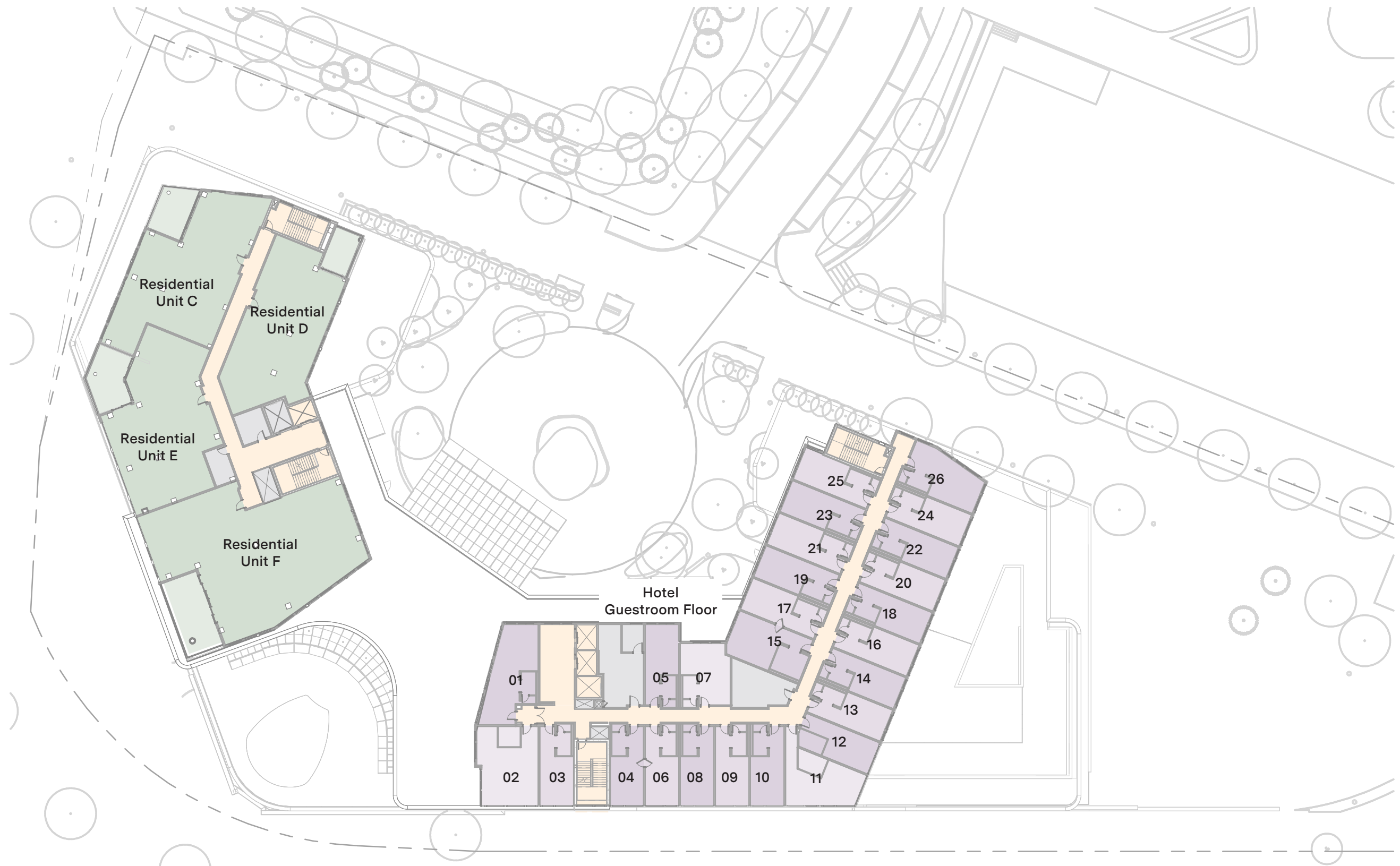




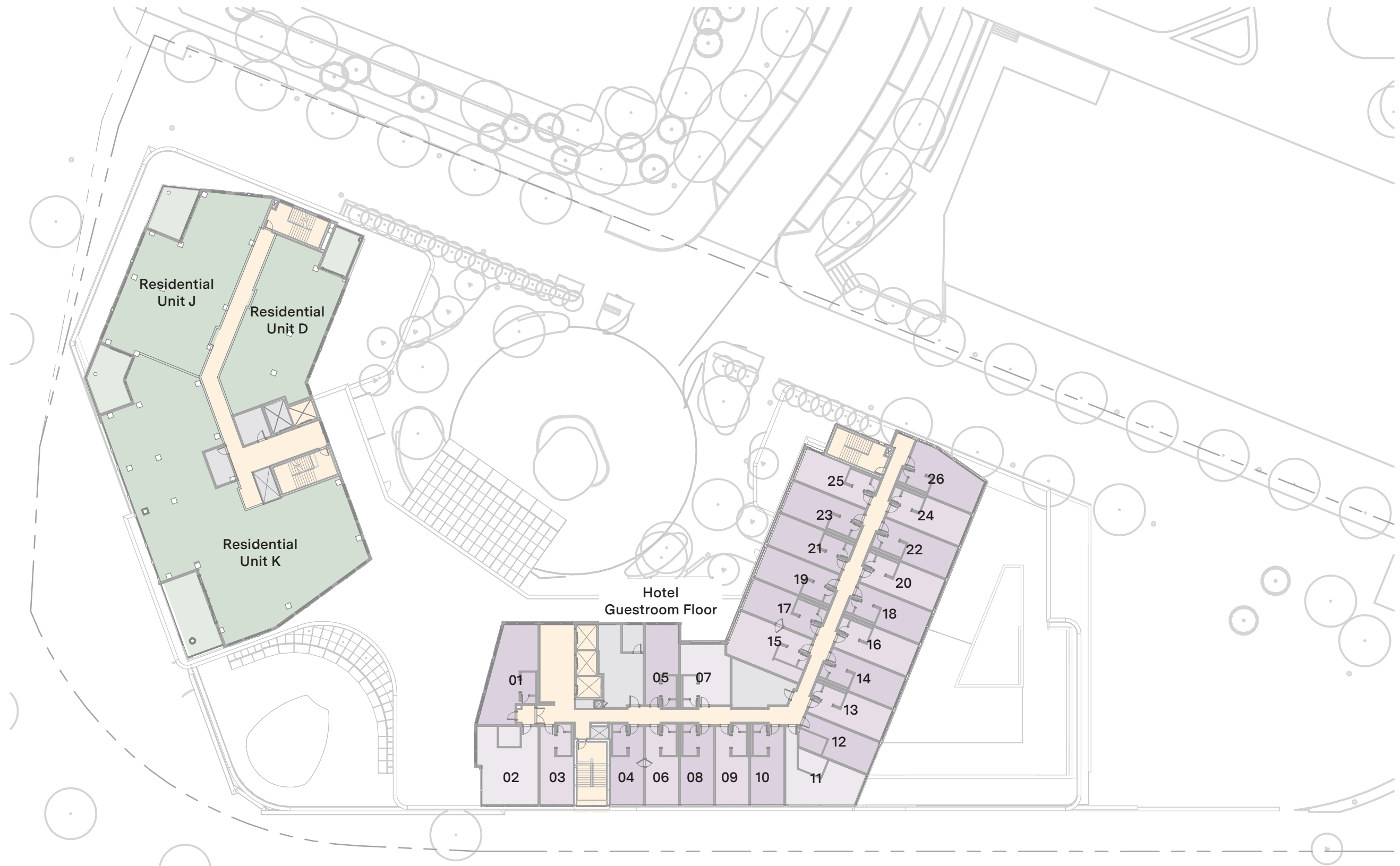


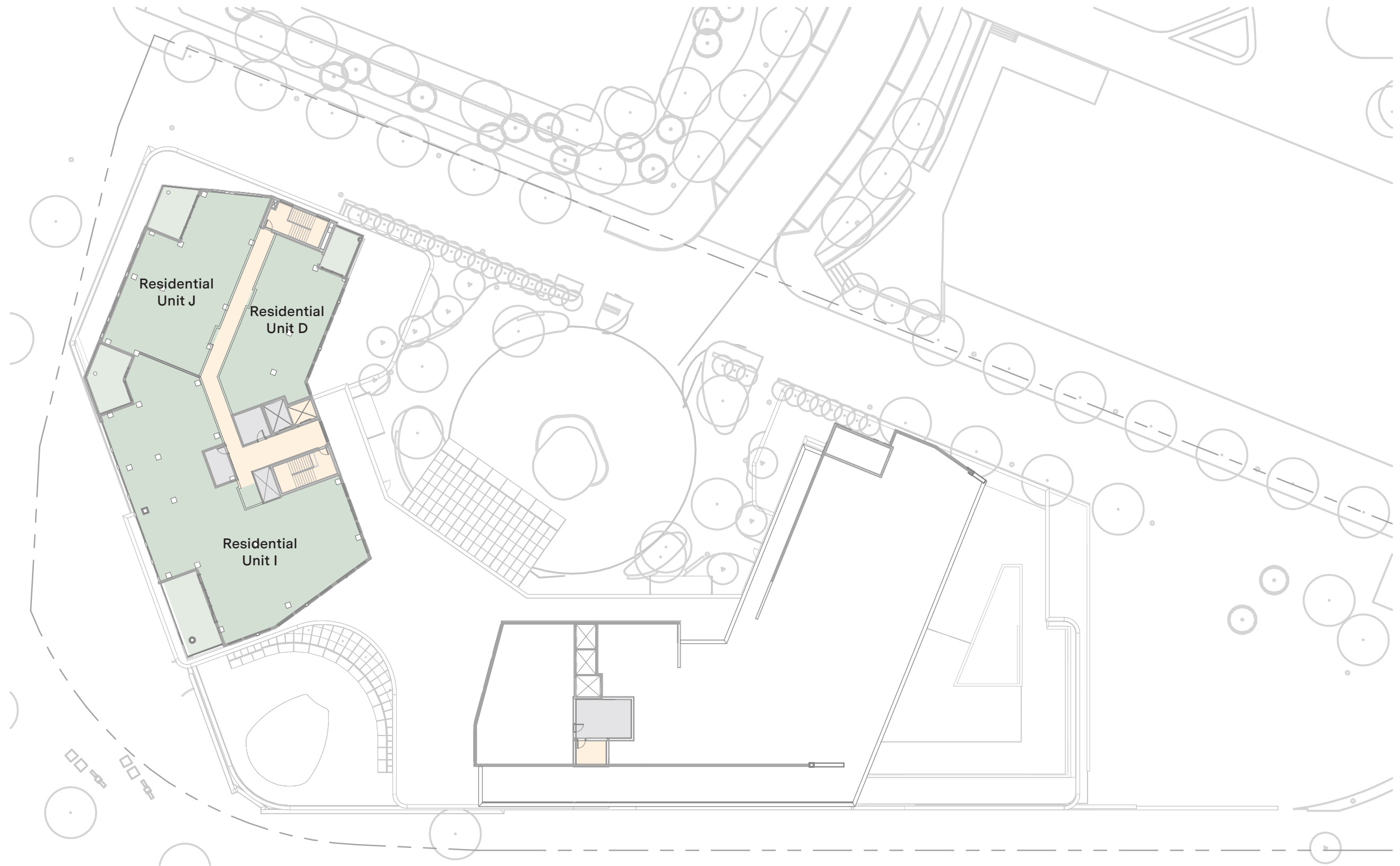




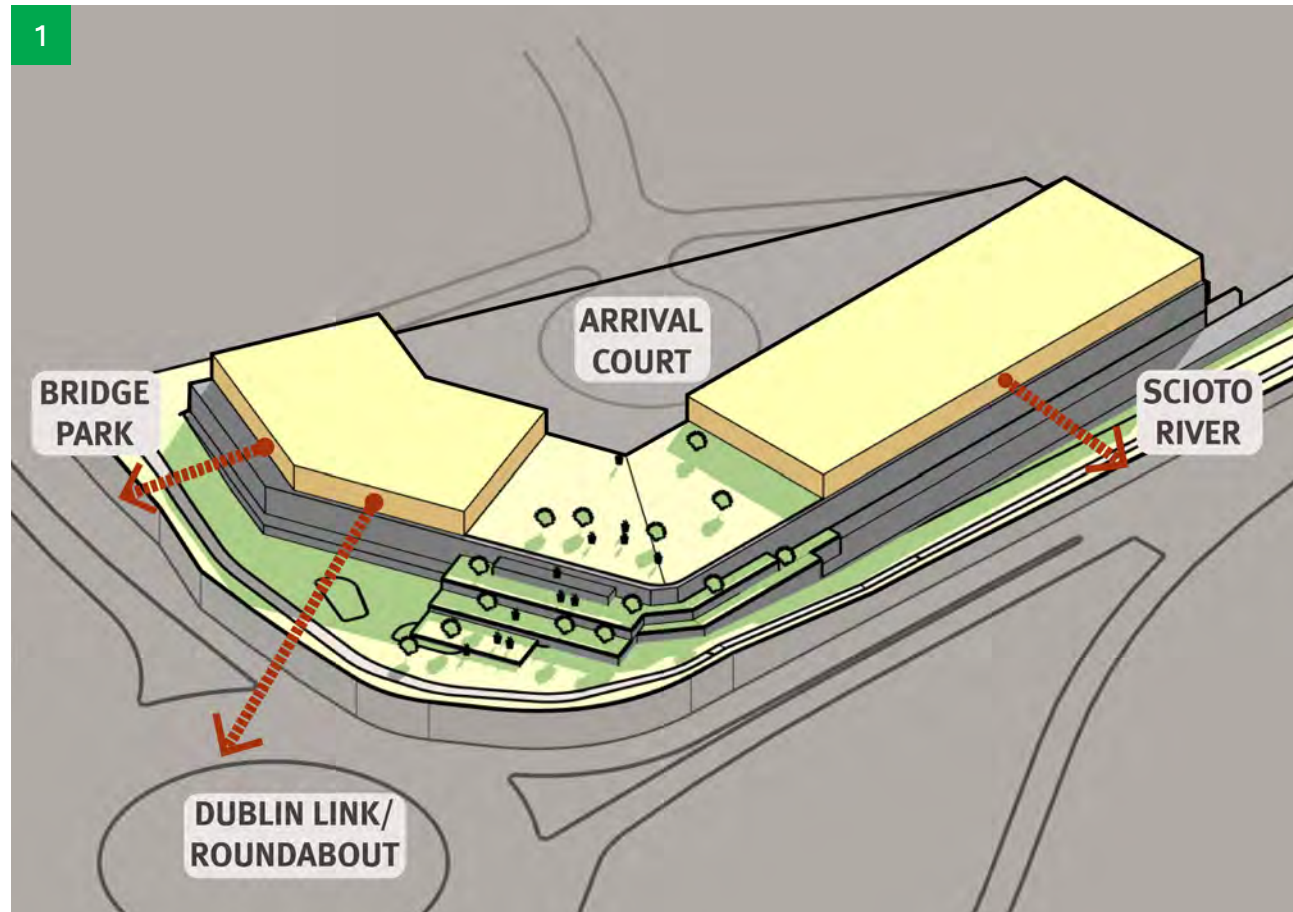






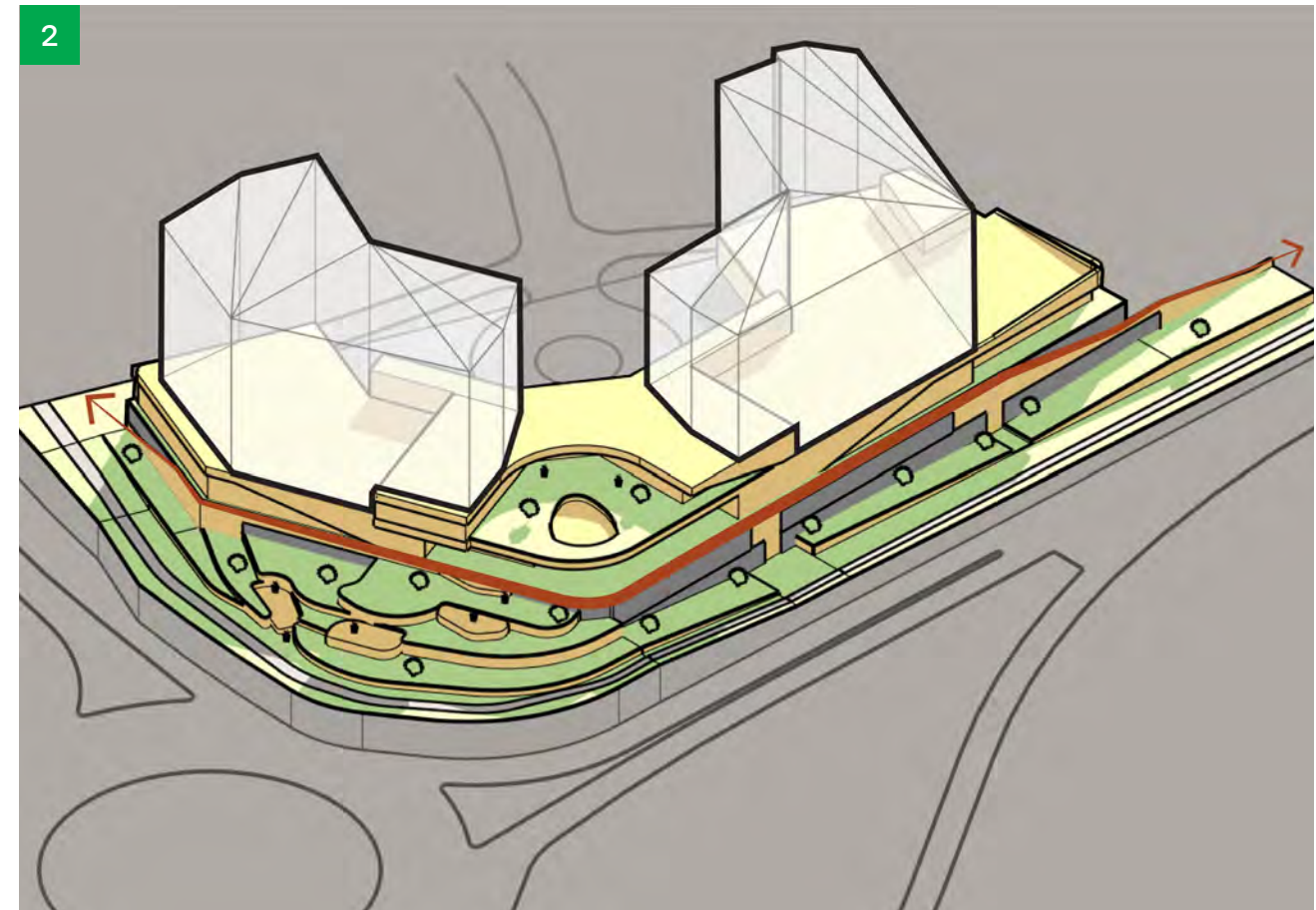






### Arrangement

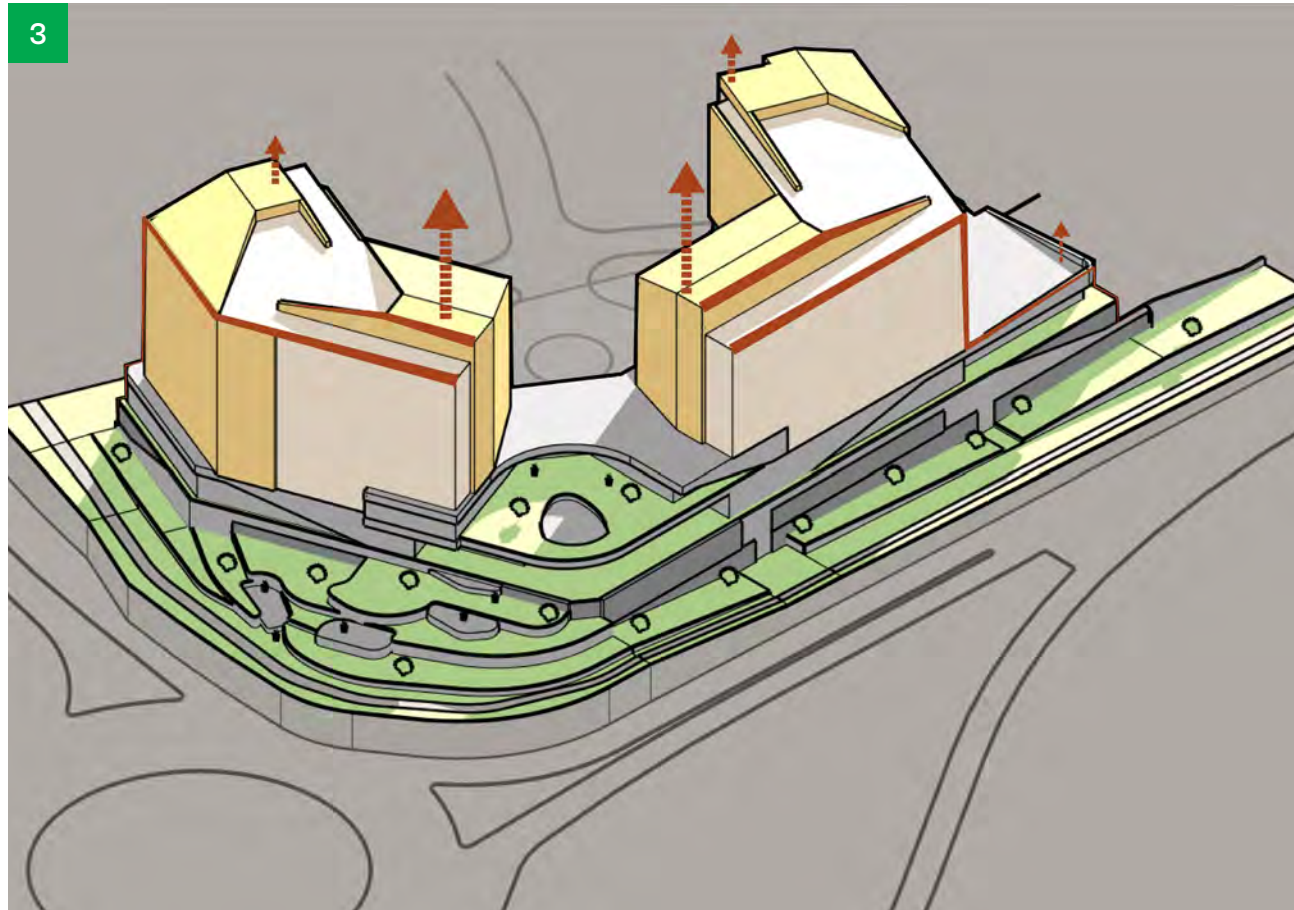
The site steps down from the arrival court entry to the roundabout, providing relief at the corner through a series of exterior terraces. The condominium and hotel programs are expressed as distinct volumes, each oriented to capture sweeping views of the surroundings.



### Connection

A continuous thread of public space defines a new ground plane, navigating the site's steep slope. This connective layer becomes a graceful landscape gesture lifting, carving, and weaving to reveal key programmatic moments; the event space, the lobby terrace, pool terrace, and restaurant. Intentional curves and angular expressions in the façade establish a spatial hierarchy and create a formal dialogue between the base and the towers above. The towers are sculpted in response to surrounding views and programmatic opportunities.





### Stepping

The towers reach their tallest heights at the prominent corner, gradually stepping down to respect the scale of the neighboring context. While the hotel and condominium programs maintain an internal focus, they reveal moments of outward expression at this key corner.



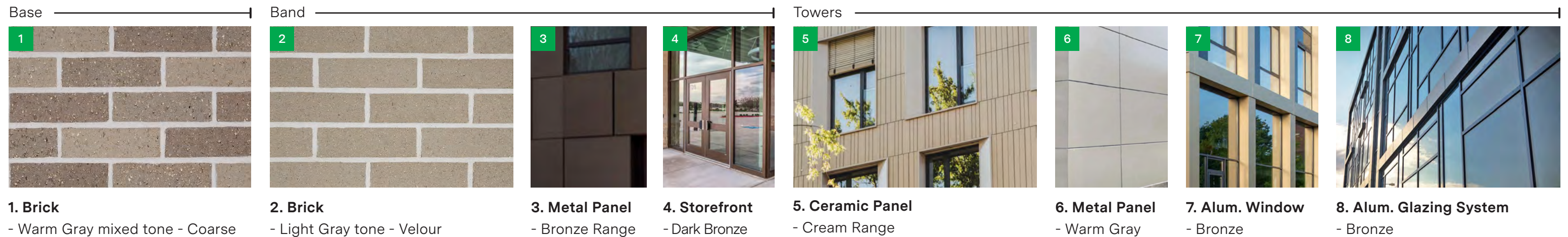
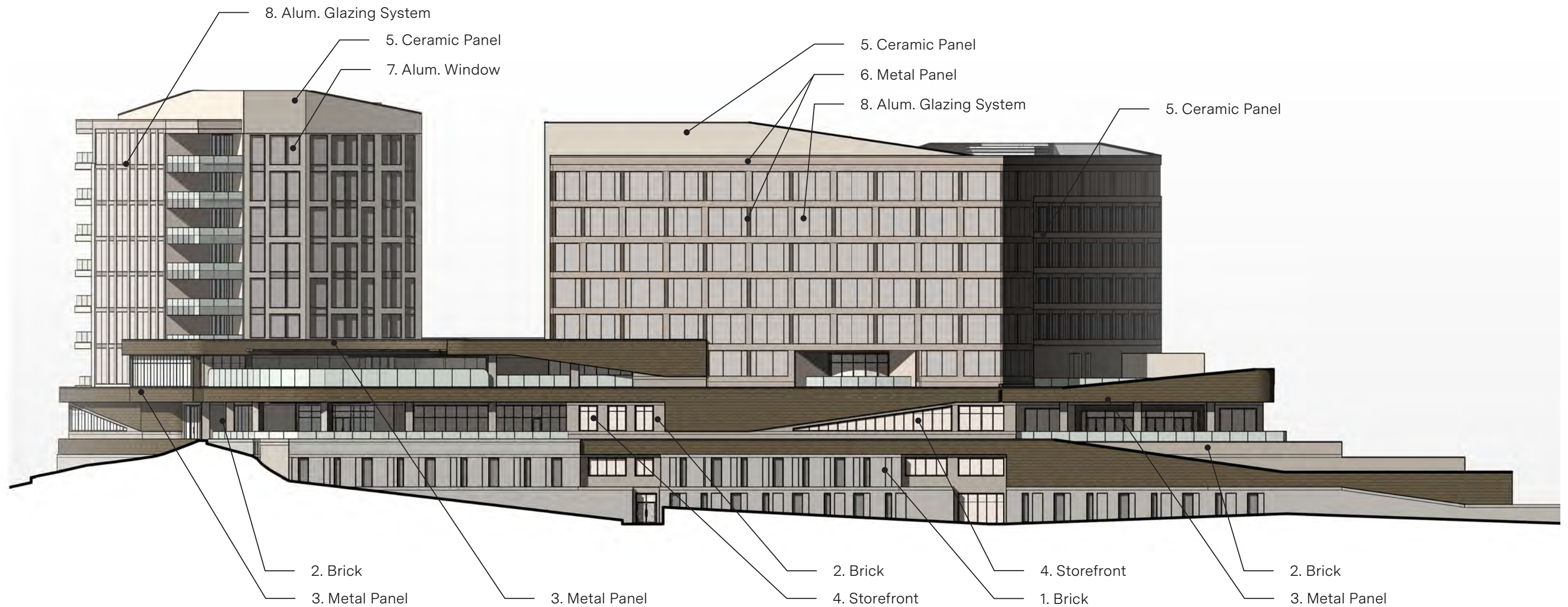
### Material

The towers share a relatable material palette, distinguished by texture and rhythm to establish identity. A unified public space enhances transparency and grounds the architecture in its natural context.

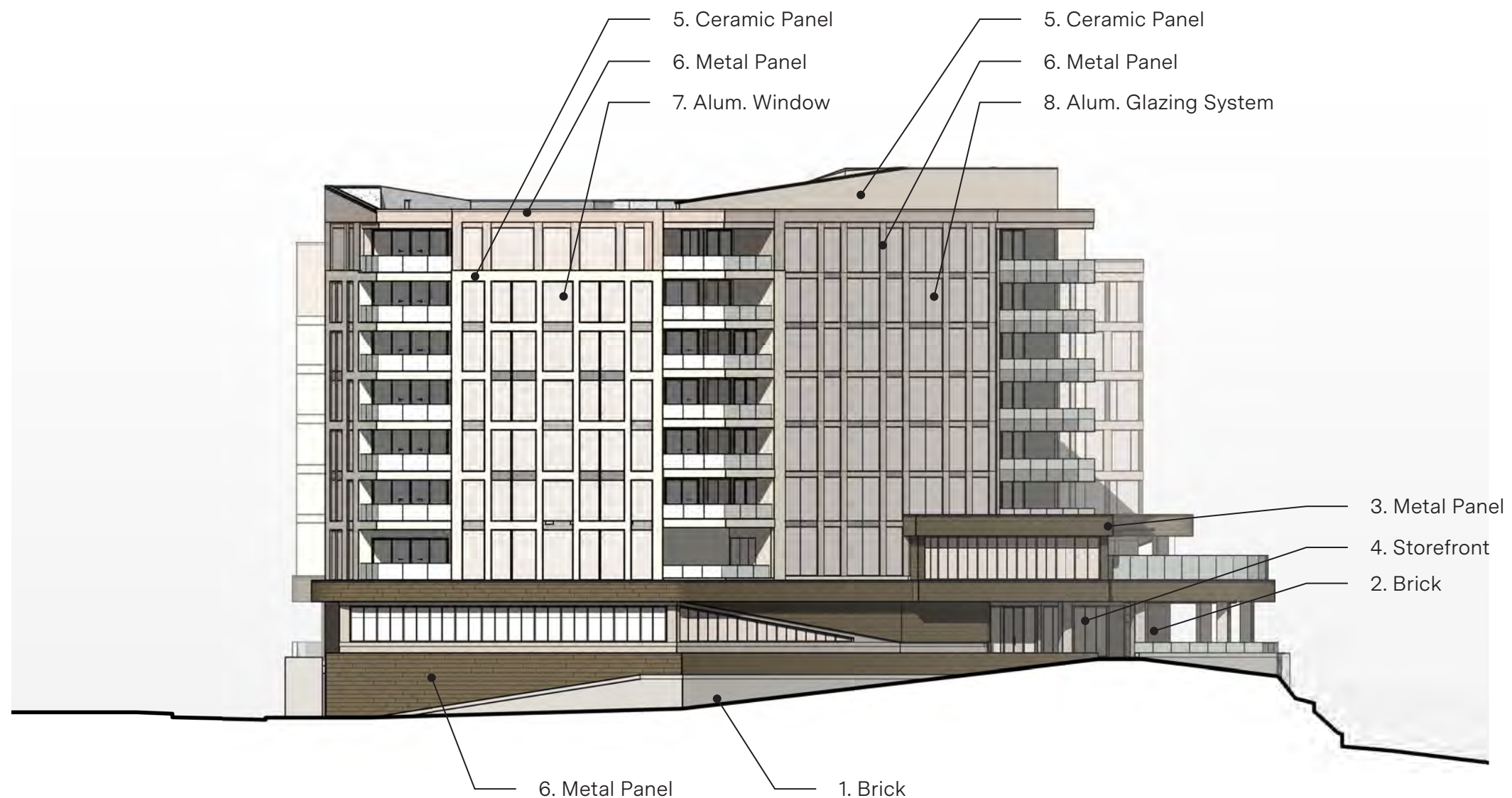












Base

Band

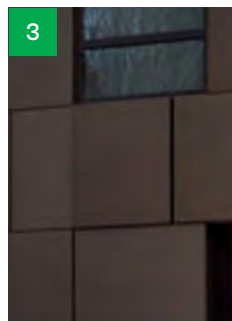
Towers



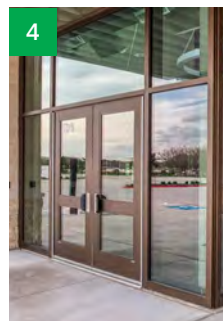
**1. Brick**  
- Warm Gray mixed tone - Coarse



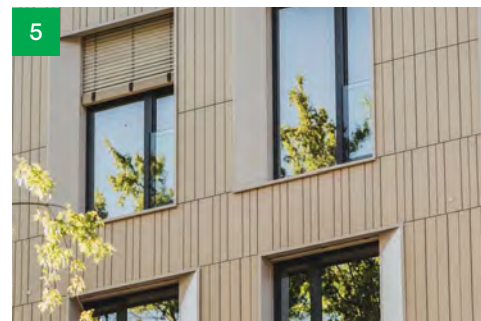
**2. Brick**  
- Light Gray tone - Velour



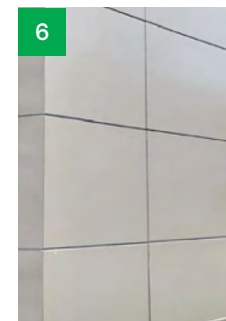
**3. Metal Panel**  
- Bronze Range



**4. Storefront**  
- Dark Bronze



**5. Ceramic Panel**  
- Cream Range



**6. Metal Panel**  
- Warm Gray

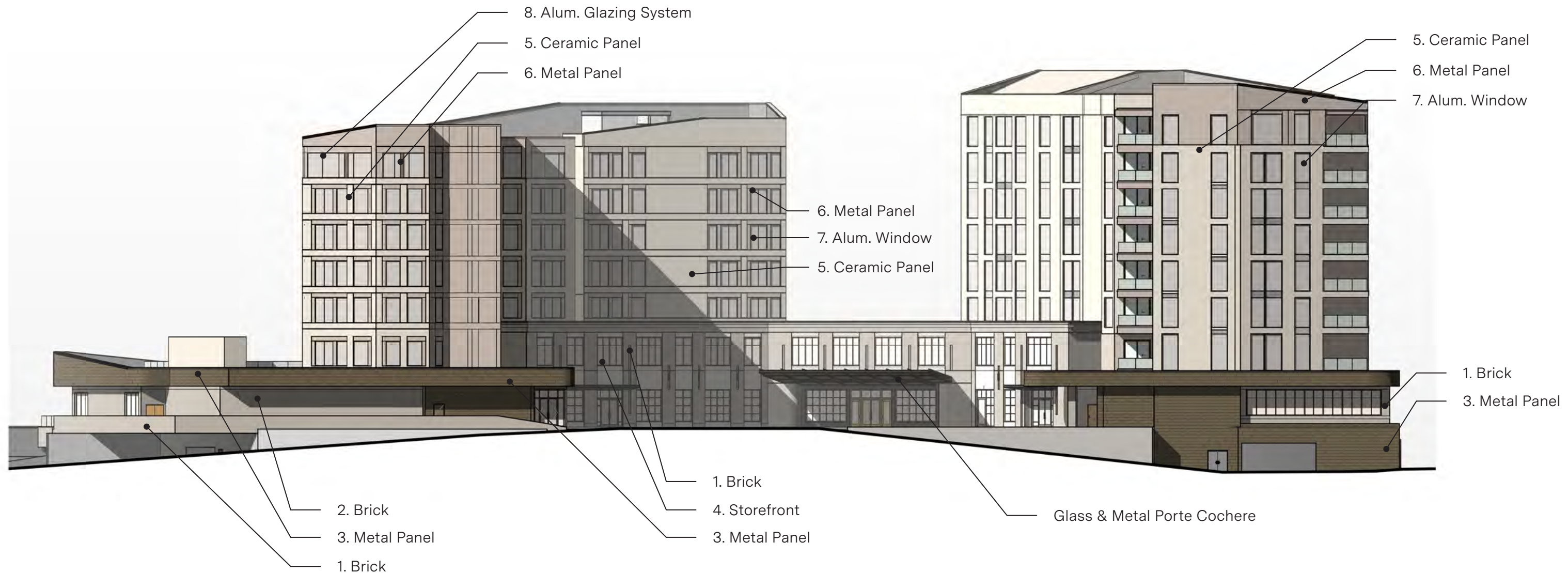


**7. Alum. Window**  
- Bronze



**8. Alum. Glazing System**  
- Bronze

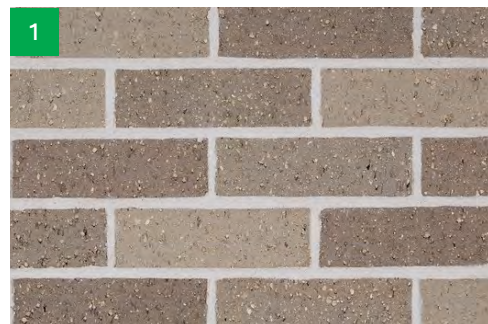




Base

Band

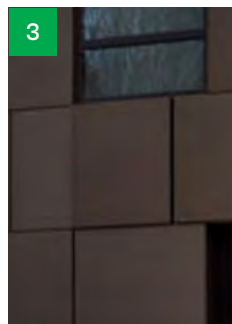
Towers



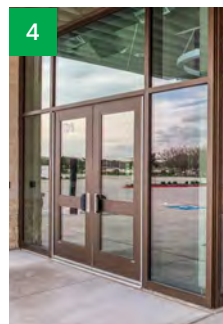
**1. Brick**  
- Warm Gray mixed tone - Coarse



**2. Brick**  
- Light Gray tone - Velour



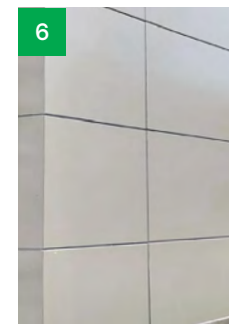
**3. Metal Panel**  
- Bronze Range



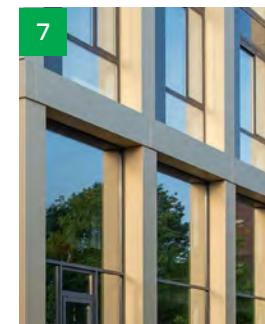
**4. Storefront**  
- Dark Bronze



**5. Ceramic Panel**  
- Cream Range



**6. Metal Panel**  
- Warm Gray

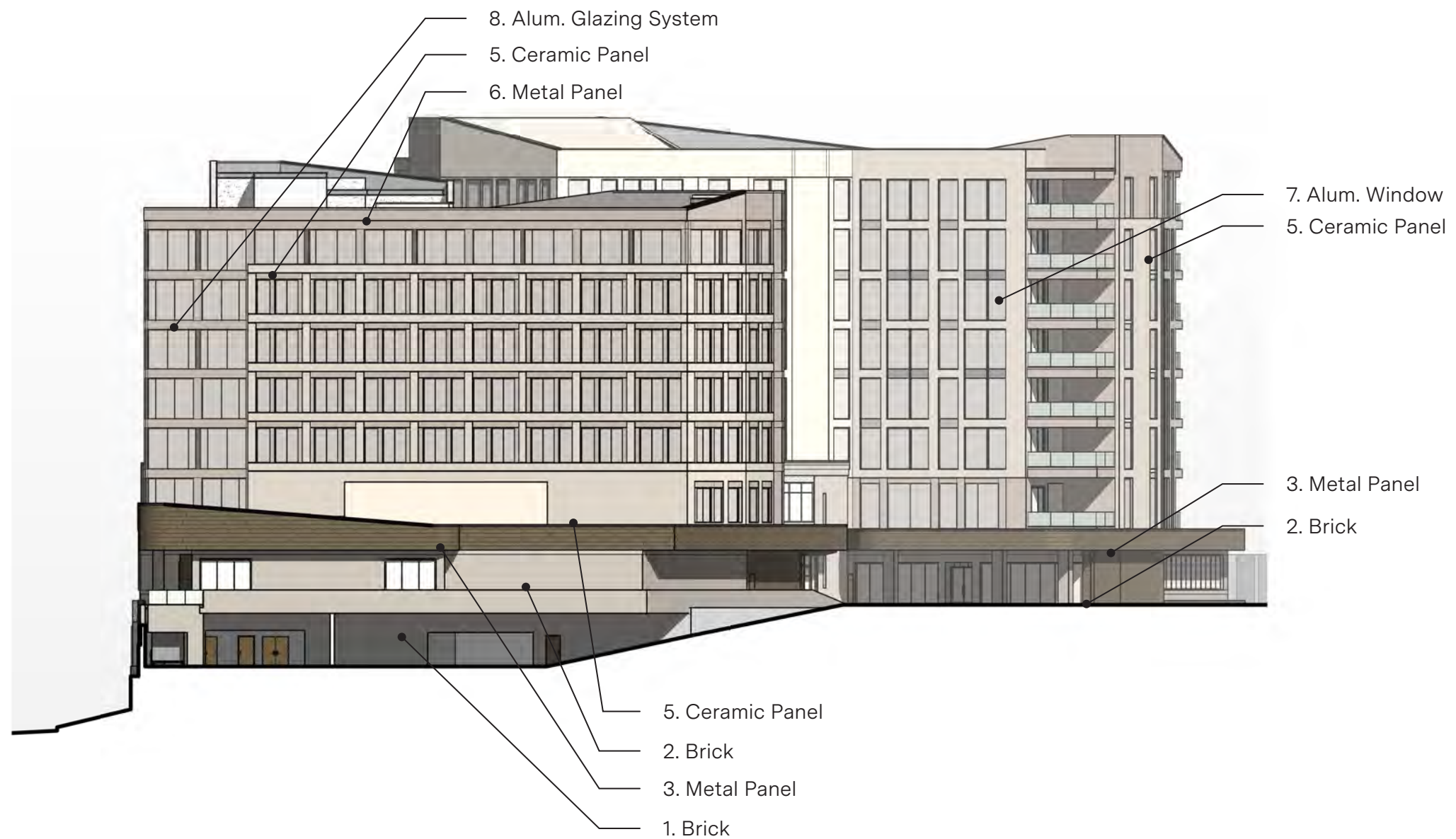


**7. Alum. Window**  
- Bronze



**8. Alum. Glazing System**  
- Bronze

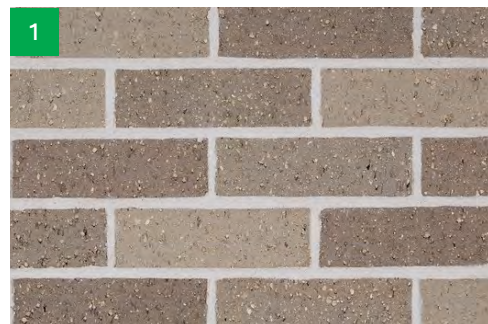




Base

Band

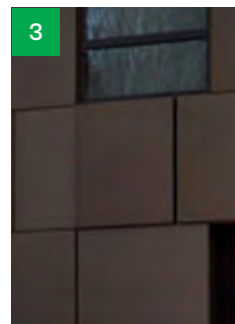
Towers



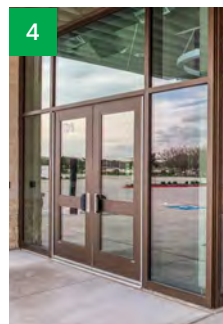
**1. Brick**  
- Warm Gray mixed tone - Coarse



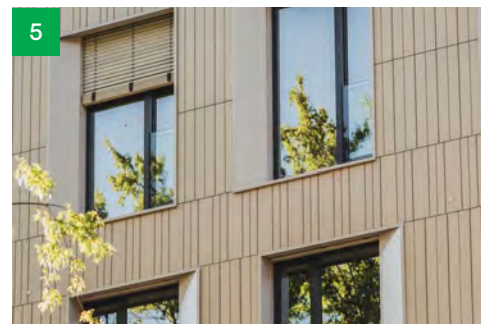
**2. Brick**  
- Light Gray tone - Velour



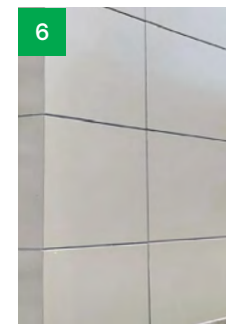
**3. Metal Panel**  
- Bronze Range



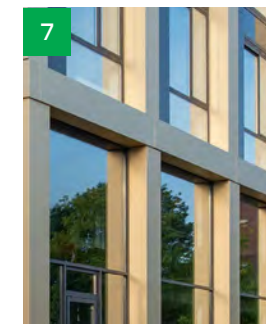
**4. Storefront**  
- Dark Bronze



**5. Ceramic Panel**  
- Cream Range



**6. Metal Panel**  
- Warm Gray

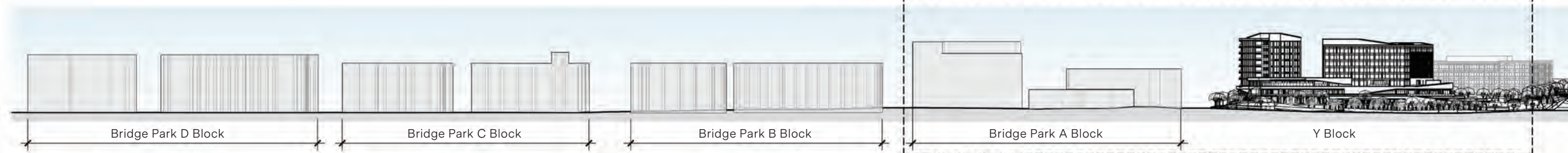
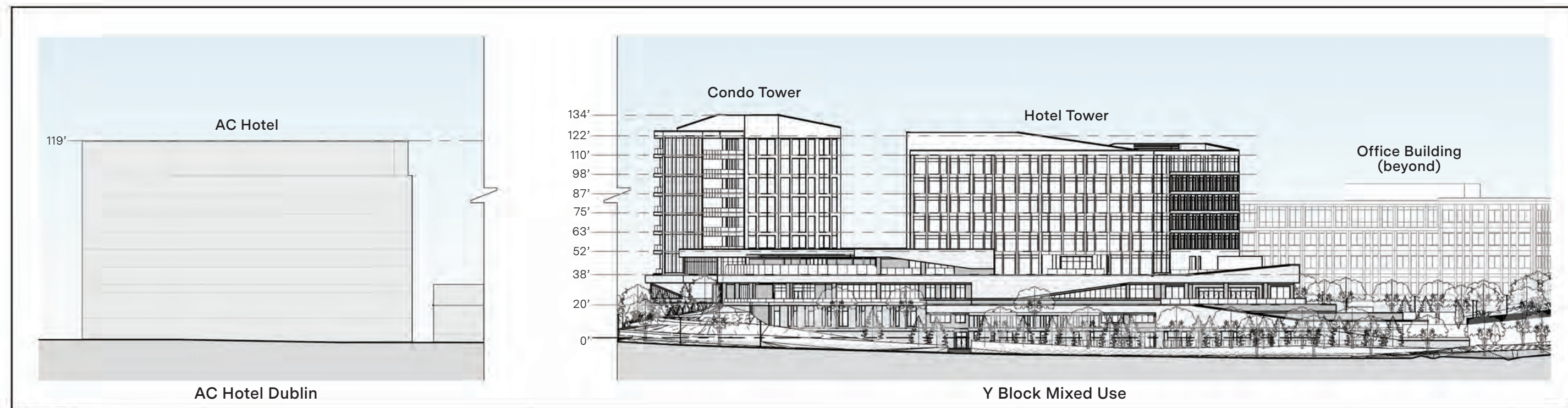


**7. Alum. Window**  
- Bronze

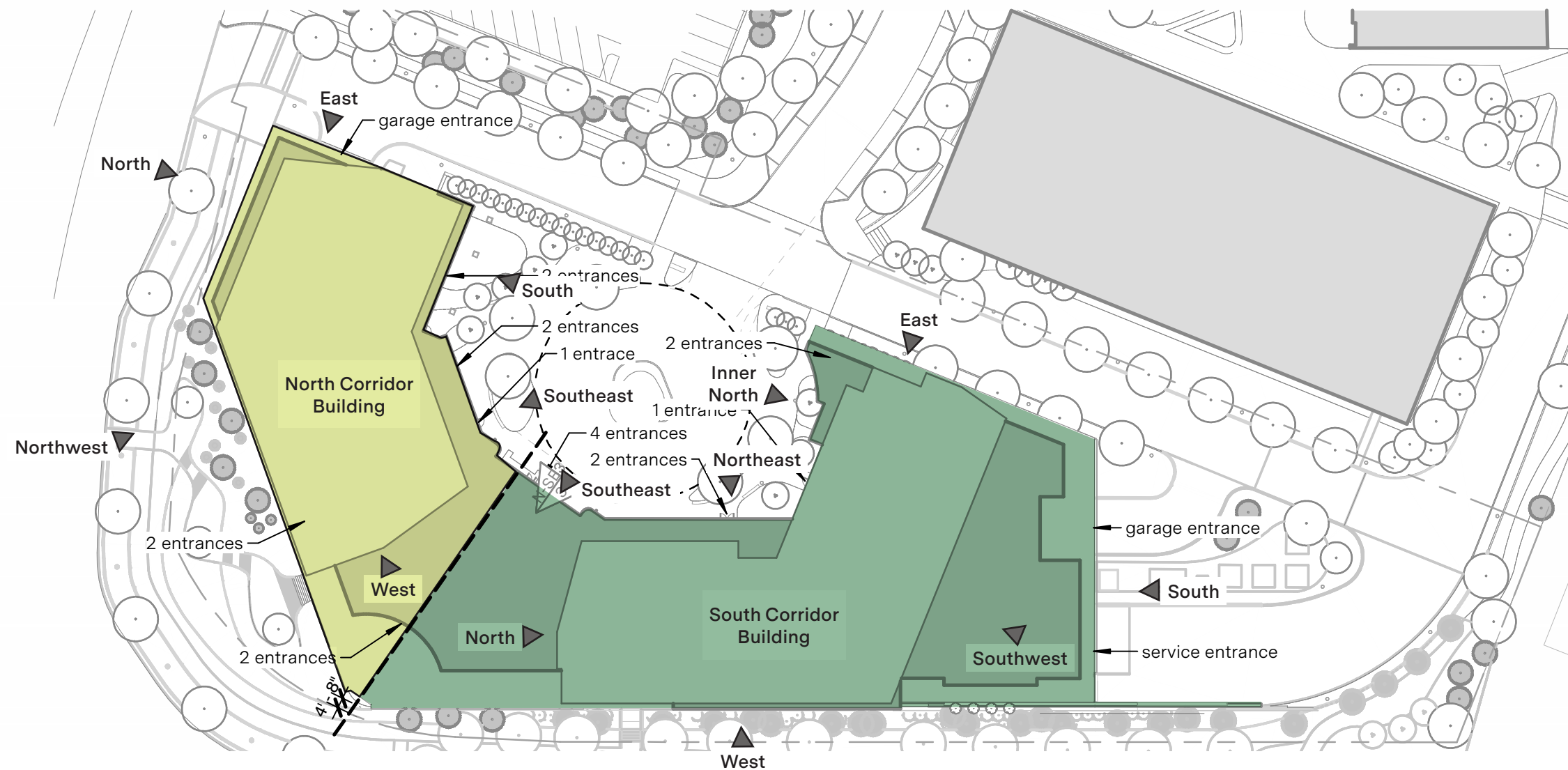
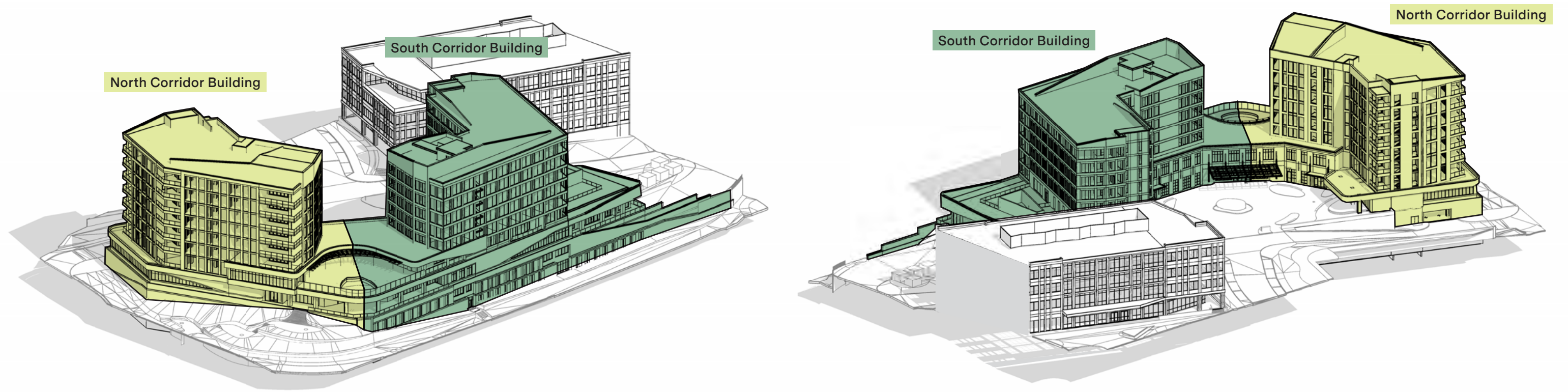


**8. Alum. Glazing System**  
- Bronze











A1. Street Frontage

Multiple Principal Buildings:	<u>Allowable:</u> Permitted	<u>Actual:</u> Complies
Front Property Line Coverage:	75% minimum	Complies; 80%
Occupation of Corner:	Required	Complies
Front RBZ:	0ft - 15ft	Complies
Corner Side RBZ:	0ft - 15ft	Complies
RBZ Treatment:	Landscape, Patio, or Streetscape; along West Dublin- Granville Road, Streetscape required	Complies
Right-of-Way Encroachment:	0ft - 15ft	Complies

A2. Buildable Area

	<u>Allowable:</u>	<u>Actual:</u>
Minimum Side Yard Setback:	5ft	Complies; 41'-0"
Minimum Rear Yard Setback:	5ft	N/A
Minimum Lot Width:	50ft	Complies; 444'-0"
Maximum Lot Width:	None	N/A
Maximum Impervious Coverage:	80%	81.2%
Additional Semi-Pervious Coverage:	10%	N/A

A3. Parking Location & Loading

Parking Location:	<u>Allowable:</u> Rear yard; within building	<u>Actual:</u> Within Building
Loading Facility Location:	Rear & side Facade	Side Facade
Entry for Parking within Building:	Rear & side facade; corner side facade on non-principal frontage streets	Rear & side facades
Access:	Refer to 153.062(N)(1)(c)	Complies

B. Height

REFERENCE FOLLOWING PAGES
---------------------------

C. Uses & Occupancy Requirements

Ground Story:	<u>Allowable:</u> Residential and general office uses are prohibited in shopping corridors; Podium parking structures are conditional uses in accordance with 153.059(C)(3)(g)	<u>Actual:</u> N/A Podium Parking Structure included
Upper Story:	No additional requirements	Complies
Parking within Building:	Permitted in the rear of the first 3 floors and fully in any basement(s)	Parking garage in Lower 3 Levels
Occupied Space:	Minimum 30ft depth facing street(s)	Complies

D1. Street Facade Transparency

REFERENCE FOLLOWING PAGES
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D2. Non-Street Facade Transparency

REFERENCE FOLLOWING PAGES
---------------------------

D3. Building Entrance

REFERENCE FOLLOWING PAGES
---------------------------

D4. Facade Divisions

REFERENCE FOLLOWING PAGES
---------------------------

D5. Facade Materials

	<u>Allowable:</u>	<u>Actual:</u>
Permitted Primary Materials:	Stone, Brick, Glass	Ref. Elevations

D6. Roof Types

Permitted Types:	<u>Allowable:</u> Parapet, pitched roof, flat roof;; other types may be permitted with approval	<u>Actual:</u> Ref. Elevations
Tower:	Permitted of facades only at terminal vistas, corners at two principal frontage streets, and/or adjacent to an open space type.	Ref. Elevations



NORTH BUILDING

B. Height

Minimum Height:	<u>Allowable:</u> 3 stories	<u>Actual:</u> Complies
Maximum Height:	6 stories	11 Total Stories 8 Above Ground Level
Ground Stories - Minimum Height:	12ft	Complies; 18ft
Ground Stories - Maximum Height	16ft	18ft
Stories - Minimum Height	10ft	Complies; 11ft 8in
Stories - Maximum Height	14ft	Complies; 14ft

D1. Street Facade Transparency

Ground Story Street Facing Transparency:	<u>Allowable:</u> Minimum 60% required	<u>Actual:</u> Ref. Elevations
Transparency:	Minimum 30%	Ref. Elevations
Blank Wall Limitations	Required	Ref. Elevations

D2. Non-Street Facade Transparency

Transparency:	<u>Allowable:</u> Minimum 15%	<u>Actual:</u> Ref. Elevations
Blank Wall Limitations:	Required	Ref. Elevations

D3. Building Entrance

Principal Entrance Location:	<u>Allowable:</u> Primary street facade of building	<u>Actual:</u> Complies
Street Facades - Number of Entrances:	1 per 75ft of facade min	Ref. Elevations
Parking Lot Facades - Number of Entrances	1 per 100ft of facade min	Ref. Elevations
Mid-Building Pedestrianway:	In shopping corridors, required for buildings greater than 250ft in length	N/A

D4. Facade Divisions

Vertical Increments:	<u>Allowable:</u> No greater than 45ft	<u>Actual:</u> Ref. Elevations
Horizontal Facade Divisions:	On buildings 3 stories or taller, required within 3ft of the top of the ground story. Required at any building step-back	Complies - Ref. Elevations
Required Change in Roof Plane or Type:	None	N/A

SOUTH BUILDING

B. Height

Minimum Height:	<u>Allowable:</u> 3 stories	<u>Actual:</u> Complies
Maximum Height:	6 stories	10 Total Stories 7 Above Ground Level
Ground Stories - Minimum Height:	12ft	Complies; 18ft
Ground Stories - Maximum Height	16ft	18ft
Stories - Minimum Height	10ft	Complies; 11ft 8in
Stories - Maximum Height	14ft	Complies; 14ft

D1. Street Facade Transparency

Ground Story Street Facing Transparency:	<u>Allowable:</u> Minimum 60% required	<u>Actual:</u> Ref. Elevations
Transparency:	Minimum 30%	Ref. Elevations
Blank Wall Limitations	Required	Ref. Elevations

D2. Non-Street Facade Transparency

Transparency:	<u>Allowable:</u> Minimum 15%	<u>Actual:</u> Ref. Elevations
Blank Wall Limitations:	Required	Ref. Elevations

D3. Building Entrance

Principal Entrance Location:	<u>Allowable:</u> Primary street facade of building	<u>Actual:</u> Complies
Street Facades - Number of Entrances:	1 per 75ft of facade min	Ref. Elevations
Parking Lot Facades - Number of Entrances	1 per 100ft of facade min	Ref. Elevations
Mid-Building Pedestrianway:	In shopping corridors, required for buildings greater than 250ft in length	N/A

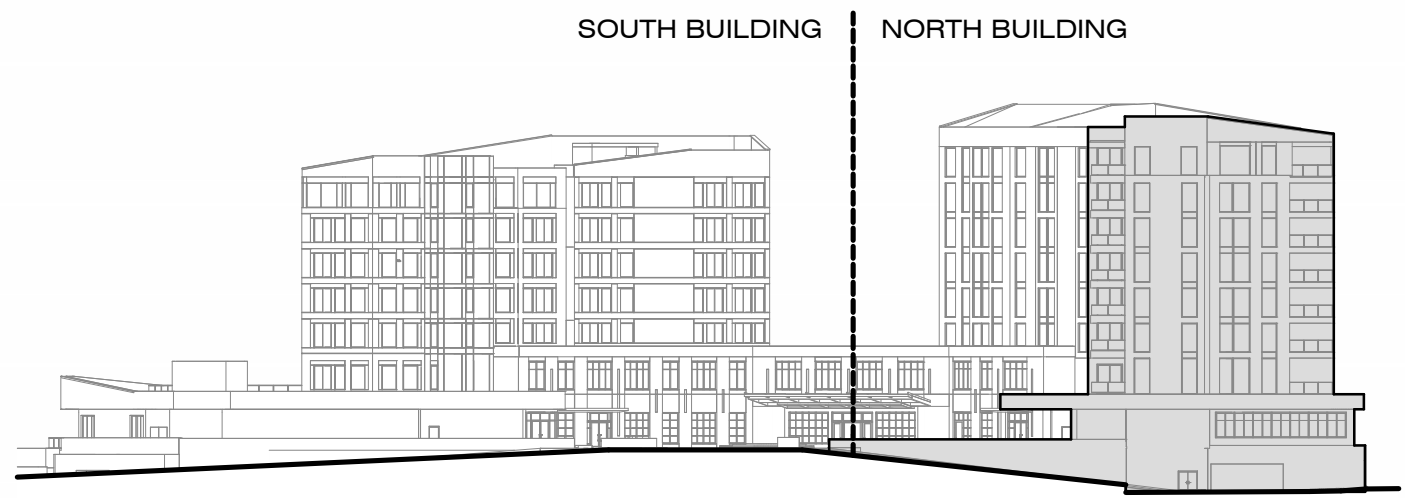
D4. Facade Divisions

Vertical Increments:	<u>Allowable:</u> No greater than 45ft	<u>Actual:</u> Ref. Elevations
Horizontal Facade Divisions:	On buildings 3 stories or taller, required within 3ft of the top of the ground story. Required at any building step-back	Complies - Ref. Elevations
Required Change in Roof Plane or Type:	None	N/A



NORTH BUILDING: EAST ELEVATION GENERAL NOTES:

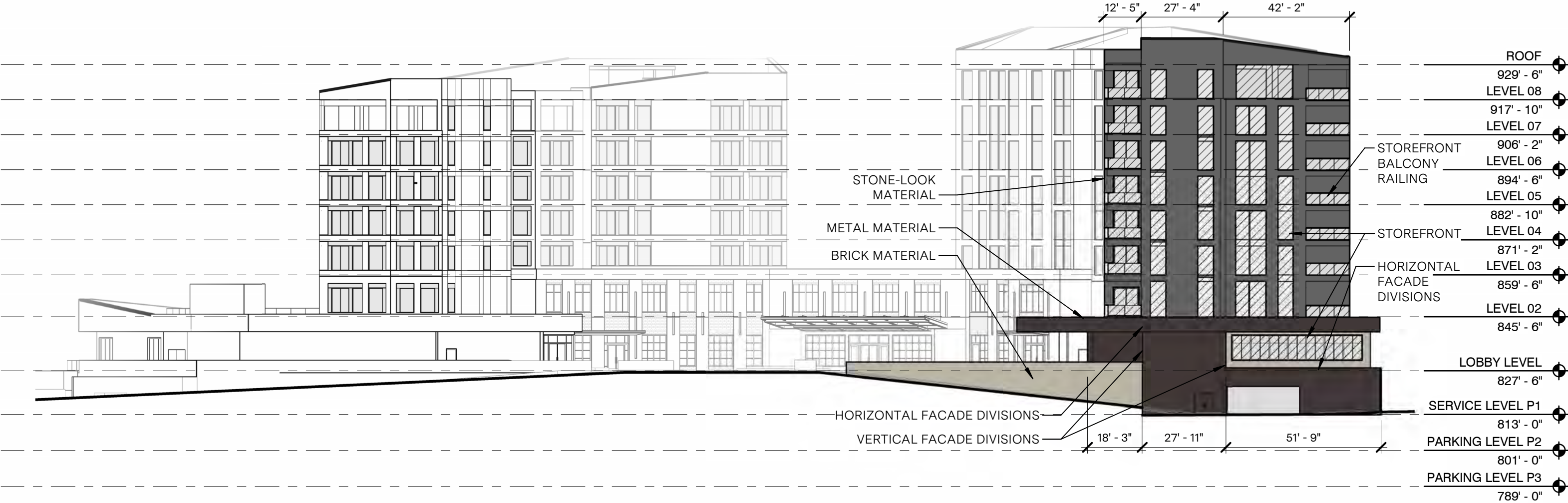
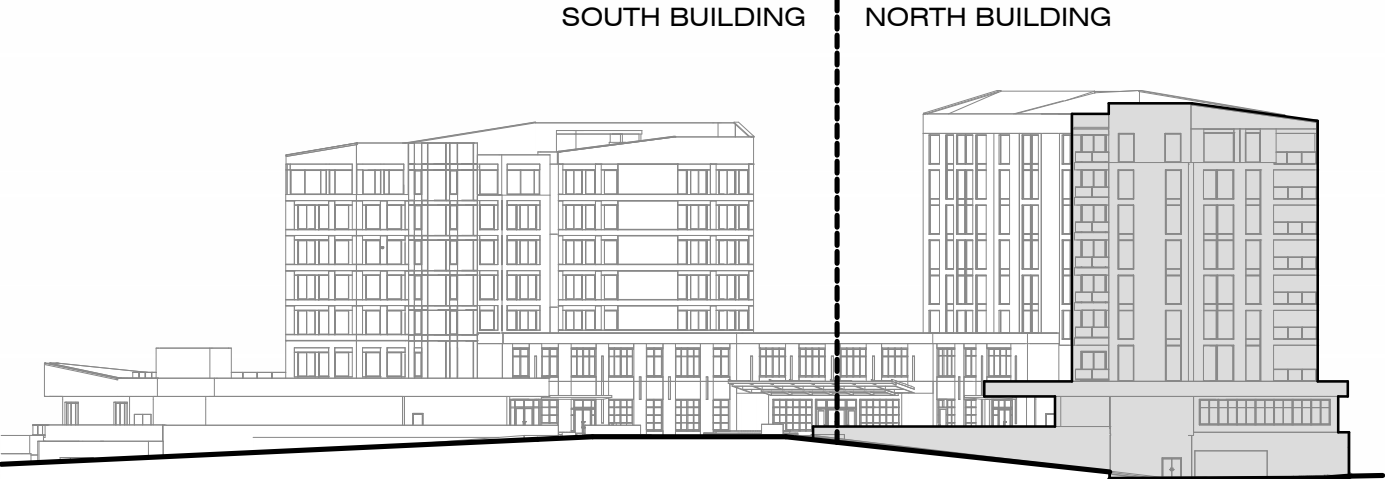
FACADE REQUIREMENTS:		NON-STREET FACADE TRANSPARENCY	
STREET FACADE:	NO	TOTAL AREA:	11,298 SF
PRINCIPLE ENTRANCE:	NO	TRANSPARENCY:	
		GLAZING AREA:	3,367 SF
NUMBER OF ENTRANCES		REQUIRED:	15% min
FACADE LENGTH:	121'-6"	PROVIDED:	29.8%
REQUIRED:	0		
PROVIDED:	0		
BLANK WALL LIMITATION			
REQUIRED:	YES (NONE GREATER THAN 15'-0" OR 30% OF BUILDING FACADE/STORY)		
PROVIDED:	NO; GREATER THAN 15'-0"		





NORTH BUILDING: EAST ELEVATION FACADE NOTES:

TOTAL FACADE AREA:	12,835 SF	VERTICAL FACADE INCREMENTS
MATERIALS		REQUIRED: YES (NO GREATER THAN 45'-0")
PRIMARY MATERIAL TYPES		PROVIDED: NO
BRICK:	1,176 SF	
GLAZING (WINDOWS AND DOORS):	3,367 SF	HORIZONTAL FACADE DIVISIONS
STONE-LOOK PANEL:	6,157 SF	REQUIRED: YES (WITHIN 3'-0" TO TOP OF
TOTAL:	10,700 SF	GROUND STORY)
		PROVIDED: YES
SECONDARY MATERIAL TYPES:		
METAL PANEL:	2,135 SF	
PRIMARY MATERIALS		
REQUIRED:	80%	
PROVIDED:	83.4% (10,700 / 12,835 = 0.834)	



East Elevation  
scale: 1/32" = 1'-0"



NORTH BUILDING - NORTH ELEVATION GENERAL NOTES:

FACADE REQUIREMENTS:

STREET FACADE: YES  
PRINCIPLE ENTRANCE: NO

NUMBER OF ENTRANCES

FACADE LENGTH: 91'-1"  
REQUIRED: 2  
91'-1" / 75 = 1.21  
PROVIDED: 0

BLANK WALL LIMITATION

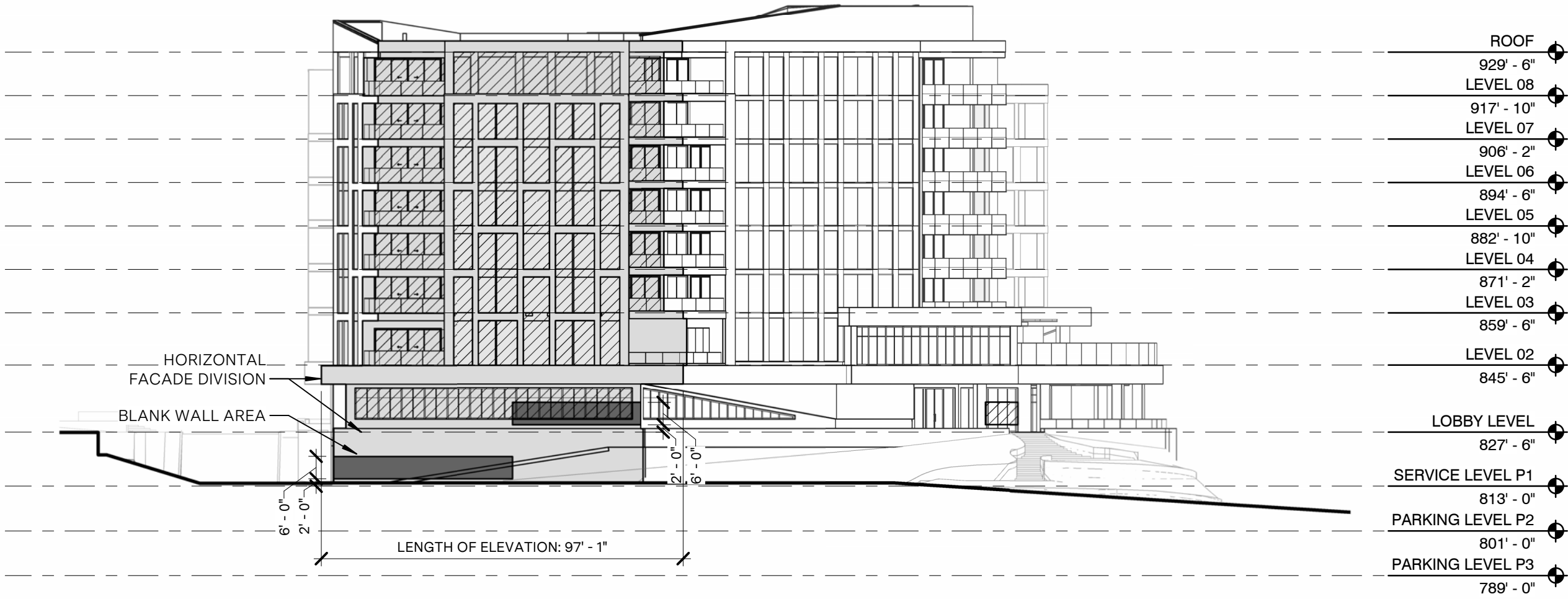
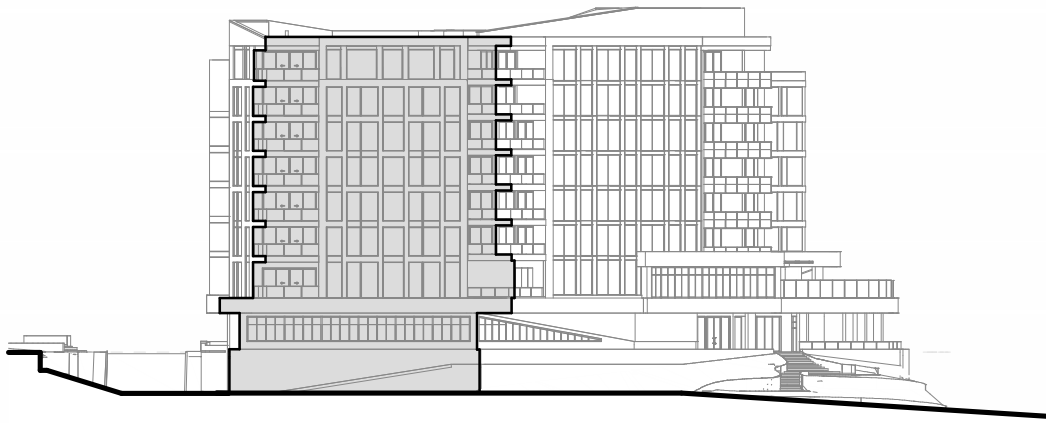
REQUIRED: YES (NONE GREATER THAN 15'-0" OR 30% OF BUILDING FACADE/STORY)  
PROVIDED: YES

GROUND LEVEL

HEIGHT: VARIES, REF. LEVELS  
TOTAL AREA: 3,316 SF  
TRANSPARENCY:  
ZONE AREA: 494 SF  
GLAZING AREA: 197 SF  
REQUIRED: 60% MIN  
PROVIDED: 39.9%

OVERALL

TOTAL AREA: 9,842 SF  
TRANSPARENCY:  
GLAZING AREA: 5,399 SF  
REQUIRED: 30% min  
PROVIDED: 54.9%

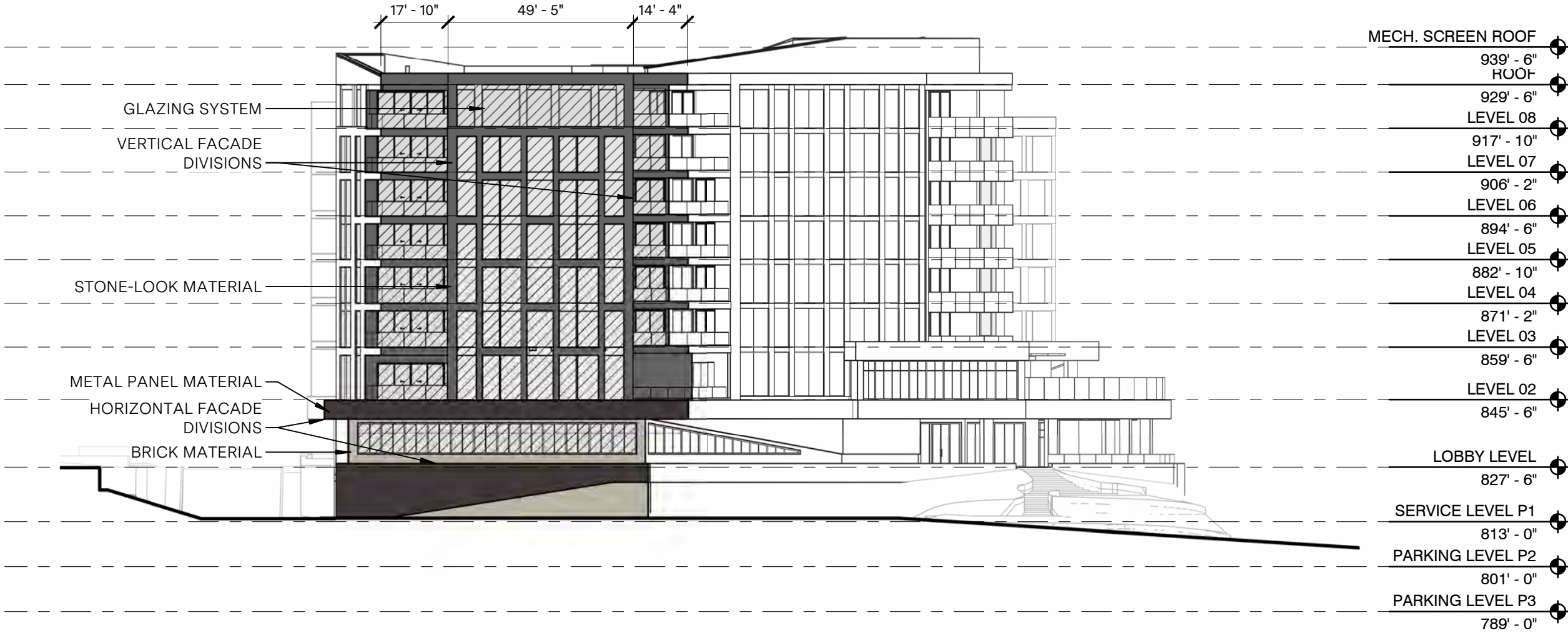
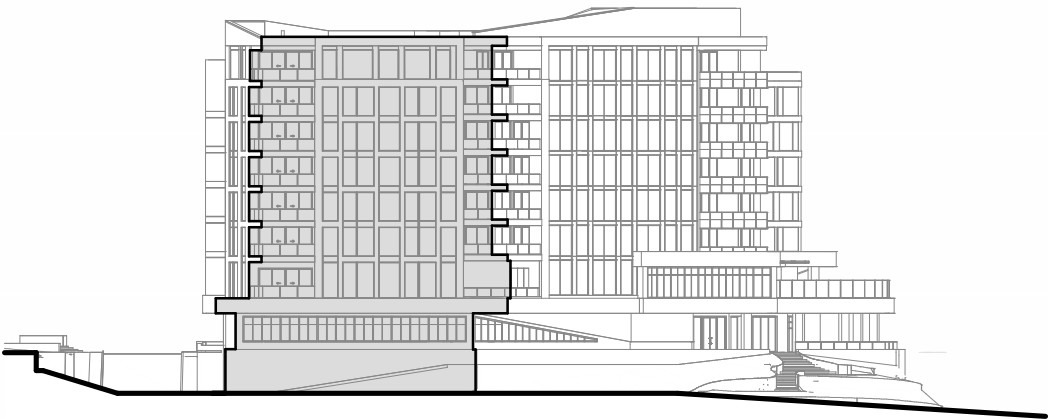


North Elevation  
scale: 1/32" = 1'-0"



NORTH BUILDING - NORTH ELEVATION GENERAL NOTES:

TOTAL FACADE AREA:	9,769 SF	VERTICAL FACADE INCREMENTS
MATERIALS		REQUIRED: YES (NO GREATER THAN 45'-0")
PRIMARY MATERIAL TYPES		PROVIDED: NO
BRICK:	698 SF	
GLAZING (WINDOWS AND DOORS):	5,399 SF	HORIZONTAL FACADE DIVISIONS
STONE-LOOK PANEL:	2,352 SF	REQUIRED: YES (WITHIN 3'-0" TO TOP OF
TOTAL:	8,449 SF	GROUND STORY)
		PROVIDED: YES
SECONDARY MATERIAL TYPES:		
METAL PANEL:	1,320 SF	
PRIMARY MATERIALS		
REQUIRED:	80%	
PROVIDED:	86.5% (8,449 / 9,769 = 0.865)	



North Elevation  
scale: 1/32" = 1'-0"



NORTH BUILDING - NORTH WEST ELEVATION GENERAL NOTES:

FACADE REQUIREMENTS:

STREET FACADE: YES  
PRINCIPLE ENTRANCE: YES

NUMBER OF ENTRANCES

FACADE LENGTH: 136'-2"  
REQUIRED: 2  
136'-2" / 75 = 1.82  
PROVIDED: 2

BLANK WALL LIMITATION

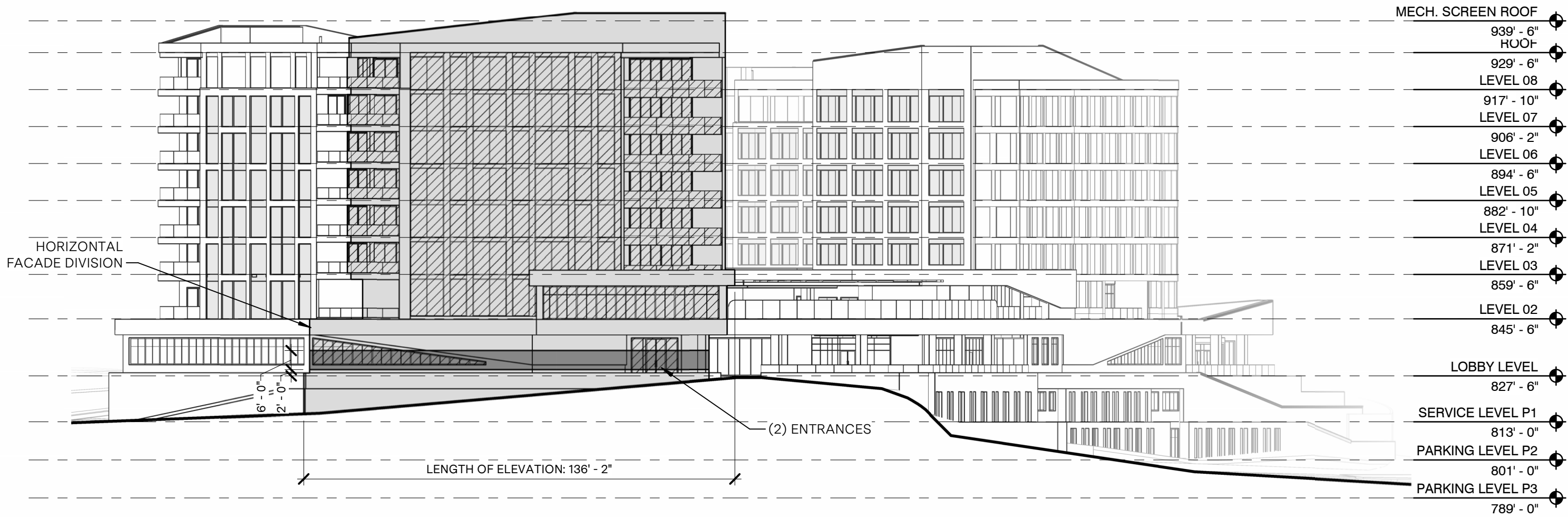
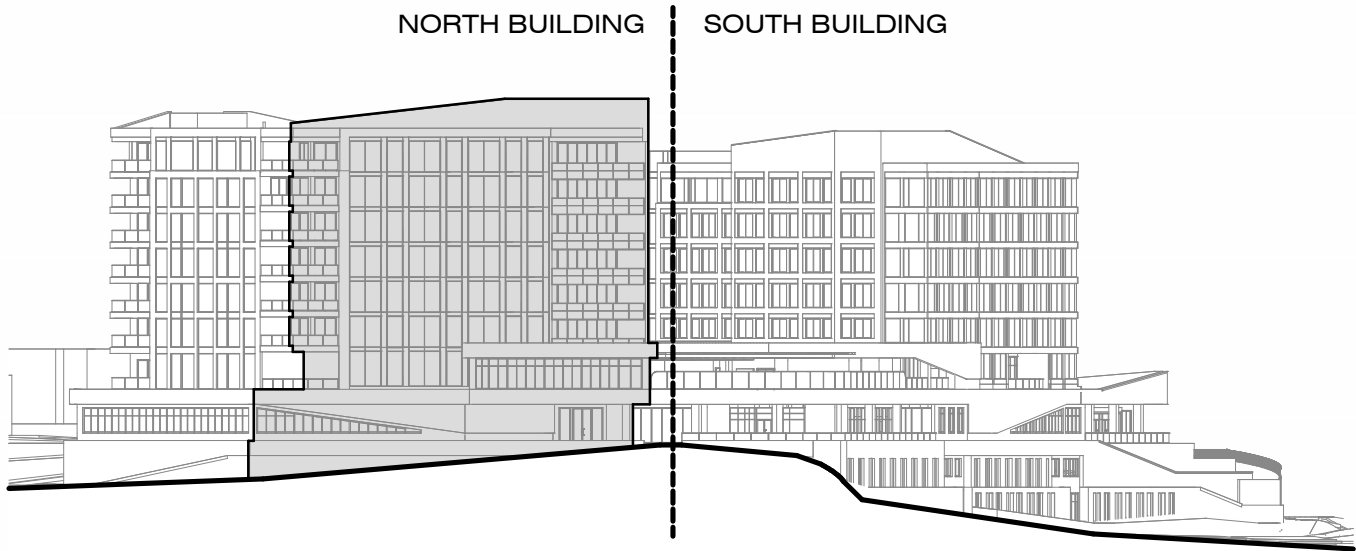
REQUIRED: YES (NONE GREATER THAN 15'-0" OR  
30% OF BUILDING FACADE/STORY)  
PROVIDED: YES

GROUND LEVEL

HEIGHT: 18'-0"  
TRANSPARENCY:  
ZONE AREA: 757 SF  
GLAZING AREA: 289 SF  
REQUIRED: 60% MIN  
PROVIDED: 38.2%

OVERALL

TOTAL AREA: 14,373 SF  
TRANSPARENCY:  
GLAZING AREA: 8,731 SF  
REQUIRED: 30% min  
PROVIDED: 60.7%

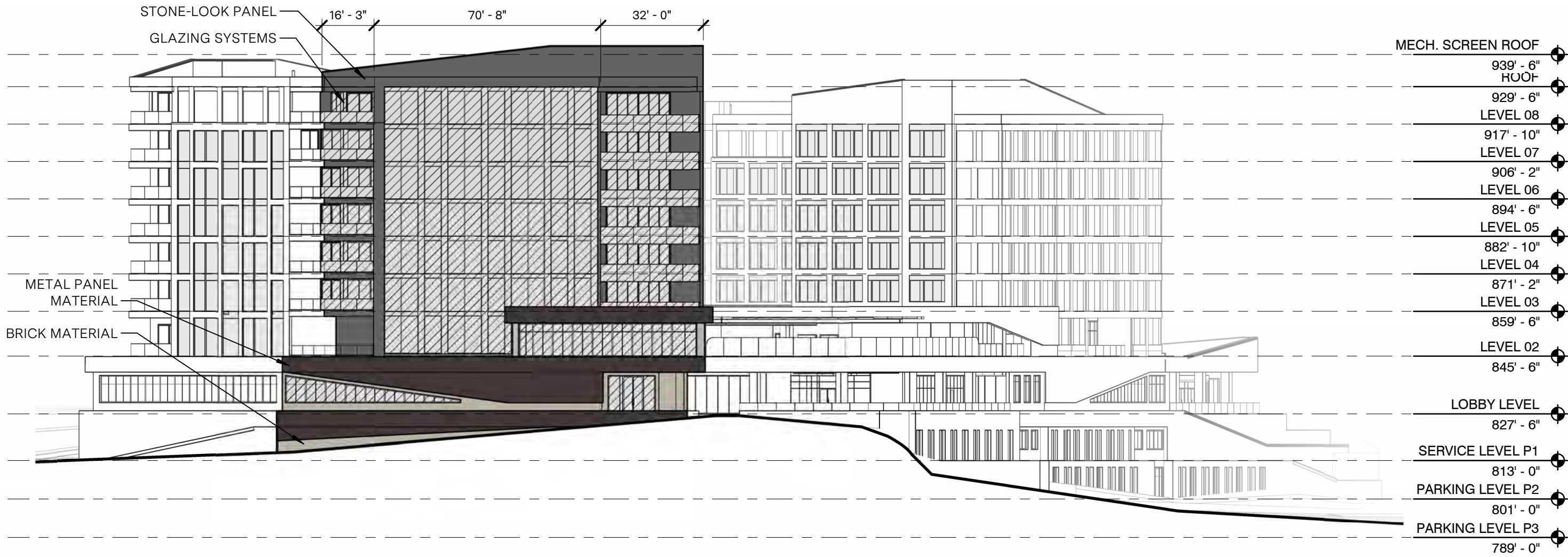
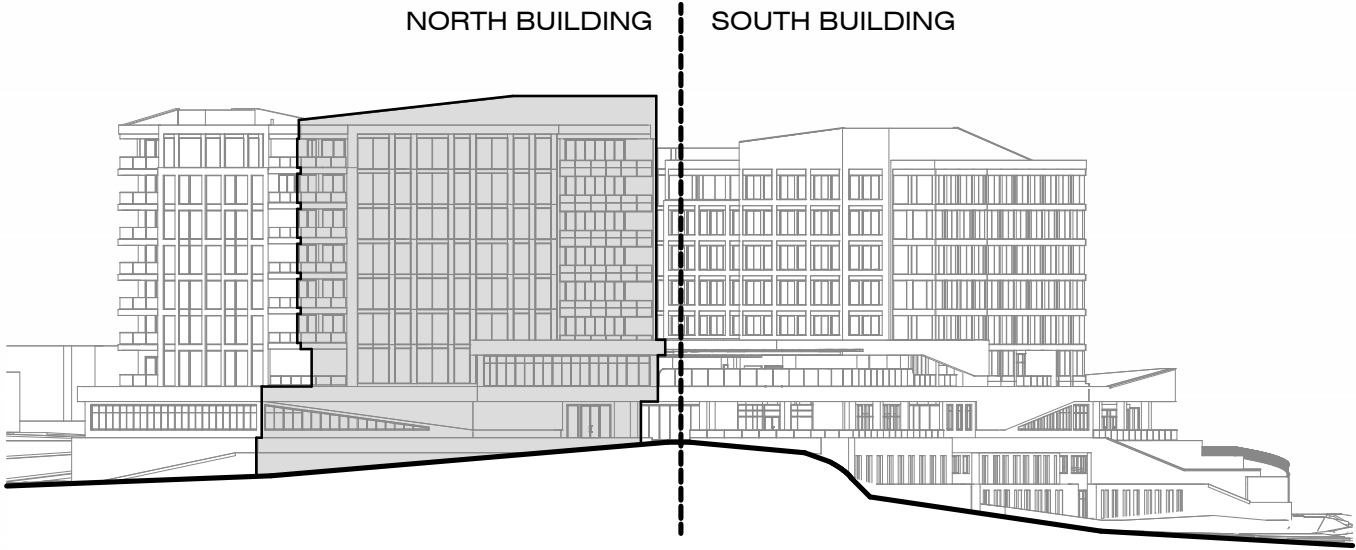


NORTH BUILDING - NORTH WEST ELEVATION - GENERAL  
scale: 1/32" = 1'-0"



NORTH BUILDING - NORTH WEST ELEVATION GENERAL NOTES:

TOTAL FACADE AREA:	14,371 SF	VERTICAL FACADE INCREMENTS
MATERIALS		REQUIRED: YES (NO GREATER THAN 45'-0")
PRIMARY MATERIAL TYPES		PROVIDED: NO
BRICK:	734 SF	
GLAZING (WINDOWS AND DOORS):	8,731 SF	HORIZONTAL FACADE DIVISIONS
STONE-LOOK PANEL:	2,526 SF	REQUIRED: YES (WITHIN 3'-0" TO TOP OF
TOTAL:	11,991 SF	GROUND STORY)
		PROVIDED: YES
SECONDARY MATERIAL TYPES:		
METAL PANEL:	2,380 SF	
PRIMARY MATERIALS		
REQUIRED:	80%	
PROVIDED:	83.4% (11,991 / 14,371 = 0.834)	



NORTH BUILDING - NORTH WEST ELEVATION - MATERIALS  
scale: 1/32" = 1'-0"



NORTH BUILDING - SOUTH ELEVATION GENERAL NOTES:

FACADE REQUIREMENTS:

STREET FACADE: NO  
PRINCIPLE ENTRANCE: NO

NUMBER OF ENTRANCES

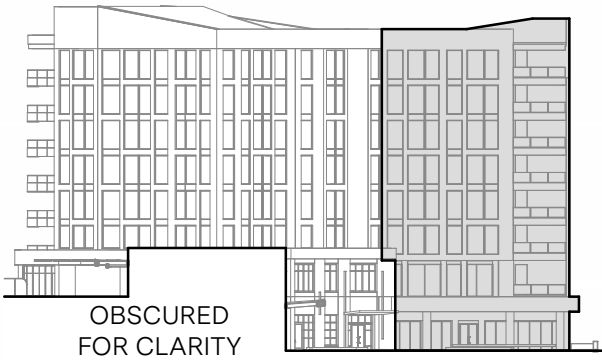
FACADE LENGTH: 65'-9"  
REQUIRED: 0  
PROVIDED: 0

BLANK WALL LIMITATION

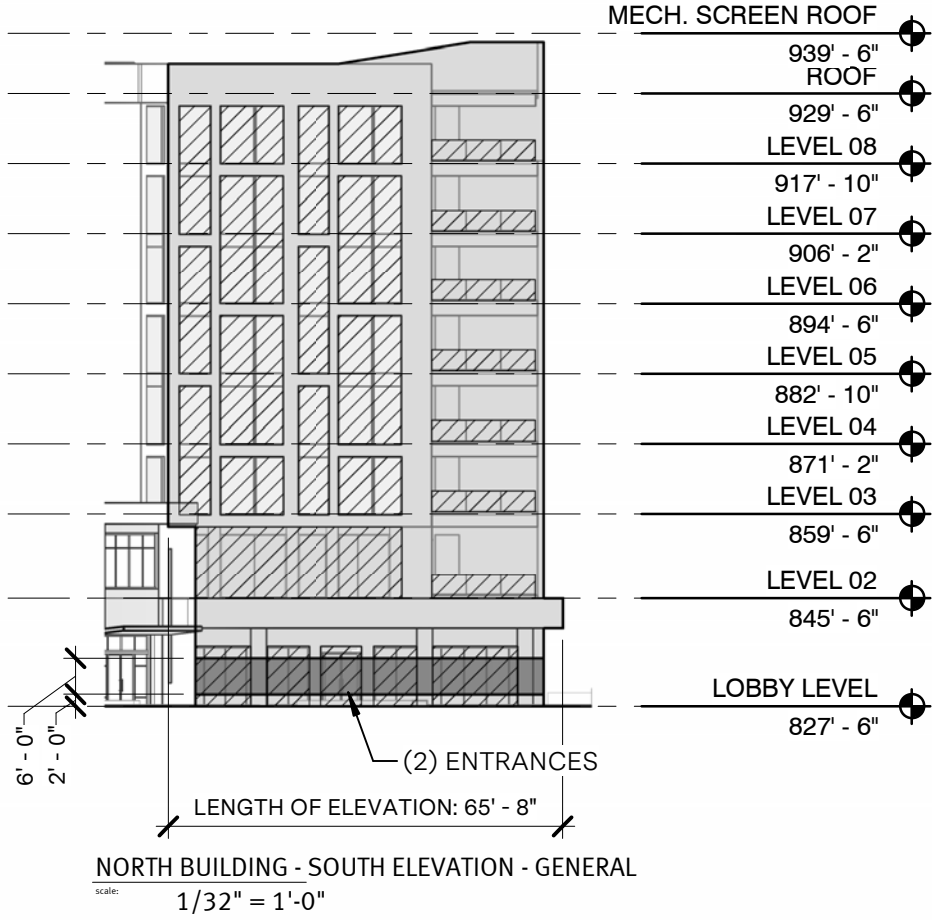
REQUIRED: YES (NONE GREATER THAN 15'-0" OR  
30% OF BUILDING FACADE/STORY)  
PROVIDED: YES

NON-STREET FACADE TRANSPARENCY

TOTAL AREA: 6,642 SF  
TRANSPARENCY:  
GLAZING AREA: 3,256 SF  
REQUIRED: 15% min  
PROVIDED: 49%



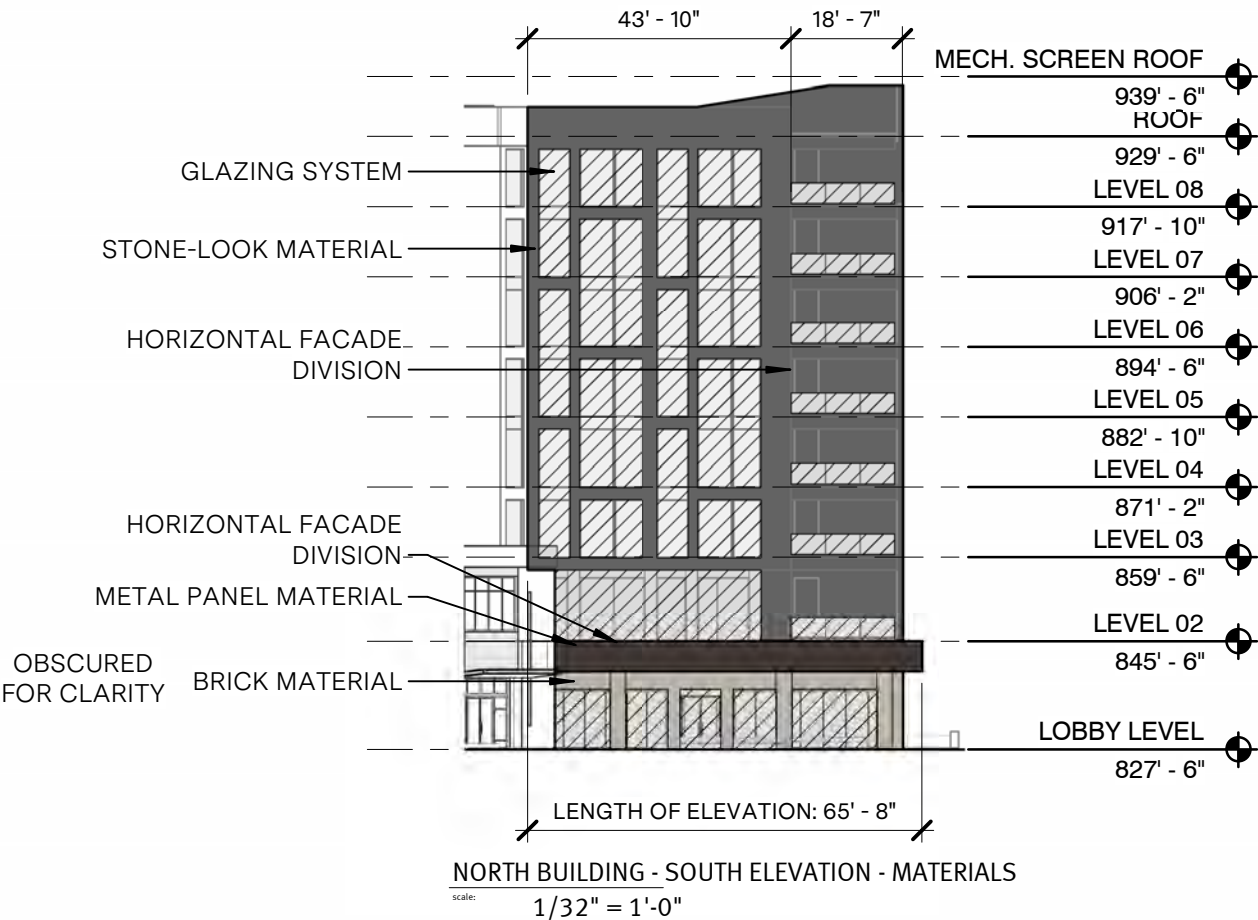
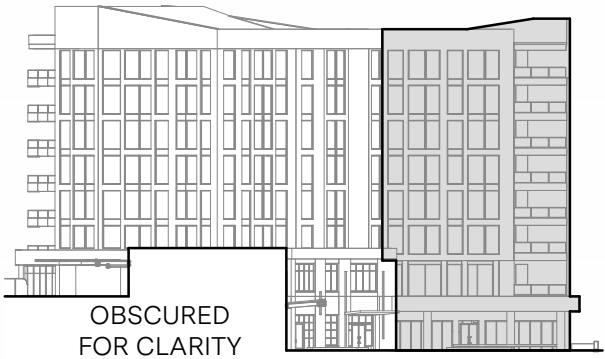
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FOR CLARITY





NORTH BUILDING - SOUTH ELEVATION GENERAL NOTES:

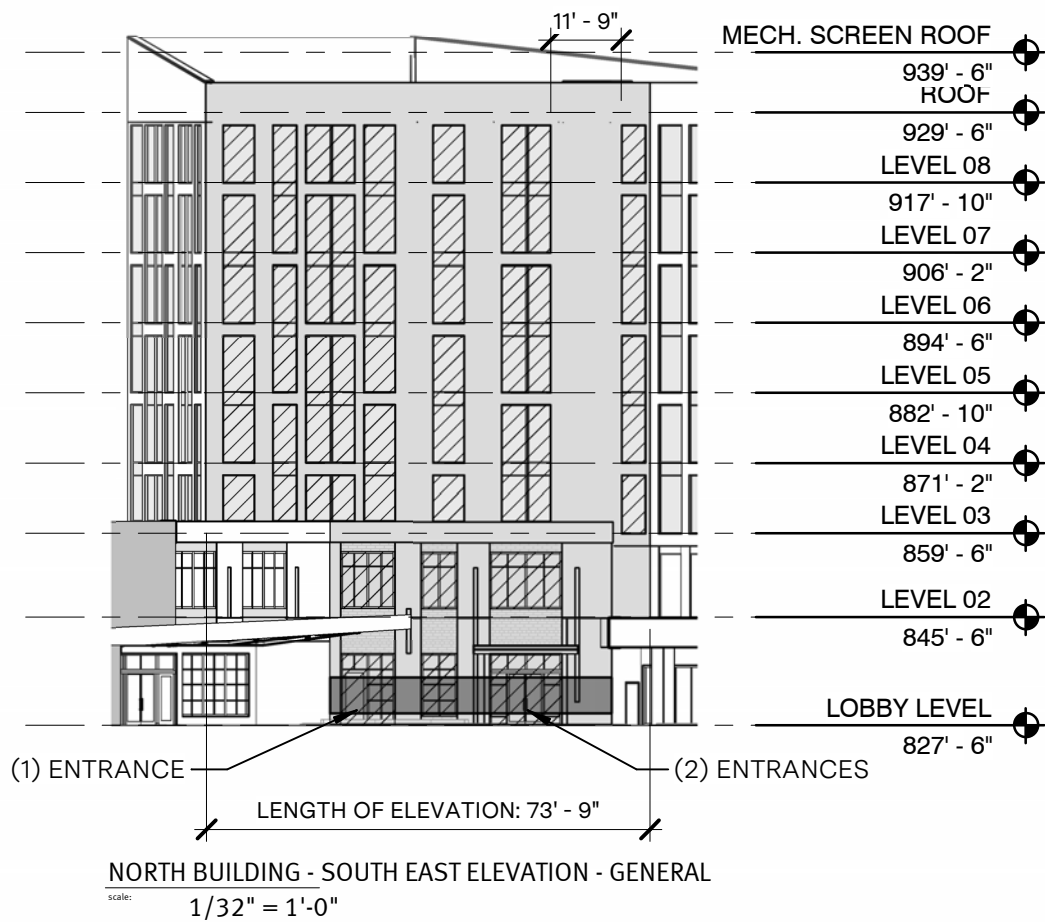
TOTAL FACADE AREA:	6,640 SF	VERTICAL FACADE INCREMENTS
MATERIALS		REQUIRED: YES (NO GREATER THAN 45'-0")
PRIMARY MATERIAL TYPES		PROVIDED: YES
BRICK:	309 SF	
GLAZING (WINDOWS AND DOORS):	3,256 SF	HORIZONTAL FACADE DIVISIONS
STONE-LOOK PANEL:	2,770 SF	REQUIRED: YES (WITHIN 3'-0" TO TOP OF
TOTAL:	6,335 SF	GROUND STORY)
		PROVIDED: YES
SECONDARY MATERIAL TYPES:		
METAL PANEL:	305 SF	
PRIMARY MATERIALS		
REQUIRED:	80%	
PROVIDED:	95.4% (6,335 / 6,640 = 0.954)	





NORTH BUILDING - SOUTHEAST ELEVATION GENERAL NOTES:

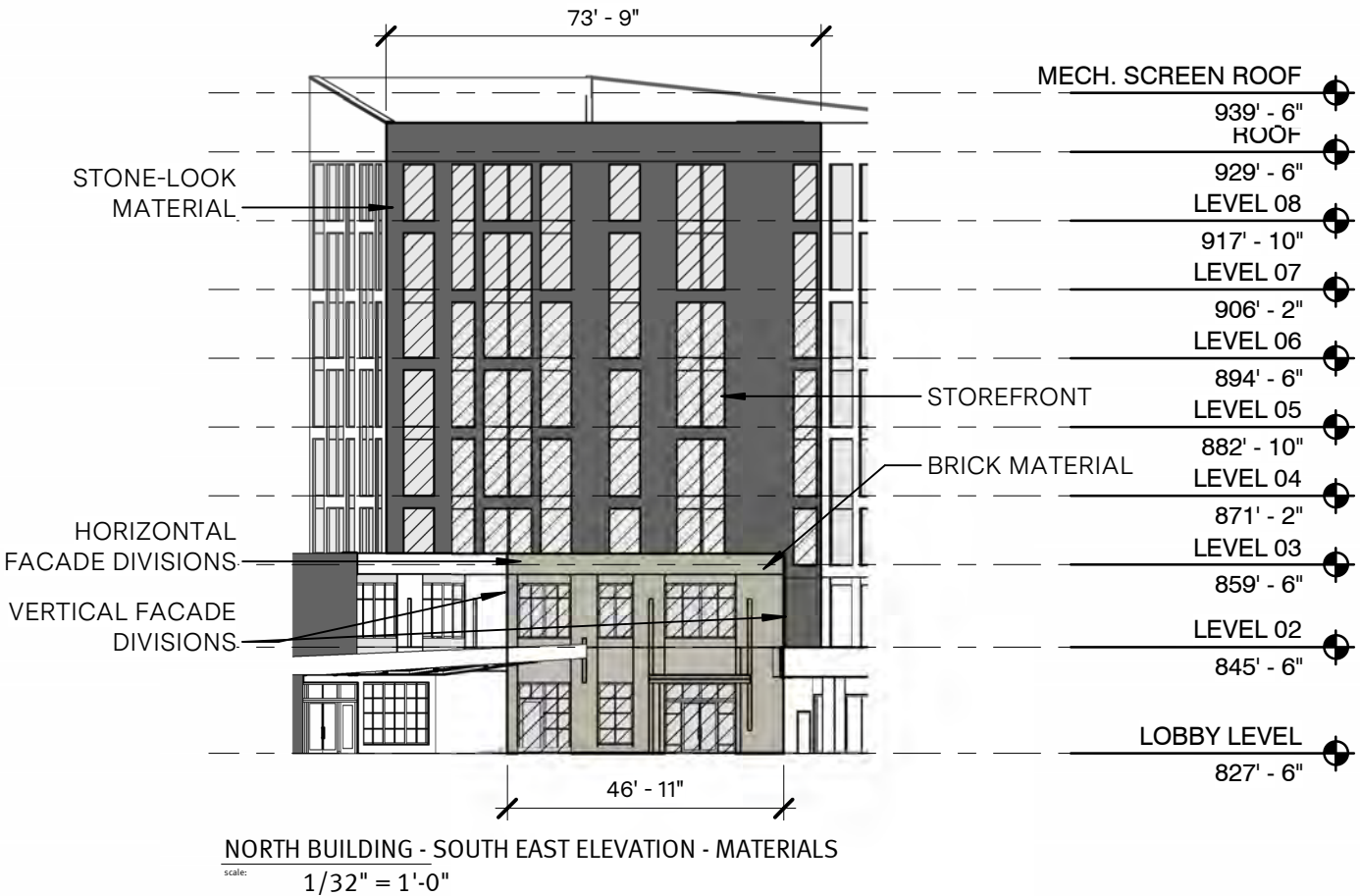
FACADE REQUIREMENTS:		NON-STREET FACADE TRANSPARENCY	
STREET FACADE:	NO	TOTAL AREA:	7,072 SF
PRINCIPLE ENTRANCE:	NO	TRANSPARENCY:	
		GLAZING AREA:	3,016 SF
		REQUIRED:	15% min
		PROVIDED:	42.6%
NUMBER OF ENTRANCES			
FACADE LENGTH:	73'-9"		
REQUIRED:	0		
PROVIDED:	3		
BLANK WALL LIMITATION			
REQUIRED:	YES (NONE GREATER THAN 15'-0" OR 30% OF BUILDING FACADE/STORY)		
PROVIDED:	YES		





NORTH BUILDING - SOUTHEAST ELEVATION GENERAL NOTES:

TOTAL FACADE AREA:	9,523 SF	VERTICAL FACADE INCREMENTS
MATERIALS		REQUIRED: YES (NO GREATER THAN 45'-0")
PRIMARY MATERIAL TYPES		PROVIDED: NO
BRICK:	1,023 SF	
GLAZING (WINDOWS AND DOORS):	3,016 SF	HORIZONTAL FACADE DIVISIONS
STONE-LOOK PANEL:	5,484 SF	REQUIRED: YES (WITHIN 3'-0" TO TOP OF
TOTAL:	9,523 SF	GROUND STORY)
		PROVIDED: YES
SECONDARY MATERIAL TYPES:		
METAL PANEL:	0 SF	
PRIMARY MATERIALS		
REQUIRED:	80%	
PROVIDED:	100% (9,523 / 9,523 = 1)	





NORTH BUILDING - WEST ELEVATION GENERAL NOTES:

FACADE REQUIREMENTS:

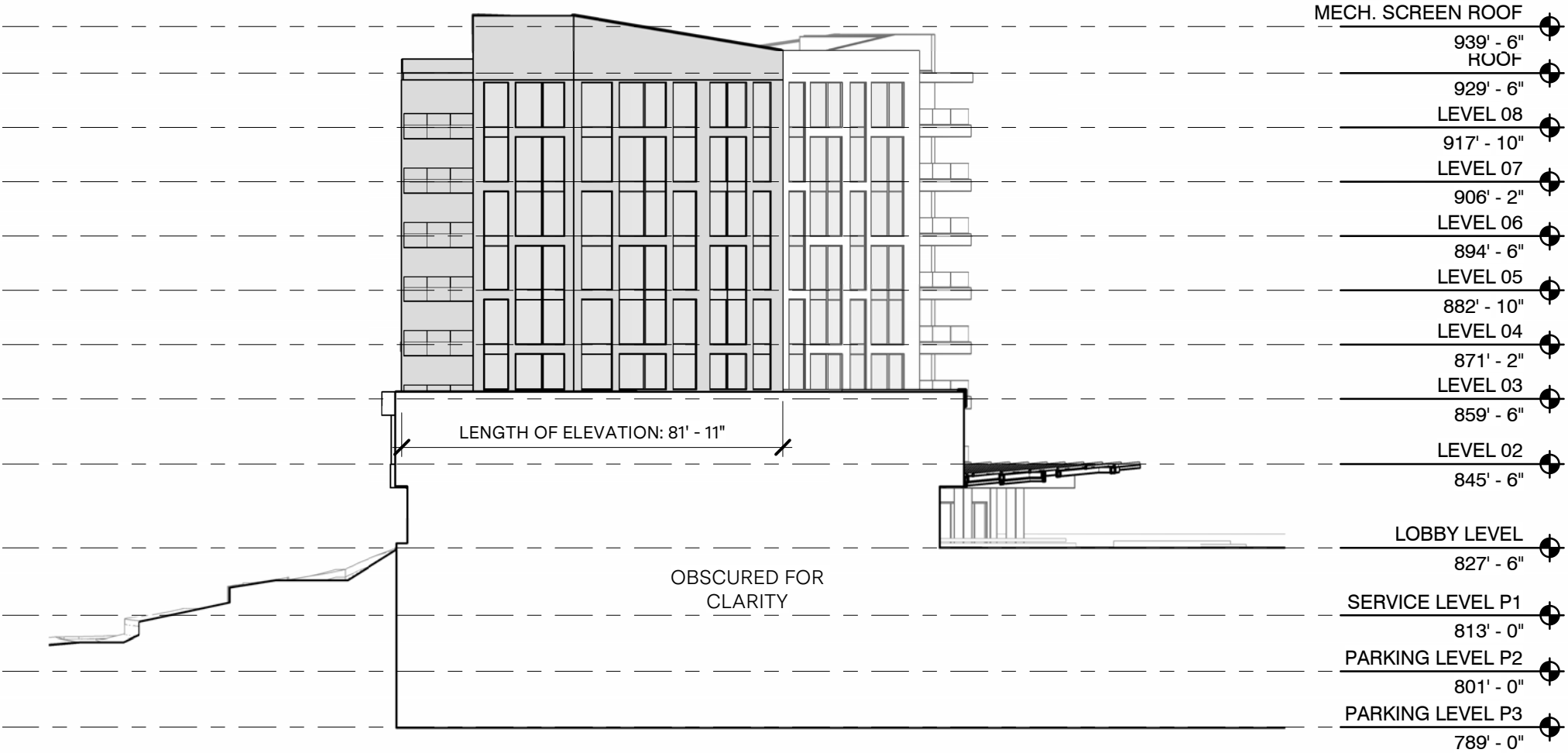
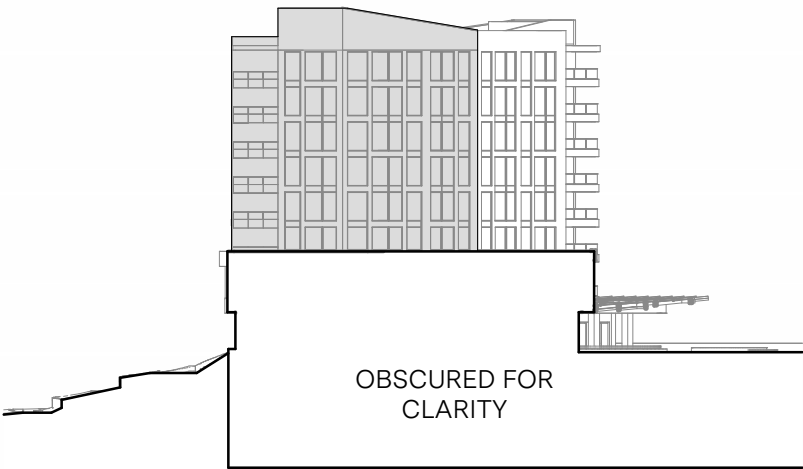
STREET FACADE: NO  
PRINCIPLE ENTRANCE: NO

NUMBER OF ENTRANCES

FACADE LENGTH: 81'-0"  
REQUIRED: 0  
PROVIDED: 0

BLANK WALL LIMITATION

REQUIRED: YES (NONE GREATER THAN 15'-0" OR  
30% OF BUILDING FACADE/STORY)  
PROVIDED: YES

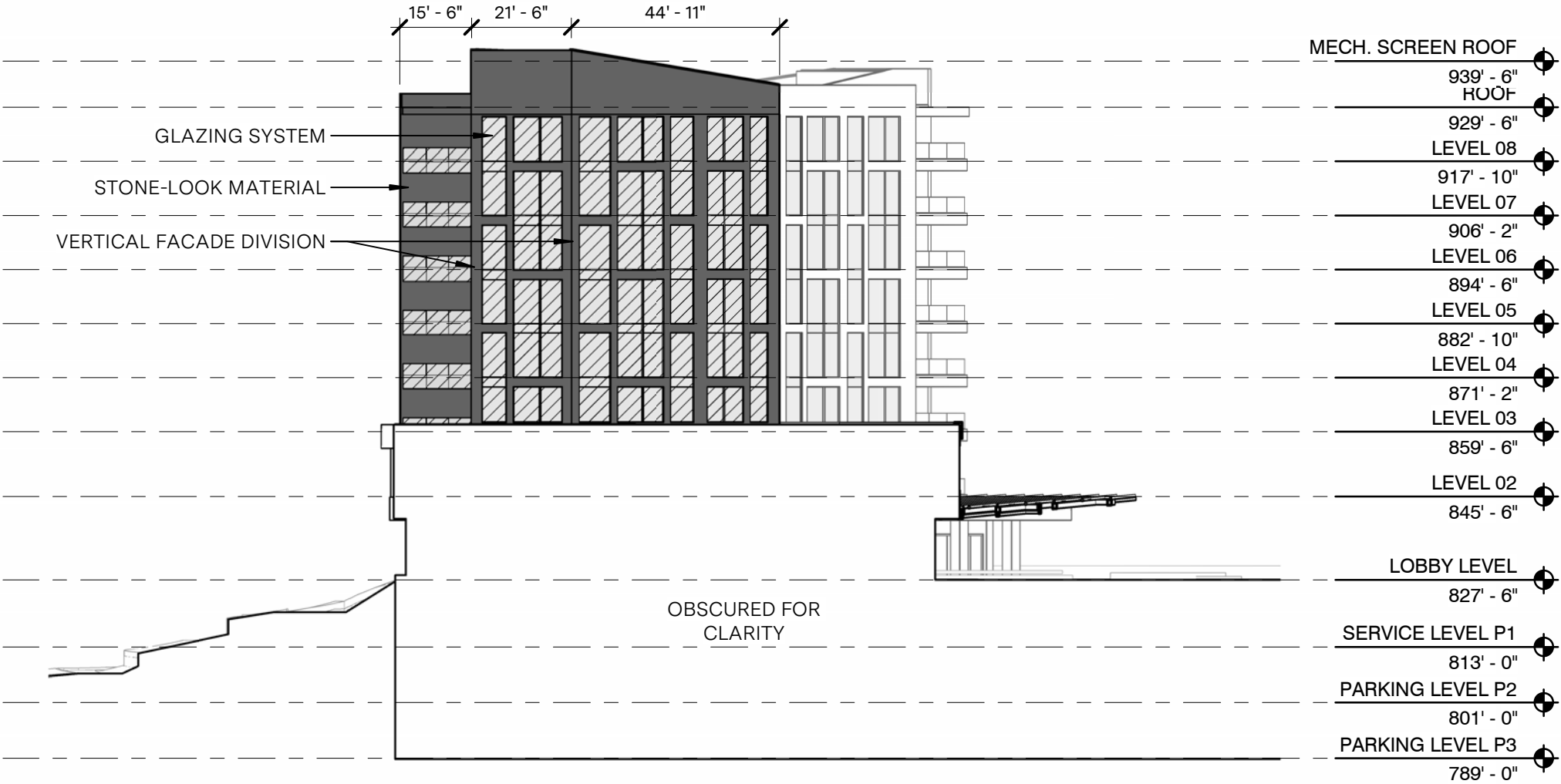
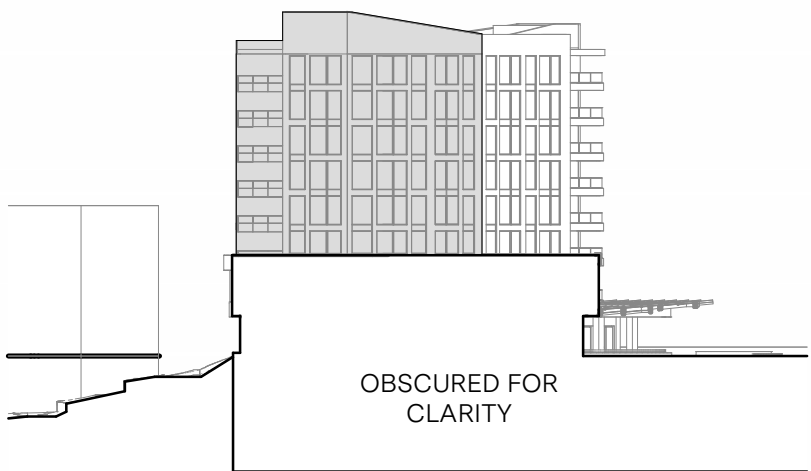


NORTH BUILDING - WEST ELEVATION - GENERAL  
scale: 1/32" = 1'-0"



NORTH BUILDING - WEST ELEVATION GENERAL NOTES:

TOTAL FACADE AREA:	6,328 SF	VERTICAL FACADE INCREMENTS
MATERIALS		REQUIRED: YES (NO GREATER THAN 45'-0")
PRIMARY MATERIAL TYPES		PROVIDED: YES
BRICK:	0 SF	
GLAZING (WINDOWS AND DOORS):	3,431 SF	
STONE-LOOK PANEL:	2,897 SF	
TOTAL:	6,328 SF	
SECONDARY MATERIAL TYPES:		
METAL PANEL:	0 SF	
PRIMARY MATERIALS		
REQUIRED:	80%	
PROVIDED:	100% (6,328 / 6,328 = 1)	



NORTH BUILDING - WEST ELEVATION - MATERIALS  
scale: 1/32" = 1'-0"



NORTH BUILDING: SOUTHEAST ENTRY ELEVATION GENERAL NOTES:

FACADE REQUIREMENTS:

STREET FACADE: NO  
PRINCIPLE ENTRANCE: YES

NUMBER OF ENTRANCES

FACADE LENGTH: 34'-3"  
REQUIRED: 0  
PROVIDED: 1

BLANK WALL LIMITATION

REQUIRED: YES (NONE GREATER THAN 15'-0" OR 30% OF BUILDING FACADE/STORY)  
PROVIDED: YES

GROUND LEVEL

HEIGHT: 18'-0"  
TRANSPARENCY:  
ZONE AREA: 205 SF  
GLAZING AREA: 125 SF  
REQUIRED: 15% min  
PROVIDED: 61%

TOTAL FACADE AREA: 1,174 SF  
MATERIALS

PRIMARY MATERIAL TYPES

BRICK: 779 SF  
GLAZING (WINDOWS AND DOORS): 395 SF  
STONE-LOOK PANEL: 0 SF  
TOTAL: 1,174 SF

SECONDARY MATERIAL TYPES:

METAL PANEL: 0 SF

PRIMARY MATERIALS

REQUIRED: 80%  
PROVIDED: 100% (1,174 / 1,174 = 1)

VERTICAL FACADE INCREMENTS

REQUIRED: YES (NO GREATER THAN 45'-0")  
PROVIDED: YES

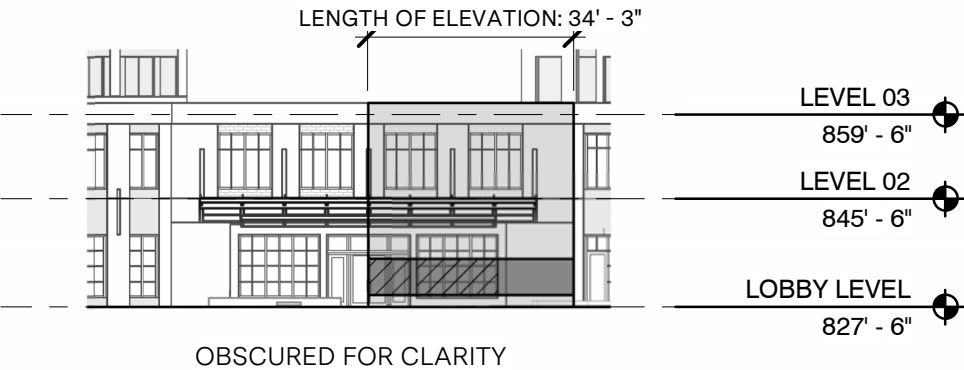
HORIZONTAL FACADE DIVISIONS

REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)  
PROVIDED: YES

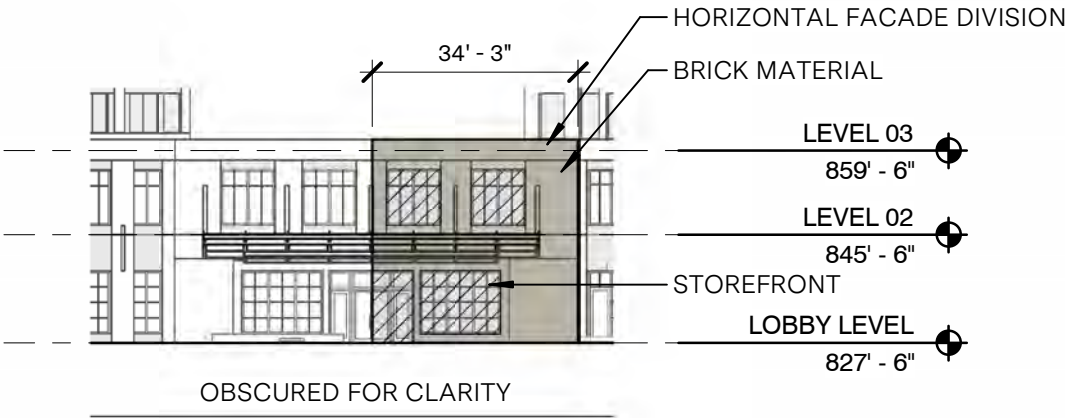
SOUTH BUILDING NORTH BUILDING



OBSURED FOR CLARITY



NORTH BUILDING - SOUTH EAST ENTRY ELEVATION - GENERAL  
scale: 1/32" = 1'-0"

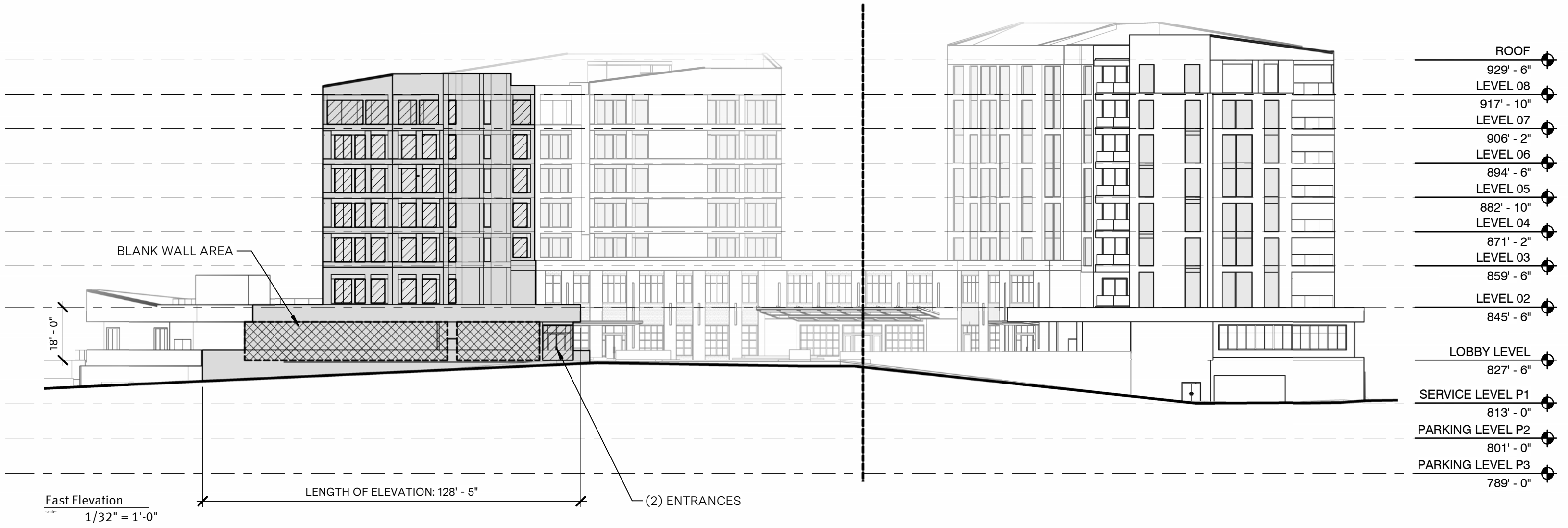
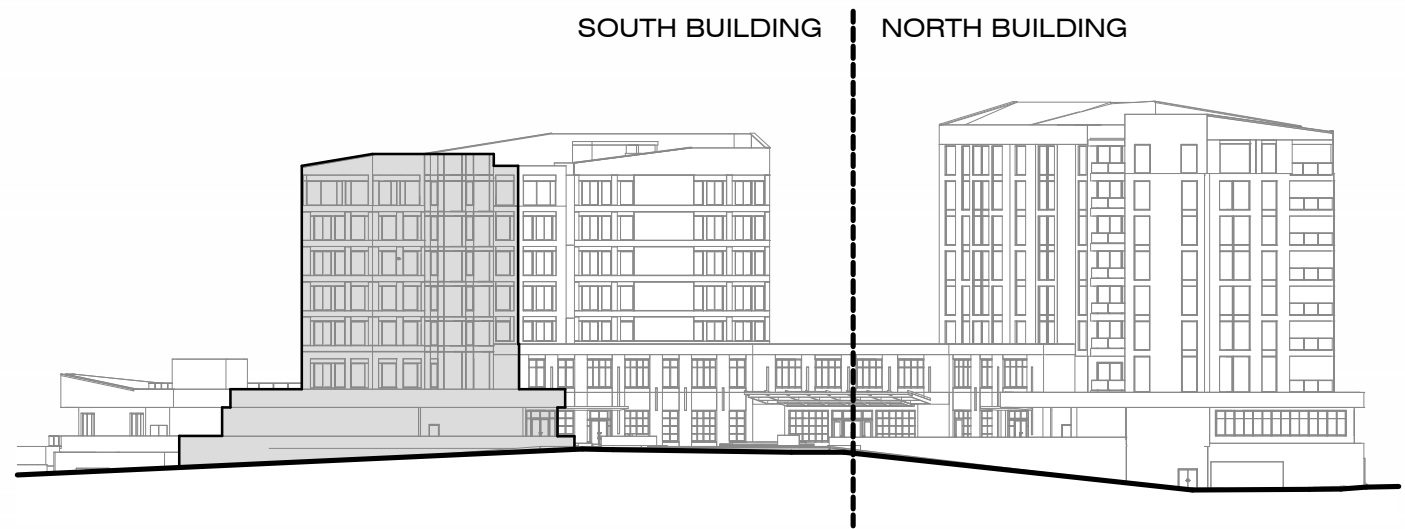


NORTH BUILDING - SOUTH EAST ENTRY ELEVATION - MATERIALS  
scale: 1/32" = 1'-0"



SOUTH BUILDING: EAST ELEVATION GENERAL NOTES:

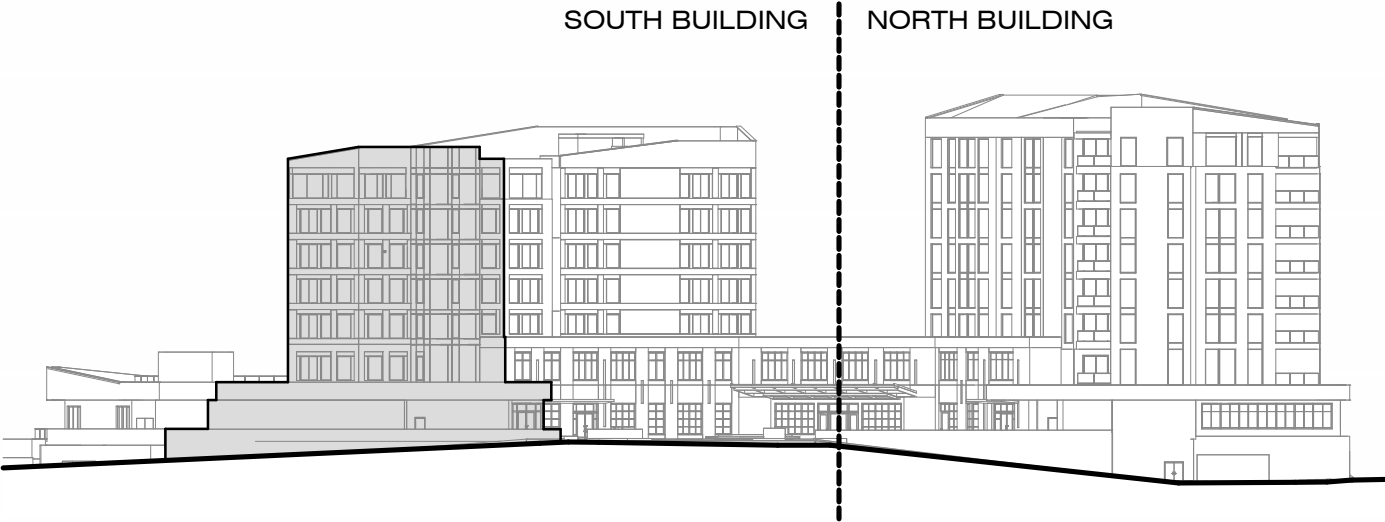
FACADE REQUIREMENTS:		NON-STREET FACADE TRANSPARENCY	
STREET FACADE:	NO	TOTAL AREA:	8,284 SF
PRINCIPLE ENTRANCE:	NO	TRANSPARENCY:	
		GLAZING AREA:	1,671 SF
NUMBER OF ENTRANCES		REQUIRED:	15% min
FACADE LENGTH:	128'-5"	PROVIDED:	20%
REQUIRED:	0		
PROVIDED:	1		
BLANK WALL LIMITATION			
REQUIRED: YES (NO GREATER THAN 15'-0" OR 30% OF BUILDING FACADE/STORY)			
PROVIDED:			
GROUND FLOOR: NO; 1,258/2,078 SF = 61%, GREATER THAN 15'-0" LONG			
TYP. UPPER FLOOR: YES; 217/839 SF = 26% LESS THAN 15'-0" LONG			





SOUTH BUILDING: EAST ELEVATION FACADE NOTES:

TOTAL FACADE AREA:	8,284 SF	VERTICAL FACADE INCREMENTS
MATERIALS		REQUIRED: YES (NO GREATER THAN 45'-0")
PRIMARY MATERIAL TYPES		PROVIDED: NO
BRICK:	2,092 SF	
GLAZING (WINDOWS AND DOORS):	1,728 SF	HORIZONTAL FACADE DIVISIONS
STONE-LOOK PANEL:	1,341 SF	REQUIRED: YES (WITHIN 3'-0" TO TOP OF
TOTAL:	5,161 SF	GROUND STORY)
		PROVIDED: YES
SECONDARY MATERIAL TYPES:		
METAL PANEL:	3,123 SF	
PRIMARY MATERIALS		
REQUIRED: 80%		
PROVIDED: 62.3% (5,161 / 8,284 = 0.623)		

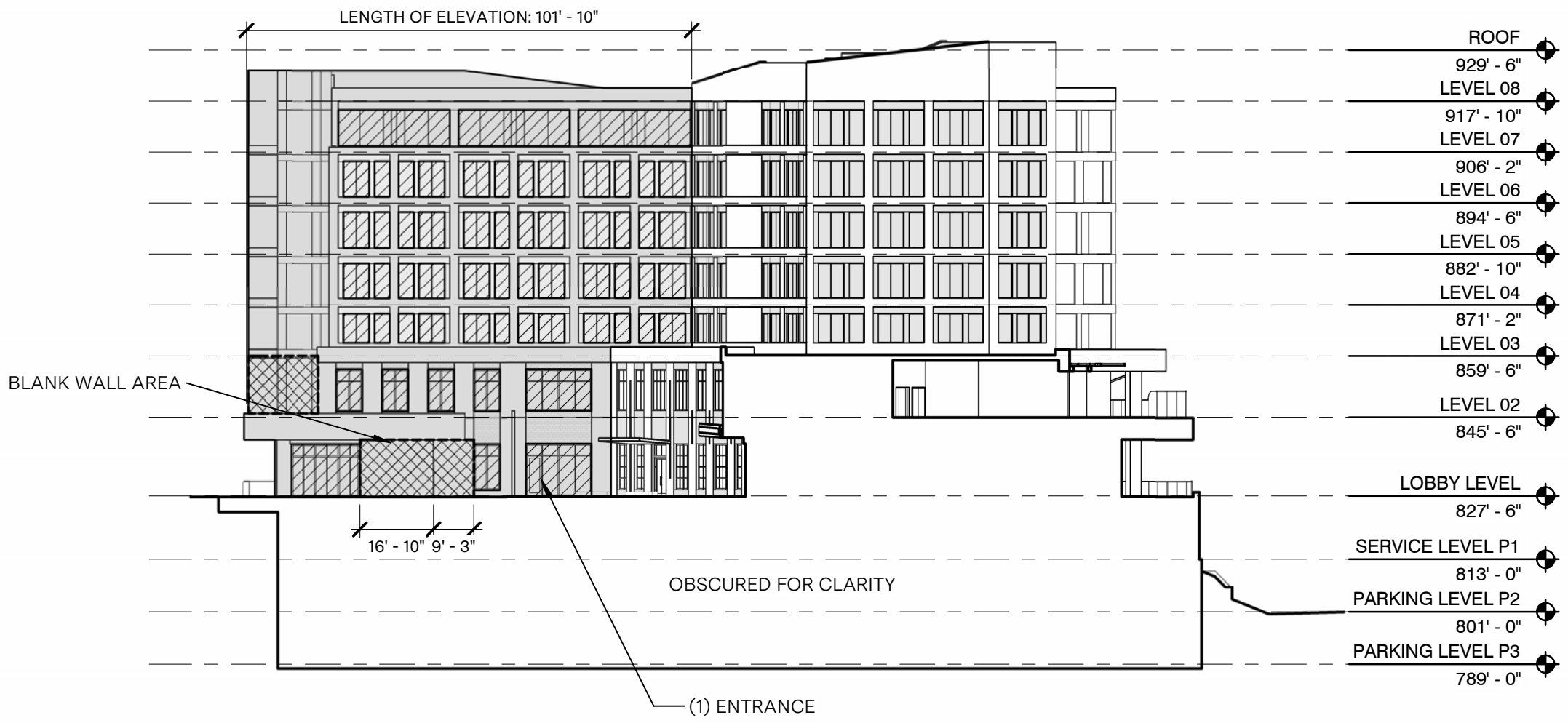
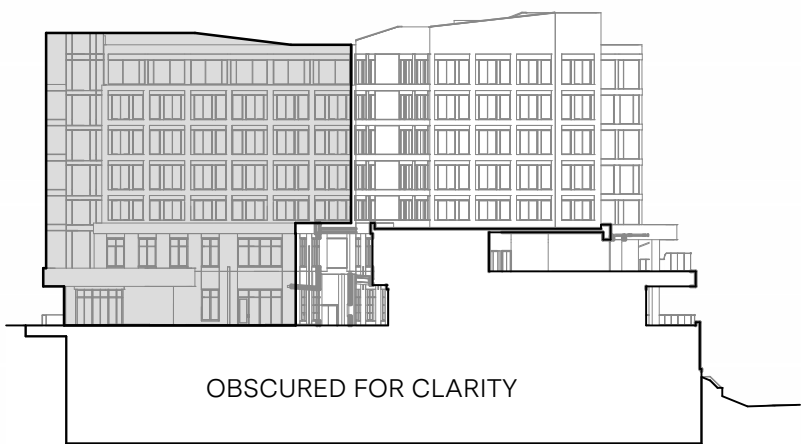


East Elevation  
scale: 1/32" = 1'-0"



SOUTH BUILDING - INNER NORTH ELEVATION GENERAL NOTES:

FACADE REQUIREMENTS:		NON-STREET FACADE TRANSPARENCY	
STREET FACADE:	NO	TOTAL AREA:	9,039 SF
PRINCIPLE ENTRANCE:	NO	TRANSPARENCY:	
		GLAZING AREA:	3,186 SF
		REQUIRED:	15% min
		PROVIDED:	35.2%
NUMBER OF ENTRANCES			
FACADE LENGTH:	101'-10"		
REQUIRED:	0		
PROVIDED:	1		
BLANK WALL LIMITATION			
REQUIRED:	YES (NO GREATER THAN 15'-0" OR 30% OF BUILDING FACADE/STORY)		
PROVIDED:			
	GROUND FLOOR: NO; 338/1,423 SF = 24% GREATER THAN 15'-0" LONG		
	TYP. UPPER FLOOR: YES; 217/1,185 SF = 18% LESS THAN 15'-0" LONG		

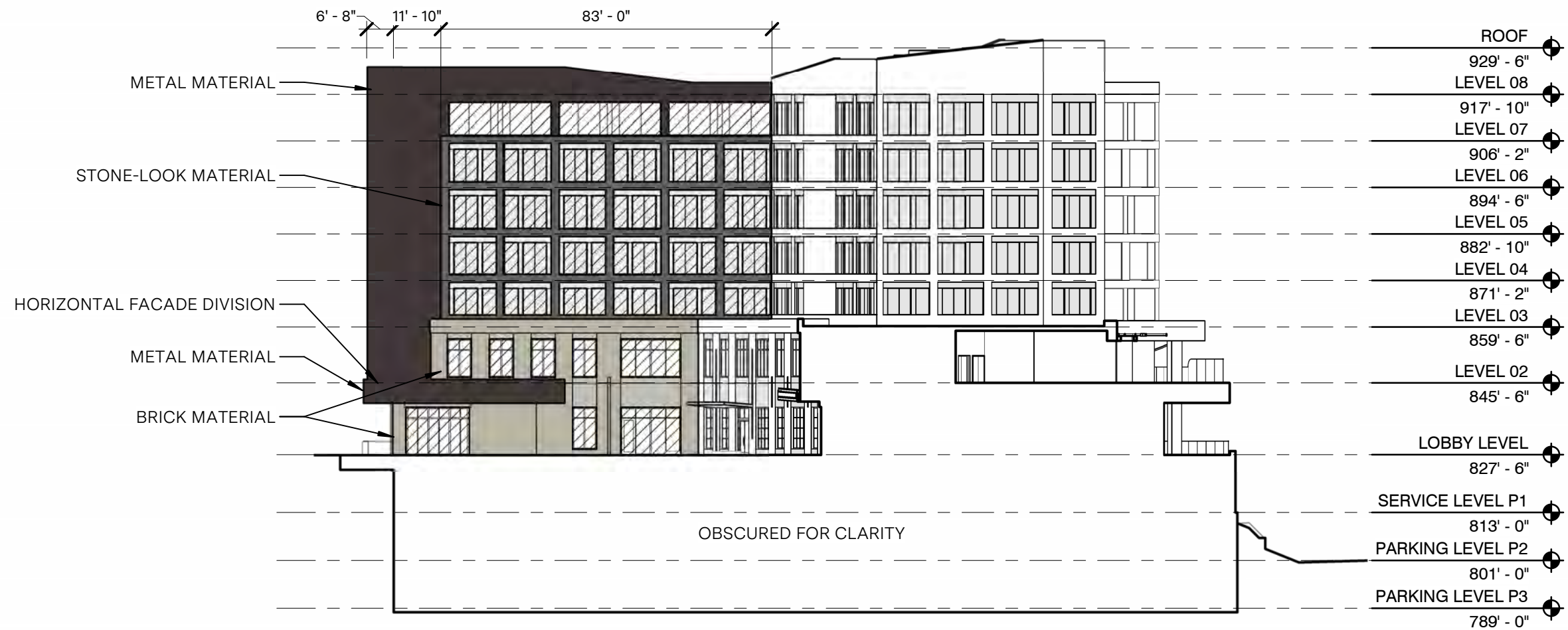
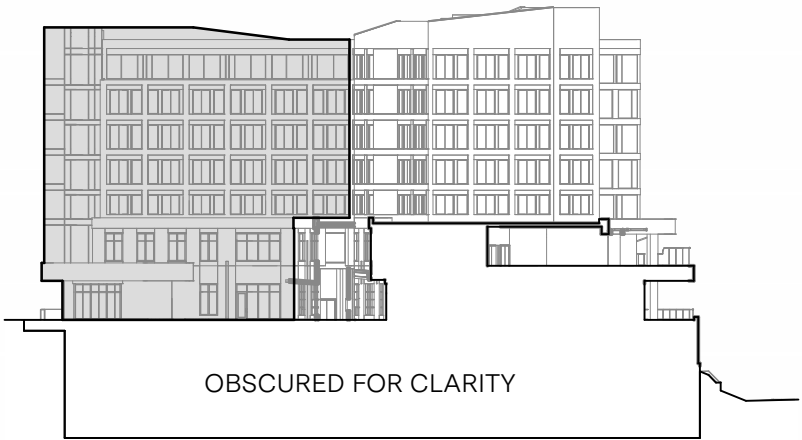


SOUTH BUILDING - INNER NORTH ELEVATION - GENERAL  
scale: 1/32" = 1'-0"



SOUTH BUILDING - INNER NORTH ELEVATION GENERAL NOTES:

TOTAL FACADE AREA:	9,039 SF	VERTICAL FACADE INCREMENTS
MATERIALS		REQUIRED: YES (NO GREATER THAN 45'-0")
PRIMARY MATERIAL TYPES		PROVIDED: NO
BRICK:	1,399 SF	
GLAZING (WINDOWS AND DOORS):	3,186 SF	HORIZONTAL FACADE DIVISIONS
STONE-LOOK PANEL:	1,196 SF	REQUIRED: YES (WITHIN 3'-0" TO TOP OF
TOTAL:	5,781 SF	GROUND STORY)
		PROVIDED: YES
SECONDARY MATERIAL TYPES:		
METAL PANEL:	3,258 SF	
PRIMARY MATERIALS		
REQUIRED:	80%	
PROVIDED:	64.0% (5,781 / 9,039 = 0.640)	

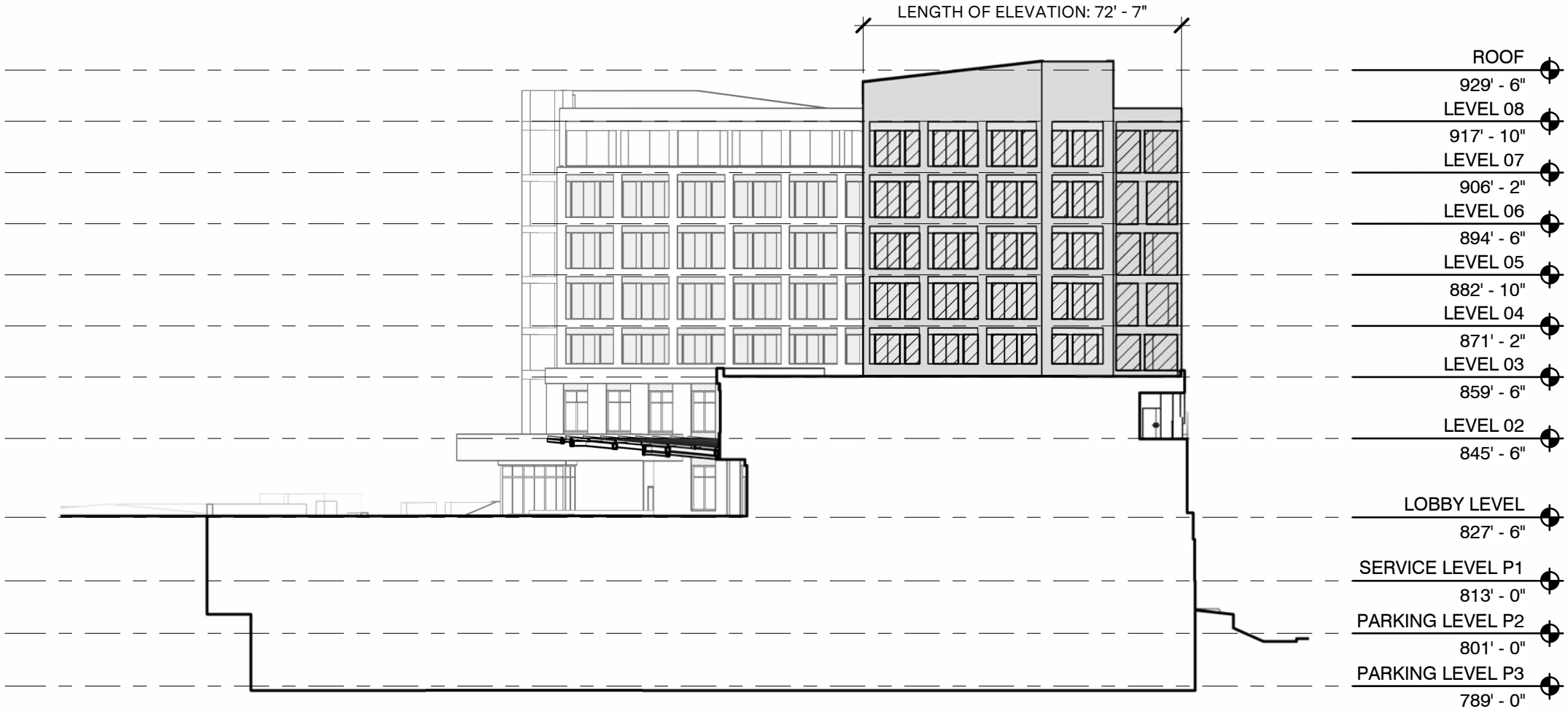
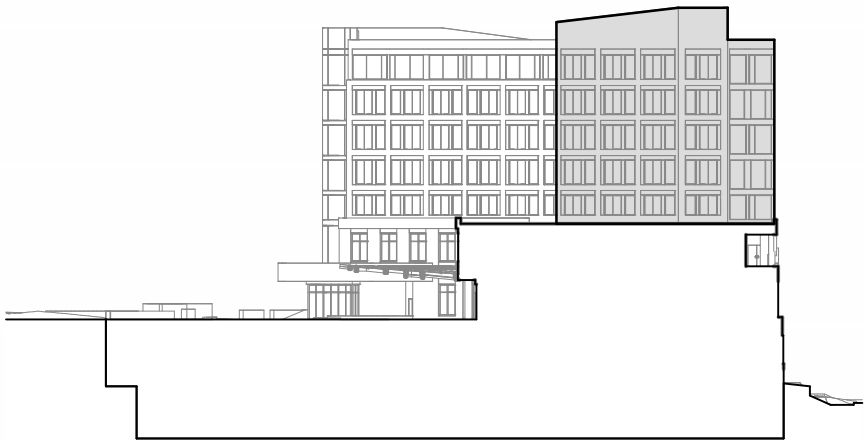


SOUTH BUILDING - INNER NORTH ELEVATION - MATERIALS  
scale: 1/32" = 1'-0"



SOUTH BUILDING - NORTH ELEVATION GENERAL NOTES:

<u>FACADE REQUIREMENTS:</u>		<u>NON-STREET FACADE TRANSPARENCY</u>	
STREET FACADE:	NO	TOTAL AREA:	4,953 SF
PRINCIPLE ENTRANCE:	NO	TRANSPARENCY:	
		GLAZING AREA:	2,026 SF
		REQUIRED:	15% min
		PROVIDED:	40.9%
<u>NUMBER OF ENTRANCES</u>			
FACADE LENGTH:	72'-7"		
REQUIRED:	0		
PROVIDED:	0		
<u>BLANK WALL LIMITATION</u>			
REQUIRED:	YES (NONE GREATER THAN 15'-0" OR 30% OF BUILDING FACADE/STORY)		
PROVIDED:	YES, LESS THAN 15'-0" LONG		

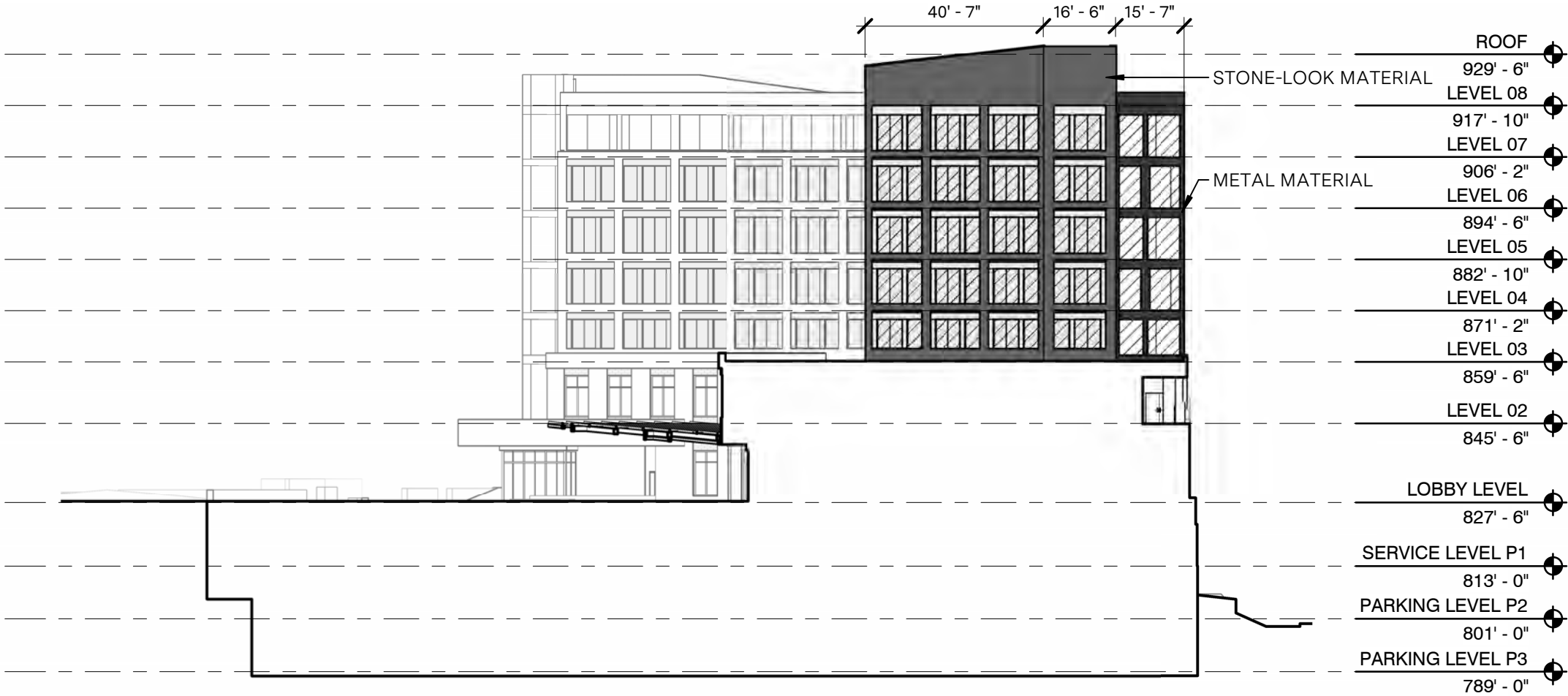
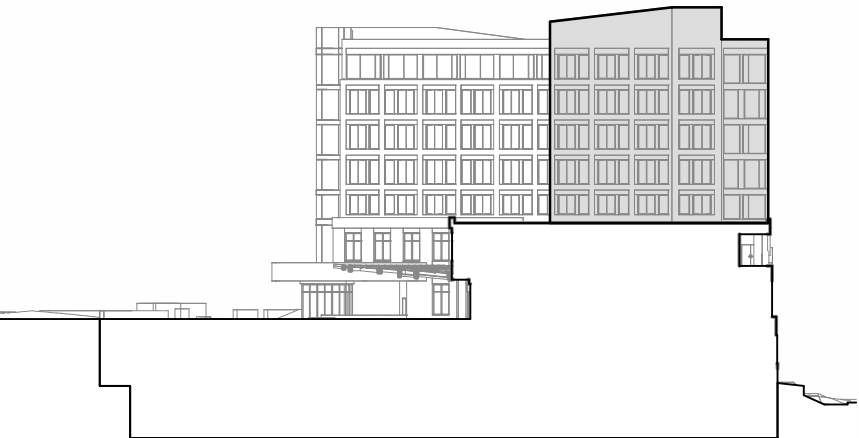


SOUTH BUILDING - NORTH ELEVATION - GENERAL  
scale: 1/32" = 1'-0"



SOUTH BUILDING - NORTH ELEVATION GENERAL NOTES:

TOTAL FACADE AREA:	4,953 SF	VERTICAL FACADE INCREMENTS
MATERIALS		REQUIRED: YES (NO GREATER THAN 45'-0")
PRIMARY MATERIAL TYPES		PROVIDED: NO
GLAZING (WINDOWS AND DOORS):	2,026 SF	
STONE-LOOK PANEL:	1,740 SF	
TOTAL:	3,766 SF	
SECONDARY MATERIAL TYPES:		
METAL PANEL:	1,187 SF	
PRIMARY MATERIALS		
REQUIRED:	80%	
PROVIDED:	76.0% (3,766 / 4,953 = 0.760)	

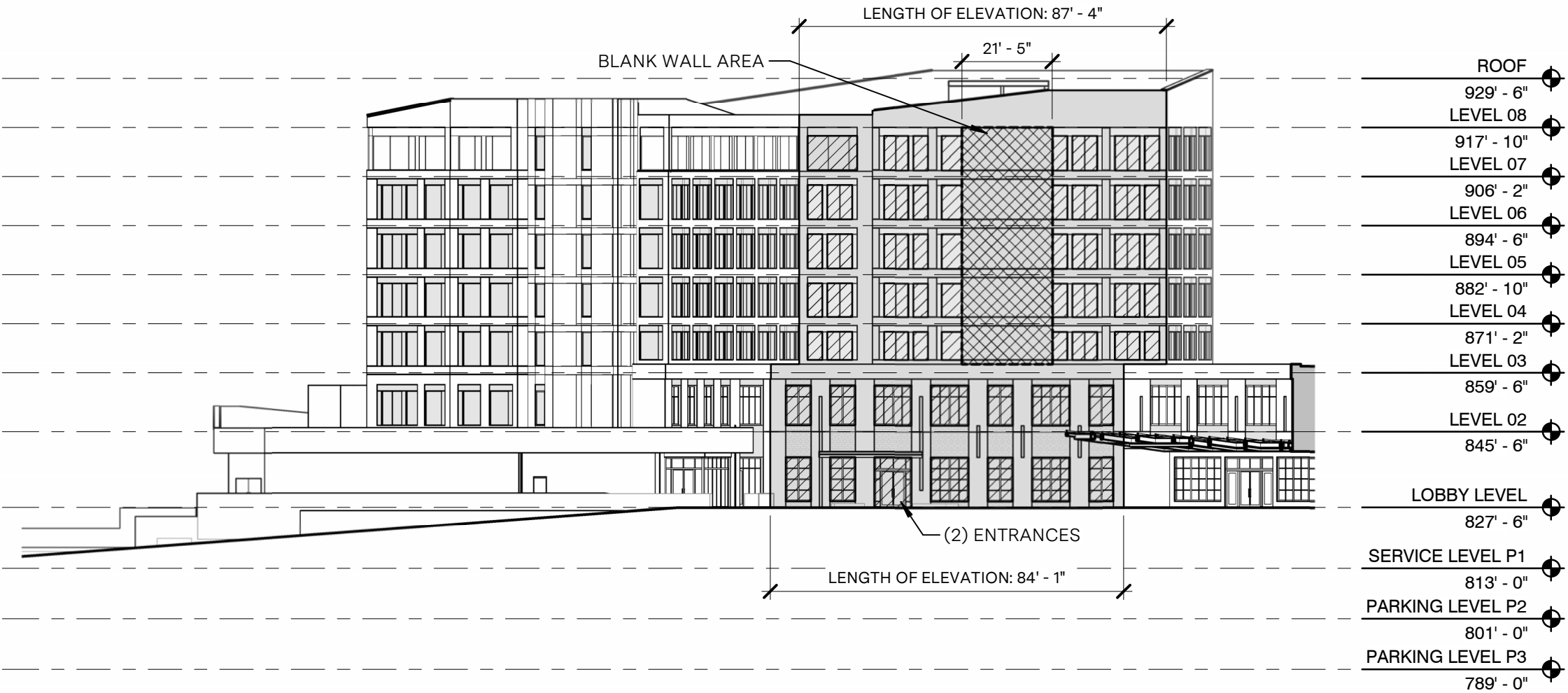


SOUTH BUILDING - NORTH ELEVATION - MATERIALS  
scale: 1/32" = 1'-0"



SOUTH BUILDING - NORTHEAST ELEVATION GENERAL NOTES:

FACADE REQUIREMENTS:		NON-STREET FACADE TRANSPARENCY	
STREET FACADE:	NO	TOTAL AREA:	8,355 SF
PRINCIPLE ENTRANCE:	NO	TRANSPARENCY:	
		GLAZING AREA:	2,721 SF
		REQUIRED:	15% min
		PROVIDED:	32.6%
NUMBER OF ENTRANCES			
FACADE LENGTH:	84'-1"		
REQUIRED:	0		
PROVIDED:	2		
BLANK WALL LIMITATION			
REQUIRED:	YES (NONE GREATER THAN 15'-0" OR 30% OF BUILDING FACADE/STORY)		
PROVIDED:			
GROUND FLOOR:	YES		
TYP. UPPER FLOOR:	NO; 250/1,017 SF = 25% GREATER THAN 15'-0" LONG		

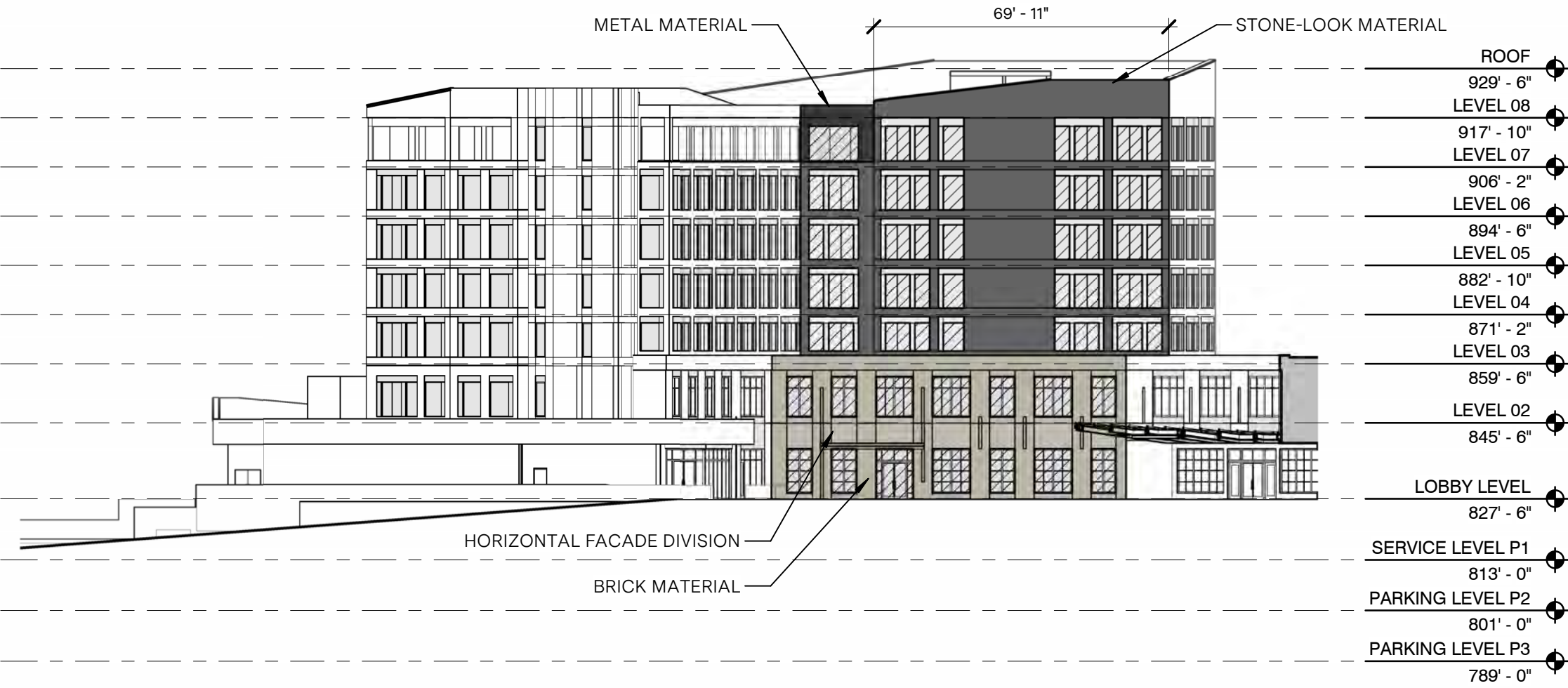


SOUTH BUILDING - NORTH EAST ELEVATION - GENERAL  
scale: 1/32" = 1'-0"



SOUTH BUILDING - NORTHEAST ELEVATION GENERAL NOTES:

TOTAL FACADE AREA:	8,355 SF	VERTICAL FACADE INCREMENTS
MATERIALS		REQUIRED: YES (NO GREATER THAN 45'-0")
PRIMARY MATERIAL TYPES		PROVIDED: NO
BRICK:	1,825 SF	
GLAZING (WINDOWS AND DOORS):	2,721 SF	HORIZONTAL FACADE DIVISIONS
STONE-LOOK PANEL:	2,880 SF	REQUIRED: YES (WITHIN 3'-0" TO TOP OF
TOTAL:	7,426 SF	GROUND STORY)
		PROVIDED: YES
SECONDARY MATERIAL TYPES:		
METAL PANEL:	933 SF	
PRIMARY MATERIALS		
REQUIRED:	80%	
PROVIDED:	88.9% (7,426 / 8,355 = 0.889)	



SOUTH BUILDING - NORTH EAST ELEVATION - MATERIALS  
scale: 1/32" = 1'-0"



SOUTH BUILDING: SOUTHEAST ENTRY ELEVATION GENERAL NOTES:

FACADE REQUIREMENTS:

STREET FACADE: NO  
PRINCIPLE ENTRANCE: YES

NUMBER OF ENTRANCES

FACADE LENGTH: 32'-7"  
REQUIRED: 0  
PROVIDED: 1

BLANK WALL LIMITATION

REQUIRED: YES (NONE GREATER THAN 15'-0" OR 30% OF BUILDING FACADE/STORY)  
PROVIDED: YES

GROUND LEVEL

HEIGHT: 18'-0"  
TRANSPARENCY:  
ZONE AREA: 196 SF  
GLAZING AREA: 125 SF  
REQUIRED: 15% min  
PROVIDED: 64%

TOTAL FACADE AREA: 1,109 SF  
MATERIALS

PRIMARY MATERIAL TYPES  
BRICK: 712 SF  
GLAZING (WINDOWS AND DOORS): 397 SF  
STONE-LOOK PANEL: 0 SF  
TOTAL: 1,109 SF

SECONDARY MATERIAL TYPES:  
METAL PANEL: 0 SF

PRIMARY MATERIALS  
REQUIRED: 80%  
PROVIDED: 100% (1,109 / 1,109 = 1)

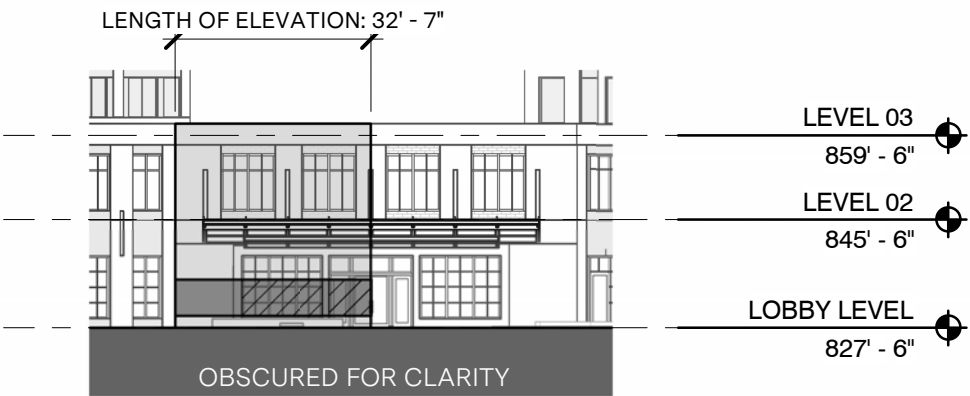
VERTICAL FACADE INCREMENTS  
REQUIRED: YES (NO GREATER THAN 45'-0")  
PROVIDED: YES

HORIZONTAL FACADE DIVISIONS  
REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)  
PROVIDED: YES

SOUTH BUILDING NORTH BUILDING



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NORTH/SOUTH BUILDING - SOUTH EAST ELEVATION - GENERAL  
scale: 1/32" = 1'-0"



NORTH/SOUTH BUILDING - SOUTH EAST ELEVATION - MATERIALS  
scale: 1/32" = 1'-0"



SOUTH BUILDING - SOUTH ELEVATION GENERAL NOTES:

FACADE REQUIREMENTS:

STREET FACADE: NO  
PRINCIPLE ENTRANCE: NO

NUMBER OF ENTRANCES

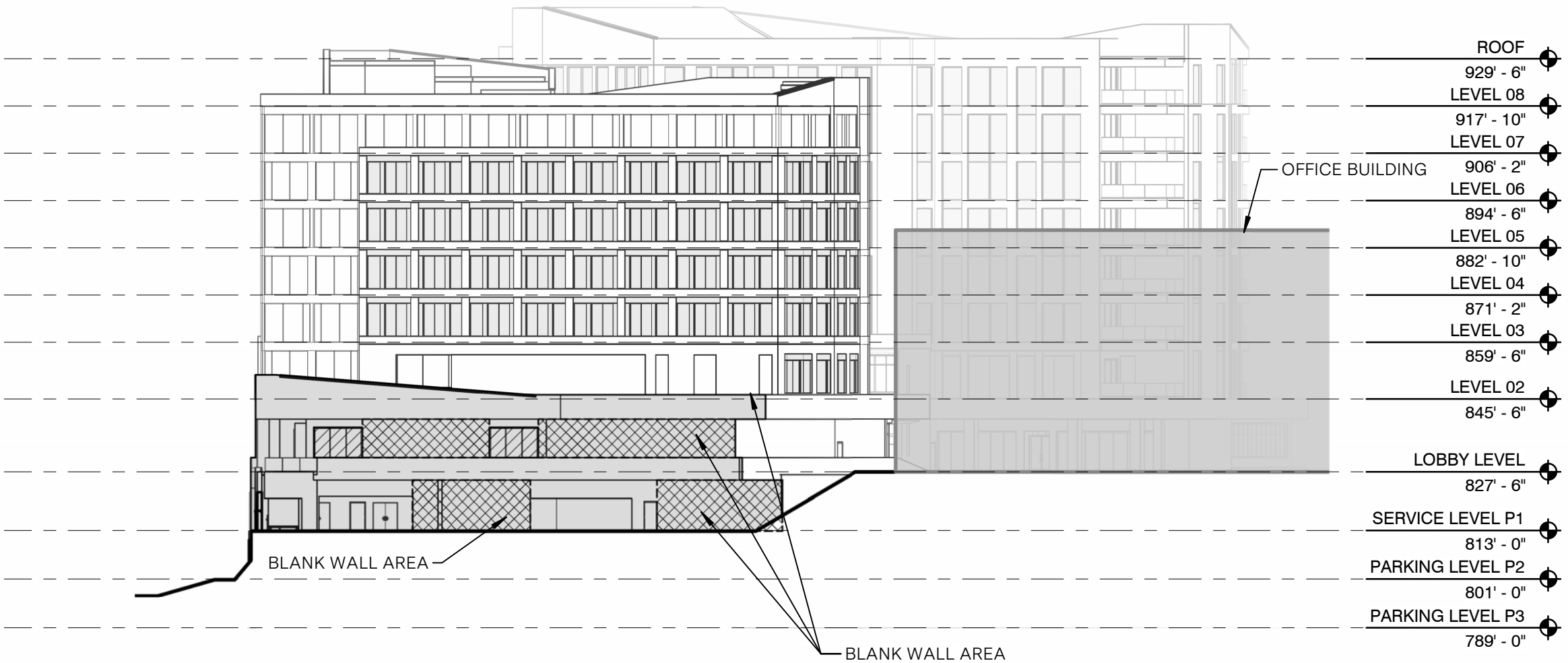
FACADE LENGTH: 131'-5"  
REQUIRED: 0  
PROVIDED: 0

BLANK WALL LIMITATION

REQUIRED: YES (NONE GREATER THAN 15'-0" OR  
30% OF BUILDING FACADE/STORY)  
PROVIDED: NO; LENGTHS GREATER THAN 15'-0"

NON-STREET FACADE TRANSPARENCY

TOTAL AREA: 4,378 SF  
TRANSPARENCY:  
GLAZING AREA: 180 SF  
REQUIRED: 15% min  
PROVIDED: 4.1%

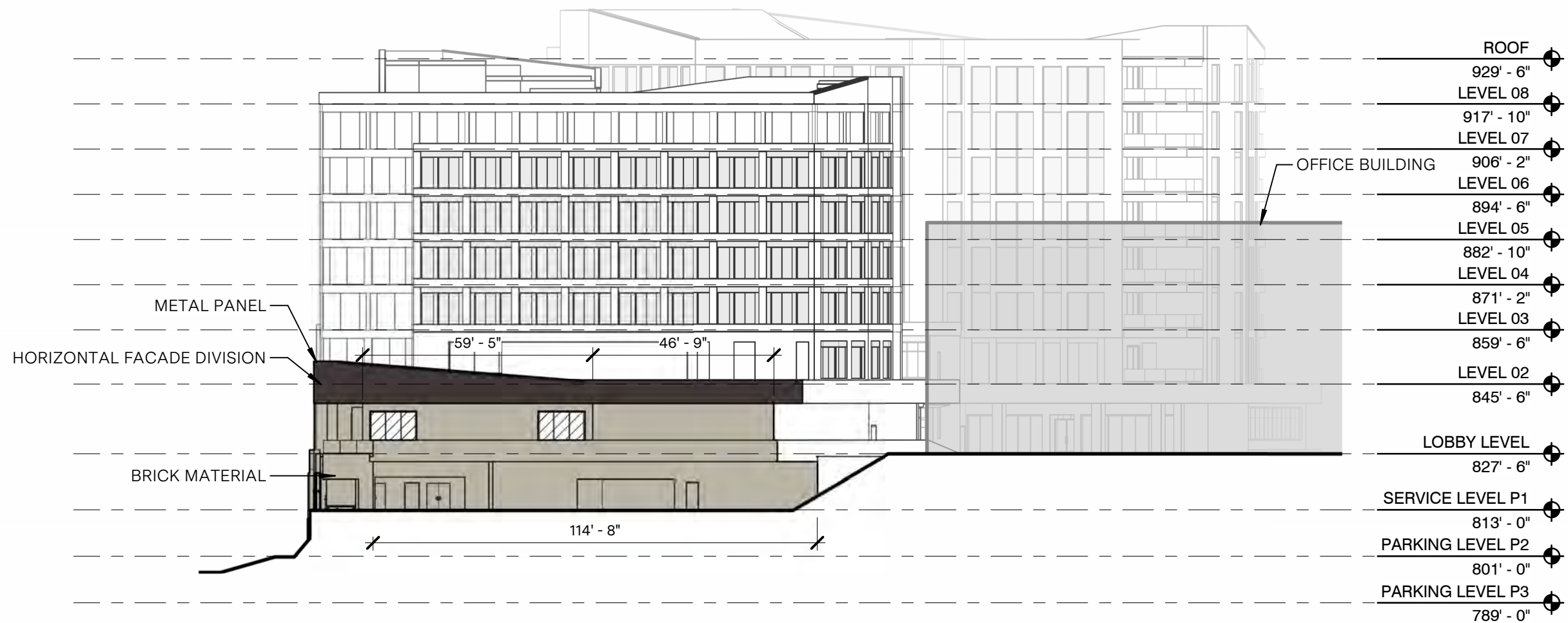


South Elevation  
scale: 1/32" = 1'-0"



SOUTH BUILDING - SOUTH ELEVATION GENERAL NOTES:

TOTAL FACADE AREA:	4,378 SF	VERTICAL FACADE INCREMENTS
MATERIALS		REQUIRED: YES (NO GREATER THAN 45'-0")
PRIMARY MATERIAL TYPES		PROVIDED: NO
BRICK:	3,253 SF	
GLAZING (WINDOWS AND DOORS):	180 SF	HORIZONTAL FACADE DIVISIONS
TOTAL:	3,433 SF	REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)
SECONDARY MATERIAL TYPES:		PROVIDED: YES
METAL PANEL:	945 SF	
PRIMARY MATERIALS		
REQUIRED:	80%	
PROVIDED:	78.4% (3,433 / 4,378 = 0.784)	

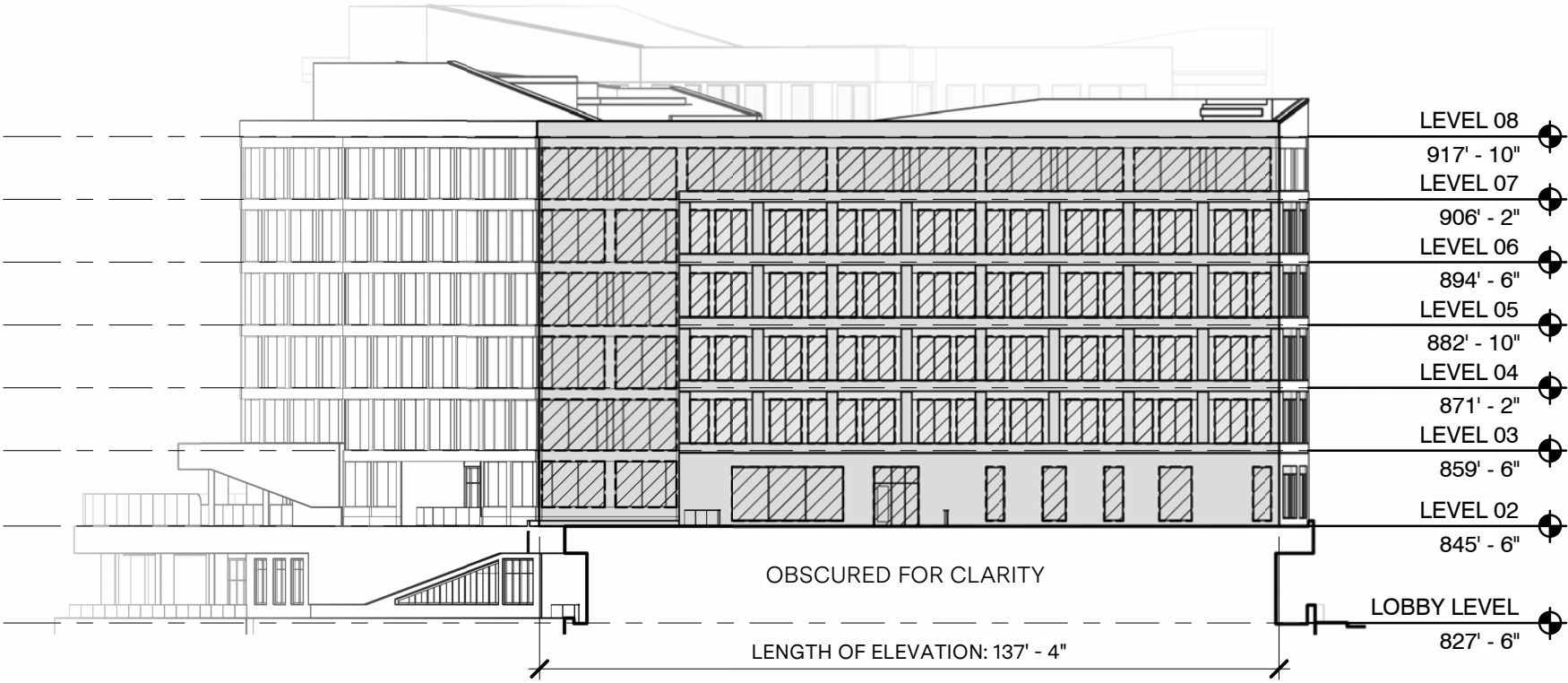
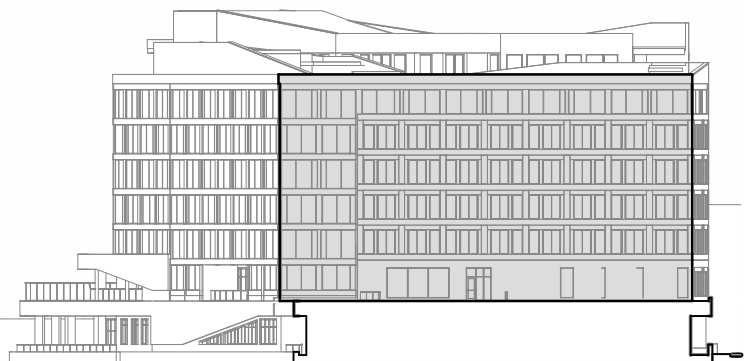


South Elevation  
scale: 1/32" = 1'-0"



SOUTH BUILDING - SOUTHWEST ELEVATION GENERAL NOTES:

FACADE REQUIREMENTS:		NON-STREET FACADE TRANSPARENCY	
STREET FACADE:	NO	TOTAL AREA:	10,350 SF
PRINCIPLE ENTRANCE:	NO	TRANSPARENCY:	
		GLAZING AREA:	5,158 SF
		REQUIRED:	15% min
		PROVIDED:	49.8%
NUMBER OF ENTRANCES			
FACADE LENGTH:	137'-4"		
REQUIRED:	0		
PROVIDED:	0		
BLANK WALL LIMITATION			
REQUIRED:	YES (NONE GREATER THAN 15'-0" OR 30% OF BUILDING FACADE/STORY)		
PROVIDED:	YES		



SOUTH BUILDING - SOUTHWEST ELEVATION - GENERAL  
scale: 1/32" = 1'-0"



SOUTH BUILDING - SOUTHWEST ELEVATION GENERAL NOTES:

TOTAL FACADE AREA:10,350 SF

MATERIALS

PRIMARY MATERIAL TYPES

GLAZING (WINDOWS AND DOORS): 5,158 SF

STONE-LOOK PANEL: 2,798 SF

TOTAL: 7,956 SF

SECONDARY MATERIAL TYPES:

METAL PANEL: 2,394 SF

PRIMARY MATERIALS

REQUIRED: 80%

PROVIDED: 76.9% (7,956 / 10,350 = 0.769)


VERTICAL FACADE INCREMENTS

REQUIRED: YES (NO GREATER THAN 45'-0")

PROVIDED: NO

SOUTH BUILDING - SOUTHWEST ELEVATION - MATERIALS  
scale: 1/32" = 1'-0"

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BSD Zoning Criteria Evaluation - South Corridor Building | Y Block Development

72



SOUTH BUILDING - WEST ELEVATION GENERAL NOTES:

FACADE REQUIREMENTS:

STREET FACADE: YES  
PRINCIPLE ENTRANCE: NO

NUMBER OF ENTRANCES

FACADE LENGTH: 394'-9"  
REQUIRED: 6 (394.75 / 75 = 5.26)  
PROVIDED: 1

BLANK WALL LIMITATION

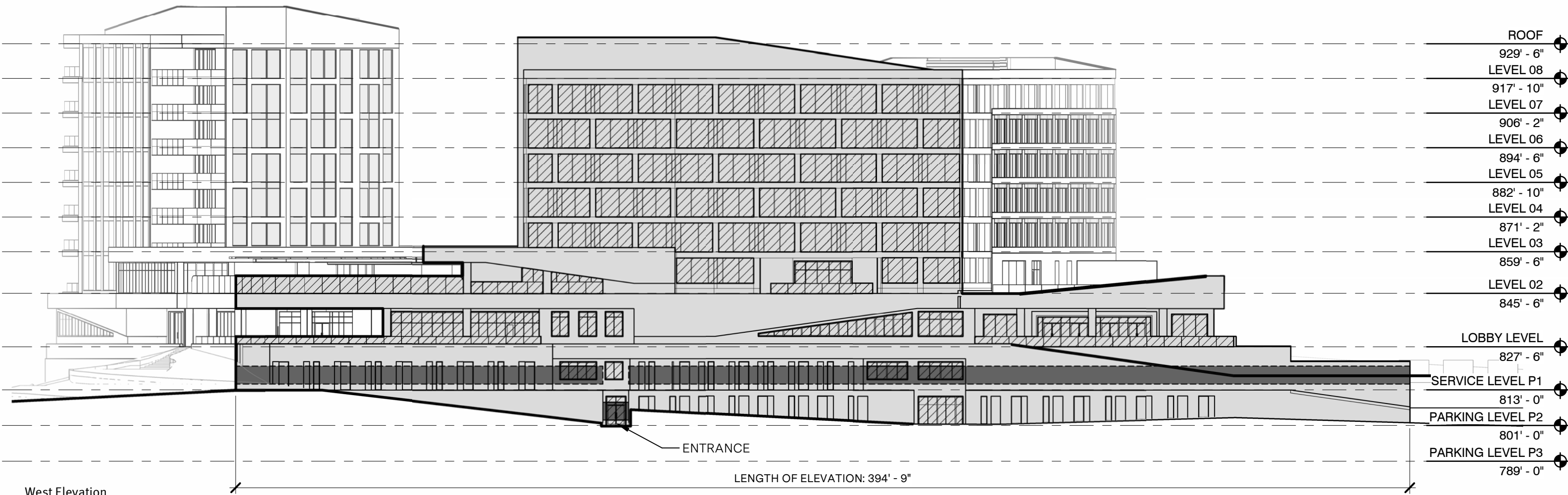
REQUIRED: YES (NONE GREATER THAN 15'-0" OR 30% OF BUILDING FACADE/STORY)  
PROVIDED:  
LOWER LEVELS: NO; GREATER THAN 15'-0" LONG LEVELS 02-07: YES

GROUND LEVEL

HEIGHT: Varies, ref. levels  
TRANSPARENCY:  
ZONE AREA: 2,367 SF  
GLAZING AREA: 224 SF  
REQUIRED: 60% min  
PROVIDED: 9.5%

OVERALL

TOTAL AREA: 27,688 SF  
TRANSPARENCY:  
GLAZING AREA: 10,198 SF  
REQUIRED: 30% min  
PROVIDED: 37%

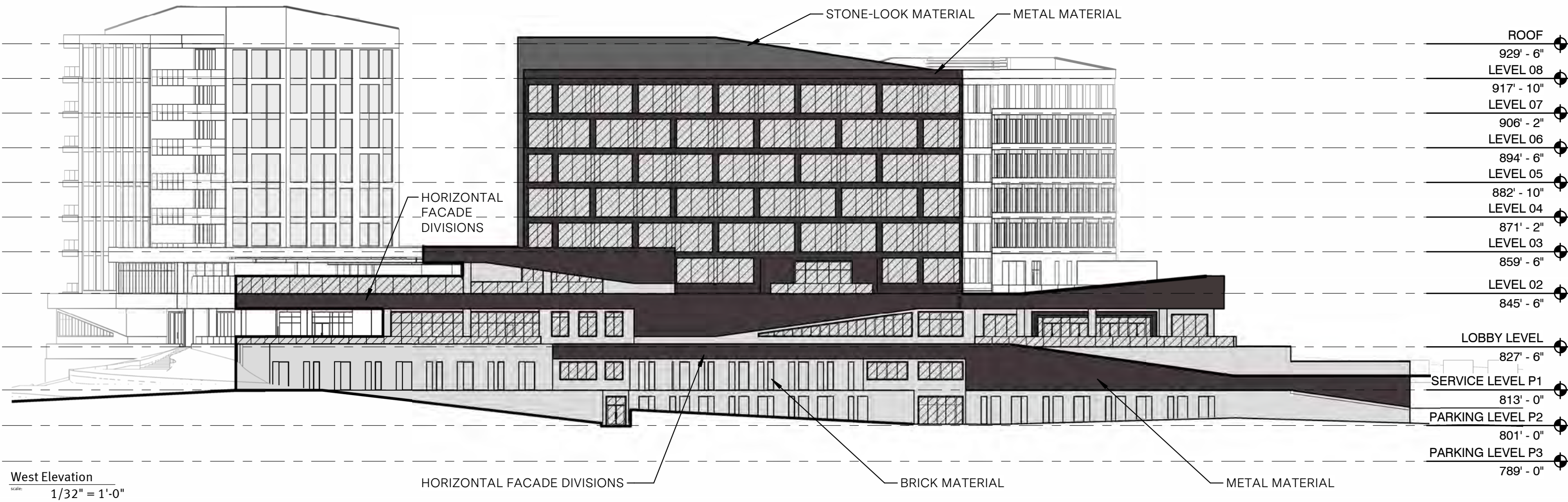


West Elevation  
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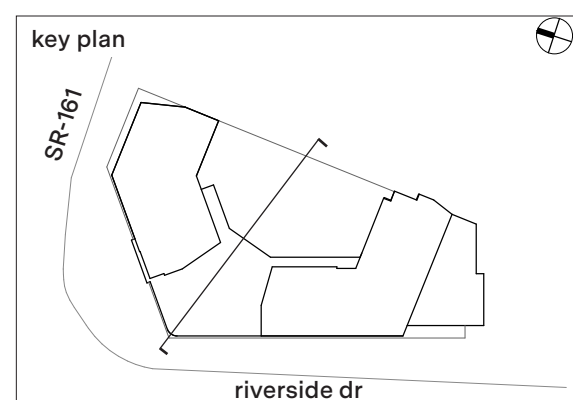
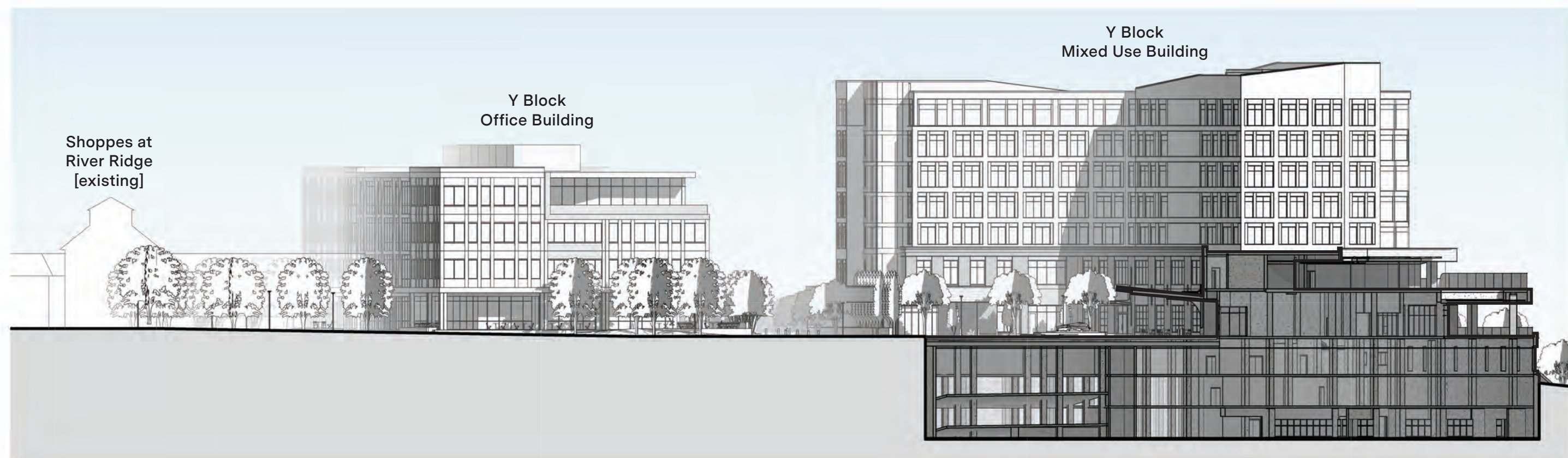


SOUTH BUILDING - WEST ELEVATION GENERAL NOTES:

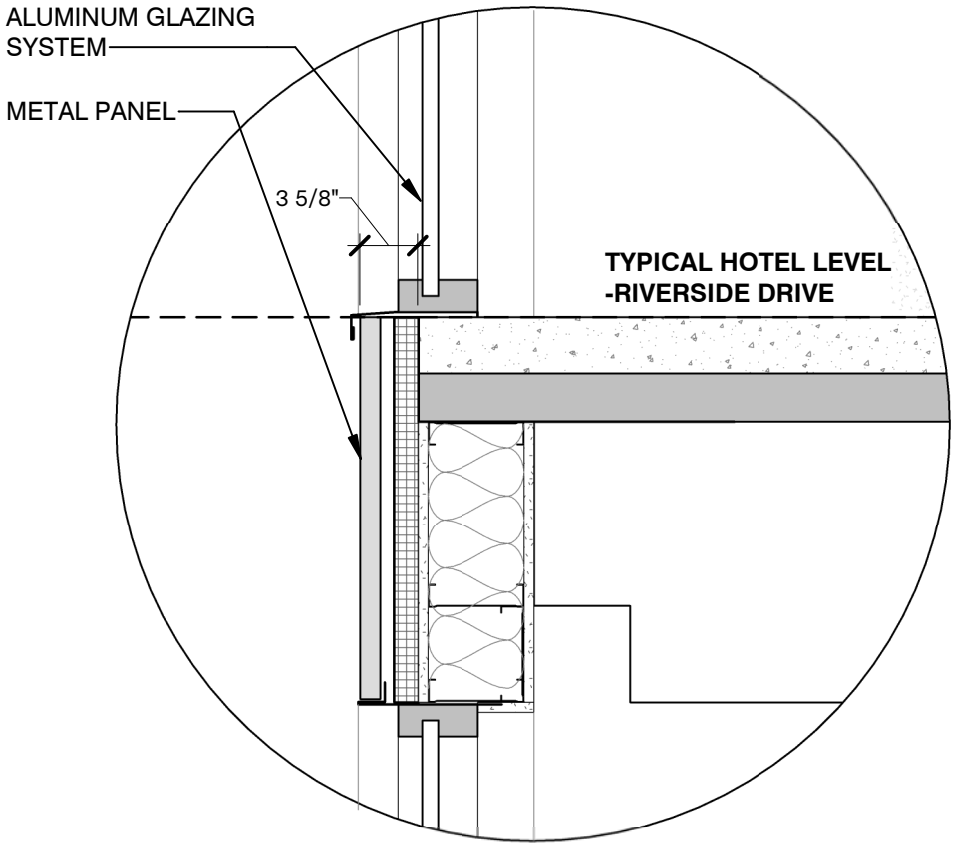
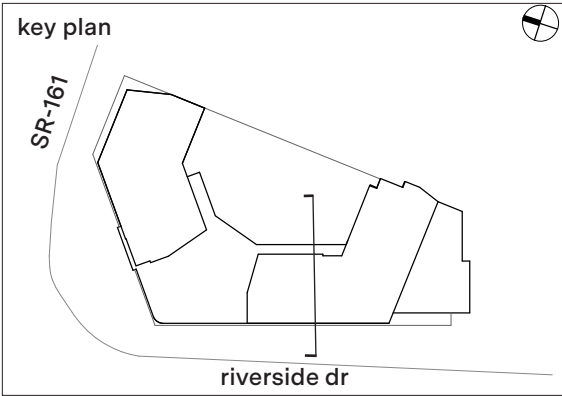
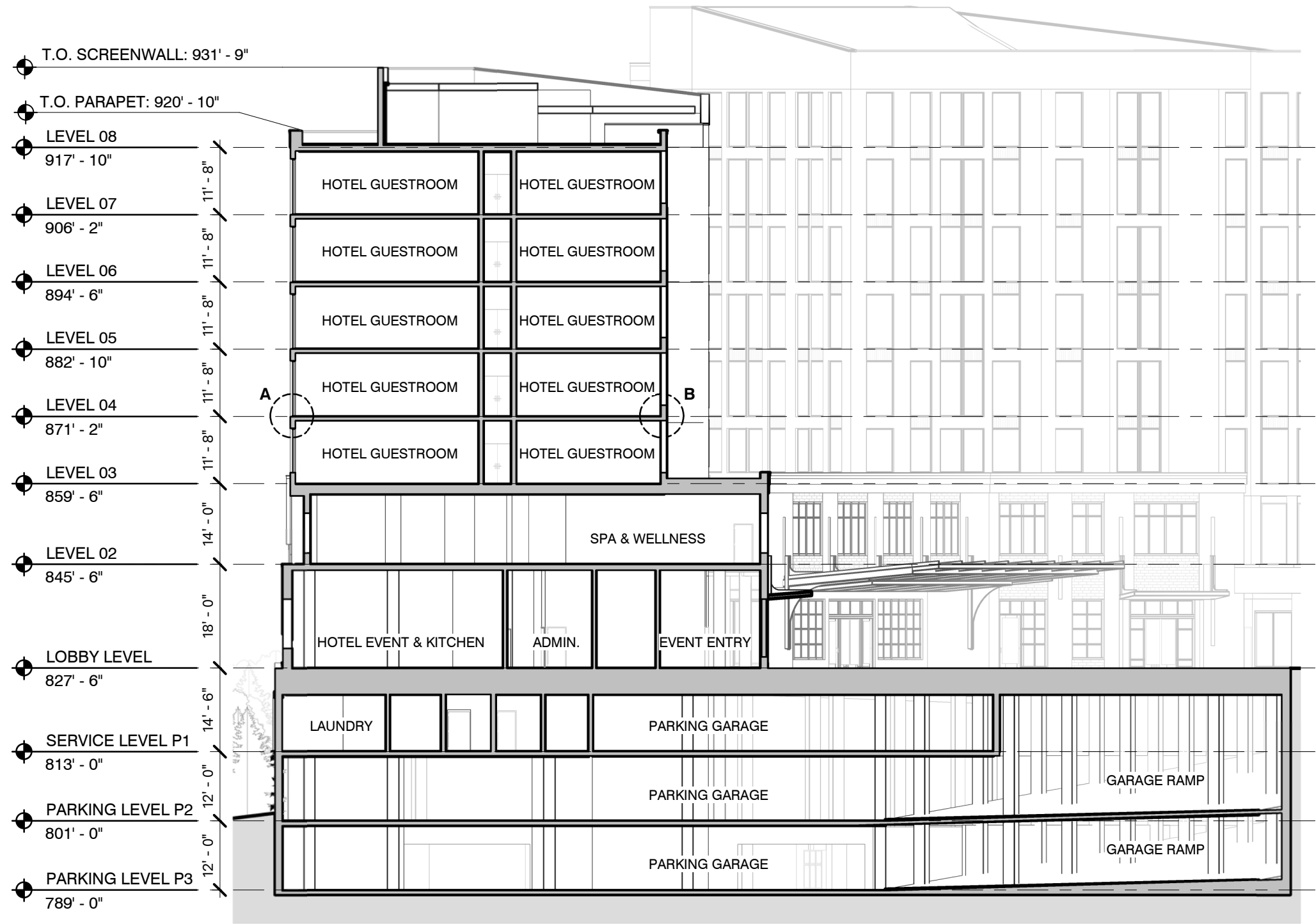
TOTAL FACADE AREA:	27,688 SF	VERTICAL FACADE INCREMENTS
MATERIALS		REQUIRED: YES (NO GREATER THAN 45'-0")
PRIMARY MATERIAL TYPES		PROVIDED: NO
BRICK:	7,691 SF	
GLAZING (WINDOWS AND DOORS):	10,198 SF	HORIZONTAL FACADE DIVISIONS
STONE-LOOK PANEL:	1,245 SF	REQUIRED: YES (WITHIN 3'-0" TO TOP OF
TOTAL:	19,134 SF	GROUND STORY)
		PROVIDED: YES
SECONDARY MATERIAL TYPES:		
METAL PANEL:	8,554 SF	
PRIMARY MATERIALS		
REQUIRED:	80%	
PROVIDED:	69.1% (19,134 / 27,688 = 0.691)	



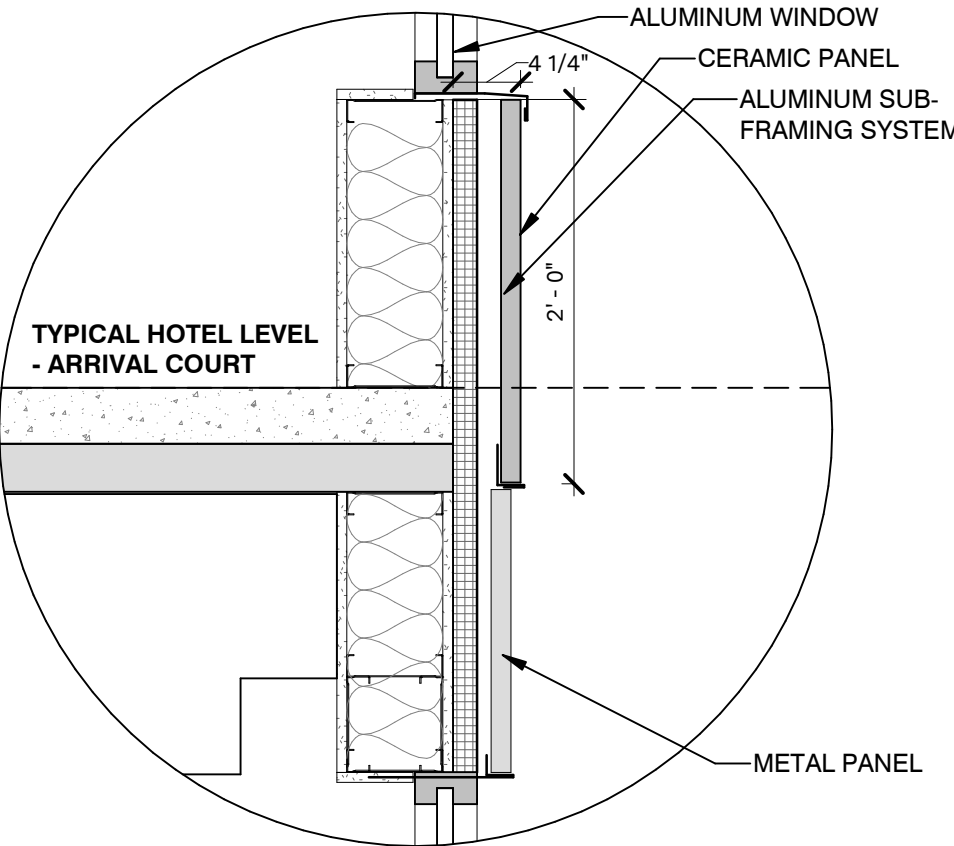






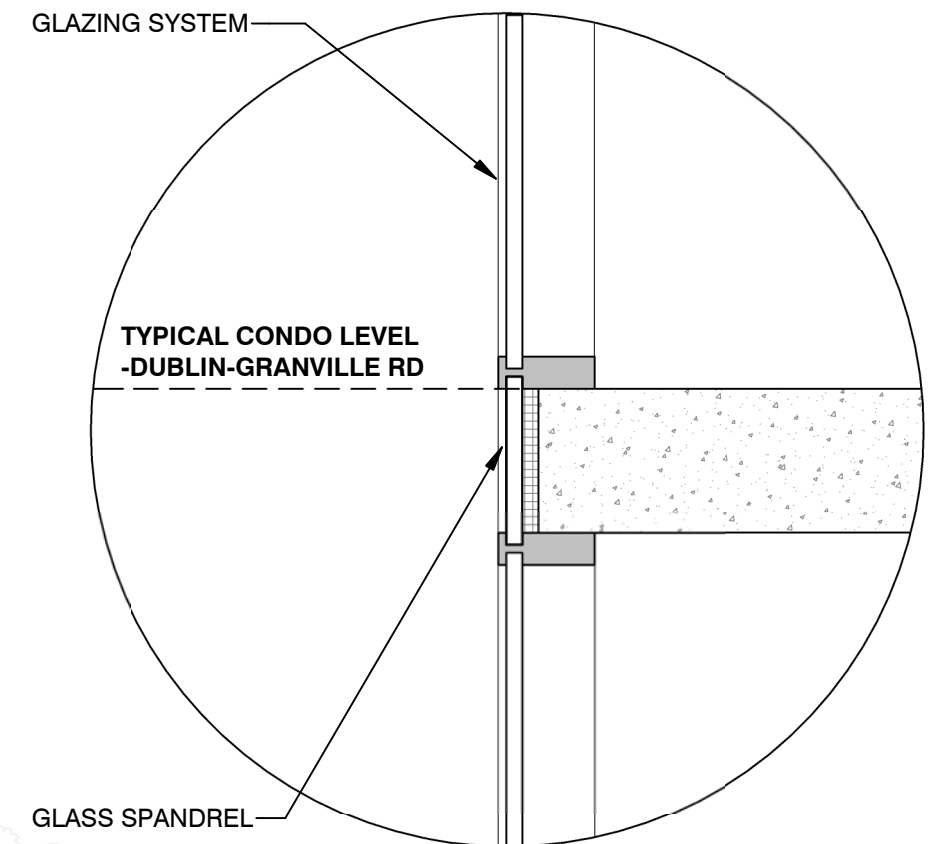
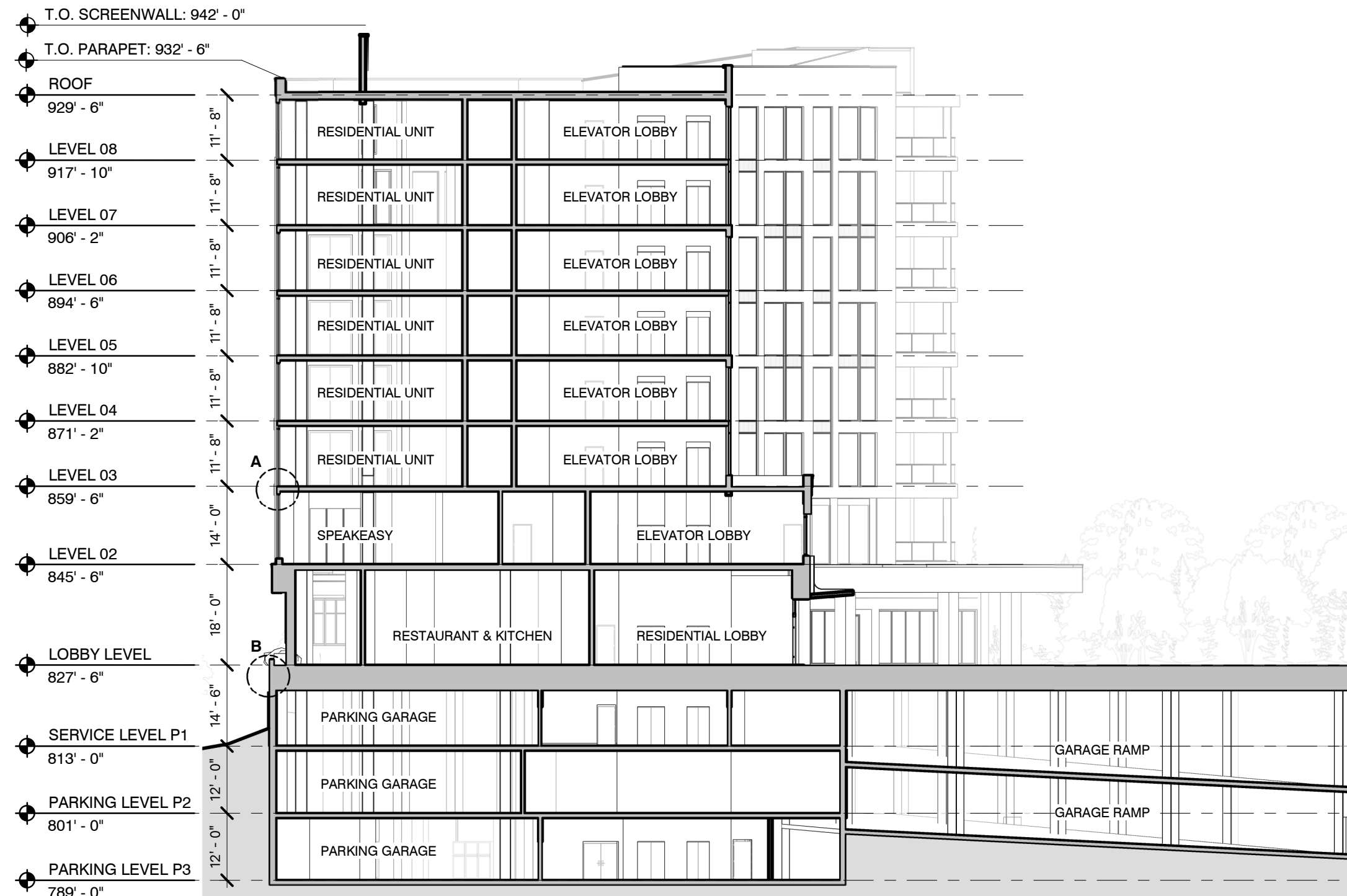


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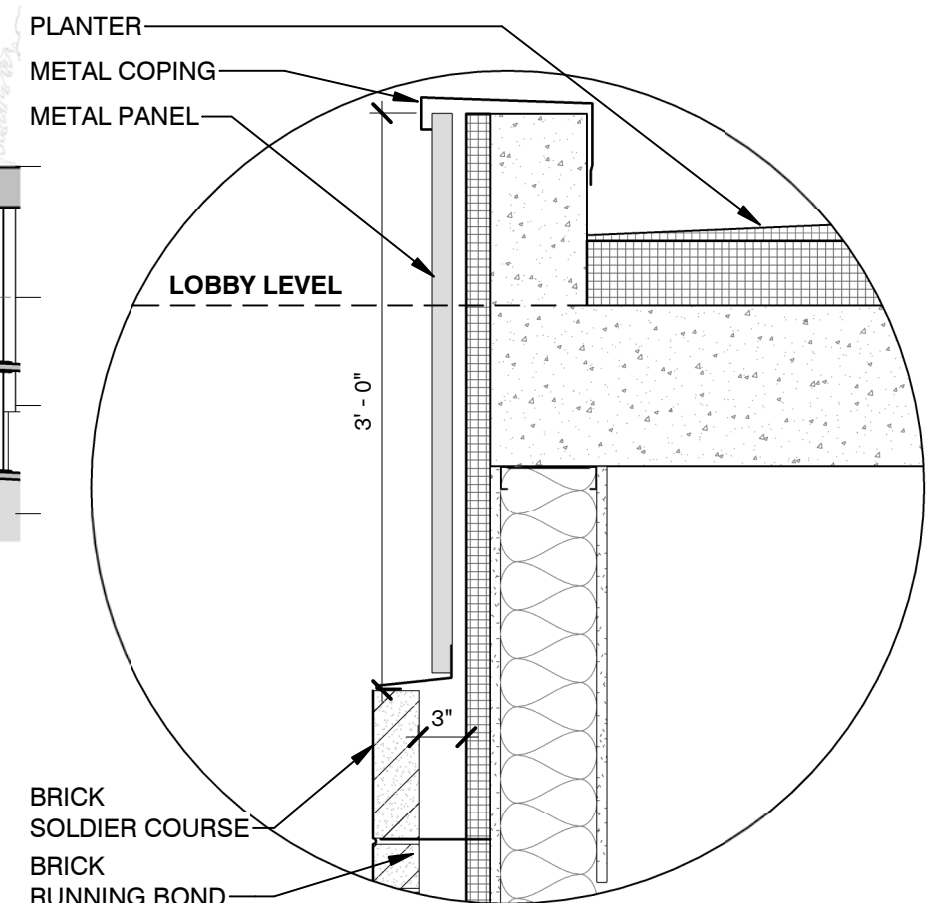


SECTION DETAIL: B



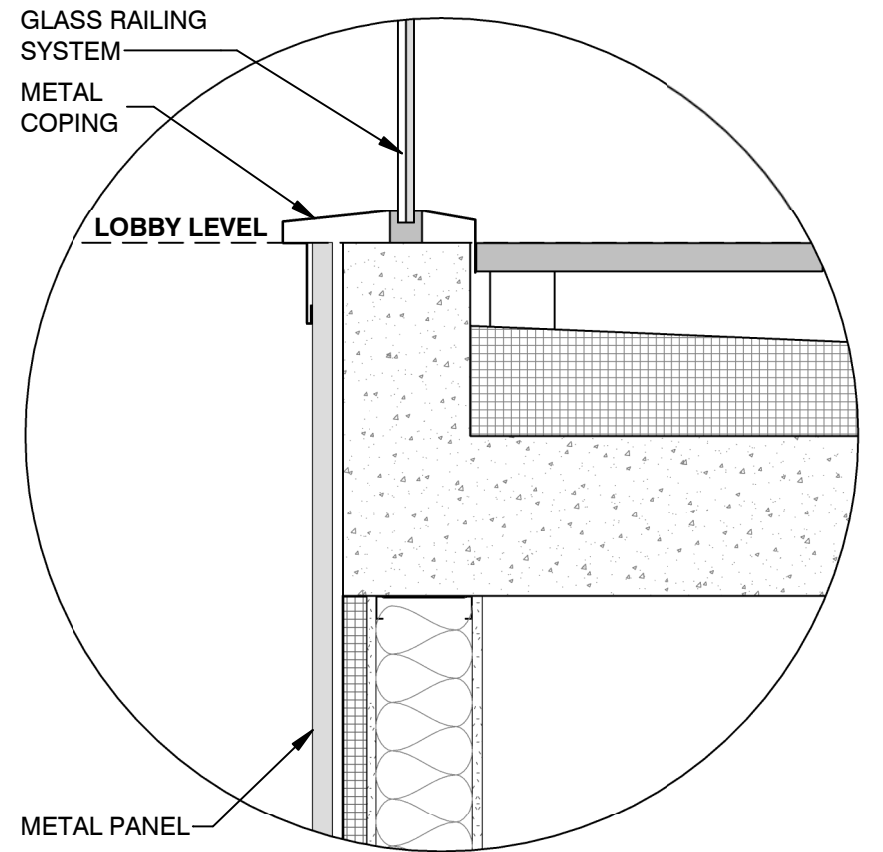


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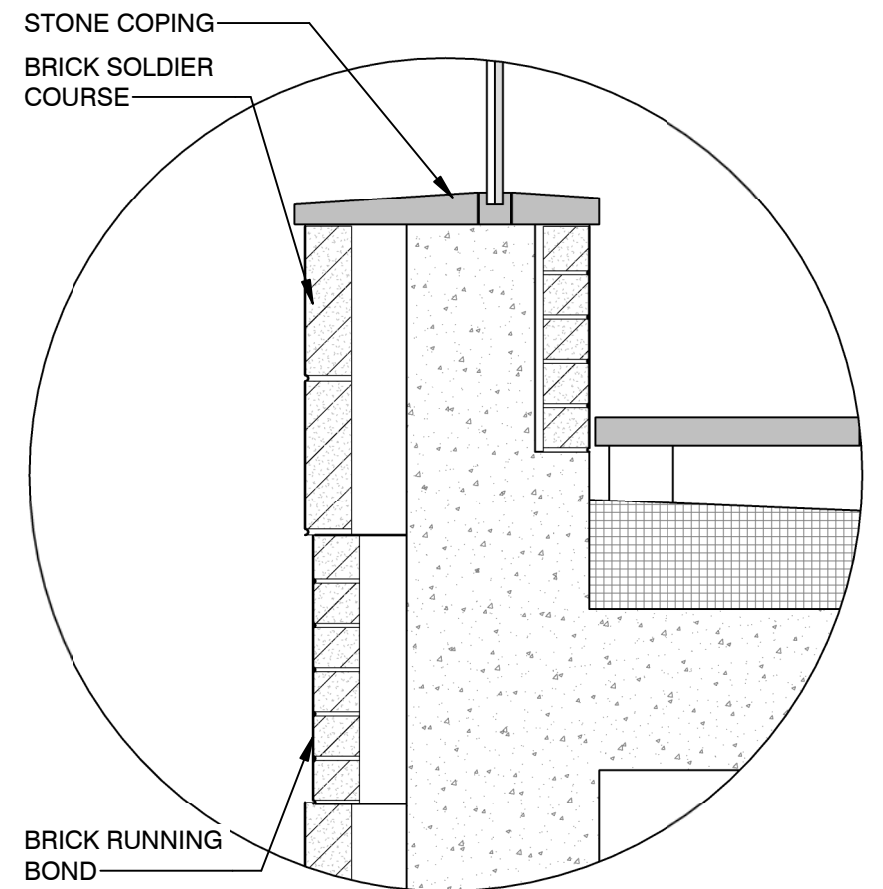


SECTION DETAIL: B





SECTION DETAIL: A



SECTION DETAIL: B

























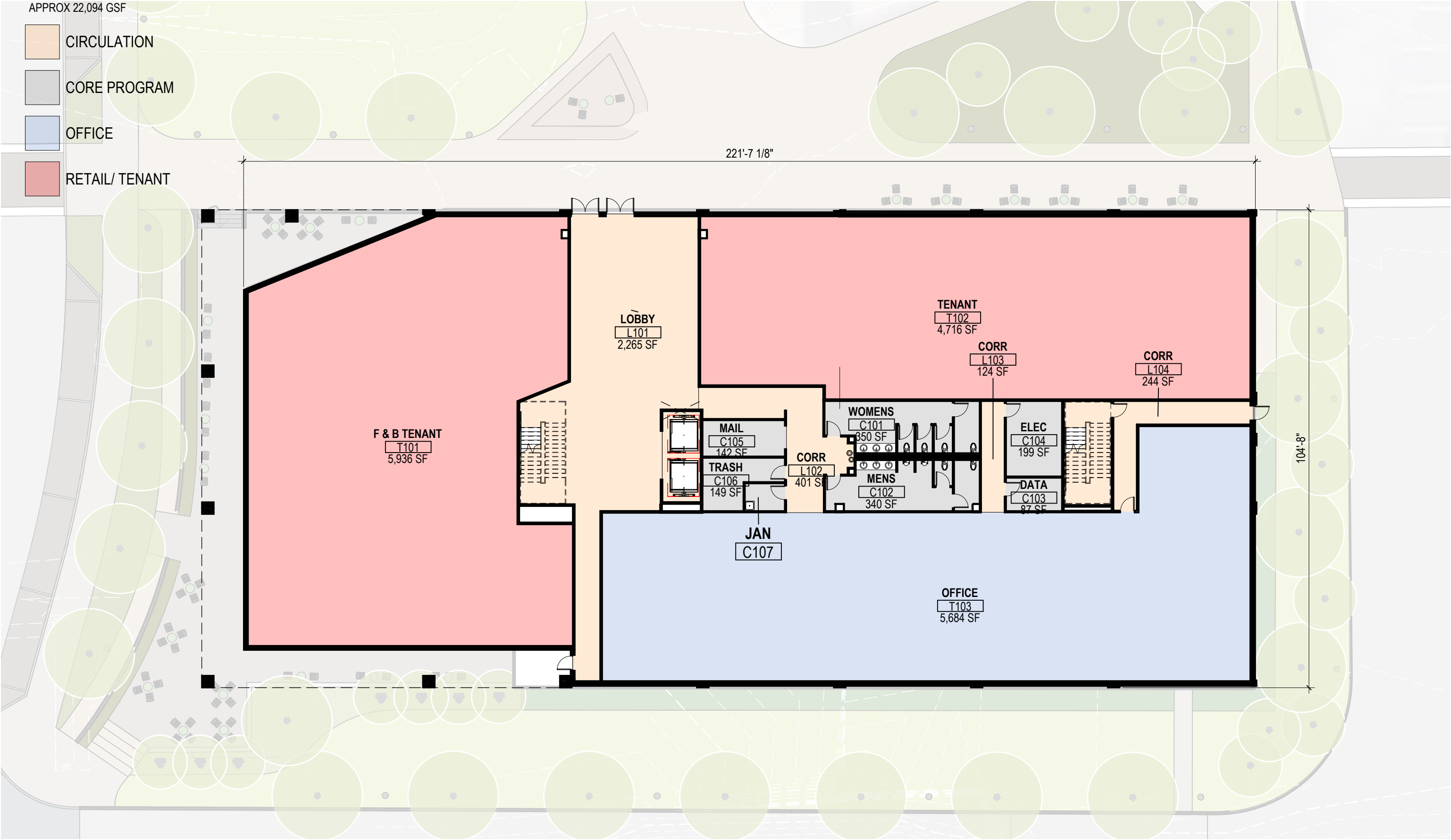


Y Block Development

Architecture

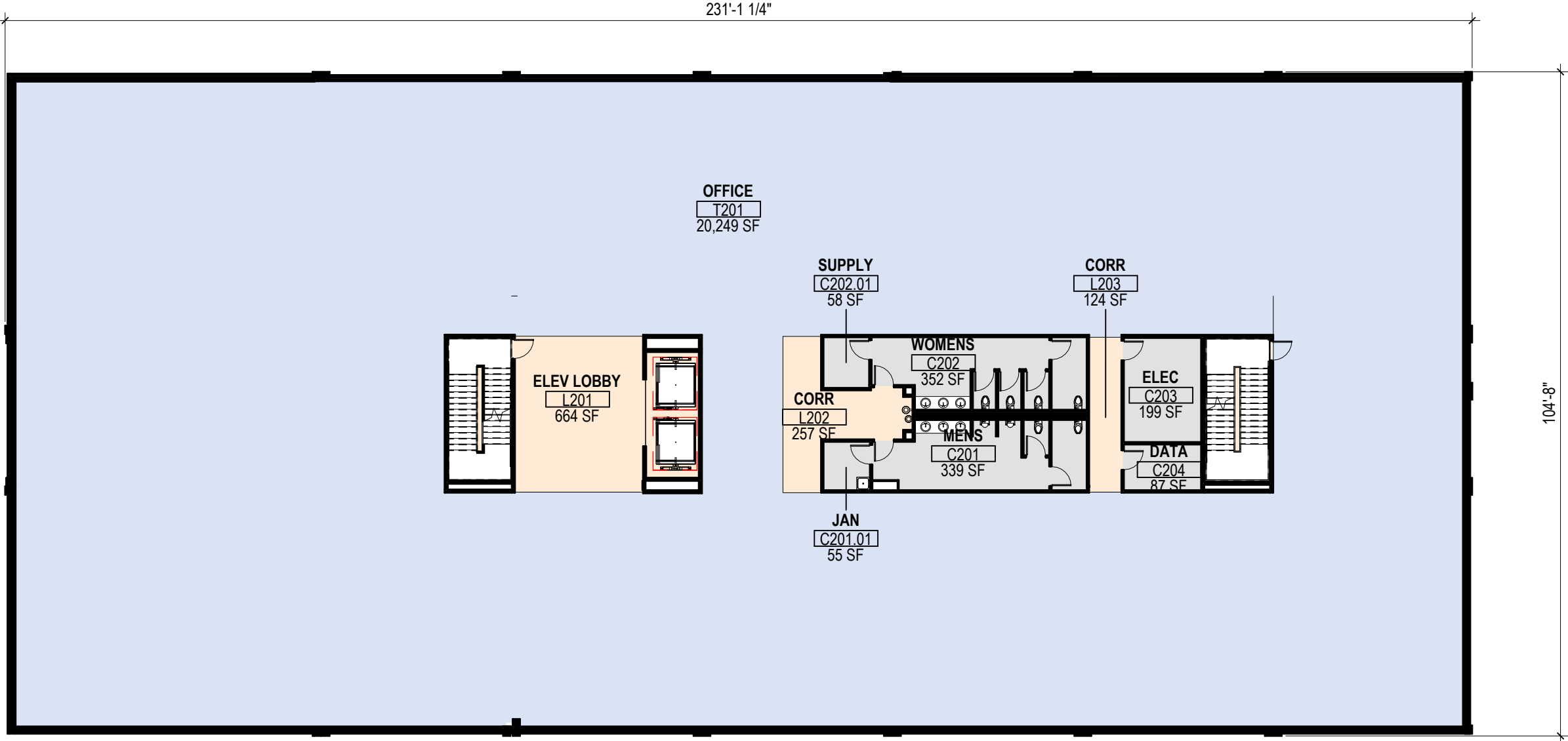
Office Building





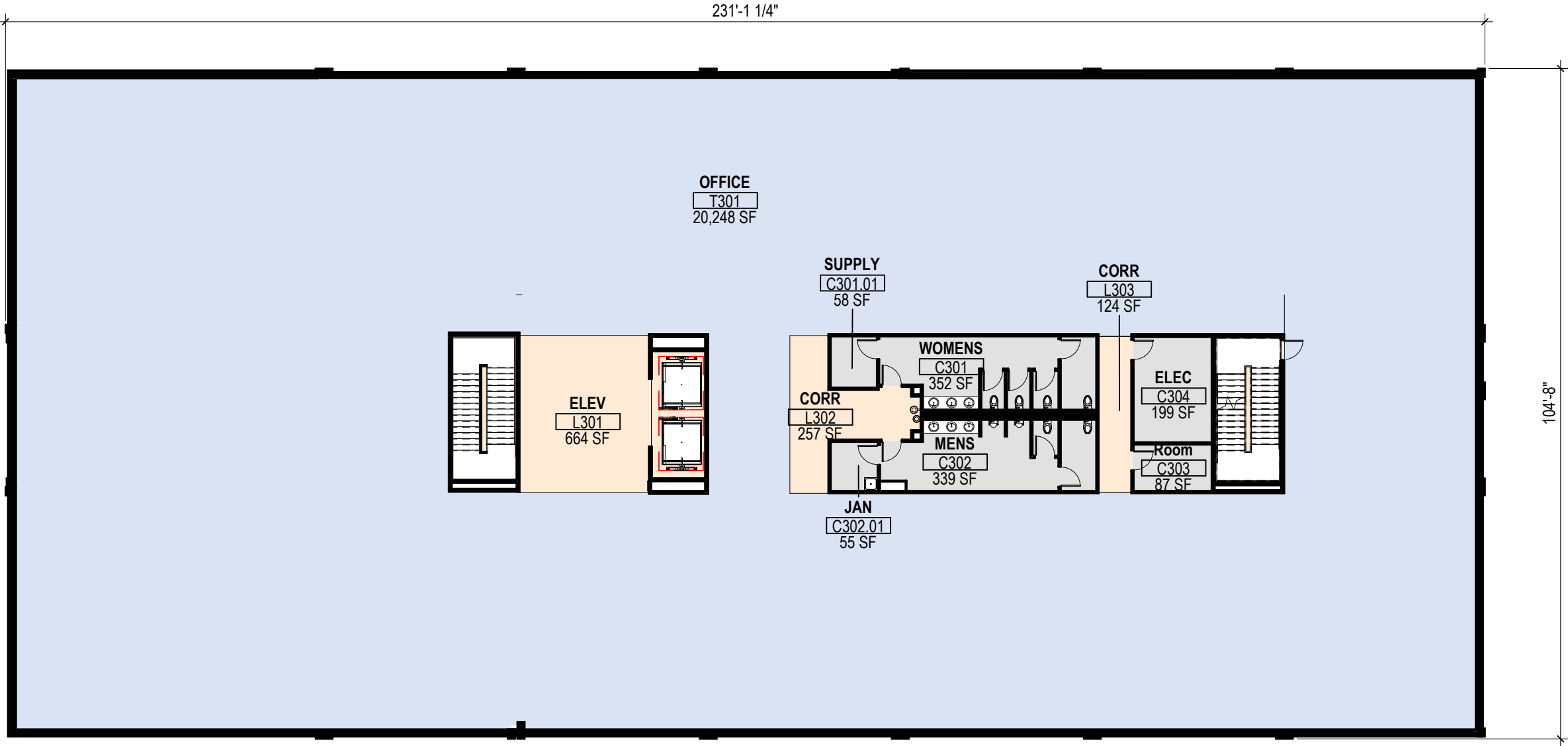


- CIRCULATION
- CORE PROGRAM
- OFFICE



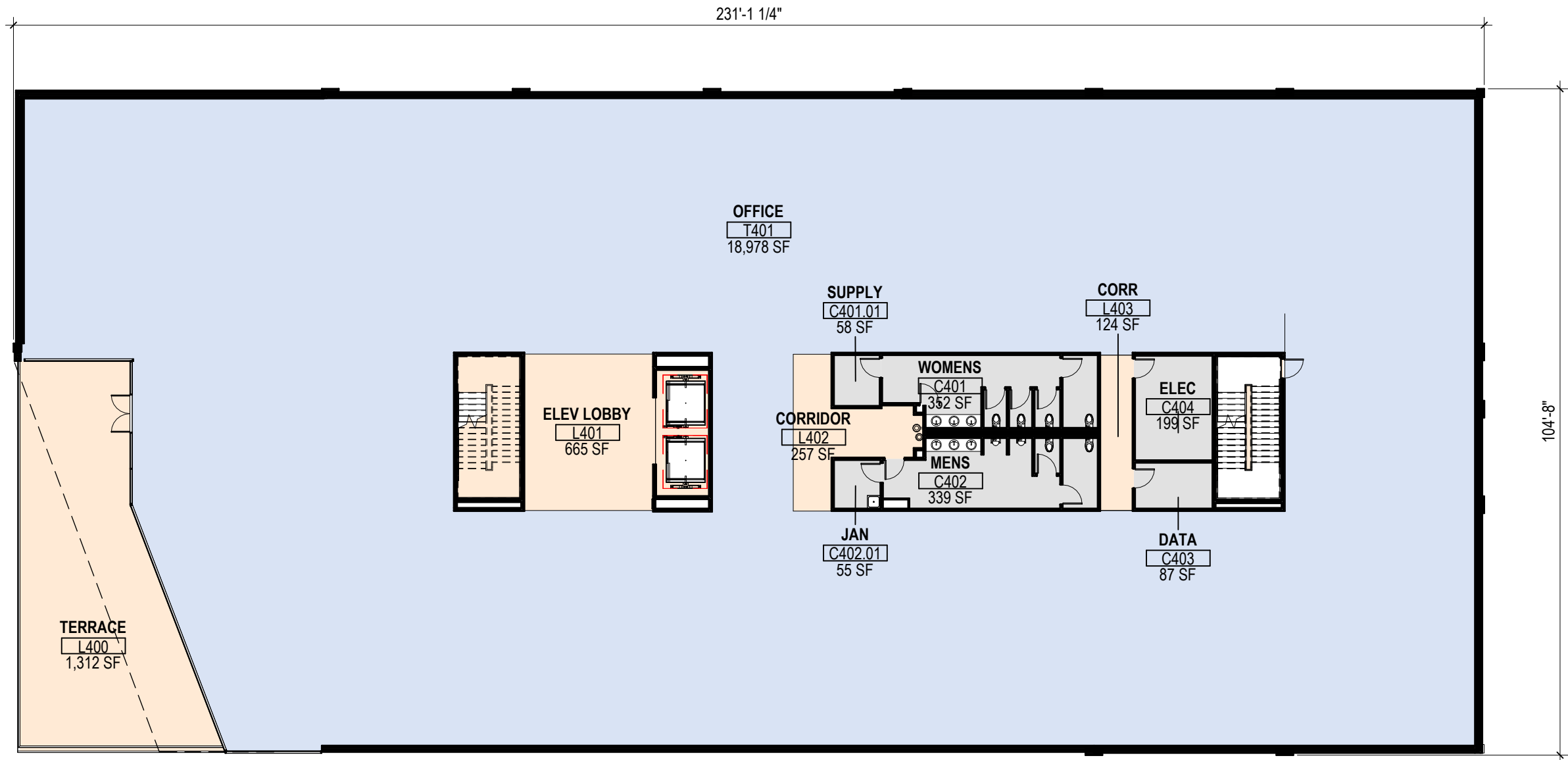


- CIRCULATION
- CORE PROGRAM
- OFFICE





- CIRCULATION
- CORE PROGRAM
- OFFICE



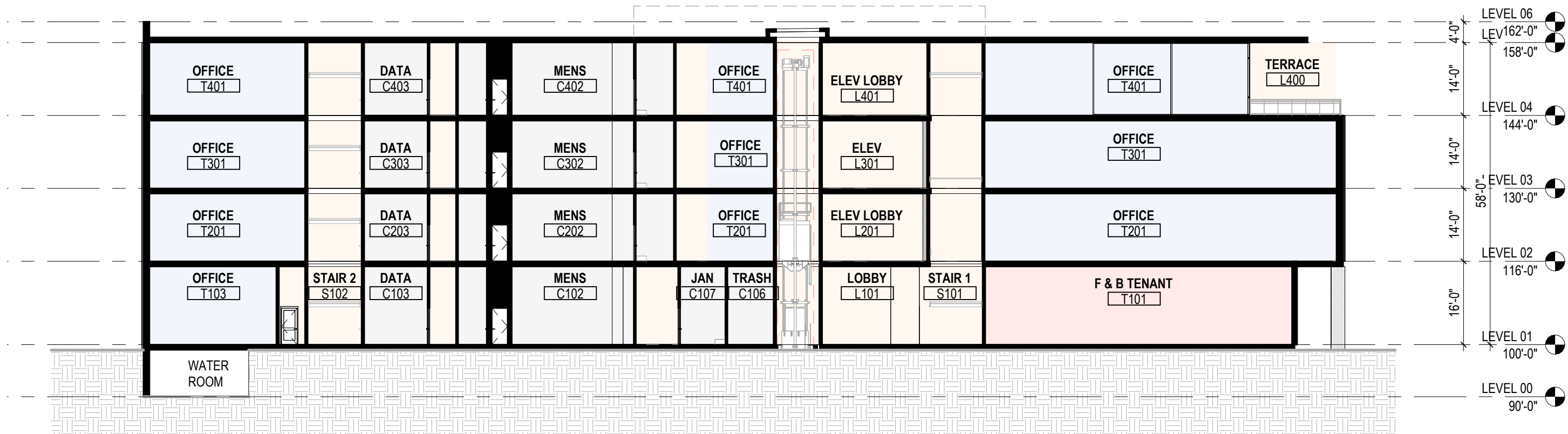


CIRCULATION

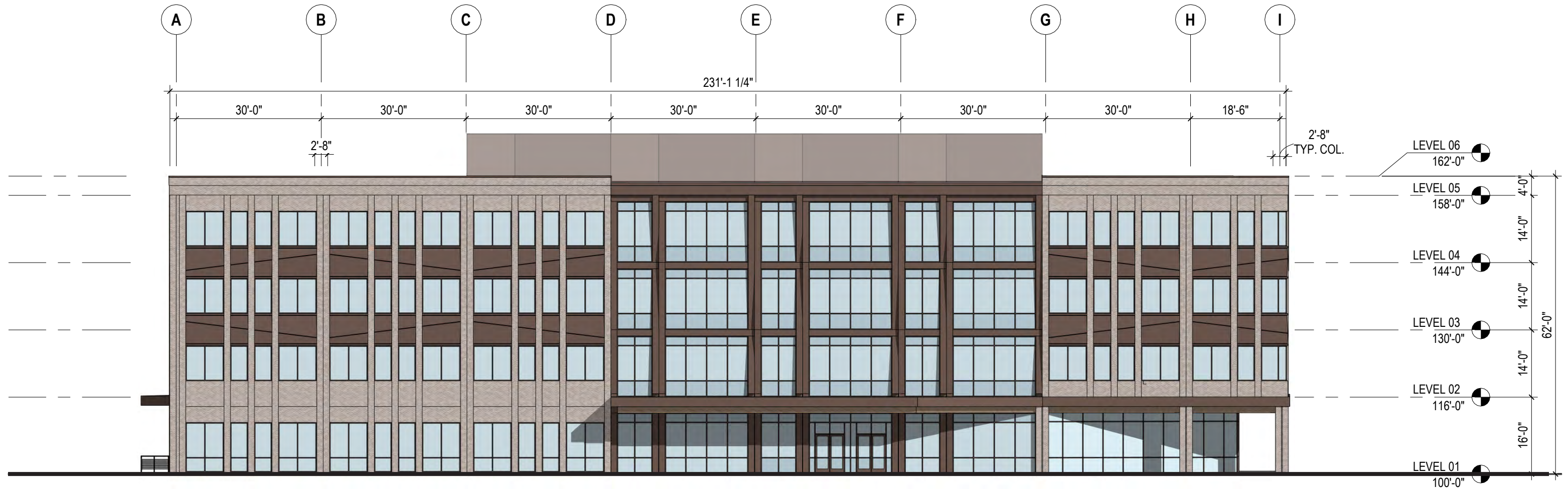
CORE PROGRAM

OFFICE

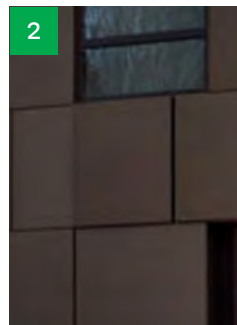
RETAIL/ TENANT



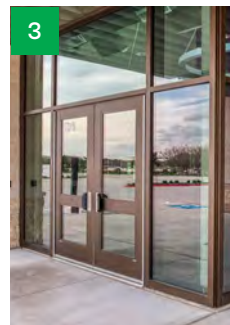




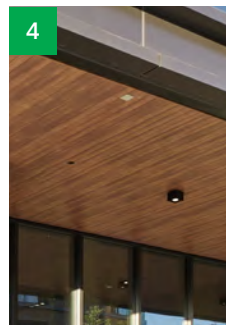
**1. Brick**  
- Warm Gray mixed tone - Coarse



**2. Metal Panel**  
- Bronze Range



**3. Storefront**  
- Dark Bronze



**4. Soffit Panel**  
- Walnut Tone

#### ACTUAL BUILDING DATA - EAST FACADE

##### MATERIAL TYPE:

EAST FACADE TOTAL AREA	13,488 SF
PRIMARY GLAZING	6,749 SF
PRIMARY BRICK	3,606 SF
SECONDARY METAL	3,133 SF
SECONDARY METAL ROOF SCREEN WALL	1,212 SF
SECONDARY LOUVERS/GLAZING/METAL (TBD PER TENANT REQ. -UPPER PORTION OF GROUND FLOOR STOREFRONTS)	0 SF

PRIMARY MATERIAL TOTAL:	2,944 SF
REQUIRED: 80%	
PROVIDED: 48% (2,944 / 6,122 = .480)	

SECONDARY MATERIAL TOTAL:	2,174 SF
REQUIRED: <20%	
PROVIDED: 35% (2,174 / 6,122 = .355)	

##### FACADE REQUIREMENTS:

STREET FACADE:	YES
PRINCIPAL ENTRANCE:	YES

##### NUMBER OF ENTRANCES:

REQUIRED:	1 PER 75'-0" OF FACADE
TOTAL FACADE LENGTH:	105'-5"
REQUIRED:	105'-5" / 75 = 2 (1.41 ROUNDED UP)
PROVIDED:	1 BASE + 3 ANTICIPATED FUTURE TENANT ENTRANCES

##### GROUND STORY:

HEIGHT (VARIES):	16'-0" (SOUTH)
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GROUND STORY TOTAL AREA:	3,701 SF
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##### GROUND STORY TRANSPARENCY:

GROUND STORY TRANSPARENCY ZONE: (2'-0" TO 8'-0" ABOVE GRADE)	1,385 SF
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GROUND STORY GLAZING AREA: (2'-0" TO 8'-0" ABOVE GRADE)	1,041 SF
---	----------

TRANSPARENCY REQUIRED:	60%
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TRANSPARENCY PROVIDED:	75.16%
------------------------	--------

##### UPPER STORY:

HEIGHT:	14'-0"
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UPPER STORY TOTAL AREA:	3,265 SF (FLOOR TO FLOOR 02-04)
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##### UPPER STORY TRANSPARENCY:

UPPER STORY TRANSPARENCY ZONE:	3,265 SF (FLOOR TO FLOOR 02-04)
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UPPER STORY GLAZING AREA:	1,219 SF (FLOOR TO FLOOR 02-04)
---------------------------	---------------------------------

TRANSPARENCY REQUIRED:	30%
------------------------	-----

TRANSPARENCY PROVIDED:	37.33%
------------------------	--------

##### BLANK WALL LIMITATIONS:

REQUIRED:	YES
-----------	-----

PROVIDED:	YES
-----------	-----

##### VERTICAL FACADE DIVISIONS:

REQUIRED:	YES (NO GREATER THAN 45'-0" INCREMENTS)
-----------	---

PROVIDED:	YES (LESS THAN 45'-0")
-----------	------------------------

##### HORIZONTAL FACADE DIVISIONS:

REQUIRED:	YES (WITHIN 3'-0" TO TOP OF GROUND STORY)
-----------	---

PROVIDED:	YES, BRICK TYPE CHANGE AT 2'-8" BELOW LEVEL 02
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Moody Nolan



CRAWFORD HOYING

CAMERON

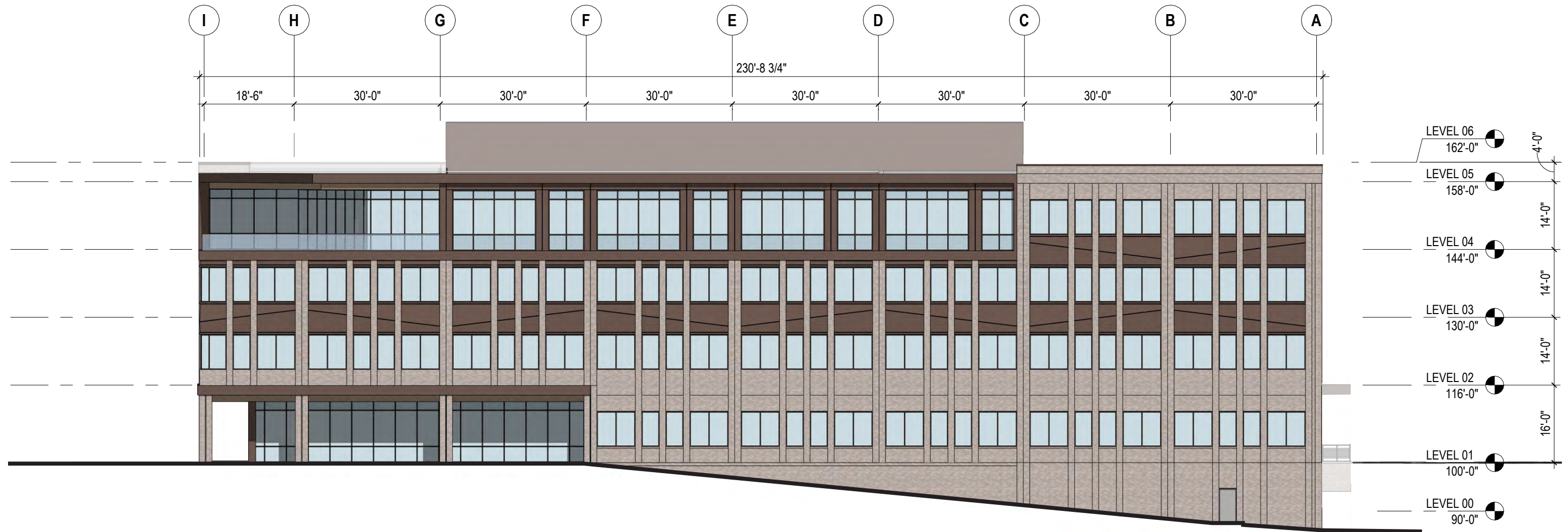
MITCHELL  
RESTAURANTS

Scale: 1" = 20'

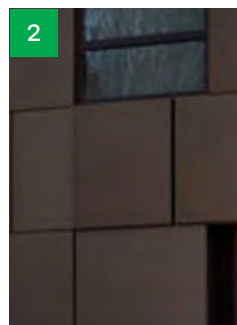
OFFICE - EAST ELEVATION | Y Block Development

91





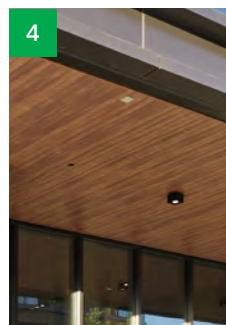
**1. Brick**  
- Warm Gray mixed tone - Coarse



**2. Metal Panel**  
- Bronze Range



**3. Storefront**  
- Dark Bronze



**4. Soffit Panel**  
- Walnut Tone

#### ACTUAL BUILDING DATA - WEST FACADE

##### MATERIAL TYPE:

WEST FACADE TOTAL AREA	14,610 SF
PRIMARY GLAZING	5,955 SF
PRIMARY BRICK	5,699 SF
SECONDARY METAL	2,956 SF
SECONDARY METAL ROOF SCREEN WALL	1,212 SF
SECONDARY LOUVERS/GLAZING/METAL	0 SF
(TBD PER TENANT REQ. -UPPER PORTION OF GROUND FLOOR STOREFRONTS)	

<b>PRIMARY MATERIAL TOTAL:</b>	2,944 SF
REQUIRED: 80%	
PROVIDED: 48% (2,944 / 6,122 = .480)	

<b>SECONDARY MATERIAL TOTAL:</b>	2,174 SF
REQUIRED: <20%	
PROVIDED: 35% (2,174 / 6,122 = .355)	

##### FACADE REQUIREMENTS:

STREET FACADE:	NO
PRINCIPAL ENTRANCE:	NO

##### NUMBER OF ENTRANCES:

REQUIRED:	1 PER 75'-0" OF FACADE
TOTAL FACADE LENGTH:	105'-5"
REQUIRED:	105'-5" / 75' = 2 (1.41 ROUNDED UP)
PROVIDED:	1 BASE + 3 ANTICIPATED FUTURE TENANT ENTRANCES

##### GROUND STORY:

HEIGHT (VARIES):	16'-0"
------------------	--------

GROUND STORY TOTAL AREA:	3,701 SF
--------------------------	----------

##### GROUND STORY TRANSPARENCY:

GROUND STORY TRANSPARENCY ZONE:	1,399 SF
---------------------------------	----------

(2'-0" TO 8'-0" ABOVE GRADE)

GROUND STORY GLAZING AREA:	904 SF
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(2'-0" TO 8'-0" ABOVE GRADE)

TRANSPARENCY REQUIRED:	60%
------------------------	-----

TRANSPARENCY PROVIDED:	64.625%
------------------------	---------

##### UPPER STORY:

HEIGHT:	14'-0"
---------	--------

UPPER STORY TOTAL AREA:	3,265 SF (FLOOR TO FLOOR 02-04)
-------------------------	---------------------------------

##### UPPER STORY TRANSPARENCY:

UPPER STORY TRANSPARENCY ZONE:	3,265 SF (FLOOR TO FLOOR 02-04)
--------------------------------	---------------------------------

UPPER STORY GLAZING AREA:	1,711 SF (FLOOR TO FLOOR 02-04)
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TRANSPARENCY REQUIRED:	30%
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TRANSPARENCY PROVIDED:	35.86%
------------------------	--------

##### BLANK WALL LIMITATIONS:

REQUIRED:	YES
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PROVIDED:	YES
-----------	-----

##### VERTICAL FACADE DIVISIONS:

REQUIRED:	YES (NO GREATER THAN 45'-0" INCREMENTS)
-----------	---

PROVIDED:	YES (GREATER THAN 45'-0")
-----------	---------------------------

##### HORIZONTAL FACADE DIVISIONS:

REQUIRED:	YES (WITHIN 3'-0" TO TOP OF GROUND STORY)
-----------	---

PROVIDED:	YES, BRICK TYPE CHANGE AT 2'-8" BELOW LEVEL 02
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Moody Nolan



CRAWFORD HOYING

CAMERON

MITCHELL

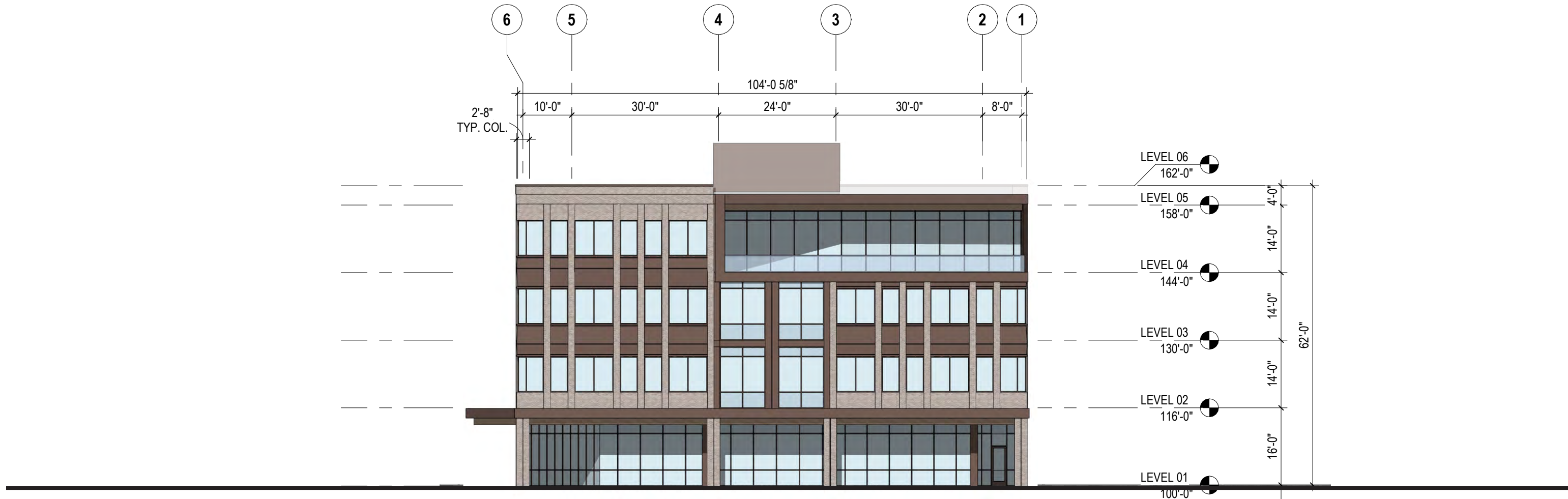
RESTAURANTS

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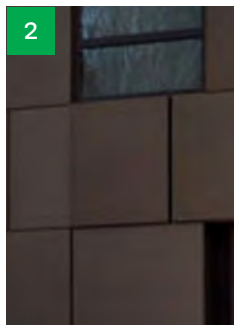
OFFICE - WEST ELEVATION | Y Block Development

92





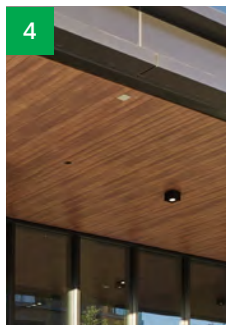
**1. Brick**  
- Warm Gray mixed tone - Coarse



**2. Metal Panel**  
- Bronze Range



**3. Storefront**  
- Dark Bronze



**4. Soffit Panel**  
- Walnut Tone

#### ACTUAL BUILDING DATA - NORTH FACADE

<b>MATERIAL TYPE:</b>		
NORTH FACADE TOTAL AREA		
PRIMARY	GLAZING	3,520 SF
PRIMARY	BRICK	1,229 SF
SECONDARY	METAL	1,430 SF
SECONDARY	METAL ROOF SCREEN WALL	260 SF
SECONDARY	LOUVERS/GLAZING/METAL (TBD PER TENANT REQ. -UPPER PORTION OF GROUND FLOOR STOREFRONTS)	0 SF
<b>PRIMARY MATERIAL TOTAL:</b>		2,944 SF
REQUIRED:	80%	
PROVIDED:	48% (2,944 / 6,122 = .480)	
<b>SECONDARY MATERIAL TOTAL:</b>		2,174 SF
REQUIRED:	<20%	
PROVIDED:	35% (2,174 / 6,122 = .355)	
<b>FACADE REQUIREMENTS:</b>		
STREET FACADE:		YES
PRINCIPAL ENTRANCE:		NO
<b>NUMBER OF ENTRANCES:</b>		
REQUIRED:	1 PER 75'-0" OF FACADE	
TOTAL FACADE LENGTH:	105'-5"	
REQUIRED:	105'-5" / 75 = 2 (1.41 ROUNDED UP)	
PROVIDED:	1 BASE + 3 ANTICIPATED FUTURE TENANT ENTRANCES	

<b>GROUND STORY:</b>	
HEIGHT (VARIES):	16'-0"
GROUND STORY TOTAL AREA:	1,683 SF
<b>GROUND STORY TRANSPARENCY:</b>	
GROUND STORY TRANSPARENCY ZONE:	631 SF
(2'-0" TO 8'-0" ABOVE GRADE)	
GROUND STORY GLAZING AREA:	527 SF
(2'-0" TO 8'-0" ABOVE GRADE)	
TRANSPARENCY REQUIRED:	60%
TRANSPARENCY PROVIDED:	83.52%
<b>UPPER STORY:</b>	
HEIGHT:	14'-0"
UPPER STORY TOTAL AREA:	1472 SF (FLOOR TO FLOOR 02-04)
<b>UPPER STORY TRANSPARENCY:</b>	
UPPER STORY TRANSPARENCY ZONE:	1472 SF (FLOOR TO FLOOR 02-04)
UPPER STORY GLAZING AREA:	596 SF (FLOOR TO FLOOR 02-04)
TRANSPARENCY REQUIRED:	30%
TRANSPARENCY PROVIDED:	40.49%
<b>BLANK WALL LIMITATIONS:</b>	
REQUIRED:	YES
PROVIDED:	YES
<b>VERTICAL FACADE DIVISIONS:</b>	
REQUIRED:	YES (NO GREATER THAN 45'-0" INCREMENTS)
PROVIDED:	YES (GREATER THAN 45'-0")
<b>HORIZONTAL FACADE DIVISIONS:</b>	
REQUIRED:	YES (WITHIN 3'-0" TO TOP OF GROUND STORY)
PROVIDED:	YES, BRICK TYPE CHANGE AT 2'-8" BELOW LEVEL 02



Moody Nolan



CRAWFORD HOYING

CAMERON

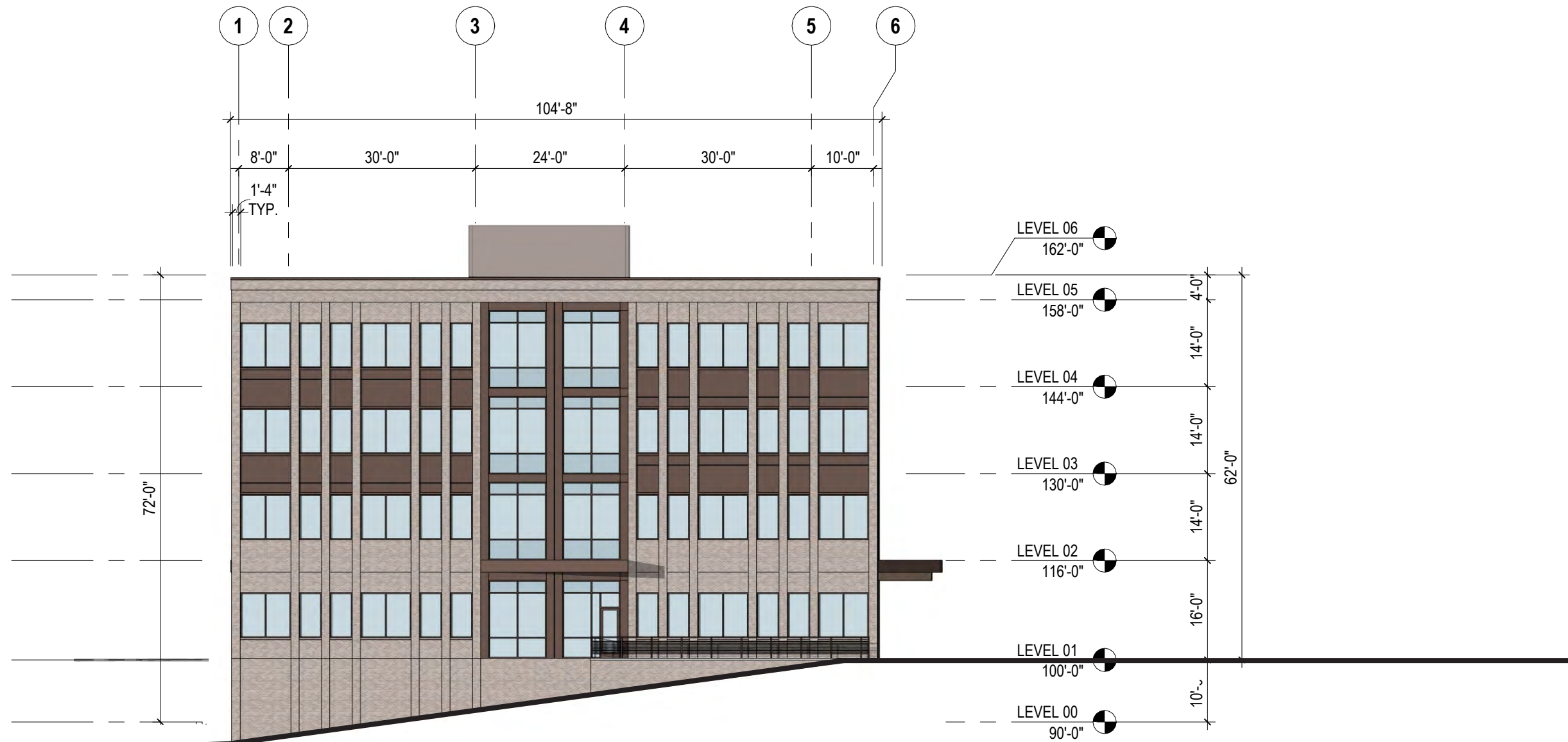
MITCHELL

▪ R E S T A U R A N T S ▪

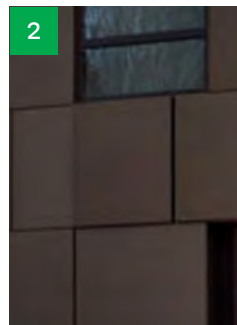
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OFFICE - NORTH ELEVATION | Y Block Development

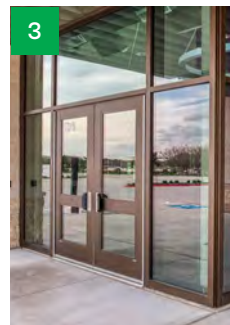




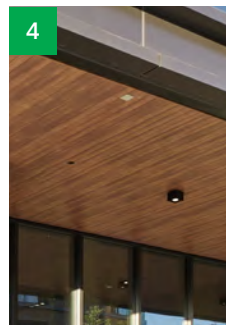
**1. Brick**  
- Warm Gray mixed tone - Coarse



**2. Metal Panel**  
- Bronze Range



**3. Storefront**  
- Dark Bronze



**4. Soffit Panel**  
- Walnut Tone

#### ACTUAL BUILDING DATA - SOUTH FACADE

##### MATERIAL TYPE:

SOUTH FACADE TOTAL AREA 7,078 SF

PRIMARY	GLAZING	2,481 SF
PRIMARY	BRICK	3,323 SF
SECONDARY	METAL	1,274 SF
SECONDARY	METAL ROOF SCREEN WALL	260 SF
SECONDARY	LOUVERS/GLAZING/METAL	0 SF
(TBD PER TENANT REQ. -UPPER PORTION OF GROUND FLOOR STOREFRONTS)		

PRIMARY MATERIAL TOTAL: 2,944 SF

REQUIRED: 80%  
PROVIDED: 48% (2,944 / 6,122 = .480)

SECONDARY MATERIAL TOTAL: 2,174 SF

REQUIRED: <20%  
PROVIDED: 35% (2,174 / 6,122 = .355)

##### FACADE REQUIREMENTS:

STREET FACADE: NO  
PRINCIPAL ENTRANCE: NO

##### NUMBER OF ENTRANCES:

REQUIRED: 1 PER 75'-0" OF FACADE  
TOTAL FACADE LENGTH: 105'-5"  
REQUIRED: 105'-5" / 75 = 2 (1.41 ROUNDED UP)  
PROVIDED: 1 BASE + 3 ANTICIPATED FUTURE TENANT ENTRANCES

##### GROUND STORY:

HEIGHT (VARIES): 16'-0"

GROUND STORY TOTAL AREA: 1,683 SF

##### GROUND STORY TRANSPARENCY:

GROUND STORY TRANSPARENCY ZONE: 631 SF

(2'-0" TO 8'-0" ABOVE GRADE)

GROUND STORY GLAZING AREA: 379 SF

(2'-0" TO 8'-0" ABOVE GRADE)

TRANSPARENCY REQUIRED: 60%

TRANSPARENCY PROVIDED: 60.6%

##### UPPER STORY:

HEIGHT: 14'-0"

UPPER STORY TOTAL AREA: 1472 SF (FLOOR TO FLOOR 02-04)

##### UPPER STORY TRANSPARENCY:

UPPER STORY TRANSPARENCY ZONE: 1472 SF (FLOOR TO FLOOR 02-04)

UPPER STORY GLAZING AREA: 596 SF (FLOOR TO FLOOR 02-04)

TRANSPARENCY REQUIRED: 30%

TRANSPARENCY PROVIDED: 40.49%

##### BLANK WALL LIMITATIONS:

REQUIRED: YES

PROVIDED: YES

##### VERTICAL FACADE DIVISIONS:

REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS)

PROVIDED: YES (GREATER THAN 45'-0")

##### HORIZONTAL FACADE DIVISIONS:

REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)

PROVIDED: YES, BRICK TYPE CHANGE AT 2'-8" BELOW LEVEL 02



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MITCHELL

RESTAURANTS

Scale: 1" = 20'

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94





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OFFICE - DALE DRIVE VIEW - MAIN ENTRY | Y Block Development





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OFFICE - MAIN ENTRY VIEW - FROM PUBLIC PLAZA | Y Block Development





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OFFICE - NORTHWEST VIEW - FROM HOTEL ENTRY | Y Block Development





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OFFICE - SOUTHWEST VIEW - FROM SOUTH WALK PATH | Y Block Development



