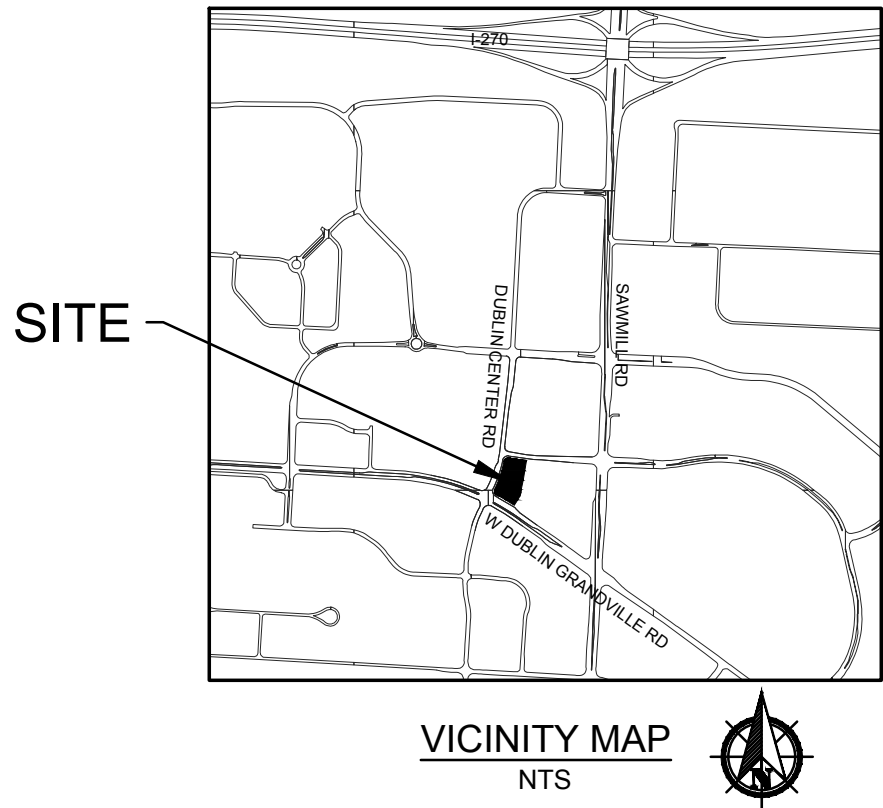


SHEET INDEX

C001 - TITLE SHEET
C100 - EXISTING CONDITIONS & DEMOLITION PLAN
C200 - SITE & UTILITY PLAN
C201 - SITE DETAILS
C300 - GRADING PLAN

PRELIMINARY DEVELOPMENT PLAN
FOR
ALL IN DUBLIN
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
W. DUBLIN GRANVILLE ROAD



SITE DATA

ZONING:

PROPERTY OWNER: DUBLIN 18 LLC

PARCEL ID: 273-013221

ADDRESS: W DUBLIN GRANVILLE ROAD, DUBLIN OHIO 43017

ZONING: BSC SAWMILL CENTER NEIGHBORHOOD

PROPOSED USE: MULTI-FAMILY, MIXED USE

FEMA FLOODPLAIN: 39049C0151K (6/17/2008) ZONE X

SITE DATA:

TOTAL SITE AREA: 1.59 AC

EXISTING IMPERVIOUS AREA: 0.28 AC

PROPOSED IMPERVIOUS AREA: 1.18 AC

BUILDING & PARKING SETBACK: 5'

BUILDING DATA:

UNITS:

- 1 BEDROOM: 38
- 2 BEDROOM: 29
- 3 BEDROOM: 8
- TOTAL: 75

BUILDING HEIGHT: 56' PROPOSED (70' MAXIMUM HEIGHT)

PARKING DATA:

1-BEDROOM: 38 UNITS x 1 SPACE PER UNIT = 38 SPACES

2-BEDROOM: 29 UNITS x 1.5 SPACE PER UNIT = 43.5 SPACES

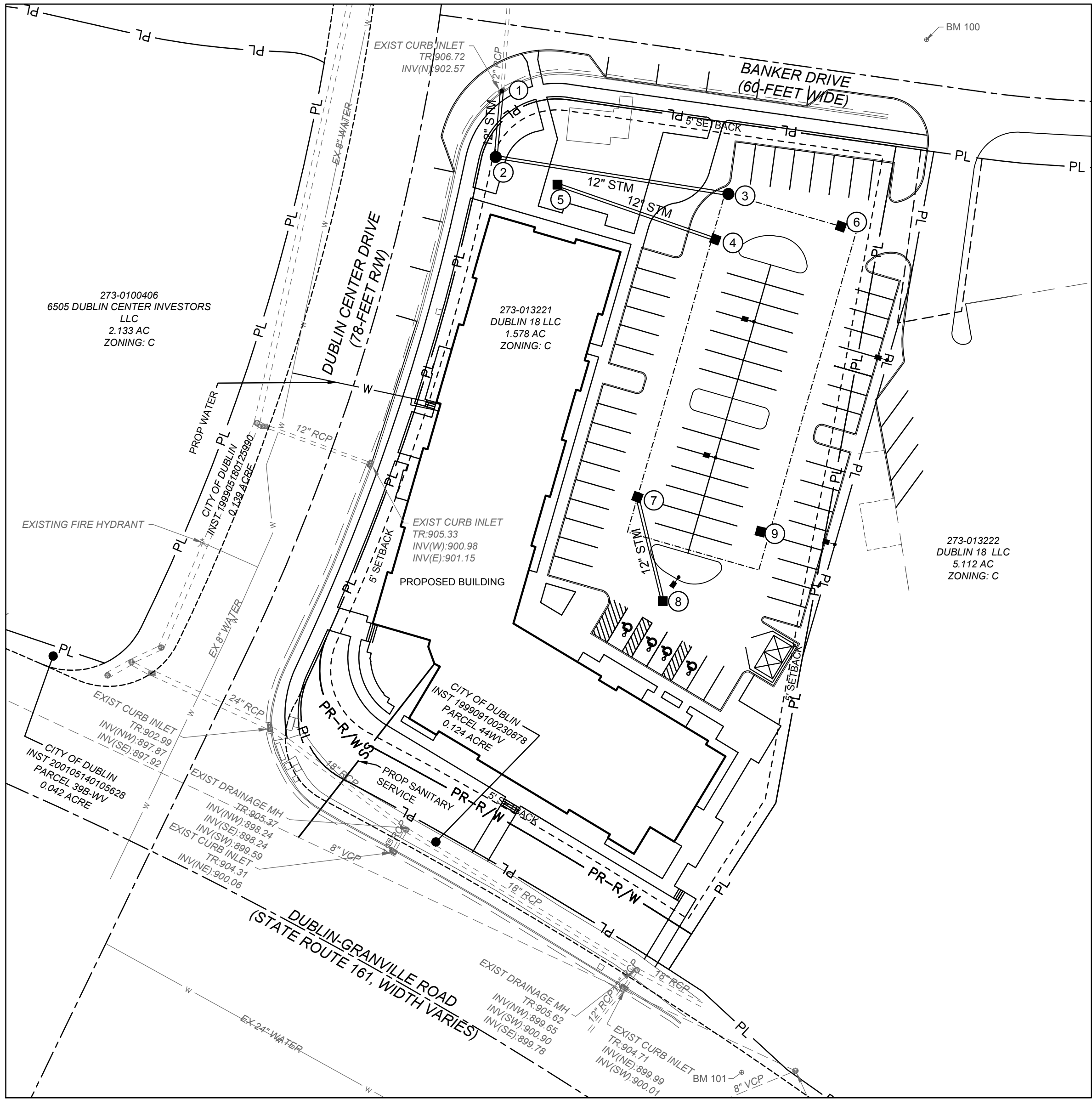
3-BEDROOM: 8 UNITS x 2 SPACE PER UNIT = 16 SPACES

REQUIRED PARKING: (38+43.5+16) x 0.90(10% TRANSIT REDUCTION) = 88 SPACES

PROVIDED PARKING: ON-SITE: 75 SPACES
ON-STREET: 11 SPACES (TO BE FURTHER DEVELOPED WITH CITY STAFF)

REQUIRED ADA PARKING: 4

PROVIDED ADA PARKING: 4



INDEX MAP
1" = 40'

SITE NARRATIVE:

ALL IN DUBLIN IS A PROPOSED 4 STORY APARTMENT BUILDING WITH 75 DWELLING UNITS AND ASSOCIATED PARKING, UTILITIES, AND AMENITIES.

STANDARD DRAWINGS

THE STANDARD CONSTRUCTION DRAWINGS LISTED ON THESE PLANS SHALL BE CONSIDERED A PART THEREOF.

MUNICIPALITY	MUNICIPALITY	MUNICIPALITY

OWNER/ DEVELOPER
TFG HOUSING RESOURCES
685 SOUTH FRONT STREET
COLUMBUS, OHIO 43206
CONTACT: BRAD CARMAN
PHONE: 614-949-0116
EMAIL: BCARMAN@TFGHR.COM

ARCHITECT
MA DESIGN
775 YARD STREET, SUITE 325
COLUMBUS, OHIO 43212
CONTACT: JENA KESSLER
PHONE: 614-764-0407
EMAIL: JENAK@DESIGNWITHMA.COM

ENGINEER
AMERICAN STRUCTUREPOINT
2550 CORPORATE EXCHANGE DRIVE, SUITE 300
COLUMBUS, OHIO 43231
CONTACT: BEN SCHILLING
PHONE: 614-901-2235
EMAIL: BSCHILLING@STRUCTUREPOINT.COM

LANDSCAPE ARCHITECT
EDGE
330 WEST SPRING STREET, SUITE 350
COLUMBUS, OHIO 43215
CONTACT: BASILIO 'BUZZ' FORESI
PHONE(O): 614-486-3343
PHONE (C): 614-578-6047
EMAIL: BFORESI@EDGECLA.COM

BASIS OF BEARINGS	
BEARINGS SHOWN HEREON ARE BASED GRID NORTH, REFERENCED TO THE OHIO STATE PLANE COORDINATE SYSTEM (SOUTH ZONE) AND THE NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT), AS ESTABLISHED UTILIZING A GPS SURVEY AND AN NGS OPUS SOLUTION	

VERTICAL CONTROL				
ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988, AS DERIVED FROM GNSS OBSERVATIONS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT) AND GEOID 18, AND AN NGS OPUS SOLUTION FOR CONTROL POINT 1500. THE ELEVATIONS FOR ALL OTHER CONTROL POINTS AND BENCHMARKS LISTED HEREON WERE ESTABLISHED UTILIZING A DIFFERENTIAL LEVEL CIRCUIT ORIGINATING FROM CONTROL POINT 1500.				
B.M.	DESCRIPTION	NORTHING (GROUND)	EASTING (GROUND)	ELEVATION
1500	5/8" REBAR W/STAMPED CAP "ASI CONTROL POINT"	N/A	N/A	908.12
TBM 100	CHISELED "X" ON THE SE ARROW BOLT OF A FIRE HYDRANT LOCATED ALONG THE NORTH SIDE OF BANKER DRIVE, 220-FEET EAST OF THE INTERSECTION OF BANKER DRIVE WITH DUBLIN CENTER DRIVE.	N/A	N/A	910.37
TBM 101	RR SPIKE ON THE NORTH SIDE OF A POWER POLE LOCATED ALONG THE NORTH SIDE OF W DUBLIN-GRANVILLE ROAD, 280-FEET SOUTHEAST OF THE INTERSECTION OF DUBLIN CENTER DRIVE WITH W DUBLIN-GRANVILLE ROAD, 25-FEET SOUTHWEST OF A SANITARY MANHOLE, AND 10-FEET NORTHWEST OF A LIGHT POLE.	N/A	N/A	907.89

HORIZONTAL CONTROL				
COORDINATES ARE BASED ON OHIO STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT), AS ESTABLISHED UTILIZING A GPS SURVEY AND AN NGS OPUS SOLUTION. A PROJECT ADJUSTMENT FACTOR OF 1.000024421 WAS APPLIED ABOUT C.P. 1500 TO OBTAIN GROUND COORDINATES.				
C.P.	DESCRIPTION	NORTHING (GROUND)	EASTING (GROUND)	ELEVATION
1500	5/8" REBAR W/STAMPED CAP "ASI CONTROL POINT"	765181.698	1802362.416	908.12
1501	5/8" REBAR W/STAMPED CAP "ASI CONTROL POINT"	765236.625	1802281.633	910.75
1502	5/8" REBAR W/STAMPED CAP "ASI CONTROL POINT"	765004.136	1802196.127	908.96
1503	5/8" REBAR W/STAMPED CAP "ASI CONTROL POINT"	765322.696	1802428.204	911.26
1504	MAG NAIL W/FLASHER SET	764848.525	1802372.316	906.25

REGISTERED ENGINEER
DANIEL ANUGERAH, E-90019, P.E.

DATE



PRELIMINARY DEVELOPMENT PLAN
FOR
ALL IN DUBLIN
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
TITLE SHEET

REVISIONS	DATE	SHEET NO.	DESCRIPTION

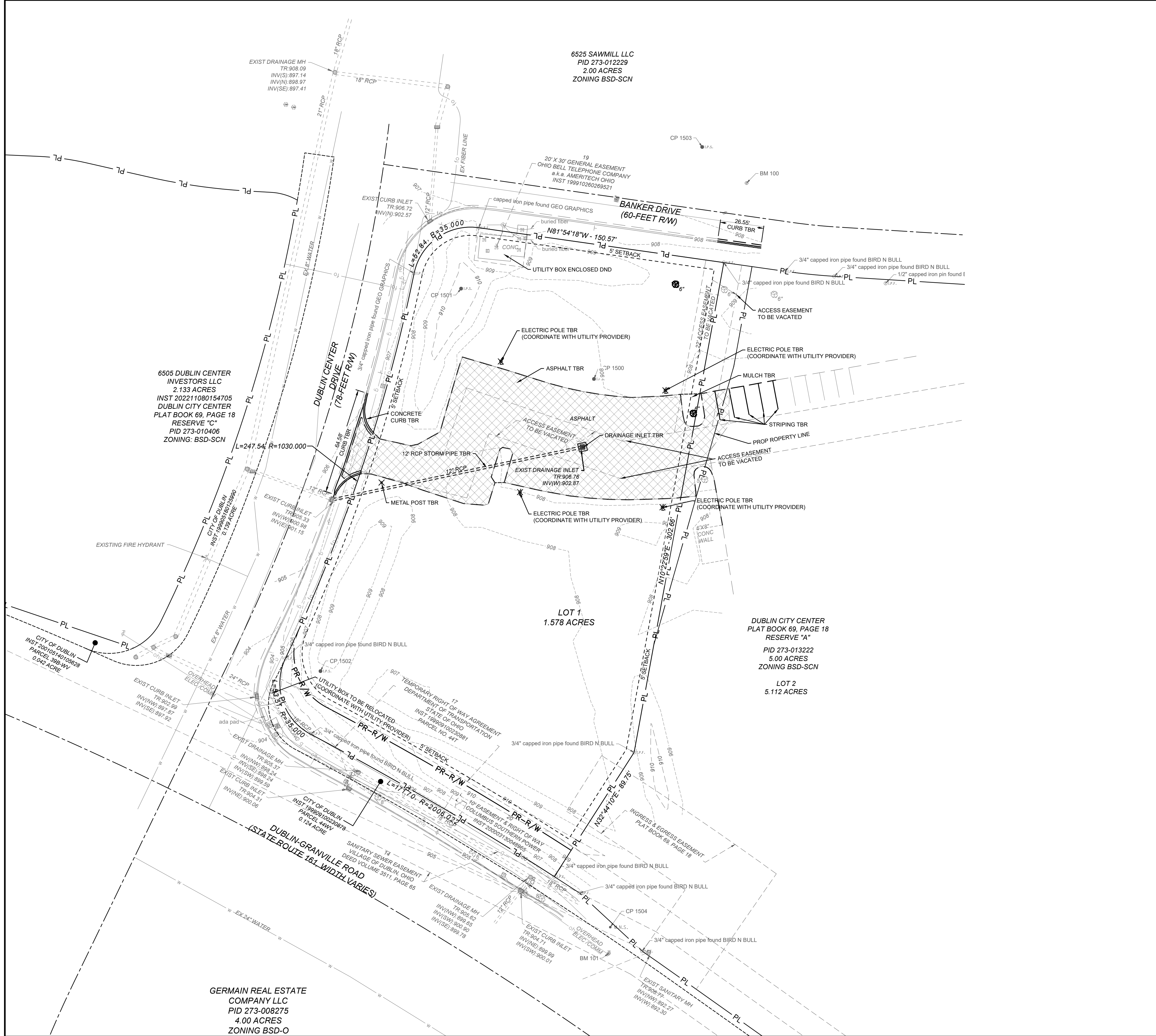
DATE:	8/27/2025
DRAWN BY:	DA
CHECKED BY:	BDS
JOB NUMBER:	2024.03885

C001

AMERICAN
STRUCTUREPOINT
INC.

2550 Corporate Exchange Dr., Ste 300 | Columbus, Ohio 43231
TEL: 614-901-2235 | FAX: 614-901-2236
www.structurepoint.com

PLOT SCALE: 1"=110' DATE: 8/27/25 - 3:21 PM EDITED BY: DANUGERAH DRAWING FILE: O:\2024\03885D. DRAWINGS\CIVIL\CONSTRUCTION DOCUMENTS\PD\2024\03885D.XTP.DWG



EXISTING LEGEND

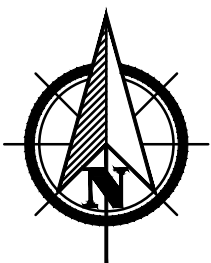
- PL PROPERTY LINE
- R/W RIGHT-OF-WAY
- PR-R/W PROPOSED RIGHT-OF-WAY
- PAVEMENT/ SIDEWALK
- PAVEMENT STRIPING
- CURB
- ROAD CENTERLINE
- STORM SEWER
- SANITARY SEWER
- W WATER LINE
- G GAS LINE
- FO FIBER OPTIC LINE
- E ELECTRIC
- OHE OVERHEAD ELECTRIC

DEMOLITION LEGEND

- TBR TO BE REMOVED
- TBRO TO BE REMOVED BY OTHERS
- TBRR TO BE REMOVED AND REPLACED
- TBA TO BE ABANDONED
- DND DO NOT DISTURB
- ASPHALT PAVEMENT TO BE REMOVED
- CONCRETE PAVEMENT TO BE REMOVED
- X-X-X-X ITEM TO BE REMOVED
- TREE TO BE REMOVED

OHIO PROFESSIONAL SURVEYOR No. 8424
CHRISTOPHER M. COOK, P.S.

DATE



PRELIMINARY DEVELOPMENT PLAN
FOR
ALL IN DUBLIN
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
EXISTING CONDITIONS &
DEMOLITION PLAN

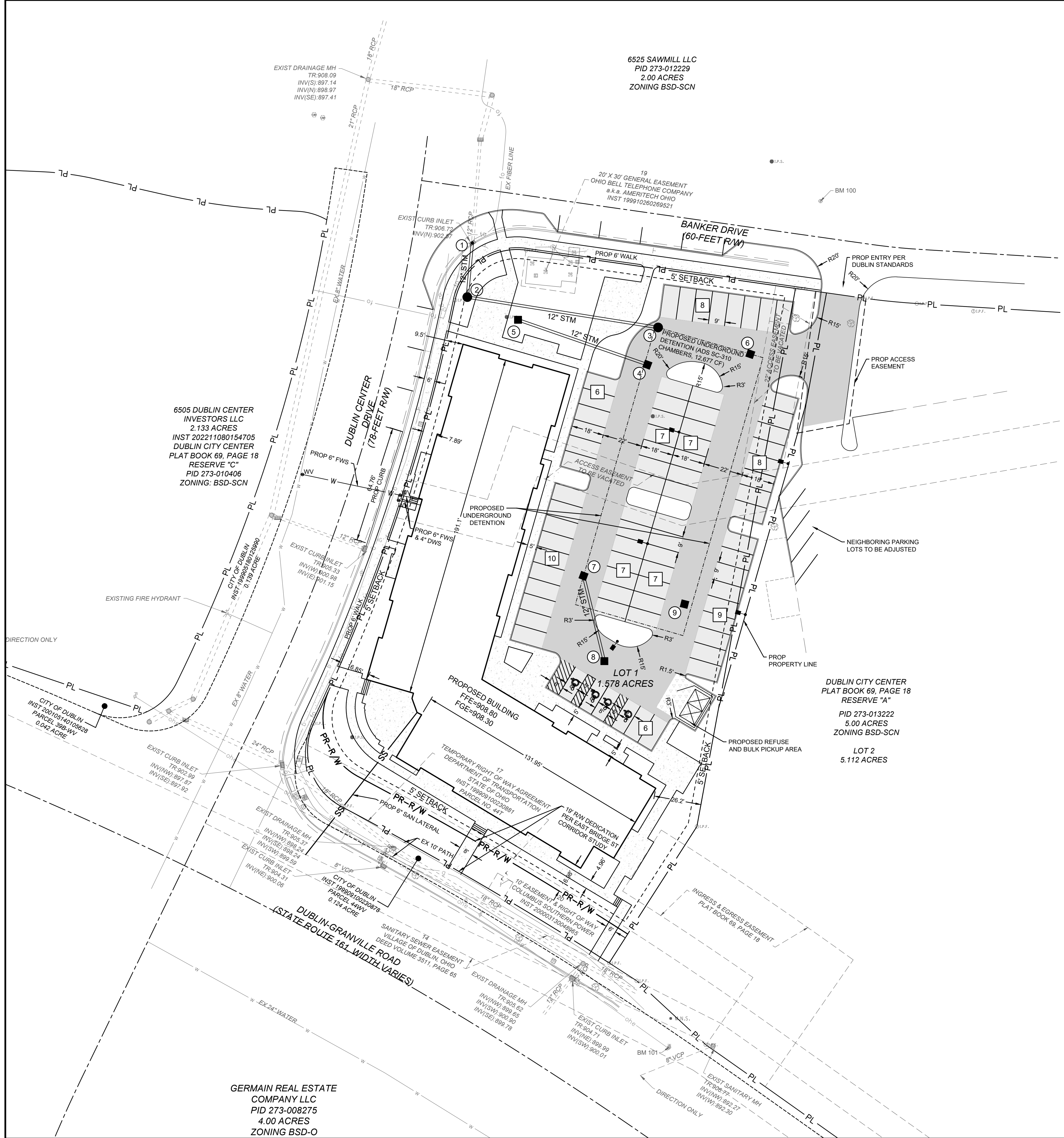
REVISIONS	DATE	SHEET NO.	DESCRIPTION



DATE:	8/27/2025
DRAWN BY:	DA
CHECKED BY:	BDS
JOB NUMBER:	2024.03885

C100

PLOT SCALE: 1"=110' DATE: 8/27/25 - 3:00 PM EDITED BY: DANUGERAH DRAWING FILE: O:\2024\03885.DWG DRAWINGS\CIVIL\CONSTRUCTION DOCUMENTS\PD\2024\03885 SPAUP.DWG



NOTES:

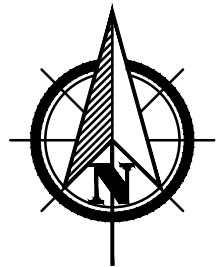
1. ON-STREET PARKING SHOWN FOR CONCEPTUAL PURPOSES ONLY AND IS TO BE FURTHER DEVELOPED WITH CITY STAFF.

SITE LEGEND

- PL PROPERTY LINE
- R/W RIGHT-OF-WAY
- PR-R/W PROPOSED RIGHT-OF-WAY
- X PARKING STALL COUNT
- STRAIGHT CURB
- CURB AND GUTTER
- Light Pole (by Others)
- PARKING BLOCK
- SIGN
- CONCRETE BOLLARD
- HEAVY DUTY ASPHALT PAVEMENT
- STANDARD DUTY ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE
- CONCRETE WALK

UTILITY LEGEND

- G GAS
- SAN SANITARY GRAVITY
- SS SANITARY SERVICE
- W WATER
- DWS DOMESTIC WATER SERVICE
- FWS FIRE WATER SERVICE
- E ELECTRIC
- T TELECOMMUNICATION
- FO FIBER-OPTIC
- L LIGHTING
- STM STORM SEWER
- CATCH BASIN
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- REDUCER
- FIRE DEPARTMENT CONNECTION
- WM WATER MAIN
- Light Pole (by Others)



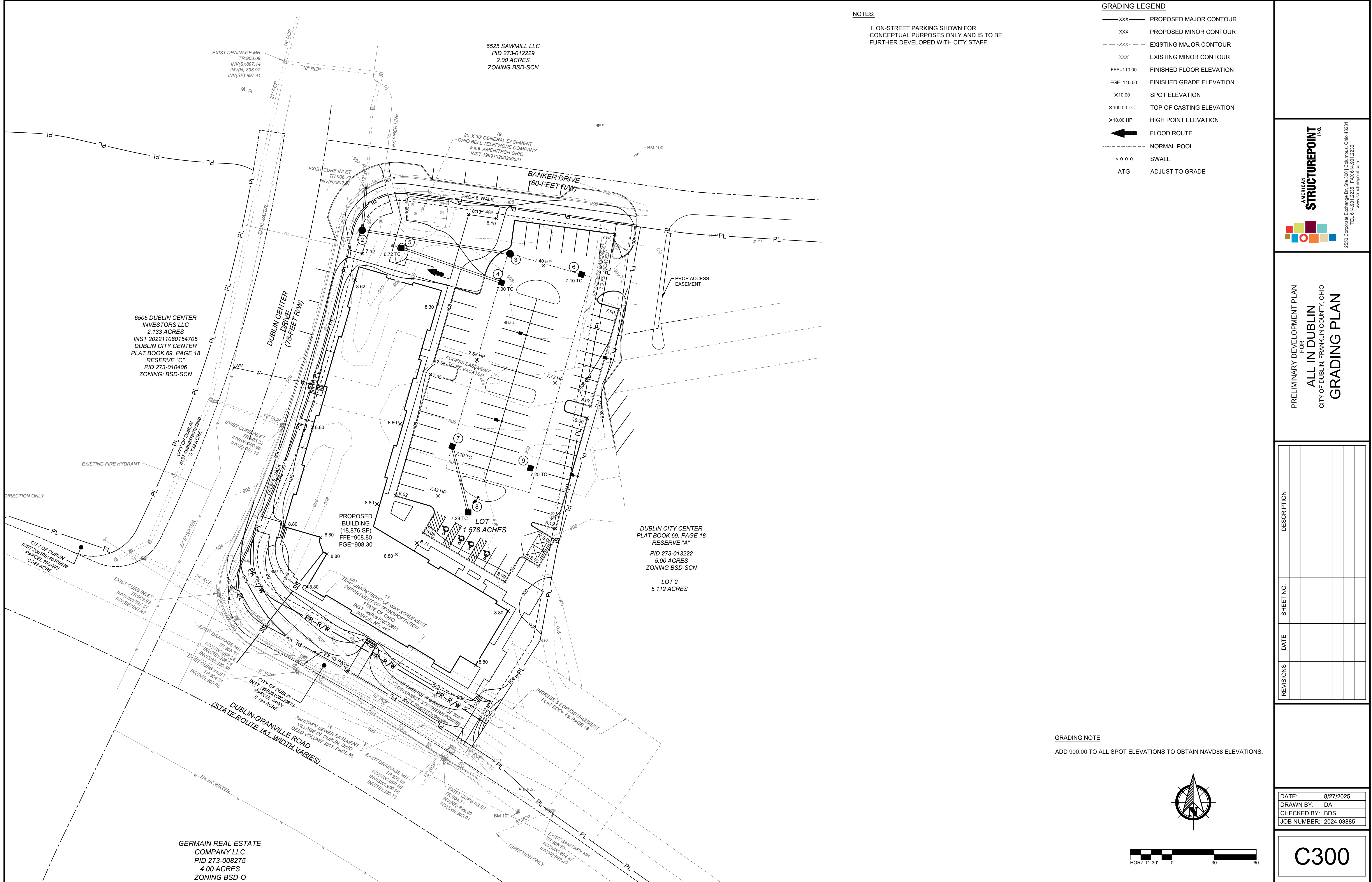
PRELIMINARY DEVELOPMENT PLAN
FOR
ALL IN DUBLIN
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
SITE & UTILITY PLAN

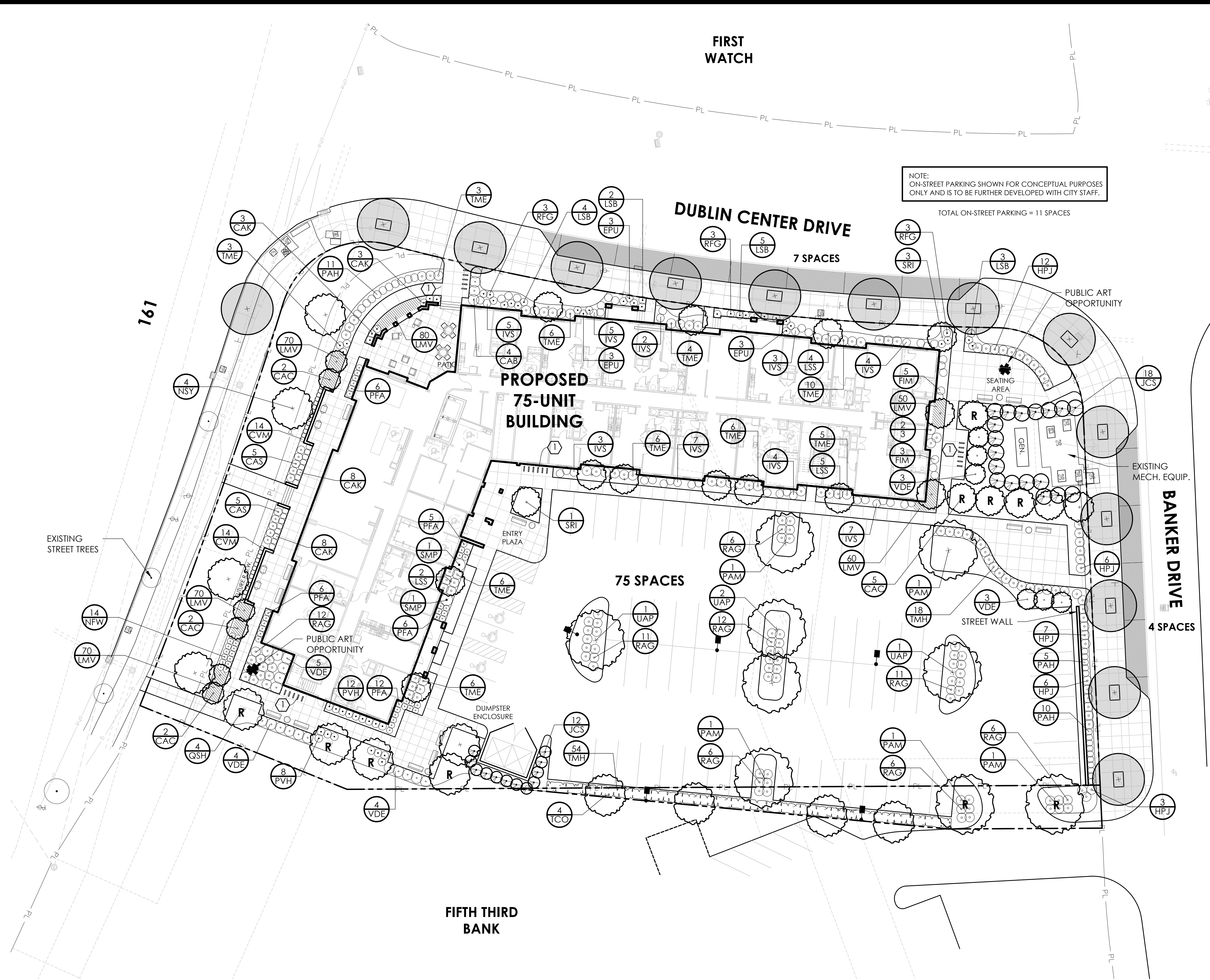
REVISIONS	DATE	SHEET NO.	DESCRIPTION

DATE:	8/27/2025
DRAWN BY:	DA
CHECKED BY:	BDS
JOB NUMBER:	2024.03885

C200

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LEGEND

EXISTING TREE
SEE L-4 TREE SURVEY & REPLACEMENT PLAN

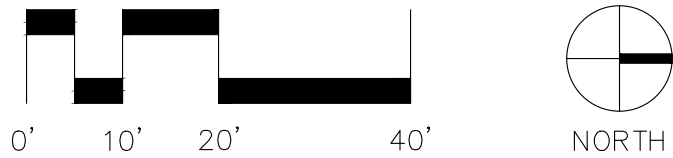
PROPOSED STREET TREE
(SPECIES PER CITY OF DUBLIN
STREET TREE PLAN)

PROPOSED REPLACEMENT TREE
(10) Trees @ 2.5" Cal. = 25 inches
SEE L-4 TREE SURVEY & REPLACEMENT PLAN

CODED NOTES:

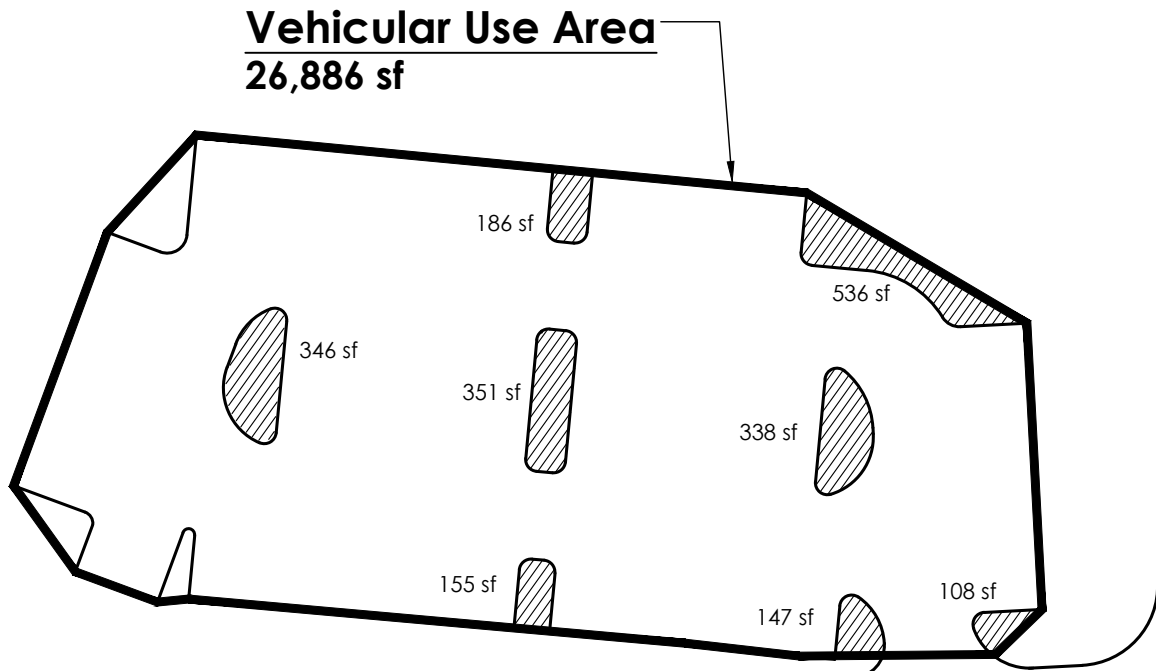
BIKE RACKS

PLANT MATERIALS LIST			
QTY	ABR	BOTANICAL NAME	COMMON NAME
SHADE TREES			
	PAM	Platanus acerifolia 'Morton Circle'	EXCLAMATION! LONDON PLANETREE
	NSY	Nyssa sylvatica	BLACK TUPELO
	UAP	Ulmus americana 'Princeton'	PRINCETON ELM
	LSS	Liquidambar styraciflua 'Slender Silhouette'	SLENDER SILHOUETTE SWEETGUM
	QSH	Quercus shumardii	SHUMARD OAK
	TCO	Tilia cordata	LITTLELEAF LINDEN
ORNAMENTAL TREES			
	CAC	Cercis canadensis	EASTERN REDBUD
	SRI	Syringa reticulata 'Ivory Silk'	IVORY SILK TREE LILAC
SHRUBS			
	CAB	Cornus alba 'Bailhala'	IVORY HALO RED TWIG DOGWOOD
	HPJ	Hydrangea paniculata 'Jane'	LITTLE LIME PANICLE HYDRANGEA
	JCS	Juniperus chinensis 'Spartan'	SPARTAN JUNIPER
	FIM	Fothergilla x intermedia 'Mount Airy'	MT. AIRY DWARF FOTHERGILLA
	PFA	Potentilla fruticosa 'Abbotswood'	ABBOTSWOOD POTENTILLA
	RAG	Rhus aromatica 'Gro-Low'	GRO-LOW SUMAC
	SMP	Syringa meyeri 'Palibin'	DWARF KOREAN LILAC
	TME	Taxus x media 'Everlow'	EVERLOW YEW
	TMH	Taxus x media 'Hicksii'	HICK'S YEW
	VDE	Viburnum dentatum	ARROWWOOD VIBURNUM
	IVS	Itea virginica 'Sprich' Little Henry	LITTLE HENRY SWEETSPIRE
	CAS	Clethra alnifolia 'Sixteen Candles'	SIXTEEN CANDLES SUMMERSWEET
PERENNIALS/ GRASSES/ GROUNDCOVER/ IVY			
	LMV	Liriope muscari 'Variegata'	VARIEGATED LILYTURF
	PAH	Pennisetum alopecuroides 'Hameln'	DWARF FOUNTAIN GRASS
	NFW	Nepeta x faassenii 'Walker's Low'	WALKER'S LOW CATMINT
	PVH	Panicum virgatum 'Heavy Metal'	HEAVY METAL SWITCHGRASS
	HHR	Hemerocallis 'Happy Returns'	HAPPY RETURNS DAYLILY
	CAK	Calamagrostis x acutiflora 'Karl Foerster'	KARL FOERSTER FEATHER REED GRASS
	CVM	Coreopsis verticillata 'Moonbeam'	MOONBEAM COREOPSIS
	LSB	Leucanthemum x superbum 'Becky'	BECKY SHASTA DAISY
	RFG	Rudbeckia fulgida var. sullivantii 'Goldsturm'	BLACK EYED SUSAN
	EPU	Echinacea purpurea	PURPLE CONEFLOWER



DUBLIN CITY CODE COMPLIANCE CHART

CODE SECTION	REQUIRED	PROVIDED
153.065-D(3) Landscaping Standards - Street Trees	A minimum of one tree is required per 40 linear feet of street frontage or fraction thereof. Refer to Table 153.065-D, Street Tree Spacing Requirements, for spacing based on tree size and site characteristics. Total LF of street frontage = +/- 680 LF Street Trees required = 17	14 Street trees provided 3 Existing street trees 17 Total street trees
153.065-D(5)(a) Landscaping and tree preservation - Surface parking and circulation area landscaping	Surface parking lots and other vehicular use areas located within 40 feet of a public street shall either be landscaped, or a street wall shall be installed in accordance with division (E)(2) of this section along the parking lot boundary facing the street to create a visual edge along the public right-of-way. The required street frontage treatment shall be in accordance with the following: 2. Where a surface parking lot/vehicular use area is located within 20 feet of any street right-of-way, the property owner shall install a street wall in accordance with division (E)(2) of this section and at least five deciduous or evergreen shrubs per 25 lineal feet, or fraction thereof, of a parking lot boundary facing the public street. Trees are permitted to be installed but not required. Required landscaping may be creatively clustered and architecturally designed, as appropriate to the character of the surrounding area.	Masonry street wall provided @ 72 lf (3' hgt.) with (16) decid shrubs and (15) ornamental grasses
153.065-D(5)(c) Landscaping and tree preservation - Interior landscaping	1. ... a minimum of 5% of the interior parking lot area, calculated as the total of the area in all parking spaces and drive aisles, shall be landscaped. 2. Interior landscape areas shall be landscaped with one or more of the following options: a. Option A: Landscape Peninsula or Island - The minimum width of a landscape peninsula or island shall be ten feet with a minimum area of 150 square feet, with a maximum run of 12 parking spaces permitted without a tree island. One medium deciduous tree as defined by Appendix E or as otherwise approved by the City Forester shall be planted for every 12 parking spaces. Trees shall be planted in topsoil approved by the Director of Parks and Open Space or the City Forester. The Director of Parks and Open Space or the City Forester may require structural soil to be placed beneath paved areas surrounding the peninsula or island, as necessary to ensure the long term health of trees, depending on the planting and paving conditions. All islands and peninsulas shall be excavated to a depth of three feet. Structural soil shall not be used in planting beds. 83 spaces / 12 = 6,916 or 7 trees required 5% of the interior parking lot area, calculated as the total of the area in all parking spaces and drive aisles, shall be landscaped. Minimum width of a landscape island is 10 feet or 150 SF. Max of 12 spaces without an island. Each island should include 1 med. dec. tree per 12 parking spaces. Total vehicular use area = +/- 26,886 SF Landscaped area required = 1,344 SF	9 trees provided 2,167 SF provided = 8.1% (See diagram below)
153.065-D(7) Landscaping and tree preservation - Foundation planting	(b) Where building foundation landscaping is required, at least one shrub shall be provided per each ten linear feet of building façade, or fraction thereof, within a landscape bed or raised planter extending a minimum of 42 inches beyond the foundation. Shrub spacing shall be at the industry minimum standard by species. Building foundation landscaping shall be continuous. Plantings should be designed and creatively clustered by species, and respond to the character of the adjacent architecture and surrounding area. 791 lf bldg facade / 10 = 79.1 or 80 shrubs required	shrubs provided = 201
153.065-(B)(3) Required bicycle parking	a. For residential uses, except attached and detached single-family, one space for every two dwelling units. Up to 50% of required spaces may be provided within garages for multiple-family uses provided the required reviewing body determines that the garage size and dedicated bicycle parking facilities are generally adequate to accommodate these spaces. 75 units/ 2 DU = 37.5 or 38 bicycle parking spaces required	(19) bike racks provided. (2) spaces per rack = 38 spaces provided

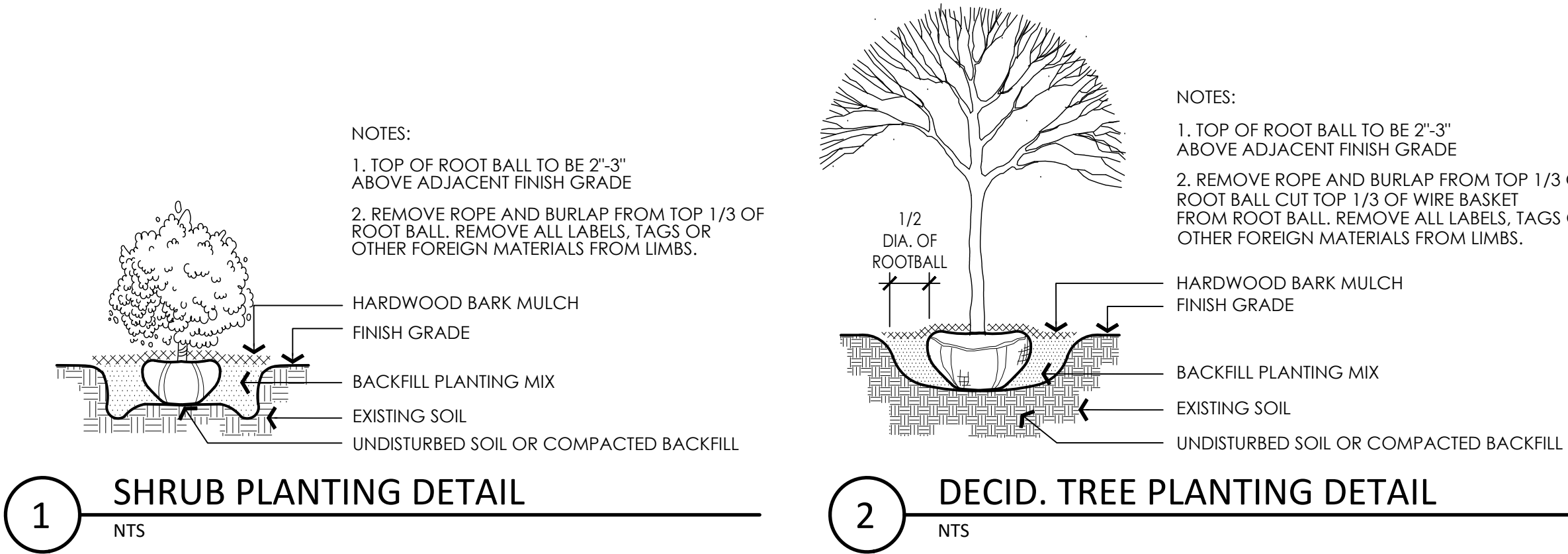


Interior Landscape Required = 1,344 sf (5.0%)

Interior Landscape Provided = 2,167 sf (8.1%)

INTERIOR LANDSCAPE DIAGRAM

153.065-D(5)(c)



NOTES:

1. TOP OF ROOT BALL TO BE 2"-3" ABOVE ADJACENT FINISH GRADE
2. REMOVE ROPE AND BURLAP FROM TOP 1/3 OF ROOT BALL CUT TOP 1/3 OF WIRE BASKET FROM ROOT BALL. REMOVE ALL LABELS, TAGS OR OTHER FOREIGN MATERIALS FROM LIMBS.

CONSTRUCTION ZONE

NO CONSTRUCTION OR STORAGE OF EQUIPMENT AND MATERIALS WITHIN FENCED AREA (WIDTH VARIES)

CONSTRUCTION ZONE

CRITICAL ROOT ZONE

CRITICAL ROOT ZONE

NOTE: FENCE TO BE LOCATED AT CRITICAL ROOT ZONE / DRIP LINE OR AT 1" PER CALIPER INCH OF TRUNK.

5' U-CHANNEL POST TO BE DRIVEN 1'-6" INTO GROUND. POST TO BE LOCATED ON INSIDE OF FENCE. POSTS TO BE LOCATED 5' O.C.

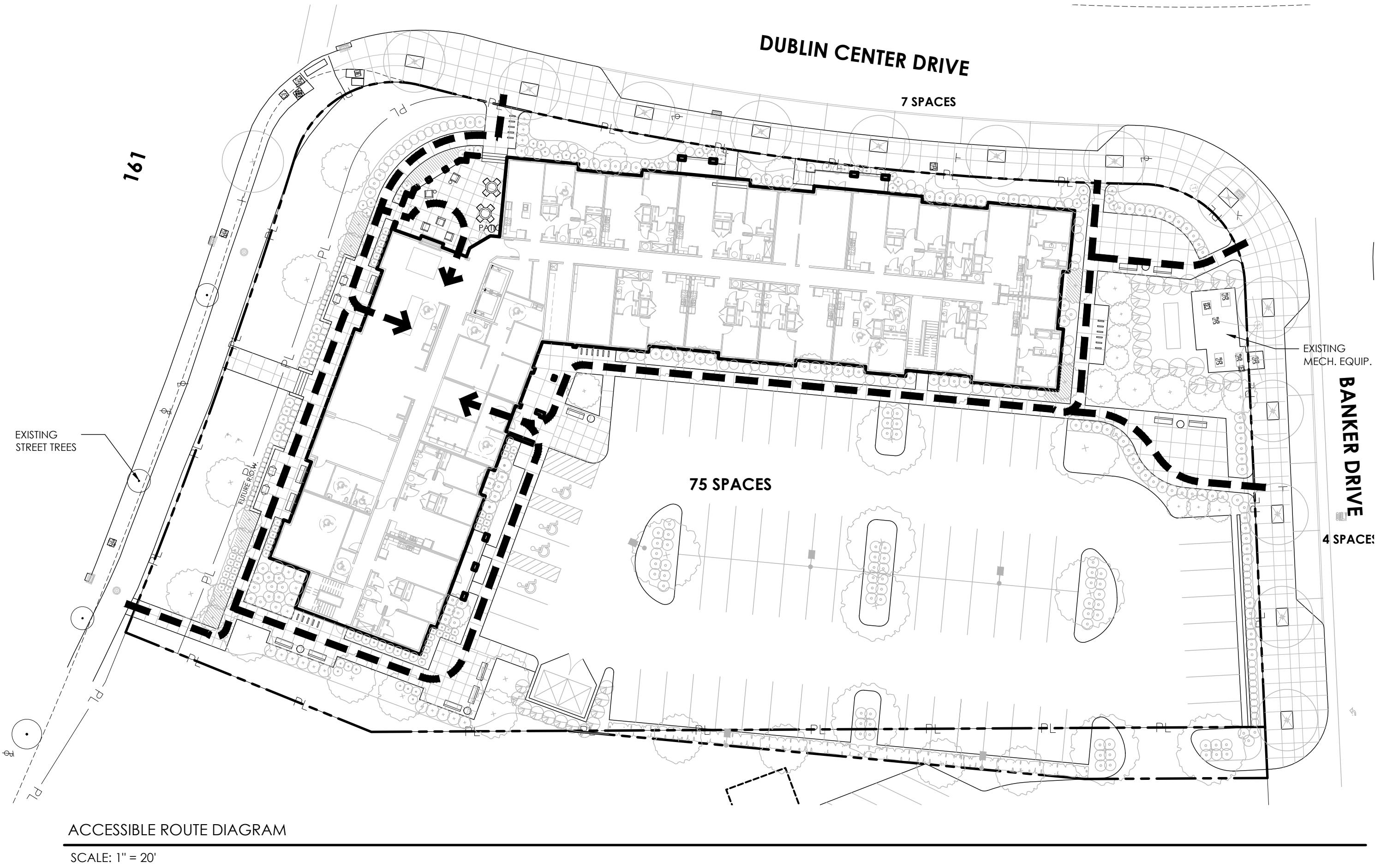
48" HEIGHT HIGH VISIBILITY ORANGE CONSTRUCTION FENCE TO BE LOCATED AT DRIP LINE OF EXISTING TREE CANOPY. SECURE FENCE TO POST WITH ZIP TIES (4 PER POST).

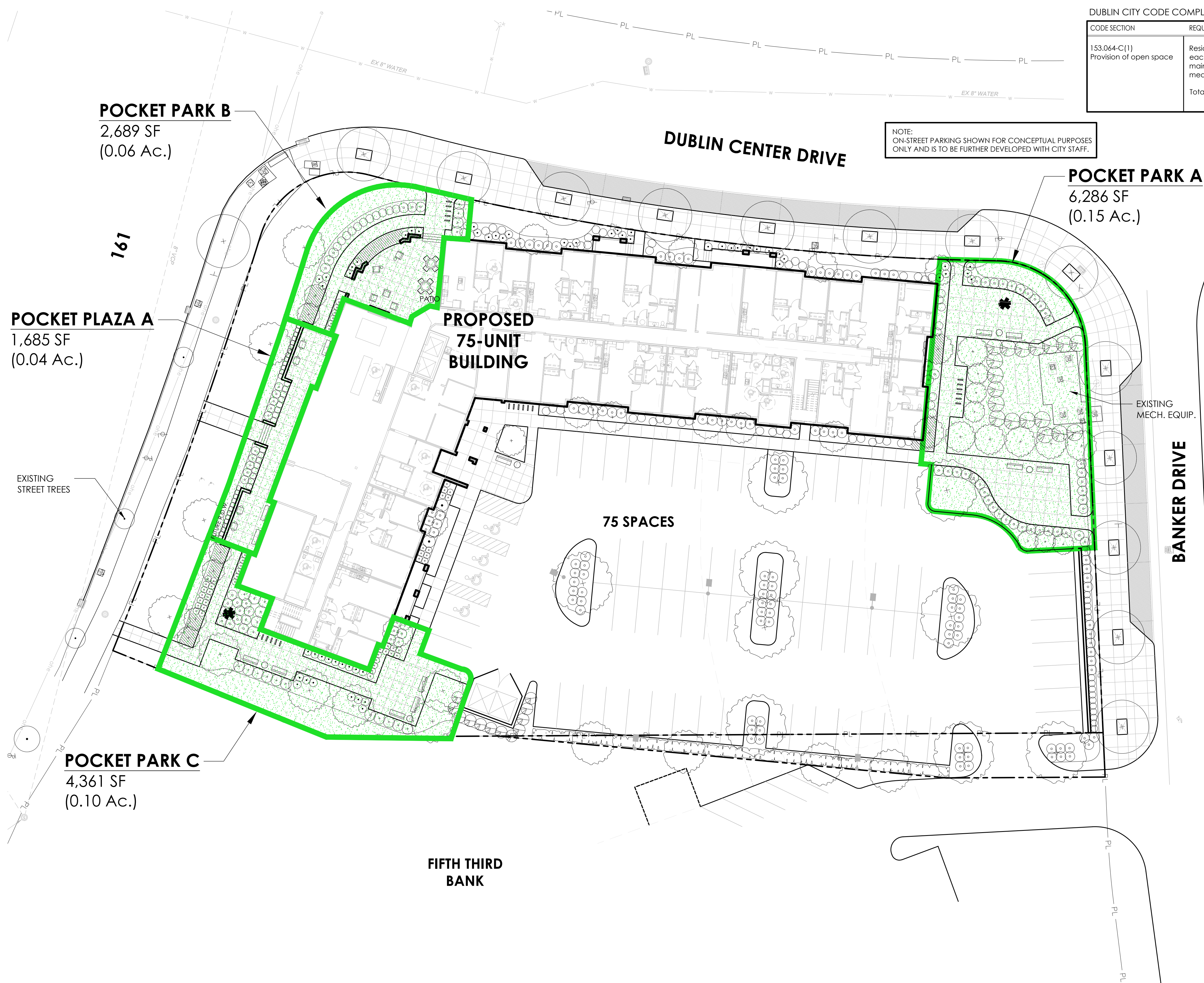
EXISTING TREE

EXISTING GRADE

3
NTS

TREE PROTECTION FENCE





DUBLIN CITY CODE COMPLIANCE CHART		
CODE SECTION	REQUIRED	PROVIDED
153.064-C(1) Provision of open space	Residential. There shall be a minimum of 200 square feet of publicly accessible open space for each residential dwelling unit. Required open space shall be located within 660 feet of the main entrances of the residential units or the main entrance of a multiple-family building, as measured along a pedestrian walkway.. Total dwelling units = 75 x 200 = 15,000 sf of open space required	15,021 sf (0.34 Acres)

LEGEND

**OPEN SPACE PROPOSED**
TOTAL AREA = 15,021 SF
(0.34 Ac.)

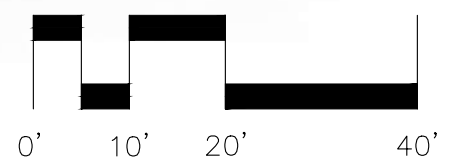
Open Space Characteristics

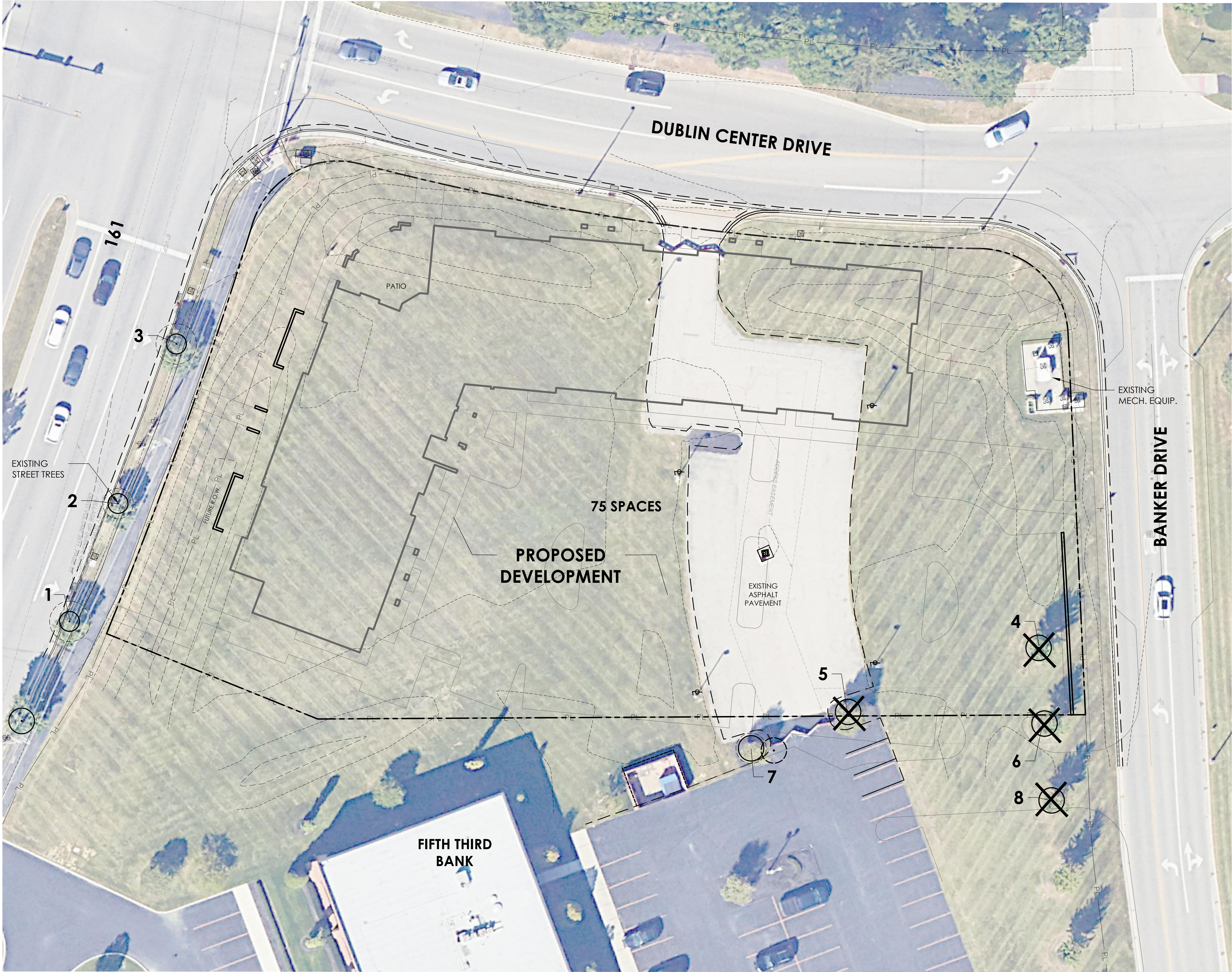
Open Space	Size
POCKET PARK A - Multiple seating areas - ADA access - 3 access points to public sidewalk - Public art opportunity at intersection	6,286 sf
POCKET PARK B - Covered seating area - ADA access	2,689 sf
POCKET PARK C - Multiple seating areas - ADA access - Public art opportunity	4,361 sf
POCKET PLAZA A - Multiple seating areas - ADA access via adjacent pocket parks	1,685 sf
TOTAL OPEN SPACE	15,021 sf



- EXISTING ROW**
FUTURE ROW
- PROPOSED BUILDING**
- 7 SPACES**
75 SPACES
TOTAL ON-STREET PARKING = 11 SPACES
- W. DUBLIN-GRANVILLE ROAD**
DUBLIN CENTER DRIVE
BANKER DRIVE
- 1 Gateway at Intersection
 - 2 Bike Parking
 - 3 Outdoor Patio
 - 4 Potential Public Art
 - 5 Existing Multi-use Path
 - 6 Stairs
 - 7 Seating Plaza
 - 8 Sculpture Garden
 - 9 Stoop
 - 10 Drop-off
 - 11 Shared Access
 - 12 Parking Lot Landscape
 - 13 Perimeter Landscape
 - 14 Proposed Generator and Existing Utility Box
 - 15 Dumpster Enclosure with Screening
 - 16 Street Wall Screening from Parking Area
 - 17 Street Trees in Tree Grate

NOTE:
ON-STREET PARKING SHOWN FOR CONCEPTUAL PURPOSES
ONLY AND IS TO BE FURTHER DEVELOPED WITH CITY STAFF.

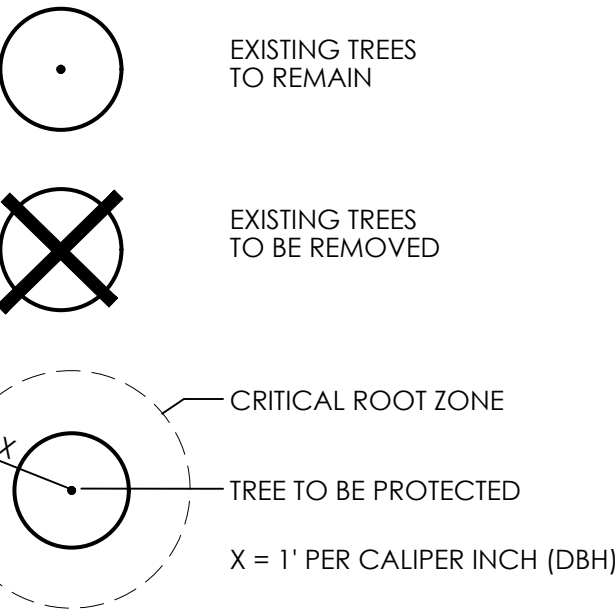




GENERAL NOTES

1. ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED. TREES TO BE PRESERVED SHALL BE PROTECTED WITH HIGH VISIBILITY TREE PROTECTION FENCE ALONG THE CRITICAL ROOT ZONE AS SHOWN.
2. ONLY TREES 6" CAL. (DBH) AND LARGER WITHIN DEVELOPMENT LIMITS NOTED ON THESE PLANS.
3. PROTECTION FENCING OR BARRIER SHALL REMAIN THROUGHOUT CONSTRUCTION AND ANY SUBSEQUENT GRADING OR EXCAVATION UNLESS OTHERWISE APPROVED ON A CLEARING AND GRADING PLAN. IN NO CASE SHALL MATERIALS, DEBRIS, FILL, VEHICLES OR EQUIPMENT BE STORED WITHIN THIS ENCLOSURE.
4. PRUNING SHALL BE IN ACCORDANCE WITH INTERNATIONAL SOCIETY OF ARBORICULTURE STANDARDS.
5. NO WORK IS TO BEGIN ON SITE UNTIL APPROVAL HAS BEEN MADE BY APPROPRIATE CITY STAFF.

LEGEND



TREE INVENTORY SCHEDULE

KEY	TREE SPECIES (COMMON NAME)	DBH	CONDITION AND TREATMENT
1	MAPLE	8"	GOOD - FERTILIZE
2	MAPLE	6"	GOOD - FERTILIZE
3	MAPLE	8"	GOOD - FERTILIZE
4	MAPLE	6"	GOOD - REMOVE AND REPLACE
5	HONEYLOCUST	6"	GOOD - REMOVE AND REPLACE

TREE INVENTORY SCHEDULE - OFFSITE TREES

KEY	TREE SPECIES (COMMON NAME)	DBH	CONDITION AND TREATMENT
6	MAPLE	6"	GOOD - REMOVE AND REPLACE
7	HONEYLOCUST	6"	GOOD - PRUNE & FERTILIZE
8	MAPLE	6"	GOOD - REMOVE AND REPLACE

TREE REPLACEMENT DATA

4. 6" MAPLE
5. 6" HONEYLOCUST
6. 6" MAPLE
8. 6" MAPLE
24" OF DIAMETER TO REPLACE (SEE LANDSCAPE PLAN)

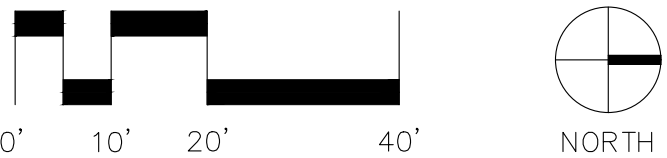




Table and Chairs



Potential Public Art



Tree Grate



Street Wall



Benches



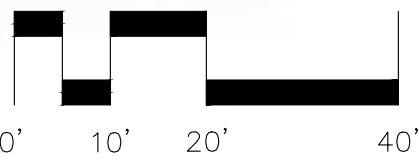
Trash Receptacle



Bike Rack



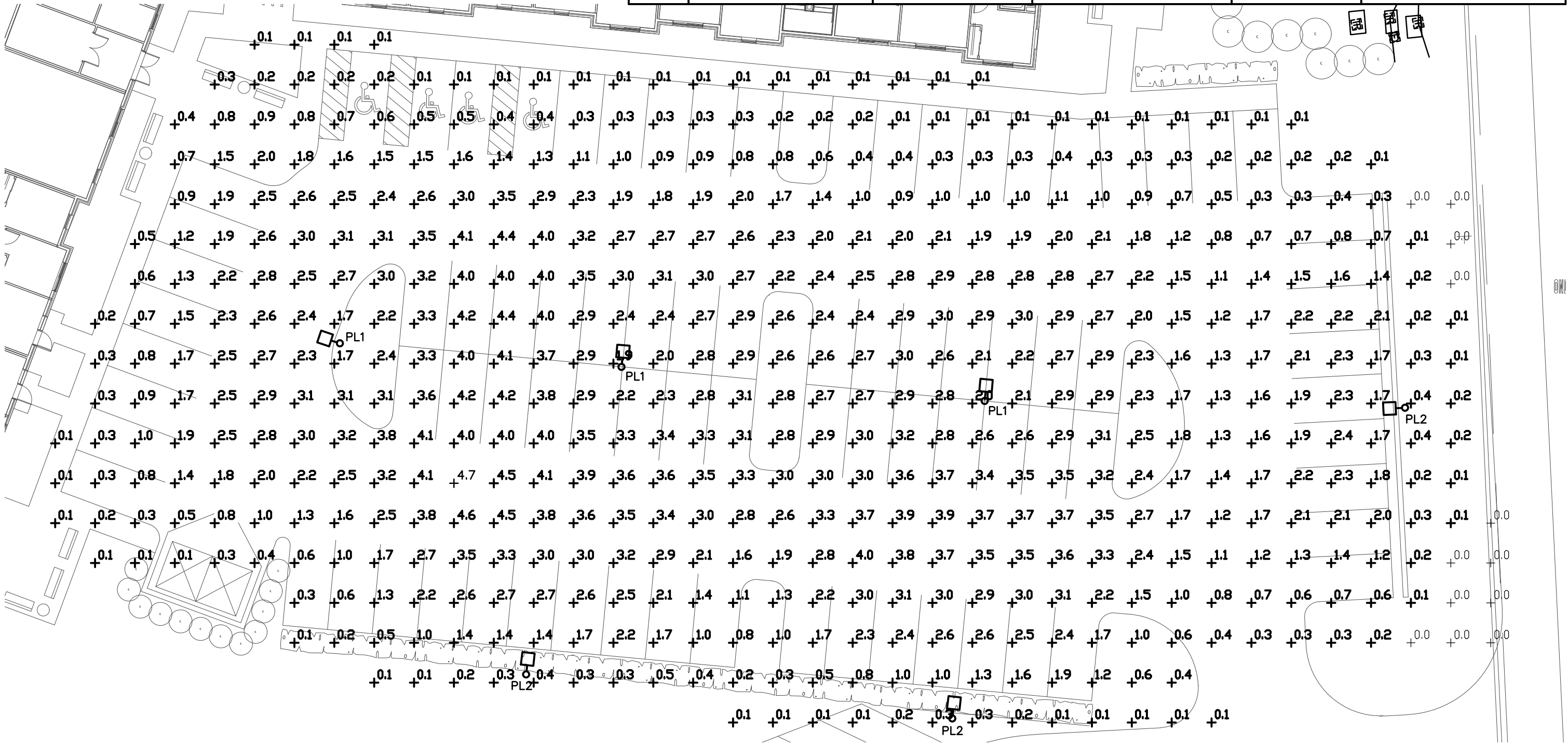
NOTE:
ON-STREET PARKING SHOWN FOR CONCEPTUAL PURPOSES
ONLY AND IS TO BE FURTHER DEVELOPED WITH CITY STAFF.





PARKING AREA HAS AN AVERAGE OF 1.7 FOOTCANDLES, AND A MINIMUM OF 0.1 FOOTCANDLES.

FIXTURE NUMBER	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LAMPS	REMARKS
PL1	LED POLE MOUNTED FIXTURE, 15,000LM, TYPE 5QW DIST.	KIM LIGHTING (---)	UR20-56L-110-4K7-5QM-PT	110W LED	MOUNT AT 20' A.F.F.
PL2	LED POLE MOUNTED FIXTURE, TYPE 4W DIST.	KIM LIGHTING (---)	UR20-56L-75-4K7-4W-BC-PT	75W LED	MOUNT AT 20' A.F.F.



ELECTRICAL PHOTOMETRIC PLAN

SCALE: 1"=20'

BUILDING AREA LEGEND

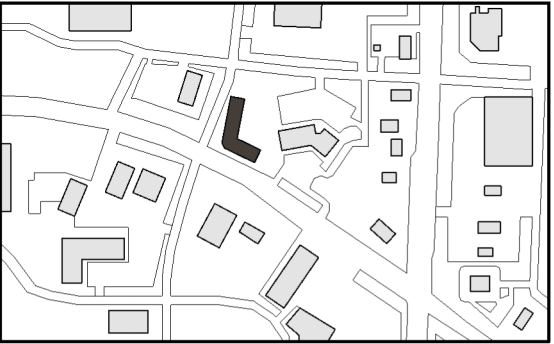
- AMENITY SPACE
- CIRCULATION
- SUPPORT
- VERTICAL PENETRATIONS
- DWELLING UNIT
- REQUIRED BUILDING ZONE (RBZ)

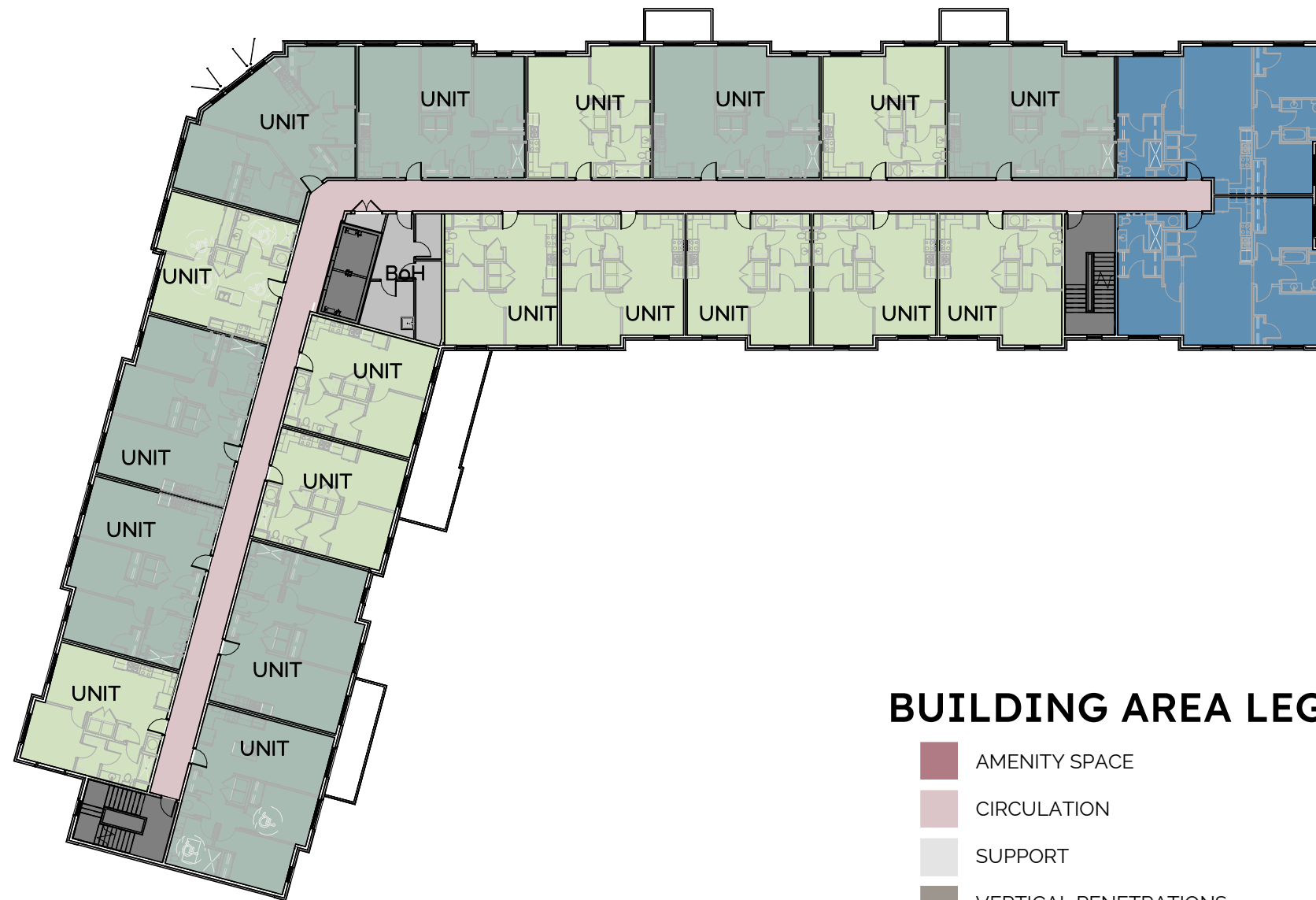


first floor

1" = 30'-0"

KEY PLAN





typ floor (2nd, 3rd, 4th)

1" = 30'-0"



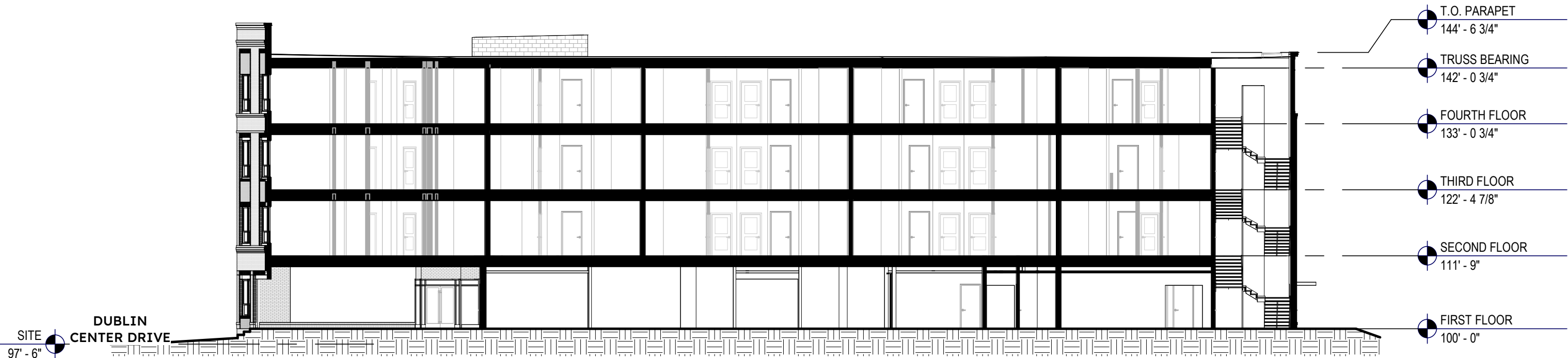
0' 15' 30' 60'

BUILDING AREA LEGEND

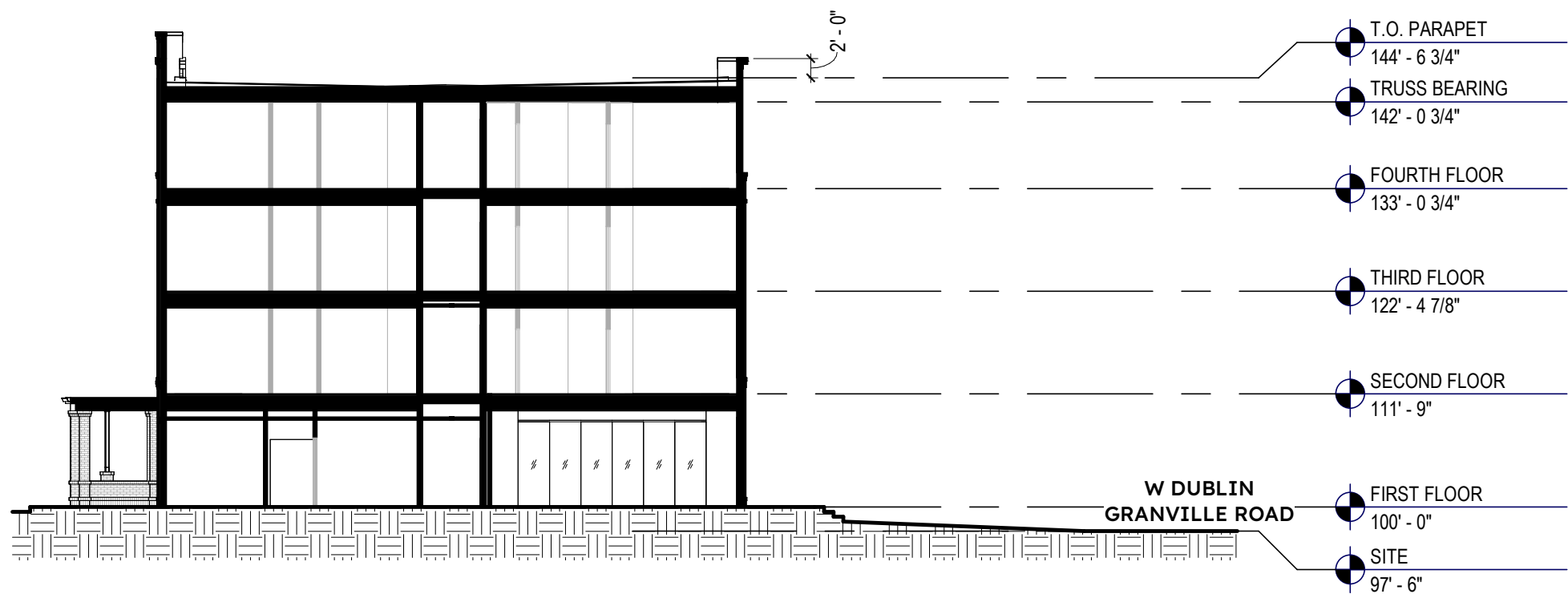
- AMENITY SPACE
- CIRCULATION
- SUPPORT
- VERTICAL PENETRATIONS
- DWELLING UNIT
- REQUIRED BUILDING ZONE (RBZ)

KEY PLAN

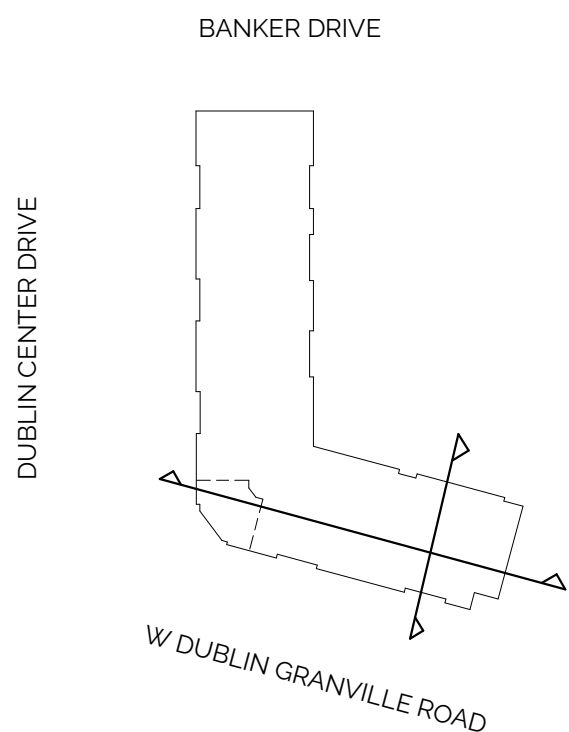


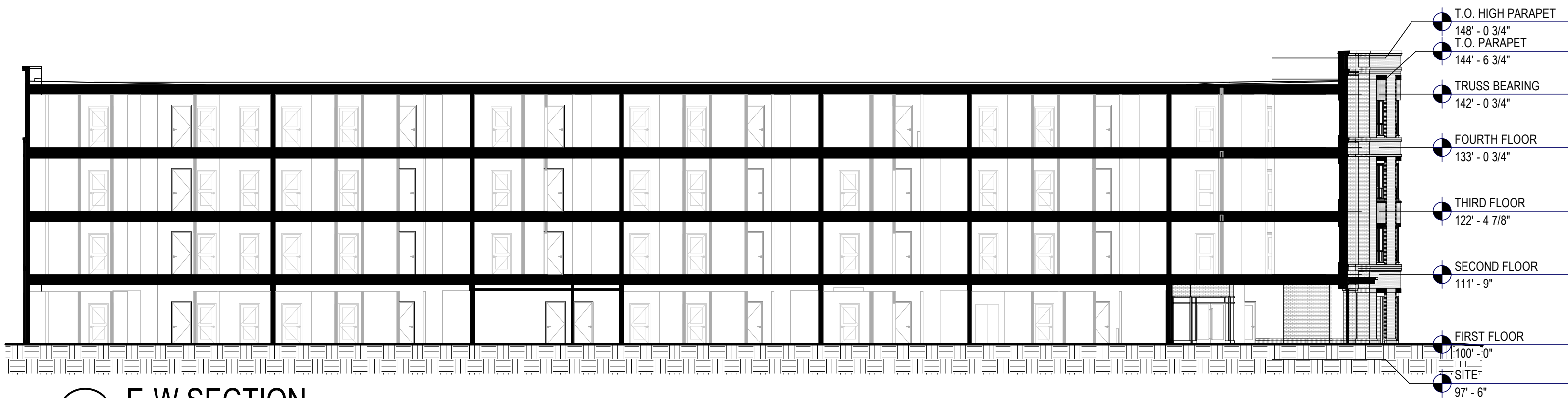


E-W SECTION
B
A003
1/16" = 1'-0"

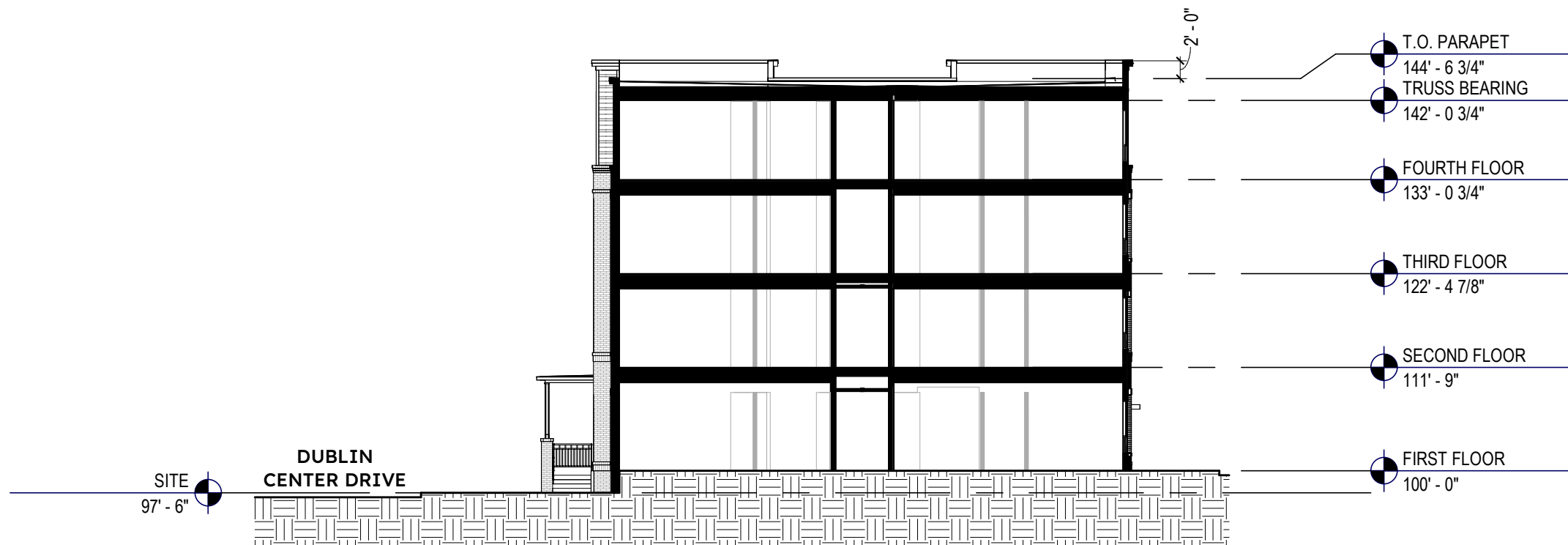


N-S SECTION
A
A003
1/16" = 1'-0"

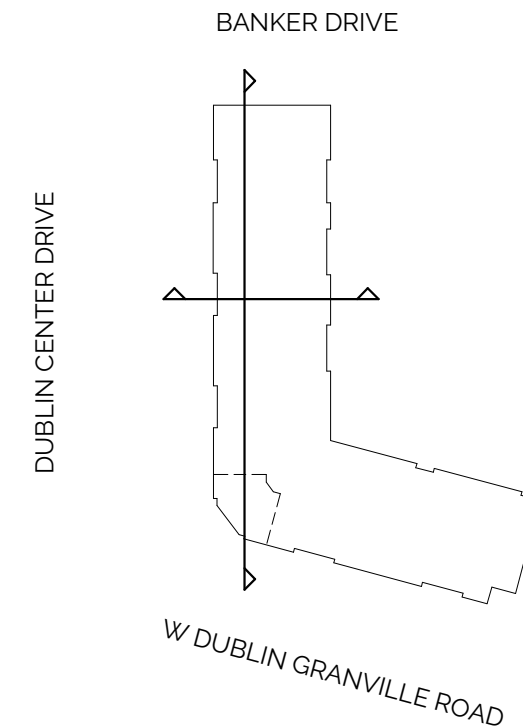


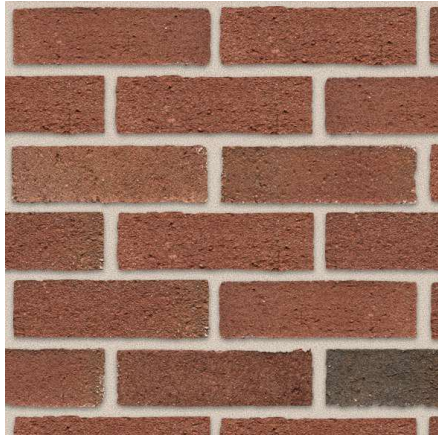


B
A004
E-W SECTION
1/16" = 1'-0"



A
A004
N-S SECTION
1/16" = 1'-0"





(A) BR-1 BRICK (FIELD)
GLEN-GERY
CANYON BLEND



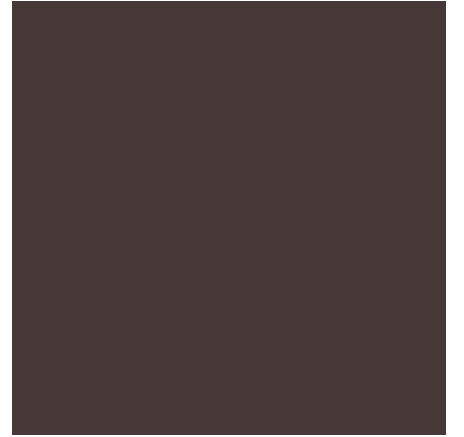
(B) BR-2 BRICK (ACCENT)
GLEN-GERY
COPENHAGEN



(C) FC-1 FIBER CEMENT SIDING & TRIM
JAMES HARDIE
NAVAJO BEIGE GRAY SMOOTH



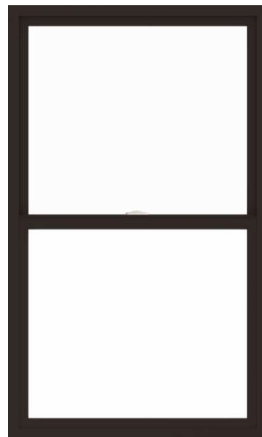
(D) FC-2 FIBER CEMENT TRIM & PANEL
JAMES HARDIE
TIMBER BARK SMOOTH



(E) FC-2 FIBER CEMENT TRIM
JAMES HARDIE
DARK BRONZE SMOOTH



(F) SF-1 STOREFRONT SYSTEM
KAWNEER
CLASSIC BRONZE



(G) WN-1 RESIDENTIAL WINDOW
ANDERSEN 100 SERIES
DARK BRONZE



(H) MTL-1 METAL COPING CAP
DMI
STONE

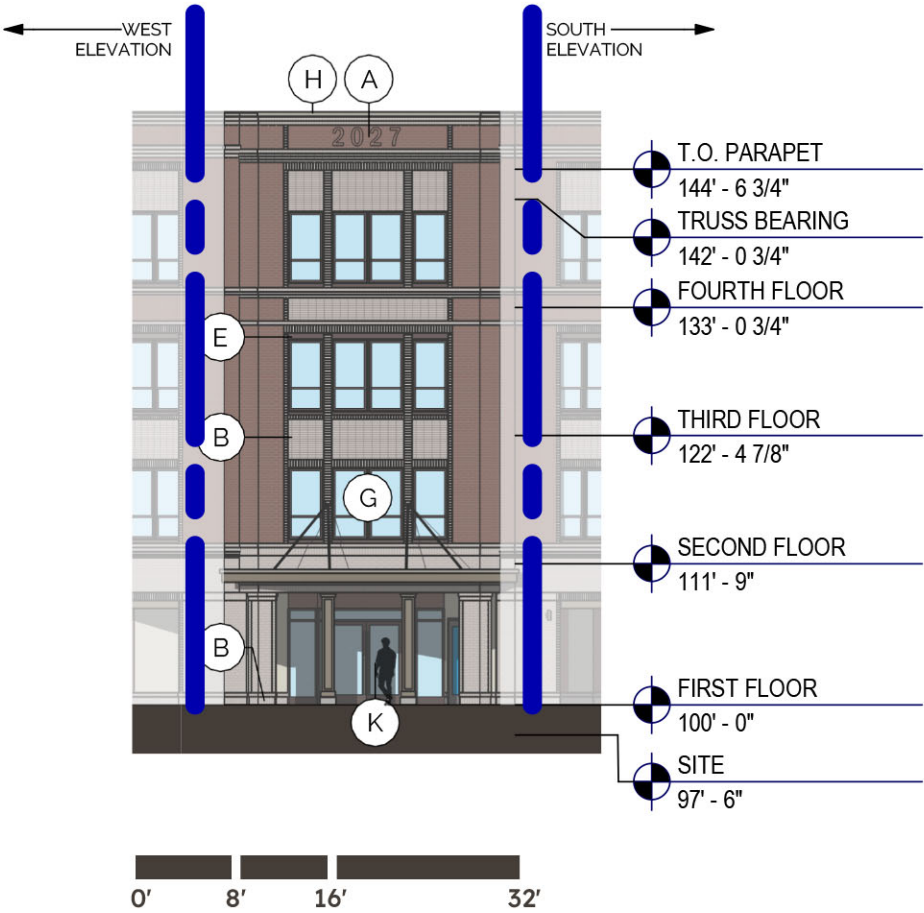


(I) MTL-2 RAILINGS AND LIGHT FIXTURES
BLACK



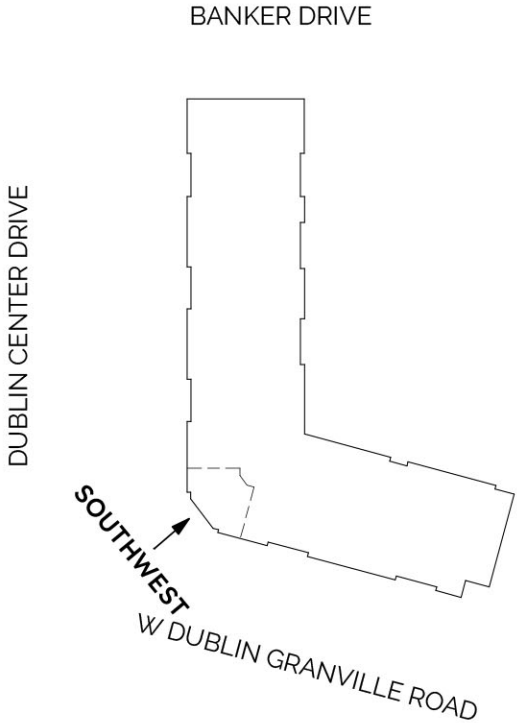
- | | | | | | |
|-----|------|---|-----|-------|--|
| (A) | BR-1 | BRICK (FIELD)
GLEN-GERY
CANYON BLEND | (G) | WN-1 | RESIDENTIAL WINDOW
ANDERSON 100 SERIES
DARK BRONZE |
| (B) | BR-2 | BRICK (ACCENT)
GLEN-GERY
COPENHAGEN | (H) | MTL-1 | METAL COPING CAP
DMI
STONE |
| (C) | FC-1 | FIBER CEMENT SIDING & TRIM
JAMES HARDIE
NAVAJO BEIGE GREY SMOOTH FINISH | (I) | MTL-2 | RAILINGS AND LIGHT FIXTURES
BLACK |
| (D) | FC-2 | FIBER CEMENT TRIM AND PANELS
JAMES HARDIE
TIMBER BARK SMOOTH FINISH | (K) | | BUILDING ENTRANCE |
| (E) | FC-3 | FIBER CEMENT TRIM AND PANELS
JAMES HARDIE
DARK BRONZE SMOOTH FINISH | (L) | | PROPOSED MURAL LOCATION |
| (F) | SF-1 | STOREFRONT SYSTEM
KAWNEER
CLASSIC BRONZE | | | |





- (A) BR-1 BRICK (FIELD)
GLEN-GERY
CANYON BLEND
- (B) BR-2 BRICK (ACCENT)
GLEN-GERY
COPENHAGEN
- (C) FC-1 FIBER CEMENT SIDING & TRIM
JAMES HARDIE
NAVAJO BEIGE GREY SMOOTH FINISH
- (D) FC-2 FIBER CEMENT TRIM AND PANELS
JAMES HARDIE
TIMBER BARK SMOOTH FINISH
- (E) FC-3 FIBER CEMENT TRIM AND PANELS
JAMES HARDIE
DARK BRONZE SMOOTH FINISH
- (F) SF-1 STOREFRONT SYSTEM
KAWNEER
CLASSIC BRONZE

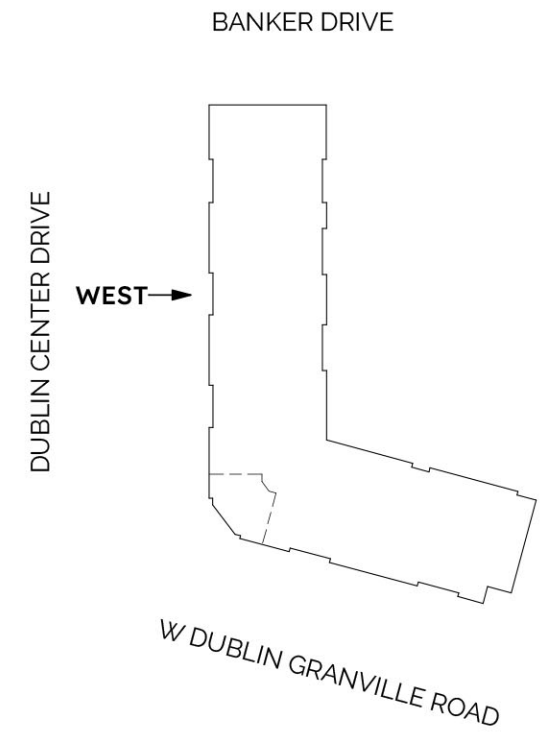
- (G) WN-1 RESIDENTIAL WINDOW
ANDERSON 100 SERIES
DARK BRONZE
- (H) MTL-1 METAL COPING CAP
DMI
STONE
- (I) MTL-2 RAILINGS AND LIGHT FIXTURES
BLACK
- (K) BUILDING ENTRANCE
- (L) PROPOSED MURAL LOCATION

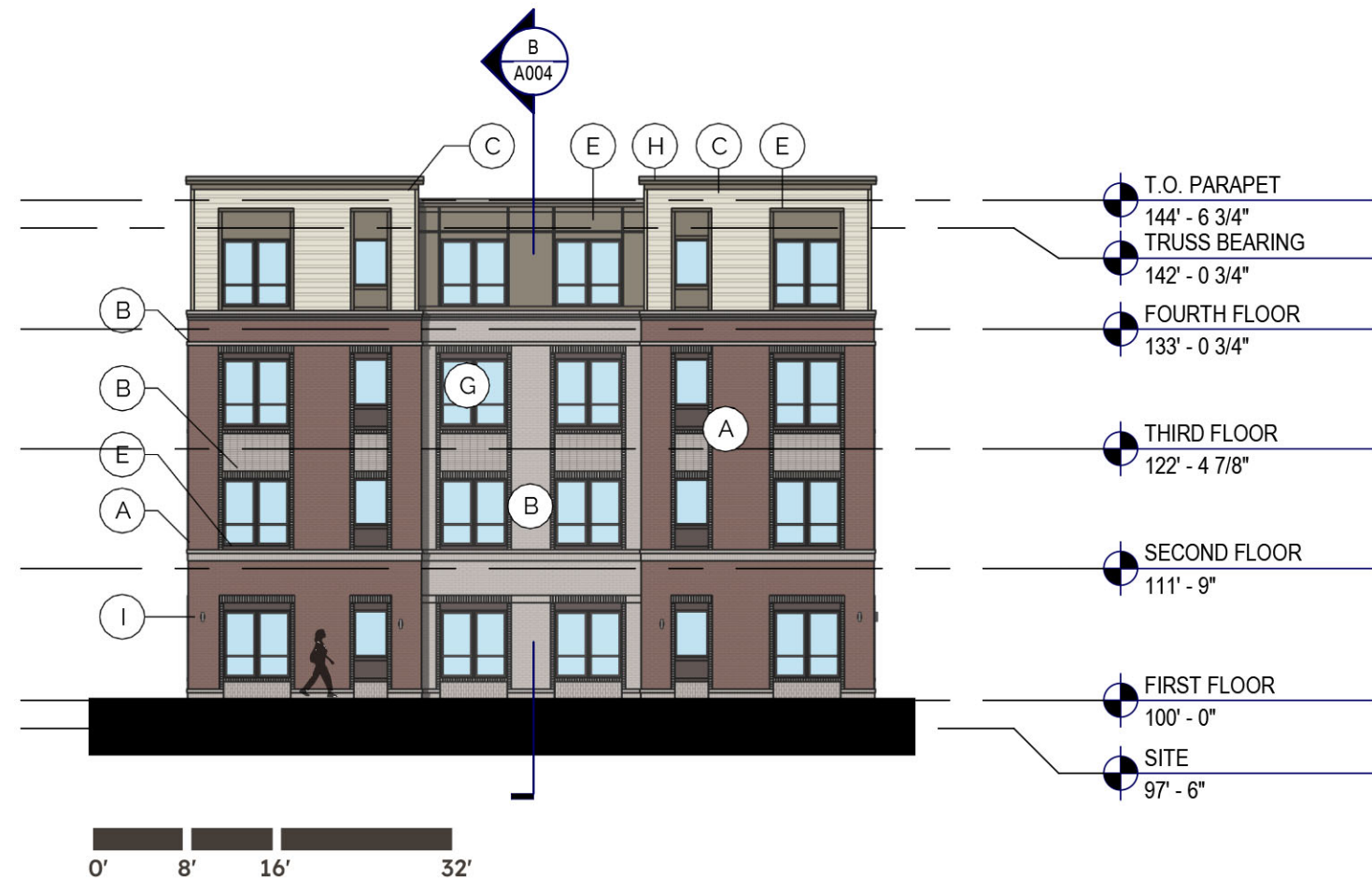




- (A) BR-1 BRICK (FIELD)
GLEN-GERY
CANYON BLEND
- (B) BR-2 BRICK (ACCENT)
GLEN-GERY
COPENHAGEN
- (C) FC-1 FIBER CEMENT SIDING & TRIM
JAMES HARDIE
NAVAJO BEIGE GREY SMOOTH FINISH
- (D) FC-2 FIBER CEMENT TRIM AND PANELS
JAMES HARDIE
TIMBER BARK SMOOTH FINISH
- (E) FC-3 FIBER CEMENT TRIM AND PANELS
JAMES HARDIE
DARK BRONZE SMOOTH FINISH
- (F) SF-1 STOREFRONT SYSTEM
KAWNEER
CLASSIC BRONZE

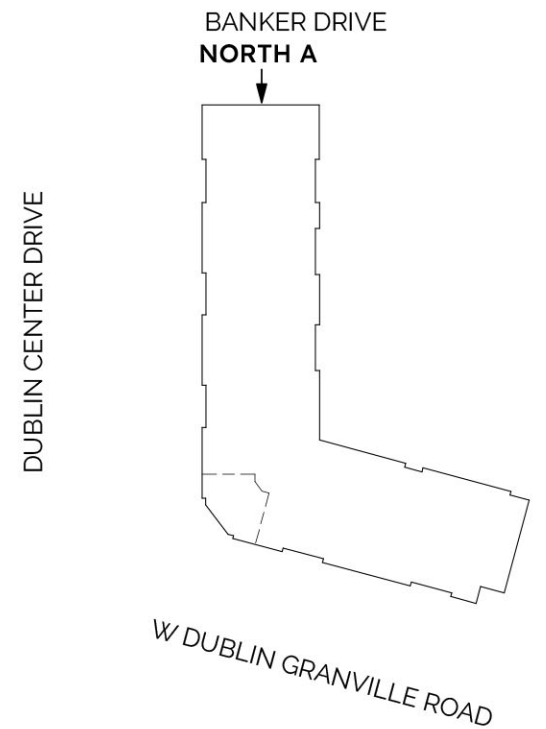
- (G) WN-1 RESIDENTIAL WINDOW
ANDERSON 100 SERIES
DARK BRONZE
- (H) MTL-1 METAL COPING CAP
DMI
STONE
- (I) MTL-2 RAILINGS AND LIGHT FIXTURES
BLACK
- (K) BUILDING ENTRANCE
- (L) PROPOSED MURAL LOCATION





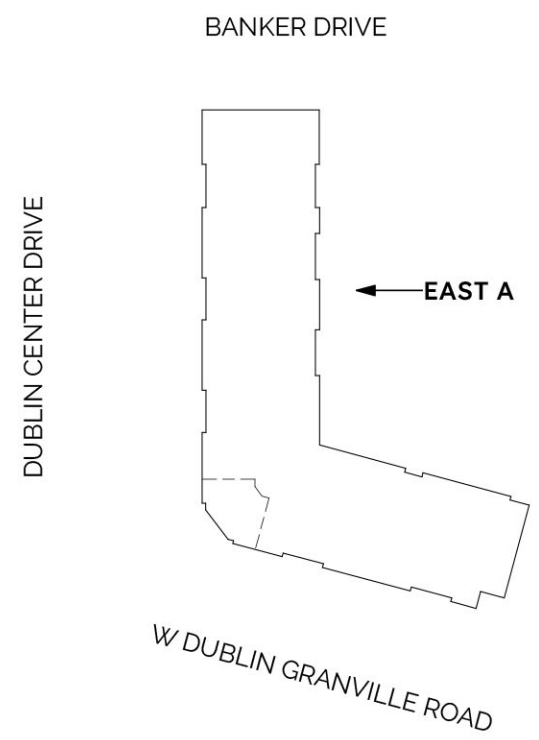
- (A) BR-1 BRICK (FIELD)
GLEN-GERY
CANYON BLEND
- (B) BR-2 BRICK (ACCENT)
GLEN-GERY
COPENHAGEN
- (C) FC-1 FIBER CEMENT SIDING & TRIM
JAMES HARDIE
NAVAJO BEIGE GREY SMOOTH FINISH
- (D) FC-2 FIBER CEMENT TRIM AND PANELS
JAMES HARDIE
TIMBER BARK SMOOTH FINISH
- (E) FC-3 FIBER CEMENT TRIM AND PANELS
JAMES HARDIE
DARK BRONZE SMOOTH FINISH
- (F) SF-1 STOREFRONT SYSTEM
KAWNEER
CLASSIC BRONZE

- (G) WN-1 RESIDENTIAL WINDOW/
ANDERSON 100 SERIES
DARK BRONZE
- (H) MTL-1 METAL COPING CAP
DMI
STONE
- (I) MTL-2 RAILINGS AND LIGHT FIXTURES
BLACK
- (K) BUILDING ENTRANCE
- (L) PROPOSED MURAL LOCATION





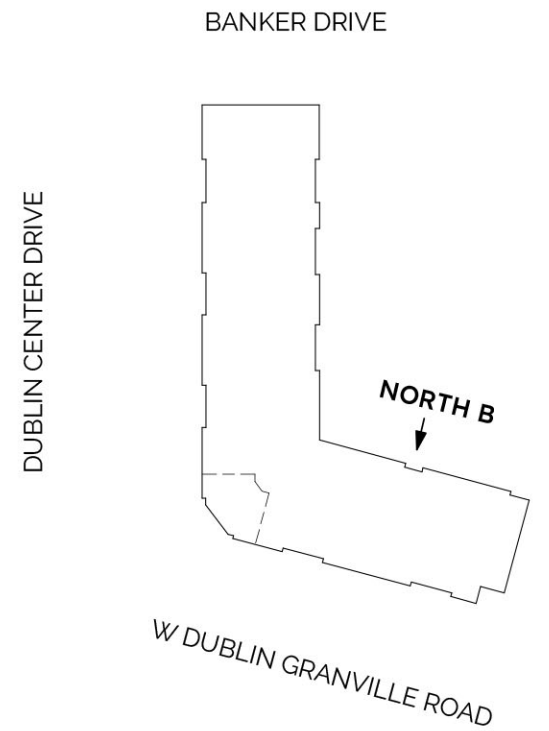
- | | | | | | |
|-----|------|---|-----|-------|---|
| (A) | BR-1 | BRICK (FIELD)
GLEN-GERY
CANYON BLEND | (G) | WN-1 | RESIDENTIAL WINDOW/
ANDERSON 100 SERIES
DARK BRONZE |
| (B) | BR-2 | BRICK (ACCENT)
GLEN-GERY
COPENHAGEN | (H) | MTL-1 | METAL COPING CAP
DMI
STONE |
| (C) | FC-1 | FIBER CEMENT SIDING & TRIM
JAMES HARDIE
NAVAJO BEIGE GREY SMOOTH FINISH | (I) | MTL-2 | RAILINGS AND LIGHT FIXTURES
BLACK |
| (D) | FC-2 | FIBER CEMENT TRIM AND PANELS
JAMES HARDIE
TIMBER BARK SMOOTH FINISH | (K) | | BUILDING ENTRANCE |
| (E) | FC-3 | FIBER CEMENT TRIM AND PANELS
JAMES HARDIE
DARK BRONZE SMOOTH FINISH | (L) | | PROPOSED MURAL LOCATION |
| (F) | SF-1 | STOREFRONT SYSTEM
KAWNEER
CLASSIC BRONZE | | | |

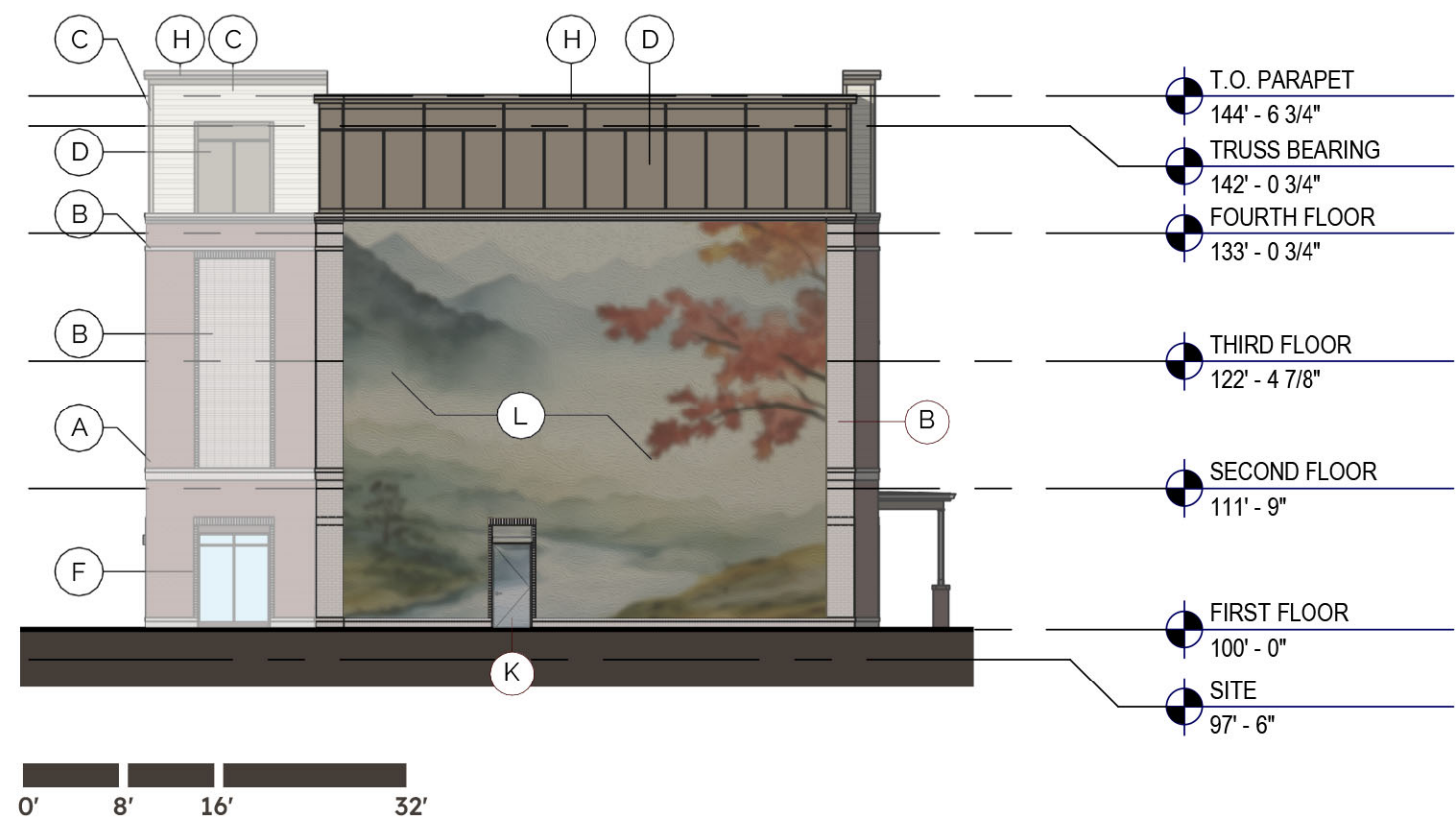




- (A) BR-1 BRICK (FIELD)
GLEN-GERY
CANYON BLEND
- (B) BR-2 BRICK (ACCENT)
GLEN-GERY
COPENHAGEN
- (C) FC-1 FIBER CEMENT SIDING & TRIM
JAMES HARDIE
NAVAJO BEIGE GREY SMOOTH FINISH
- (D) FC-2 FIBER CEMENT TRIM AND PANELS
JAMES HARDIE
TIMBER BARK SMOOTH FINISH
- (E) FC-3 FIBER CEMENT TRIM AND PANELS
JAMES HARDIE
DARK BRONZE SMOOTH FINISH
- (F) SF-1 STOREFRONT SYSTEM
KAWNEER
CLASSIC BRONZE

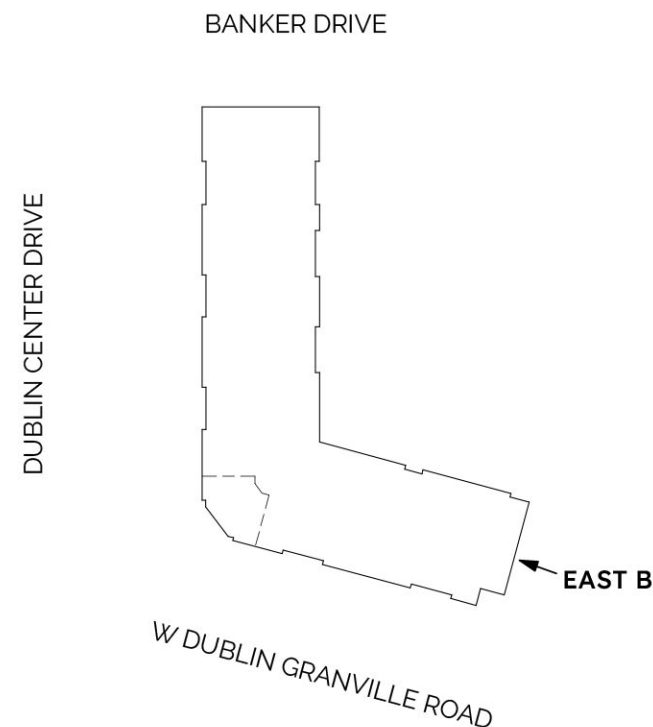
- (G) WN-1 RESIDENTIAL WINDOW/
ANDERSON 100 SERIES
DARK BRONZE
- (H) MTL-1 METAL COPING CAP
DMI
STONE
- (I) MTL-2 RAILINGS AND LIGHT FIXTURES
BLACK
- (K) BUILDING ENTRANCE
- (L) PROPOSED MURAL LOCATION





- (A) BR-1 BRICK (FIELD)
GLEN-GERY
CANYON BLEND
- (B) BR-2 BRICK (ACCENT)
GLEN-GERY
COPENHAGEN
- (C) FC-1 FIBER CEMENT SIDING & TRIM
JAMES HARDIE
NAVAJO BEIGE GREY SMOOTH FINISH
- (D) FC-2 FIBER CEMENT TRIM AND PANELS
JAMES HARDIE
TIMBER BARK SMOOTH FINISH
- (E) FC-3 FIBER CEMENT TRIM AND PANELS
JAMES HARDIE
DARK BRONZE SMOOTH FINISH
- (F) SF-1 STOREFRONT SYSTEM
KAWNEER
CLASSIC BRONZE

- (G) WN-1 RESIDENTIAL WINDOW/
ANDERSON 100 SERIES
DARK BRONZE
- (H) MTL-1 METAL COPING CAP
DMI
STONE
- (I) MTL-2 RAILINGS AND LIGHT FIXTURES
BLACK
- (K) BUILDING ENTRANCE
- (L) PROPOSED MURAL LOCATION
(ART SHOWN IS CONCEPTUAL)



SOUTH FACADE REQUIREMENTS

PRIMARY MATERIALS
PRIMARY MATERIALS: BRICK, GLASS
REQUIRED: 80%
PROVIDED: 82% (4,382 / 5,369)

SECONDARY MATERIALS
PRIMARY MATERIALS: BRICK, GLASS
REQUIRED: <20%
PROVIDED: 18% (987 / 5,369)

FACADE REQUIREMENTS
STREET FACADE: YES
PRINCIPAL FRONTAGE: YES

TRANSPARENCY REQUIREMENTS:
OVERALL TRANSPARENCY
REQUIRED: >20%
PROVIDED: 28.9% (1,900 SF / 6,569 SF)

GROUND STORY TRANSPARENCY
OPAQUE AREA: 1,690 SF
GLAZING/OPENING AREA: 748 SF
TRANSPARENCY PROVIDED: 44.2%
(748 / 1,690) = .442
TRANSPARENCY REQUIRED: 20%

UPPER STORY TRANSPARENCY
OPAQUE AREA: 1,532 SF
GLAZING AREA: 378 SF
TRANSPARENCY PROVIDED: 24.6%
(378 / 1,532 = .246)
TRANSPARENCY REQUIRED: 20%

REQUIRED CHANGE IN ROOF PLANE OR TYPE
REQUIRED: YES
PROVIDED: YES
(NO GREATER THAN EVERY 80' - 0" FEET)

VERTICAL FACADE DIVISIONS
REQUIRED: YES
PROVIDED: NO
(NO GREATER THAN 40' - 0" INCREMENTS)

BLANK WALL LIMITATIONS
REQUIRED: YES
PROVIDED: YES
(NO GREATER THAN 15' - 0" FEET OR 30% OF FACADE PER STORY)

HORIZONTAL FACADE LIMITATIONS
REQUIRED: YES
PROVIDED: YES
(WITHIN 3' - 0" TO TOP OF GROUND STORY)

SOUTH FACADE MATERIALS

PRIMARY MATERIALS
4,382 SF

WALL MATERIALS - SOUTH FACADE			WINDOWS - SOUTH FACADE		WALL MATERIALS - WEST - SECONDARY		
AREA	MATERIAL	COLOR	AREA		AREA	MATERIAL	COLOR
1,441 SF	BRICK (BR-1)	COLOR	1,152 SF		365 SF	FIBER CEMENT	NAVAJO BEIGE
2,241 SF	BRICK (BR-2)	COLOR			532 SF	FIBER CEMENT	TIMBER BARK
3,682 SF					90	FIBER CEMENT	ROCKWEED
STOREFRONT - SOUTH FACADE			GLASS DOORS - SOUTH FACADE		987 SF		
AREA			AREA				
700 SF			0 SF				

SECONDARY MATERIALS
987 SF

TOTAL FACADE SQUARE FOOTAGE: 6,569 SF
TOTAL FACADE EXCLUDING PUNCHED WINDOWS, DOORS, AND OPENING: 5,369 SF



SOUTH ELEVATION

1" = 20'-0"

BANKER DRIVE

DUBLIN CENTER DRIVE

SOUTH

W DUBLIN GRANVILLE ROAD

SW FACADE REQUIREMENTS

PRIMARY MATERIALS

PRIMARY MATERIALS: BRICK, GLASS
REQUIRED: 80%
PROVIDED: 95% (658 / 696)

SECONDARY MATERIALS

PRIMARY MATERIALS: BRICK, GLASS
REQUIRED: <20%
PROVIDED: 5% (38 / 696)

FACADE REQUIREMENTS

STREET FACADE: YES
PRINCIPAL FRONTAGE: YES

TRANSPARENCY REQUIREMENTS:

OVERALL TRANSPARENCY

REQUIRED: >20%
PROVIDED: 38.4% (350 SF / 912 SF)

GROUND STORY TRANSPARENCY

OPAQUE AREA: 251 SF
GLAZING/OPENING AREA: 134 SF
TRANSPARENCY PROVIDED: 53.4%
(134 / 251) = .533
TRANSPARENCY REQUIRED: 20%

UPPER STORY TRANSPARENCY

OPAQUE AREA: 228 SF
GLAZING AREA: 72 SF
TRANSPARENCY PROVIDED: 31.5%
(72 / 228 = .315)
TRANSPARENCY REQUIRED: 20%

REQUIRED CHANGE IN ROOF PLANE OR TYPE

REQUIRED: YES
PROVIDED: YES
(NO GREATER THAN EVERY 80' - 0" FEET)

VERTICAL FACADE DIVISIONS

REQUIRED: YES
PROVIDED: YES
(NO GREATER THAN
40' - 0" INCREMENTS)

BLANK WALL LIMITATIONS

REQUIRED: YES
PROVIDED: YES
(NO GREATER THAN
15' - 0" FEET OR 30% OF
FACADE PER STORY)

HORIZONTAL FACADE LIMITATIONS

REQUIRED: YES
PROVIDED: YES
(WITHIN 3' - 0" TO TOP
OF GROUND STORY)

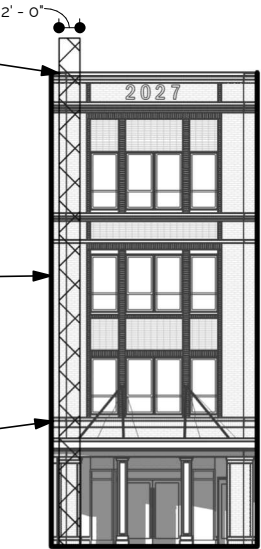
SW FACADE MATERIALS

PRIMARY MATERIALS
658 SF

WALL MATERIALS - SOUTHWEST FACADE			WINDOWS - SOUTHWEST FACADE		WALL MATERIALS - SOUTHWEST - SECONDARY		
AREA	MATERIAL	COLOR	AREA		AREA	MATERIAL	COLOR
268	BRICK (BR-1)	RED	216 SF		0 SF	FIBER CEMENT	NAVAJO BEIGE
390	BRICK (BR-2)	GRAY			0 SF	FIBER CEMENT	TIMBER BARK
658 SF			GLASS DOORS - SOUTHWEST FACADE		38	FIBER CEMENT	ROCKWEED
STOREFRONT - SOUTHWEST FACADE			AREA		38 SF		
AREA			AREA				
0 SF			0 SF				

SECONDARY MATERIALS
38 SF

TOTAL FACADE SQUARE FOOTAGE: 1046 SF
TOTAL FACADE EXCLUDING PUNCHED WINDOWS, DOORS, AND OPENINGS: 696 SF



SW ELEVATION

1" = 20'-0"

BANKER DRIVE

DUBLIN CENTER DRIVE

SW

W DUBLIN GRANVILLE ROAD

WEST FACADE REQUIREMENTS

WEST FACADE MATERIALS

WAIVER REQ.

PRIMARY MATERIALS
PRIMARY MATERIALS: BRICK, GLASS
REQUIRED: 80%
PROVIDED: 79% (5,801 / 7,310)

SECONDARY MATERIALS
PRIMARY MATERIALS: BRICK, GLASS
REQUIRED: <20%
PROVIDED: 21% (1,509 / 7,310)

FACADE REQUIREMENTS
STREET FACADE: YES
PRINCIPAL FRONTAGE: YES

TRANSPARENCY REQUIREMENTS:
OVERALL TRANSPARENCY
REQUIRED: >20%
PROVIDED: 23.3% (2,216 SF / 9,480 SF)

GROUND STORY TRANSPARENCY
OPAQUE AREA: 2,257 SF
GLAZING/OPENING AREA: 542 SF
TRANSPARENCY PROVIDED: 24.0%
(542 / 2,257) = .240
TRANSPARENCY REQUIRED: 20%

UPPER STORY TRANSPARENCY
OPAQUE AREA: 2,217 SF
GLAZING AREA: 558 SF
TRANSPARENCY PROVIDED: 25.2%
(558 / 2,217 = .252)
TRANSPARENCY REQUIRED: 20%

REQUIRED CHANGE IN ROOF PLANE OR TYPE
REQUIRED: YES
PROVIDED: YES
(NO GREATER THAN EVERY 80' - 0" FEET)

VERTICAL FACADE DIVISIONS
REQUIRED: YES
PROVIDED: YES
(NO GREATER THAN 40' - 0" INCREMENTS)

BLANK WALL LIMITATIONS
REQUIRED: YES
PROVIDED: YES
(NO GREATER THAN 15' - 0" FEET OR 30% OF FACADE PER STORY)

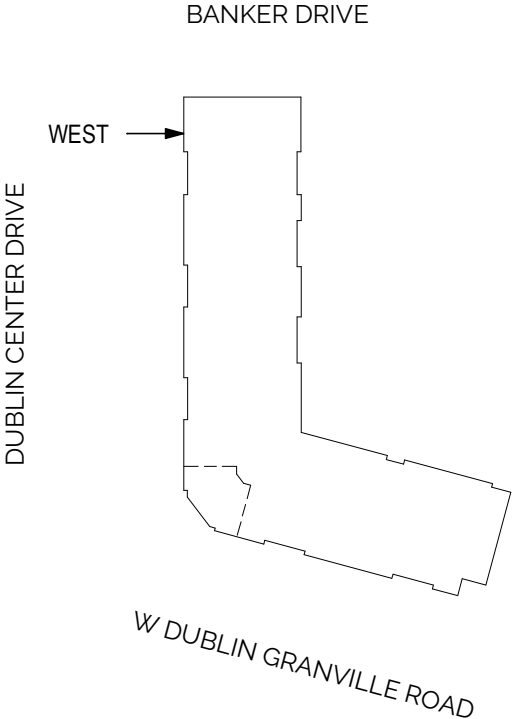
HORIZONTAL FACADE LIMITATIONS
REQUIRED: YES
PROVIDED: YES
(WITHIN 3' - 0" TO TOP OF GROUND STORY)

PRIMARY MATERIALS
5,801 SF

WALL MATERIALS - WEST FACADE			WINDOWS - WEST FACADE		WALL MATERIALS - WEST - SECONDARY		
AREA	MATERIAL	COLOR	AREA		AREA	MATERIAL	COLOR
2,493	BRICK (BR-1)	RED	2052 SF		636 SF	FIBER CEMENT	NAVAJO BEIGE
3,219	BRICK (BR-2)	GRAY			677 SF	FIBER CEMENT	TIMBER BARK
5,712 SF					196	FIBER CEMENT	ROCKWEED
STOREFRONT - WEST FACADE			GLASS DOORS - WEST FACADE		1,509 SF		
AREA			AREA				
0 SF			89 SF				

SECONDARY MATERIALS
1,509 SF

TOTAL FACADE SQUARE FOOTAGE: 9,480 SF
TOTAL FACADE EXCLUDING PUNCHED WINDOWS, DOORS, AND OPENINGS: 7,310 SF



WEST ELEVATION

1" = 20'-0"

NORTH FACADE REQUIREMENTS

PRIMARY MATERIALS

PRIMARY MATERIALS: BRICK, GLASS
REQUIRED: 80%
PROVIDED: 85.1% (3,631/ 4,266)

SECONDARY MATERIALS

PRIMARY MATERIALS: BRICK, GLASS
REQUIRED: <20%
PROVIDED: 14.9 % (635 / 4,266)

FACADE REQUIREMENTS

STREET FACADE: NO
PRINCIPAL FRONTAGE: NO

TRANSPARENCY REQUIREMENTS

OVERALL TRANSPARENCY
REQUIRED: >20%
PROVIDED: 22.7% (1207 SF / 5,310 SF)

GROUND STORY TRANSPARENCY

OPAQUE AREA: 1,334 SF
GLAZING AREA: 344 SF
TRANSPARENCY PROVIDED: 25.7%
(344 / 1,334) = .255
TRANSPARENCY REQUIRED: 20%

UPPER STORY TRANSPARENCY

OPAQUE AREA: 1,210 SF
GLAZING AREA: 289 SF
TRANSPARENCY PROVIDED: 23.8%
(289 / 1,210) = .238
TRANSPARENCY REQUIRED: 20%

REQUIRED CHANGE IN ROOF PLANE OR TYPE

REQUIRED: YES
PROVIDED: YES
(NO GREATER THAN EVERY 80' - 0" FEET)

VERTICAL FACADE DIVISIONS

REQUIRED: YES
PROVIDED: NO
(NO GREATER THAN
40' - 0" INCREMENTS)

BLANK WALL LIMITATIONS

REQUIRED: YES
PROVIDED: YES
(NO GREATER THAN
15' - 0" FEET OR 30% OF
FACADE PER STORY)

HORIZONTAL FACADE LIMITATIONS

REQUIRED: YES
PROVIDED: YES
(WITHIN 3' - 0" TO TOP
OF GROUND STORY)

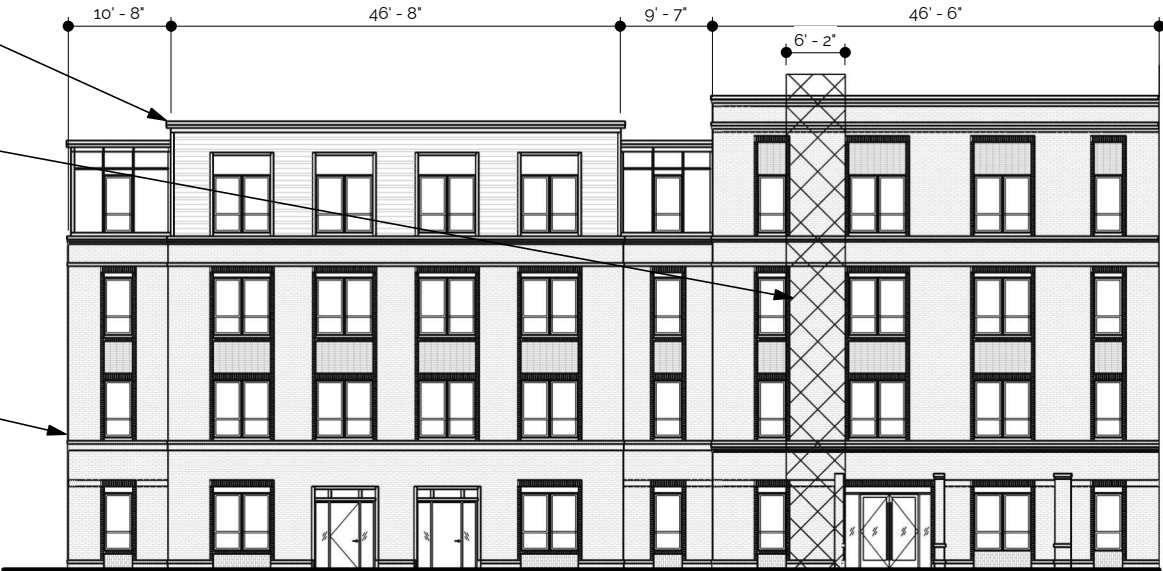
NORTH FACADE MATERIALS

WALL MATERIALS - NORTH FACADE			WINDOWS - NORTH FACADE		WALL MATERIALS - NORTH FACADE - SECONDARY		
AREA	MATERIAL	COLOR	AREA		AREA	MATERIAL	COLOR
1,729 SF	BRICK (BR-1)	RED	1044 SF		276 SF	FIBER CEMENT	NAVAJO BEIGE
1,739 SF	BRICK (BR-2)	GRAY			255 SF	FIBER CEMENT	TIMBER BARK
3,468 SF					104 SF	FIBER CEMENT	ROCKWEED
STOREFRONT - NORTH FACADE			GLASS DOORS - NORTH FACADE		635 SF		
AREA			AREA				
0 SF			163 SF				

TOTAL FACADE SQUARE FOOTAGE: 5,310 SF
TOTAL FACADE EXCLUDING PUNCHED WINDOWS AND DOORS: 4,266 SF

PRIMARY MATERIALS
3,631 SF

SECONDARY MATERIALS
635 SF



NORTH ELEVATION B

1" = 20'-0"

BANKER DRIVE

DUBLIN CENTER DRIVE

NORTH B

W DUBLIN GRANVILLE ROAD

NORTH FACADE REQUIREMENTS

NORTH FACADE MATERIALS

WAIVER REQ.

PRIMARY MATERIALS
PRIMARY MATERIALS: BRICK, GLASS
REQUIRED: 80%
PROVIDED: 76.4% (1,531 / 2,004)

SECONDARY MATERIALS
PRIMARY MATERIALS: BRICK, GLASS
REQUIRED: <20%
PROVIDED: 23.6 % (473 / 2,004)

FACADE REQUIREMENTS
STREET FACADE: NO
PRINCIPAL FRONTAGE: NO

TRANSPARENCY REQUIREMENTS
OVERALL TRANSPARENCY
REQUIRED: >20%
PROVIDED: 25.2% (676 SF / 2,680 SF)

GROUND STORY TRANSPARENCY
OPAQUE AREA: 717 SF
GLAZING AREA: 168 SF
TRANSPARENCY PROVIDED: 23.4%
(168 / 717) = .234
TRANSPARENCY REQUIRED: 20%

UPPER STORY TRANSPARENCY
OPAQUE AREA: 661 SF
GLAZING AREA: 169 SF
TRANSPARENCY PROVIDED: 25.5%
(169 / 661) = .255
TRANSPARENCY REQUIRED: 20%

REQUIRED CHANGE IN ROOF PLANE OR TYPE
REQUIRED: YES
PROVIDED: YES
(NO GREATER THAN EVERY 80' - 0" FEET)

VERTICAL FACADE DIVISIONS
REQUIRED: YES
PROVIDED: YES
(NO GREATER THAN 40' - 0" INCREMENTS)

BLANK WALL LIMITATIONS
REQUIRED: YES
PROVIDED: YES
(NO GREATER THAN 15' - 0" FEET OR 30% OF FACADE PER STORY)

HORIZONTAL FACADE LIMITATIONS
REQUIRED: YES
PROVIDED: YES
(WITHIN 3' - 0" TO TOP OF GROUND STORY)

PRIMARY MATERIALS
1,531 SF

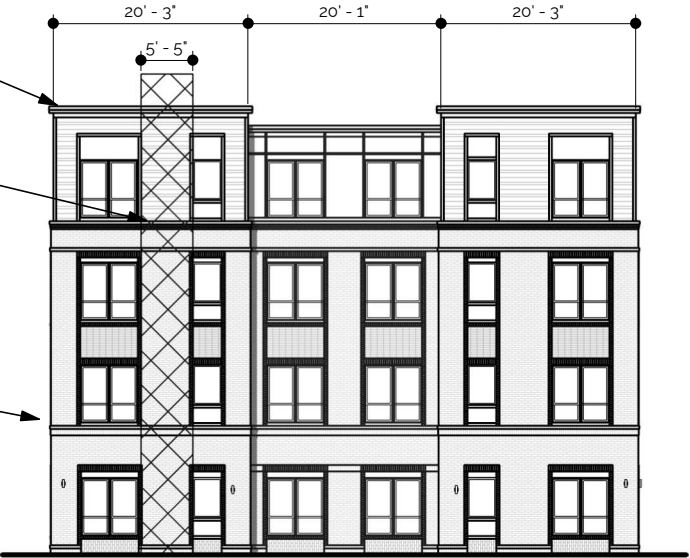
WALL MATERIALS - NORTH FACADE		
AREA	MATERIAL	COLOR
763 SF	BRICK (BR-1)	RED
768 SF	BRICK (BR-2)	GRAY
1,531 SF		
STOREFRONT - NORTH FACADE		
AREA		
0 SF		

WINDOWS - NORTH FACADE	
AREA	
676 SF	
GLASS DOORS - NORTH FACADE	
AREA	
0 SF	

WALL MATERIALS - NORTH FACADE - SECONDARY		
AREA	MATERIAL	COLOR
80 SF	FIBER CEMENT	NAVAJO BEIGE
310 SF	FIBER CEMENT	TIMBER BARK
83 SF	FIBER CEMENT	ROCKWEED
473 SF		

SECONDARY MATERIALS
473 SF

TOTAL FACADE SQUARE FOOTAGE: 2,680 SF
TOTAL FACADE EXCLUDING PUNCHED WINDOWS AND DOORS: 2,004 SF



NORTH ELEVATION A

1" = 20'-0"

BANKER DRIVE
NORTH A

DUBLIN CENTER DRIVE

W DUBLIN GRANVILLE ROAD

EAST FACADE REQUIREMENTS

PRIMARY MATERIALS
PRIMARY MATERIALS: BRICK, GLASS
REQUIRED: 80%
PROVIDED: 81% (5,205 / 6,435)

SECONDARY MATERIALS
PRIMARY MATERIALS: BRICK, GLASS
REQUIRED: <20%
PROVIDED: 19% (1,255/6,435)

FACADE REQUIREMENTS
STREET FACADE: NO
PRINCIPAL FRONTAGE: YES

TRANSPARENCY REQUIREMENTS:
OVERALL TRANSPARENCY
REQUIRED: >20%
PROVIDED: 19.1% (1,534 SF / 7,994 SF)

GROUND STORY TRANSPARENCY
OPAQUE AREA: 2,059 SF
GLAZING AREA: 346 SF
TRANSPARENCY PROVIDED: 16.8%
(346 / 2,059) = .168
TRANSPARENCY REQUIRED: 20%

UPPER STORY TRANSPARENCY
OPAQUE AREA: 1,867 SF
GLAZING AREA: 396 SF
TRANSPARENCY PROVIDED: 21.2%
(396 / 1,867 = .212)
TRANSPARENCY REQUIRED: 20%

REQUIRED CHANGE IN ROOF PLANE OR TYPE
REQUIRED: YES
PROVIDED: YES
(NO GREATER THAN EVERY 80' - 0" FEET)

VERTICAL FACADE DIVISIONS
REQUIRED: YES
PROVIDED: YES
(NO GREATER THAN 40' - 0" INCREMENTS)

BLANK WALL LIMITATIONS
REQUIRED: YES
PROVIDED: YES
(NO GREATER THAN 15' - 0" FEET OR 30% OF FACADE PER STORY)

HORIZONTAL FACADE LIMITATIONS
REQUIRED: YES
PROVIDED: YES
(WITHIN 3' - 0" TO TOP OF GROUND STORY)

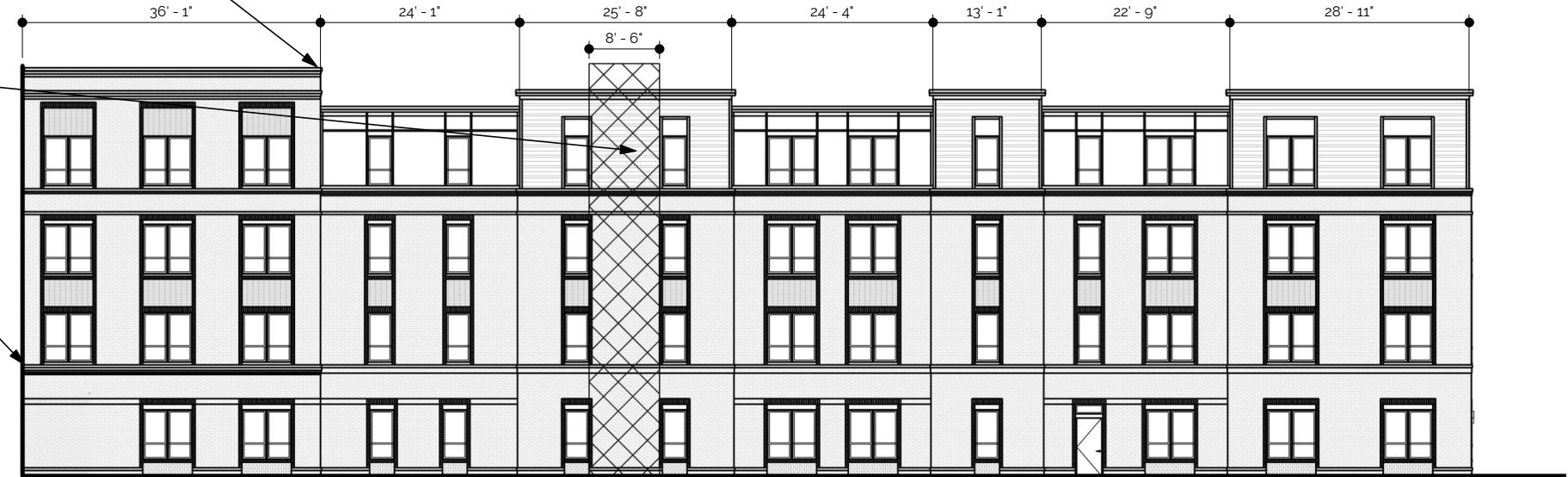
EAST FACADE MATERIALS

PRIMARY MATERIALS
5205 SF

WALL MATERIALS - EAST FACADE			WINDOWS - EAST FACADE		WALL MATERIALS - EAST FACADE - SECONDARY		
AREA	MATERIAL	COLOR	AREA		AREA	MATERIAL	COLOR
2,145	BRICK (BR-1)	RED	1,534 SF		526 SF	FIBER CEMENT	NAVAJO BEIGE
3,060 SF	BRICK (BR-2)	GRAY			610 SF	FIBER CEMENT	TIMBER BARK
5,205 SF					119 SF	FIBER CEMENT	ROCKWEED
STOREFRONT - EAST FACADE			GLASS DOORS - EAST FACADE		1,255 SF		
AREA			AREA				
0 SF			0 SF				

SECONDARY MATERIALS
1,255 SF

TOTAL FACADE SQUARE FOOTAGE: 7,994 SF
TOTAL FACADE EXCLUDING PUNCHED WINDOWS AND DOORS: 6,435 SF



EAST ELEVATION A

1" = 20'-0"

BANKER DRIVE

DUBLIN CENTER DRIVE

EAST A

W DUBLIN GRANVILLE ROAD

EAST FACADE REQUIREMENTS

WAIVER REQ.

PRIMARY MATERIALS
PRIMARY MATERIALS: BRICK, GLASS
REQUIRED: 80%
PROVIDED: 77.8% (2022/2,596)

WAIVER REQ.

SECONDARY MATERIALS
PRIMARY MATERIALS: BRICK, GLASS
REQUIRED: <20%
PROVIDED: 22.2% (574/2,596)

WAIVER REQ.

FACADE REQUIREMENTS
STREET FACADE: YES
PRINCIPAL FRONTAGE: NO

WAIVER REQ.

TRANSPARENCY REQUIREMENTS
OVERALL TRANSPARENCY
REQUIRED: >20%
PROVIDED: 1.8% (48 / 2,621)

GROUND STORY TRANSPARENCY
OPAQUE AREA: 695 SF
GLAZING/OPENING AREA: 48 SF
TRANSPARENCY PROVIDED: 6.9%
(48/695 = .069)
TRANSPARENCY REQUIRED: 20%

UPPER STORY TRANSPARENCY
OPAQUE AREA: 630 SF
GLAZING AREA: 0 SF
TRANSPARENCY PROVIDED: 0.0%
(0 / 630 = .000)
TRANSPARENCY REQUIRED: 20%

WAIVER REQ.

REQUIRED CHANGE IN ROOF PLANE OR TYPE
REQUIRED: YES
PROVIDED: YES
(NO GREATER THAN EVERY 80'-0" FEET)

WAIVER REQ.

VERTICAL FACADE DIVISIONS
REQUIRED: YES
PROVIDED: YES
(NO GREATER THAN EVERY 40'-0" FEET)

WAIVER REQ.

BLANK WALL LIMITATIONS
REQUIRED: YES
PROVIDED: NO
(NO GREATER THAN 15'-0" FEET OR 30% OF FACADE PER STORY)

WAIVER REQ.

HORIZONTAL FACADE LIMITATIONS
REQUIRED: YES
PROVIDED: YES
(WITHIN 3'-0" TO TOP OF GROUND STORY)

EAST FACADE MATERIALS

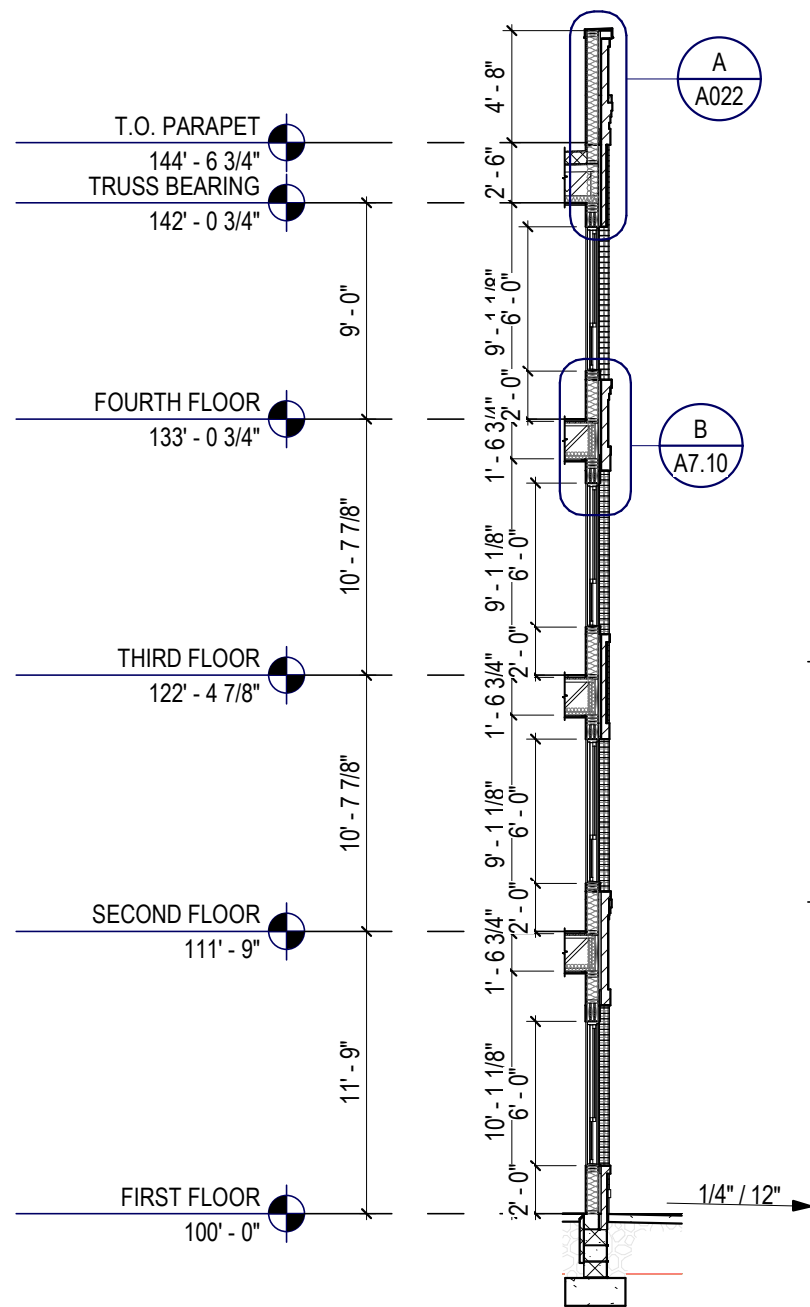
PRIMARY MATERIALS

2022 SF

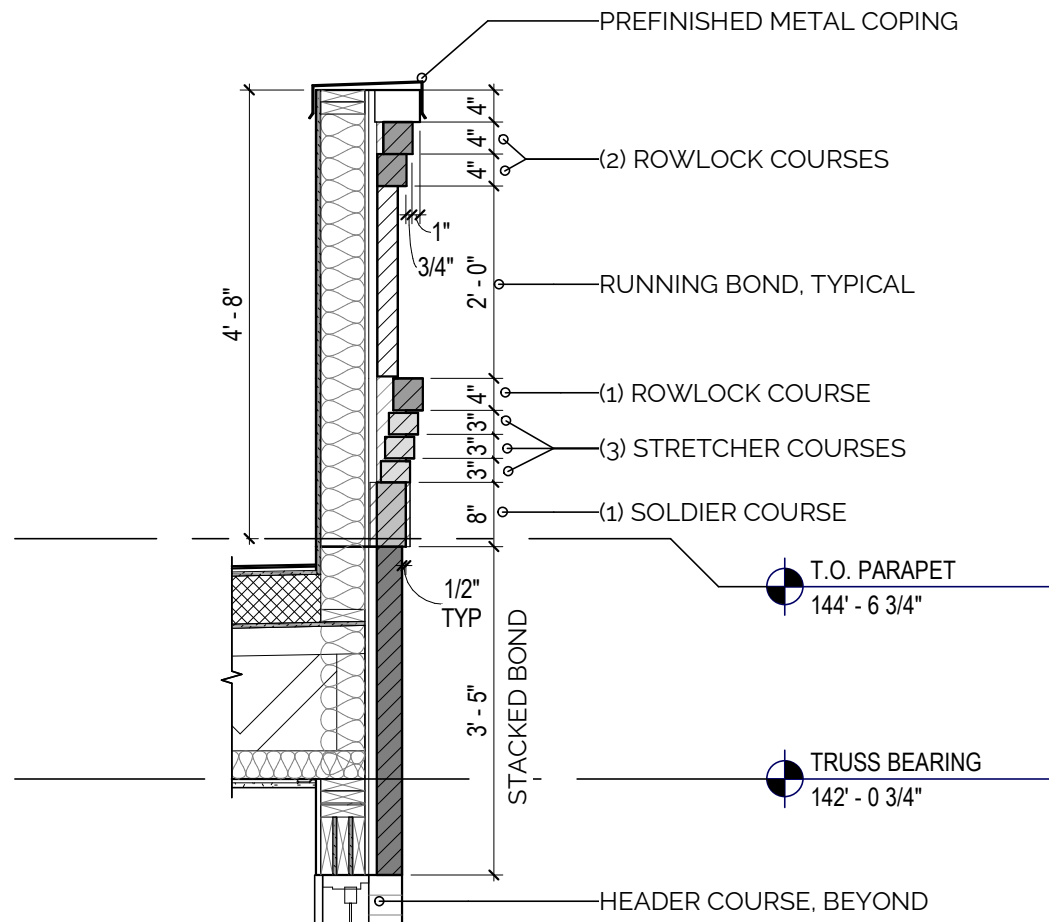
WALL MATERIALS - EAST FACADE			WINDOWS - EAST FACADE		WALL MATERIALS - EAST FACADE - SECONDARY		
AREA	MATERIAL	COLOR	AREA		AREA	MATERIAL	COLOR
270 SF	BRICK (BR-1)	RED	0 SF		103 SF	FIBER CEMENT	NAVAJO BEIGE
1,704 SF	BRICK (BR-2)	GRAY			467 SF	FIBER CEMENT	TIMBER BARK
1,974 SF					4 SF	FIBER CEMENT	ROCKWEED
STOREFRONT - EAST FACADE			GLASS DOORS - EAST FACADE		574 SF		
AREA			AREA				
48 SF							



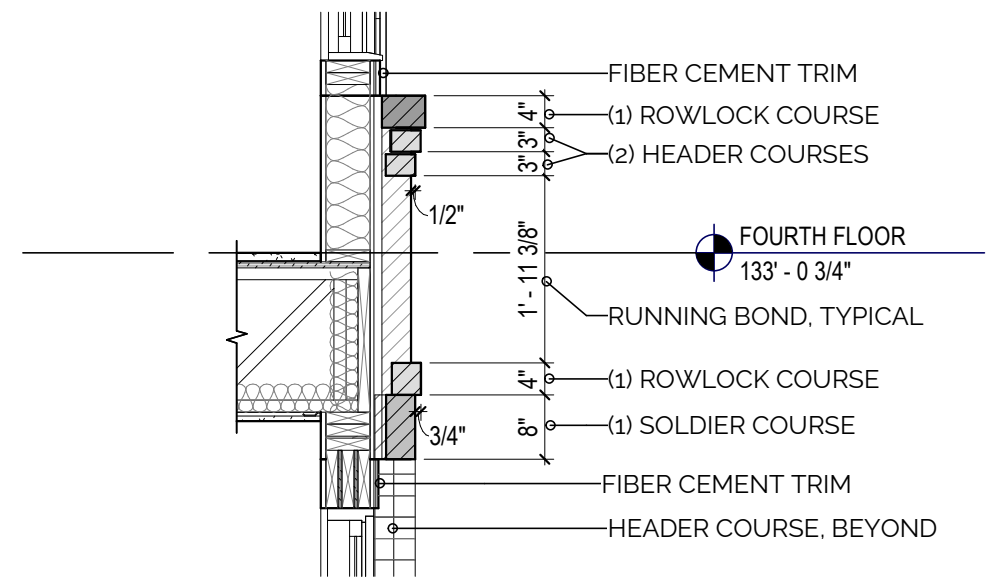




1 wall section
A022 1/8" = 1'-0"



A section detail
A022 1/2" = 1'-0"



B section detail
A022 1/2" = 1'-0"