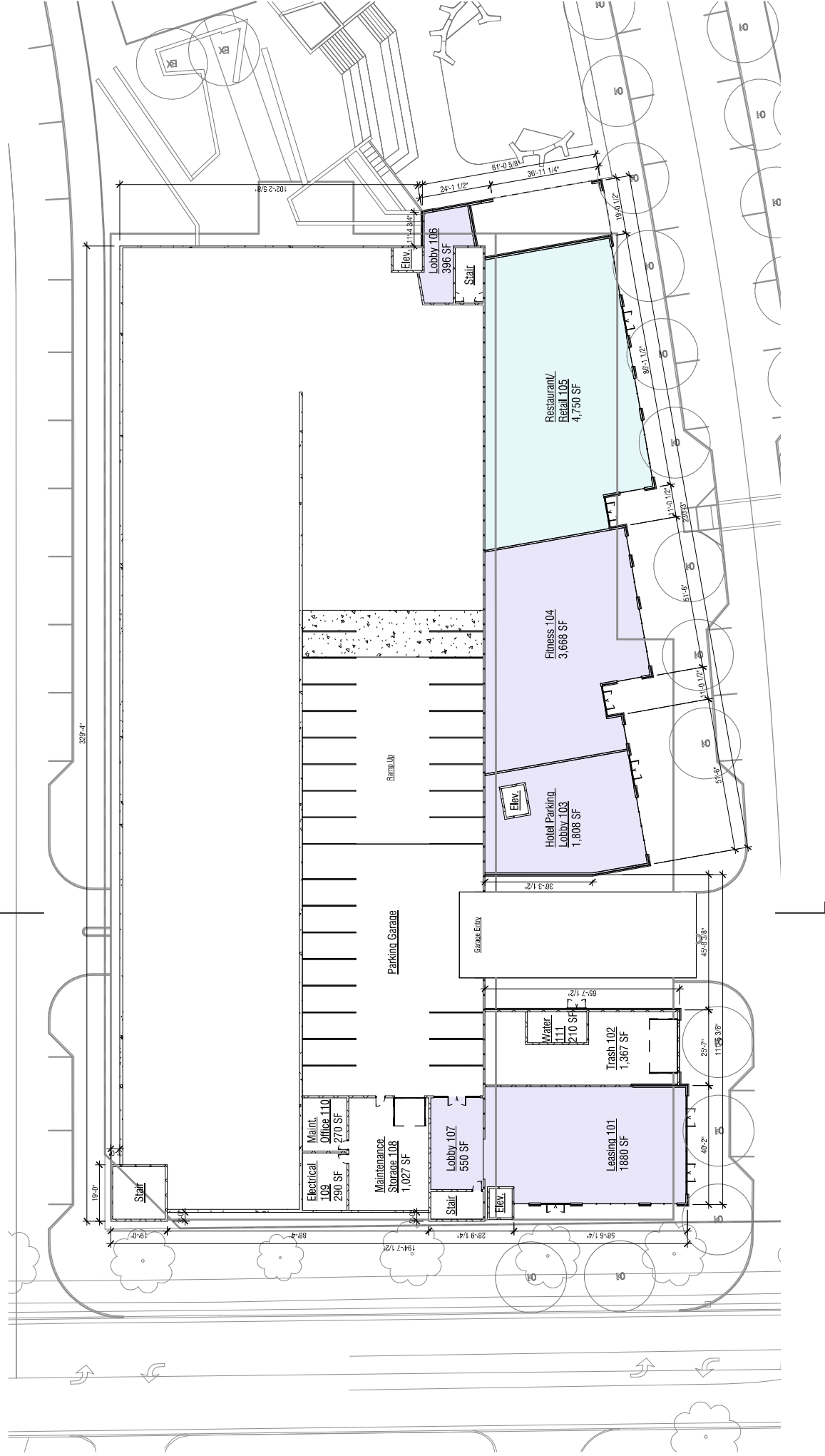




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DAIMLER



1"=200'

Residential Liner+Garage - Level 01 Floor Plan | Bridge North Development



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1"=200'

Residential Liner+Garage - Level 03 Floor Plan

Bridge North Development



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1"=200'

Residential Liner+Garage - Level 04 Floor Plan | Bridge North Development



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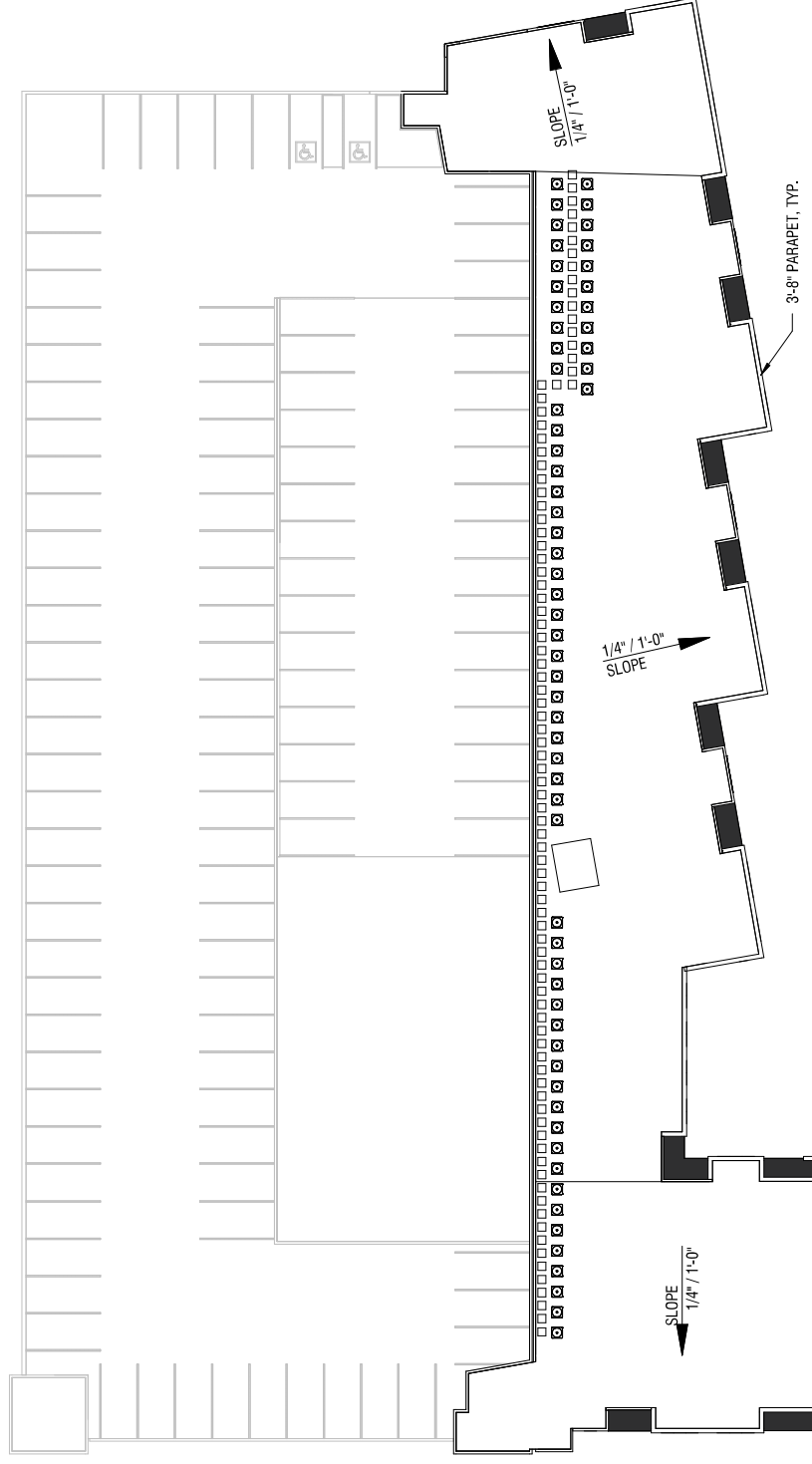


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1"=200'

Residential Liner+Garage - Level 05 Floor Plan | Bridge North Development



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1"=200'



Residential Liner+Garage - Roof Plan | Bridge North Development



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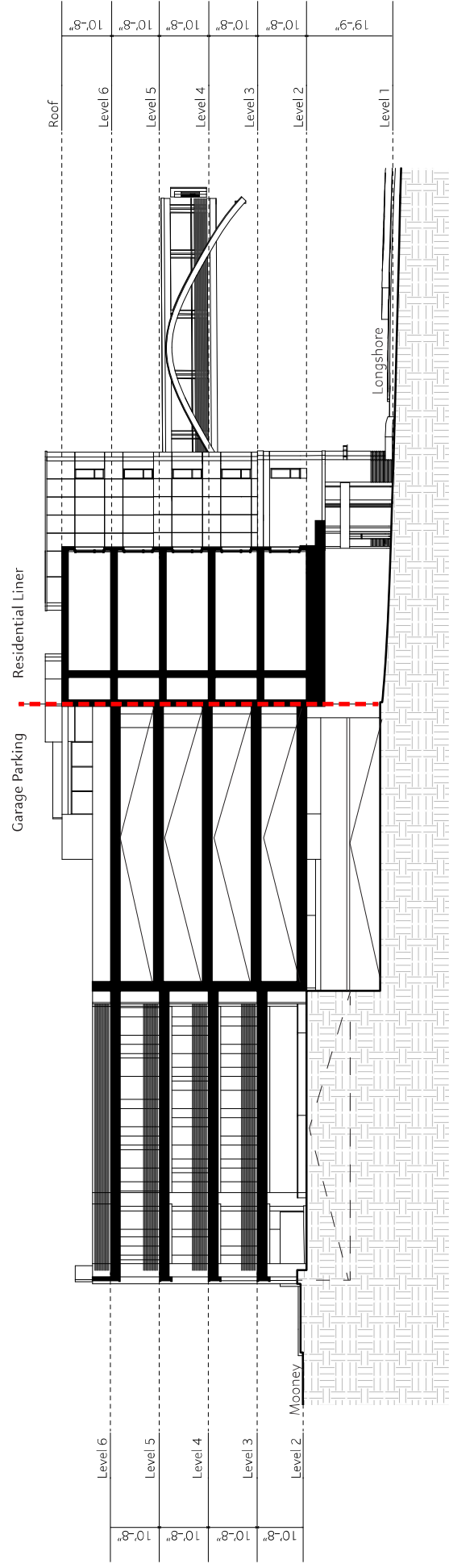


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1"=200'

Residential Liner+Garage - Level 06 Floor Plan | Bridge North Development



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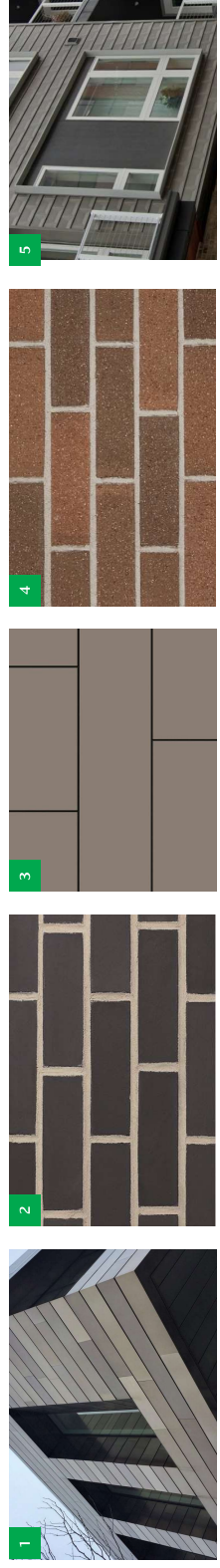


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1/16"=10"

Residential Liner+Garage - Section | Bridge North Development



- 1. METAL PANEL
- 2. DARK BRICK
- 3. FIBER CEMENT (MULTIPLE COLORS)
- 4. BROWN BRICK BLEND
- 5. ALUMINUM EXTRUSION



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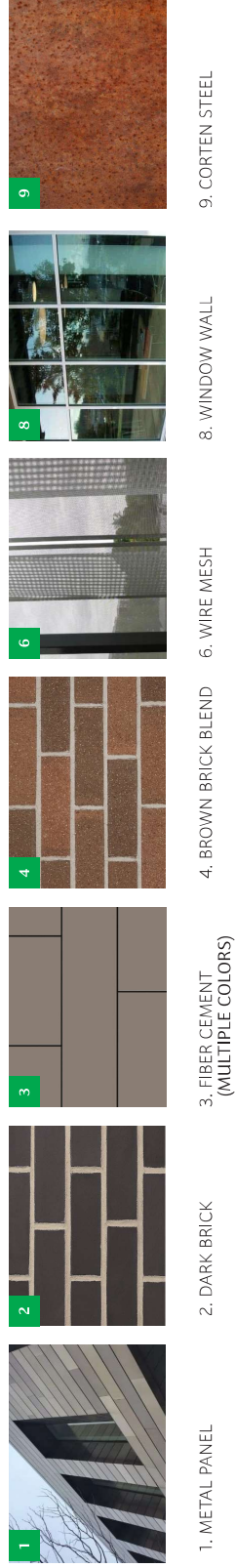
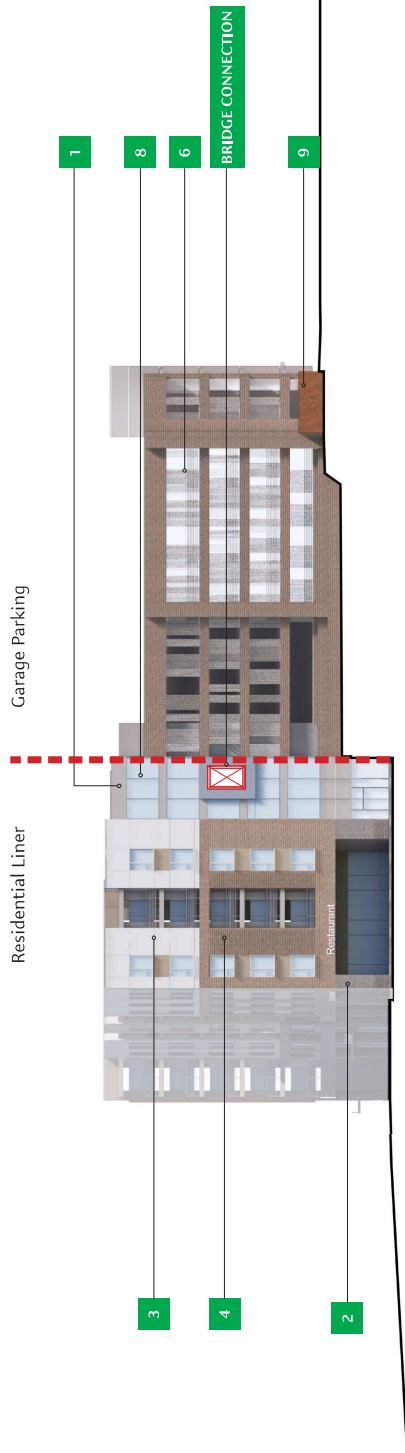
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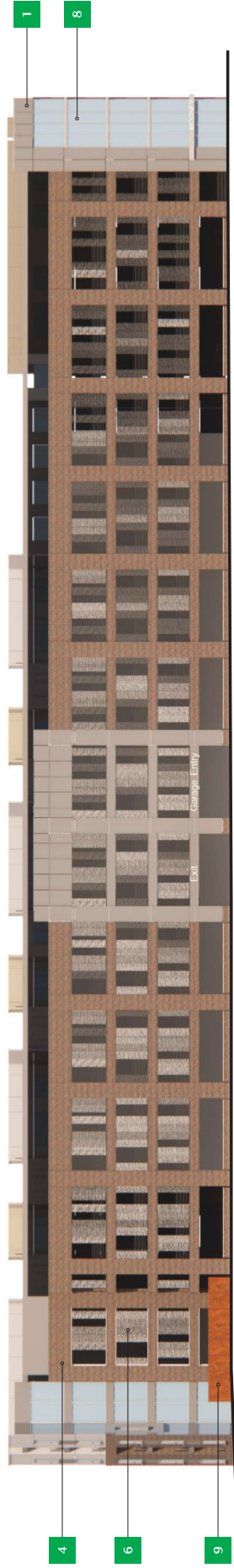
Moody Nolan **archall**

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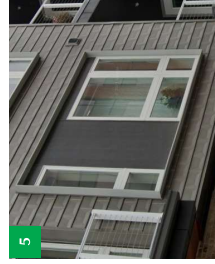
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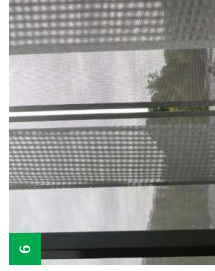
1. METAL PANEL



4. BROWN BRICK BLEND



5. ALUMINUM EXTRUSION



6. WIRE MESH
(Color change in gradient)



8. WINDOW WALL



9. CORTEN STEEL



Moody Nolan

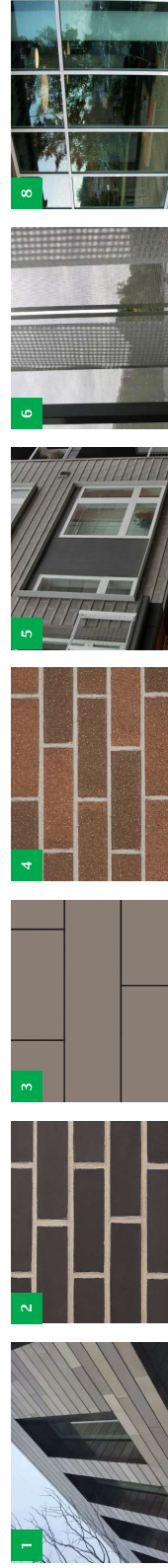
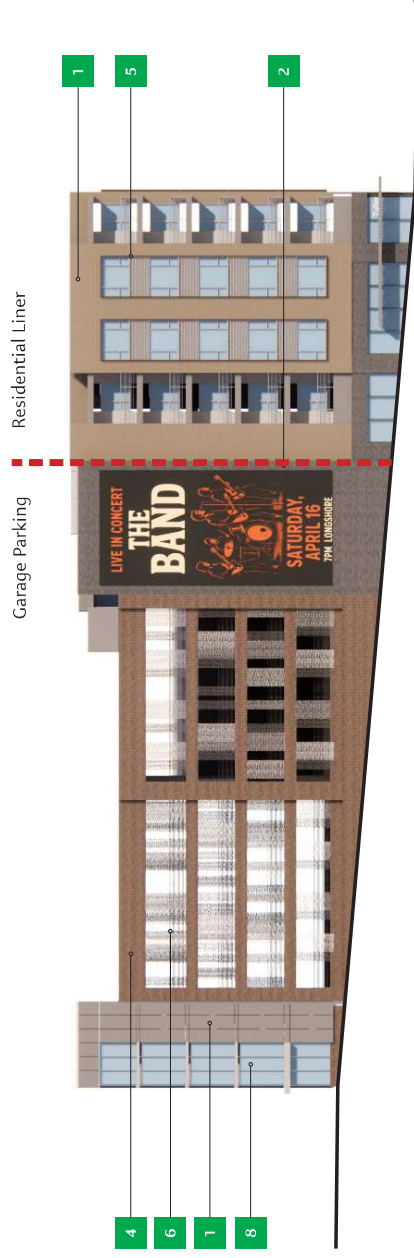
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1. METAL PANEL 2. DARK BRICK 3. FIBER CEMENT (MULTIPLE COLORS) 4. BROWN BRICK BLEND 5. ALUMINUM EXTRUSION 6. WIRE MESH 8. WINDOW WALL 8. WINDOW WALL



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Residential Liner - Corridor Building

A1. Street Frontage

Multiple Principal Buildings:	Permitted	Actual:	
Front Property Line Coverage:	Minimum 75%	55%	
Occupation of Corner:	Required	Complies	
Front RBZ:	0-15 ft.	Complies	
Corner Side RBZ:	0-15 ft.	Complies	
RBZ Treatment:	Landscape, Patio, or street-scape; along West Dublin-Granville Road, Street-scape Required	Complies	
Right-of-Way Encroachment:	Awnings, Canopies, eaves, patios & signs	Complies	

A2. Buildable Area

Minimum Side Yard Setback:	5 ft.	Actual:	
Minimum Rear Yard Setback:	5 ft.	Complies	
Minimum Lot Width:	50 ft.	Complies	115 ft.
Max. Impervious Coverage:	80%	95%	
Additional Semi-Impervious Coverage:	10%	N/A	

A3. Parking Location & Loading

Parking Location:	Rear yard; within building	Actual:	
Loading Facility Location:	Rear & side Facade	N/A	
Entry for Parking within Building:	Rear & side Facade Corner side Facade	Front Facade (Longshore St.)	
Access:	Refer to 153.062	N/A	
		Complies	

B. Height

Minimum Height:	3 stories	Actual:	
Maximum Height:	6 stories	6 stories	
Ground story:	12 ft.-16 ft.	21' at the highest	
Stories:	10-14 ft.	Complies; 10'-8"	

C. Uses & Occupancy Requirements

Ground Story:	Residential and general office uses are prohibited	Actual:	
Upper Story:	No requirements	Complies	
Parking within Building:	Permitted	N/A	
Occupied Space:	Min. 30 ft. facing Street	Complies	

D1. Street Facade Transparency

Ground Story Street Facing Transparency:	Min. 60% required	Actual:	
Transparency:	Min. 30%	Complies	
Blank Wall Limitation:	Required	Complies	

D2. Non-Street Facade Transparency

Transparency:	Min. 15%	Actual:	
Blank Wall Limitation:	Required	Complies	

D3. Building Entrance

Principal Entrance Location:	Primary Street	Actual:	
Street Facades: Number of Entrances:	1 per 75'	Complies	
Parking Lot Facades:	1 per 100'	N/A	
Mid-Building Pedestrianway:	In shopping corridors; Required for building greater than 250' in length	N/A	

D4. Facade Divisions

Vertical Increments:	No greater than 45'	Actual:	
Horizontal Facade Division:	On building 3 stories or taller, required with 3' of top of the ground story Required at any building step-back.	Ref. Elevations	
Required Change in Roof: Plane or Type	None;	N/A	

D5. Facade Materials

Permitted Primary Materials:	Stone, Brick, Glass	Actual:	
		Ref. Elevations	

D6. Roof Types

Permitted Types:	Parapet; Pitched roof; flat roof; other types may be permitted with approval	Actual:	
Tower:	Permitted on facades only at terminal vistas, corners at two principal frontage streets	Complies	

Potential Waiver Request



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1. Tellis



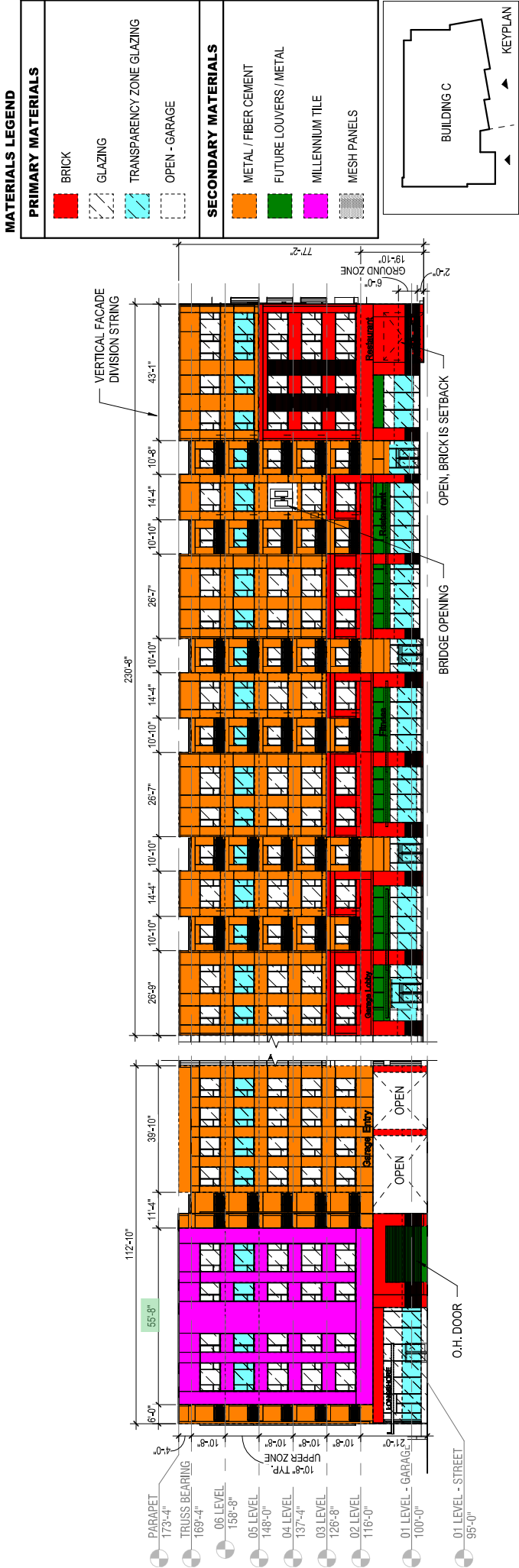
2. Canopy



3. no canopy

Retailers may choose from one of the approved storefront options for installation, in order to maintain visual variety across the overall streetscape within the Bridge North development.

MATERIAL TYPE: WEST FACADE TOTAL AREA <table> <tr> <td>PRIMARY</td> <td>GLAZING (WINDOWS & DOORS)</td> <td>25,467 SF</td> </tr> <tr> <td>PRIMARY</td> <td>BRICK</td> <td>8,268 SF</td> </tr> <tr> <td>SECONDARY</td> <td>MILLENNIUM TILE</td> <td>4,007 SF</td> </tr> <tr> <td>SECONDARY</td> <td>METAL/FIBER CEMENT</td> <td>2,432 SF</td> </tr> <tr> <td>SECONDARY</td> <td>LOUVERS/GLAZING/METAL</td> <td>9,805 SF</td> </tr> <tr> <td>SECONDARY</td> <td>(TBD PER TENANT REQ. -UPPER PORTION OF GROUND FLOOR STOREFRONTS)</td> <td>955 SF</td> </tr> </table> PRIMARY MATERIAL TOTAL: REQUIRED: 80% PROVIDED: 48% (12,275 / 25,467 = .482) SECONDARY MATERIAL TOTAL: REQUIRED: <20% PROVIDED: 52% (13,192 / 25,467 = .518)	PRIMARY	GLAZING (WINDOWS & DOORS)	25,467 SF	PRIMARY	BRICK	8,268 SF	SECONDARY	MILLENNIUM TILE	4,007 SF	SECONDARY	METAL/FIBER CEMENT	2,432 SF	SECONDARY	LOUVERS/GLAZING/METAL	9,805 SF	SECONDARY	(TBD PER TENANT REQ. -UPPER PORTION OF GROUND FLOOR STOREFRONTS)	955 SF	FACADE REQUIREMENTS: STREET FACADE: YES PRINCIPAL ENTRANCE: YES NUMBER OF ENTRANCES: REQUIRED: 1 PER 75'-0" OF FACADE TOTAL FACADE LENGTH: 343'-6" PROVIDED: 343'-6" / 75 = 5 (4.57 ROUNDED UP) 3 BASE + FUTURE TENANT ENTRANCES GROUND STORY: HEIGHT: (VARIES) 21'-0" (NORTH) 19'-10" (SOUTH) 5676 SF - EXCLUDES GARAGE OPENINGS GROUND STORY TRANSPARENCY: GROUND STORY TRANSPARENCY ZONE: (2'-0" TO 8'-0" ABOVE GRADE) 1,806 SF GROUND STORY GLAZING AREA: (2'-0" TO 8'-0" ABOVE GRADE) 1,222 SF TRANSPARENCY REQUIRED: 60% TRANSPARENCY PROVIDED: 66%	UPPER STORY: HEIGHT: 10'-8" UPPER STORY TOTAL AREA: 3702 SF (EA. FLOOR 02-06) UPPER STORY TRANSPARENCY: UPPER STORY TRANSPARENCY ZONE: 3,702 SF (FLOOR TO FLOOR 02-06) UPPER STORY GLAZING AREA: 1,229 SF (FLOOR TO FLOOR 02-06) TRANSPARENCY REQUIRED: 30% TRANSPARENCY PROVIDED: 33% BLANK WALL LIMITATIONS: REQUIRED: YES PROVIDED: YES VERTICAL FACADE DIVISIONS: REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS) PROVIDED: YES, ONE GREATER THAN 45'-0" HORIZONTAL FACADE DIVISIONS: REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY) PROVIDED: YES, MATERIAL TYPE CHANGE Potential Waiver Request
PRIMARY	GLAZING (WINDOWS & DOORS)	25,467 SF																		
PRIMARY	BRICK	8,268 SF																		
SECONDARY	MILLENNIUM TILE	4,007 SF																		
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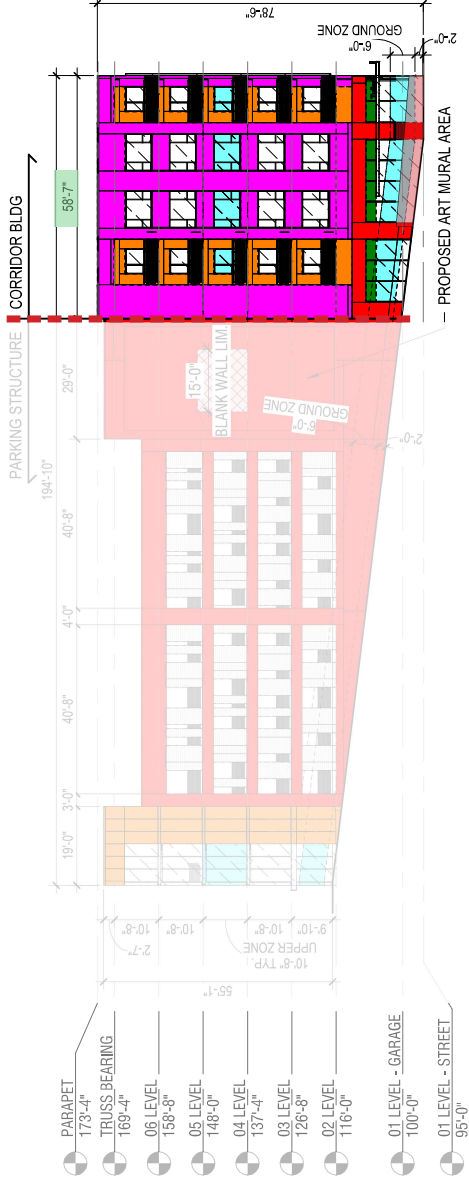


MATERIAL TYPE: NORTH FACADE TOTAL AREA -(INCLUDES BOTH CORRIDOR AND PARKING GARAGE) PRIMARY GLAZING (WINDOWS & DOORS) 11,297 SF SECONDARY BRICK 4,516 SF SECONDARY MESH SCREENS 1,560 SF SECONDARY MILLENNIUM TILE 1,880 SF SECONDARY METAL/FIBER CEMENT 1,298 SF SECONDARY LOUVERS/GLAZING/METAL 116 SF (TBD PER TENANT REQ. -UPPER PORTION OF GROUND FLOOR STOREFRONTS) PRIMARY MATERIAL TOTAL: 6,443 SF REQUIRED: 80% PROVIDED: 57% (6,443 / 11,297 = .570) SECONDARY MATERIAL TOTAL: 4,854 SF REQUIRED: <20% PROVIDED: 43% (4,854 / 11,297 = .429)	FACADE REQUIREMENTS: STREET FACADE: YES PRINCIPAL ENTRANCE: NO NUMBER OF ENTRANCES: REQUIRED: NO - NOT A PRIMARY STREET FACADE TOTAL FACADE LENGTH: 194'-10" REQUIRED: 0 PROVIDED: 0 GROUND STORY: HEIGHT: (VARIES) GROUND STORY TOTAL AREA: 3,575 SF 9'-10" (EAST) 21'-0" (WEST) GROUND STORY TRANSPARENCY: (2'-0" TO 8'-0" ABOVE GRADE) 353 SF CORRIDOR; 824 SF PARKING (2'-0" TO 8'-0" ABOVE GRADE) 272 SF CORRIDOR; 134 SF PARKING TRANSPARENCY REQUIRED: 60% CORRIDOR; 65% PARKING TRANSPARENCY PROVIDED: 77% CORRIDOR; 16% PARKING	UPPER STORY: HEIGHT: 10'-8" UPPER STORY TOTAL AREA: 2,078 SF (EA. FLOOR 02-06) UPPER STORY TRANSPARENCY: UPPER STORY TRANSPARENCY ZONE: 625 SF CORRIDOR (FLOOR TO FLOOR 02-06) UPPER STORY GLAZING AREA: 195 SF CORRIDOR (FLOOR TO FLOOR 02-06) TRANSPARENCY REQUIRED: 30% CORRIDOR; PARKING=CAR SCREENING TRANSPARENCY PROVIDED: 31% CORRIDOR; PARKING=PERFORATED MESH PANELS BLANK WALL LIMITATIONS: REQUIRED: YES PROVIDED: NO VERTICAL FACADE DIVISIONS: REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS) PROVIDED: YES, ONE GREATER THAN 45'-0" HORIZONTAL FACADE DIVISIONS: REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY) PROVIDED: YES, MATERIAL TYPE CHANGE
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Potential Waiver Request

MATERIALS LEGEND

PRIMARY MATERIALS	
	BRICK
	GLAZING
	TRANSPARENCY ZONE GLAZING
	OPEN - GARAGE
SECONDARY MATERIALS	
	METAL / FIBER CEMENT
	FUTURE LOUVERS / METAL
	MILLENNIUM TILE
	MESH PANELS



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Residential Liner - Exterior Elevation Transparency Studies - North | Bridge North Development

WAIVER SUMMARY - Residential Liner (Corridor Building Type)

- Waiver Requests highlighted in green.

1) A1. Building Siting:

Minimum Front Property Line Coverage is 75%.

- The actual Front Property Line Coverage is 55%.

2) A2. Buildable Area:

Maximum Impervious Coverage allowable is 80%.

- The actual impervious coverage is 95% on this parcel when combining with the garage.

3) A3. Loading Facility Location

- The loading area to trash room is located at Longshore Street, which considered Front Facade of the Residential Liner building. This is due to extreme elevation difference in grade at the side facade (north) and no street access at the rear facade (south and west).

4) B. Height

- The ground story height is 21' at the highest point to make up the difference in grade, which is taller than the required maximum 16'.

5) D4. Facade Divisions

- Requirement exceeded at the NW corner as the division is greater than 45'-0" at this specific location on the West and North facades. The reason for this departure is to create a distinctive corner element above the leasing lobby.

6) D5. Facade Materials

- Secondary materials exceed requirements on all facades. Millennium Tile, Composite metal panels and fiber cement are used, along with brick and glass, to add visual interest, material contrast and rhythm to the building. They are also used to incorporate a visually lighter 'top' to the building along the West façade.



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Garage - Parking Structure

A1. Street Frontage

Multiple Principal Buildings:	Not Permitted
Front Property Line Coverage:	Minimum 90%
Occupation of Corner:	Required
Front RBZ:	5-25 ft.
Corner Side RBZ:	5-25 ft.
RBZ Treatment:	Landscape, Patio, or street-scape;
Right-of-Way Encroachment:	None

A2. Buildable Area

Minimum Side Yard Setback:	5 ft.
Minimum Rear Yard Setback:	5 ft.
Minimum Lot Width:	80 ft.
Maximum Building Length	300 ft.
Max. Impervious Coverage:	80%
Additional Semi-Impervious Coverage	10%

A3. Parking Location & Loading

Parking Location:	within building only
Entry for Parking: within building:	Rear, side, corner side facades on non-principal frontage streets
Entry for Parking within Building:	Rear & side Facade Corner side Facade
Access:	Refer to 153.062

B. Height

Minimum Height:	2 stories
Maximum Height:	5 stories
Ground story:	8 ft./12 ft.-18 ft.
Stories:	8.5 ft.-12 ft.

C. Uses & Occupancy Requirements

Ground Story:	Commercial use are Required only when fronting Principal street
Upper Story:	No requirements
Parking within Building:	all floors above grade
Occupied Space:	Min. 20 ft.

D1. Street Facade Transparency

Ground Story Street Facing Transparency:	Min. 65% required
Garage Openings:	car screened
Blank Wall Limitation:	Required

D2. Non-Street Facade Transparency

Blank Wall Limitation:	Required
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D3. Building Entrance

Principal Entrance Location:	All Street facades
Street Facades: Number of Entrances:	1 per 75'
Parking Lot Facades:	N/A
Mid-Building Pedestrianway:	Not required;

D4. Facade Divisions

Vertical Increments:	No greater than 30'
Horizontal Facade Division:	required within 3' of top of the ground story
Required Change in Roof: Plane or Type	None;
Garage floors:	Garage floors shall be horizontal along all street facades

D5. Facade Materials

Permitted Primary Materials:	Stone, Brick, Glass
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D6. Roof Types

Permitted Types:	Parapet, Pitched roof, flat roof, other types may be permitted with approval
Tower:	Permitted on facades only at terminal vistas, corners at two principal frontage streets



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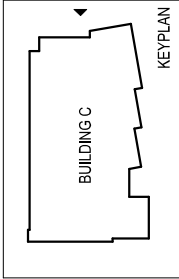
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MATERIAL TYPE: SOUTH FACADE TOTAL AREA (INCLUDES BOTH CORRIDOR AND PARKING GARAGE) 8,170 SF PRIMARY GLAZING (WINDOWS & DOORS) 1,922 SF PRIMARY BRICK 3,373 SF SECONDARY MESH SCREENS 1,371 SF SECONDARY METAL/FIBER CEMENT 1,386 SF SECONDARY LOUVERS/GLAZING/METAL 118 SF (TBD PER TENANT REQ.) -UPPER PORTION OF GROUND FLOOR STOREFRONTS) PRIMARY MATERIAL TOTAL: REQUIRED: 80% PROVIDED: 65% (5,295 / 8,170 = .648) SECONDARY MATERIAL TOTAL: REQUIRED: <20% PROVIDED: 35% (2,875 / 8,170 = .351)	FACADE REQUIREMENTS: STREET FACADE: NO PRINCIPAL ENTRANCE: NO NUMBER OF ENTRANCES: REQUIRED: NO - NOT A PRIMARY STREET FACADE TOTAL FACADE LENGTH: 163'-5" REQUIRED: 0 PROVIDED: 0 GROUND STORY: HEIGHT: (VARIES) 19'-0" (WEST) 10'-8" (EAST) 2637 SF GROUND STORY TOTAL AREA: GROUND STORY TRANSPARENCY: (2'-0" TO 8'-0" ABOVE GRADE) 272 SF CORRIDOR; 712 SF PARKING GROUND STORY GLAZING AREA: (2'-0" TO 8'-0" ABOVE GRADE) 216 SF CORRIDOR; 248 SF PARKING TRANSPARENCY REQUIRED: 15% CORRIDOR; PARKING=BLANK WALL LIM. TRANSPARENCY PROVIDED: 79% CORRIDOR; 35% PARKING	UPPER STORY: HEIGHT: 10'-8" UPPER STORY TOTAL AREA: 1,743 SF (EA. FLOOR 02-06) UPPER STORY TRANSPARENCY: UPPER STORY TRANSPARENCY ZONE: 480 SF CORRIDOR (FLOOR TO FLOOR 02-06) UPPER STORY GLAZING AREA: 117 SF CORRIDOR (FLOOR TO FLOOR 02-06) TRANSPARENCY REQUIRED: 15% CORRIDOR; PARKING=CAR SCREENING TRANSPARENCY PROVIDED: 25% CORRIDOR; PARKING=PERFORATED MESH PANELS BLANK WALL LIMITATIONS: REQUIRED: YES PROVIDED: YES VERTICAL FACADE DIVISIONS: REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS) PROVIDED: YES HORIZONTAL FACADE DIVISIONS: REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY) PROVIDED: YES, MATERIAL TYPE CHANGE
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Potential Waiver Request

MATERIALS LEGEND

PRIMARY MATERIALS	BRICK	GLAZING	TRANSPARENCY ZONE GLAZING	OPEN - GARAGE
SECONDARY MATERIALS	METAL / FIBER CEMENT	FUTURE LOUVERS / METAL	MILLENNIUM TILE	MESH PANELS

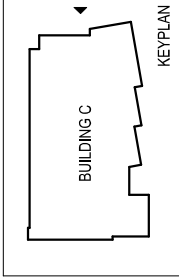
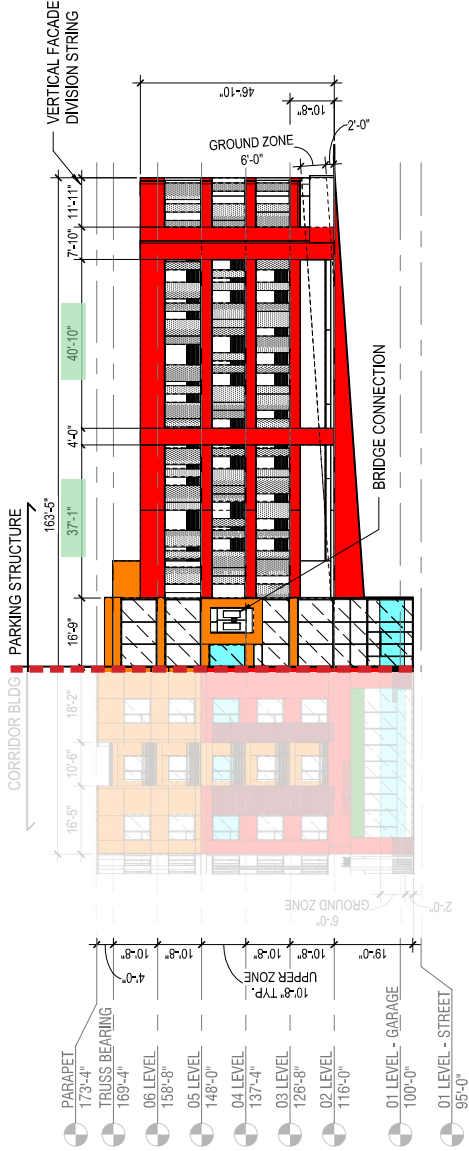


MATERIAL TYPE: SOUTH FACADE TOTAL AREA (INCLUDES BOTH CORRIDOR AND PARKING GARAGE) 8,170 SF PRIMARY GLAZING (WINDOWS & DOORS) 1,922 SF PRIMARY BRICK 3,373 SF SECONDARY MESH SCREENS 1,371 SF SECONDARY METAL/FIBER CEMENT 1,386 SF SECONDARY LOUVERS/GLAZING/METAL 118 SF (TBD PER TENANT REQ. -UPPER PORTION OF GROUND FLOOR STOREFRONTS) PRIMARY MATERIAL TOTAL: REQUIRED: 80% PROVIDED: 65% (5,295 / 8,170 = .648) SECONDARY MATERIAL TOTAL: REQUIRED: <20% PROVIDED: 35% (2,875 / 8,170 = .351)	FACADE REQUIREMENTS: STREET FACADE: NO PRINCIPAL ENTRANCE: NO NUMBER OF ENTRANCES: REQUIRED: NO - NOT A PRIMARY STREET FACADE TOTAL FACADE LENGTH: 163'-5" REQUIRED: 0 PROVIDED: 0 GROUND STORY: HEIGHT: (VARIES) 19'-0" (WEST) 10'-8" (EAST) 2637 SF GROUND STORY TOTAL AREA: 163'-5" GROUND STORY TRANSPARENCY: GROUND STORY TRANSPARENCY ZONE: 272 SF CORRIDOR; 712 SF PARKING (2'-0" TO 8'-0" ABOVE GRADE) GROUND STORY GLAZING AREA: 216 SF CORRIDOR; 248 SF PARKING (2'-0" TO 8'-0" ABOVE GRADE) TRANSPARENCY REQUIRED: 15% CORRIDOR; PARKING=BLANK WALL LIM. TRANSPARENCY PROVIDED: 79% CORRIDOR; 35% PARKING	UPPER STORY: HEIGHT: 10'-8" UPPER STORY TOTAL AREA: 1,743 SF (EA. FLOOR 02-06) UPPER STORY TRANSPARENCY: UPPER STORY TRANSPARENCY ZONE: 480 SF CORRIDOR (FLOOR TO FLOOR 02-06) UPPER STORY GLAZING AREA: 117 SF CORRIDOR (FLOOR TO FLOOR 02-06) TRANSPARENCY REQUIRED: 15% CORRIDOR; PARKING=CAR SCREENING TRANSPARENCY PROVIDED: 25% CORRIDOR; PARKING=PERFORATED MESH PANELS BLANK WALL LIMITATIONS: REQUIRED: YES PROVIDED: YES VERTICAL FACADE DIVISIONS: REQUIRED: YES (NO GREATER THAN 30'-0" INCREMENTS) PROVIDED: YES, TWO GREATER THAN 30' HORIZONTAL FACADE DIVISIONS: REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY) PROVIDED: YES, MATERIAL TYPE CHANGE
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Potential Waiver Request

MATERIALS LEGEND

PRIMARY MATERIALS	
	BRICK
	GLAZING
	TRANSPARENCY ZONE GLAZING
	OPEN - GARAGE
SECONDARY MATERIALS	
	METAL / FIBER CEMENT
	FUTURE LOUVERS / METAL
	MILLENNIUM TILE
	MESH PANELS



MATERIAL TYPE:		FACADE REQUIREMENTS:	
EAST FACADE TOTAL AREA		STREET FACADE: YES PRINCIPAL ENTRANCE: YES	
11,467 SF		NUMBER OF ENTRANCES:	
PRIMARY GLAZING (WINDOWS & DOORS) 645 SF		REQUIRED: 1 PER 75'-0" OF FACADE	
PRIMARY BRICK 6,041 SF		TOTAL FACADE LENGTH: 330'-2"	
SECONDARY MESH SCREENS 3,834 SF		REQUIRED: 330'-2" / 75 = 5 (4.4 ROUNDED UP)	
SECONDARY METAL/FIBER CEMENT LOUVERS/GLAZING/METAL 947 SF		PROVIDED: 1 BASE	
SECONDARY (TBD PER TENANT REQ. -UPPER PORTION OF GROUND FLOOR STOREFRONTS) 0 SF		GROUND STORY: HEIGHT: (VARIES) GROUND STORY TOTAL AREA: 9'-10" NORTH, 11'-6" SOUTH 3,467 SF	
PRIMARY MATERIAL TOTAL: 6,686 SF		GROUND STORY TRANSPARENCY: REQUIRED: YES (NO GREATER THAN 30'-0" INCREMENTS) PROVIDED: YES - BRICK PIERS	
REQUIRED: 80%		HORIZONTAL FACADE DIVISIONS: REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY) PROVIDED: YES	
PROVIDED: 58% (6,686 / 11,467 = .583)			
SECONDARY MATERIAL TOTAL: 4,781 SF			
REQUIRED: <20%			
PROVIDED: 42% (4,781 / 11,467 = .417)			
		UPPER STORY: HEIGHT: 10'-8" 3,521 SF (EA. FLOOR 03-05)	
		UPPER STORY TRANSPARENCY: 3,521 SF (FLOOR TO FLOOR 03-05)	
		UPPER STORY OPEN AREA: 891 SF + PERF. PANEL OPENNESS % (FLOOR TO FLOOR 03-05)	
		TRANSPARENCY REQUIRED: CAR SCREENING	
		TRANSPARENCY PROVIDED: PERFORATED MESH PANELS	
		BLANK WALL LIMITATIONS: REQUIRED: YES PROVIDED: YES	
		POTENTIAL WAIVER REQUEST	

PRIMARY MATERIALS

BRICK

GLAZING

TRANSPARENCY ZONE GLAZING

OPEN - GARAGE

SECONDARY MATERIALS

METAL / FIBER CEMENT

FUTURE LOUVERS / METAL

MILLENNIUM TILE

MESH PANELS

KEYPLAN

BUILDING C

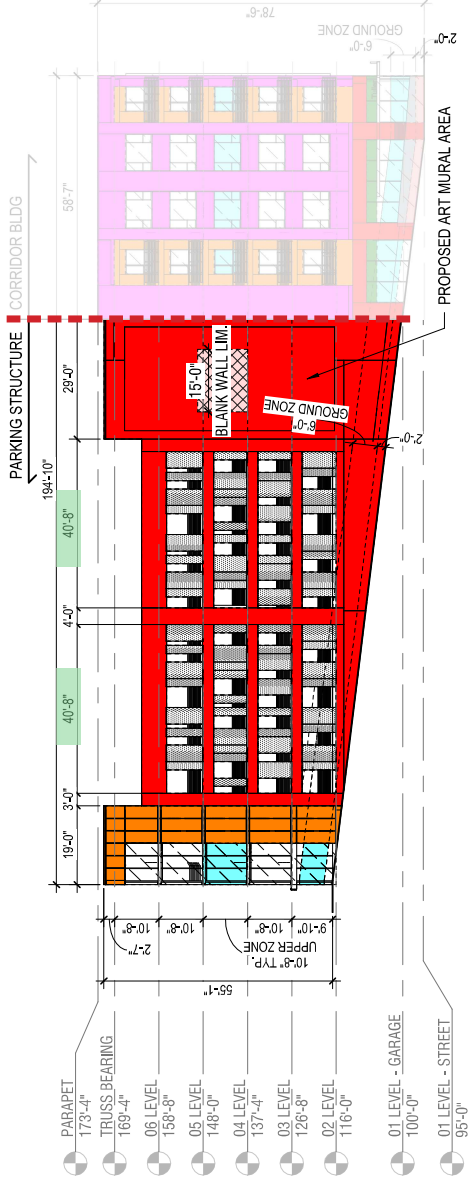


MATERIAL TYPE: NORTH FACADE TOTAL AREA -EXCLUDES OPEN AREA - PARKING GARAGE) 11,297 SF PRIMARY GLAZING (WINDOWS & DOORS) 1,927 SF SECONDARY BRICK 4,516 SF SECONDARY MESH SCREENS 1,560 SF SECONDARY MILLENNIUM TILE 1,880 SF SECONDARY METAL/FIBER CEMENT 1,298 SF SECONDARY LOUVERS/GLAZING/METAL 116 SF (TBD PER TENANT REQ. -UPPER PORTION OF GROUND FLOOR STOREFRONTS) PRIMARY MATERIAL TOTAL: REQUIRED: 80% PROVIDED: 57% (6,443 / 11,297 = .570) SECONDARY MATERIAL TOTAL: REQUIRED: <20% PROVIDED: 43% (4,854 / 11,297 = .429)	FACADE REQUIREMENTS: STREET FACADE: YES PRINCIPAL ENTRANCE: NO NUMBER OF ENTRANCES: REQUIRED: NO - NOT A PRIMARY STREET FACADE REQUIRED: 194'-10" PROVIDED: 0 GROUND STORY: HEIGHT: (VARIES) 9'-10" (EAST) 21'-0" (WEST) 3,575 SF GROUND STORY TOTAL AREA: 353 SF CORRIDOR; 824 SF PARKING 272 SF CORRIDOR; 134 SF PARKING 60% CORRIDOR; 65% PARKING 77% CORRIDOR; 16% PARKING TRANSPARENCY PROVIDED:	UPPER STORY: HEIGHT: 10'-8" UPPER STORY TOTAL AREA: 2,078 SF (EA. FLOOR 02-06) UPPER STORY TRANSPARENCY: UPPER STORY TRANSPARENCY ZONE: 625 SF CORRIDOR (FLOOR TO FLOOR 02-06) UPPER STORY GLAZING AREA: 195 SF CORRIDOR (FLOOR TO FLOOR 02-06) TRANSPARENCY REQUIRED: 30% CORRIDOR; PARKING=CAR SCREENING TRANSPARENCY PROVIDED: 31% CORRIDOR; PARKING=PERFORATED MESH PANELS BLANK WALL LIMITATIONS: REQUIRED: YES PROVIDED: NO VERTICAL FACADE DIVISIONS: REQUIRED: YES (NO GREATER THAN 30'-0" INCREMENTS) PROVIDED: YES; TWO GREATER THAN 30' HORIZONTAL FACADE DIVISIONS: REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY) PROVIDED: YES; MATERIAL TYPE CHANGE
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Potential Waiver Request

MATERIALS LEGEND

PRIMARY MATERIALS	
	BRICK
	GLAZING
	TRANSPARENCY ZONE GLAZING
	OPEN - GARAGE
SECONDARY MATERIALS	
	METAL / FIBER CEMENT
	FUTURE LOUVERS / METAL
	MILLENNIUM TILE
	MESH PANELS



WAIVER SUMMARY - Garage (Parking Structure Type)

- Waiver Requests highlighted in green.

1) A2. Buildable Area:

Maximum Building Length is 300 ft.

- The actual Building Length is 330'-2".

Maximum Impervious Coverage allowable is 80%.

- The actual impervious coverage is 95% on this parcel when combining with the Liner.

2) A3. Parking Location

- The entry for parking is located at Longshore Street and Mooney street, which considered the front facades of the garage. This is due to no street access is available to rear facade, and there is extreme elevation difference in grade along side facade on north.

3) D1. Street Facade Transparency

- Blank Wall Limitations exceed the requirements on the North façade. This is driven by a centralized vertical transportation core along this elevation. An Art Mural is proposed for this area.
- The requirement of 65% transparency (Parking) is not met on the North façade ground story, with a transparency of 18% provided. This is due to the extreme elevation difference in grade between East and West on this site.

4) D3. Building Entrance

- The number of entrances provided is less than the requirements on East façade. The East façade consists of the parking garage with a centralized vehicle entry/exit and a pedestrian entrance to the vertical circulation tower on the North corner.

5) D4. Facade Divisions

- Requirement exceeded at the South and North elevations as the division is greater than 30'-0" at some specific structure bays are larger.

6) D5. Facade Materials

- Secondary materials exceed requirements on all facades. Composite metal panels, Garage wire mesh screen and fiber cement are used, along with brick and glass, to add visual interest, material contrast and rhythm to the building. They are also used to incorporate a visually cue to the stair tower at the NE corner.



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Residential Liner+Garage - Mooney Southeast View | Bridge North Development



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Residential Liner+Garage - Tuller Northwest View | Bridge North Development



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Residential Liner+Garage - Longshore View | Bridge North Development



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Residential Liner+Garage – Longshore Southwest View | Bridge North Development