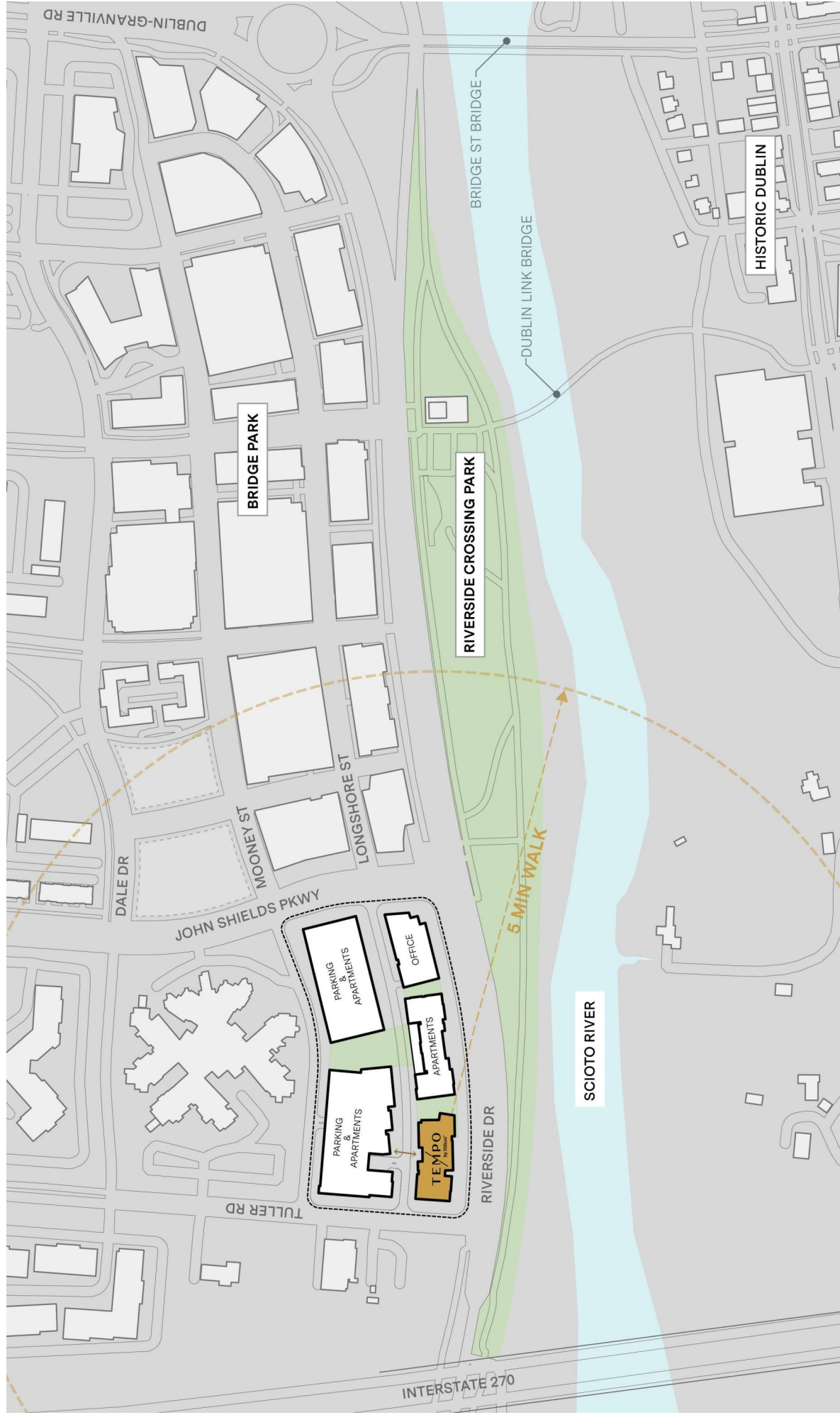
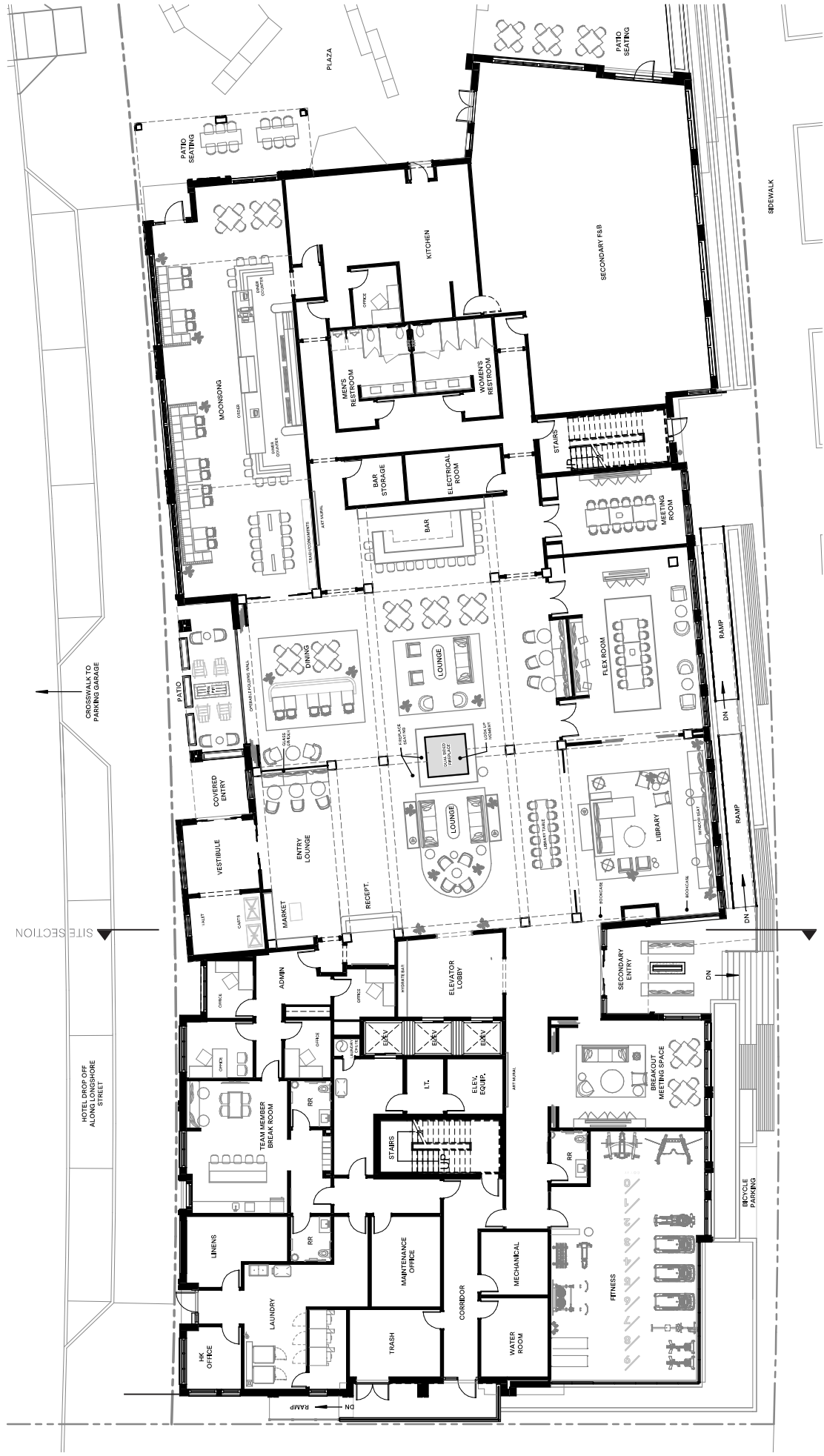






SITE SECTION

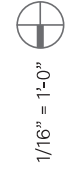
HOTEL DROP OFF
ALONG LONGSHORE
STREET

CROSSWALK TO
PARKING GARAGE

PLAZA

SEWALK

BICYCLE
PARKING



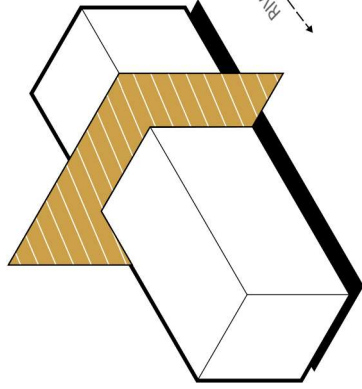
SITE SECTION



1/16" = 1'-0"

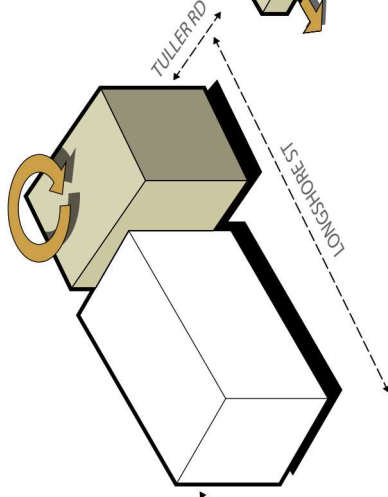


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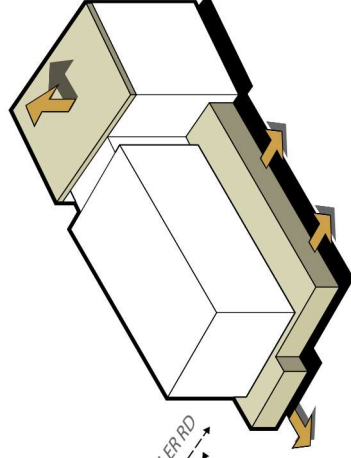
1. Split

A defining split in the building refines the entry experience, core location, and creates visual connection from Longshore to Riverside.



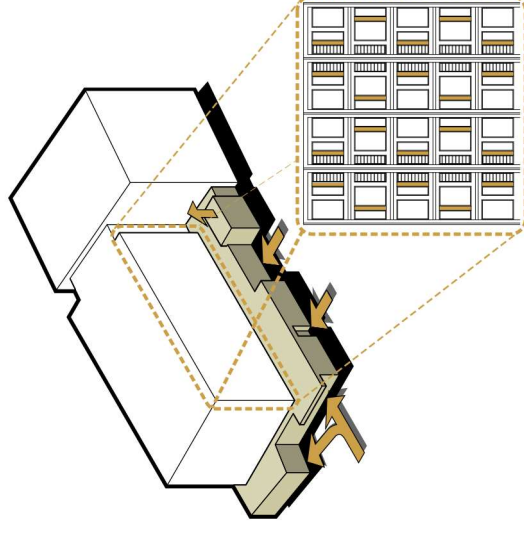
1. Rotate

Northwest corner of the building turns toward Tuller activating the prominent corner.



1. Pull

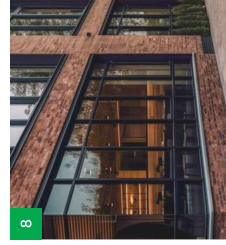
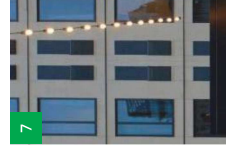
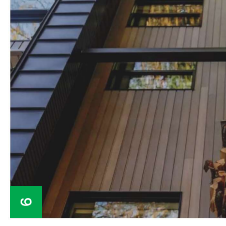
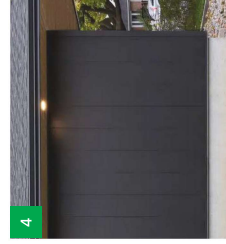
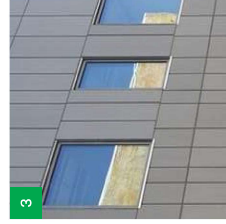
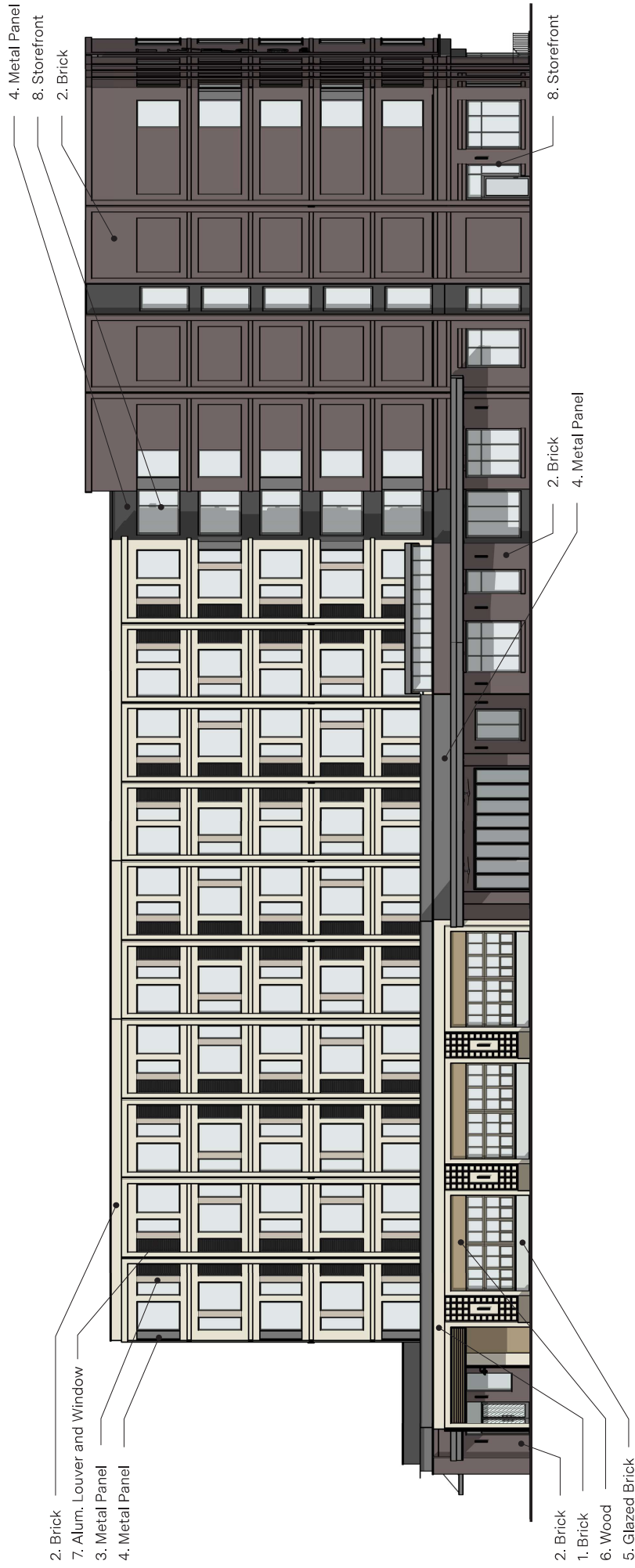
The north end pushes skyward for additional prominence and conceals rooftop equipment. The entry and restaurant spaces scale down toward the street and park.

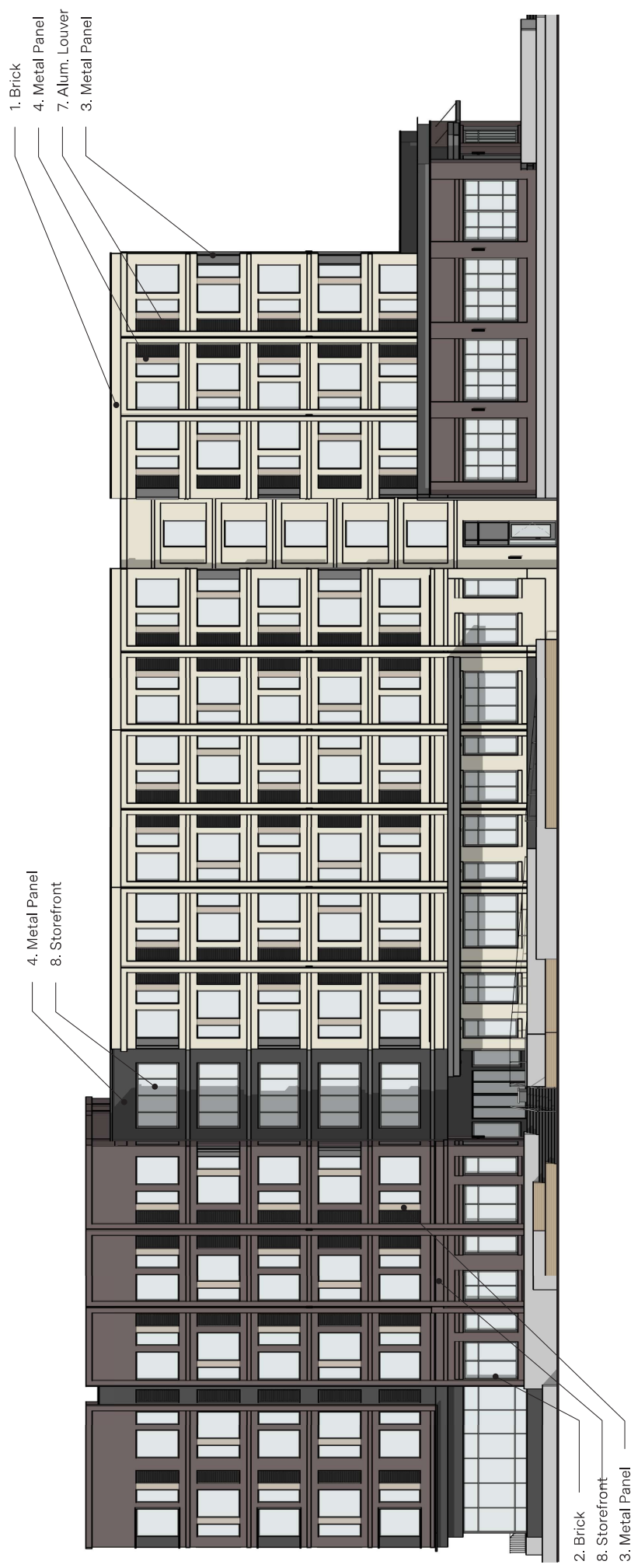


1. Detail

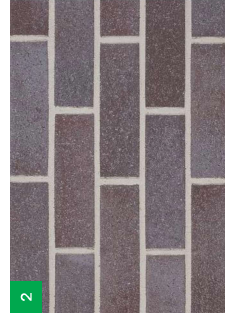
The window units create a rhythm to camouflage the stacked louvers.



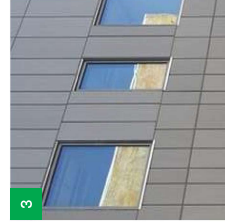




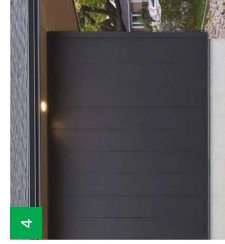
1. Brick
- Buff Range



2. Brick
- Dark Brown to Black Range



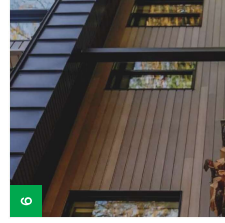
3. Metal Panel
- Sandstone



4. Metal Panel
- Midnight Bronze



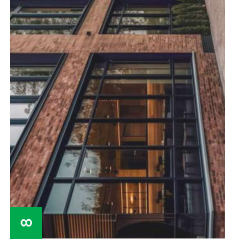
5. Glazed Brick
- Olive Green



6. Wood-Look Metal
- Walnut

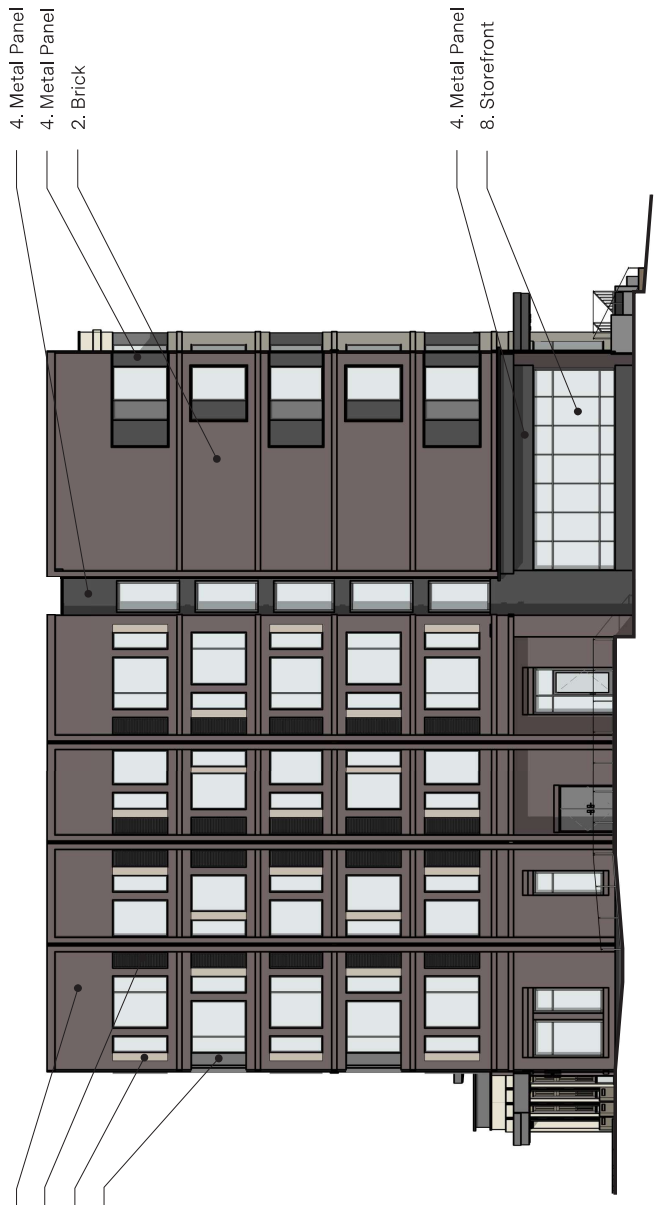


7. Alum. Louver
- Black

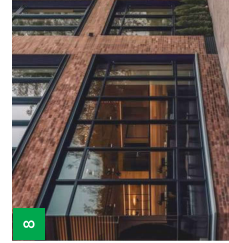
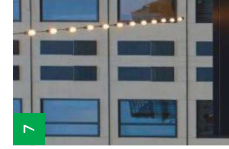
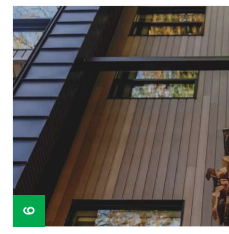
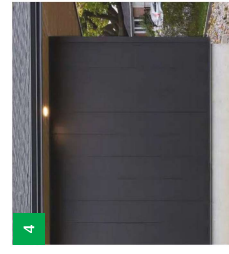
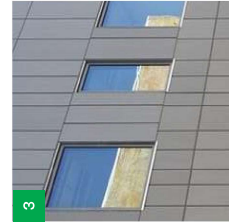
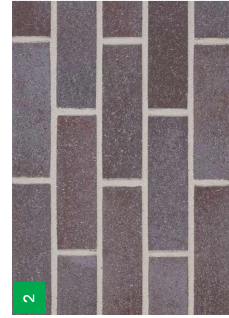


8. Storefront
- Black

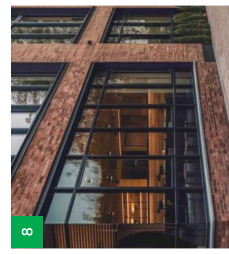
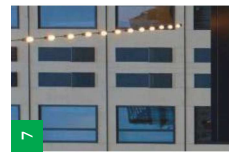
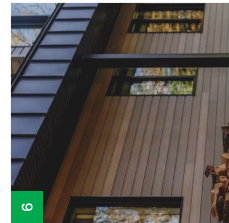
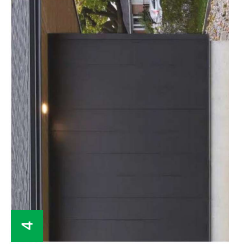
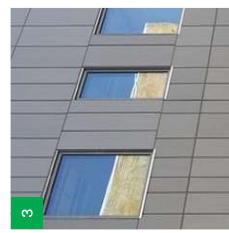
2. Brick
 7. Alum. Louver and Window
 3. Metal Panel
 4. Metal Panel

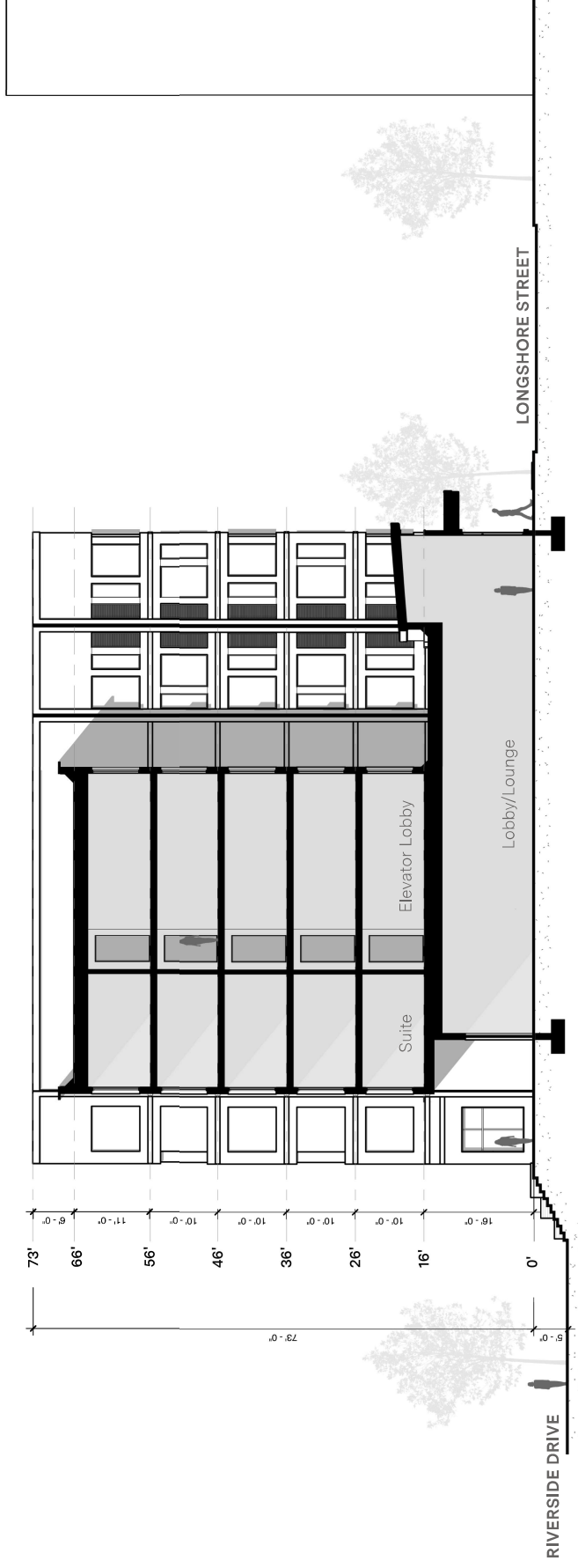


4. Metal Panel
 8. Storefront



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A1. Street Frontage

Multiple Principal Buildings:	Allowable: Permitted	Actual: Complies
Front Property Line Coverage:	75% minimum	Complies; 85%
Occupation of Corner:	Required	Complies
Front RBZ:	0ft - 15ft	Complies
Corner Side RBZ:	0ft - 15ft	Complies
RBZ Treatment:	Landscape, Patio, or Streetscape; along West Dublin- Granville Road, Streetscape required	Complies
Right-of-Way Encroachment:	0ft - 15ft	Complies

A2. Buildable Area

Minimum Side Yard Setback:	Allowable: 5ft	Actual: Complies; 30'-0"
Minimum Rear Yard Setback:	5ft	N/A
Minimum Lot Width:	50ft	Complies; 253'-0"
Maximum Lot Width:	None	N/A
Maximum Impervious Coverage:	80%	87%
Additional Semi-Pervious Coverage:	10%	N/A

A3. Parking Location & Loading

Parking Location:	Allowable: Rear yard; within building	Actual: Within Building
Loading Facility Location:	Rear & side Facade	Side Facade
Entry for Parking within Building:	Rear & side facade; corner side facade on non-principal frontage streets	Rear & side facades
Access:	Refer to 153.062(N)(1)(c)	Complies

Potential Waiver Request

B. Height

Minimum Height:	Allowable: 3 stories	Actual: Complies
Maximum Height:	6 stories	6 Total Stories
Ground Stories - Minimum Height:	12ft	Complies; 16ft
Ground Stories - Maximum Height:	16ft	16ft
Stories - Minimum Height:	10ft	Complies; 10ft
Stories - Maximum Height:	14ft	Complies; 10ft

C. Uses & Occupancy Requirements

Ground Story:	Allowable: Residential and general office uses are prohibited in shopping corridors; Podium parking structures are conditional uses in accordance with 153.059(C)(3)(g)	Actual: N/A
Upper Story:	No additional requirements	Complies
Parking within Building:	Permitted in the rear of the first 3 floors and fully in any basement(s)	N/A
Occupied Space:	Minimum 30ft depth facing street(s)	Complies

D1. Street Facade Transparency

Ground Story Street Facing Transparency:	Allowable: Minimum 60% required	Actual: Ref. Elevations
Transparency:	Minimum 30%	Ref. Elevations
Blank Wall Limitations	Required	Ref. Elevations

D2. Non-Street Facade Transparency

Transparency:	Allowable: Minimum 15%	Actual: Ref. Elevations
Blank Wall Limitations:	Required	Ref. Elevations

153.062 (D-N) General Design Requirements

Actual: (4)5. Vents located at the exterior facade for hotel room mechanical systems.

D3. Building Entrance

Principal Entrance Location:	Allowable: Primary street facade of building	Actual: Complies
Street Facades - Number of Entrances:	1 per 75ft of facade minimum	Ref. Elevations
Parking Lot Facades - Number of Entrances	1 per 100ft of facade minimum	N/A
Mid-Building Pedestrianway:	In shopping corridors, required for buildings greater than 250ft in length	N/A

D4. Facade Divisions

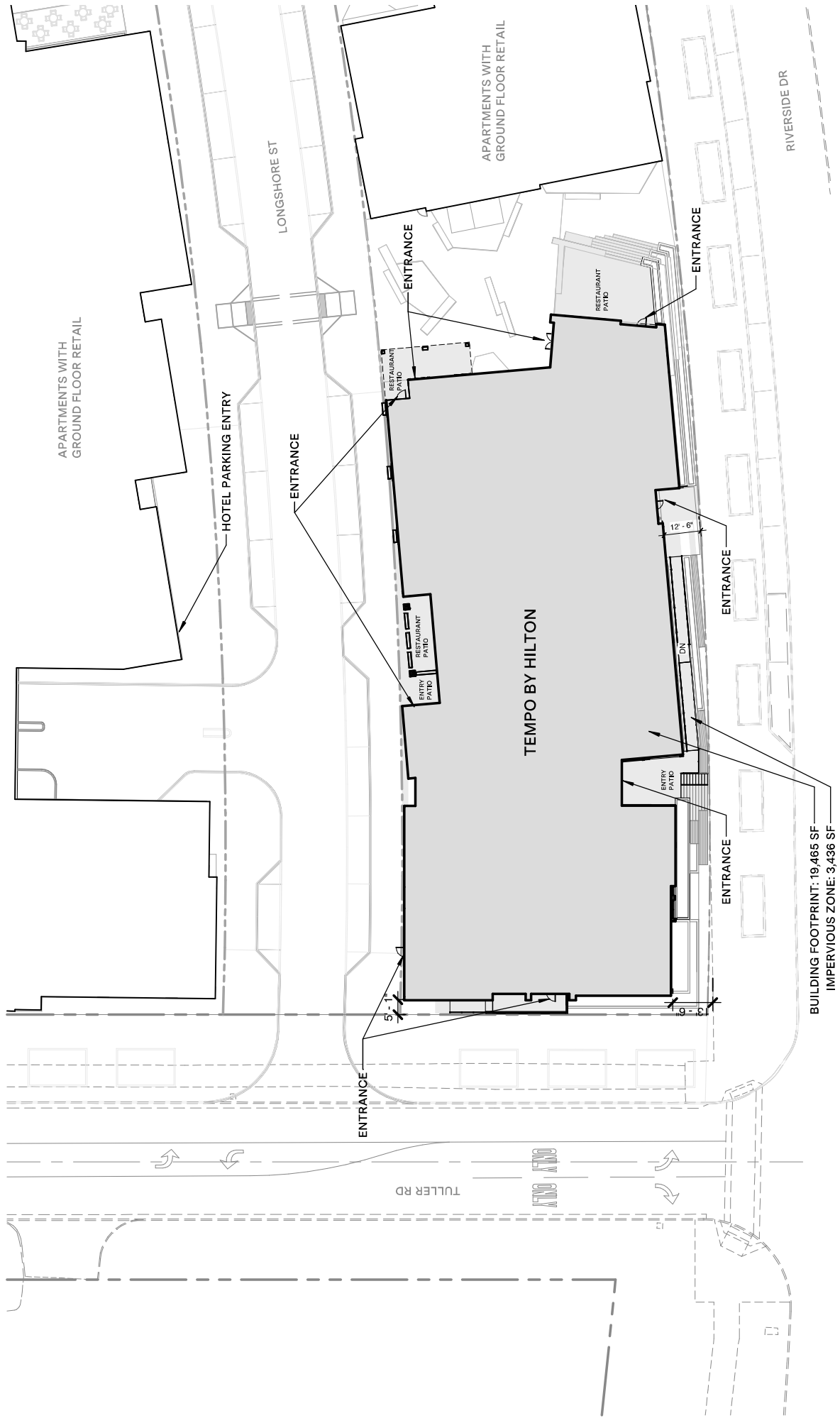
Vertical Increments:	Allowable: No greater than 45ft	Actual: Ref. Elevations
Horizontal Facade Divisions:	On buildings 3 stories or taller, required within 3ft of the top of the ground story. Required at any building step-back	Complies - Ref. Elevations
Required Change in Roof Plane or Type:	None	N/A

D5. Facade Materials

Permitted Primary Materials:	Allowable: Stone, Brick, Glass	Actual: Ref. Elevations
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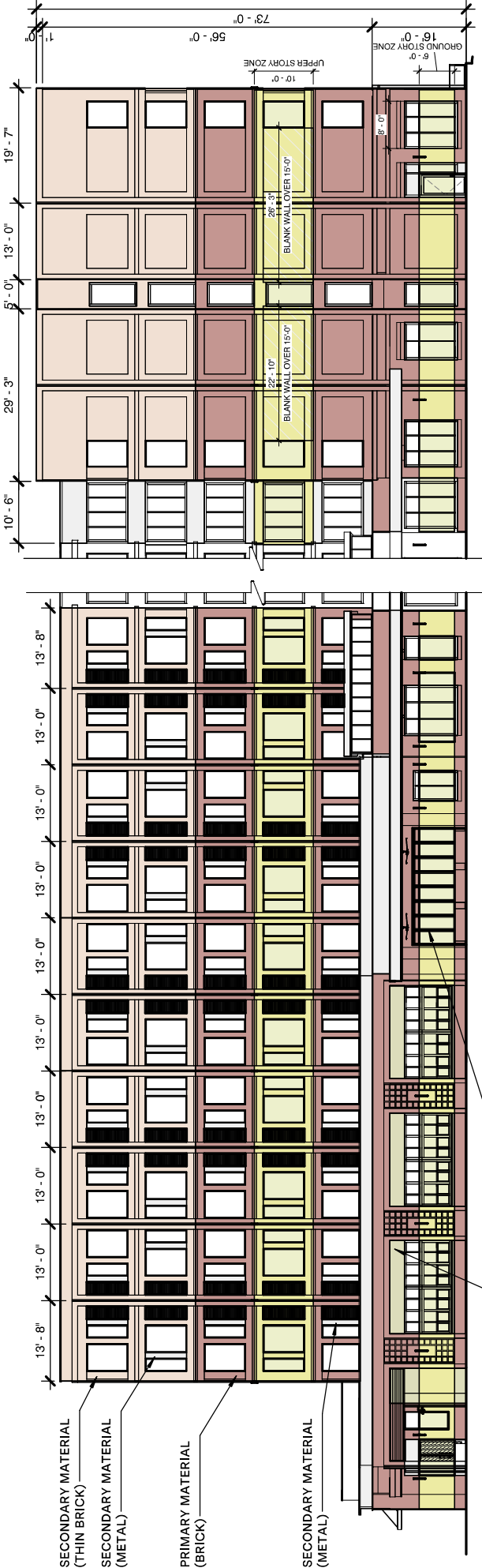
D6. Roof Types

Permitted Types:	Allowable: Parapet, pitched roof, flat roof; other types may be permitted with approval	Actual: Ref. Elevations
Tower:	Permitted of facades only at terminal vistas, corners at two principal frontage streets, and/or adjacent to an open space type.	Ref. Elevations



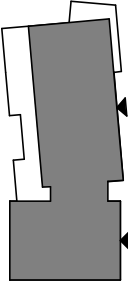
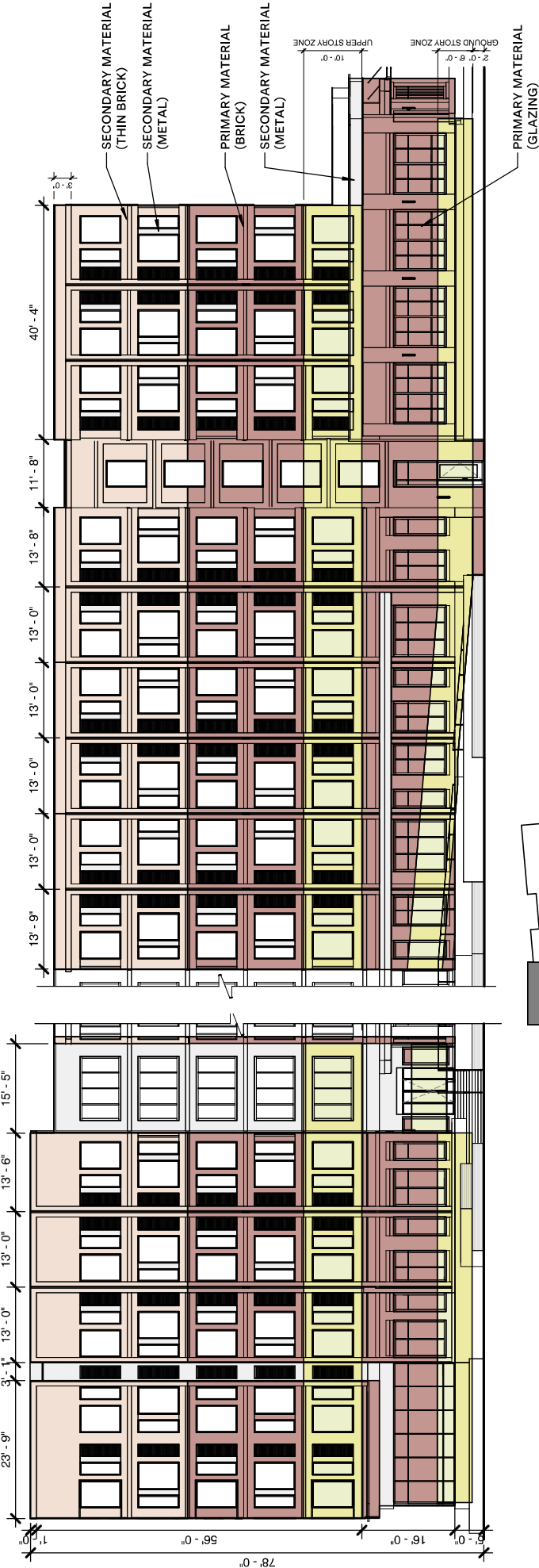
EAST ELEVATION FACADE REQUIREMENTS

TRANSPARENCY		NUMBER OF ENTRANCES		FACADE MATERIALS AND AREAS	
GROUND LEVEL: HEIGHT: BETWEEN 2'-8" ABOVE SIDEWALK ZONE AREA: 1365 SF GLAZING AREA: 832 SF REQUIRED: 60% min PROVIDED: 61%		FACADE LENGTH: 217'-0" / 75 = 3 REQUIRED: 3 (1 PER 75) PROVIDED: 3		TOTAL FACADE AREA MINUS WINDOWS AND DOORS: PRIMARY: FULL DEPTH BRICK 5,375 SF GLAZING (STOREFRONT) 183 SF	
UPPER LEVEL: HEIGHT: 10'-0" ZONE AREA: 2085 SF GLAZING AREA: 643 SF REQUIRED: 30% min PROVIDED: 31%		<u>VERTICAL FACADE DIVISIONS</u> REQUIRED: YES (NO GREATER THAN 45") PROVIDED: YES (PLASTER DETAILING)		SECONDARY: THIN BRICK 3,228 SF LOUVERS 785 SF METAL PANEL 1071 SF WOOD PANEL 275 SF	
<u>BLANK WALL LIMITATION</u> REQUIRED: YES PROVIDED: ~20% (NO MORE THAN 30% OF BUILDING FACADE GREATER THAN 15'-0")		<u>HORIZONTAL FACADE DIVISIONS</u> REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY) PROVIDED: YES (WITH MATERIAL CHANGE AND HORIZONTAL ORNAMENTATION.)		PRIMARY MATERIALS REQUIRED: 80% PROVIDED: 80% (81% WITH HALF BRICK VENEER)	
				SECONDARY MATERIALS REQUIRED: <20% PROVIDED: 50% (19% WITHOUT HALF BRICK VENEER)	
				STREET FACADE: YES	
				PRINCIPLE ENTRANCE: YES	
				Potential Waiver Request	



WEST ELEVATION FACADE REQUIREMENTS

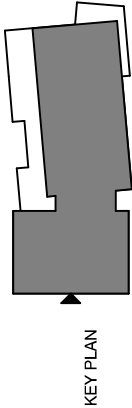
TRANSPARENCY	NUMBER OF ENTRANCES	FACADE MATERIALS AND AREAS
GROUND LEVEL: HEIGHT: BETWEEN 2'-8" ABOVE SIDEWALK ZONE AREA: 1,340 SF GLAZING AREA: 491 SF REQUIRED: 60% min PROVIDED: 37%	FACADE LENGTH: 225'-0" / 75 = 3 REQUIRED: 3 (1 PER 75') 3 VERTICAL FACADE DIVISIONS REQUIRED: YES (NO GREATER THAN 45') PROVIDED: YES (WITH RECESSED AREAS AND PILASTER DETAILING) HORIZONTAL FACADE DIVISIONS REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY) PROVIDED: YES (WITH MATERIAL CHANGE AND HORIZONTAL ORNAMENTATION.)	TOTAL FACADE AREA MINUS WINDOWS AND DOORS: 11,513 SF PRIMARY: FULL DEPTH BRICK 5,058 SF GLAZING (STOREFRONT) 1,466 SF SECONDARY: THIN BRICK 2,823 SF SECONDARY: LOUVERS 1061 SF SECONDARY: METAL PANEL 1,105 SF PRIMARY MATERIALS REQUIRED: 80% PROVIDED: 57% (81% WITH HALF BRICK VENEER) SECONDARY MATERIALS REQUIRED: <20% PROVIDED: 43% (19% WITH HALF BRICK VENEER) STREET FACADE: YES PRINCIPLE ENTRANCE: YES Potential Waiver Request



KEY PLAN

NORTH ELEVATION FACADE REQUIREMENTS

TRANSPARENCY	NUMBER OF ENTRANCES	FACADE MATERIALS AND AREAS
GROUND LEVEL: HEIGHT: BETWEEN 2'-8" ABOVE SIDEWALK ZONE AREA: 547 SF GLAZING AREA: 200 SF REQUIRED: 60% min PROVIDED: 37%	FACADE LENGTH: 90'-0" / 75 = 2 REQUIRED: 2 (1 PER 75) PROVIDED: 2 VERTICAL FACADE DIVISIONS REQUIRED: YES (NO GREATER THAN 45") PROVIDED: YES (PIASTER DETAILING) HORIZONTAL FACADE DIVISIONS REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY) PROVIDED: YES (WITH MATERIAL CHANGE AND HORIZONTAL ORNAMENTATION)	TOTAL FACADE AREA MINUS WINDOWS AND DOORS: PRIMARY: FULL DEPTH BRICK 5,524 SF PRIMARY: GLAZING (STOREFRONT) 2,348 SF 414 SF SECONDARY: THIN BRICK 1,669 SF SECONDARY: LOUVERS 303 SF SECONDARY: METAL PANEL 790 SF PRIMARY MATERIALS REQUIRED: 80% PROVIDED: 81% WITH HALF BRICK VENEER SECONDARY MATERIALS REQUIRED: <20% PROVIDED: 50% (19% WITHOUT HALF BRICK VENEER) STREET FACADE: YES PRINCIPLE ENTRANCE: NO Potential Waiver Request
UPPER LEVEL: HEIGHT: 10'-0" ZONE AREA: 923 SF GLAZING AREA: 283 SF REQUIRED: 30% min PROVIDED: 31% BLANK WALL LIMITATION REQUIRED: YES PROVIDED: 25% (NO MORE THAN 30% OF BUILDING FACADE GREATER THAN 15'-0")		



WAIVER SUMMARY

– Waiver Requests highlighted in green.

1) 153.062 (N (4)5.) General Design Requirements:

Vents, air conditioners and other utility elements shall not be part of any street-facing building façade, unless otherwise permitted for individual building types.

Conforming to hotel standards, louvers for VTAC air conditioning units are installed on the exterior façade. The design of the façade compliments the use of these louvers, intended to be similar in size and material to window units.

2) A2. Buildable Area:

Maximum Impervious Coverage allowable is 80%.

The actual impervious coverage is 87% not including adjacent pocket park.

3) D1. Street Façade Transparency

3a) Blank Wall limitations:

The south elevation (non street facing façade) exceeds the blank wall requirements because of hotel room brand standards for room layout and window placement. This only occurs at upper levels, which are set back from the ground floor.

3b) Transparency:

The north and west elevations are short of the 60% requirement for ground level transparency. Calculation requirements require transparency 2'-8" above the sidewalk, but the first story on these two facades is 5' above the sidewalk due to the sites grading conditions.

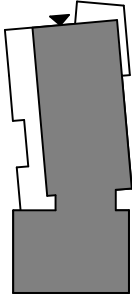
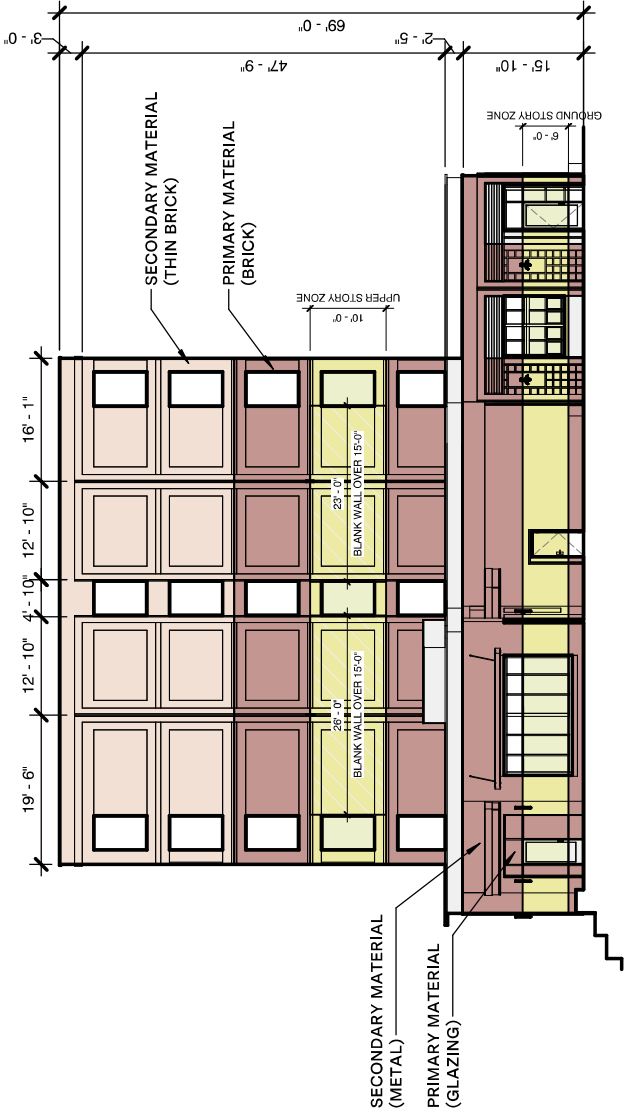
The south elevation (non street facing façade) is just short of the 15% requirement for transparency at upper levels only. The ground floor exceeds this requirement.

4) D5. Façade Materials

On the east and west elevations, or street facing facades, primary materials (full depth brick and glass) are under the permitted 80%. However, with the use of thin brick, the total square footage is above the 80% threshold. Details around openings are intended to match that of a full depth brick.

SOUTH ELEVATION FACADE REQUIREMENTS

TRANSPARENCY	NUMBER OF ENTRANCES	FACADE MATERIALS AND AREAS
GROUND LEVEL: HEIGHT: BETWEEN 2'-8" ABOVE SIDEWALK ZONE AREA: 580 SF GLAZING AREA: 222 SF REQUIRED: 15% min PROVIDED: 38%	FACADE LENGTH: 96'-0" / 75 = 2 REQUIRED: 2 (1 PER 75') PROVIDED: 3 VERTICAL FACADE DIVISIONS REQUIRED: YES (NO GREATER THAN 45') PROVIDED: YES (PILASTER DETAILING) HORIZONTAL FACADE DIVISIONS REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY) PROVIDED: YES (WITH MATERIAL CHANGE AND HORIZONTAL ORNAMENTATION)	TOTAL FACADE AREA MINUS WINDOWS AND DOORS: PRIMARY: FULL DEPTH BRICK 4,280 SF PRIMARY: GLAZING (STOREFRONT) 2,632 SF 60 SF SECONDARY: THIN BRICK 1,331 SF SECONDARY: LOUVERS 0 SF SECONDARY: METAL PANEL 257 SF PRIMARY MATERIALS REQUIRED: 80% PROVIDED: 64% (94% WITH HALF BRICK VENEER) SECONDARY MATERIALS REQUIRED: <20% PROVIDED: 36% (6% WITHOUT HALF BRICK VENEER) STREET FACADE: NO PRINCIPLE ENTRANCE: NO Potential Waiver Request



KEY PLAN









