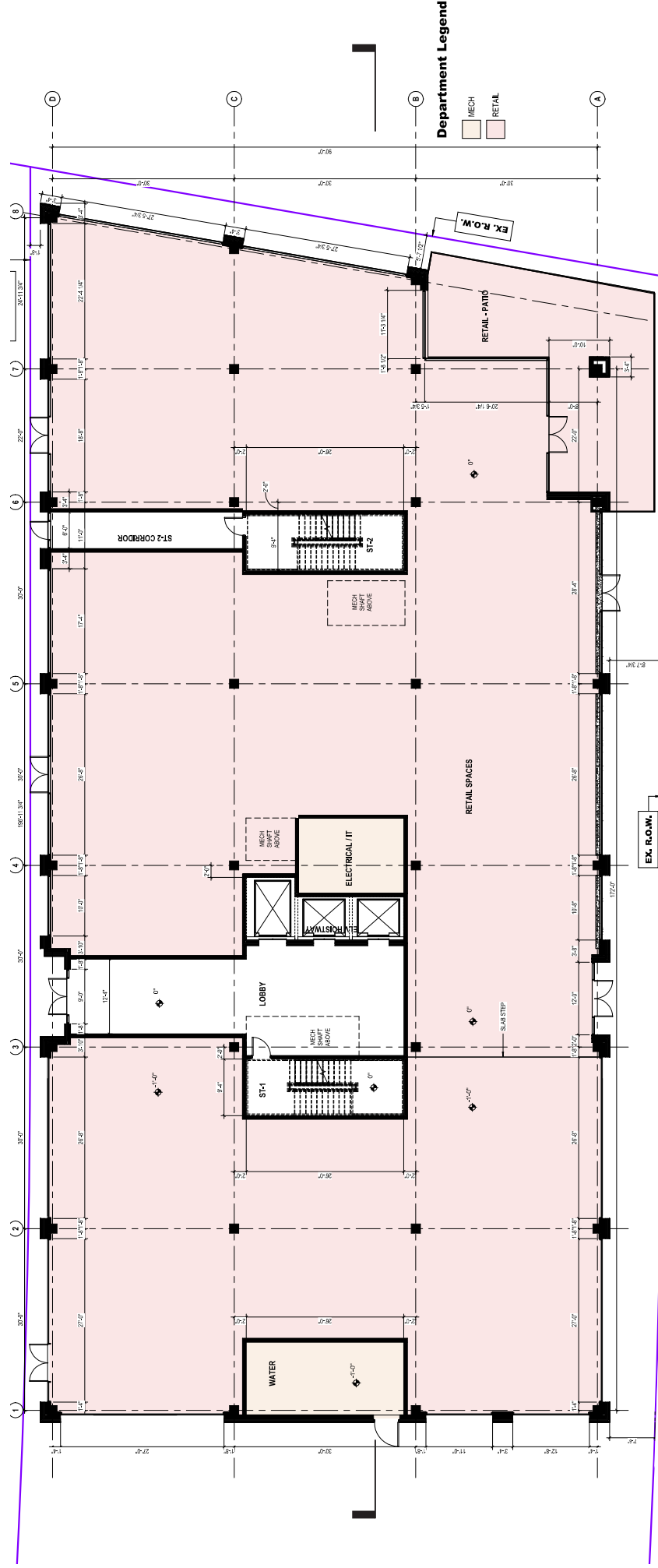
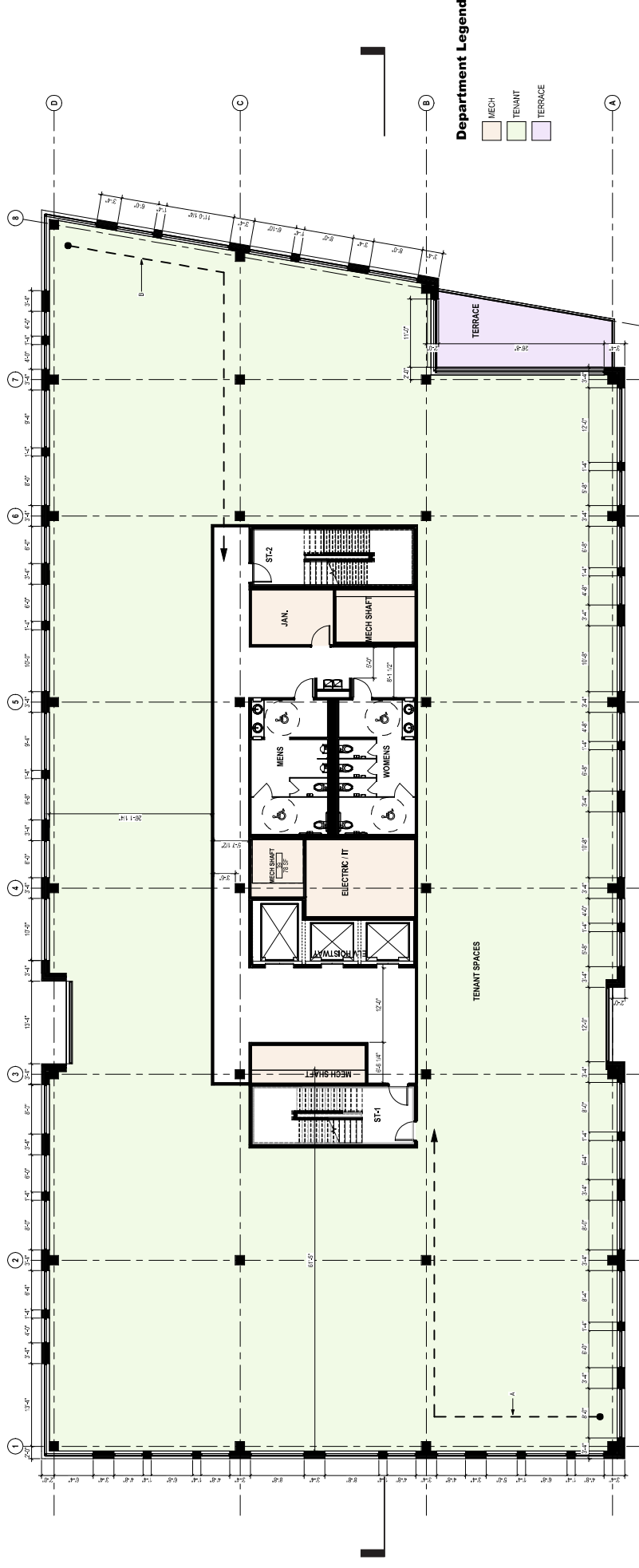




Area:	Gross SF:
Level 1 -Gross	17,508 SF (EXCLUDES PATIO)
-Retail	14,954 SF
-Common	2,554 SF
Level 2 -Office	18,086 SF (EXCLUDES TERRACE)
Level 3 -Office	18,086 SF (EXCLUDES TERRACE)
Level 4 -Office	18,086 SF (EXCLUDES TERRACE)
Level 5 -Office	17,888 SF (EXCLUDES TERRACE)
Total	89,654 SF



Department Legend



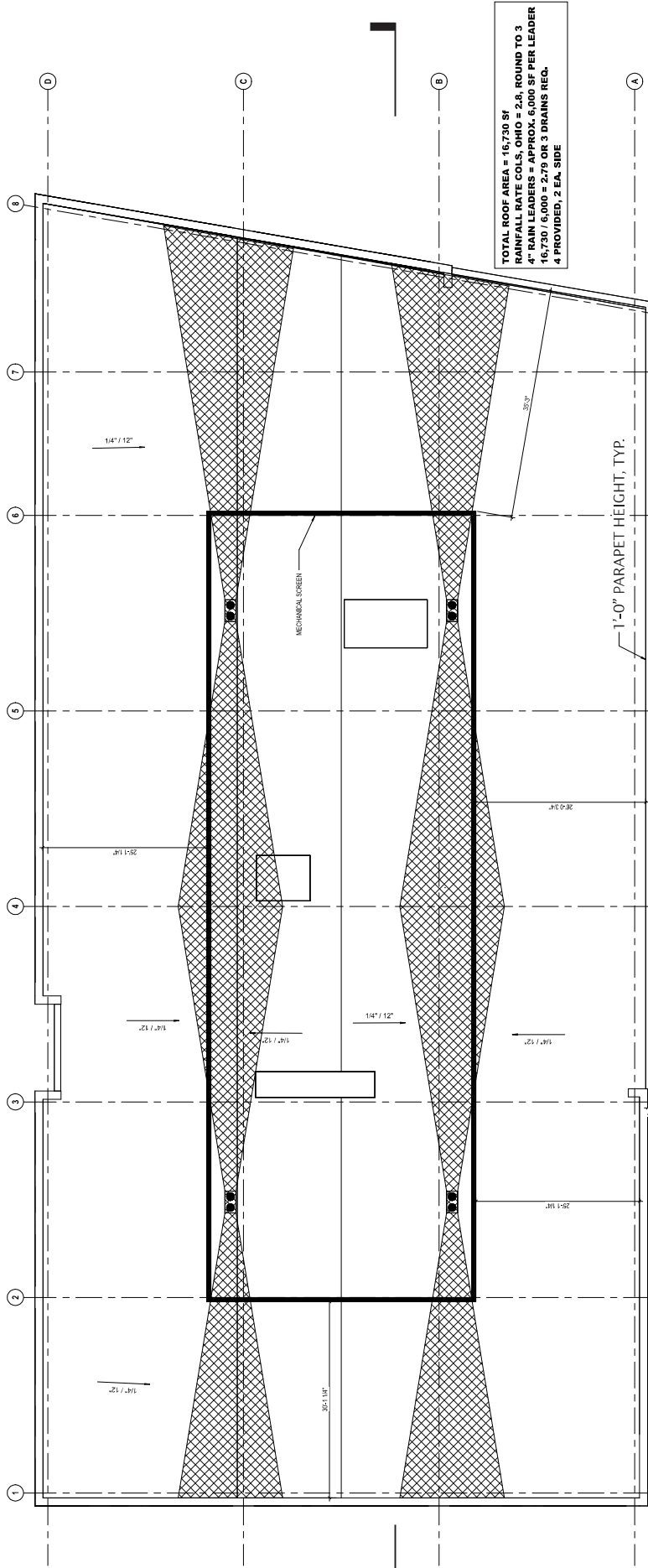
Area: Gross SF.

Level 1 -Gross	17,508 SF (EXCLUDES PATIO)
-Retail	14,954 SF
-Common	2,554 SF
Level 2 -Office	18,086 SF (EXCLUDES TERRACE)
Level 3 -Office	18,086 SF (EXCLUDES TERRACE)
Level 4 -Office	18,086 SF (EXCLUDES TERRACE)
Level 5 -Office	17,888 SF (EXCLUDES TERRACE)
Total	89,654 SF

Office - Level 02-04 Floor Plan | Bridge North Development

1/16"=10'





TOTAL ROOF AREA = 16,730 SF
 RAINFALL RATE COLLS. OHIO = 2.6, ROUND TO 3
 4" RAIN LEADERS = APPROX. 5,000 SF PER LEADER
 16,730 / 5,000 = 2.79 OR 3 DRAINS REQ.
 4 PROVIDED, 2 EA. SIDE

Area:	Gross SF.
Level 1 -Gross	17,508 SF (EXCLUDES PATIO)
-Retail	14,954 SF
-Common	2,554 SF
Level 2 -Office	18,086 SF (EXCLUDES TERRACE)
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Total	89,654 SF



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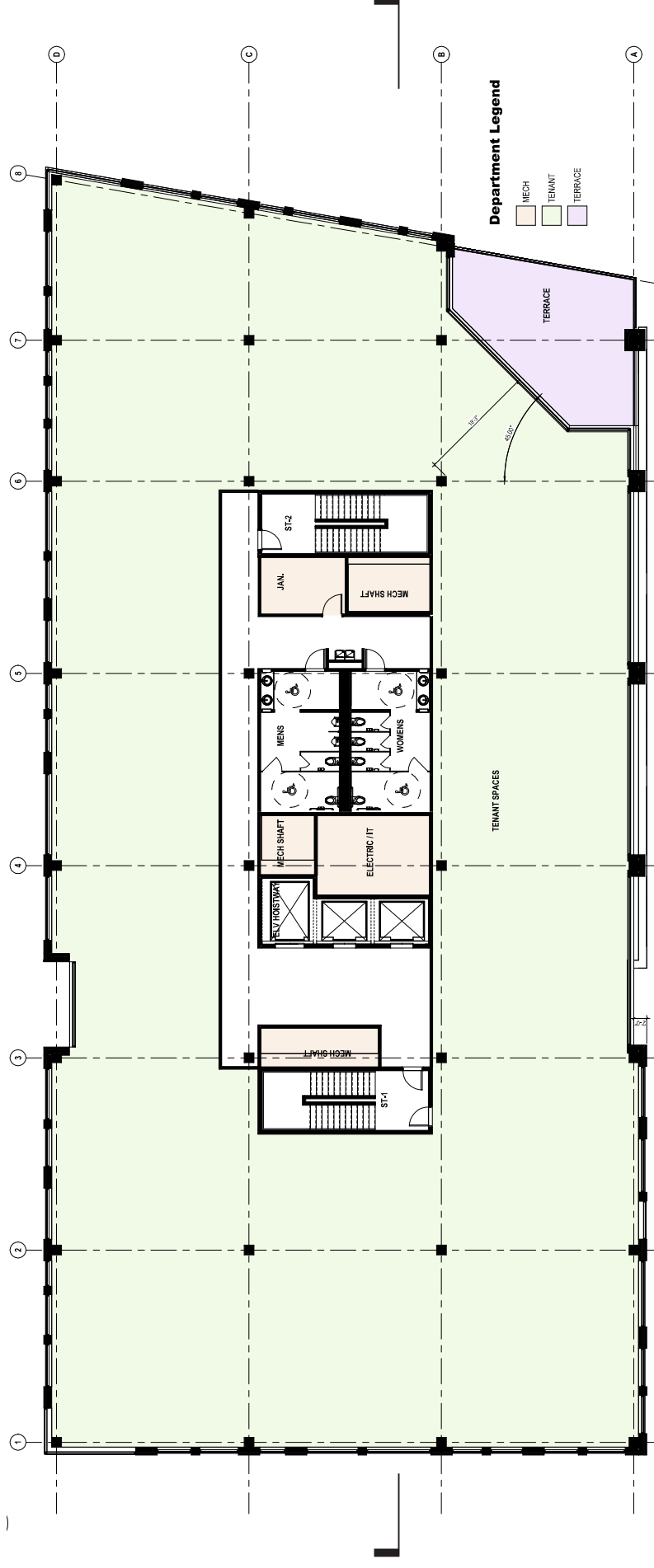
EM|H|T
 Engineering, Management, Information Technology



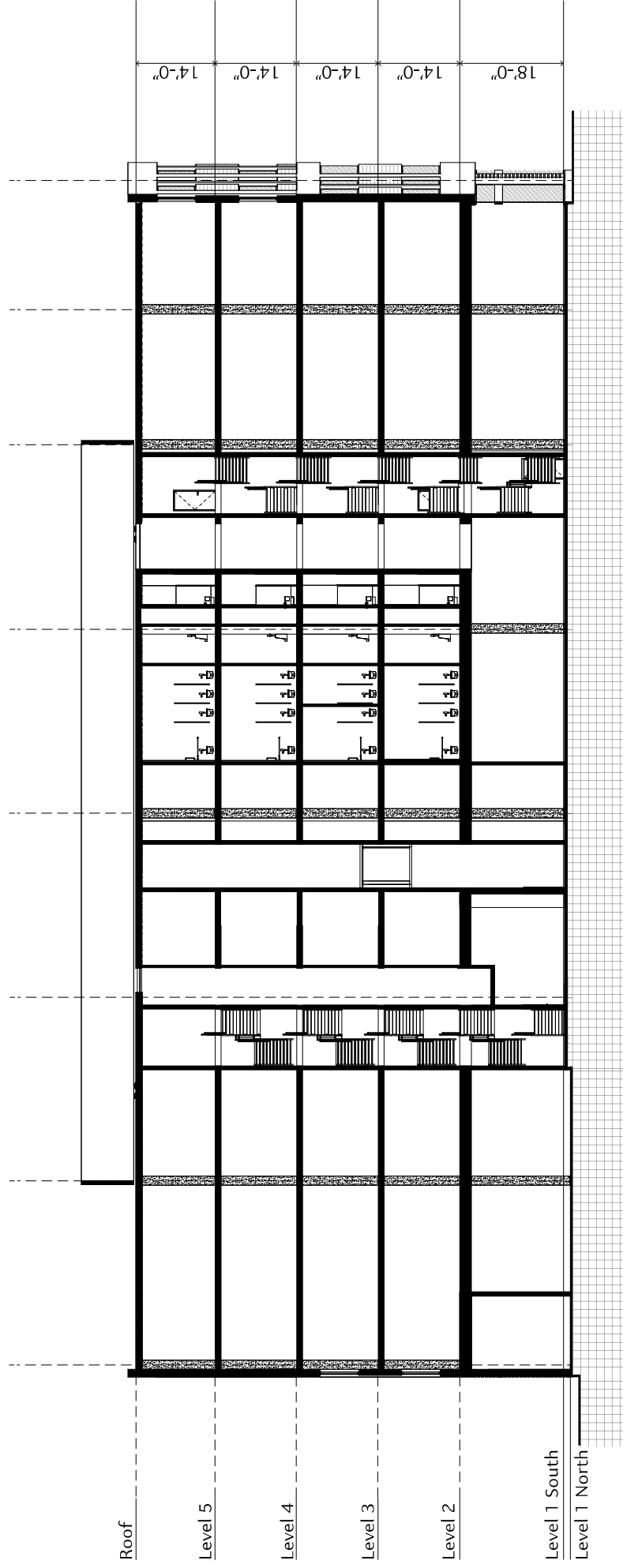
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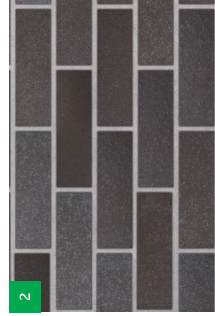
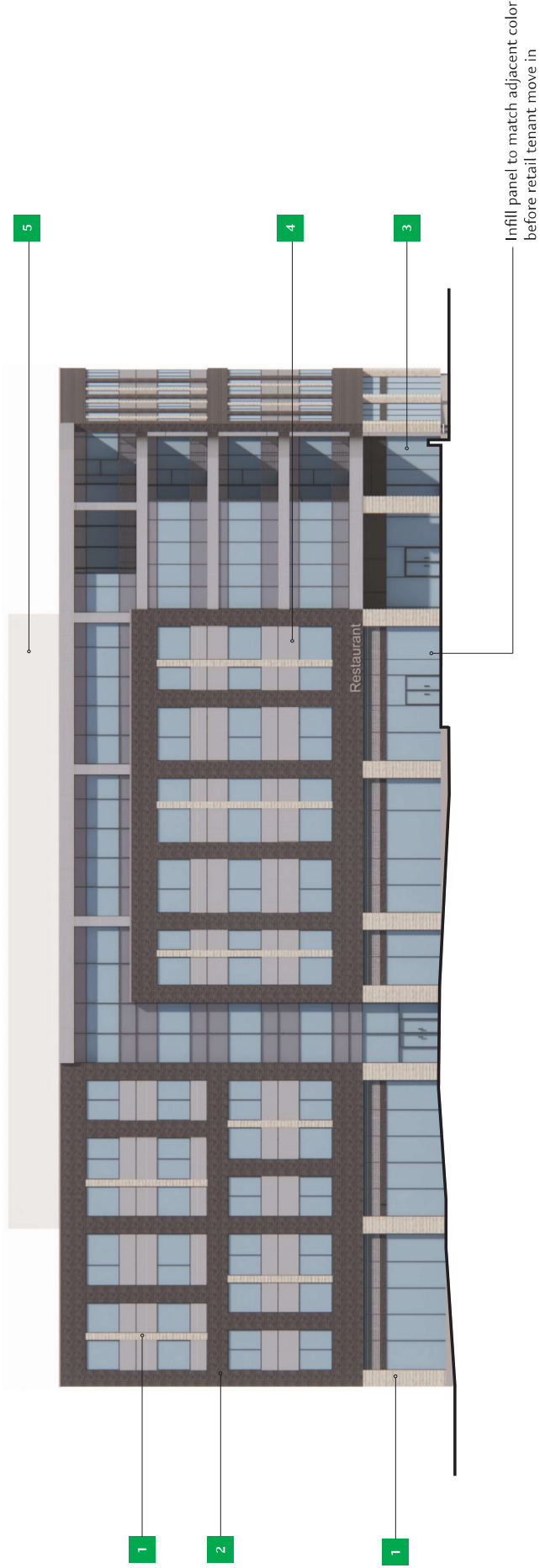
1/16"=10'

Office - Roof Plan | Bridge North Development



Area:	Gross SF.
Level 1 -Cross	17,508 SF (EXCLUDES PATIO)
-Retail	14,954 SF
-Common	2,554 SF
Level 2 -Office	18,086 SF (EXCLUDES TERRACE)
Level 3 -Office	18,086 SF (EXCLUDES TERRACE)
Level 4 -Office	18,086 SF (EXCLUDES TERRACE)
Level 5 -Office	17,888 SF (EXCLUDES TERRACE)
Total	89,654 SF





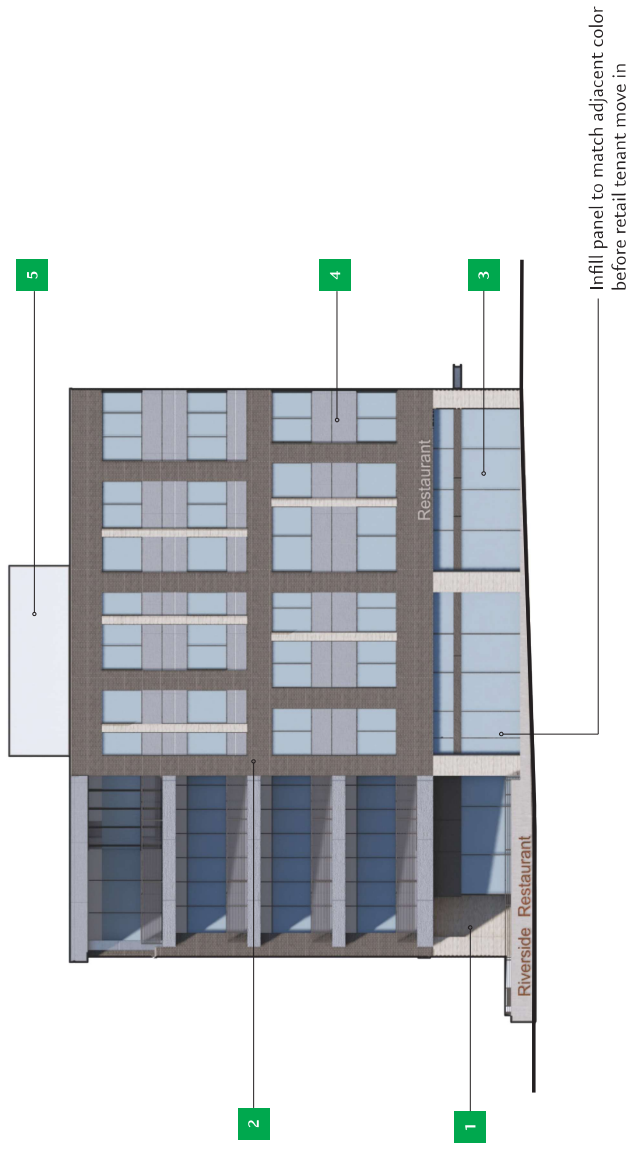
Moody Nolan **archall**

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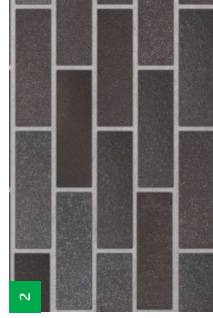
EM|H|T
Engineering | Architecture | Planning | Services



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1. LIGHT BRICK



2. DARK BRICK BLEND



3. STOREFRONT



4. METAL PANEL



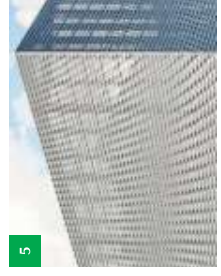
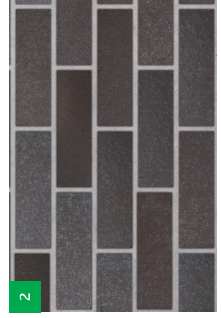
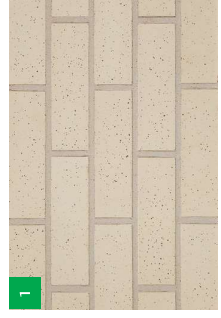
5. METAL ROOF SCREEN



Moody Nolan **archall** **EDGE**



DAIMLER



1. LIGHT BRICK

2. DARK BRICK BLEND

3. STOREFRONT

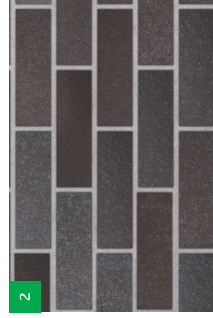
4. METAL PANEL

5. METAL ROOF SCREEN



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1. LIGHT BRICK

2. DARK BRICK BLEND

3. STOREFRONT

4. METAL PANEL

5. METAL ROOF SCREEN



A1. Street Frontage

Multiple Principal Buildings:	<u>Allowable:</u> Permitted	<u>Actual:</u> Complies
Front Property Line Coverage:	Minimum 75%	Complies; 77%
Occupation of Corner:	Required	Complies
Front RBZ:	0-15 ft.	Complies;
Corner Side RBZ:	0-15 ft.	Complies
RBZ Treatment:	Landscape, Patio, or street-scape; along West Dublin-Granville Road, Street-scape Required	Complies
Right-of-Way Encroachment:	Awnings, Canopies, eaves, patios & signs	Complies

A2. Buildable Area

Minimum Side Yard Setback:	<u>Allowable:</u> 5 ft.	<u>Actual:</u> Complies; 5'8"
Minimum Rear Yard Setback:	5 ft.	N/A
Minimum Lot Width:	50 ft.	Complies; 105 ft.
Max. Impervious Coverage:	80%	96.2%
Additional Semi-Impervious Coverage	10%	N/A

A3. Parking Location & Loading

Parking Location:	<u>Allowable:</u> Rear yard; within building	<u>Actual:</u> N/A
Loading Facility Location:	Rear & side Facade	N/A
Entry for Parking within Building:	Rear & side Facade Corner side Facade	N/A
Access:	Refer to T53.062	Complies

B. Height

Minimum Height:	<u>Allowable:</u> 3 stories	<u>Actual:</u> 5 stories
Maximum Height:	6 stories	5 stories
Ground story:	12 ft.-16 ft.	18'
Stories:	10-14 ft.	Complies; 14'

C. Uses & Occupancy Requirements

Ground Story:	<u>Allowable:</u> Residential and general office uses are prohibited	<u>Actual:</u> Complies
Upper Story:	No requirements	Complies
Parking within Building:	Permitted	N/A
Occupied Space:	Min. 30 ft. facing Street	Complies

D1. Street Facade Transparency

Ground Story Street Facing Transparency:	<u>Allowable:</u> Min. 60% required	<u>Actual:</u> Complies
Transparency:	Min. 30%	Complies
Blank Wall Limitation:	Required	Complies

D2. Non-Street Facade Transparency

Transparency:	<u>Allowable:</u> Min. 15%	<u>Actual:</u> Complies
Blank Wall Limitation:	Required	Ref. Elevations

D3. Building Entrance

Principal Entrance Location:	<u>Allowable:</u> Primary Street	<u>Actual:</u> Complies
Street Facades: Number of Entrances:	1 per 75'	Complies
Parking Lot Facades:	1 per 100'	N/A
Mid-Building Pedestrianway:	In shopping corridors; Required for building greater than 250' in length	N/A

D4. Facade Divisions

Vertical Increments:	<u>Allowable:</u> No greater than 45'	<u>Actual:</u> Complies
Horizontal Facade Division:	On building 3 stories or taller, required with 3' of top of the ground story Required at any building step-back.	Complies
Required Change in Roof: Plane or Type	None;	N/A

D5. Facade Materials

Permitted Primary Materials:	<u>Allowable:</u> Stone, Brick, Glass	<u>Actual:</u> Ref. Elevations
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D6. Roof Types

Permitted Types:	<u>Allowable:</u> Parapet, Pitched roof, flat roof, other types may be permitted with approval	<u>Actual:</u> Complies
Tower:	Permitted on facades only at terminal vistas, corners at two principal frontage streets	Complies

Potential Waiver Request



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Engineering, Management, Information Technology

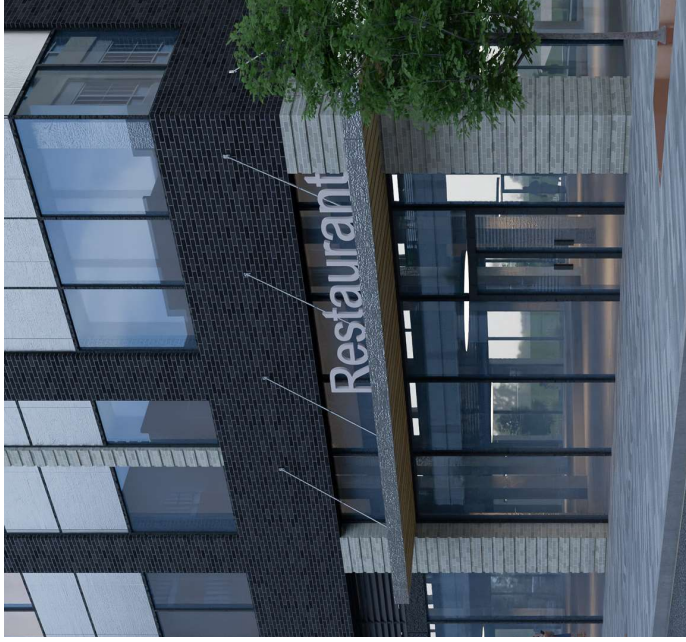


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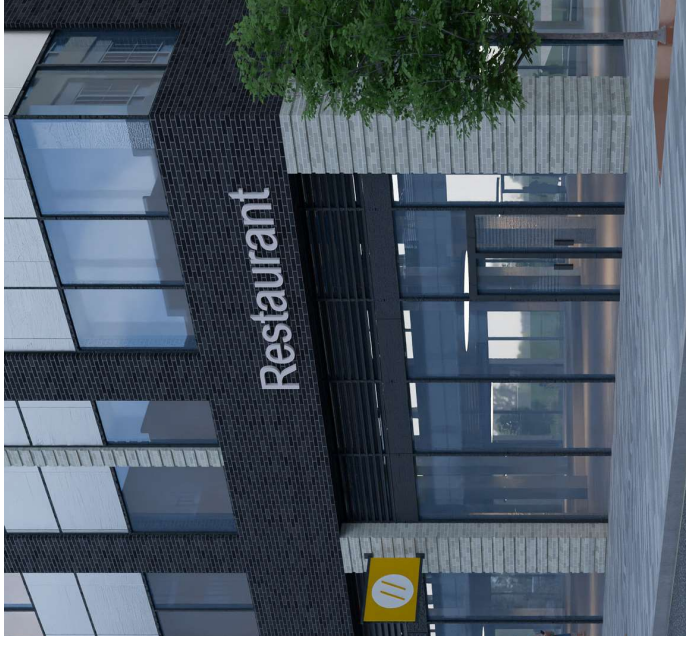
Office - BSD Zoning Criteria - Notes | Bridge North Development



1. Tellis



2. Canopy



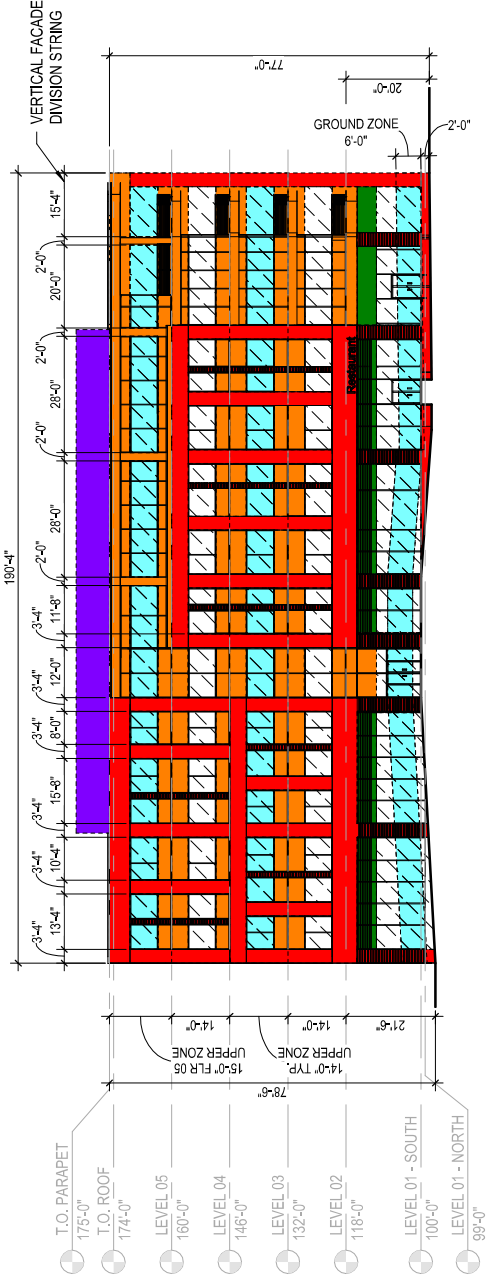
3. no canopy

Retailers may choose from one of the approved storefront options for installation, in order to maintain visual variety across the overall streetscape within the Bridge North development.

MATERIAL TYPE: WEST FACADE TOTAL AREA 15,557 SF PRIMARY GLAZING (WINDOWS & DOORS) 5,757 SF PRIMARY BRICK 4,280 SF SECONDARY METAL 3,861 SF SECONDARY METAL ROOF SCREEN WALL 970 SF SECONDARY LOUVERS/GLAZING/METAL 689 SF (TBD PER TENANT REQ. -UPPER PORTION OF GROUND FLOOR STOREFRONTS) PRIMARY MATERIAL TOTAL: REQUIRED: 80% PROVIDED: 65% (10,037 / 15,557 = .645) SECONDARY MATERIAL TOTAL: REQUIRED: <20% PROVIDED: 35% (5,520 / 15,557 = .354)	FACADE REQUIREMENTS: STREET FACADE: YES PRINCIPAL ENTRANCE: YES NUMBER OF ENTRANCES: REQUIRED: 1 PER 75'-0" OF FACADE TOTAL FACADE LENGTH: 190' - 4" REQUIRED: 190' - 4" / 75 = 3 (2.53 ROUNDED UP) PROVIDED: 3 GROUND STORY: HEIGHT (VARIES): 20'-0" (SOUTH) 18'-0" (CENTER) 21'-6" (NORTH) 3,480 SF GROUND STORY TOTAL AREA: GROUND STORY TRANSPARENCY: (2'-0" TO 8'-0" ABOVE GRADE) 1,143 SF GROUND STORY GLAZING AREA: (2'-0" TO 8'-0" ABOVE GRADE) 934 SF TRANSPARENCY REQUIRED: 60% TRANSPARENCY PROVIDED: 82%	UPPER STORY: HEIGHT: 15'-0" UPPER STORY TOTAL AREA: 2,664 SF (EA. FLOOR 02-04) 2,885 SF (FLOOR 05) 2,664 SF (FLOOR TO FLOOR 02-04) 958 SF (FLOOR TO FLOOR 02-04) TRANSPARENCY REQUIRED: 30% TRANSPARENCY PROVIDED: 36% BLANK WALL LIMITATIONS: REQUIRED: YES PROVIDED: YES VERTICAL FACADE DIVISIONS: REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS) PROVIDED: YES HORIZONTAL FACADE DIVISIONS: REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY) PROVIDED: YES, BRICK TYPE CHANGE
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Potential Waiver Request

MATERIALS LEGEND	
PRIMARY MATERIALS	
	BRICK
	GLAZING
	TRANSPARENCY ZONE GLAZING
SECONDARY MATERIALS	
	METAL / FIBER CEMENT
	FUTURE LOUVERS / METAL
	MECH. ROOF SCREEN



MATERIAL TYPE: SOUTH FACADE TOTAL AREA 7,772 SF PRIMARY GLAZING (WINDOWS & DOORS) 2,912 SF PRIMARY BRICK 2,278 SF SECONDARY METAL 1,888 SF SECONDARY METAL ROOF SCREEN WALL 325 SF SECONDARY LOUVERS/ GLAZING/ METAL 359 SF (TBD PER TENANT REQ. - UPPER PORTION OF GROUND FLOOR STOREFRONTS) PRIMARY MATERIAL TOTAL: REQUIRED: 80% PROVIDED: 67% (5,190 / 7,772 = .668) SECONDARY MATERIAL TOTAL: REQUIRED: <20% PROVIDED: 33% (2,566 / 7,595 = .332)	FACADE REQUIREMENTS: STREET FACADE: YES PRINCIPAL ENTRANCE: NO NUMBER OF ENTRANCES: REQUIRED: NO - NOT PRIMARY STREET FACADE TOTAL FACADE LENGTH: 96'-11" REQUIRED: 0 PROVIDED: 0 GROUND STORY: HEIGHT (VARIES): 18'-0" (EAST) 20'-0" (WEST) 3,290 SF GROUND STORY TOTAL AREA: 582 SF 416 SF 60% 71% TRANSPARENCY PROVIDED:	UPPER STORY: HEIGHT: 15'-0" UPPER STORY TOTAL AREA: 1,357 SF (EA. FLOOR 02-04) 1,454 SF (FLOOR 05) UPPER STORY TRANSPARENCY: UPPER STORY TRANSPARENCY ZONE: 1,357 SF (FLOOR TO FLOOR 02-04) UPPER STORY GLAZING AREA: 517 SF (FLOOR TO FLOOR 02-04) TRANSPARENCY REQUIRED: 30% TRANSPARENCY PROVIDED: 35% BLANK WALL LIMITATIONS: REQUIRED: YES PROVIDED: YES VERTICAL FACADE DIVISIONS: REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS) PROVIDED: YES HORIZONTAL FACADE DIVISIONS: REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY) PROVIDED: YES, BRICK TYPE CHANGE
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Potential Waiver Request

MATERIALS LEGEND

PRIMARY MATERIALS

BRICK

GLAZING

TRANSPARENCY ZONE GLAZING

SECONDARY MATERIALS

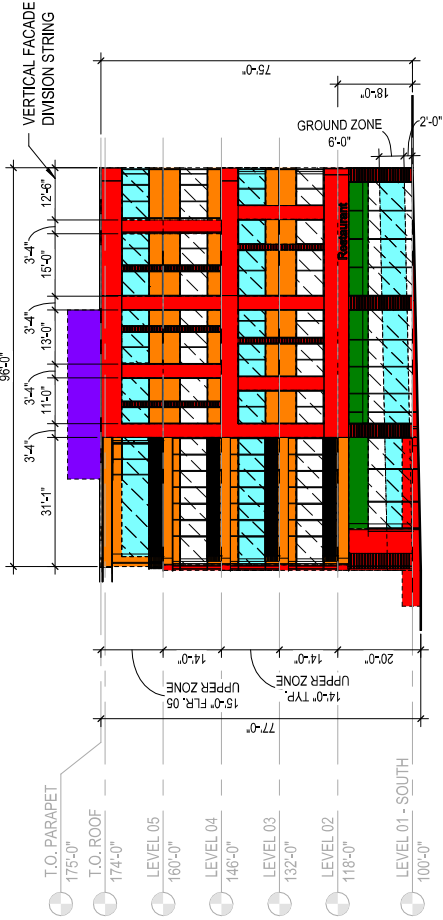
METAL / FIBER CEMENT

FUTURE LOUVERS / METAL

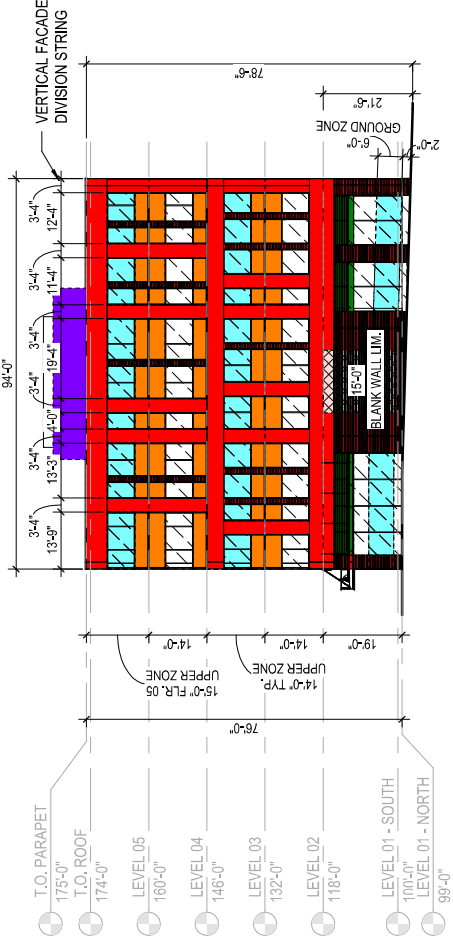
MECH. ROOF SCREEN

OFFICE BUILDING

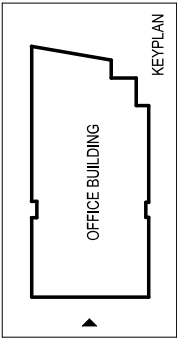
KEYPLAN



MATERIAL TYPE: NORTH FACADE TOTAL AREA 7,636 SF PRIMARY GLAZING (WINDOWS & DOORS) 2,515 SF SECONDARY BRICK 3,328 SF SECONDARY METAL 1,226 SF SECONDARY METAL ROOF SCREEN WALL 330 SF SECONDARY LOUVERS/GLAZING/METAL 237 SF (TBD PER TENANT REQ. -UPPER PORTION OF GROUND FLOOR STOREFRONTS) PRIMARY MATERIAL TOTAL: REQUIRED: 80% PROVIDED: 77% (5,843 / 7,636 = .765) SECONDARY MATERIAL TOTAL: REQUIRED: <20% PROVIDED: 23% (1,793 / 7,636 = .234)	FACADE REQUIREMENTS: STREET FACADE: NO PRINCIPAL ENTRANCE: NO NUMBER OF ENTRANCES: REQUIRED: NO - NOT PRIMARY STREET FACADE TOTAL FACADE LENGTH: 94'-0" REQUIRED: 0 PROVIDED: 0 GROUND STORY: HEIGHT (VARIES): 19'-0" (EAST) 21'-5" (WEST) GROUND STORY TOTAL AREA: 1,786 SF GROUND STORY TRANSPARENCY: REQUIRED: (2'-0" TO 8'-0" ABOVE GRADE) 564 SF PROVIDED: (2'-0" TO 8'-0" ABOVE GRADE) 292 SF TRANSPARENCY REQUIRED: 15% TRANSPARENCY PROVIDED: 52%	UPPER STORY: HEIGHT: 14'-0" UPPER STORY TOTAL AREA: 1,316 SF (EA. FLOOR 02-04) 15'-0" 1,410 SF (FLOOR 05) UPPER STORY TRANSPARENCY: UPPER STORY TRANSPARENCY ZONE: 1,316 SF (FLOOR TO FLOOR 02-04) UPPER STORY GLAZING AREA: 449 SF TRANSPARENCY REQUIRED: 15% TRANSPARENCY PROVIDED: 34% BLANK WALL LIMITATIONS: REQUIRED: YES PROVIDED: YES YES UPPER STORIES NO, GROUND LEVEL, OVER 15'-0" WIDE VERTICAL FACADE DIVISIONS: REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS) PROVIDED: YES HORIZONTAL FACADE DIVISIONS: REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY) PROVIDED: YES, BRICK TYPE CHANGE Potential Waiver Request
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MATERIALS LEGEND	
PRIMARY MATERIALS	
 BRICK	 GLAZING
 TRANSPARENCY ZONE GLAZING	
SECONDARY MATERIALS	
 METAL / FIBER CEMENT	 FUTURE LOUVERS / METAL
 MECH. ROOF SCREEN	



WAIVER SUMMARY - Office Building (Corridor Building Type)

- Waiver Requests highlighted in green.

1) A2. Buildable Area:

Maximum Impervious Coverage allowable is 80%.

- The actual impervious coverage is 96.2% not including adjacent pocket park.

2) B. Height

- Ground story height is 18', which is taller than the maximum 16'.

3) D1. Street Facade Transparency

Blank wall of 15'-0" limitations is required.

- Blank Wall Limitations exceed the requirements on Level 01 of the North facade. This area is a courtyard between two buildings on site, and the internal part of the building is the water room location, with a screened transformer located on the exterior.

4) D5. Facade Materials

- Secondary materials exceed requirements on all facades. Composite metal panels and fiber cement are used along with brick, stone, and glass, to add visual interest and material contrast and rhythm to the building. They are also used to incorporate a visually open corner to the building on the Southwest corner to create a gateway experience.



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Office - Gateway View | Bridge North Development



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Office - Southwest Corner from Riverside | Bridge North Development



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Office - Elevation from Longshore | Bridge North Development