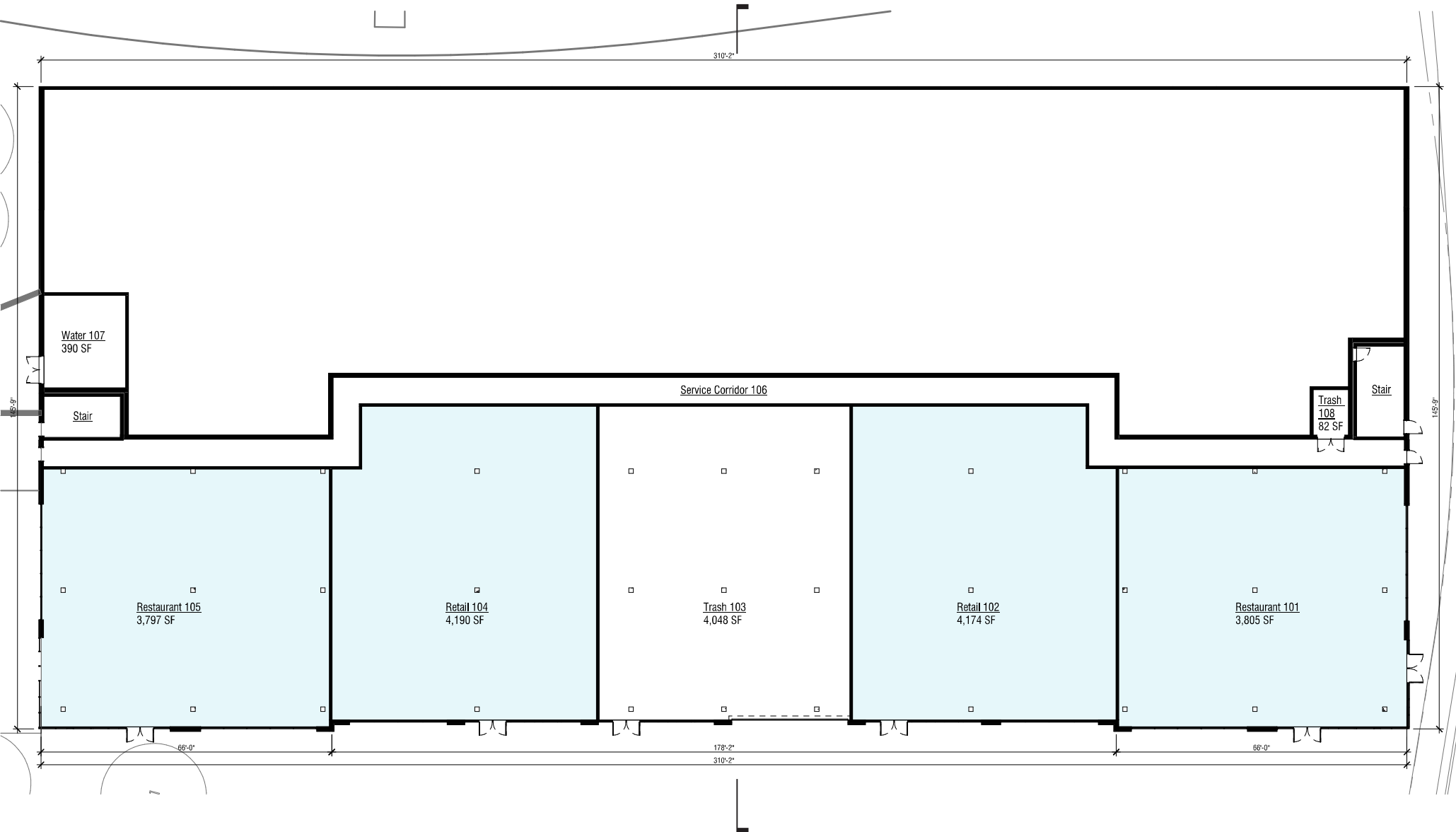




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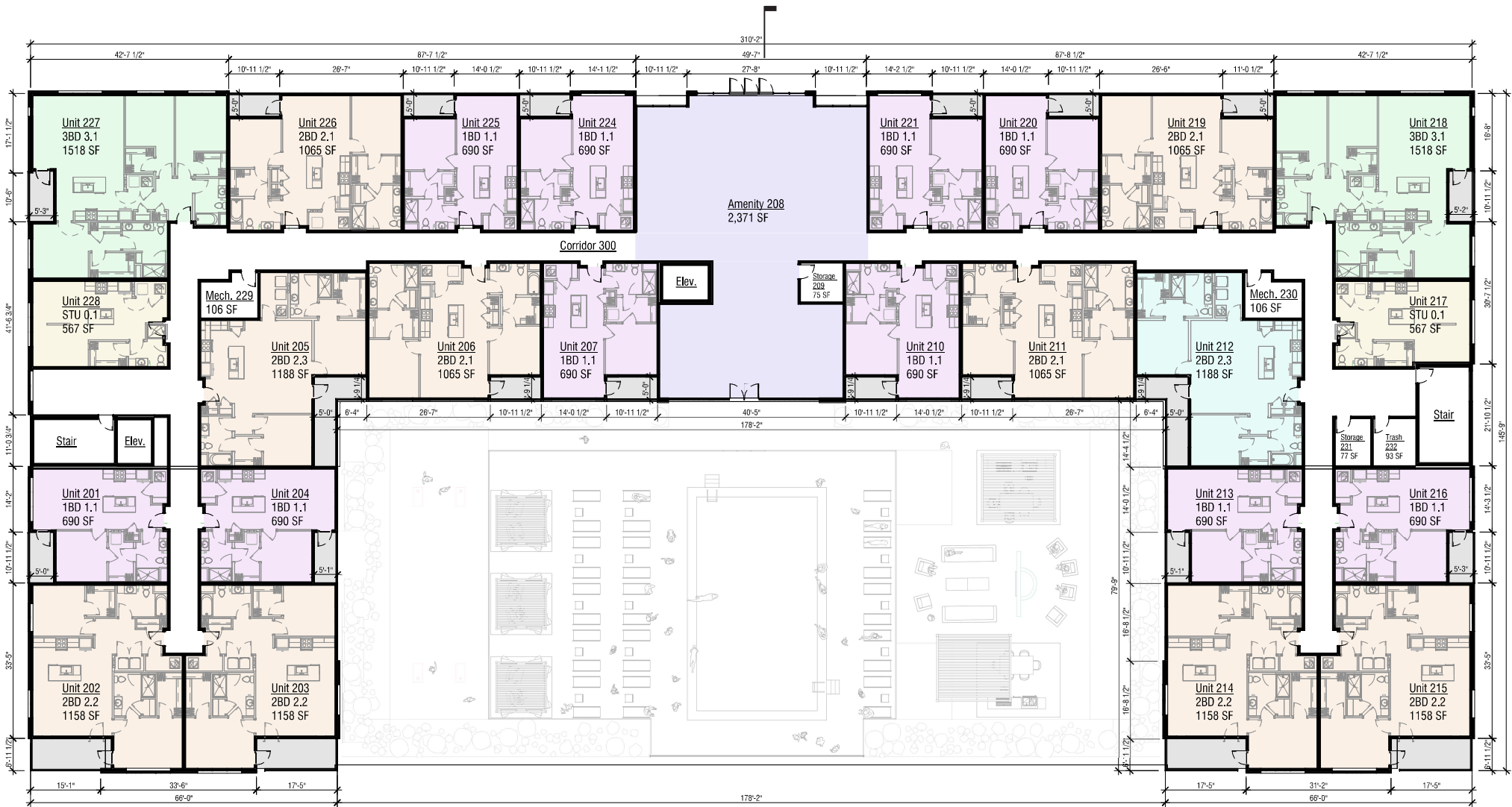


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1"=20'0"



Residential "A" - Level 01 Floor Plan | Bridge North Development



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Residential "A" - Level 02 Floor Plan | Bridge North Development





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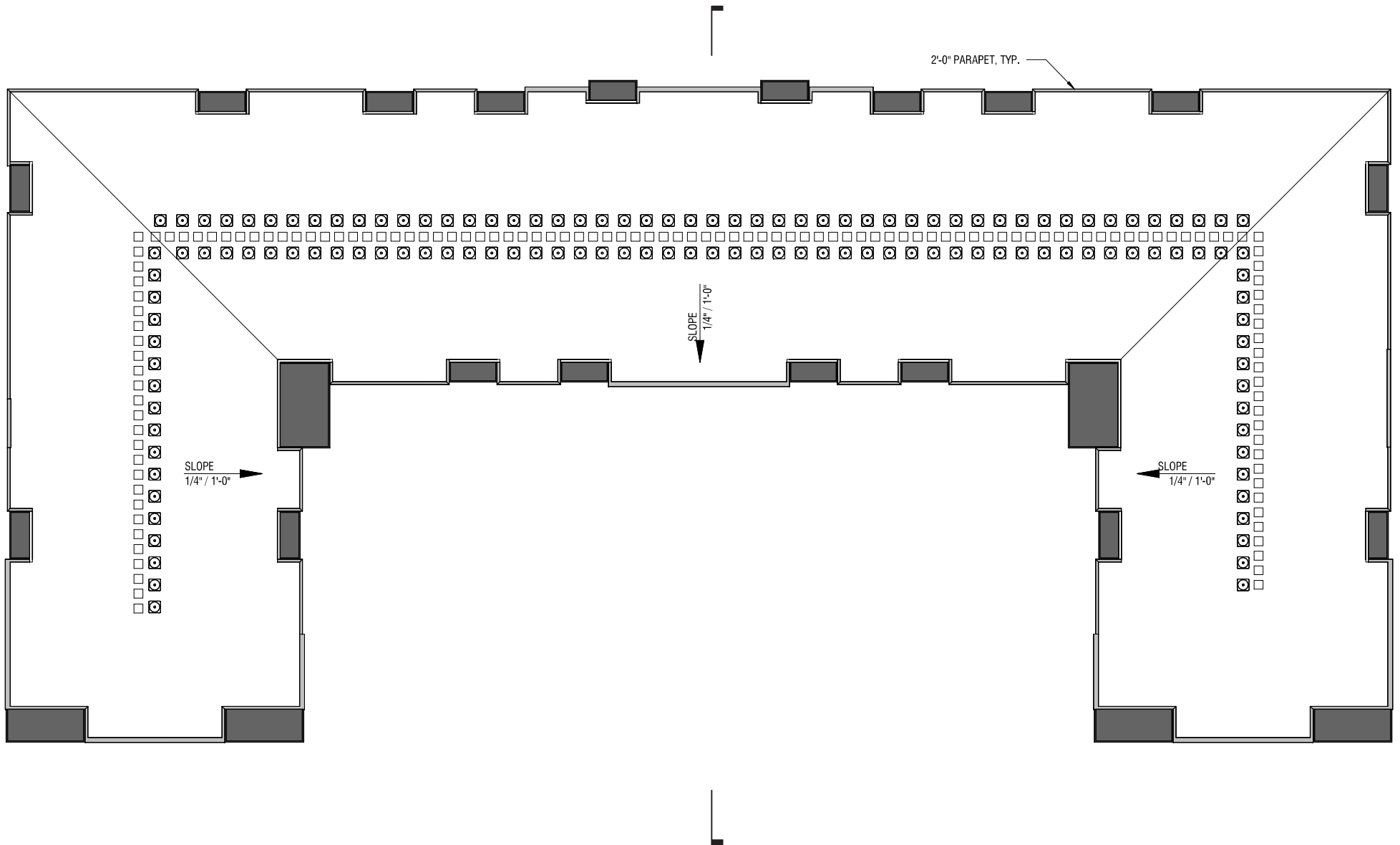
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Residential "A" - Level 04 Floor Plan | Bridge North Development







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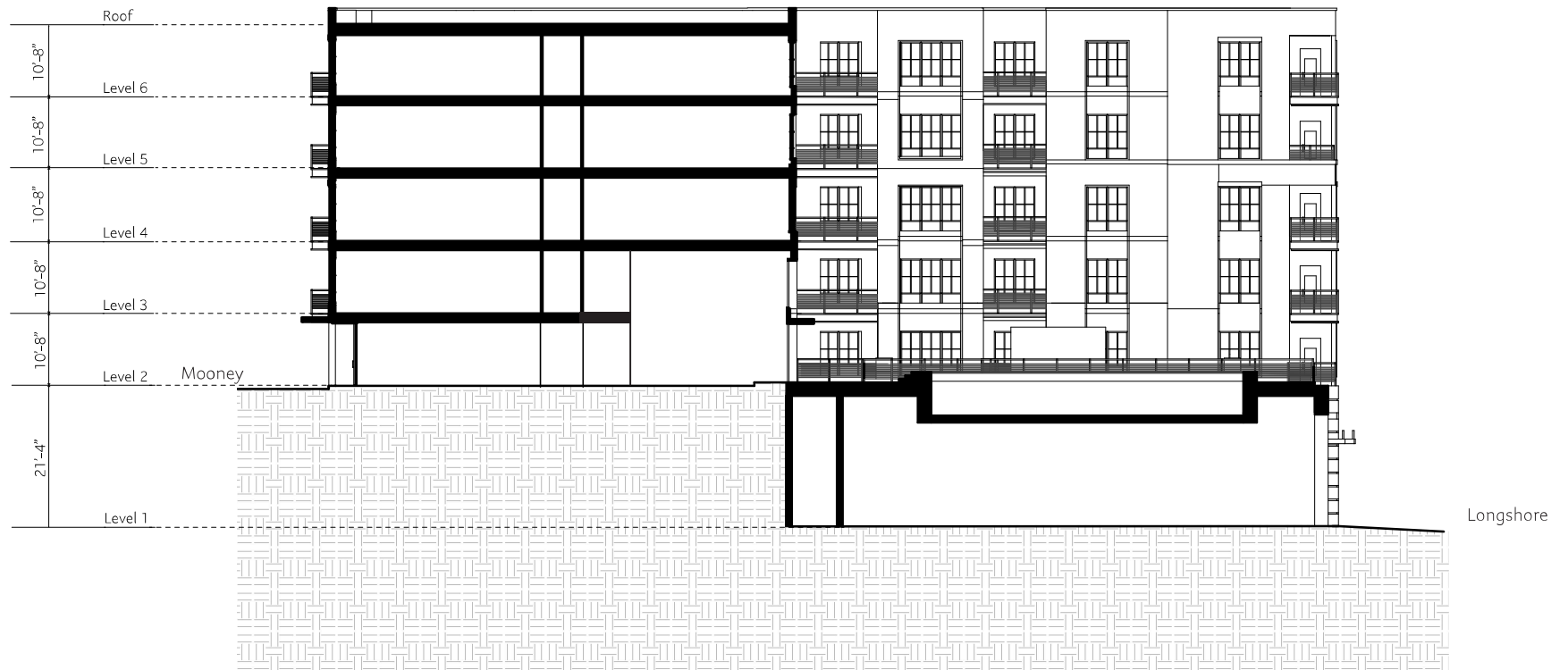


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Residential "A" - Level 06 Floor Plan | Bridge North Development



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Residential "A" - Section | Bridge North Development



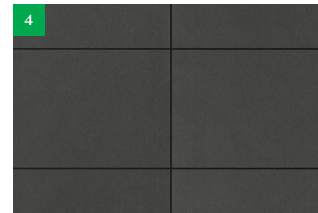
1. CAST STONE



2. BROWN BRICK BLEND



3. CORRUGATED
METAL PANEL



4. FIBER CEMENT



5. METAL PANEL WOOD LOOKS



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Residential "A" - West Elevation | Bridge North Development



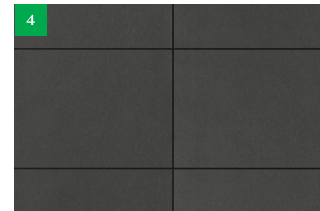
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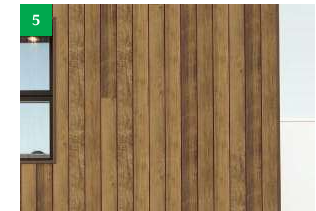
2. BROWN BRICK BLEND



3. CORRUGATED
METAL PANEL



4. FIBER CEMENT



5. METAL PANEL WOOD LOOKS



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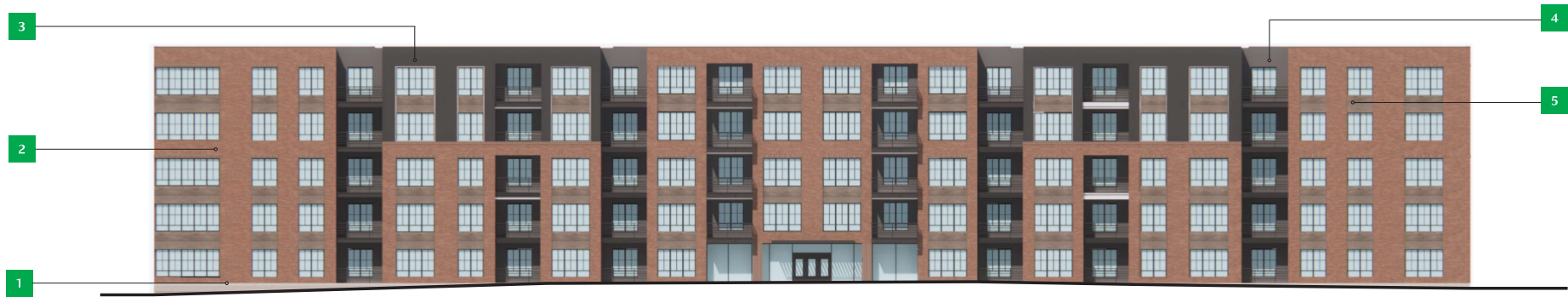
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Residential "A" - North Elevation | Bridge North Development



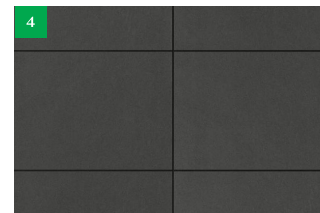
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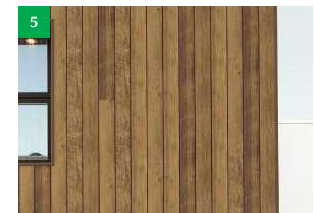
2. BROWN BRICK BLEND



3. CORRUGATED
METAL PANEL



4. FIBER CEMENT



5. METAL PANEL WOOD LOOKS



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Residential "A" - East Elevation | Bridge North Development



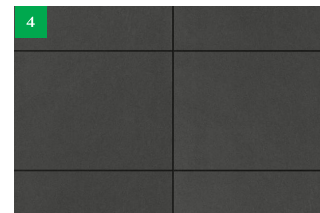
1. CAST STONE



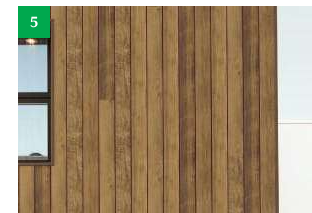
2. BROWN BRICK BLEND



3. CORRUGATED
METAL PANEL



4. FIBER CEMENT



5. METAL PANEL WOOD LOOKS



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Residential "A" - South Elevation | Bridge North Development

A1. Street Frontage

	<u>Allowable:</u>	<u>Actual:</u>
Multiple Principal Buildings:	Permitted	Complies
Front Property Line Coverage:	Minimum 75%	73%
Occupation of Corner:	Required	Complies
Front RBZ:	0-15 ft.	Complies
Corner Side RBZ:	0-15 ft.	Complies
RBZ Treatment:	Landscape, Patio, or street-scape; along West Dublin-Granville Road, Street-scape Required	Complies
Right-of-Way Encroachment:	Awnings, Canopies, eaves, patios & signs	Complies

A2. Buildable Area

	<u>Allowable:</u>	<u>Actual:</u>
Minimum Side Yard Setback:	5 ft.	Complies
Minimum Rear Yard Setback:	5 ft.	Complies
Minimum Lot Width:	50 ft.	Complies; 168 ft.
Max. Impervious Coverage:	80%	96.5%
Additional Semi-Impervious Coverage:	10%	N/A

A3. Parking Location & Loading

	<u>Allowable:</u>	<u>Actual:</u>
Parking Location:	Rear yard; within building	N/A
Loading Facility Location:	Rear & side Facade	Front Facade (Longshore St.)
Entry for Parking within Building:	Rear & side Facade Corner side Facade	N/A
Access:	Refer to 153.062	Complies

B. Height

	<u>Allowable:</u>	<u>Actual:</u>
Minimum Height:	3 stories	6 stories
Maximum Height:	6 stories	6 stories
Ground story:	12 ft.-16 ft.	21'-4"
Stories:	10-14 ft.	Complies; 10'-8"

C. Uses & Occupancy Requirements

	<u>Allowable:</u>	<u>Actual:</u>
Ground Story:	Residential and general office uses are prohibited	Complies
Upper Story:	No requirements	Complies
Parking within Building:	Permitted	N/A
Occupied Space:	Min. 30 ft. facing Street	Complies

D1. Street Facade Transparency

	<u>Allowable:</u>	<u>Actual:</u>
Ground Story Street Facing Transparency:	Min. 60% required	Ref. Elevations
Transparency:	Min. 30%	Ref. Elevations
Blank Wall Limitation:	Required	Complies

D2. Non-Street Facade Transparency

	<u>Allowable:</u>	<u>Actual:</u>
Transparency:	Min. 15%	Complies
Blank Wall Limitation:	Required	Complies

D3. Building Entrance

	<u>Allowable:</u>	<u>Actual:</u>
Principal Entrance Location:	Primary Street	Complies
Street Facades: Number of Entrances:	1 per 75'	Ref. Elevations
Parking Lot Facades:	1 per 100'	N/A
Mid-Building Pedestrianway:	In shopping corridors; Required for building greater than 250' in length	N/A

D4. Facade Divisions

	<u>Allowable:</u>	<u>Actual:</u>
Vertical Increments:	No greater than 45'	Complies
Horizontal Facade Division:	On building 3 stories or taller, required with 3' of top of the ground story Required at any building step-back.	Complies
Required Change in Roof: Plane or Type	None;	N/A

D5. Facade Materials

	<u>Allowable:</u>	<u>Actual:</u>
Permitted Primary Materials:	Stone, Brick, Glass	Ref. Elevations

D6. Roof Types

	<u>Allowable:</u>	<u>Actual:</u>
Permitted Types:	Parapet, Pitched roof, flat roof, other types may be permitted with approval	Complies
Tower:	Permitted on facades only at terminal vistas, corners at two principal frontage streets	Complies

 Potential Waiver Request



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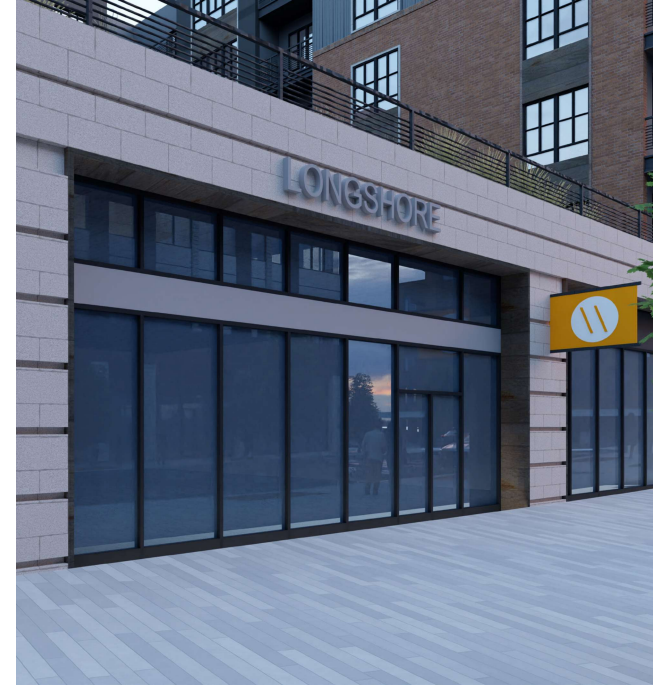
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1. Tellis



2. Canopy



3. no canopy

Retailers may choose from one of the approved storefront options for installation, in order to maintain visual variety across the overall streetscape within the Bridge North development.



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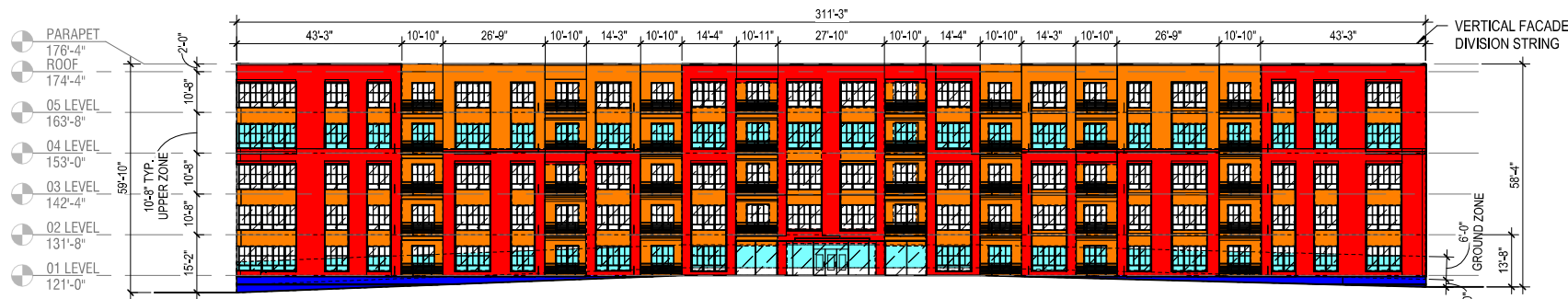
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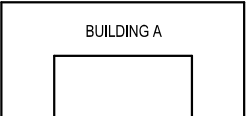
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MATERIAL TYPE:		FACADE REQUIREMENTS:		UPPER STORY:	
EAST FACADE TOTAL AREA	17,667 SF	STREET FACADE:	YES	HEIGHT:	10'-8"
PRIMARY GLAZING (WINDOWS & DOORS)	6,027 SF	PRINCIPAL ENTRANCE:	YES	UPPER STORY TOTAL AREA:	3,320 SF (EA. FLOOR 02-05)
PRIMARY BRICK	5,616 SF	NUMBER OF ENTRANCES:		UPPER STORY TRANSPARENCY:	
PRIMARY CAST STONE	437 SF	REQUIRED:	1 PER 75'-0" OF FACADE	UPPER STORY TRANSPARENCY ZONE:	3,320 SF (FLOOR TO FLOOR 02-05)
SECONDARY MTL PANEL/FIBER CEMENT	5,587 SF	TOTAL FACADE LENGTH:	311' - 3"	UPPER STORY GLAZING AREA:	1,171 SF (FLOOR TO FLOOR 02-05)
		REQUIRED:	311' - 3" / 75 = 5 (4.15 ROUNDED UP)	TRANSPARENCY REQUIRED:	30%
		PROVIDED:	1	TRANSPARENCY PROVIDED:	35%
PRIMARY MATERIAL TOTAL:		GROUND STORY:		BLANK WALL LIMITATIONS:	
REQUIRED:	80%	HEIGHT (VARIES):	15'-2" SOUTH 13'-8" NORTH	REQUIRED:	YES
PROVIDED:	68% (12,080 / 17,667 = .683)	GROUND STORY TOTAL AREA:	3,757 SF	PROVIDED:	YES
SECONDARY MATERIAL TOTAL:		GROUND STORY TRANSPARENCY:		VERTICAL FACADE DIVISIONS:	
REQUIRED:	<20%	GROUND STORY TRANSPARENCY ZONE:	1,868 SF	REQUIRED:	YES (NO GREATER THAN 45'-0" INCREMENTS)
PROVIDED:	32% (5,587 / 17,667 = .316)	(2'-0" TO 8'-0" ABOVE GRADE)		PROVIDED:	YES
		GROUND STORY GLAZING AREA:	996 SF	HORIZONTAL FACADE DIVISIONS:	
		(2'-0" TO 8'-0" ABOVE GRADE)		REQUIRED:	YES (WITHIN 3'-0" TO TOP OF GROUND STORY)
		TRANSPARENCY REQUIRED:	60%	PROVIDED:	YES, TENANT BALCONY STEPBACKS
		TRANSPARENCY PROVIDED:	53%	Potential Waiver Request	



MATERIALS LEGEND	
PRIMARY MATERIALS	
■	BRICK
■	CAST STONE
	GLAZING
	TRANSPARENCY ZONE GLAZING
SECONDARY MATERIALS	
■	METAL / FIBER CEMENT
■	FUTURE LOUVERS / METAL
	
KEYPLAN	



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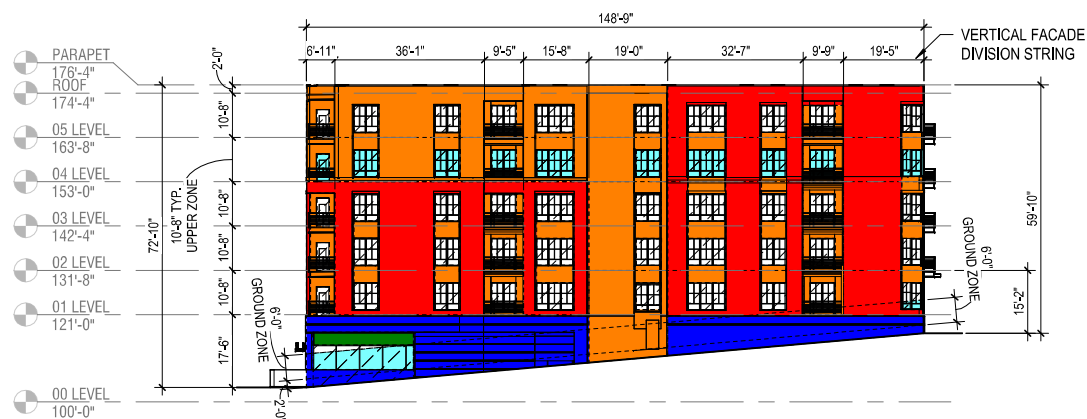
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<u>MATERIAL TYPE:</u>			<u>FACADE REQUIREMENTS:</u>			<u>UPPER STORY:</u>		
SOUTH FACADE TOTAL AREA 10,113 SF			STREET FACADE: YES			HEIGHT: 10'-8"		
			PRINCIPAL ENTRANCE: NO			UPPER STORY TOTAL AREA: 1,587 SF (EA. FLOOR 01-05)		
PRIMARY	GLAZING (WINDOWS & DOORS)	2,247 SF	<u>NUMBER OF ENTRANCES:</u> REQUIRED: NO - NOT A PRIMARY STREET FACADE TOTAL FACADE LENGTH: 148'-9" REQUIRED: 0 PROVIDED: 0			<u>UPPER STORY TRANSPARENCY:</u>		
PRIMARY	BRICK	3,276 SF				UPPER STORY TRANSPARENCY ZONE: 1,587 SF (FLOOR TO FLOOR 01-05)		
PRIMARY	CAST STONE	1,177 SF				UPPER STORY GLAZING AREA: 406 SF (FLOOR TO FLOOR 01-05)		
SECONDARY	METAL/FIBER CEMENT	3,339 SF				TRANSPARENCY REQUIRED: 30%		
SECONDARY	LOUVERS/GLAZING/METAL	74 SF				TRANSPARENCY PROVIDED: 26%		
-UPPER PORTION OF GROUND FLOOR STOREFRONTS)								
<u>PRIMARY MATERIAL TOTAL:</u> 6,700 SF			<u>GROUND STORY:</u>			<u>BLANK WALL LIMITATIONS:</u>		
REQUIRED: 80%			HEIGHT (VARIES): 15'-2" (EAST)			REQUIRED: YES		
PROVIDED: 66% (6,700 / 10,113 = .663)			17'-6" (WEST)			PROVIDED: YES		
			GROUND STORY TOTAL AREA: 2,496 SF					
<u>SECONDARY MATERIAL TOTAL:</u> 3,413 SF			<u>GROUND STORY TRANSPARENCY:</u>			<u>VERTICAL FACADE DIVISIONS:</u>		
REQUIRED: <20%			GROUND STORY TRANSPARENCY ZONE: 896 SF			REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS)		
PROVIDED: 34% (3,413 / 10,113 = .337)			(2'-0" TO 8'-0" ABOVE GRADE)			PROVIDED: YES		
			GROUND STORY GLAZING AREA: 131 SF			<u>HORIZONTAL FACADE DIVISIONS:</u>		
			(2'-0" TO 8'-0" ABOVE GRADE)			REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)		
			TRANSPARENCY REQUIRED: 60%			PROVIDED: YES, TENANT BALCONY STEPBACKS & MATERIAL CHANGE		
			TRANSPARENCY PROVIDED: 15%					

Potential Waiver Request



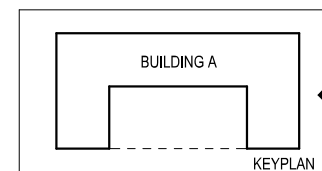
MATERIALS LEGEND

PRIMARY MATERIALS

- BRICK
- CAST STONE
- GLAZING
- TRANSPARENCY ZONE GLAZING

SECONDARY MATERIALS

- METAL / FIBER CEMENT
- FUTURE LOUVERS / METAL



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Residential "A" - Exterior Elevation Transparency Studies - South | Bridge North Development

WAIVER SUMMARY - Residential "A" Building (Corridor Building Type)

- Waiver Requests highlighted in green.

1) A1. Building Siting:

Minimum Front Property Line Coverage is 75%.

- The actual Front Property Line Coverage is 73%.

2) A2. Buildable Area:

Maximum Impervious Coverage allowable is 80%.

- The actual impervious coverage is 96.5%.

3) A3. Loading Facility Location

- The loading area to trash room is located at Longshore Street, which considered Front Facade of the Residential "A" building. This is due to extreme elevation difference in grade at the side facade (south) and no street access at the rear facade (north).

4) B. Height

- The ground story height is 21'4" to make up the difference in grade, which is taller than the required maximum 16'.

5) D1. Street Facade Transparency

- The requirement of 60% transparency is not met on the East façade ground story, with a transparency of 47% provided. This is due to the extreme elevation difference in grade between East and West on this site. This building consists of Residential Units from Level 01-Level 05, which results in the entire East façade comprising of Residential Units with a centralized lobby entrance.
- The requirement of 60% transparency is not met on the South façade ground story, with a transparency of 16% provided. This is due to the extreme elevation difference in grade between East and West on this site.
- The requirement of 30% transparency is not met on the South façade upper stories, with a transparency of 26% provided.

6) D3. Building Entrance

- The number of entrance on the East side is short. This side considered as the second principal entrance, located along Mooney Street, and consists of residential units with a centralized lobby entrance. In consideration of security and to ensure controlled access to the residential units, only one entrance has been provided on this façade, which is less than the requirements.

7) D5. Facade Materials

- Secondary materials exceed requirements on all facades. Composite metal panels and fiber cement are used along with brick, stone, and glass, to add visual interest and material contrast and rhythm to the building. They are also used to incorporate a visually lighter 'top' to the building along the West façade and distinguish the private residential courtyard from the level 01 podium with cast stone and storefront glazing below.



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Residential "A" - Longshore Corner | Bridge North Development



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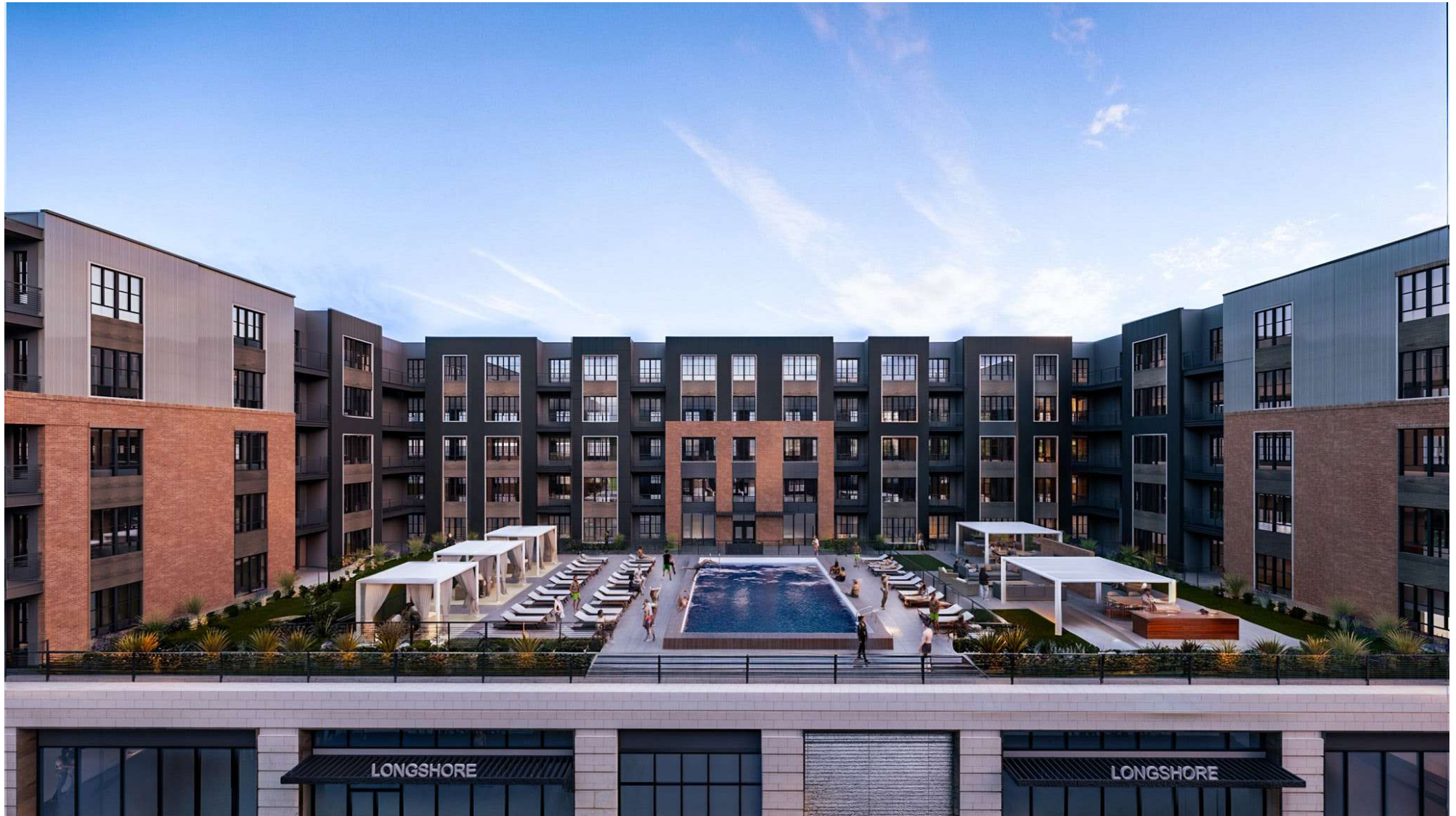
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Residential "A" - Longshore Elevation | Bridge North Development