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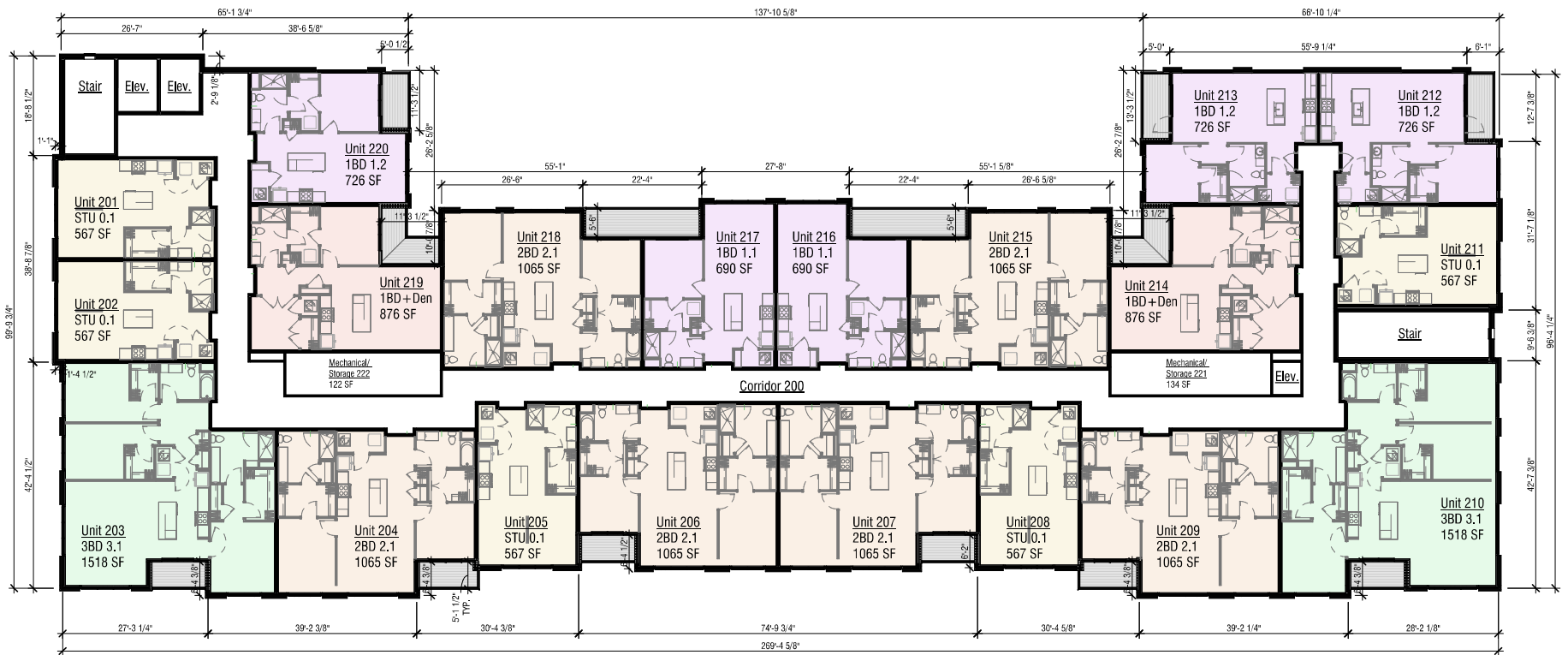


DAIMLER

1"=20'0"



Residential "B" - Level 01 Floor Plan | Bridge North Development



02 LEVEL PRESENTATION PLAN



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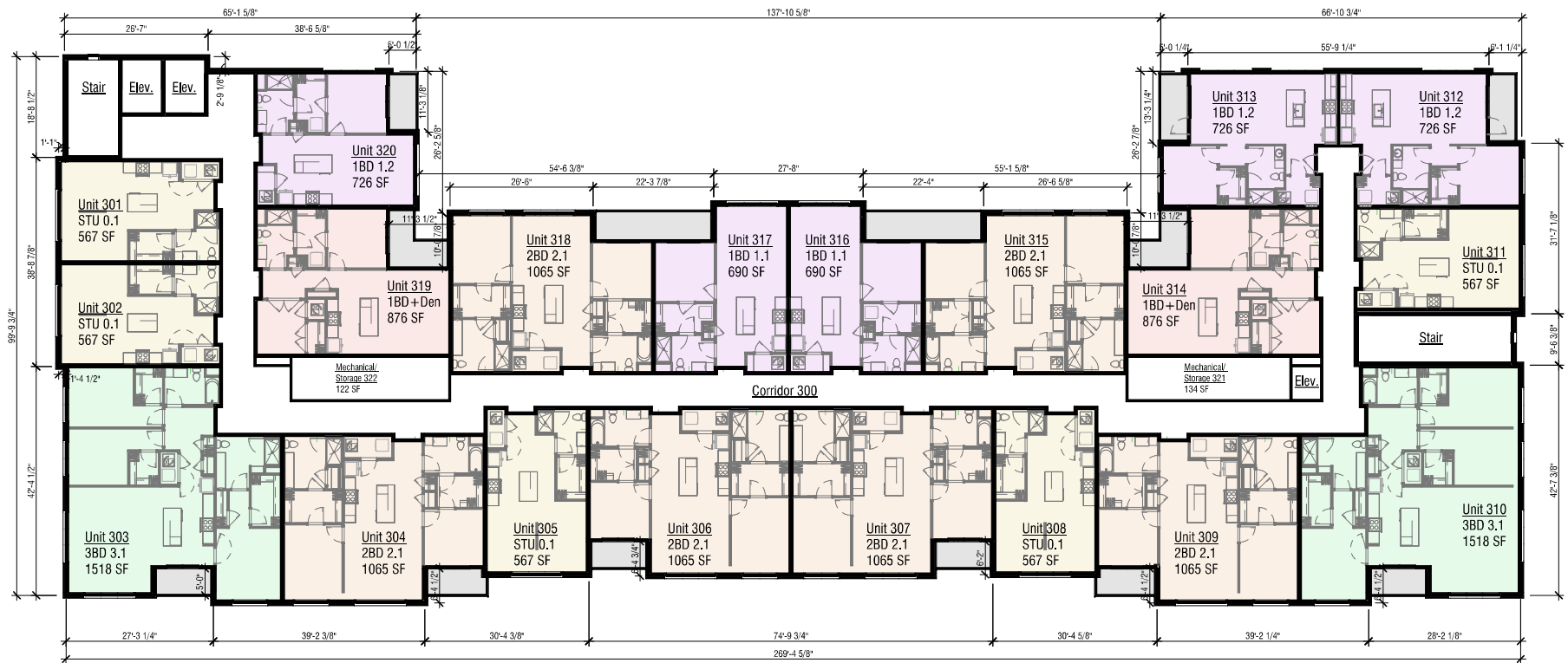


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Residential "B" - Level 02 Floor Plan | Bridge North Development



03 LEVEL OVERALL FLOOR PLAN



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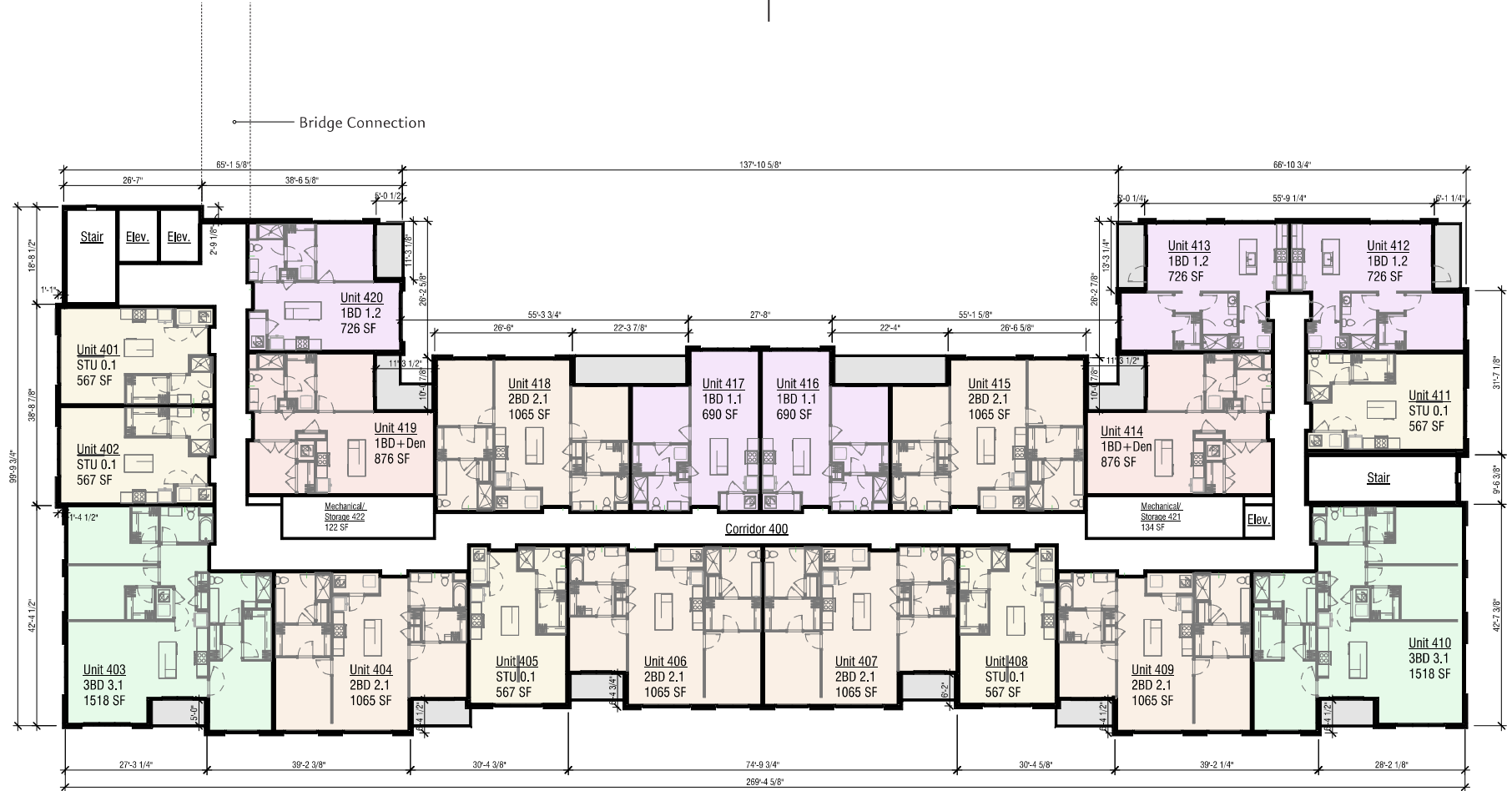


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Residential "B" - Level 03 Floor Plan | Bridge North Development



SCALE PRESENTATION PLAN



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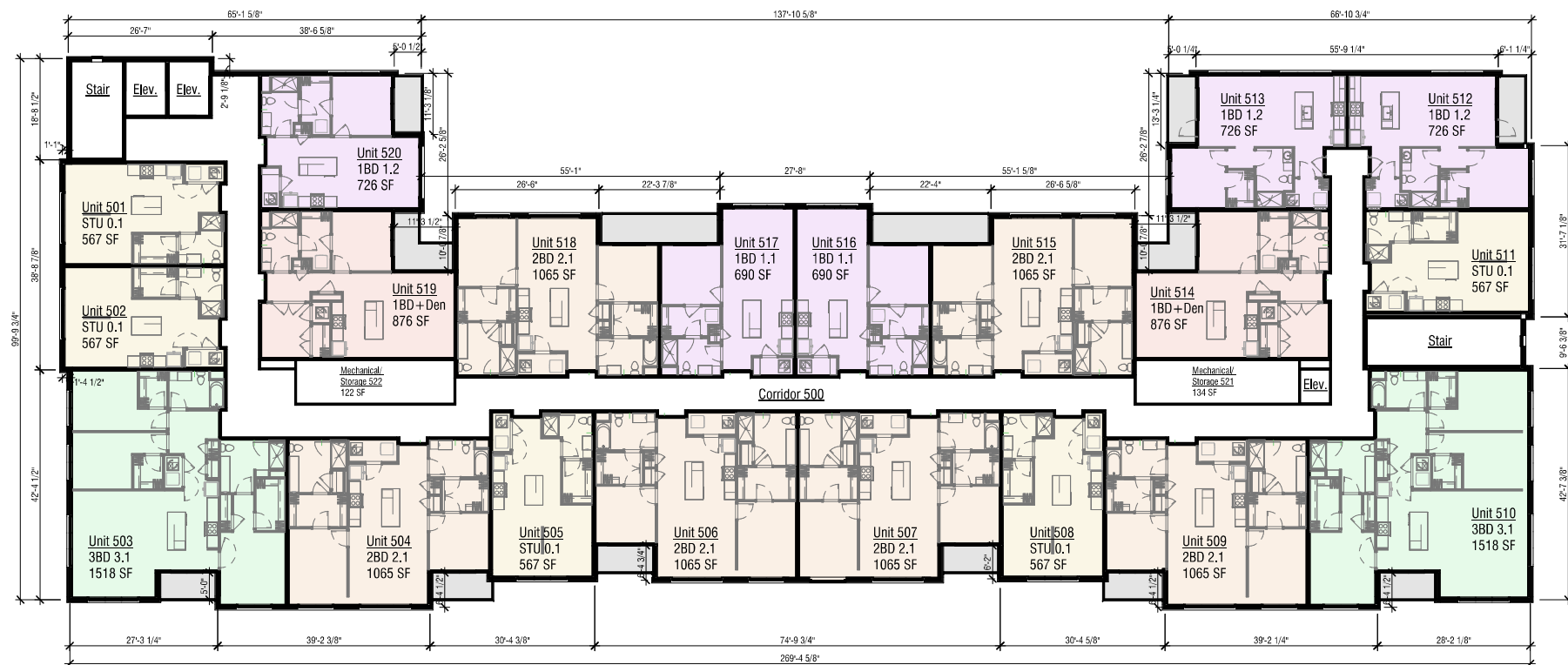


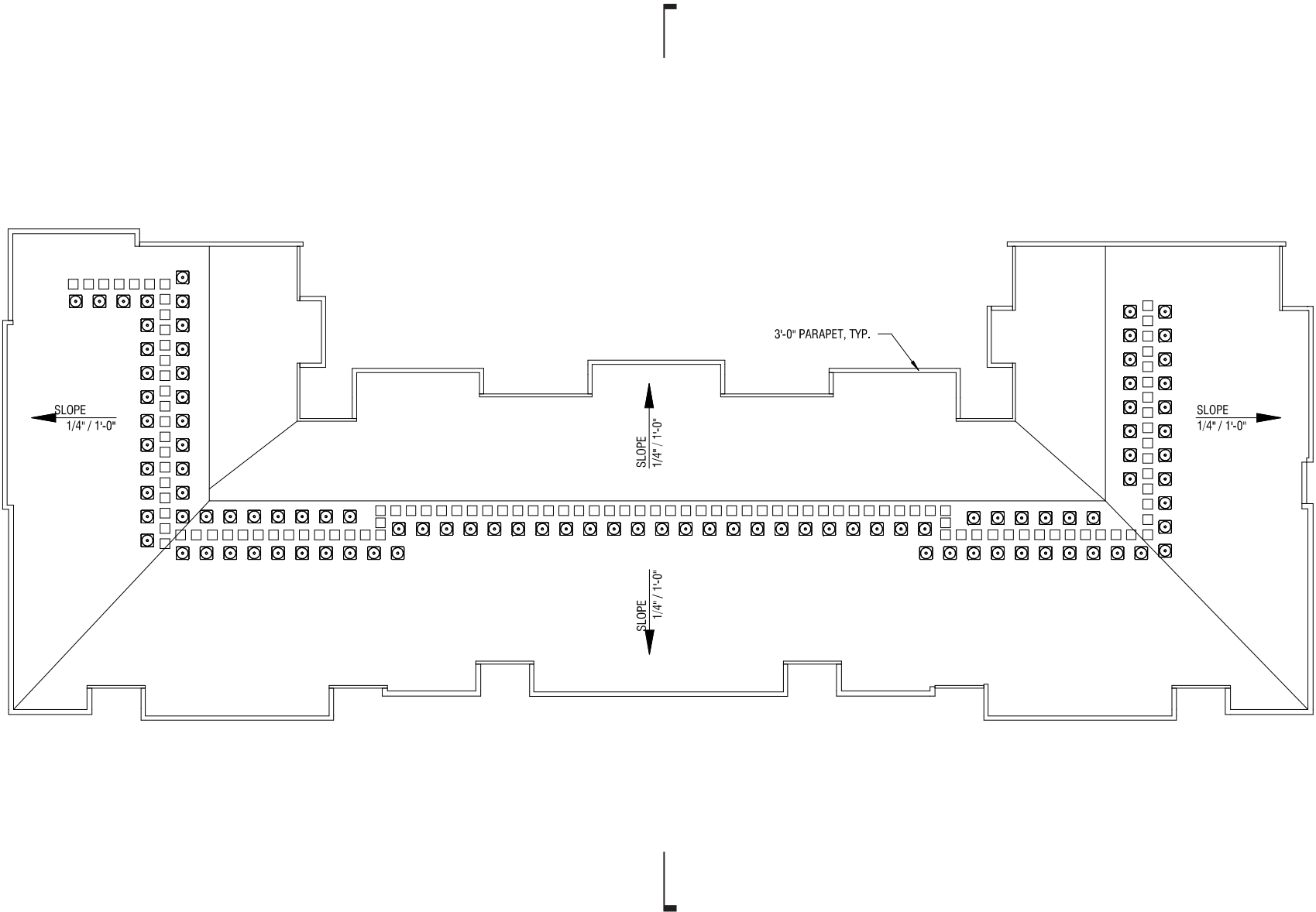
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Residential "B" - Level 04 Floor Plan | Bridge North Development





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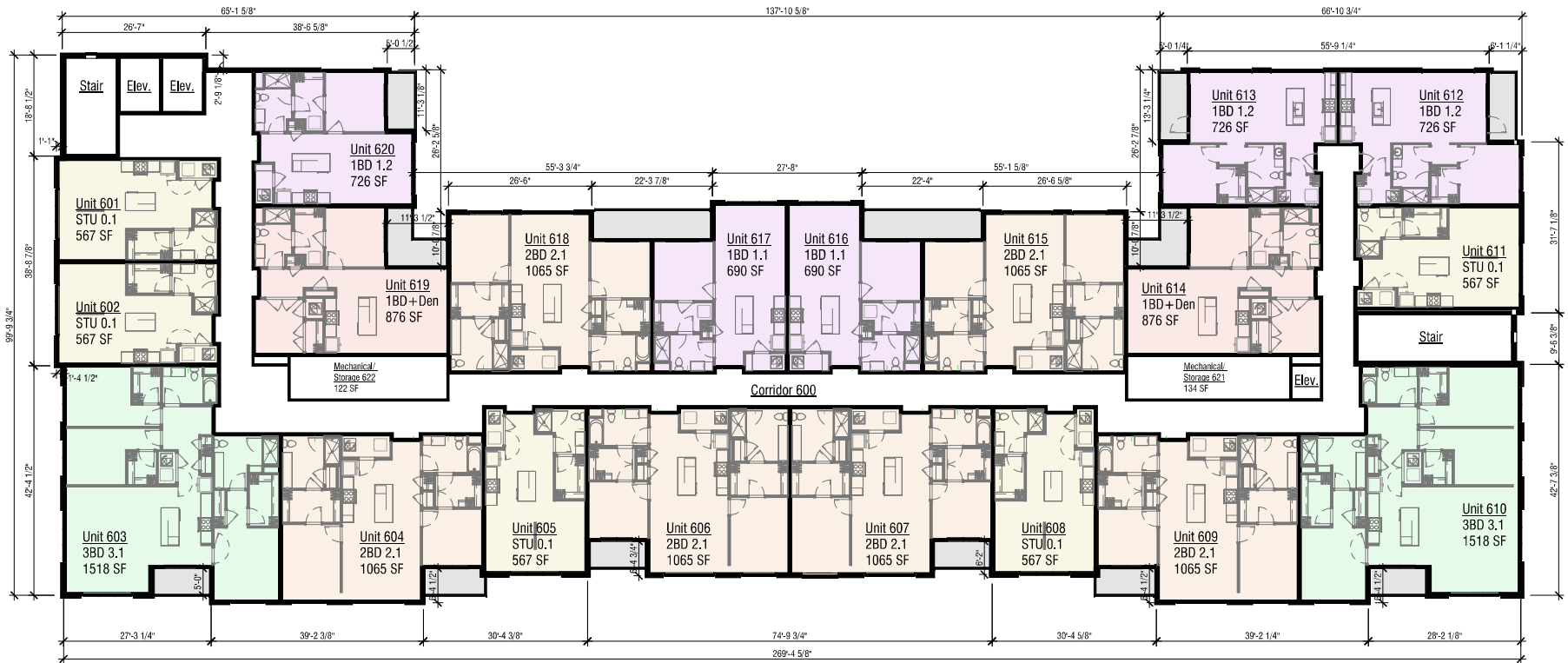


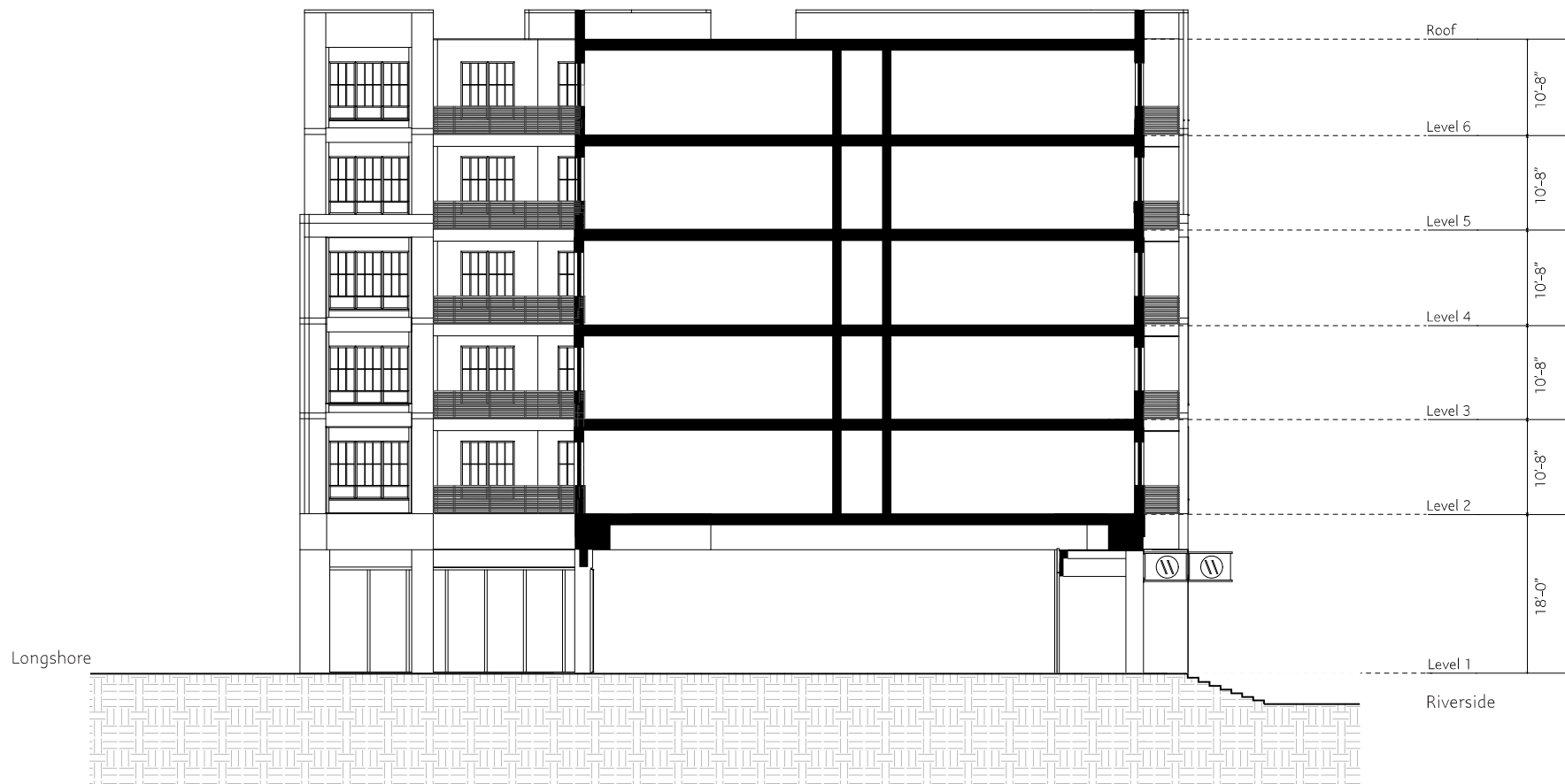
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Residential "B" - Roof Plan | Bridge North Development





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Residential "B" - Section | Bridge North Development



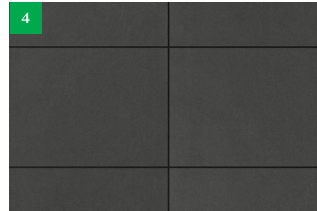
1. CAST STONE



2. LIGHT BRICK



3. BROWN BRICK BLEND



4. FIBER CEMENT



5. MILLENNIUM TILE



6. METAL PANEL



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Residential "B" - West Elevation | Bridge North Development



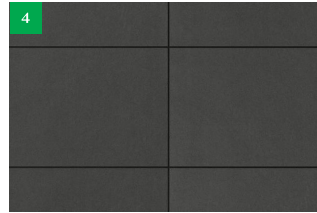
1. CAST STONE



2. LIGHT BRICK



3. BROWN BRICK BLEND



4. FIBER CEMENT



5. MILLENNIUM TILE



6. METAL PANEL



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Residential "B" - North Elevation | Bridge North Development



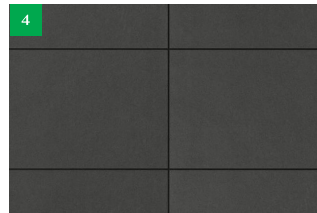
1. CAST STONE



2. LIGHT BRICK



3. BROWN BRICK BLEND



4. FIBER CEMENT



5. MILLENNIUM TILE



6. METAL PANEL



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DAIMLER



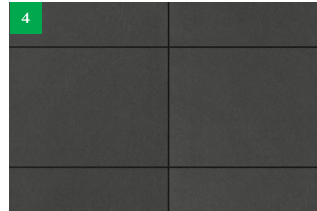
1. CAST STONE



2. LIGHT BRICK



3. BROWN BRICK BLEND



4. FIBER CEMENT



5. MILLENNIUM TILE



6. METAL PANEL



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A1. Street Frontage

	<u>Allowable:</u>	<u>Actual:</u>
Multiple Principal Buildings:	Permitted	Complies
Front Property Line Coverage:	Minimum 75%	53%
Occupation of Corner:	Required	Complies
Front RBZ:	0-15 ft.	Complies
Corner Side RBZ:	0-15 ft.	Complies
RBZ Treatment:	Landscape, Patio, or street-scape; along West Dublin-Granville Road, Street-scape Required	Complies
Right-of-Way Encroachment:	Awnings, Canopies, eaves, patios & signs	Complies

A2. Buildable Area

	<u>Allowable:</u>	<u>Actual:</u>
Minimum Side Yard Setback:	5 ft.	Complies
Minimum Rear Yard Setback:	5 ft.	Complies
Minimum Lot Width:	50 ft.	Complies; 115 ft.
Max. Impervious Coverage:	80%	94.7%
Additional Semi-Impervious Coverage:	10%	N/A

A3. Parking Location & Loading

	<u>Allowable:</u>	<u>Actual:</u>
Parking Location:	Rear yard; within building	N/A
Loading Facility Location:	Rear & side Facade	N/A
Entry for Parking within Building:	Rear & side Facade Corner side Facade	N/A
Access:	Refer to 153.062	Complies

B. Height

	<u>Allowable:</u>	<u>Actual:</u>
Minimum Height:	3 stories	6 stories
Maximum Height:	6 stories	6 stories
Ground story:	12 ft.-16 ft.	18'
Stories:	10-14 ft.	Complies; 10'-8"

C. Uses & Occupancy Requirements

	<u>Allowable:</u>	<u>Actual:</u>
Ground Story:	Residential and general office uses are prohibited	Complies
Upper Story:	No requirements	Complies
Parking within Building:	Permitted	N/A
Occupied Space:	Min. 30 ft. facing Street	Complies

D1. Street Facade Transparency

	<u>Allowable:</u>	<u>Actual:</u>
Ground Story Street Facing Transparency:	Min. 60% required	Ref. Elevations
Transparency:	Min. 30%	Complies
Blank Wall Limitation:	Required	Complies

D2. Non-Street Facade Transparency

	<u>Allowable:</u>	<u>Actual:</u>
Transparency:	Min. 15%	Complies
Blank Wall Limitation:	Required	Complies

D3. Building Entrance

	<u>Allowable:</u>	<u>Actual:</u>
Principal Entrance Location:	Primary Street	Complies
Street Facades: Number of Entrances:	1 per 75'	Complies
Parking Lot Facades:	1 per 100'	N/A
Mid-Building Pedestrianway:	In shopping corridors; Required for building greater than 250' in length	N/A

D4. Facade Divisions


	<u>Allowable:</u>	<u>Actual:</u>
Vertical Increments:	No greater than 45'	Ref. Elevations
Horizontal Facade Division:	On building 3 stories or taller, required with 3' of top of the ground story Required at any building step-back.	Complies
Required Change in Roof: Plane or Type	None;	N/A

D5. Facade Materials

	<u>Allowable:</u>	<u>Actual:</u>
Permitted Primary Materials:	Stone, Brick, Glass	Ref. Elevations

D6. Roof Types

	<u>Allowable:</u>	<u>Actual:</u>
Permitted Types:	Parapet, Pitched roof, flat roof, other types may be permitted with approval	Complies
Tower:	Permitted on facades only at terminal vistas, corners at two principal frontage streets	Complies

 Potential Waiver Request



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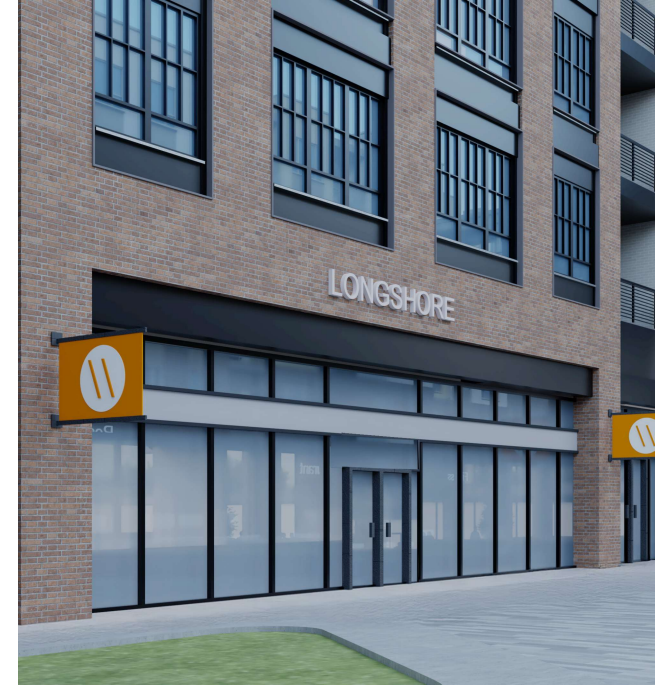
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1. Tellis



2. Canopy



3. no canopy

Retailers may choose from one of the approved storefront options for installation, in order to maintain visual variety across the overall streetscape within the Bridge North development.



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<u>MATERIAL TYPE:</u>		<u>FACADE REQUIREMENTS:</u>		<u>UPPER STORY:</u>	
WEST FACADE TOTAL AREA		21,742 SF	STREET FACADE:		YES
			PRINCIPAL ENTRANCE:		YES
<u>PRIMARY</u>		GLAZING (WINDOWS & DOORS)	7,478 SF	<u>NUMBER OF ENTRANCES:</u>	
<u>PRIMARY</u>		BRICK	5,833 SF	REQUIRED:	
<u>PRIMARY</u>		CAST STONE	1,989 SF	1 PER 75'-0" OF FACADE	
<u>SECONDARY</u>		MILLENNIUM TILE	1,579 SF	TOTAL FACADE LENGTH:	
<u>SECONDARY</u>		METAL/FIBER CEMENT	4,336 SF	273'-9"	
<u>SECONDARY</u>		LOUVERS/GLAZING/METAL	527 SF	REQUIRED:	
		(TBD PER TENANT REQ. -UPPER PORTION OF GROUND FLOOR STOREFRONTS)		273'-9" / 75 = 4 (3.64 ROUNDED UP)	
				PROVIDED:	
				4	
<u>PRIMARY MATERIAL TOTAL:</u>		15,300 SF	<u>GROUND STORY:</u>		
REQUIRED:		80%	HEIGHT: (VARIES)		
PROVIDED:		70% (15,300 / 21,742 = .703)	24'-6" (NORTH)		
			18'-0" (CENTER)		
			20'-6" (SOUTH)		
			GROUND STORY TOTAL AREA:		5,691 SF
<u>SECONDARY MATERIAL TOTAL:</u>		6,442 SF	<u>GROUND STORY TRANSPARENCY:</u>		
REQUIRED:		<20%	GROUND STORY TRANSPARENCY ZONE:		1,642 SF
PROVIDED:		30% (6,442 / 21,742 = .296)	(2'-0" TO 8'-0" ABOVE GRADE)		
			GROUND STORY GLAZING AREA:		828 SF
			(2'-0" TO 8'-0" ABOVE GRADE)		
			TRANSPARENCY REQUIRED:		60%
			TRANSPARENCY PROVIDED:		50%
			<u>UPPER STORY TRANSPARENCY:</u>		
			UPPER STORY TRANSPARENCY ZONE:		2,920 SF (FLOOR TO FLOOR 02-06)
			UPPER STORY GLAZING AREA:		935 SF (FLOOR TO FLOOR 02-06)
			TRANSPARENCY REQUIRED:		30%
			TRANSPARENCY PROVIDED:		32%
			<u>BLANK WALL LIMITATIONS:</u>		
			REQUIRED:		YES
			PROVIDED:		YES
			<u>VERTICAL FACADE DIVISIONS:</u>		
			REQUIRED:		YES (NO GREATER THAN 45'-0" INCREMENTS)
			PROVIDED:		YES, ONE GREATER THAN 45'-0"
			<u>HORIZONTAL FACADE DIVISIONS:</u>		
			REQUIRED:		YES (WITHIN 3'-0" TO TOP OF GROUND STORY)
			PROVIDED:		YES, MATERIAL TYPE CHANGE

Potential Waiver Request

Potential Waiver Request



MATERIALS LEGEND

PRIMARY MATERIALS

- BRICK
- CAST STONE
- GLAZING
- TRANSPARENCY ZONE GLAZING

SECONDARY MATERIALS

- METAL / FIBER CEMENT
- FUTURE LOUVERS / METAL
- MILLENNIUM TILE

KEYPLAN

BUILDING B



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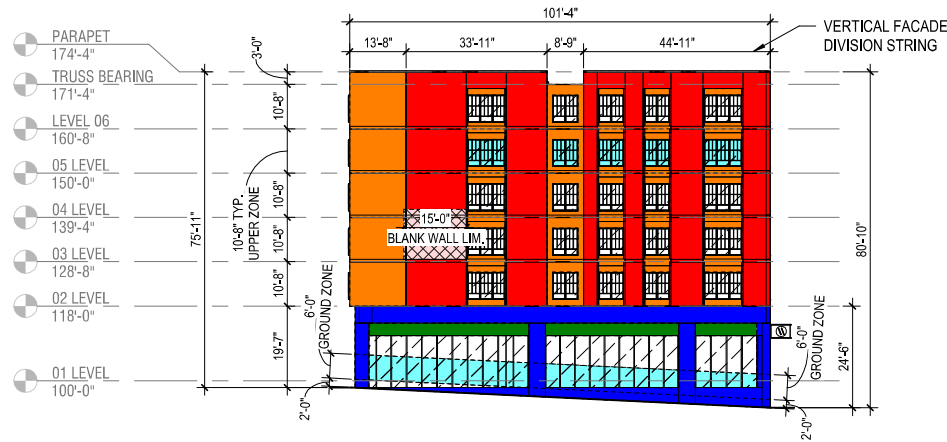


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Residential "B" - Exterior Elevation Transparency Studies - West | Bridge North Development

MATERIAL TYPE:		FACADE REQUIREMENTS:		UPPER STORY:		
NORTH FACADE TOTAL AREA		7,885 SF	STREET FACADE:		10'-8"	
			PRINCIPAL ENTRANCE:		1,080 SF (EA. FLOOR 02-06)	
			NUMBER OF ENTRANCES: REQUIRED: NO - NOT A PRIMARY STREET FACADE TOTAL FACADE LENGTH: 101'-4" REQUIRED: 0 PROVIDED: 0			
PRIMARY	GLAZING (WINDOWS & DOORS)	2,236 SF				
PRIMARY	BRICK	2,875 SF				
PRIMARY	CAST STONE	888 SF				
SECONDARY	MILLENNIUM TILE	0 SF				
SECONDARY	METAL/FIBER CEMENT	1,635 SF	UPPER STORY TRANSPARENCY: UPPER STORY TRANSPARENCY ZONE: 1,080 SF (FLOOR TO FLOOR 02-06) UPPER STORY GLAZING AREA: 234 SF (FLOOR TO FLOOR 02-06) TRANSPARENCY REQUIRED: 15% TRANSPARENCY PROVIDED: 22%			
SECONDARY	LOUVERS/GLAZING/METAL	251 SF				
(TBD PER TENANT REQ.						
-UPPER PORTION OF GROUND						
FLOOR STOREFRONTS)						
PRIMARY MATERIAL TOTAL:		5,999 SF	GROUND STORY:			
REQUIRED: 80%			HEIGHT (VARIES):		19'-7" (EAST)	
PROVIDED: 76% (5,999 / 7,885 = .760)			GROUND STORY TOTAL AREA:		2,205 SF	
			GROUND STORY TRANSPARENCY: GROUND STORY TRANSPARENCY ZONE: 600 SF (2'-0" TO 8'-0" ABOVE GRADE) GROUND STORY GLAZING AREA: 444 SF (2'-0" TO 8'-0" ABOVE GRADE) TRANSPARENCY REQUIRED: 15% TRANSPARENCY PROVIDED: 74%			
SECONDARY MATERIAL TOTAL:		1,886 SF				
REQUIRED: <20%						
PROVIDED: 24% (2,156 / 7,885 = .239)						
			BLANK WALL LIMITATIONS:			
			REQUIRED:		YES	
			PROVIDED:		NO	
			VERTICAL FACADE DIVISIONS: REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS) PROVIDED: YES			
			HORIZONTAL FACADE DIVISIONS:			
			REQUIRED:		YES (WITHIN 3'-0" TO TOP OF GROUND STORY)	
			PROVIDED:		YES, MATERIAL TYPE CHANGE	
			<div>Potential Waiver Request</div>			

Potential Waiver Request



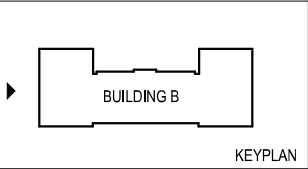
MATERIALS LEGEND

PRIMARY MATERIALS

- BRICK
- CAST STONE
- GLAZING
- TRANSPARENCY ZONE GLAZING

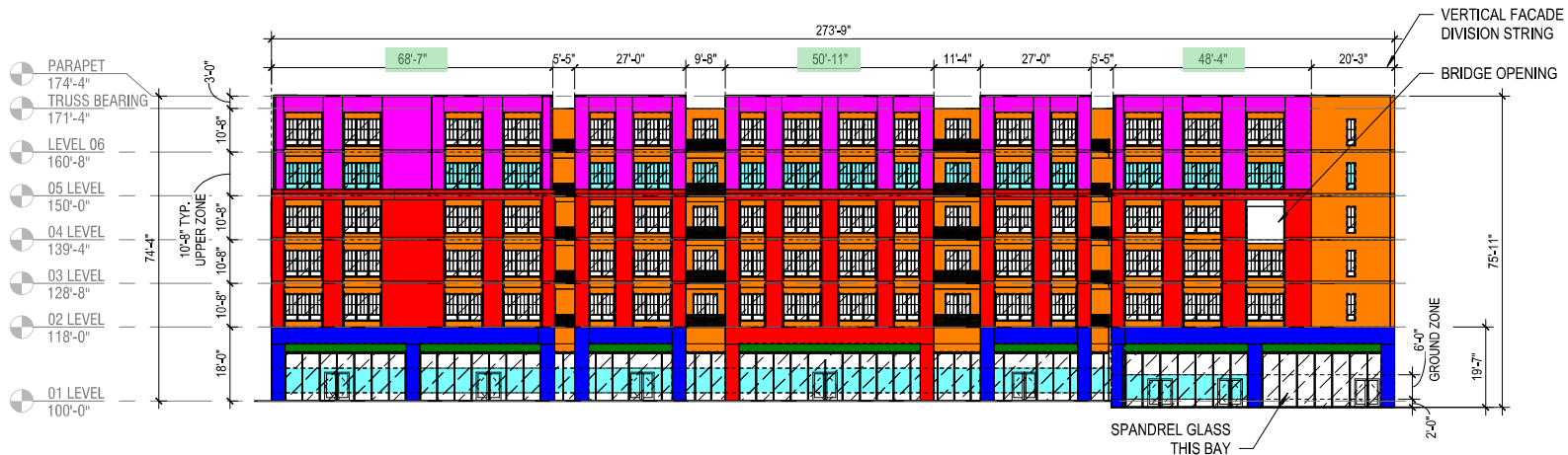
SECONDARY MATERIALS

- METAL / FIBER CEMENT
- FUTURE LOUVERS / METAL
- MILLENNIUM TILE



<u>MATERIAL TYPE:</u>		<u>FACADE REQUIREMENTS:</u>		<u>UPPER STORY:</u>	
EAST FACADE TOTAL AREA		20,358 SF	STREET FACADE:		HEIGHT: 10'-8"
			PRINCIPAL ENTRANCE:		UPPER STORY TOTAL AREA: 2,920 SF (EA. FLOOR 02-06)
PRIMARY	GLAZING (WINDOWS & DOORS)	7,359 SF	<u>NUMBER OF ENTRANCES:</u> REQUIRED: 1 PER 75'-0" OF FACADE TOTAL FACADE LENGTH: 273'-9" REQUIRED: 273'-9" / 75 = 4 (3.64 ROUNDED UP) PROVIDED: 8		<u>UPPER STORY TRANSPARENCY:</u>
PRIMARY	BRICK	3,960 SF			UPPER STORY TRANSPARENCY ZONE: 2,920 SF (FLOOR TO FLOOR 02-06)
PRIMARY	CAST STONE	1,251 SF			UPPER STORY GLAZING AREA: 891 SF (FLOOR TO FLOOR 02-06)
SECONDARY	MILLENNIUM TILE	2,725 SF			TRANSPARENCY REQUIRED: 30%
SECONDARY	METAL/FIBER CEMENT	4,655 SF			TRANSPARENCY PROVIDED: 31%
SECONDARY	LOUVERS/GLAZING/METAL	408 SF	<u>GROUND STORY:</u> HEIGHT: (VARIES) 18'-0" (SOUTH & CENTER) 19'-7" (NORTH) GROUND STORY TOTAL AREA: 5,039 SF <u>GROUND STORY TRANSPARENCY:</u> GROUND STORY TRANSPARENCY ZONE: 1,642 SF (2'-0" TO 8'-0" ABOVE GRADE) GROUND STORY GLAZING AREA: 1,228 SF (2'-0" TO 8'-0" ABOVE GRADE) TRANSPARENCY REQUIRED: 60% TRANSPARENCY PROVIDED: 75%		<u>BLANK WALL LIMITATIONS:</u>
(TBD PER TENANT REQ.					REQUIRED: YES
-UPPER PORTION OF GROUND					PROVIDED: YES
FLOOR STOREFRONTS)					<u>VERTICAL FACADE DIVISIONS:</u>
					REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS)
					PROVIDED: YES - SOME GREATER THAN 45'-0"
					<u>HORIZONTAL FACADE DIVISIONS:</u>
					REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)
					PROVIDED: YES, MATERIAL TYPE CHANGE
<u>PRIMARY MATERIAL TOTAL:</u>		12,570 SF	<div>Potential Waiver Request</div>		
REQUIRED: 80%					
PROVIDED: 62% (12,570 / 20,358 = .617)					
<u>SECONDARY MATERIAL TOTAL:</u>		7,788 SF			
REQUIRED: <20%					
PROVIDED: 38% (7,788 / 20,358 = .382)					

Potential Waiver Request



MATERIALS LEGEND

PRIMARY MATERIALS

- BRICK
- CAST STONE
- GLAZING
- TRANSPARENCY ZONE GLAZING

SECONDARY MATERIALS

- METAL / FIBER CEMENT
- FUTURE LOUVERS / METAL
- MILLENNIUM TILE

KEYPLAN

BUILDING B

WAIVER SUMMARY - Residential “B” Building (Corridor Building Type)

- Waiver Requests highlighted in green.

1) A1. Building Siting:

Minimum Front Property Line Coverage is 75%.

- The actual Front Property Line Coverage is 53%.

2) A2. Buildable Area:

Maximum Impervious Coverage allowable is 80%.

- The actual impervious coverage is 94.7%.

3) B. Height

- Ground story height is 18', which is taller than the maximum 16'.

4) D1. Street Facade Transparency

- The requirement of 60% transparency is not met on the West façade ground story, with a transparency of 57% provided. This is due to the elevation difference in grade between East and West on this site and the building's finish floor needing to be higher to match the East site grading.

5) D4. Facade Divisions

- Requirement exceeded above the corner balcony at East façade, and central area from East and West facades. The reason for this departure is the vertical façade division at the central area is driven by unit width, and aesthetically to create a more balanced and symmetrical façade.

6) D5. Facade Materials

- Secondary materials exceed requirements on all facades. Composite metal panels and fiber cement are used along with brick, stone, and glass, to add visual interest and material contrast and rhythm to the building. They are also used to incorporate a visually lighter 'top' to the building along the East and West façade.



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Residential "B" - Riverside Elevation | Bridge North Development



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Residential "B" - From Central Plaza | Bridge North Development