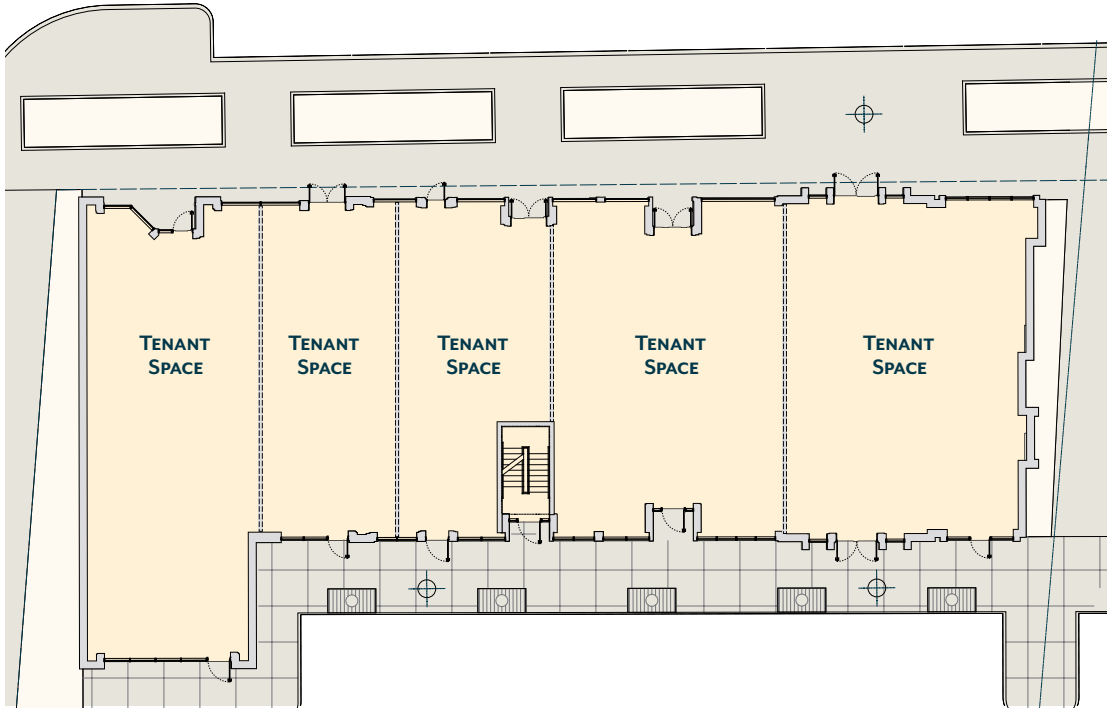


BUILDING A Historic Mixed Use: 1st Floor Retail, 2nd Floor Office

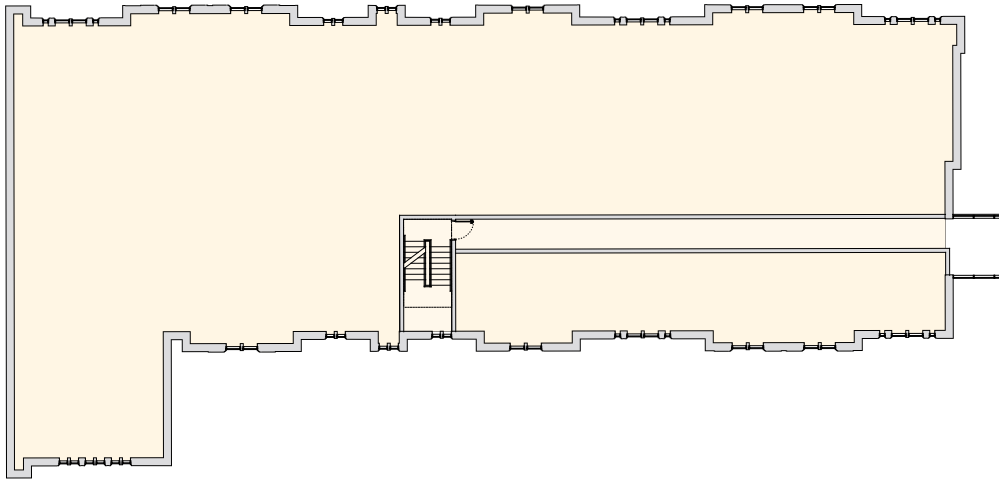
Heights	Required Min. 1.5 stories Max 2.5 stories	Provided 33'-4"	Compliance Yes
Max ground story height	12 ft max	16 ft	Not in Compliance
Max upper story Height	12 ft max	10 ft	Yes
Building Entrance	1 per 40 ft. of façade for buildings over 60 ft. Min.		Yes
Mid-Building Pedestrian way	Required for buildings greater than 150 ft. in length	160 ft	Not in Compliance
Vertical Division	Vertical Increments No greater than 30 ft		Yes
Roof types	Pitched roof; other types permitted with approval	See Elevations	Yes
Proposed Block Length	300 ft	161 ft	

Transparency

Story	Orientation	Glazing/ Opening (SF)	Wall Area (SF)	% Open/ Transparent	Conform
Ground	South	724	967	74.9%	Pass
Level 2	South	530	1718	30.8%	Pass
Ground	East	85	471	18.0%	Pass
Level 2	East	137	681	15.0%	Pass
Ground	West	72	471	15.3%	Pass
Level 2	West	115	681	15.5%	Pass
Ground	North	759	967	78.5%	Pass
Level 2	North	570	2805	20.3%	Pass



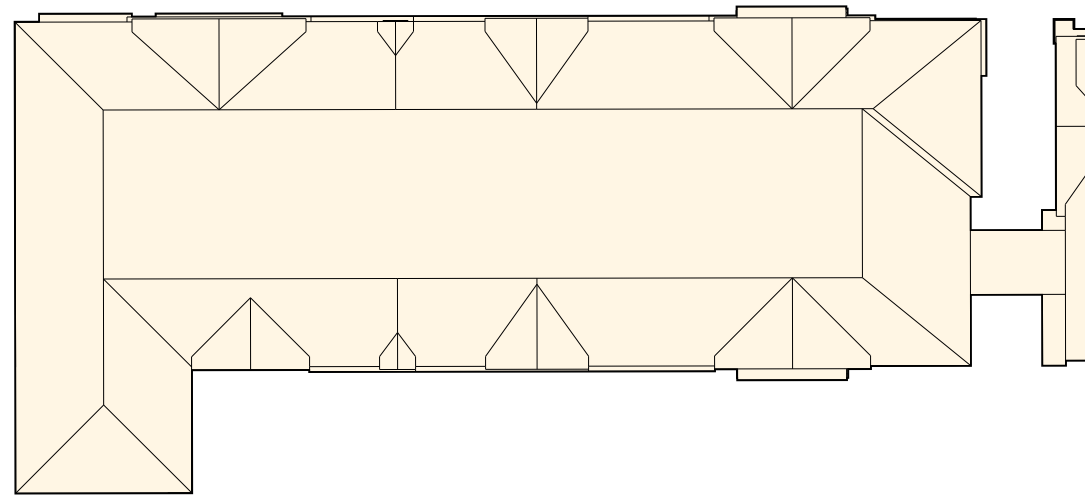
01 BUILDING A - LEVEL 1
Scale: 1/16" = 1'



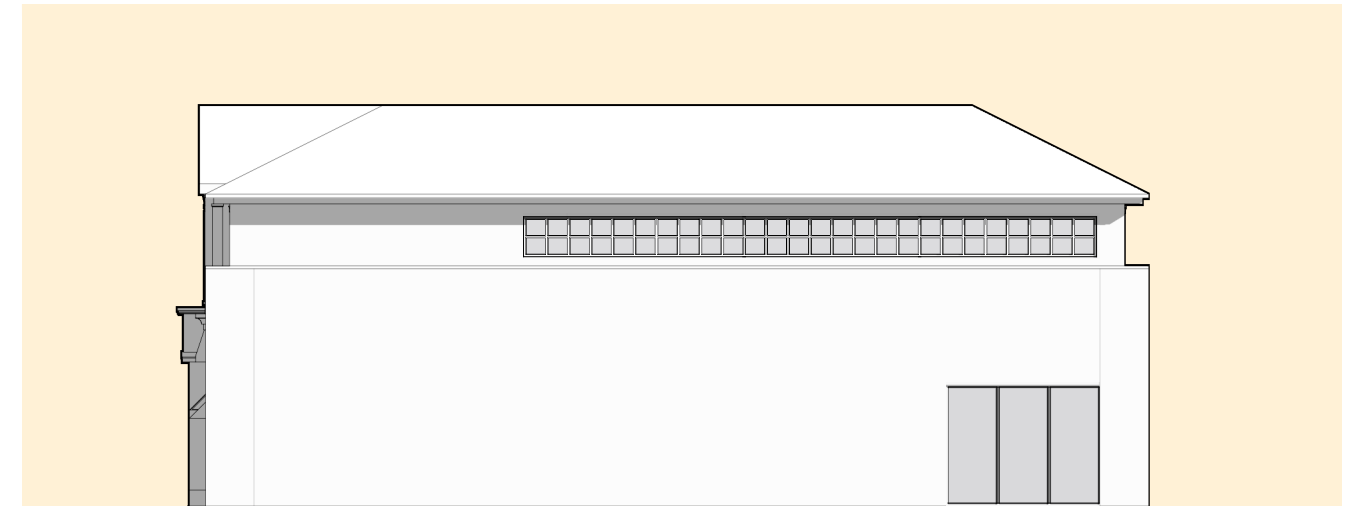
02 BUILDING A - LEVEL 2
Scale: 1/8" = 1'



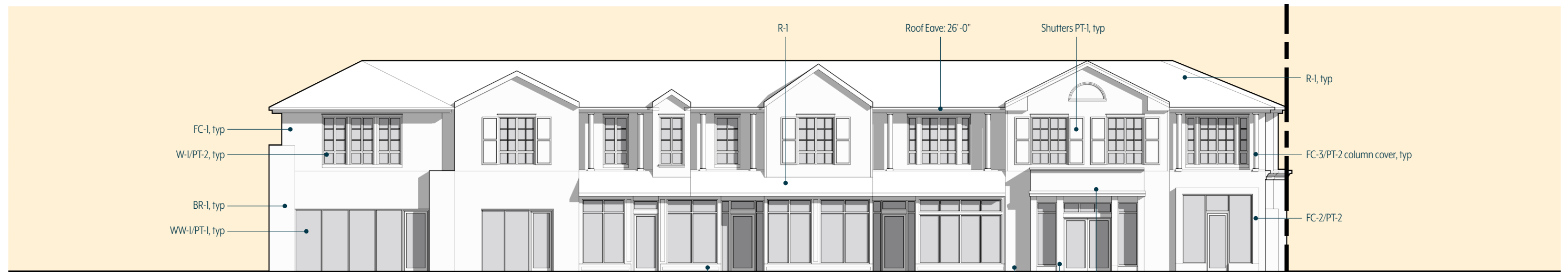
03 BUILDING A - NORTH ELEVATION
Scale: 1/8" = 1'



01 BUILDING A - ROOF PLAN
Scale: 1/16" = 1'



02 BUILDING A - WEST ELEVATION
Scale: 1/8" = 1'



FC-1, typ
W-1/PT-2, typ
BR-1, typ
WW-1/PT-1, typ

R-1

Roof Eave: 26'-0"

Shutters PT-1, typ

R-1, typ

FC-3/PT-2 column cover, typ

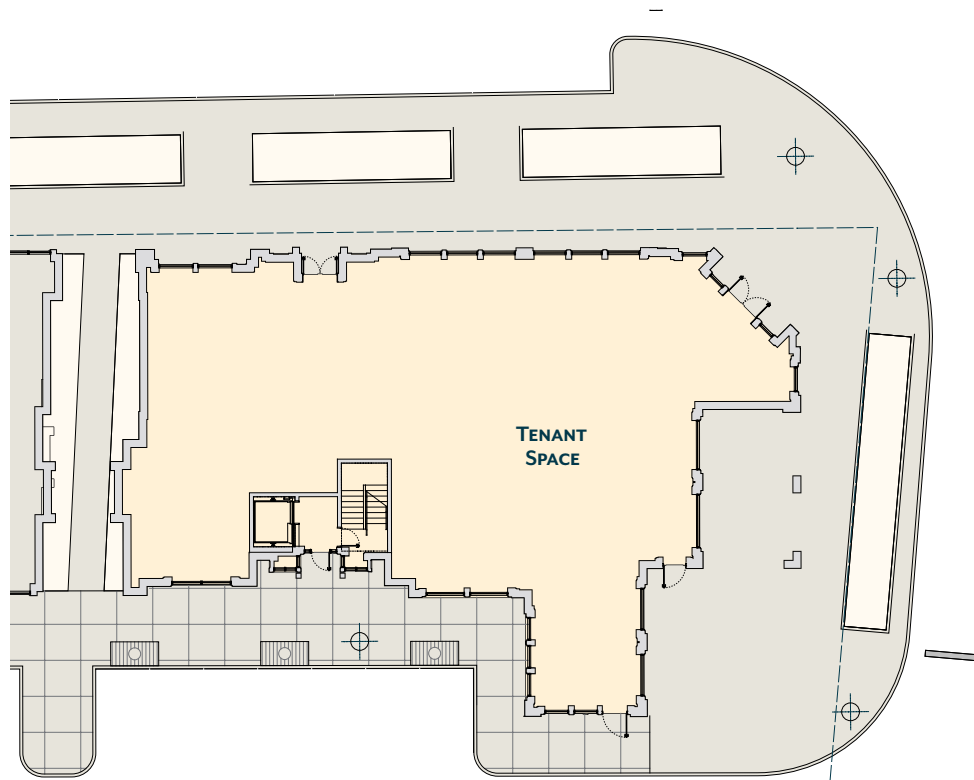
FC-2/PT-2

FC-2/PT-2, typ

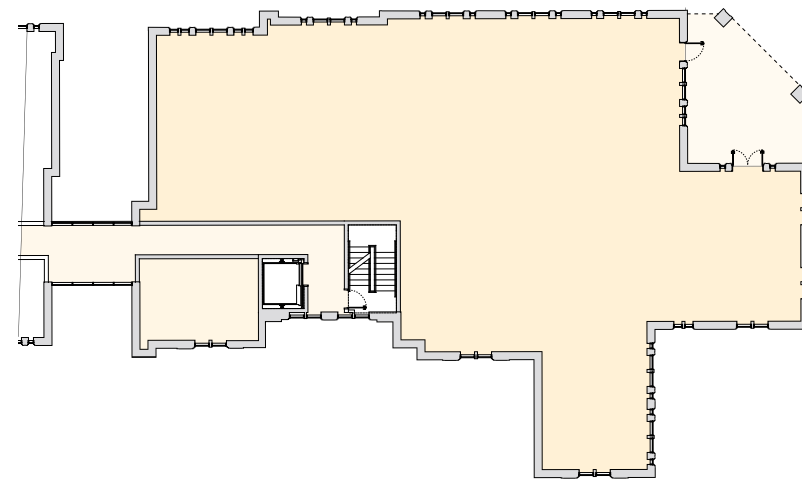
FC-1

FC-2/PT-2

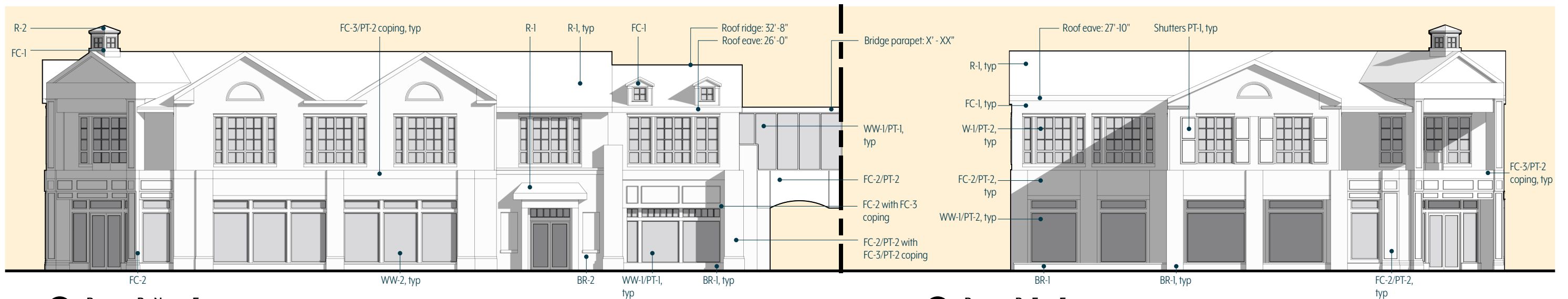
03 BUILDING A - SOUTH ELEVATION
Scale: 1/8" = 1'

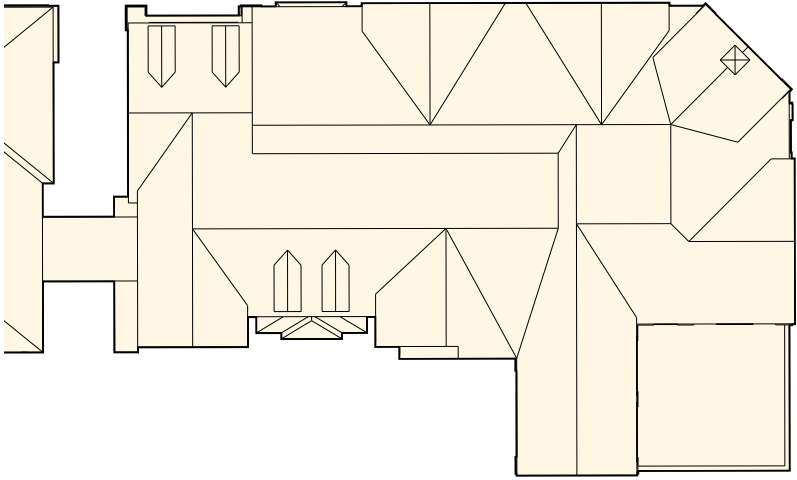


01 BUILDING B - LEVEL 1
Scale: 1/16" = 1'



02 BUILDING B - LEVEL 2
Scale: 1/16" = 1'





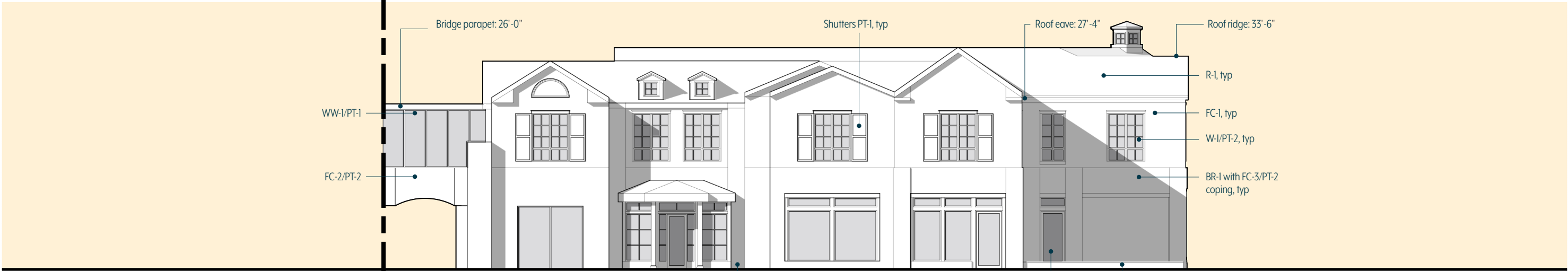
01 BUILDING B - ROOF PLAN
Scale: 1/16" = 1'

Transparency

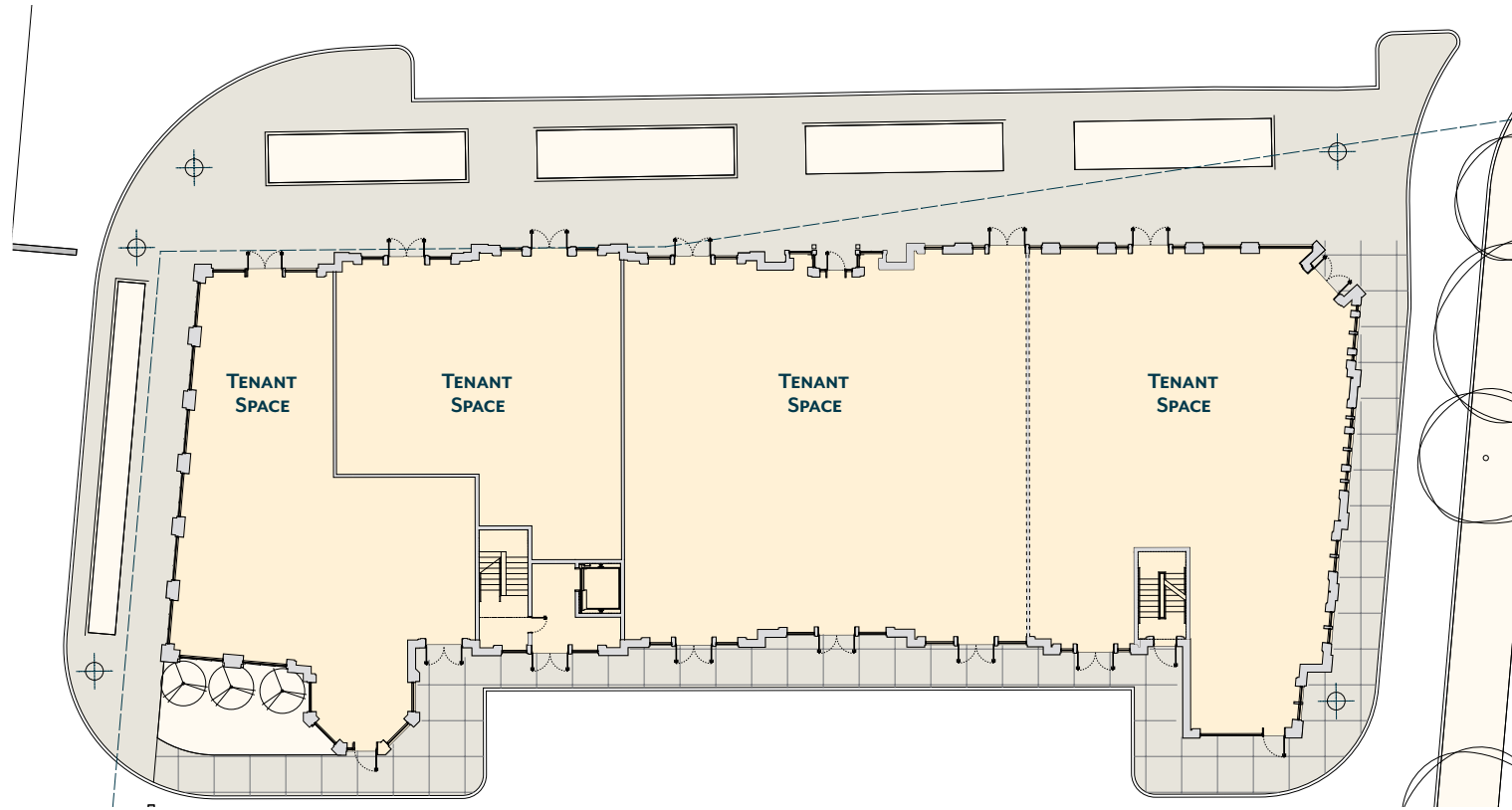
Story	Orientation	Glazing / Opening (SF)	Wall Area (SF)	% Open / Transparent	Conform
Ground	South	350	678	51.6%	Pass
Level 2	South	480	1477	32.5%	Pass
Ground	East	223	380	58.7%	Pass
Level 2	East	350	897	39.0%	Pass
Ground	West	69	380	18.2%	Pass
Level 2	West	167	897	18.6%	Pass
Ground	North	456	664	68.7%	Pass
Level 2	North	623	1446	43.1%	Pass

BUILDING B Historic Mixed Use: 1st Floor Retail, 2nd Floor Office

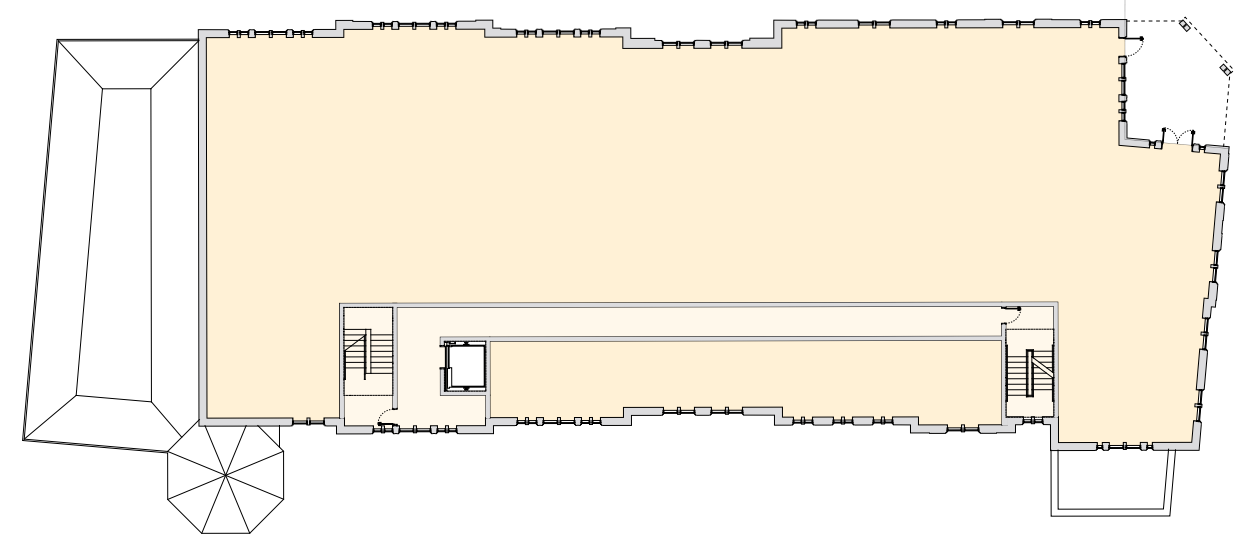
Heights	Required Min. 1-5 stories Max 2.5 stories	Provided 34'-10"	Compliance Yes
Max ground story height	12 ft max	16 ft	Not in Compliance
Max upper story Height	12 ft max	12 ft	Yes
Building Entrance	1 per 40 ft. of façade for buildings over 60 ft. Min.		Yes
Mid-Building Pedestrian way	Required for buildings greater than 150 ft. in length	110 ft	Yes
Vertical Divisions	Vertical Increments No greater than 30 ft	North Facade >30 ft	
Roof types	Pitched roof; other types permitted with approval	See Elevations	Yes
Proposed Block Length	300 ft	96'-4"	



02 BUILDING B - SOUTH ELEVATION
Scale: 1/8" = 1'



01 BUILDING C - LEVEL 1
Scale: 1/16" = 1'



02 BUILDING C - LEVEL 2
Scale: 1/16" = 1'

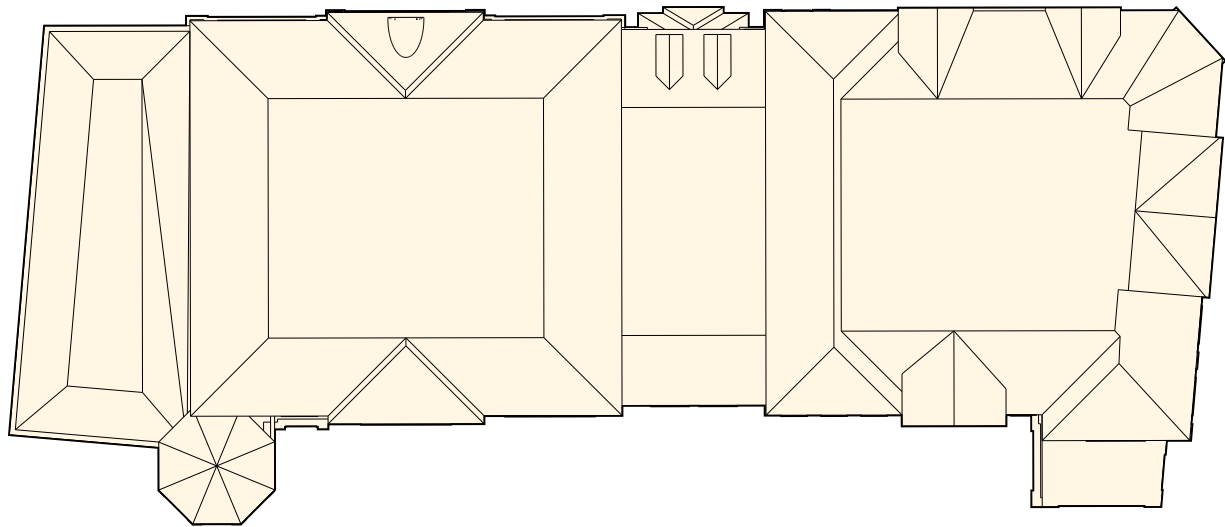


03 BUILDING C - NORTH ELEVATION
Scale: 1/8" = 1'

WW-1/PT-1

FC-3/PT-2
column covers,
typ

BR-1, with FC-3/PT-2
coping, typ



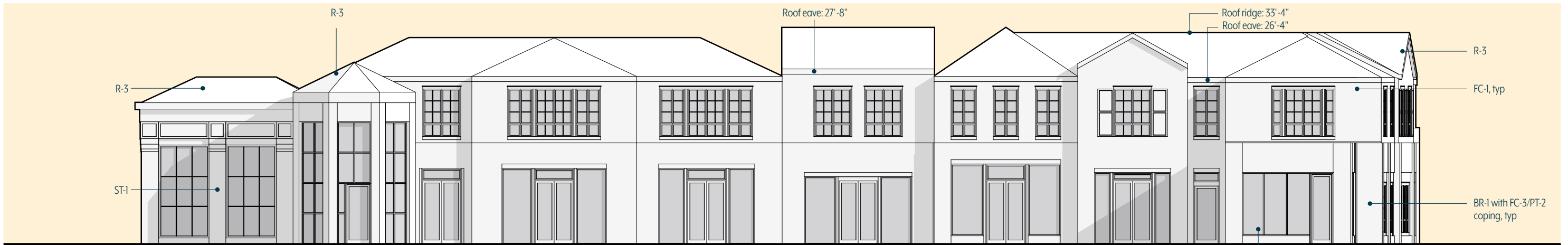
01 BUILDING C - ROOF PLAN
Scale: 1/16" = 1'

Transparency

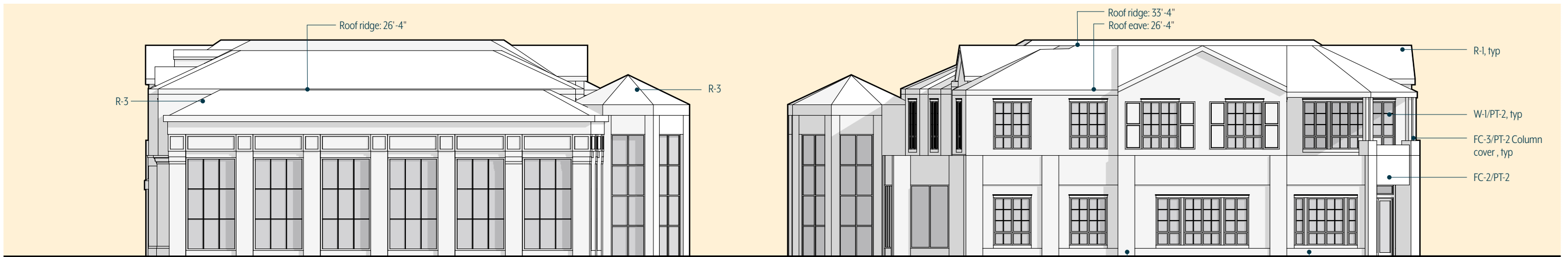
Story	Orientation	Glazing / Opening (SF)	Wall Area (SF)	% Open / Transparent	Conform
Ground	South	745	1176	63.4%	Pass
Level 2	South	595	1578	37.7%	Pass
Ground	East	352	493	71.4%	Pass
Level 2	East	290	762	38.1%	Pass
Ground	West	299	518	57.7%	Pass
Ground	North	800	1125	71.1%	Pass
Level 2	North	675	1815	37.2%	Pass

BUILDING C Historic Mixed Use: 1st Floor Retail, 2nd Floor Office

Heights	Required Min. 1.5 stories	Max 2.5 32'-6"	Compliance Yes
Max ground story height	12 ft max	16 ft	Not in Compliance
Max upper story Height	12 ft max	12 ft	Yes
Building Entrance	1 per 40 ft. of façade for buildings over 60 ft. Min.		Yes
Mid-Building Pedestrian way	Required for buildings greater than 150 ft. in length	195' -5"	Not in Compliance
Vertical Divisions	Vertical Increments No greater than 30 ft		Not in Compliance
Roof types	Pitched roof; other types permitted with approval	Pitched Roof	Yes
Proposed Block Length	300 ft	187'-10"	

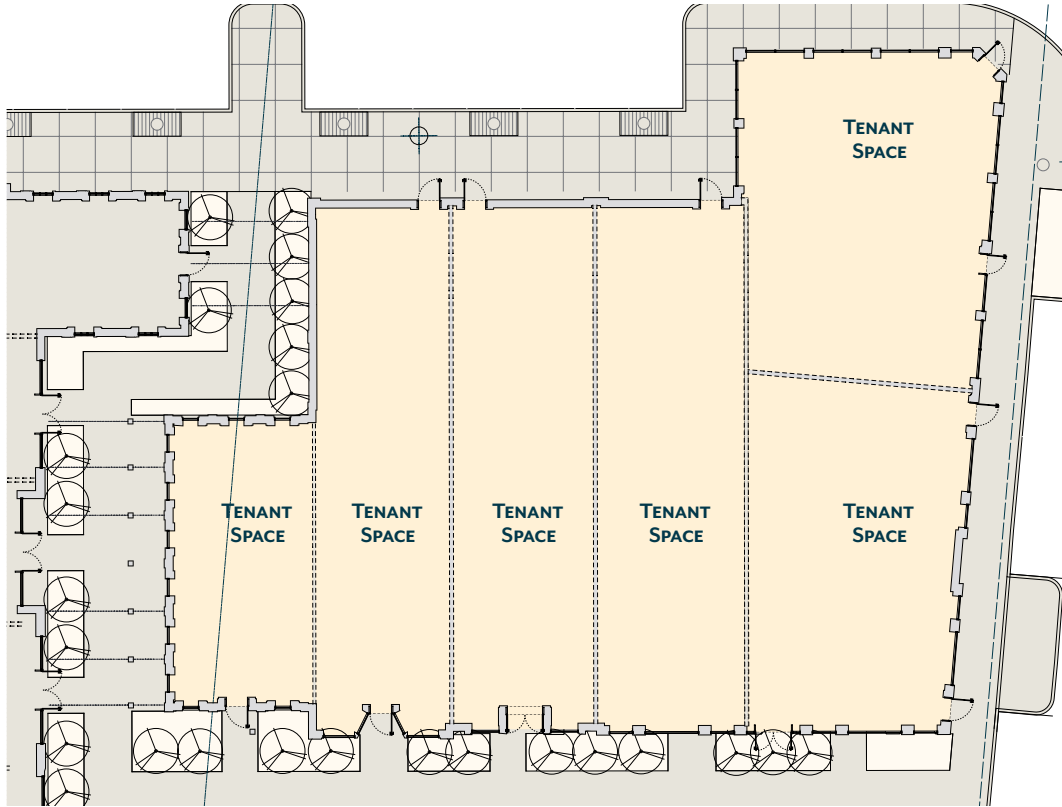


02 BUILDING C - SOUTH ELEVATION
Scale: 1/8" = 1'



03 BUILDING C - WEST ELEVATION
Scale: 1/8" = 1'

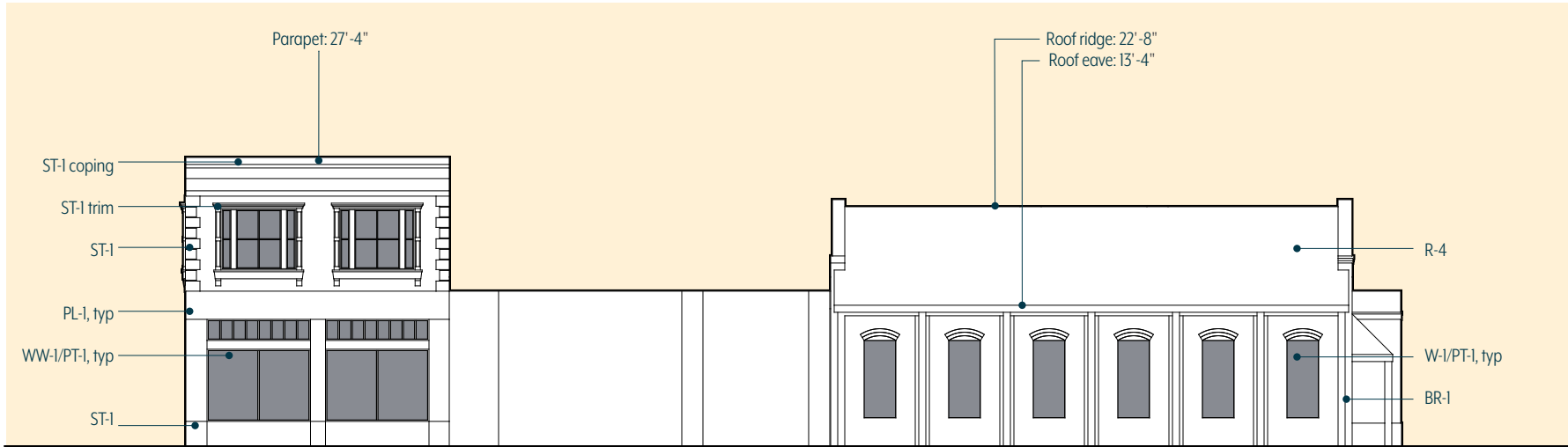
04 BUILDING C - EAST ELEVATION
Scale: 1/8" = 1'



01 BUILDING D - LEVEL 1
Scale: 1/16" = 1'

Transparency					
Story	Orientation	Glazing/ Opening (SF)	Wall Area (SF)	% Open/ Transparent	Conform
Ground	South	512	785	65.2%	Pass
Ground	East	493	687	71.8%	Pass
Ground	West-15%	208	662	31.4%	Pass
Ground	North-15%	305	816	37.4%	Pass
Proposed Block 300 ft Length				109'-11"	

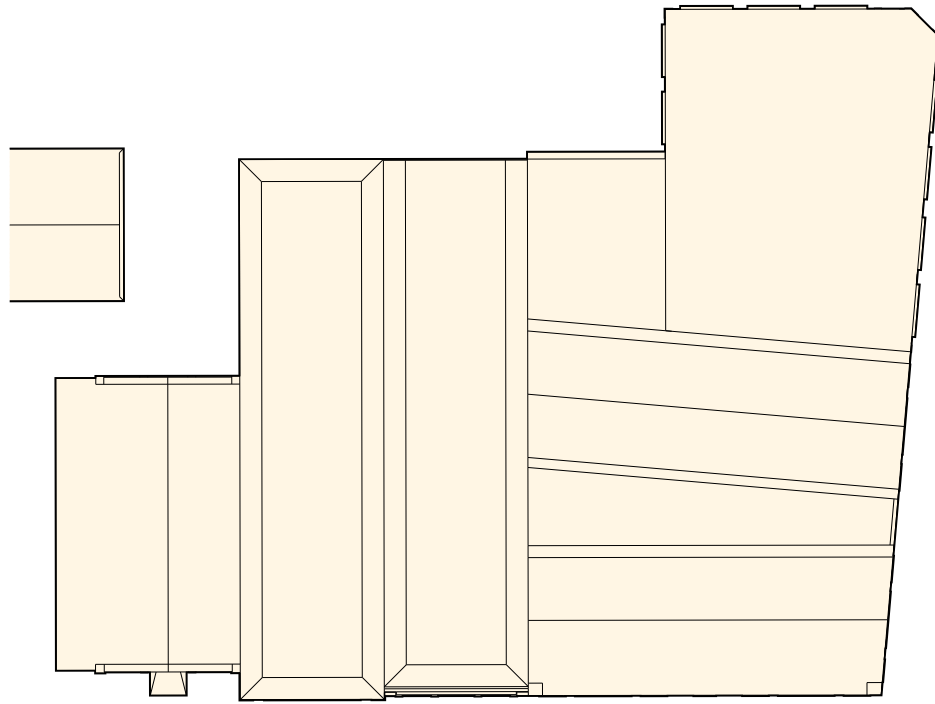
BUILDING D Historic Mixed Use: Retail			
Heights	Required Min. 1.5 stories Max 2.5 stories	Provided 37'-2"	Compliance Yes
Max ground story height	12 ft max	26 ft	Not in Compliance
Max upper story Height	12 ft max	N/A	Yes
Building Entrance	1 per 40 ft. of façade for buildings over 60 ft. Min.		Yes
Mid-Building Pedestrian way	Required for buildings greater than 150 ft. in length	106 ft	Yes
Vertical Divisions	Vertical Increments No greater than 30 ft	South & East Facade >30 ft	Not in Compliance
Roof types	Pitched roof; other types permitted with approval	See Elevations	Approval Need



02 BUILDING D - WEST ELEVATION
Scale: 1/8" = 1'



03 BUILDING D - EAST ELEVATION
Scale: 1/8" = 1'



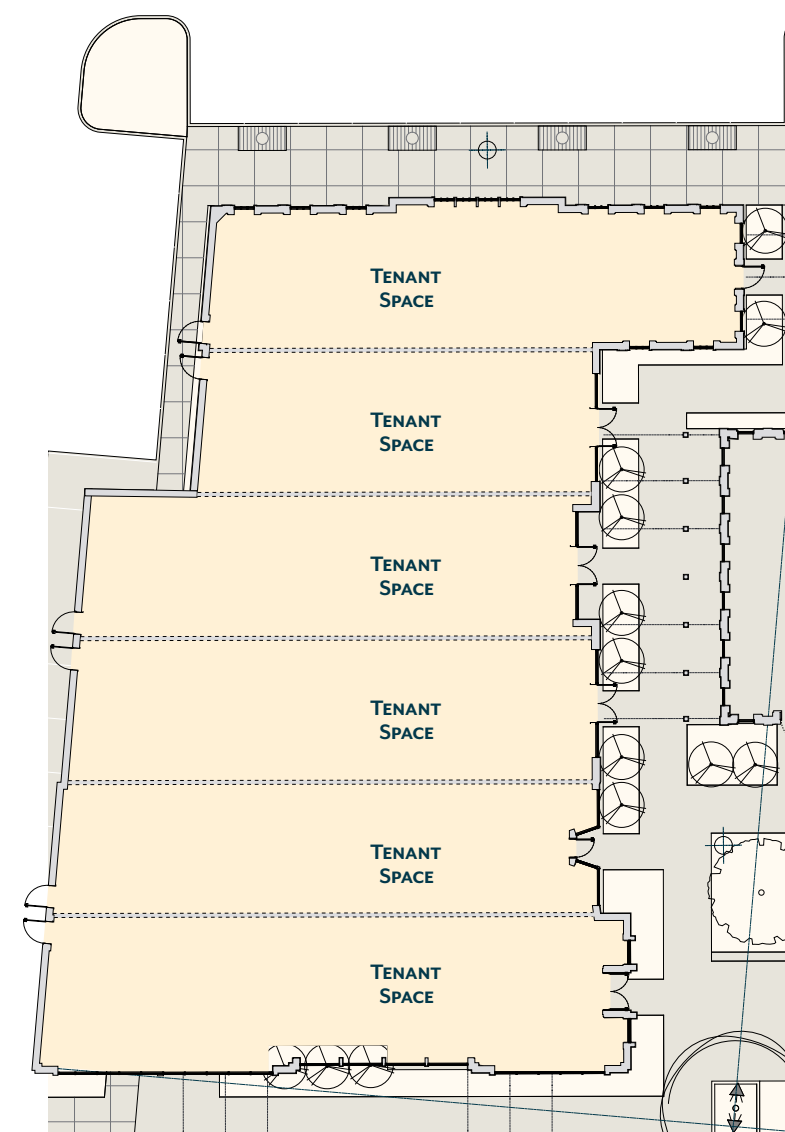
01 BUILDING D - ROOF PLAN
Scale: 1/16" = 1'



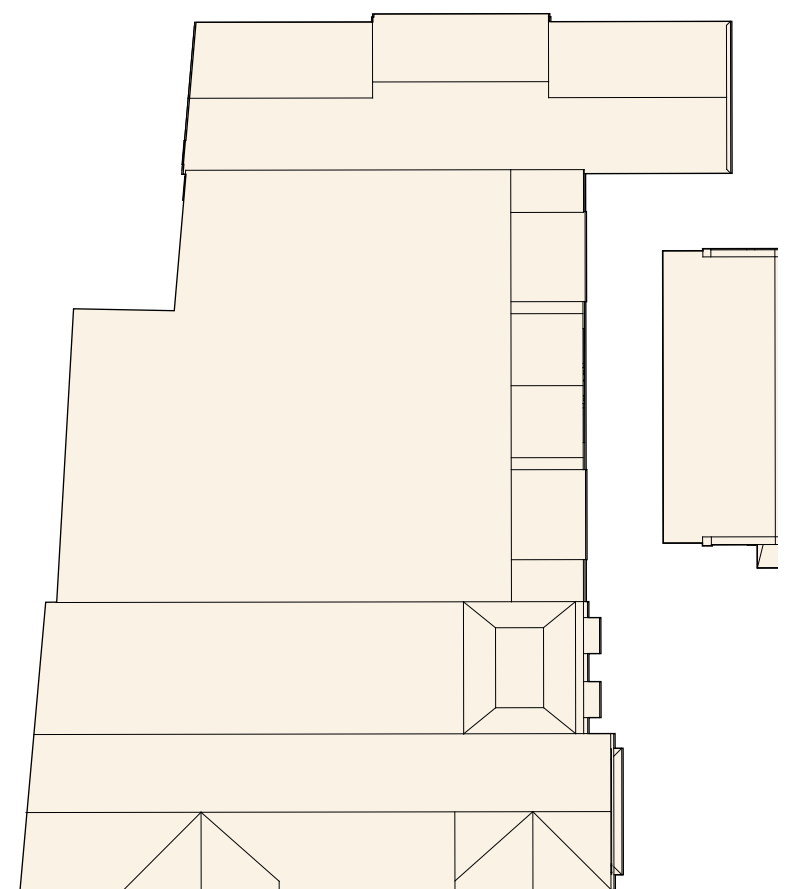
02 BUILDING D - SOUTH ELEVATION
Scale: 1/8" = 1'



03 BUILDING D - NORTH ELEVATION
Scale: 1/8" = 1'



01 BUILDING E-1 - LEVEL 1
Scale: 1/16" = 1'



02 BUILDING E-1 - ROOF PLAN
Scale: 1/16" = 1'

BUILDING E-1 Historic Mixed Use: Retail

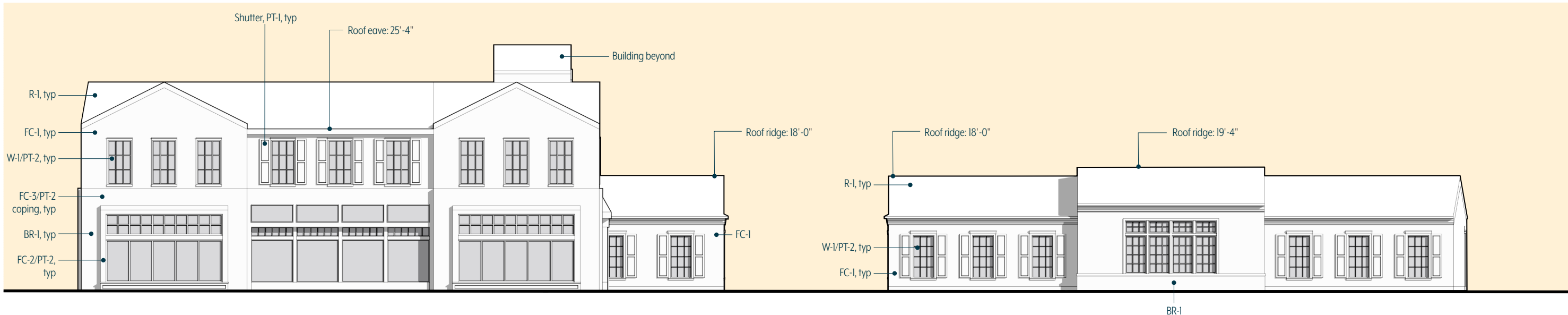
	Required	Provided	Compliance
Heights	Min. 1.5 stories Max 2.5 stories	32'-8"	Yes
Max ground story height	12 ft max	24 ft	Not in Compliance
Max upper story Height	12 ft max	N/A	Yes
Building Entrance	1 per 40 ft. of façade for buildings over 60 ft. Min.		Yes
Mid-Building Pedestrian way	Required for buildings greater than 150 ft. in length	144 ft	Yes
	Vertical Increments No greater than 30 ft	East Facade >30 ft	Not in Compliance
Roof types	Pitched roof; other types permitted with approval	See Elevations	Approval Need
Proposed Block Length	300 ft	145'-1"	

Transparency

Story	Orientation	Glazing/ Opening (SF)	Wall Area (SF)	% Open/ Transparent	Conform
Ground	South	428	608	70.4%	Pass
Ground	East	558	878	63.6%	Pass
Ground	West-15%	145	871	16.7%	Pass
Ground	North-15%	206	533	38.6%	Pass



03 BUILDING E-1 - EAST ELEVATION
Scale: 1/8" = 1'

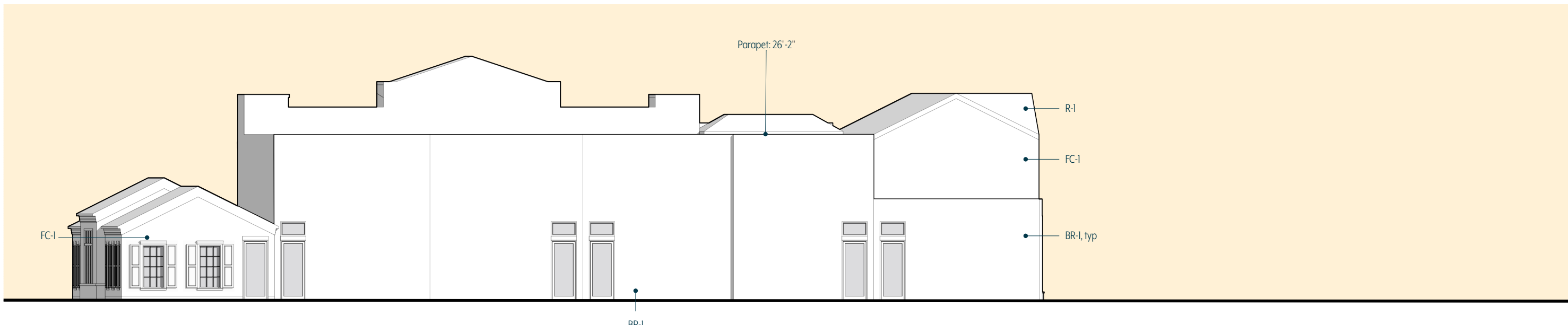


01 BUILDING E-1 - SOUTH ELEVATION

Scale: 1/8" = 1'

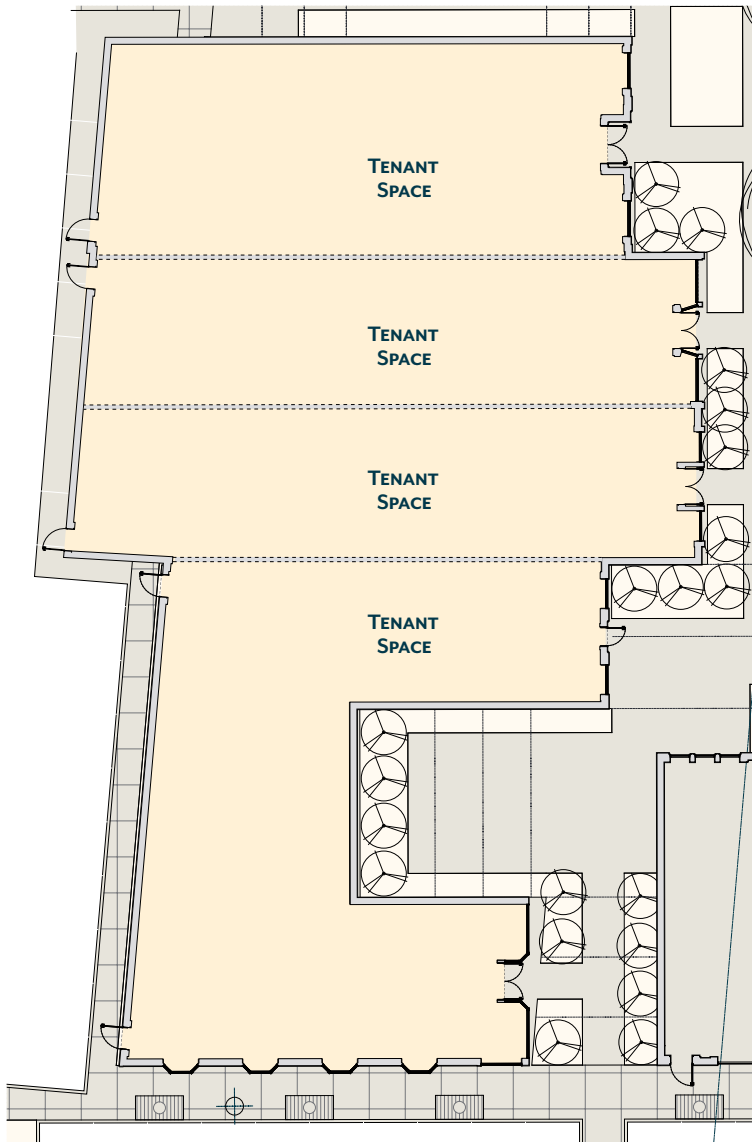
02 BUILDING E-1 - NORTH ELEVATION

Scale: 1/8" = 1'

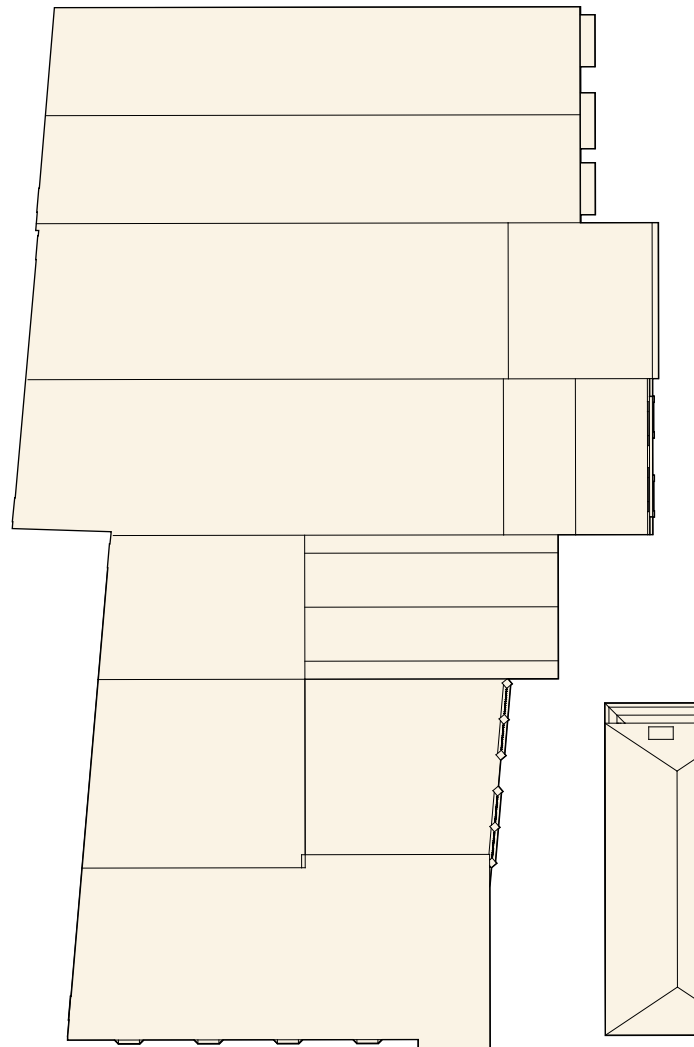


03 BUILDING E-1 - WEST ELEVATION

Scale: 1/8" = 1'



01 BUILDING E-2 - LEVEL 1
Scale: 1/16" = 1'



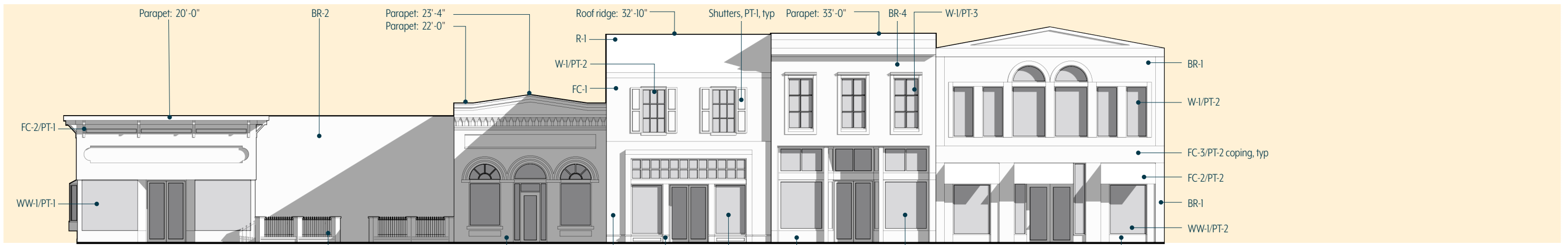
02 BUILDING E-2 - ROOF PLAN
Scale: 1/16" = 1'

BUILDING E-2 Historic Mixed Use: Retail

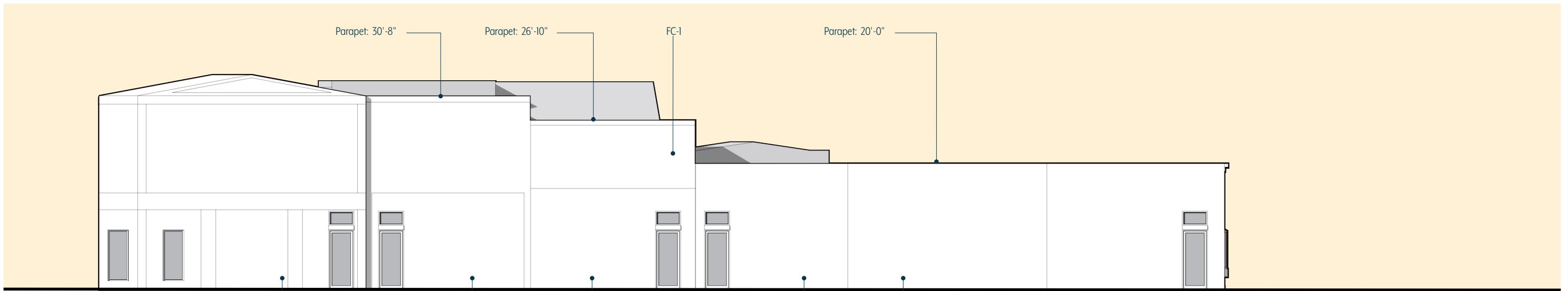
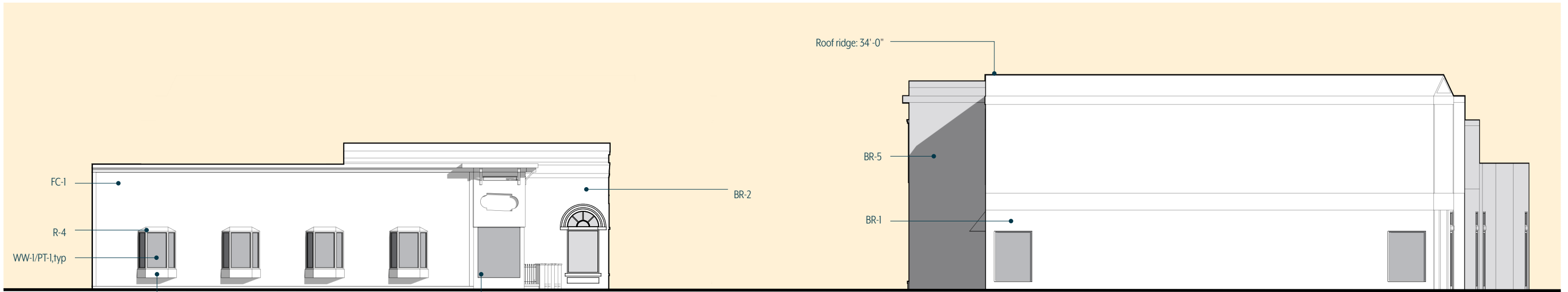
Heights	Required Min. 1.5 stories Max 2.5 stories	Provided 34'-0"	Compliance Yes
Max ground story height	12 ft max	High: 29'-4" Low: 18'-0"	Not in Compliance
Max upper story Height	12 ft max	N/A	Yes
Building Entrance	1 per 40 ft. of façade for buildings over 60 ft. Min.		Yes
Mid-Building Pedestrian way	Required for buildings greater than 150 ft. in length	170' 9"	Not in Compliance
Vertical Divisions	Vertical Increments No greater than 30 ft		Yes
Roof types	Pitched roof; other types permitted with approval	See Elevations	Approval Need
Proposed Block Length	300 ft	172'-1"	

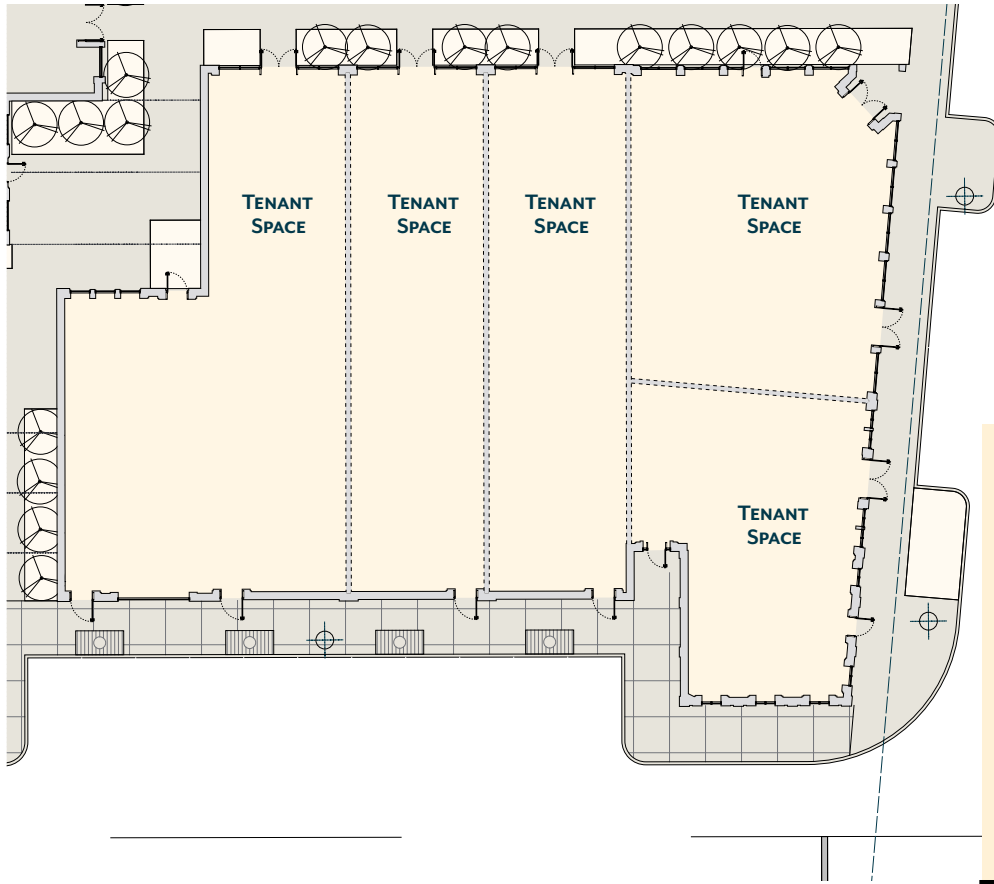
Transparency

Story	Orientation	Glazing/ Opening (SF)	Wall Area (SF)	% Open/ Transparent	Conform
Ground	South	176	409	43.1%	Pass
Ground	East	543	1029	52.8%	Pass
Ground	West-15%	138	1033	15.1%	Pass
Ground	North-15%	67.5	424	15.9%	Pass



03 BUILDING E-2 - EAST ELEVATION
Scale: 1/8" = 1'





01 BUILDING F - LEVEL 1
Scale: 1/16" = 1'



02 BUILDING F - SOUTH ELEVATION
Scale: 1/8" = 1'



03 BUILDING F - NORTH ELEVATION
Scale: 1/8" = 1'

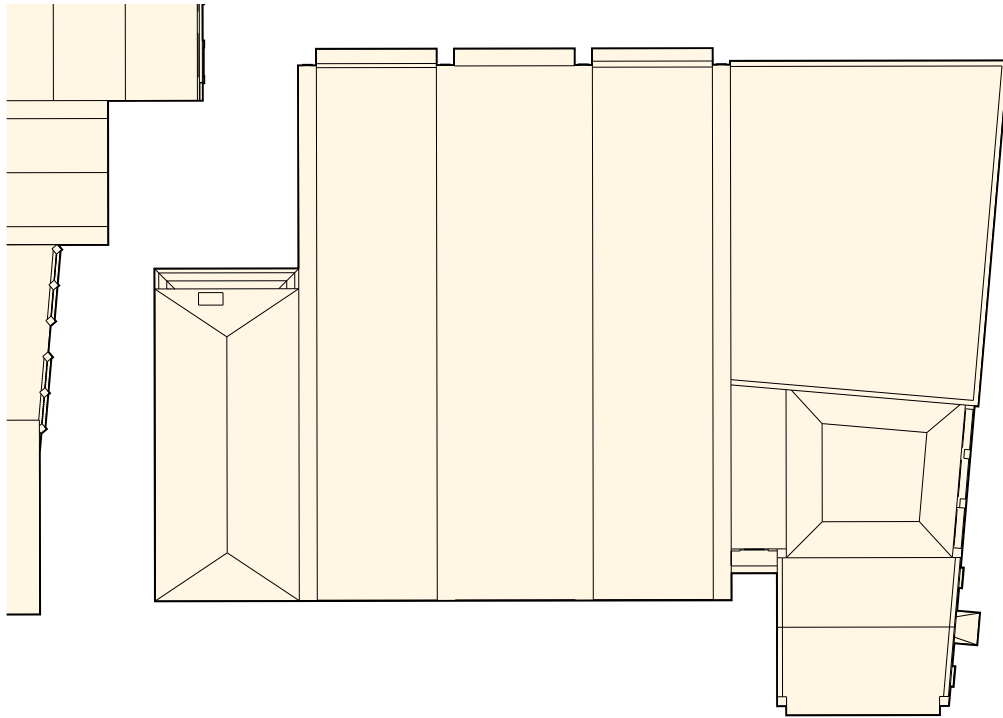
Transparency

Story	Orientation	Glazing/ Opening (SF)	Wall Area (SF)	% Open/ Transparent	Conform
Ground	South	332	794	41.9%	Pass
Ground	East	428	584	73.3%	Pass
Ground	West-15%	90	535	16.8%	Pass
Ground	North	628	800	78.5%	Pass

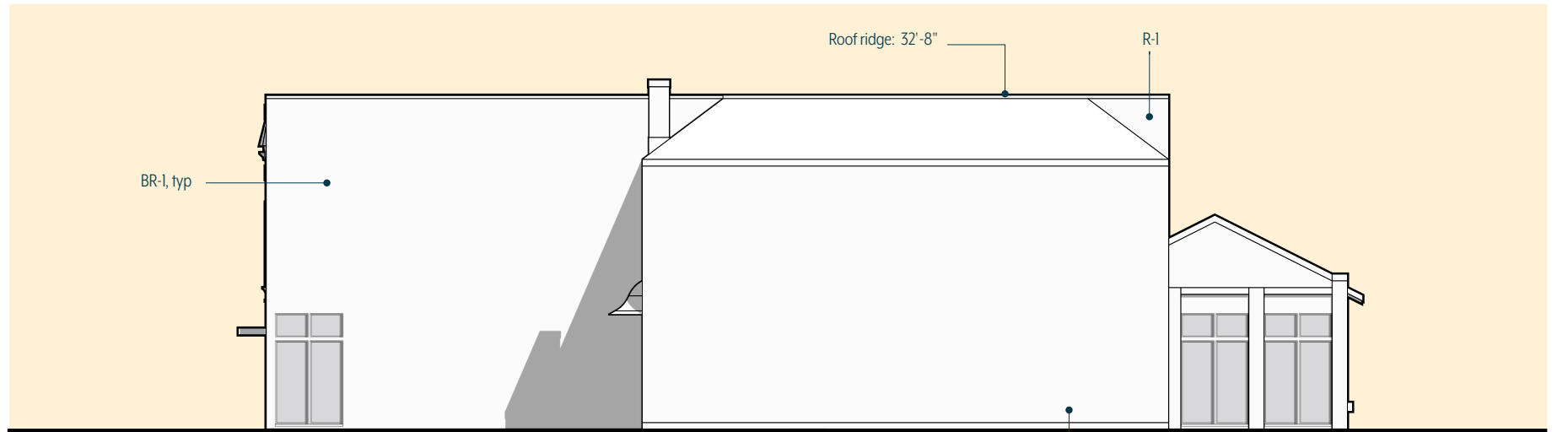
BUILDING F Historic Mixed Use: Retail

Heights	Required Min. 1.5 stories Max 2.5 stories	Provided 32'-0"	Compliance Yes
Max ground story height	12 ft max	High: 26 ft Low: 14 ft	Not in Compliance
Max upper story Height	12 ft max	N/A	Yes
Building Entrance	1 per 40 ft. of façade for buildings over 60 ft. Min.		Yes
Mid-Building Pedestrian way	Required for buildings greater than 150 ft. in length	133' 9"	Yes
Vertical Divisions	Vertical Increments No greater than 30 ft	West & North >30 ft	Not in Compliance
Roof types	Pitched roof; other types permitted with approval	See Elevations	Approval Need

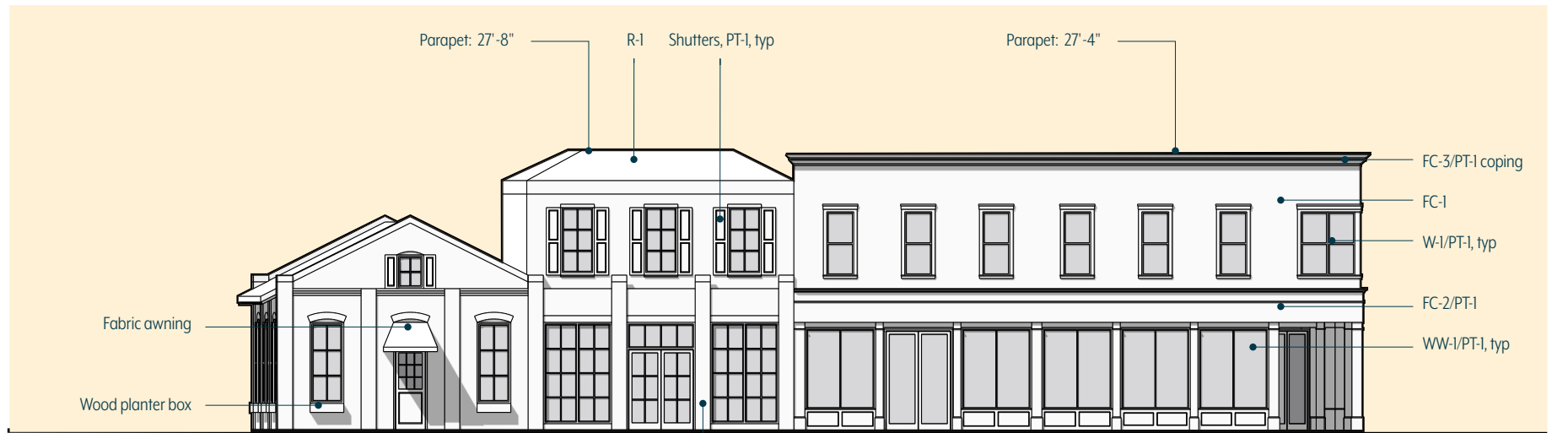
Proposed Block Length 300 ft 106'-9"



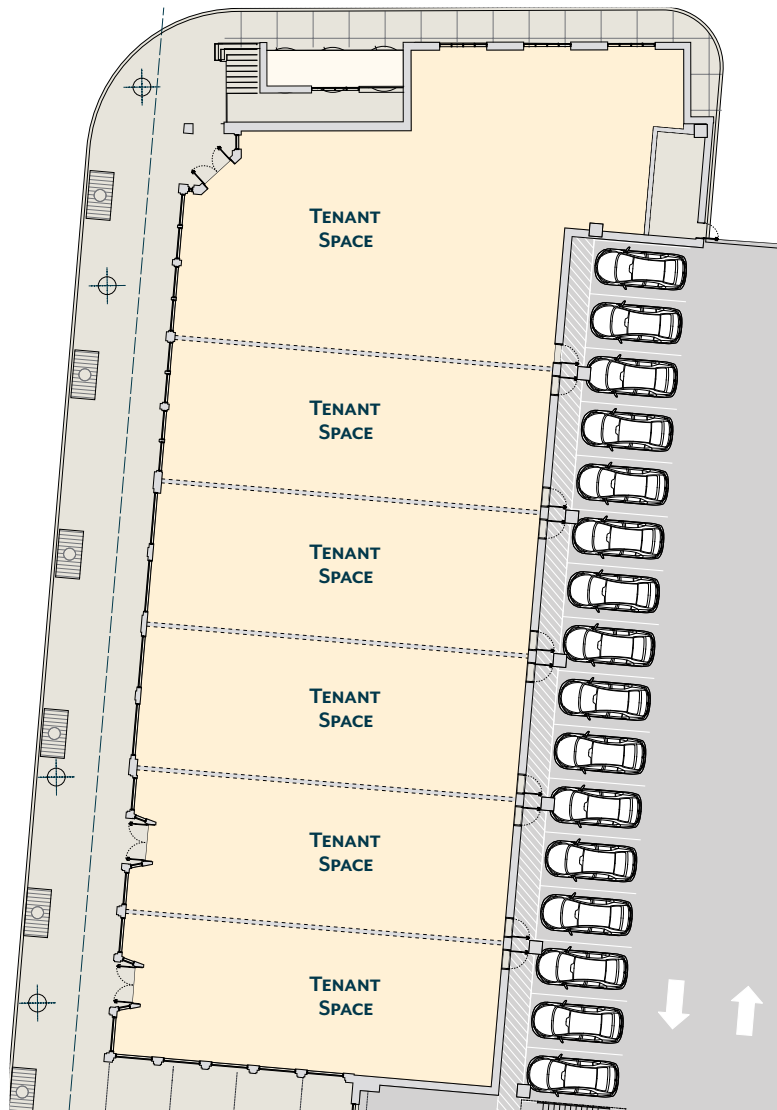
01 BUILDING F - ROOF PLAN
Scale: 1/16" : 1'



02 BUILDING F - WEST ELEVATION
Scale: 1/8" : 1'



03 BUILDING F - EAST ELEVATION
Scale: 1/8" : 1'



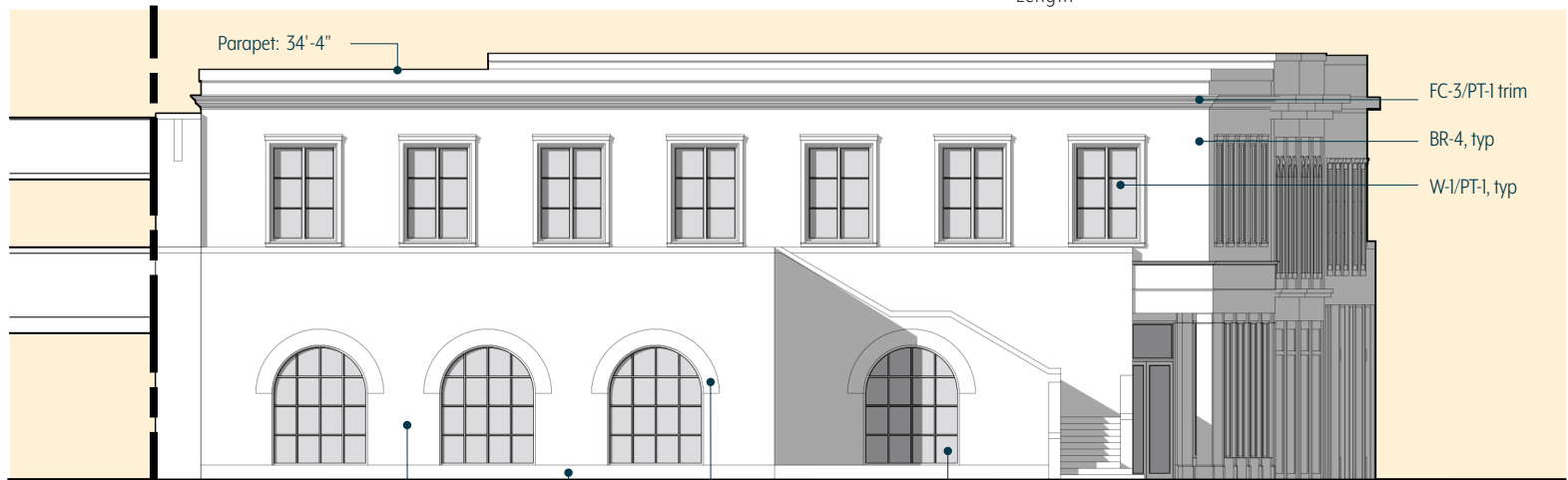
01 BUILDING G - LEVEL 1
Scale: 1/16" = 1'

Transparency

Story	Orientation	Glazing/ Opening (SF)	Wall Area (SF)	% Open/ Transparent	Conform
Ground	South	205	266	77.1%	Pass
Level 2	South	160	674	23.7%	Pass
Ground	West	709	880	80.6%	Pass
Level 2	West	554	2116	26.2%	Pass
Ground	North	192	467	41.1%	Pass
Level 2	North	328	1261	26.0%	Pass

BUILDING G Historic Mixed Use: 1st Floor Retail, 2nd Floor Office

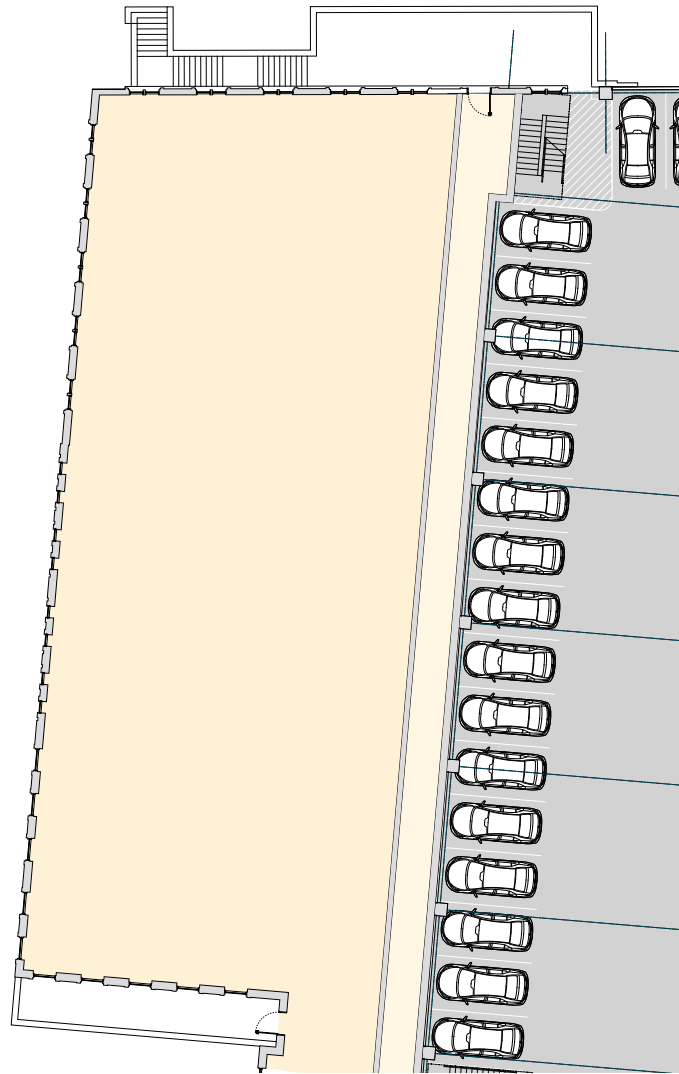
Heights	Required Min. 1.5 stories Max 2.5 stories	Provided 35'-8"	Compliance Yes
Max ground story height	12 ft max	16 ft	Not in Compliance
Max upper story Height	12 ft max	15 ft	Yes
Building Entrance	1 per 40 ft. of façade for buildings over 60 ft. Min.		Yes
Mid-Building Pedestrian way	Required for buildings greater than 150 ft. in length	173 ft	Not in Compliance
Vertical Divisions	Vertical Increments No greater than 30 ft	West Facade >30 ft	
Roof types	Pitched roof; other types permitted with approval	See Elevations	Approval Need
Proposed Block Length	300 ft	146'-2"	



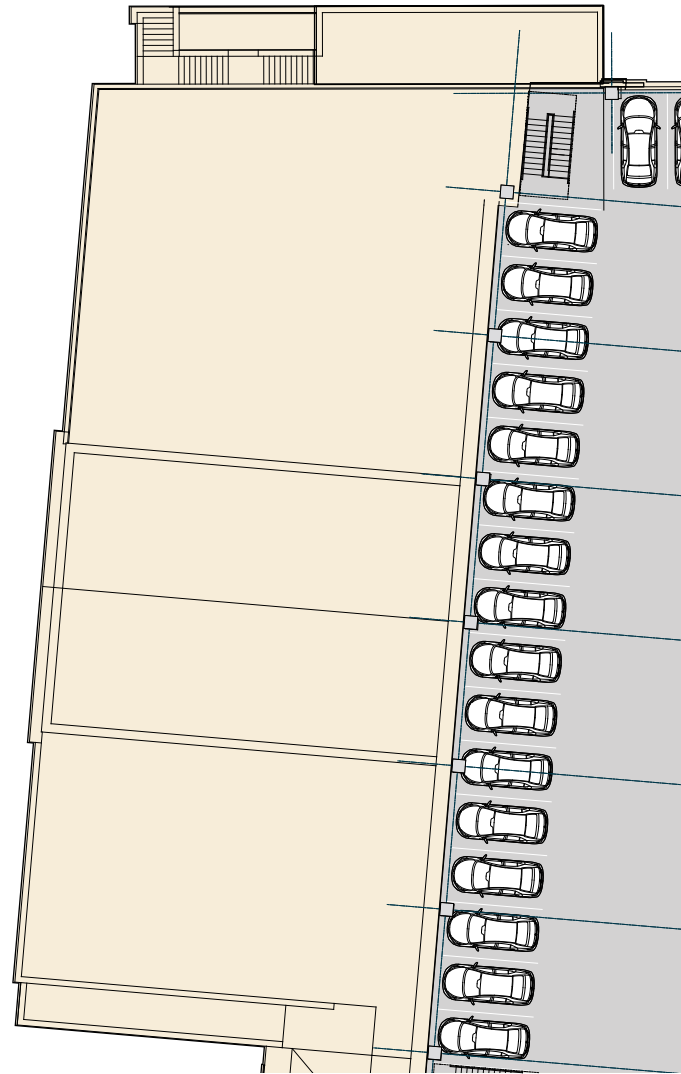
02 BUILDING G - NORTH ELEVATION
Scale: 1/8" = 1'



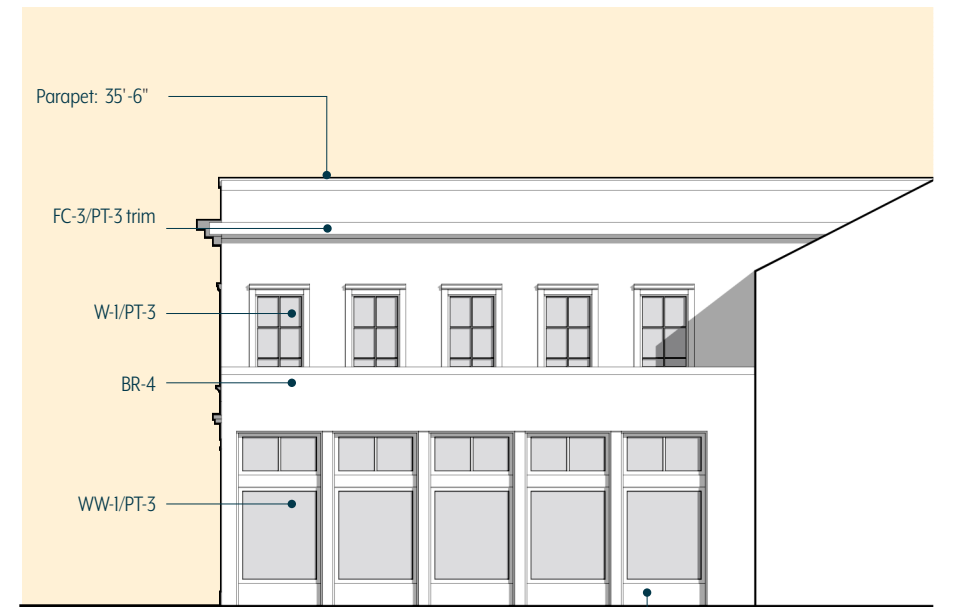
03 BUILDING G - WEST ELEVATION
Scale: 1/8" = 1'



01 **BUILDING G - LEVEL 2**
Scale: 1/16" = 1'

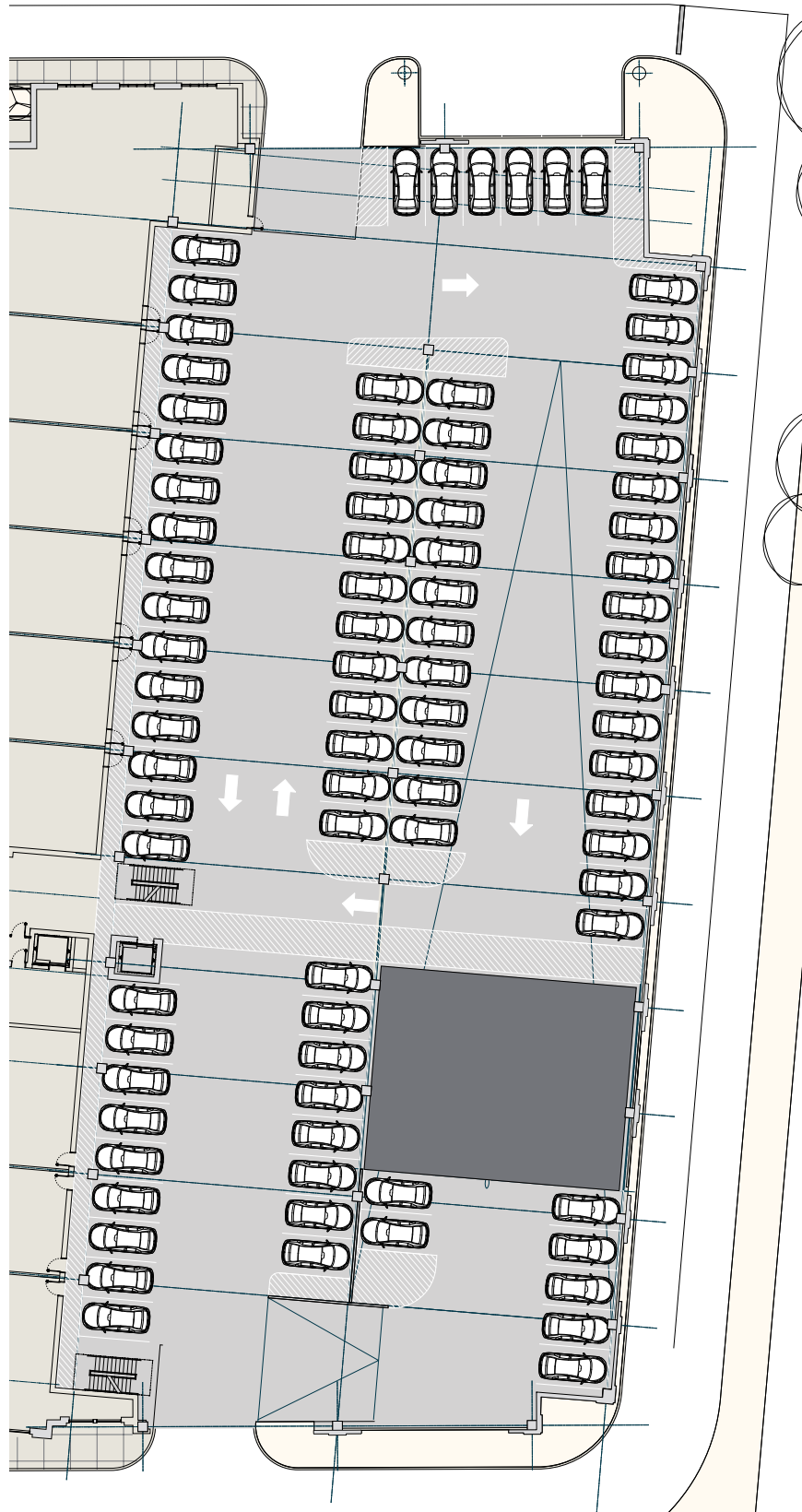


02 **BUILDING G - ROOF PLAN**
Scale: 1/16" = 1'

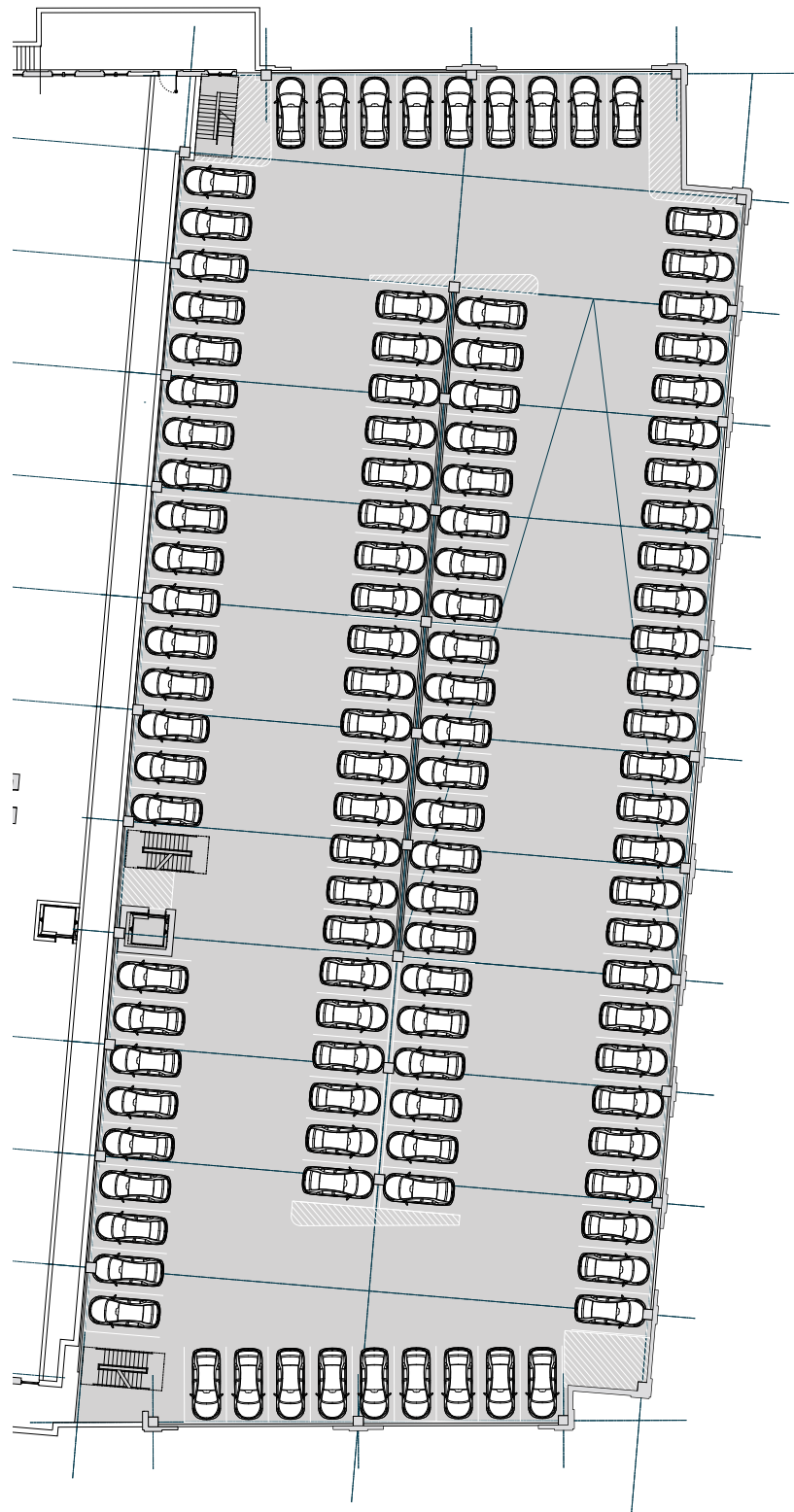


03 **BUILDING G - SOUTH ELEVATION**
Scale: 1/8" = 1'

FC-2/PT-3



01 PARKING GARAGE - LEVEL 1
Scale: 1/16" = 1'



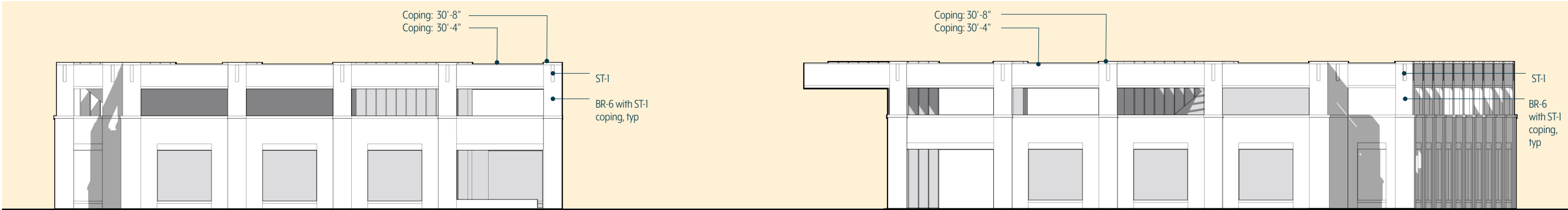
02 PARKING GARAGE - LEVEL 2
Scale: 1/16" = 1'



03 PARKING GARAGE - LEVEL 3
Scale: 1/16" = 1'

Blank Wall Limitations					
Story	Orientation	Length	Continuous Blank Wall, Max.	Continuous Blank Wall, Provided	Conform
Ground	East	293.92 ft	88.2 ft	14.8 ft	Pass
Upper Level	East	293.92 ft	88.2 ft	14.8 ft	Pass
Ground	North	106.17 ft	31.85 ft	21.53 ft	Pass
Upper Level	North	106.17 ft	31.85 ft	8 ft	Pass
Ground	South	110 ft	33 ft	25.3 ft	Pass
Upper Level	South	110 ft	33 ft	8 ft	Pass

PARKING GARAGE		Parking Structure	
	Required	Provided	Compliance
Heights	Min. 2 stories Max. 5 stories	3 stories	Yes
Max ground story height	Min. 8'6" ft Max. 12 ft	16 ft	Yes
Max upper story Height	Min. 8'6" Max. 12 ft	10' 8"	Yes
Building Entrance	N/A		
Mid-Building Pedestrian way	Not required		
Vertical Divisions	N/A		
Roof types	Pitched roof; other types permitted with approval	Parapet	Yes

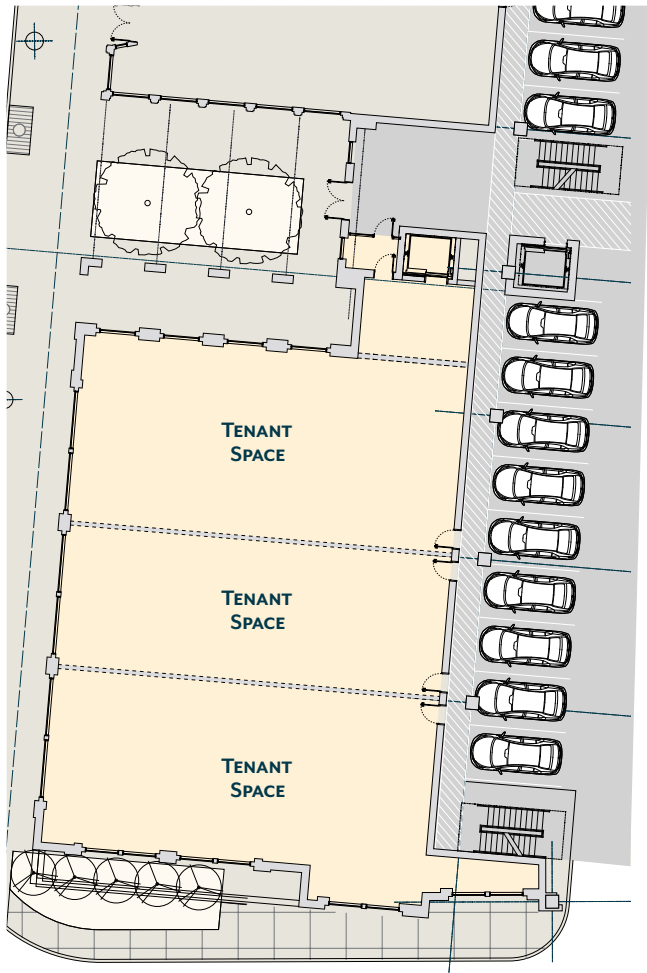


01 PARKING GARAGE - NORTH ELEVATION
Scale: 1/8" = 1'

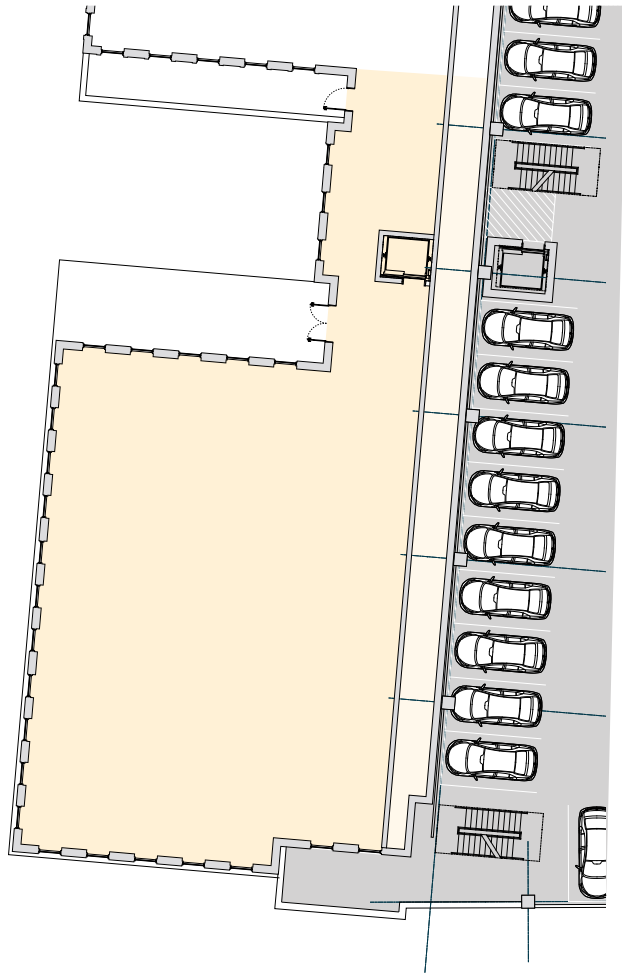
02 PARKING GARAGE - SOUTH ELEVATION
Scale: 1/8" = 1'



03 PARKING GARAGE - EAST ELEVATION
Scale: 1/8" = 1'



01 BUILDING H - LEVEL 1
Scale: 1/16" = 1'



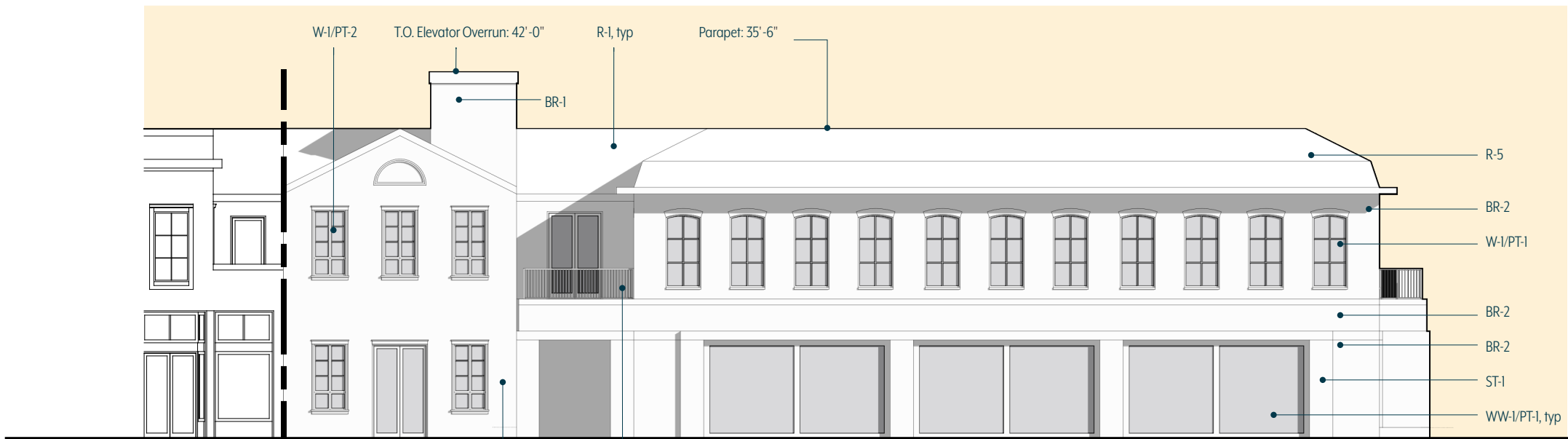
02 BUILDING H - LEVEL 2
Scale: 1/16" = 1'

BUILDING H Historic Mixed Use: 1st Floor Retail, 2nd Floor Office

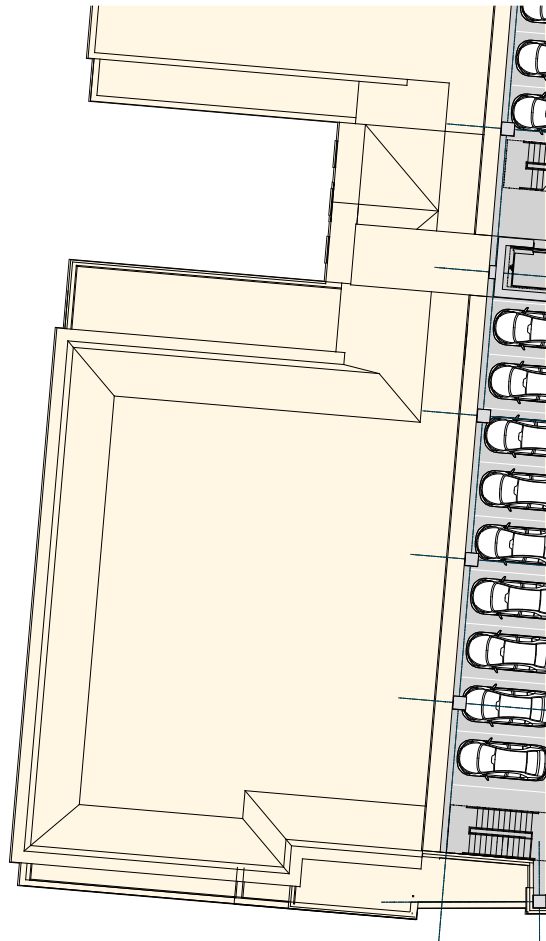
Heights	Required Min. 1.5 stories Max 2.5 stories	Provided 35'-6"	Compliance Yes
Max ground story height	12 ft max	16 ft	Not in Compliance
Max upper story Height	12 ft max	12 ft	Yes
Building Entrance	1 per 40 ft. of façade for buildings over 60 ft. Min.		Yes
Mid-Building Pedestrian way	Required for buildings greater than 150 ft. in length	99 ft	Yes
Vertical Divisions	Vertical Increments No greater than 30 ft	West Facade >30 ft	
Roof types	Pitched roof; other types permitted with approval	See Elevations	Approval Need
Proposed Block Length	300 ft	87'-9"	

Transparency

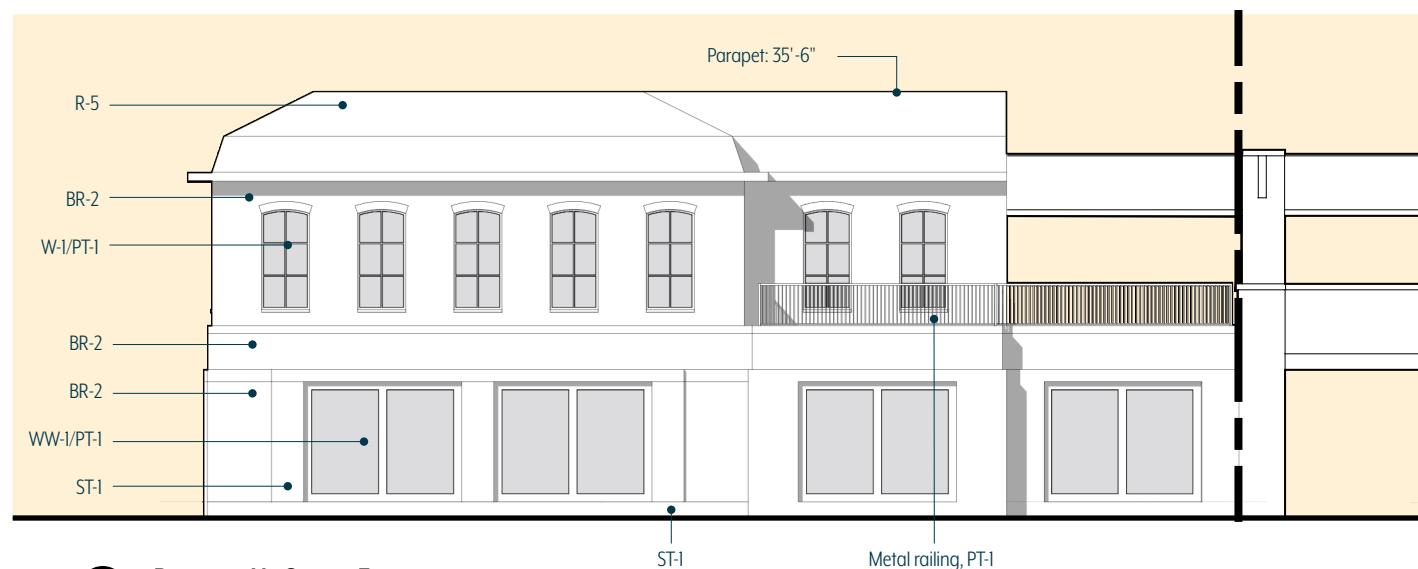
Story	Orientation	Glazing/ Opening (SF)	Wall Area (SF)	% Open/ Transparent	Conform
Ground	South-15%	268	517	51.8%	Pass
Level 2	South-15%	230	794	29.0%	Pass
Ground	West	418	788	53.0%	Pass
Level 2	West	503	1504	33.4%	Pass
Ground	North	144	276	52.2%	Pass
Level 2	North	165	536	30.8%	Pass



03 BUILDING H - WEST ELEVATION
Scale: 1/8" = 1'



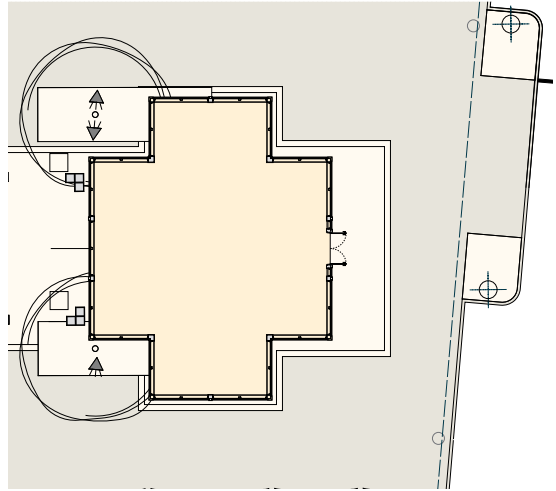
01 BUILDING H - ROOF PLAN
Scale: 1/16" = 1'



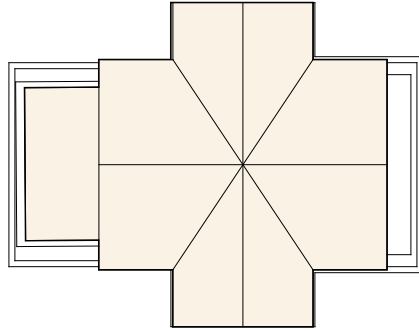
02 BUILDING H - SOUTH ELEVATION
Scale: 1/8" = 1'



03 BUILDING H - NORTH ELEVATION
Scale: 1/8" = 1'



01 BUILDING P - LEVEL 1
Scale: 1/16" = 1'



02 BUILDING P - ROOF PLAN
Scale: 1/16" = 1'

Transparency

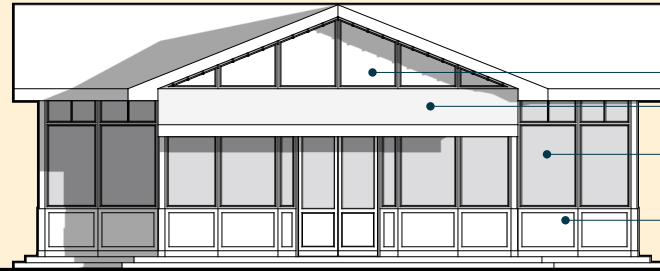
Story	Orientation	Glazing/ Opening (SF)	Wall Area (SF)	% Open/ Transparent	Conform
Ground	South	100	240	41.7%	Pass
Ground	East	126	300	42.0%	Pass
Ground	West	126	300	42.0%	Pass
Ground	North	100	240	41.7%	Pass

BUILDING P **Historic Mixed Use: Retail**

Heights	Required Min. 1.5 stories Max 2.5 stories	Provided 22'-0"	Compliance Yes
Max ground story height	12 ft max	14 ft	Not in Compliance
Max upper story Height	12 ft max	N/A	
Building Entrance	1 per 40 ft. of façade for buildings over 60 ft. Min.		Yes
Mid-Building Pedestrian way	Required for buildings greater than 150 ft. in length	50 ft	Yes
Vertical Divisions	Vertical Increments No greater than 30 ft		Yes
Roof types	Pitched roof; other types permitted with approval	See Elevations	Yes
Proposed Block Length	300 ft	50'-6"	



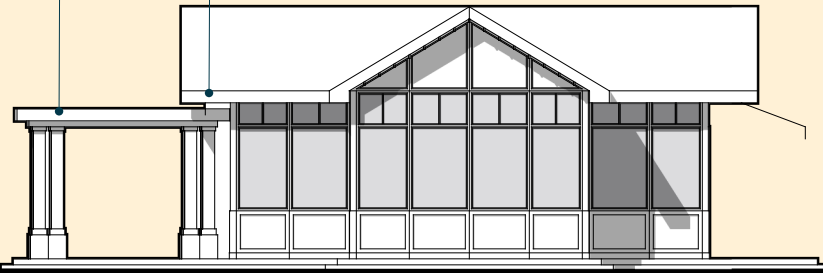
03 BUILDING P - WEST ELEVATION
Scale: 1/8" = 1'



04 BUILDING P - EAST ELEVATION
Scale: 1/8" = 1'

FC-2/PT-4
Fabric awning
WW-1/PT-4
FC-2/PT-4

Roof eave: 15'-0"
Canopy soffit: 13'-6"

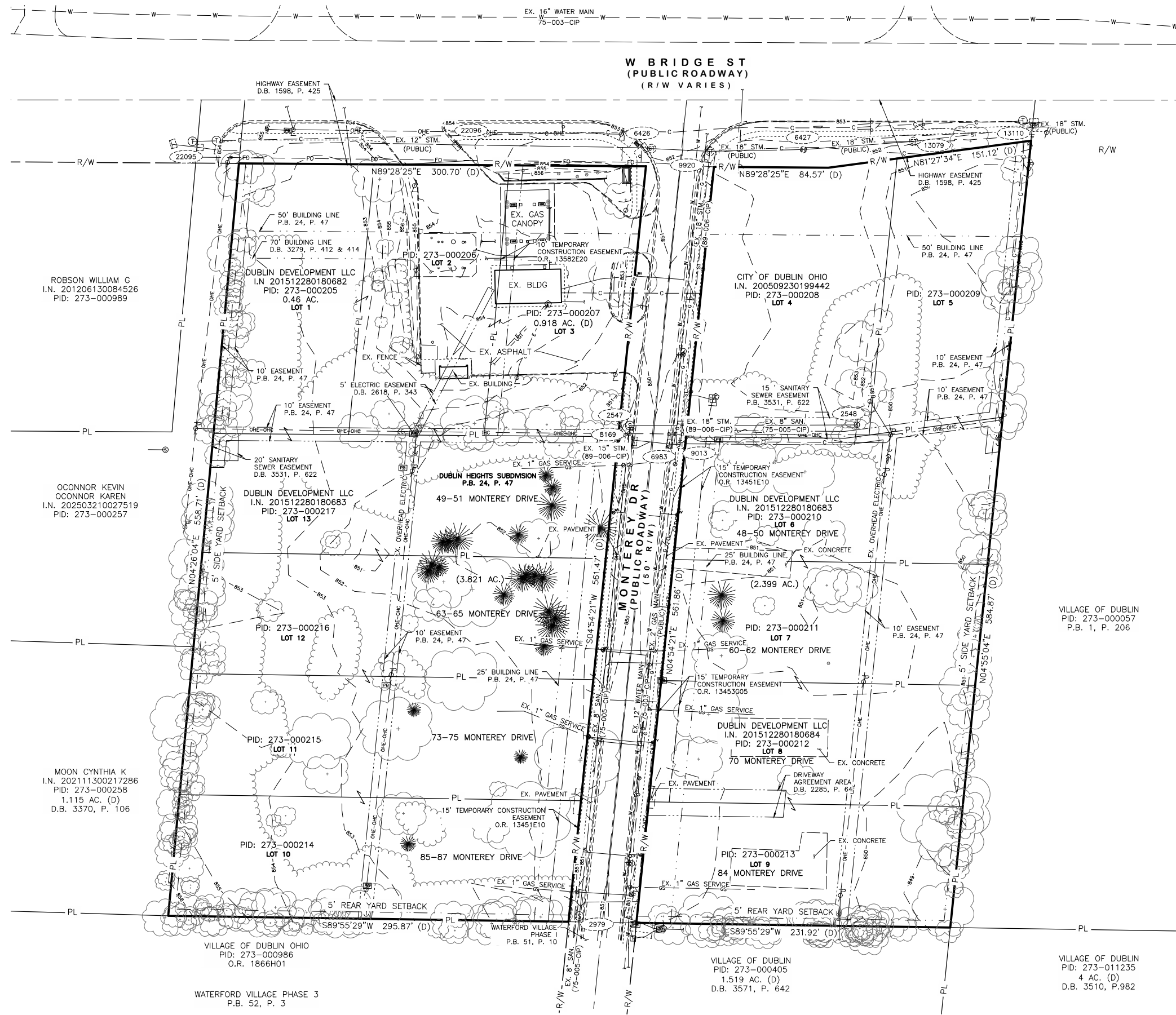


05 BUILDING P - SOUTH ELEVATION
Scale: 1/8" = 1'



06 BUILDING P - NORTH ELEVATION
Scale: 1/8" = 1'

R-2/PT-4
Metal canopy, PT-4
FC-3/PT-4 Columns

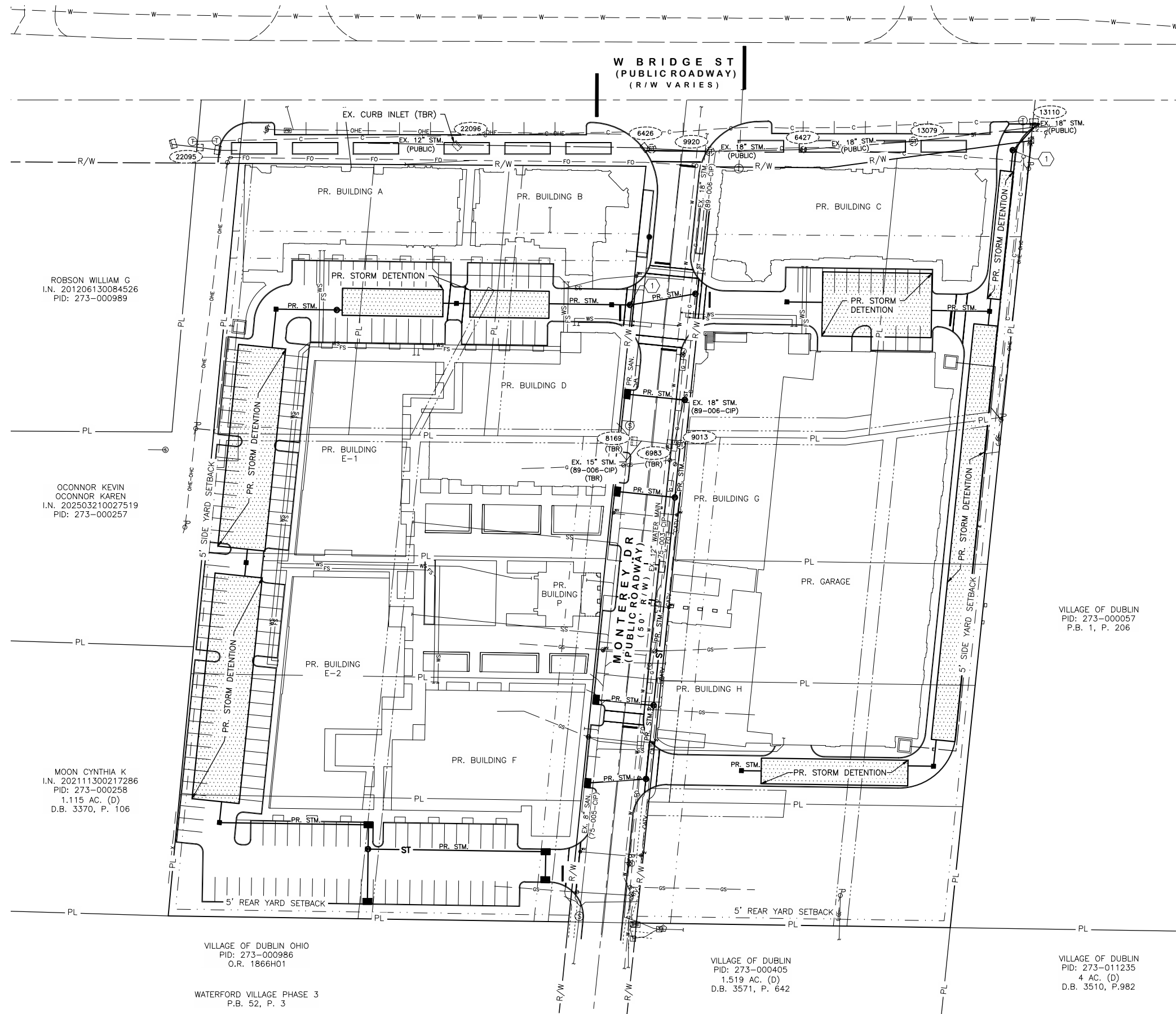


LEGEND

- PL PROPERTY LINE
- R/W EX. RIGHT-OF-WAY
- ROADWAY CENTERLINE
- EDGE OF PAVEMENT/BACK OF CURB
- EDGE OF DRIVEWAYS
- MISC. EASEMENTS
- EX. FIRE HYDRANT
- EX. WATER SERVICE VALVE
- EX. PULL BOX
- EX. TREE
- EX. TREE
- EX. BUSH
- EX. SANITARY MANHOLE
- EX. CATCH BASIN
- EX. STORM MANHOLE
- EX. STORM CURB INLET
- EX. UTILITY POLE
- EX. LIGHT POLE
- EX. UNDERGROUND TELEPHONE PEDESTAL
- EX. MAILBOX
- EX. SIGN
- EX. FENCE
- EX. WATER LINE
- EX. WATER SERVICE
- EX. WATER SERVICE (LOCATION PER RECORD PLAN)
- EX. UNDERGROUND TELEPHONE
- EX. GAS
- EX. STORM
- EX. SANITARY
- EX. COMBINED SEWER
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC
- EX. OVERHEAD STREET LIGHTING
- EX. UNDERGROUND STREET LIGHTING
- EX. FIBER OPTIC
- EX. STRUCTURE NUMBER (PER ATLAS)
- EX. MINOR CONTOUR ELEVATION
- EX. MAJOR CONTOUR ELEVATION

SITE DATA TABLE

DESCRIPTION	QUANTITY	UNIT
TOTAL SITE AREA (PRIVATE)	6.85	AC.
TOTAL DISTURBED AREA (ON-SITE)	6.85	AC.
PRE-DEVELOPED IMPERVIOUS AREA	0.66	AC.
POST-DEVELOPED IMPERVIOUS AREA	5.70	AC.

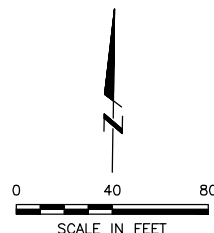


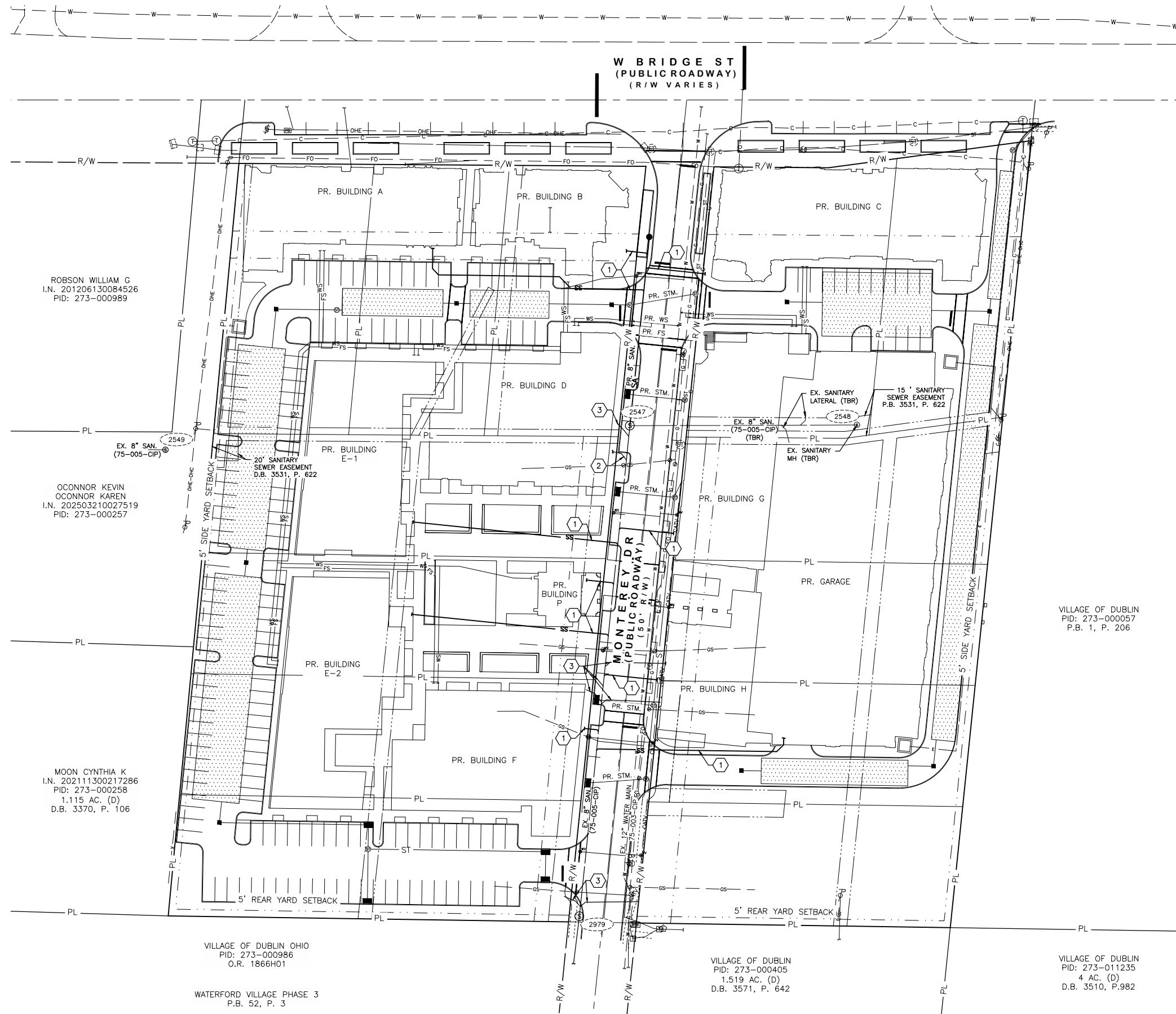
LEGEND

- PL ——— PROPERTY LINE
- R/W ——— EX. RIGHT-OF-WAY
- ROADWAY CENTERLINE
- EDGE OF PAVEMENT/BACK OF CURB
- EDGE OF DRIVEWAYS
- MISC. EASEMENTS
- ⊙ EX. FIRE HYDRANT
- ⊙ EX. WATER SERVICE VALVE
- ⊙ EX. PULL BOX
- ☁ EX. TREE
- ☼ EX. TREE
- ⊙ EX. BUSH
- ⊙ EX. SANITARY MANHOLE
- ⊙ EX. CATCH BASIN
- ⊙ EX. STORM MANHOLE
- ⊙ EX. STORM CURB INLET
- ⊙ EX. UTILITY POLE
- ⊙ EX. LIGHT POLE
- ⊙ EX. UNDERGROUND TELEPHONE PEDESTAL
- ⊙ EX. MAILBOX
- ⊙ EX. SIGN
- X— EX. FENCE
- W— EX. WATER LINE
- WS— EX. WATER SERVICE
- WS (PLAN)— EX. WATER SERVICE (LOCATION PER RECORD PLAN)
- UT— EX. UNDERGROUND TELEPHONE
- G— EX. GAS
- ST— EX. STORM
- SA— EX. SANITARY
- CWS— EX. COMBINED SEWER
- UGE— EX. UNDERGROUND ELECTRIC
- OHE— EX. OVERHEAD ELECTRIC
- OHL— EX. OVERHEAD STREET LIGHTING
- EX. UNDERGROUND STREET LIGHTING
- FO— EX. FIBER OPTIC
- (X0001) EX. STRUCTURE NUMBER (PER ATLAS)
- TBR TO BE REMOVED
- TBA TO BE ABANDONED
- TBRL TO BE RELOCATED
- PR. CATCH BASIN
- ⊙ PR. STORM MANHOLE
- PR. STORM CURB INLET
- ST— PR. STORM SEWER
- PR. STORM DETENTION

CODED NOTES

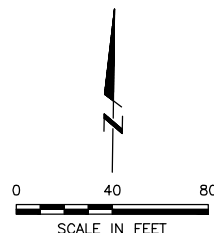
- 1 PR. OUTLET CONTROL STRUCTURE

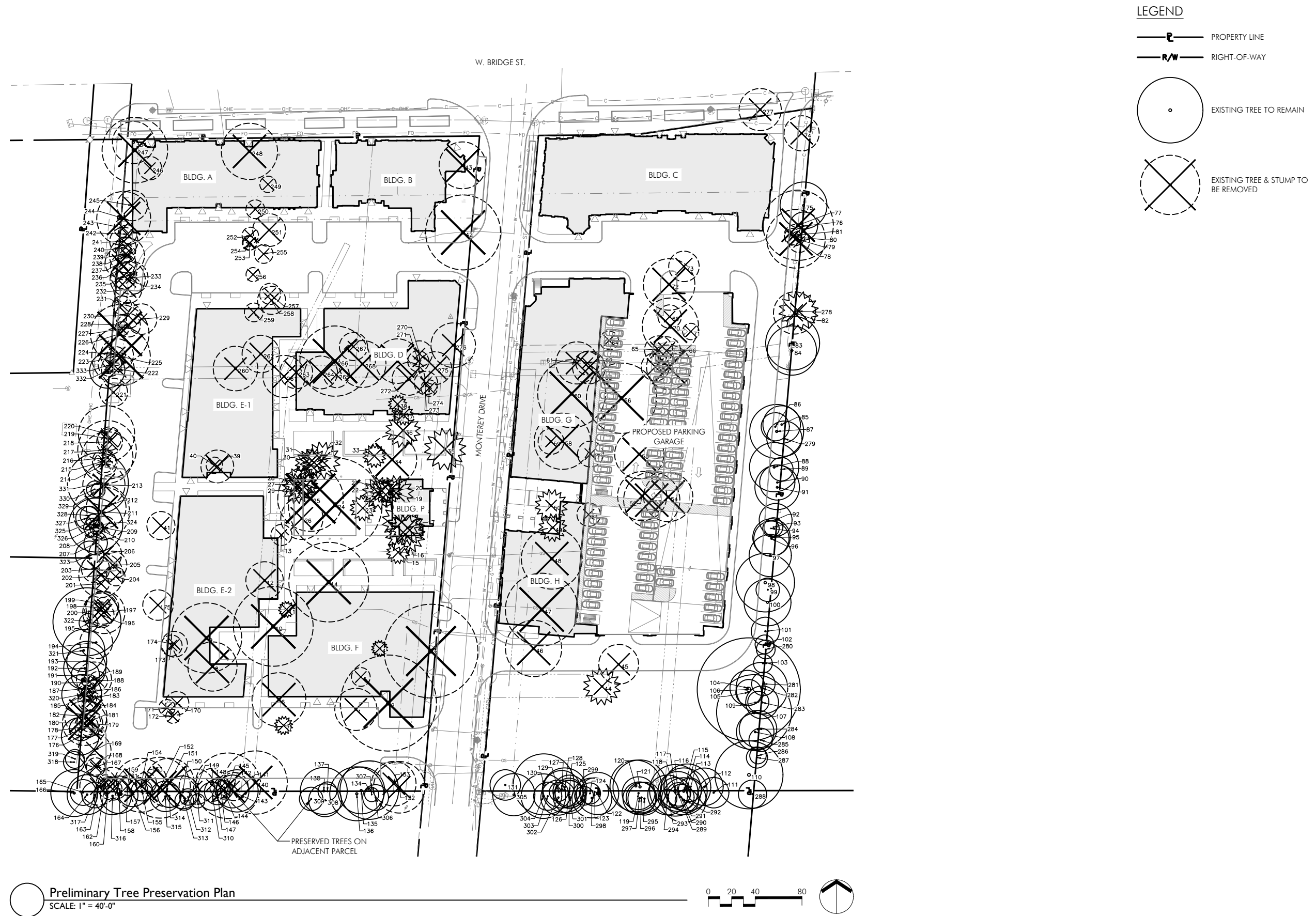




LEGEND	
PL	PROPERTY LINE
R/W	EX. RIGHT-OF-WAY
	ROADWAY CENTERLINE
	EDGE OF PAVEMENT/BACK OF CURB
	EDGE OF DRIVEWAYS
	MISC. EASEMENTS
	EX. FIRE HYDRANT
	EX. WATER SERVICE VALVE
	EX. PULL BOX
	EX. TREE
	EX. TREE
	EX. BUSH
	EX. SANITARY MANHOLE
	EX. CATCH BASIN
	EX. STORM MANHOLE
	EX. STORM CURB INLET
	EX. UTILITY POLE
	EX. LIGHT POLE
	EX. UNDERGROUND TELEPHONE PEDESTAL
	EX. MAILBOX
	EX. SIGN
X	EX. FENCE
W	EX. WATER LINE
WS	EX. WATER SERVICE
WS (PLAN)	EX. WATER SERVICE (LOCATION PER RECORD PLAN)
UGT	EX. UNDERGROUND TELEPHONE
G	EX. GAS
ST	EX. STORM
SA	EX. SANITARY
CMS	EX. COMBINED SEWER
UGE	EX. UNDERGROUND ELECTRIC
OHE	EX. OVERHEAD ELECTRIC
OHL	EX. OVERHEAD STREET LIGHTING
	EX. UNDERGROUND STREET LIGHTING
FO	EX. FIBER OPTIC
X0001	EX. STRUCTURE NUMBER (PER ATLAS)
TBR	TO BE REMOVED
TBA	TO BE ABANDONED
TBRL	TO BE RELOCATED
	PR. STORM DETENTION
	PR. SANITARY MANHOLE
SA	PR. SANITARY
SS	PR. SANITARY SERVICE

CODED NOTES	
1	PR. 6" SANITARY LATERAL AT 2.08% MINIMUM SLOPE
2	EX. SANITARY LATERAL (TO REMAIN)
3	EX. SANITARY LATERAL (TO BE ABANDONED)



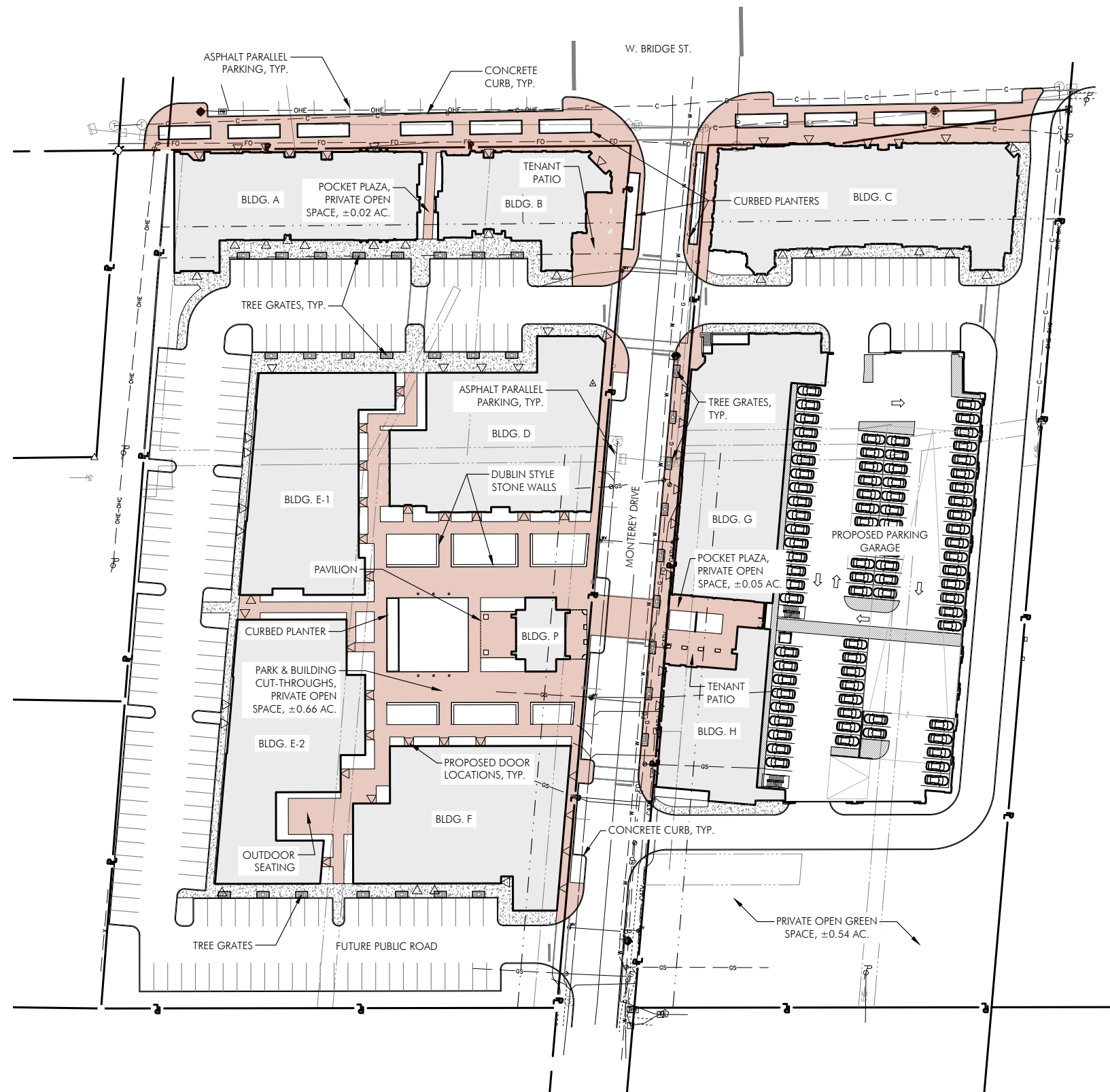


EXISTING TREE LIST					
EXEMPT TREES: TREES LISTED BELOW THAT ARE IN POOR CONDITION, OUTSIDE THE PROJECT BOUNDARY (OFFSITE), OR WITHIN AN AREA TO BE OCCUPIED BY A STRUCTURE PURSUANT TO BSD CODE 153.062 ARE NOT CONSIDERED PROTECTED TREES AND ARE THEREFORE EXEMPT FROM TREE REPLACEMENT REQUIREMENTS. A "+" SYMBOL IN THE EXEMPT COLUMN INDICATES TREES THAT ARE NOT INCLUDED IN THE TREE REPLACEMENT CALCULATIONS.					
EXEMPT	NO.	COMMON NAME	DBH	CONDITION	STATUS
	1	BLACK CHERRY	18	FAIR	REMOVE
	2	AMERICAN SYCAMORE	41	FAIR	REMOVE
	3	SILVER MAPLE	40	GOOD	REMOVE
	4	ARBORVITAE	13	GOOD	REMOVE
	5	RED MULBERRY	21	GOOD	REMOVE
	6	THORNLESS HONEY LOCUST	59	GOOD	REMOVE
	7	ARBORVITAE	15	GOOD	REMOVE
	8	RED MAPLE	21	GOOD	REMOVE
	9	RED MAPLE	30	POOR	REMOVE
	10	RED MAPLE	34	GOOD	REMOVE
	11	ARBORVITAE	7	GOOD	REMOVE
	12	HACKBERRY	26	GOOD	REMOVE
	13	RED MAPLE	9	POOR	REMOVE
	14	THORNLESS HONEY LOCUST	34	GOOD	REMOVE
	15	ARBORVITAE	17	FAIR	REMOVE
	16	EASTERN WHITE PINE	17	GOOD	REMOVE
	17	EASTERN WHITE PINE	15	GOOD	REMOVE
	18	EASTERN WHITE PINE	17	GOOD	REMOVE
	19	EASTERN WHITE PINE	15	GOOD	REMOVE
	20	EASTERN WHITE PINE	11	GOOD	REMOVE
	21	EASTERN WHITE PINE	10	GOOD	REMOVE
	22	EASTERN WHITE PINE	14	GOOD	REMOVE
	23	EASTERN WHITE PINE	11	GOOD	REMOVE
	24	SILVER MAPLE	40	GOOD	REMOVE
	25	RED MAPLE	28	FAIR	REMOVE
	26	RED MAPLE	51	GOOD	REMOVE
	27	EASTERN WHITE PINE	10	GOOD	REMOVE
	28	EASTERN WHITE PINE	14	GOOD	REMOVE
	29	EASTERN WHITE PINE	13	GOOD	REMOVE
	30	EASTERN WHITE PINE	12	GOOD	REMOVE
	31	EASTERN WHITE PINE	12	GOOD	REMOVE
	32	EASTERN WHITE PINE	16	GOOD	REMOVE
	33	EASTERN WHITE PINE	10	GOOD	REMOVE
	34	GREEN ASH	21	POOR	REMOVE
	35	EASTERN WHITE PINE	18	GOOD	REMOVE
	36	EASTERN WHITE PINE	15	GOOD	REMOVE
	37	EASTERN WHITE PINE	9	POOR	REMOVE
	38	ARBORVITAE	38	GOOD	REMOVE
	39	HACKBERRY	51	GOOD	REMOVE
	40	BLACK CHERRY	7	GOOD	REMOVE
	41	HACKBERRY	12	GOOD	REMOVE
	42	CHINESE ELM	32	GOOD	REMOVE
	43	CHINESE ELM	49	GOOD	REMOVE
	44	NORWAY SPRUCE	16	GOOD	REMOVE
	45	BLACK WALNUT	17	GOOD	REMOVE
	46	BLACK WALNUT	24	GOOD	REMOVE
	47	AMERICAN SYCAMORE	31	GOOD	REMOVE
	48	BLACK WALNUT	41	GOOD	REMOVE
	49	EASTERN WHITE PINE	12	GOOD	REMOVE
	50	EASTERN WHITE PINE	14	GOOD	REMOVE
	51	JAPANESE YEW	48	GOOD	REMOVE
	52	HACKBERRY	21	GOOD	REMOVE
	53	BLACK CHERRY	24	GOOD	REMOVE
	54	HACKBERRY	21	GOOD	REMOVE
	55	RED MULBERRY	41	FAIR	REMOVE
	56	BLACK WALNUT	48	GOOD	REMOVE
	57	BLACK CHERRY	11	GOOD	REMOVE
	58	HACKBERRY	24	GOOD	REMOVE
	59	HACKBERRY	11	GOOD	REMOVE

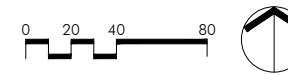
EXEMPT	NO.	COMMON NAME	DBH	CONDITION	STATUS
	60	AMERICAN SYCAMORE	29	GOOD	REMOVE
	61	BLACK WALNUT	18	GOOD	REMOVE
	62	BLACK WALNUT	10	GOOD	REMOVE
	63	RED MULBERRY	14	POOR	REMOVE
	64	BOX ELDER	8	GOOD	REMOVE
	65	BLACK CHERRY	12	GOOD	REMOVE
	66	RED MULBERRY	12	POOR	REMOVE
	67	HACKBERRY	19	FAIR	REMOVE
	68	HACKBERRY	12	GOOD	REMOVE
	69	HACKBERRY	10	GOOD	REMOVE
	70	EASTERN COITTONWOOD	47	POOR	REMOVE
	71	BLACK WALNUT	7	FAIR	REMOVE
	72	RED MULBERRY	41	FAIR	REMOVE
	73	BLACK WALNUT	13	GOOD	REMOVE
	74	BOX ELDER	48	FAIR	REMOVE
	75	HACKBERRY	20	GOOD	PRESERVE
	76	HACKBERRY	12	GOOD	PRESERVE
	77	HACKBERRY	30	GOOD	REMOVE
	78	HACKBERRY	9	GOOD	REMOVE
	79	SLIPPERY ELM	25	GOOD	REMOVE
	80	SLIPPERY ELM	7	GOOD	REMOVE
	81	SLIPPERY ELM	9	GOOD	REMOVE
	82	BLACK CHERRY	18	GOOD	REMOVE
	83	HACKBERRY	23	GOOD	PRESERVE
	84	HACKBERRY	21	GOOD	PRESERVE
	85	SUGAR MAPLE	16	GOOD	PRESERVE
	86	HACKBERRY	12	GOOD	PRESERVE
	87	HACKBERRY	33	GOOD	PRESERVE
	88	SUGAR MAPLE	21	GOOD	PRESERVE
	89	SUGAR MAPLE	10	GOOD	PRESERVE
	90	HACKBERRY	15	GOOD	PRESERVE
	91	HACKBERRY	19	GOOD	PRESERVE
	92	HACKBERRY	14	GOOD	PRESERVE
	93	SUGAR MAPLE	8	GOOD	PRESERVE
	94	SUGAR MAPLE	7	GOOD	PRESERVE
	95	SUGAR MAPLE	16	GOOD	PRESERVE
	96	SUGAR MAPLE	15	GOOD	PRESERVE
	97	BLACK WALNUT	18	GOOD	PRESERVE
	98	BLACK WALNUT	25	GOOD	PRESERVE
	99	HACKBERRY	10	GOOD	PRESERVE
	100	HACKBERRY	20	GOOD	PRESERVE
	101	HACKBERRY	12	GOOD	PRESERVE
	102	BLACK WALNUT	8	GOOD	PRESERVE
	103	GREEN ASH	8	POOR	PRESERVE
	104	HACKBERRY	15	GOOD	PRESERVE
	105	HACKBERRY	11	GOOD	PRESERVE
	106	BLACK WALNUT	44	FAIR	PRESERVE
	107	BLACK WALNUT	32	GOOD	PRESERVE
	108	BLACK WALNUT	29	GOOD	PRESERVE
	109	HACKBERRY	9	GOOD	PRESERVE
	110	BLACK WALNUT	29	GOOD	PRESERVE
	111	HACKBERRY	13	GOOD	PRESERVE
	112	HACKBERRY	16	GOOD	PRESERVE
	113	HACKBERRY	10	GOOD	PRESERVE
	114	HACKBERRY	36	GOOD	PRESERVE
	115	HACKBERRY	20	GOOD	PRESERVE
	116	HACKBERRY	17	GOOD	PRESERVE
	117	HACKBERRY	22	GOOD	PRESERVE
	118	HACKBERRY	13	GOOD	PRESERVE
	119	HACKBERRY	14	GOOD	PRESERVE
	120	HACKBERRY	22	GOOD	PRESERVE
	121	HACKBERRY	23	GOOD	PRESERVE
	122	HACKBERRY	32	GOOD	PRESERVE
	123	HACKBERRY	12	GOOD	PRESERVE
	124	HACKBERRY	9	GOOD	PRESERVE
	125	HACKBERRY	14	GOOD	PRESERVE
	126	HACKBERRY	12	GOOD	PRESERVE
	127	HACKBERRY	16	GOOD	PRESERVE
	128	HACKBERRY	19	GOOD	PRESERVE
	129	HACKBERRY	8	GOOD	PRESERVE
	130	HACKBERRY	26	GOOD	PRESERVE
	131	HACKBERRY	13	GOOD	PRESERVE

EXEMPT	NO.	COMMON NAME	DBH	CONDITION	STATUS
	132	HACKBERRY	22	GOOD	REMOVE
	133	HACKBERRY	19	GOOD	REMOVE
OFFSITE	134	HACKBERRY	25	GOOD	PRESERVE
OFFSITE	135	HACKBERRY	20	GOOD	PRESERVE
OFFSITE	136	HACKBERRY	23	GOOD	PRESERVE
OFFSITE	137	HACKBERRY	8	GOOD	PRESERVE
OFFSITE	138	HACKBERRY	20	FAIR	PRESERVE
	139	NOT USED			
	140	BLACK WALNUT	27	GOOD	REMOVE
OFFSITE	141	THORNLESS HONEY LOCUST	18	GOOD	PRESERVE
	142	HACKBERRY	12	GOOD	REMOVE
OFFSITE	143	HACKBERRY	14	GOOD	PRESERVE
	144	HACKBERRY	8	GOOD	REMOVE
	145	THORNLESS HONEY LOCUST	66	GOOD	REMOVE
	146	HACKBERRY	9	GOOD	REMOVE
OFFSITE	147	HACKBERRY	20	GOOD	PRESERVE
	148	HACKBERRY	14	GOOD	REMOVE
	149	HACKBERRY	15	GOOD	REMOVE
OFFSITE	150	HACKBERRY	14	GOOD	PRESERVE
	151	HACKBERRY	21	GOOD	REMOVE
	152	BLACK CHERRY	26	FAIR	REMOVE
	153	GREEN ASH	9	POOR	REMOVE
	154	GREEN ASH	23	POOR	REMOVE
	155	HACKBERRY	9	GOOD	PRESERVE
OFFSITE	156	HACKBERRY	13	GOOD	PRESERVE
	157	GREEN ASH	8	POOR	REMOVE
OFFSITE	158	HACKBERRY	31	GOOD	PRESERVE
	159	HACKBERRY	14	GOOD	REMOVE
	160	HACKBERRY	7	GOOD	REMOVE
	161	CHINKAPIN OAK	8	GOOD	REMOVE
	162	GREEN ASH	6	POOR	REMOVE
	163	HACKBERRY	16	GOOD	REMOVE
OFFSITE	164	HACKBERRY	23	GOOD	PRESERVE
	165	HACKBERRY	11	GOOD	PRESERVE
OFFSITE	166	HACKBERRY	20	GOOD	PRESERVE
	167	HACKBERRY	8	GOOD	REMOVE
	168	HACKBERRY	9	GOOD	REMOVE
	169	HACKBERRY	14	GOOD	REMOVE
	170	BLACK WALNUT	10	GOOD	REMOVE
	171	BLACK WALNUT	7	GOOD	REMOVE
	172	RED MULBERRY	6	GOOD	REMOVE
	173	RED MULBERRY	17	FAIR	REMOVE
	174	RED MULBERRY	11	FAIR	REMOVE
	175	HACKBERRY	62	GOOD	REMOVE
	176	HACKBERRY	16	GOOD	PRESERVE
	177	HACKBERRY	10	GOOD	PRESERVE
	178	HACKBERRY	10	GOOD	REMOVE
	179	HACKBERRY	19	GOOD	REMOVE
	180	HACKBERRY	28	GOOD	REMOVE
	181	HACKBERRY	9	GOOD	REMOVE
	182	HACKBERRY	18	GOOD	REMOVE
	183	HACKBERRY	8	GOOD	REMOVE
	184	HACKBERRY	8	GOOD	REMOVE
	185	HACKBERRY	7	GOOD	REMOVE
	186	HACKBERRY	6	FAIR	REMOVE
	187	HACKBERRY	7	GOOD	REMOVE
	188	HACKBERRY	8	GOOD	REMOVE
	189	HACKBERRY	15	GOOD	REMOVE
	190	HACKBERRY	6	GOOD	REMOVE
	191	HACKBERRY	12	GOOD	PRESERVE
	192	HACKBERRY	18	GOOD	PRESERVE
	193	HACKBERRY	57	GOOD	PRESERVE
	194	SUGAR MAPLE	14	GOOD	REMOVE
	195	HACKBERRY	8	GOOD	PRESERVE
	196	HACKBERRY	11	POOR	REMOVE
	197	HACKBERRY	18	FAIR	REMOVE
	198	HACKBERRY	14	FAIR	REMOVE
	199	HACKBERRY	6	FAIR	REMOVE
	200	HACKBERRY	14	FAIR	REMOVE
	201	HACKBERRY	7	GOOD	REMOVE
	202	HACKBERRY	33	GOOD	REMOVE
	203	HACKBERRY	22	GOOD	REMOVE

EXEMPT	NO.	COMMON NAME	DBH	CONDITION	STATUS
	204	RED MULBERRY	8	POOR	REMOVE
	205	BLACK WALNUT	12	GOOD	REMOVE
	206	HACKBERRY	14	GOOD	REMOVE
OFFSITE	207	HACKBERRY	18	GOOD	PRESERVE
	208	HACKBERRY	14	GOOD	REMOVE
	209	HACKBERRY	10	GOOD	REMOVE
	210	HACKBERRY	6	GOOD	PRESERVE
	211	HACKBERRY	24	GOOD	REMOVE
	212	HACKBERRY	17	GOOD	REMOVE
	213	HACKBERRY	18	GOOD	REMOVE
	214	HACKBERRY	10	GOOD	REMOVE
	215	HACKBERRY	10	GOOD	REMOVE
	216	HACKBERRY	22	GOOD	REMOVE
	217	HACKBERRY	25	GOOD	REMOVE
	218	HACKBERRY	11	GOOD	REMOVE
	219	HACKBERRY	10	GOOD	REMOVE
	220	HACKBERRY	24	GOOD	REMOVE
	221	THORNLESS HONEY LOCUST	12	GOOD	REMOVE
	222	HACKBERRY	14	GOOD	REMOVE
	223	HACKBERRY	8	FAIR	REMOVE
	224	HACKBERRY	14	GOOD	REMOVE
	225	HACKBERRY	25	GOOD	REMOVE
	226	HACKBERRY	25	GOOD	REMOVE
	227	HACKBERRY	6	GOOD	REMOVE
	228	HACKBERRY	10	GOOD	REMOVE
	229	RED MULBERRY	13	GOOD	REMOVE
	230	HACKBERRY	11	GOOD	REMOVE
	231	HACKBERRY	8	FAIR	REMOVE
	232	HACKBERRY	12	GOOD	REMOVE
	233	HACKBERRY	14	GOOD	REMOVE
	234	HACKBERRY	15	GOOD	REMOVE
	235	HACKBERRY	11	FAIR	REMOVE
	236	HACKBERRY	11	GOOD	REMOVE
	237	HACKBERRY	25	GOOD	REMOVE
	238	HACKBERRY	15	GOOD	REMOVE
	239	HACKBERRY	8	GOOD	REMOVE
	240	HACKBERRY	9	GOOD	REMOVE
	241	HACKBERRY	12	FAIR	REMOVE
	242	HACKBERRY	8	GOOD	REMOVE
	243	HACKBERRY	8	GOOD	REMOVE
	244	HACKBERRY	23	GOOD	REMOVE
	245	HACKBERRY	13	GOOD	REMOVE
	246	RED MULBERRY	10	GOOD	REMOVE
	247	HACKBERRY	28	GOOD	REMOVE
	248	GREEN ASH	24	GOOD	REMOVE
	249	WILD CRABAPPLE	19	GOOD	REMOVE
	250	RED MULBERRY	15	FAIR	REMOVE
	251	HACKBERRY	14	GOOD	REMOVE
	252	BLACK WALNUT	7	GOOD	REMOVE
	253	BLACK WALNUT	6	GOOD	REMOVE
	254	AMERICAN ELM	6	GOOD	REMOVE
	255	RED MULBERRY	43	GOOD	REMOVE
	256	RED MULBERRY	12	GOOD	REMOVE
	257	RED MULBERRY	15	GOOD	REMOVE
	258	WILD CRABAPPLE	12	GOOD	REMOVE
	259	BLACK WALNUT	8	GOOD	REMOVE
	260	RED MULBERRY	116	POOR	REMOVE
	261	HACKBERRY	36	GOOD	REMOVE
	262	BLACK WALNUT	16	GOOD	REMOVE
	263	HACKBERRY	14	FAIR	REMOVE
	264	BLACK CHERRY	26	FAIR	REMOVE
	265	HACKBERRY	11	GOOD	REMOVE
	266	RED MULBERRY	30	FAIR	REMOVE
	267	HACKBERRY	12	GOOD	REMOVE
	268	SUGAR MAPLE	20	FAIR	REMOVE
	269	BLACK WALNUT	37	GOOD	REMOVE
	270	BLACK WALNUT	11	GOOD	REMOVE
	271	HACKBERRY	9	FAIR	REMOVE
	272	HACKBERRY	14	GOOD	REMOVE
	273	HACKBERRY	10	GOOD	REMOVE
	274	HACKBERRY	7	GOOD	REMOVE
	275	RED MULBERRY	14	POOR	REMOVE



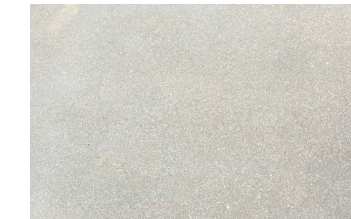
Site Plan
SCALE: 1" = 40'-0"



LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- CONCRETE PAVEMENT
- CLAY PAVERS

MATERIALS PALETTE



BUFFWASH CONCRETE



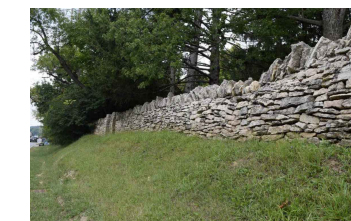
CLAY PAVERS - BELDEN 530



CURBED PLANTERS



TREE GRATES



DUBLIN STYLE STONE WALL



STREET TREES



Acer x freemanii



Ginkgo biloba



Gleditsia triacanthos f. inermis



Platanus x acerfolia 'Bloodgood'



Taxodium distichum



Ulmus parvifolia

ADDITIONAL SITE TREES



Gymnocladus dioica 'McKBranded'



Liliodendron tulipifera



Quercus imbricaria



Carpinus betulus



Crataegus viridis 'Winter King'



Magnolia virginiana



Liquidambar styraciflua 'Slender Silhouette'

SITE SHRUBS



Hydrangea quercifolia 'Ruby Slippers'



Taxus x media 'Densiformis'



Juniperus virginiana 'Grey Owl'



Hydrangea paniculata 'Little Lime'



Ilex glabra 'Shamrock'



Fothergilla gardenii

SITE PERENNIALS, GROUNDCOVERS, VINES



Liriope spicata



Nepeta x faassenii 'Walker's Low'



Schizachyrium scoparium



Perovskia atriplicifolia 'Little Spire'



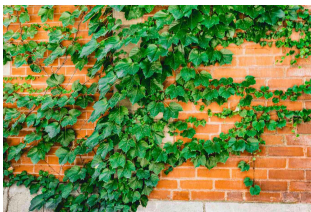
Calamagrostis acutiflora



Carex pensylvanica



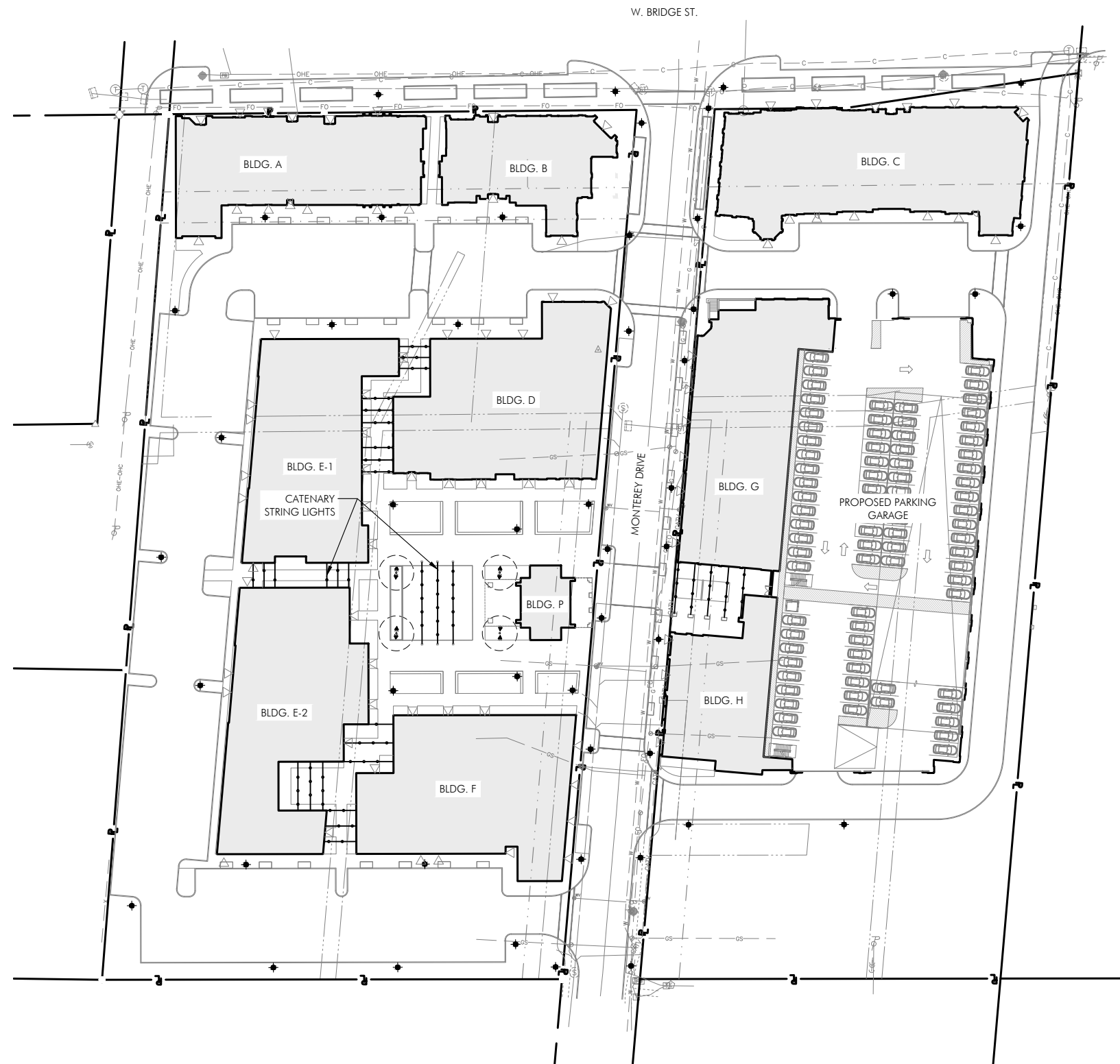
Hydrangea anomala petiolaris



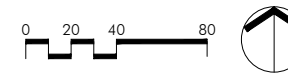
Parthenocissus tricuspidate



Hypericum calycinum



Lighting Plan
SCALE: 1" = 40'-0"



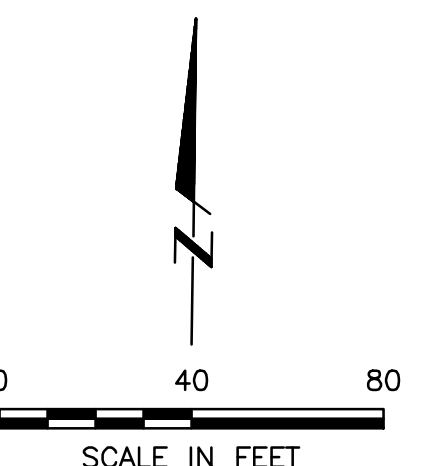
LEGEND

- PROPERTY LINE
- R/W RIGHT-OF-WAY
- CATENARY STRING LIGHTS
- LIGHT POLE
- PROPOSED TREE, REFER TO PLANTING PLAN
- TREE UPLIGHTS

MATERIALS PALETTE



	PROPERTY LINE
	EX. RIGHT-OF-WAY
	ROADWAY CENTERLINE
	EDGE OF PAVEMENT/BACK OF CURB
	EDGE OF DRIVEWAYS
	MISC. EASEMENTS
	EX. TREE
	EX. TREE
	EX. BUSH
	EX. MAILBOX
	EX. SIGN
	EX. FENCE
TBR	TO BE REMOVED
TBA	TO BE ABANDONED
TBRL	TO BE RELOCATED



REVISIONS		BY	DATE	E. P. FERRIS AND ASSOCIATES Consulting Civil Engineers and Surveyors 2130 QUARRY TRAILS DR, 2ND FLOOR COLUMBUS, OHIO 43228 (614) 299-2999 (614) 299-2992 (Fax) www.EPFERRIS.com	CITY OF DUBLIN, OHIO DUBLIN MULTI-USE MONTEREY DRIVE		JOB NO.: 1315.001	SITE LAYOUT EXHIBIT		SCALE: 1" = 40'	
			DESIGNED BY: DAS				SHEET NO. 1			OF 1	
			DRAWN BY: DAS								
			CHECKED BY: CLP								
			APPROVED BY: DAS								
				DATE: 11/10/25							

M:\1315001_MontereyMixedUse\DWG\Exhibits\1315001_Site Dimension Plan.dwg ~Utility Plan PLOTTED BYDSHREMSHOCK ON 11/11/2025 13:56