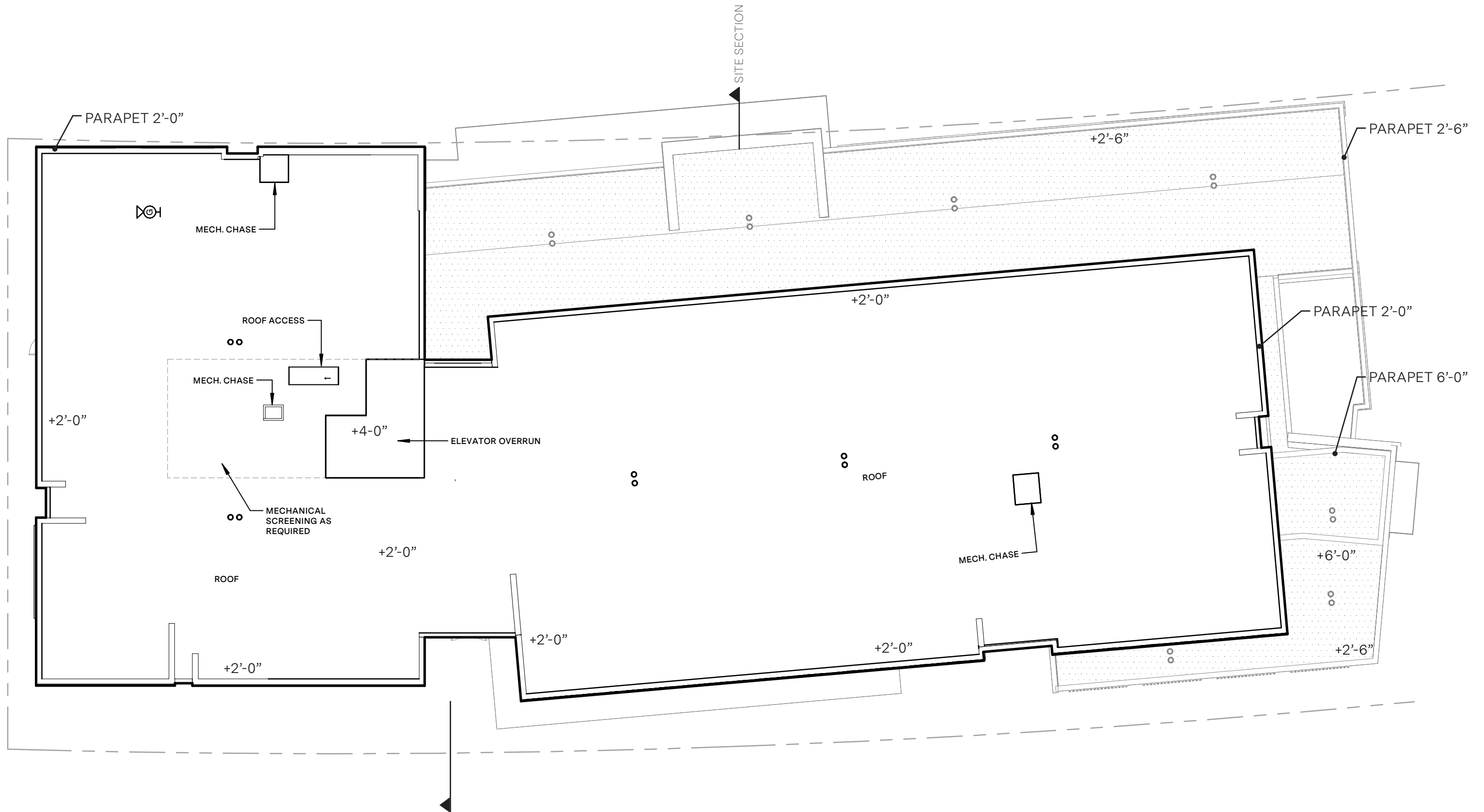


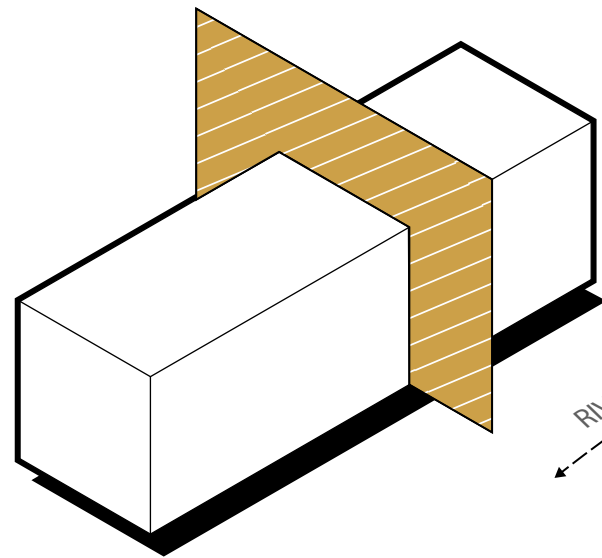




1/16" = 1'-0"

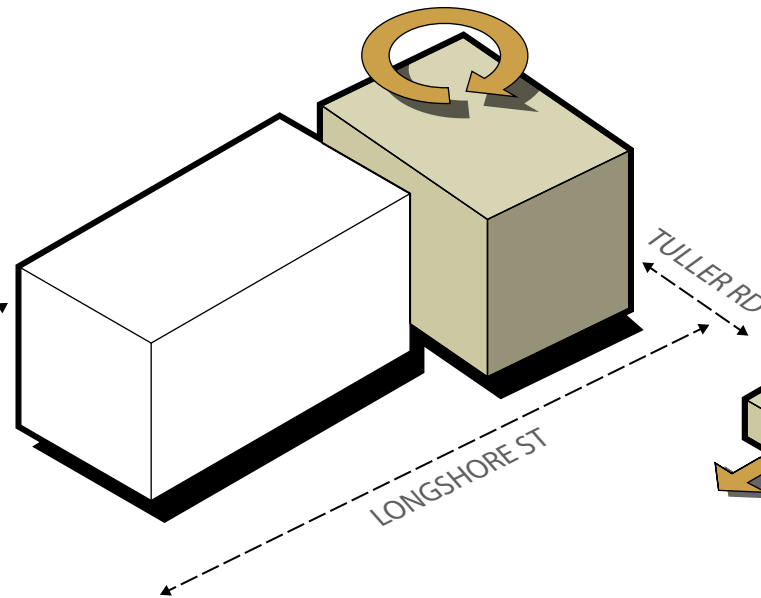






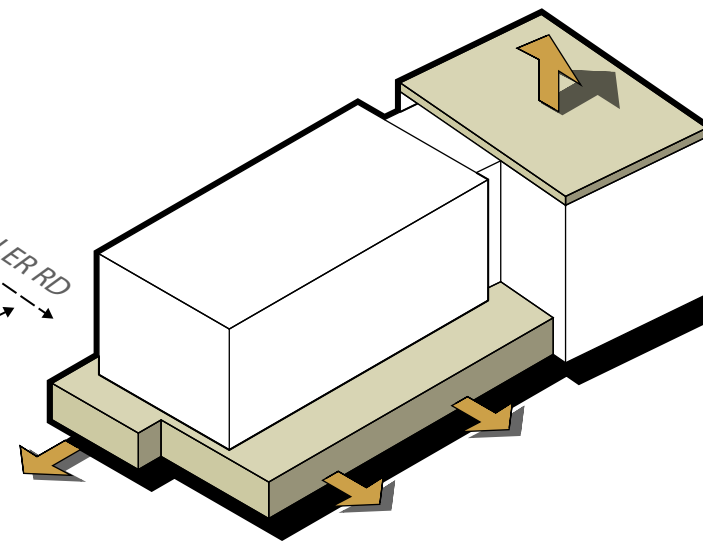
**1. Split**

A split in the building located across from the parking garage entry defines the hotel entry, core location, and creates visual connection from Longshore to Riverside.



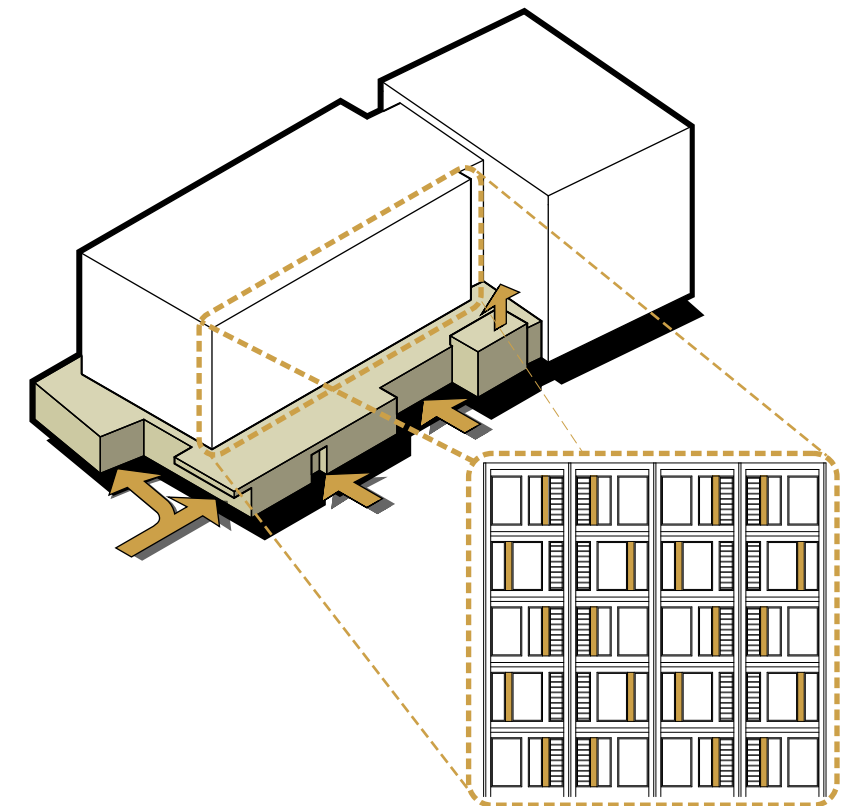
**2. Rotate**

Northwest corner of the building turns toward Tuller activating a visually prominent corner.



**3. Pull**

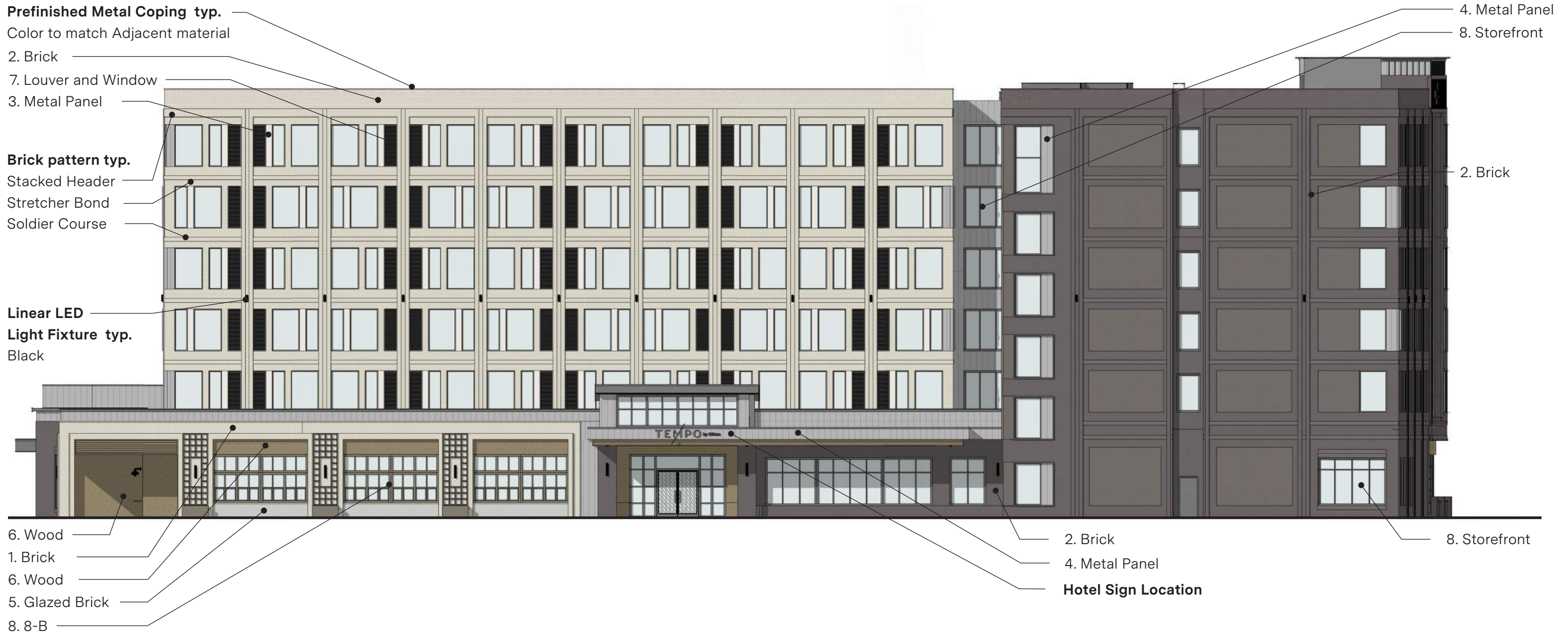
The north end pushes skyward for additional prominence and conceals rooftop equipment. The entry and restaurant spaces scale down toward the street and park.



**4. Detail**

The window units create a rhythm to camouflage the stacked louvers.

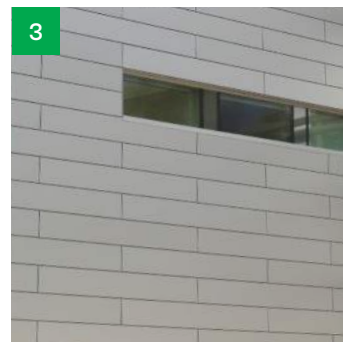




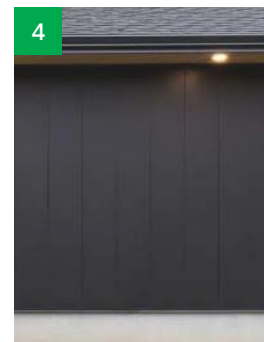
**1. Brick**  
-Belden  
Modular: Sea Gray Velour  
Mortar: Flamingo-Tennessee Buff



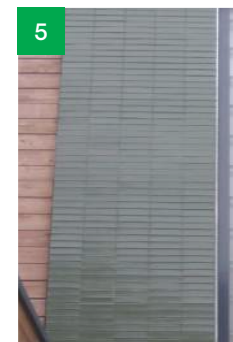
**2. Brick**  
-Belden  
Modular: Black Diamond Velour  
Mortar: Flamingo-X-25 Charcoal



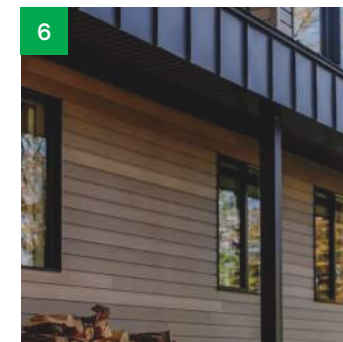
**3. Metal Panel**  
-Alucobond  
Easy Fix  
Vertical Stack:  
Bone White



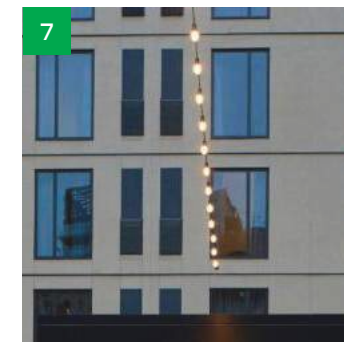
**4. Metal Panel**  
-Alucobond  
Easy Fix  
Vertical Stack  
Dusty Charcoal



**5. Glazed Brick**  
-Belden  
Modular:  
Forest Glaze  
Mortar: Tenn Buff



**6. Wood-Look Metal**  
-Longboard  
Tongue and Groove: Light  
National Walnut



**7. Alum. Louver & Windows**  
-Quaker Commercial M600  
Aluminum Windows  
Black



**8. Storefront**  
-OBE Series 3000 Thermal  
Multiplane Glazing System  
A-Black  
B-Light Bronze

**Prefinished Metal Coping typ.**  
Color to match Adjacent material

4. Metal Panel  
8. Storefront

1. Brick  
3. Metal Panel  
7. Alum. Louver  
4. Metal Panel

**Brick pattern typ.**  
Stretcher Running Bond  
Stacked Bond  
Soldier Course

**Linear LED Light Fixture typ.**  
Black

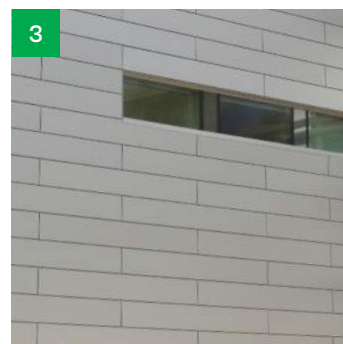
6. Wood  
8. Storefront  
3. Metal Panel



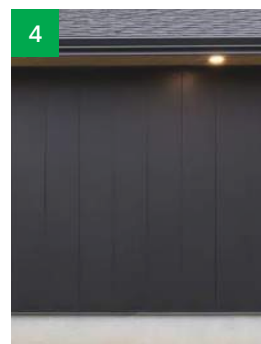
**1. Brick**  
-Belden  
Modular: Sea Gray Velour  
Mortar: Flamingo-Tennessee Buff



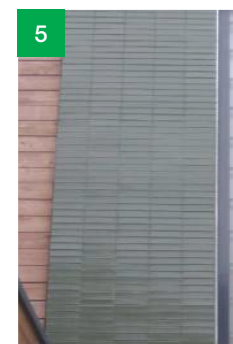
**2. Brick**  
-Belden  
Modular: Black Diamond Velour  
Mortar: Flamingo-X-25 Charcoal



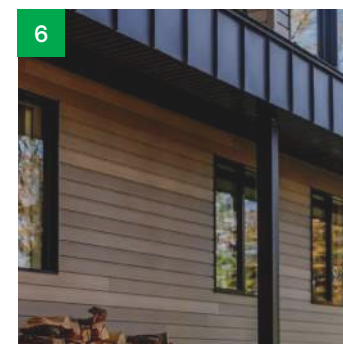
**3. Metal Panel**  
-Alucobond  
Easy Fix  
Vertical Stack:  
Bone White



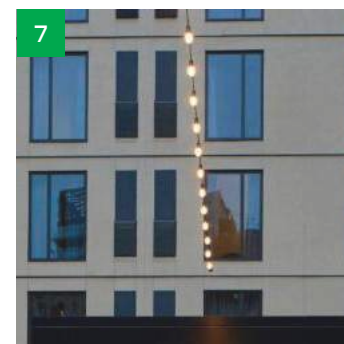
**4. Metal Panel**  
-Alucobond  
Easy Fix  
Vertical Stack  
Dusty Charcoal



**5. Glazed Brick**  
-Belden  
Modular:  
Forest Glaze  
Mortar: Tenn Buff



**6. Wood-Look Metal**  
-Longboard  
Tongue and Groove: Light  
National Walnut



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-Quaker Commercial M600  
Aluminum Windows  
Black



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-OBE Series 3000 Thermal  
Multiplane Glazing System  
A-Black  
B-Light Bronze

**Prefinished Metal Coping typ.**

Color to match Adjacent material

2. Brick

7. Alum. Louver and Window

3. Metal Panel

4. Metal Panel

**Brick pattern typ.**

Stretcher Running Bond

Soldier Course

**Linear LED Light Fixture typ.**

Black

**Hotel Sign Location**

4. Metal Panel & 2" Battens

2. Brick - Vertical Sailor Course

6. Wood

4. Metal Panel

2. Brick

**Hotel Mural Location**



6. Wood

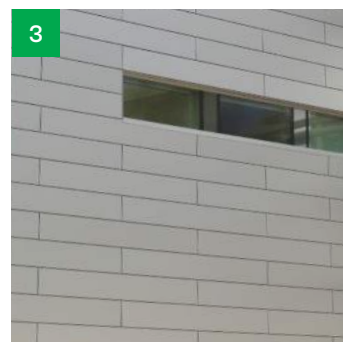
8. Storefront



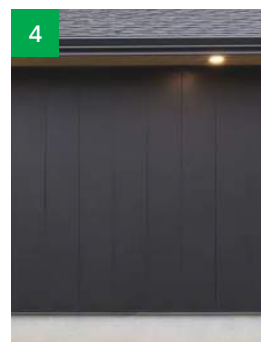
**1. Brick**  
-Belden  
Modular: Sea Gray Velour  
Mortar: Flamingo-Tennessee Buff



**2. Brick**  
-Belden  
Modular: Black Diamond Velour  
Mortar: Flamingo-X-25 Charcoal



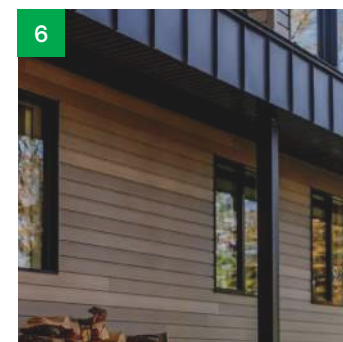
**3. Metal Panel**  
-Alucobond  
Easy Fix  
Vertical Stack:  
Bone White



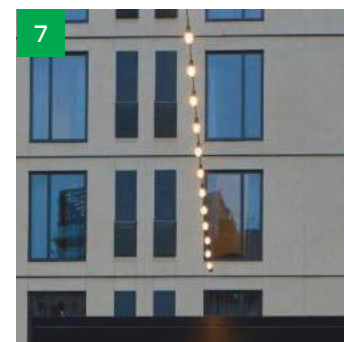
**4. Metal Panel**  
-Alucobond  
Easy Fix  
Vertical Stack  
Dusty Charcoal



**5. Glazed Brick**  
-Belden  
Modular:  
Forest Glaze  
Mortar: Tenn Buff



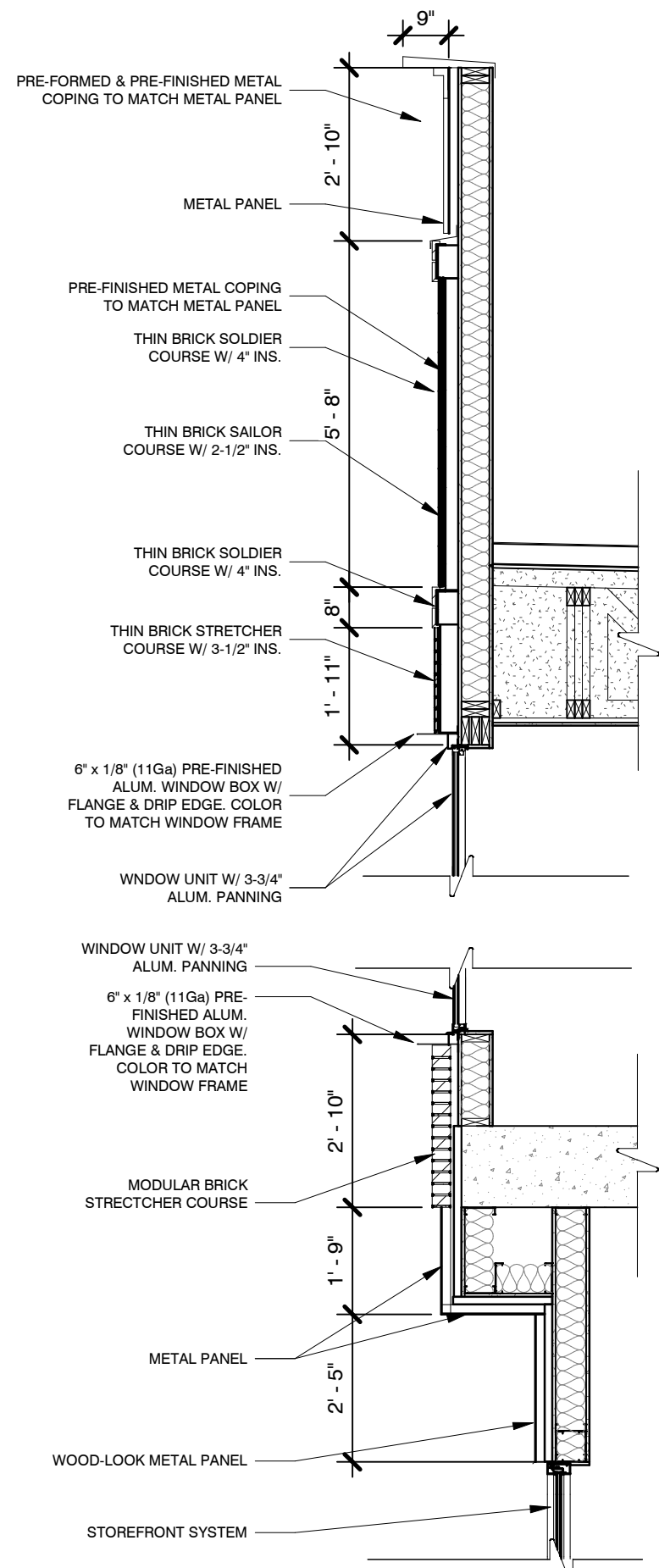
**6. Wood-Look Metal**  
-Longboard  
Tongue and Groove: Light  
National Walnut



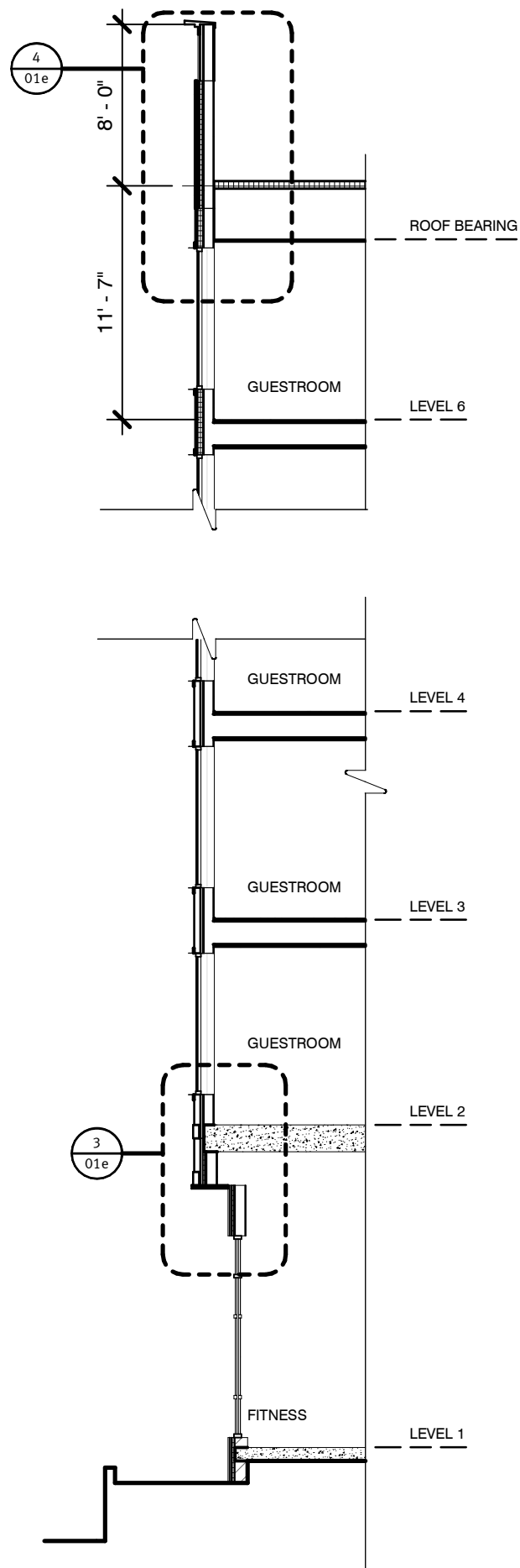
**7. Alum. Louver & Windows**  
-Quaker Commercial M600  
Aluminum Windows  
Black



**8. Storefront**  
-OBE Series 3000 Thermal  
Multiplane Glazing System  
A-Black  
B-Light Bronze



Section Details



Wall Section

Northwest Corner Vignette



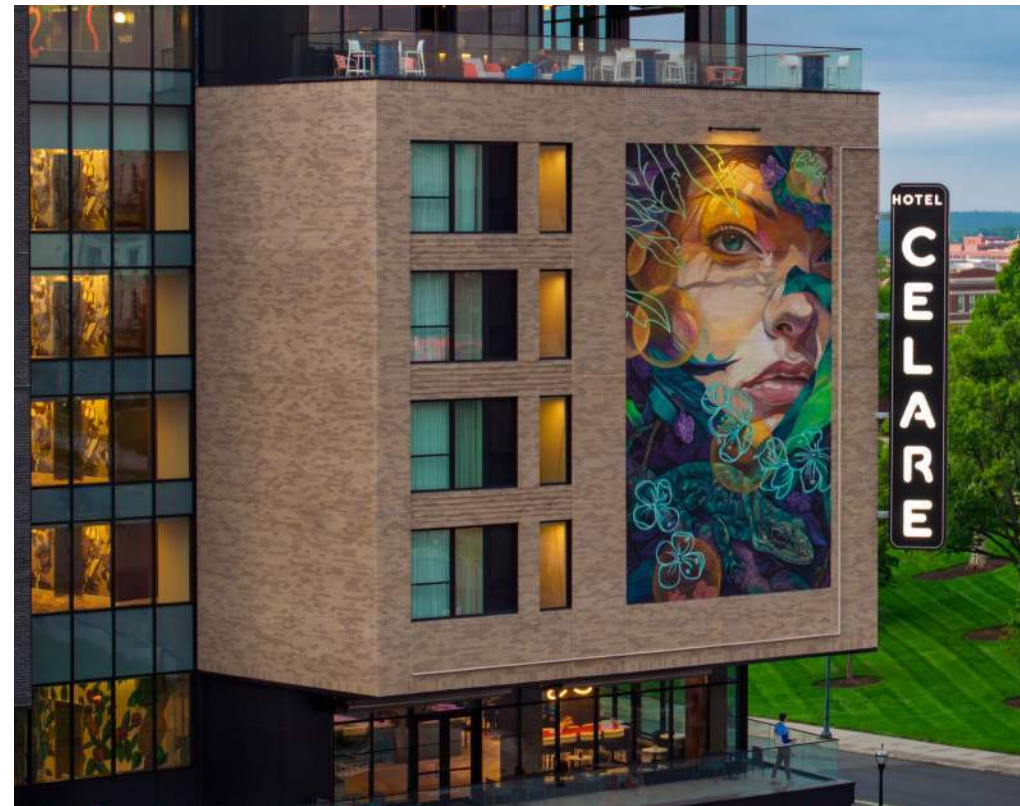


Dublin - Reference Project



AC Hotels by Marriott - Dublin, Ohio

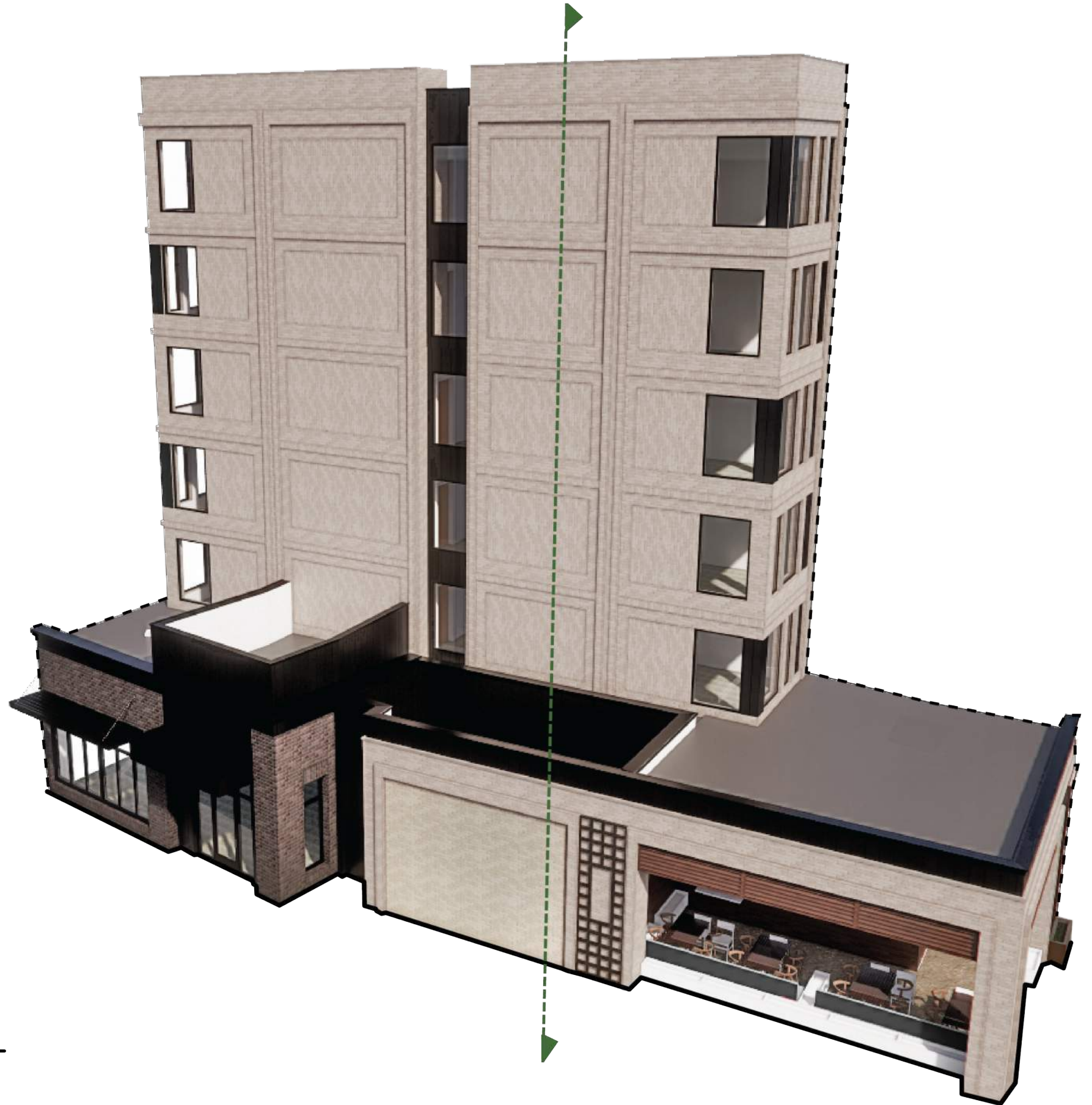
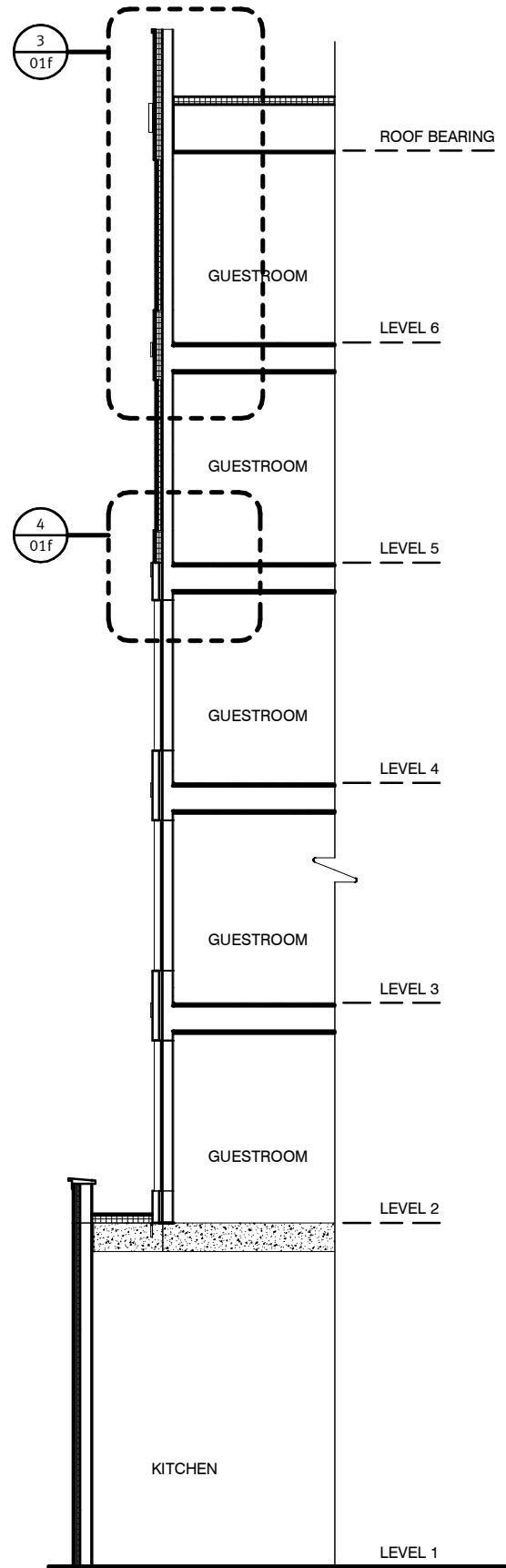
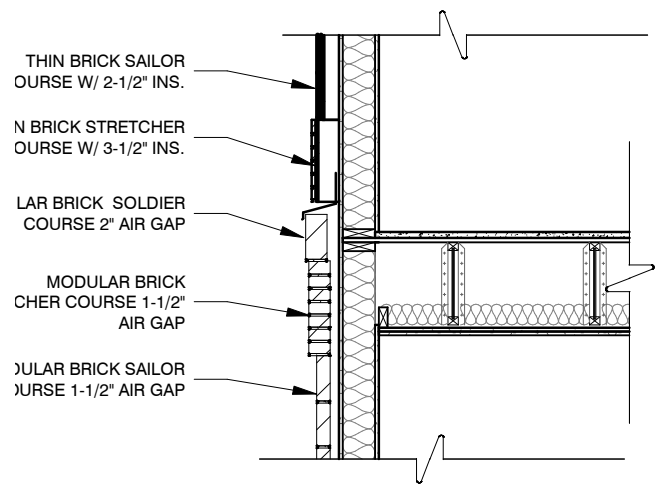
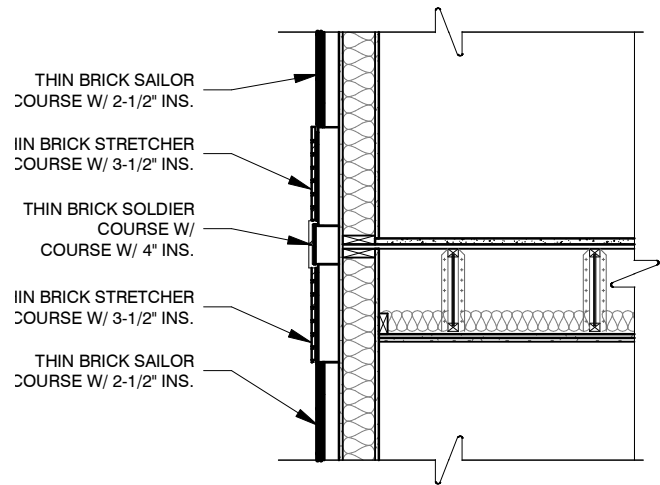
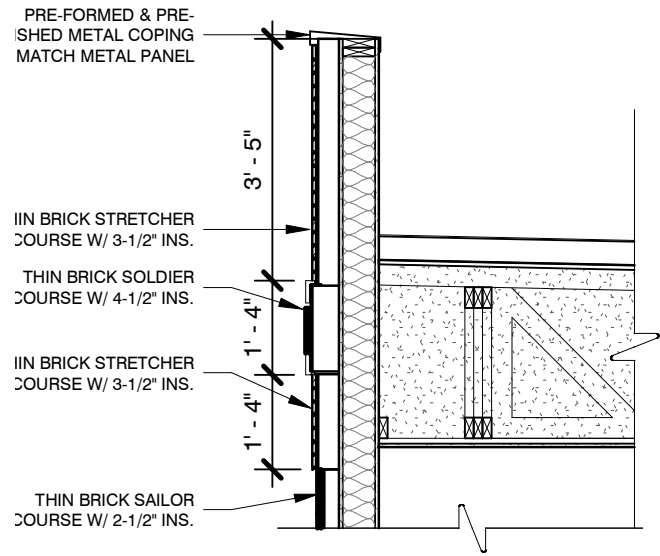
Meyers+Associates Reference Projects



Hotel Celare, Marriott Tribute Portfolio - Cincinnati, Ohio



Graduate By Hilton Hotel - Columbus, Ohio



Section Details

Wall Section

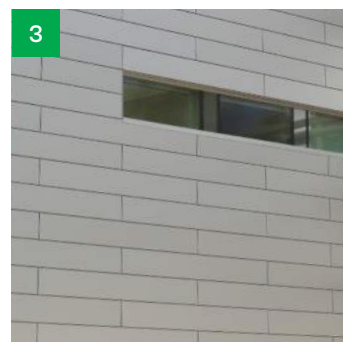
South Facade Vignette



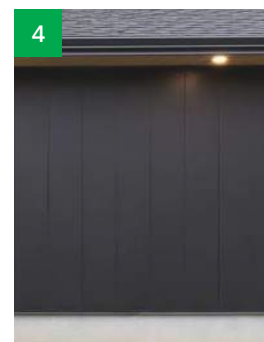
**1. Brick**  
 -Belden  
 Modular: Sea Gray Velour  
 Mortar: Flamingo-Tennessee Buff



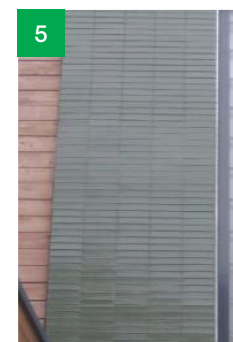
**2. Brick**  
 -Belden  
 Modular: Black Diamond Velour  
 Mortar: Flamingo-X-25 Charcoal



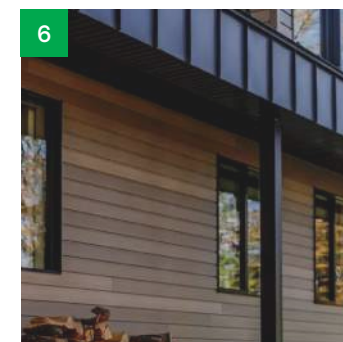
**3. Metal Panel**  
 -Alucobond  
 Easy Fix  
 Vertical Stack:  
 Bone White



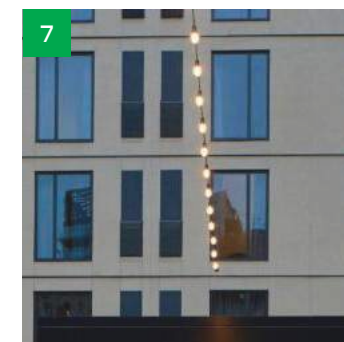
**4. Metal Panel**  
 -Alucobond  
 Easy Fix  
 Vertical Stack  
 Dusty Charcoal



**5. Glazed Brick**  
 -Belden  
 Modular:  
 Forest Glaze  
 Mortar: Tenn Buff



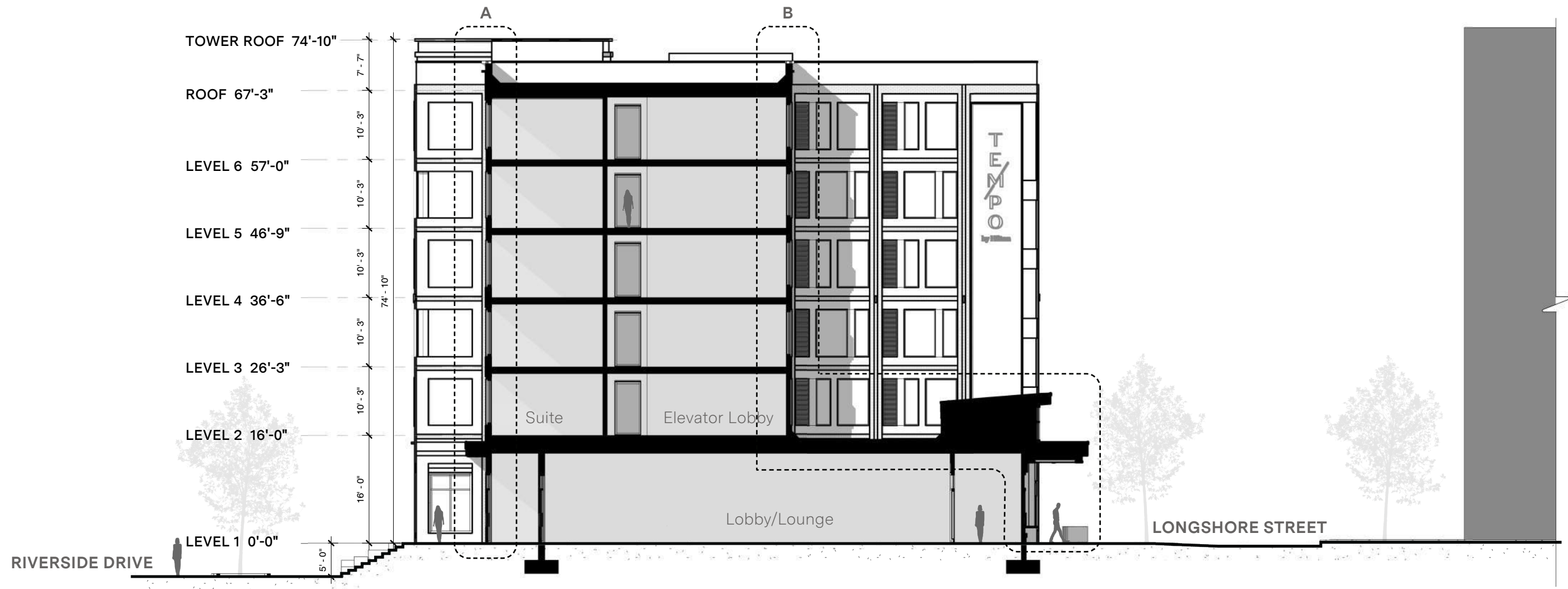
**6. Wood-Look Metal**  
 -Longboard  
 Tongue and Groove: Light  
 National Walnut

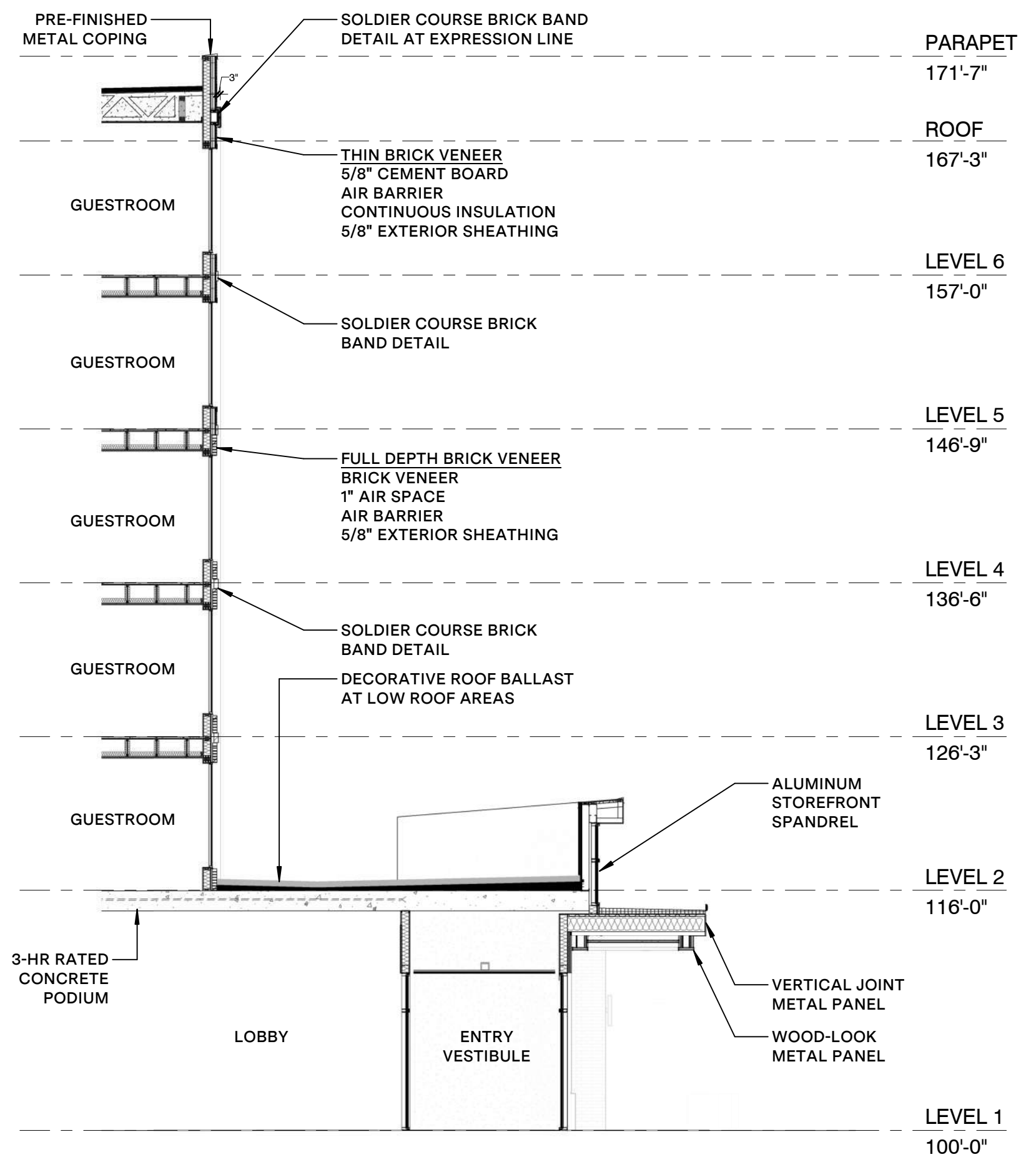
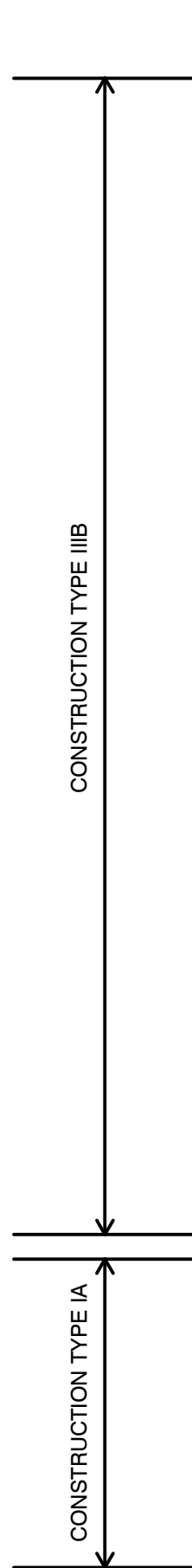
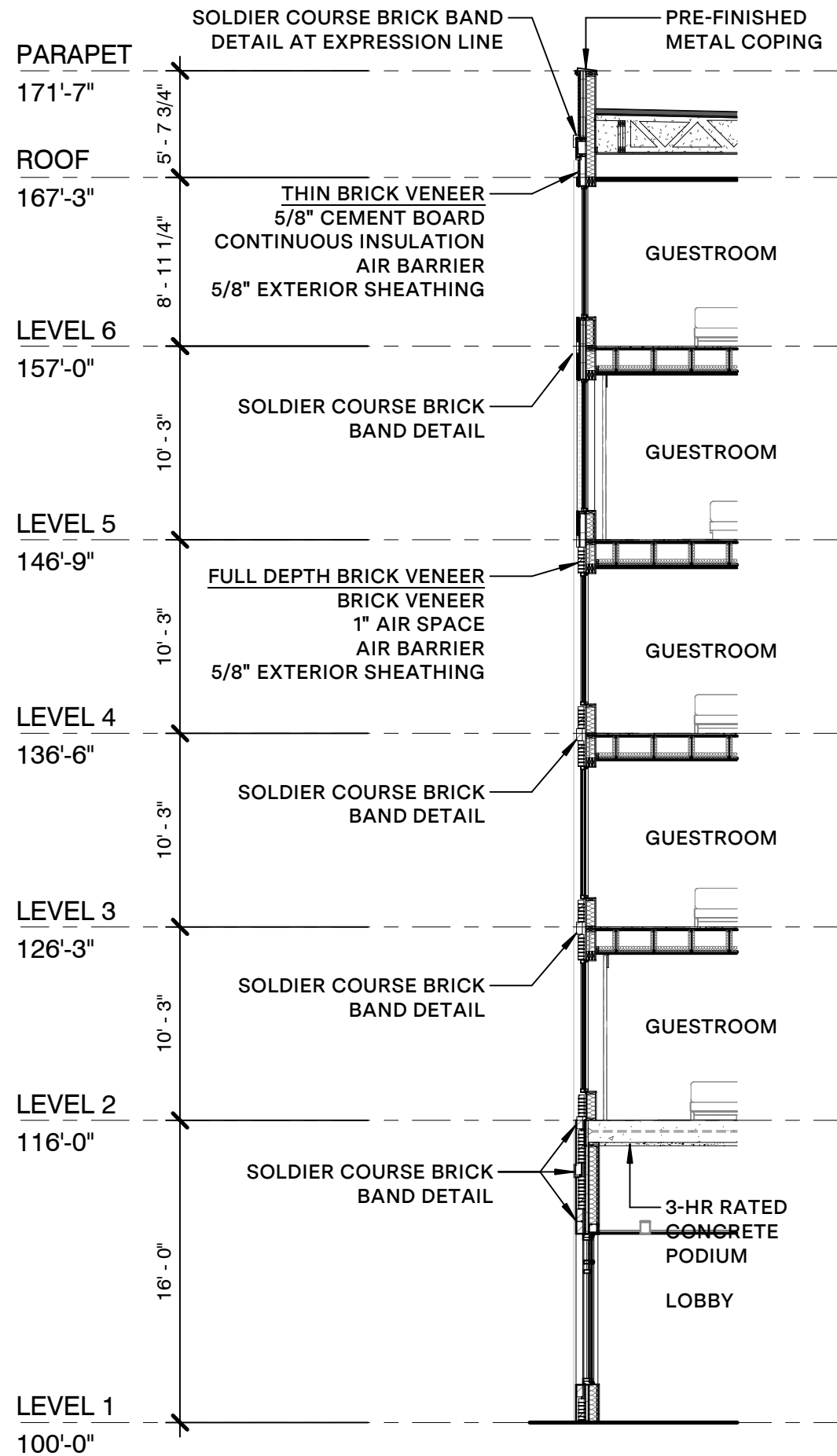


**7. Alum. Louver & Windows**  
 -Quaker Commercial M600  
 Aluminum Windows  
 Black



**8. Storefront**  
 -OBE Series 3000 Thermal  
 Multiplane Glazing System  
 A-Black  
 B-Light Bronze





A - WALL SECTION AT BRICK

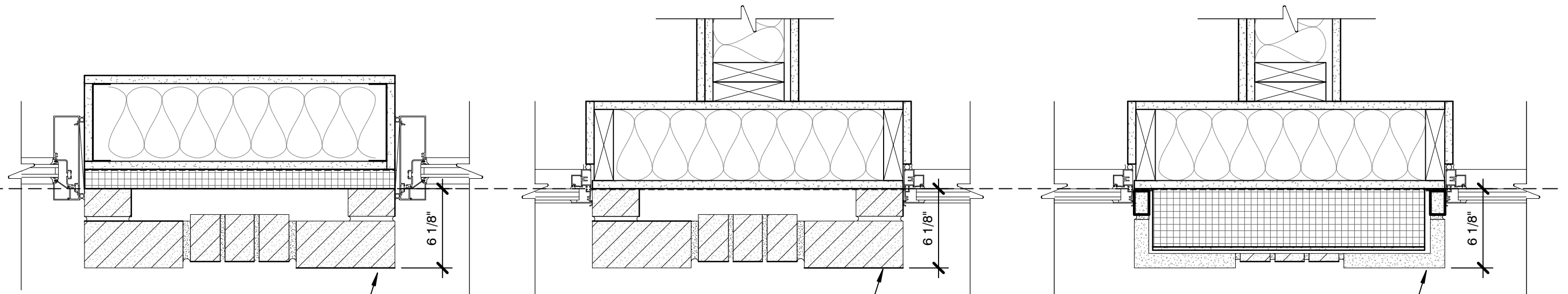
B - WALL SECTION AT ENTRY

(A) BRICK PILASTER DETAIL  
LEVEL 1 - LEVEL 2

(B) BRICK PILASTER DETAIL  
LEVEL 2 - LEVEL 4

(C) BRICK PILASTER DETAIL  
LEVEL 4 - LEVEL 6

INTERIOR  
EXTERIOR



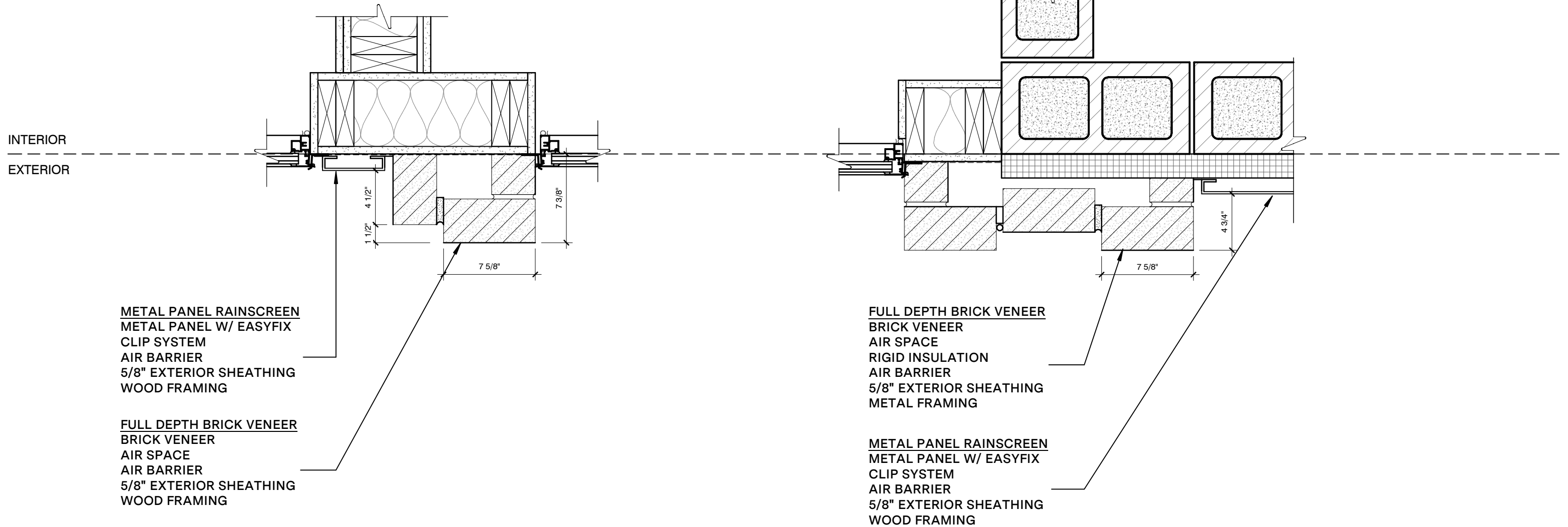
FULL DEPTH BRICK VENEER  
BRICK VENEER  
AIR SPACE  
RIGID INSULATION  
AIR BARRIER  
5/8" EXTERIOR SHEATHING  
METAL FRAMING

FULL DEPTH BRICK VENEER  
BRICK VENEER  
AIR SPACE  
AIR BARRIER  
5/8" EXTERIOR SHEATHING  
WOOD FRAMING

THIN BRICK VENEER  
BRICK VENEER  
5/8" CEMENT BOARD  
CONTINUOUS INSULATION  
AIR BARRIER  
5/8" EXTERIOR SHEATHING  
WOOD FRAMING

(A) BRICK TO METAL PANEL TRANSITION  
LEVEL 2- LEVEL 6

(B) BRICK PILASTER TO METAL PANEL TRANSITION  
LEVEL 1 - LEVEL 6



## A1. Street Frontage

	<u>Allowable:</u>	<u>Actual:</u>
Multiple Principal Buildings:	Permitted	Complies
Front Property Line Coverage:	75% minimum	Complies; 85%
Occupation of Corner:	Required	Complies
Front RBZ:	0ft - 15ft	Complies
Corner Side RBZ:	0ft - 15ft	Complies
RBZ Treatment:	Landscape, Patio, or Streetscape; along West Dublin-Granville Road, Streetscape required	Complies
Right-of-Way Encroachment:	0ft - 15ft	Complies

## A2. Buildable Area

	<u>Allowable:</u>	<u>Actual:</u>
Minimum Side Yard Setback:	5ft	Complies; 30'-0"
Minimum Rear Yard Setback:	5ft	N/A
Minimum Lot Width:	50ft	Complies; 253'-0"
Maximum Lot Width:	None	N/A
Maximum Impervious Coverage:	80%	87%
Additional Semi-Pervious Coverage:	10%	N/A

## A3. Parking Location & Loading

	<u>Allowable:</u>	<u>Actual:</u>
Parking Location:	Rear yard; within building	Adjacent Site
Loading Facility Location:	Rear & side Facade	Side Facade
Entry for Parking within Building:	Rear & side facade; corner side facade on non-principal frontage streets	N/A
Access:	Refer to 153.062(N)(1)(c)	Complies

FDP Waiver Requests

## B. Height

	<u>Allowable:</u>	<u>Actual:</u>
Minimum Height:	3 stories	Complies
Maximum Height:	6 stories	6 Total Stories
Ground Stories - Minimum Height:	12ft	Complies; 16ft
Ground Stories - Maximum Height:	16ft	16ft
Stories - Minimum Height:	10ft	Complies; 10'-3"
Stories - Maximum Height:	14ft	

## C. Uses & Occupancy Requirements

	<u>Allowable:</u>	<u>Actual:</u>
Ground Story:	Residential and general office uses are prohibited in shopping corridors; Podium parking structures are conditional uses in accordance with 153.059(C)(3)(g)	N/A
Upper Story:	No additional requirements	Complies
Parking within Building:	Permitted in the rear of the first 3 floors and fully in any basement(s)	N/A
Occupied Space:	Minimum 30ft depth facing street(s)	Complies See plan for hotel BOH spaces

## D1. Street Facade Transparency

	<u>Allowable:</u>	<u>Actual:</u>
Ground Story Street Facing Transparency:	Minimum 60% required	Ref. Elevations
Transparency:	Minimum 30%	Ref. Elevations
Blank Wall Limitations	Required	Ref. Elevations

## D2. Non-Street Facade Transparency

	<u>Allowable:</u>	<u>Actual:</u>
Transparency:	Minimum 15%	Ref. Elevations
Blank Wall Limitations:	Required	Ref. Elevations

## 153.062 (D-N) General Design Requirements

153.062 (N) (4)5. Vents located at the exterior facade for hotel room mechanical systems.

153.062 (E) a. Vertical Transitions in facade materials shall occur at inside corners.

153.062 (h) F. Windows in masonry walls shall have architecturally appropriate lintels and projectings sills.

## D3. Building Entrance

	<u>Allowable:</u>	<u>Actual:</u>
Principal Entrance Location:	Primary street facade of building	Complies
Street Facades - Number of Entrances:	1 per 75ft of facade minimum	Ref. Elevations
Parking Lot Facades - Number of Entrances:	1 per 100ft of facade minimum	N/A
Mid-Building Pedestrianway:	In shopping corridors, required for buildings greater than 250ft in length	N/A

## D4. Facade Divisions

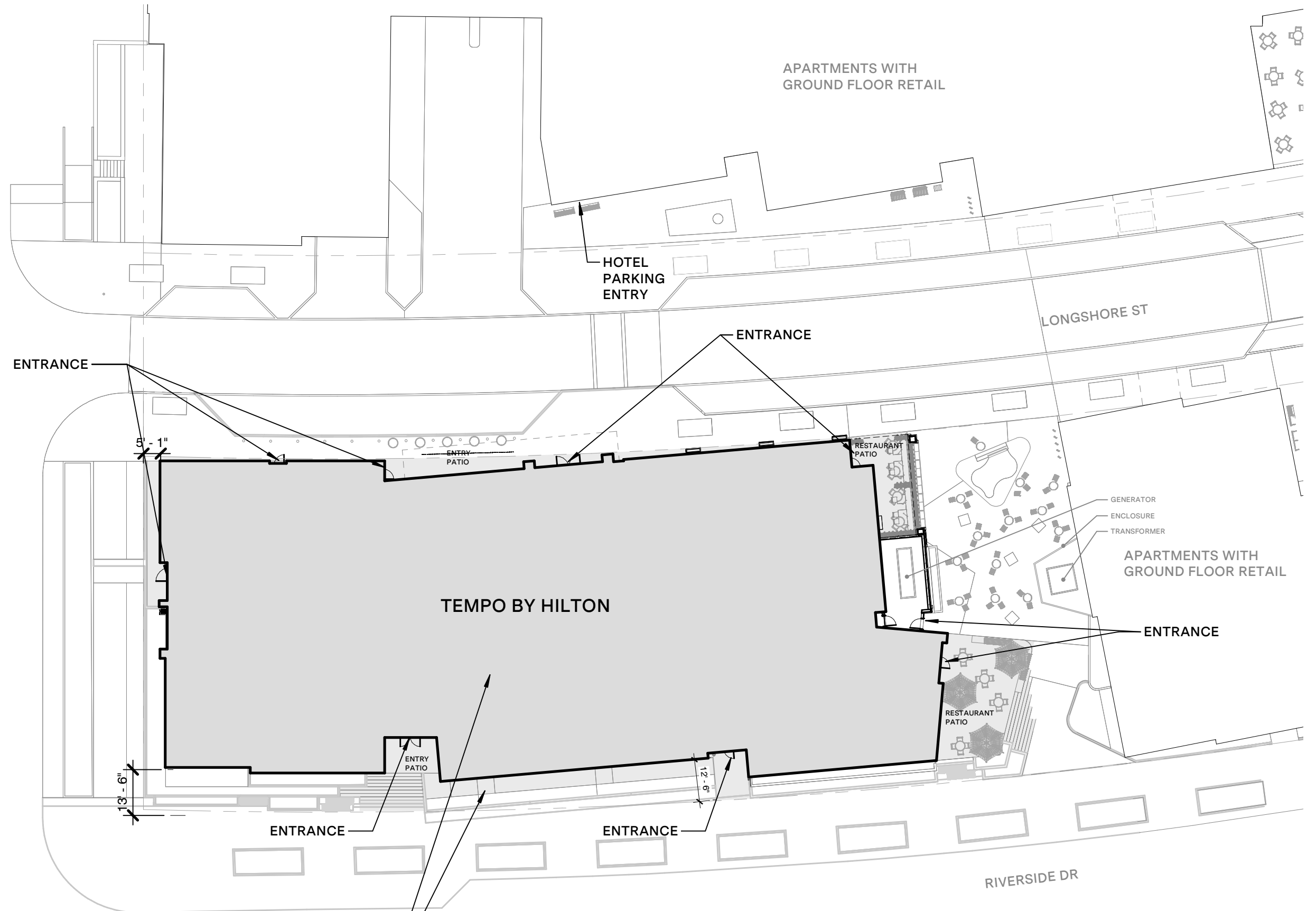
	<u>Allowable:</u>	<u>Actual:</u>
Vertical Increments:	No greater than 45ft	Ref. Elevations
Horizontal Facade Divisions:	On buildings 3 stories or taller, required within 3ft of the top of the ground story. Required at any building step-back	Complies - Ref. Elevations
Required Change in Roof Plane or Type:	None	N/A

## D5. Facade Materials

	<u>Allowable:</u>	<u>Actual:</u>
Permitted Primary Materials:	Stone, Brick, Glass	Ref. Elevations

## D6. Roof Types

	<u>Allowable:</u>	<u>Actual:</u>
Permitted Types:	Parapet, pitched roof, flat roof;; other types may be permitted with approval	Ref. Elevations
Tower:	Permitted of facades only at terminal vistas, corners at two principal frontage streets, and/or adjacent to an open space	Ref. Elevations



BUILDING FOOTPRINT: 19,830 SF  
 IMPERVIOUS ZONE: 2,941 SF

EAST ELEVATION FACADE REQUIREMENTS

**TRANSPARENCY**

GROUND LEVEL:  
 HEIGHT: BETWEEN 2'-8" ABOVE SIDEWALK  
 ZONE AREA: 1365 SF  
 GLAZING AREA: 703 SF  
**REQUIRED: 60% min**  
**PROVIDED: 55%**

UPPER LEVEL:  
 HEIGHT: 10'-0"  
 ZONE AREA: 2083 SF  
 GLAZING AREA: 638 SF  
**REQUIRED: 30% min**  
**PROVIDED: 31%**

**BLANK WALL LIMITATION**

**REQUIRED: YES**  
**PROVIDED: - 20%** (NO MORE THAN 30% OF BUILDING  
 FACADE GREATER THAN 15'-0")

**NUMBER OF ENTRANCES**

FACADE LENGTH: 217'-0" / 75 = 3  
**REQUIRED: 3 (1 PER 75')**  
**PROVIDED: 3**

**VERTICAL FACADE DIVISIONS**

**REQUIRED: YES** (NO GREATER THAN 45')  
**PROVIDED: YES** (PILASTER DETAILING)

**HORIZONTAL FACADE DIVISIONS**

**REQUIRED: YES** (WITHIN 3'-0" TO TOP OF GROUND STORY)  
**PROVIDED: YES** (WITH MATERIAL CHANGE AND HORIZONTAL ORNAMENTATION.)

**FACADE MATERIALS AND AREAS**

TOTAL FACADE AREA MINUS WINDOWS AND DOORS: 12,086 SF  
 PRIMARY: FULL DEPTH BRICK 5,166 SF  
 PRIMARY: GLAZING (STOREFRONT) 1,355 SF

SECONDARY: THIN BRICK 3,241 SF  
 SECONDARY: LOUVERS 729 SF  
 SECONDARY: METAL PANEL 1,220 SF  
 SECONDARY: WOOD PANEL 375 SF

PRIMARY MATERIALS  
**REQUIRED: 80%**  
**PROVIDED: 54% (81% WITH HALF BRICK VENEER)**

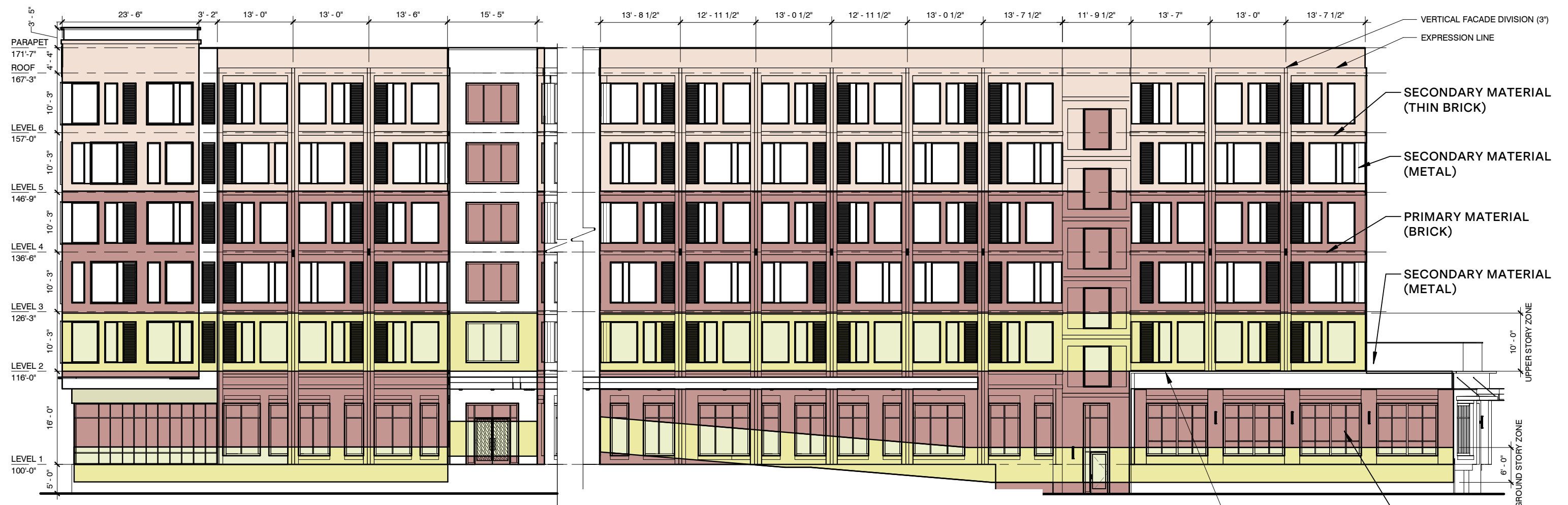
SECONDARY MATERIALS  
**REQUIRED: <20%**

STREET FACADE: YES  
 PRINCIPLE ENTRANCE: YES



WEST ELEVATION FACADE REQUIREMENTS

<p><b>TRANSPARENCY</b></p> <p>GROUND LEVEL: HEIGHT: BETWEEN 2'-8" ABOVE SIDEWALK ZONE AREA: 1,386 SF GLAZING AREA: 499 SF <b>REQUIRED: 60% min</b> <b>PROVIDED: 36%</b></p> <p>UPPER LEVEL: HEIGHT: 10'-0" ZONE AREA: 2,131 SF GLAZING AREA: 770 SF <b>REQUIRED: 30% min</b> <b>PROVIDED: 36%</b></p> <p><b>BLANK WALL LIMITATION</b> <b>REQUIRED: YES</b> <b>PROVIDED: N/A</b> (NO MORE THAN 30% OF BUILDING FACADE GREATER THAN 15'-0")</p>	<p><b>NUMBER OF ENTRANCES</b></p> <p>FACADE LENGTH: 225'-0" / 75 = 3 <b>REQUIRED: 3 (1 PER 75')</b> <b>PROVIDED: 3</b></p> <p><b>VERTICAL FACADE DIVISIONS</b></p> <p><b>REQUIRED: YES</b> (NO GREATER THAN 45') <b>PROVIDED: YES</b> (WITH RECESSED AREAS AND PILASTER DETAILING)</p> <p><b>HORIZONTAL FACADE DIVISIONS</b></p> <p><b>REQUIRED: YES</b> (WITHIN 3'-0" TO TOP OF GROUND STORY) <b>PROVIDED: YES</b> (WITH MATERIAL CHANGE AND HORIZONTAL ORNAMENTATION.)</p>	<p><b>FACADE MATERIALS AND AREAS</b></p> <table border="0"> <tr> <td>TOTAL FACADE AREA MINUS WINDOWS AND DOORS:</td> <td>12,398 SF</td> </tr> <tr> <td>PRIMARY: FULL DEPTH BRICK</td> <td>4,660 SF</td> </tr> <tr> <td>PRIMARY: GLAZING (STOREFRONT)</td> <td>1,990 SF</td> </tr> <tr> <td>SECONDARY: THIN BRICK</td> <td>2,813 SF</td> </tr> <tr> <td>SECONDARY: LOUVERS</td> <td>1,063 SF</td> </tr> <tr> <td>SECONDARY: METAL PANEL</td> <td>1,808 SF</td> </tr> <tr> <td>SECONDARY: WOOD</td> <td>63 SF</td> </tr> </table> <p>PRIMARY MATERIALS <b>REQUIRED: 80%</b> <b>PROVIDED: 54% (76% WITH THIN BRICK VENEER)</b></p> <p>SECONDARY MATERIALS <b>REQUIRED: &lt;20%</b></p> <p>STREET FACADE: YES PRINCIPLE ENTRANCE: YES</p>	TOTAL FACADE AREA MINUS WINDOWS AND DOORS:	12,398 SF	PRIMARY: FULL DEPTH BRICK	4,660 SF	PRIMARY: GLAZING (STOREFRONT)	1,990 SF	SECONDARY: THIN BRICK	2,813 SF	SECONDARY: LOUVERS	1,063 SF	SECONDARY: METAL PANEL	1,808 SF	SECONDARY: WOOD	63 SF
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WEST ELEVATION FACADE REQUIREMENTS

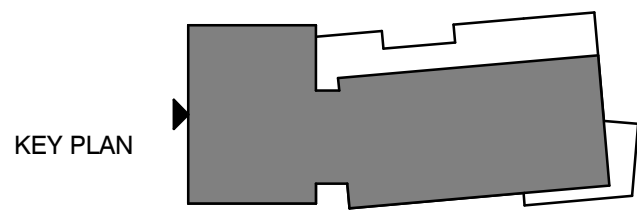
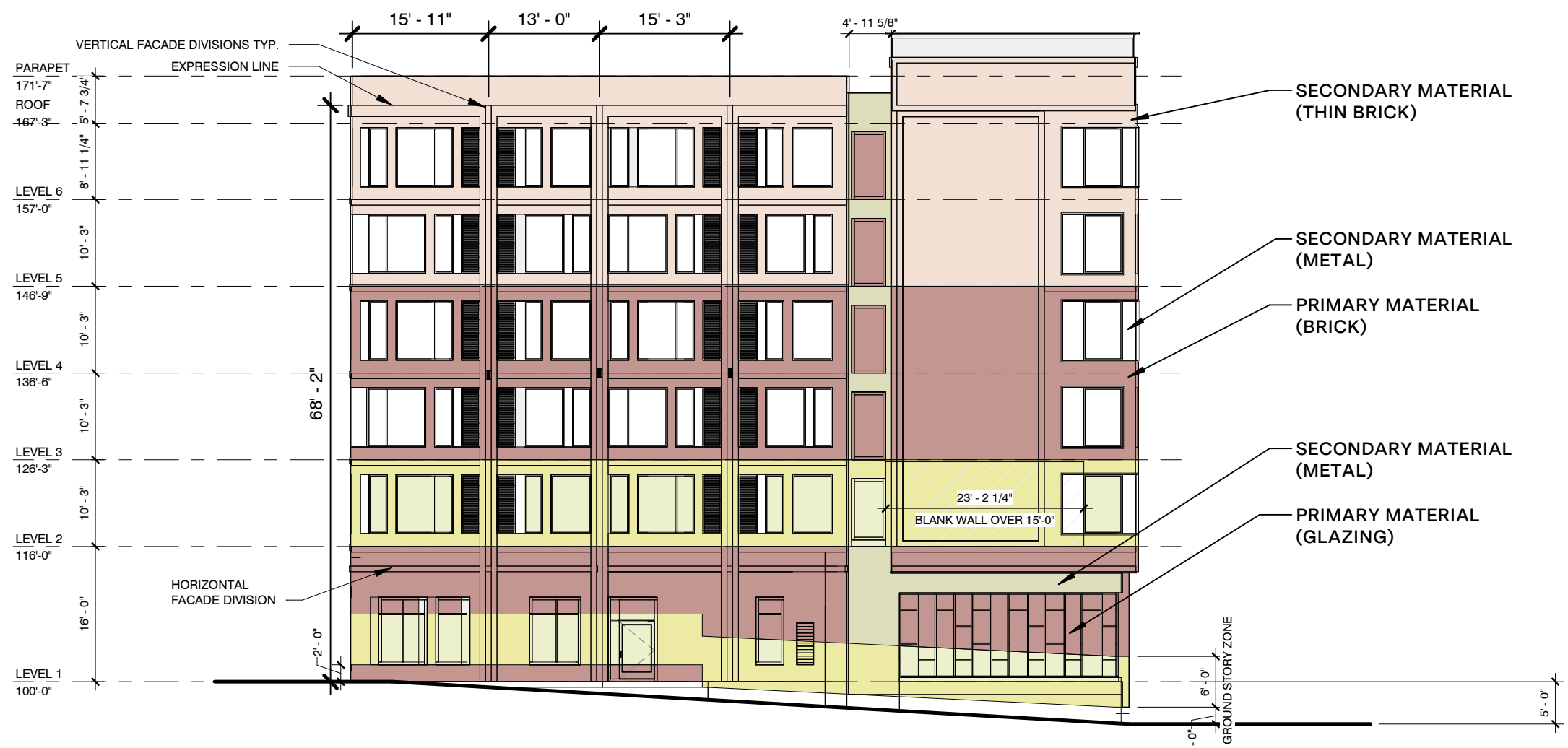
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KEY PLAN

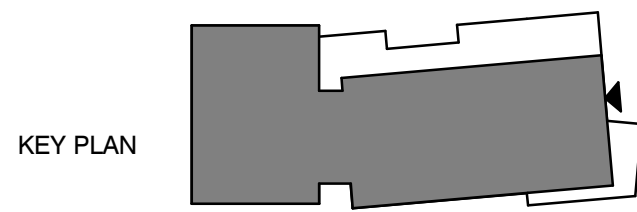
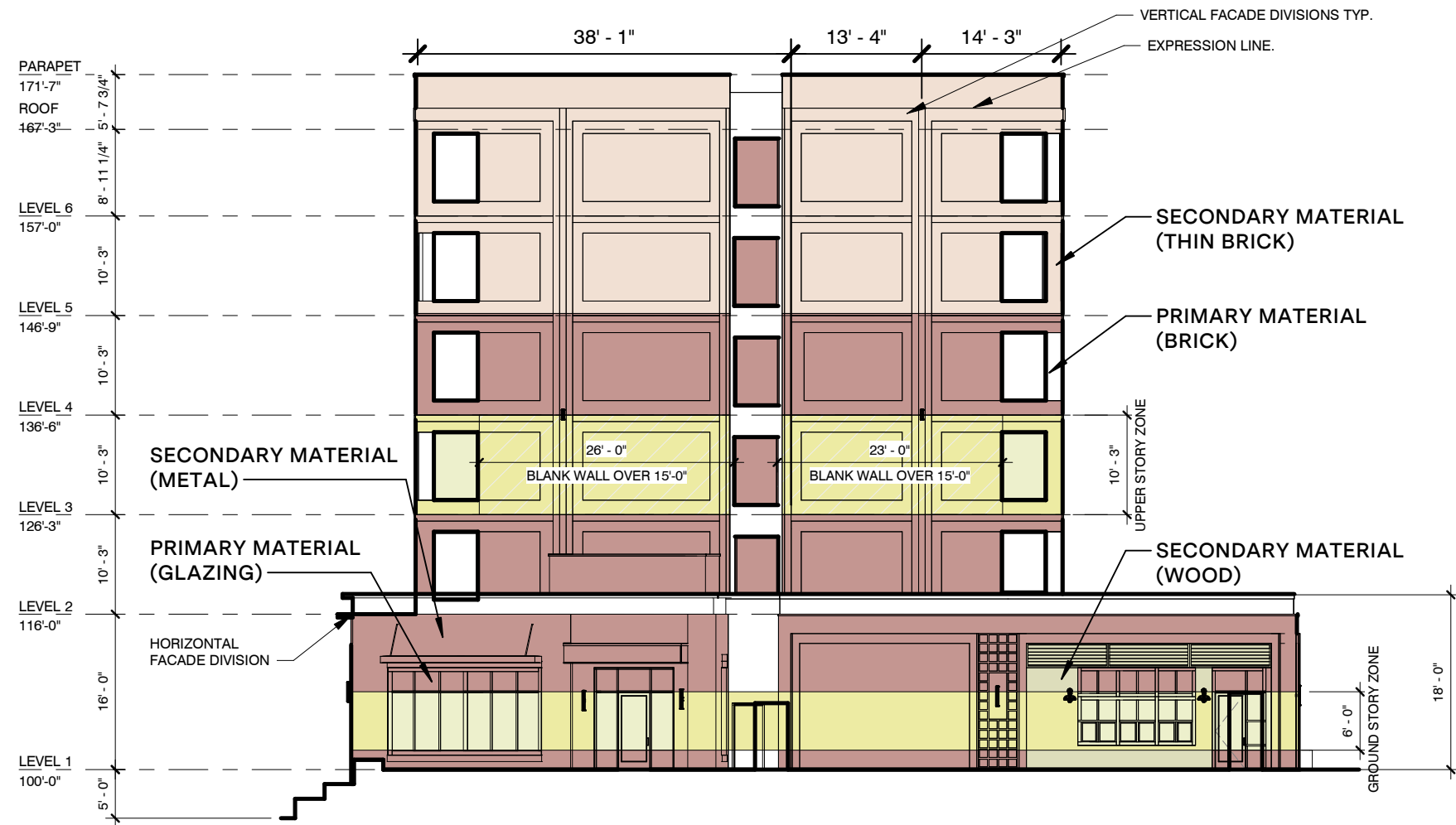
**NORTH ELEVATION FACADE REQUIREMENTS**

<p><b>TRANSPARENCY</b></p> <p>GROUND LEVEL:              HEIGHT: BETWEEN 2'-8" ABOVE SIDEWALK              ZONE AREA: 547 SF              GLAZING AREA: 185 SF  <b>REQUIRED: 60% min</b>  <b>PROVIDED: 37%</b></p> <p>UPPER LEVEL:              HEIGHT: 10'-0"              ZONE AREA: 946 SF              GLAZING AREA: 283 SF  <b>REQUIRED: 30% min</b>  <b>PROVIDED: 30%</b></p> <p><b>BLANK WALL LIMITATION</b>  <b>REQUIRED: YES</b>  <b>PROVIDED: 25%</b> (NO MORE THAN 30% OF BUILDING FACADE GREATER THAN 15'-0")</p>	<p><b>NUMBER OF ENTRANCES</b></p> <p>FACADE LENGTH: 90'-0" / 75 = 2  <b>REQUIRED: 2 (1 PER 75')</b>  <b>PROVIDED: 1</b></p> <p><b>VERTICAL FACADE DIVISIONS</b></p> <p><b>REQUIRED: YES</b> (NO GREATER THAN 45')  <b>PROVIDED: YES</b> (PILASTER DETAILING)</p> <p><b>HORIZONTAL FACADE DIVISIONS</b></p> <p><b>REQUIRED: YES</b> (WITHIN 3'-0" TO TOP OF GROUND STORY)  <b>PROVIDED: YES</b> (WITH MATERIAL CHANGE AND HORIZONTAL ORNAMENTATION.)</p>	<p><b>FACADE MATERIALS AND AREAS</b></p> <table border="0"> <tr> <td>TOTAL FACADE AREA MINUS WINDOWS AND DOORS:</td> <td>5,286 SF</td> </tr> <tr> <td>PRIMARY: FULL DEPTH BRICK</td> <td>2,418 SF</td> </tr> <tr> <td>PRIMARY: GLAZING (STOREFRONT)</td> <td>650 SF</td> </tr> <tr> <td>SECONDARY: THIN BRICK</td> <td>1,475 SF</td> </tr> <tr> <td>SECONDARY: LOUVERS</td> <td>303 SF</td> </tr> <tr> <td>SECONDARY: METAL PANEL</td> <td>125 SF</td> </tr> <tr> <td>SECONDARY: WOOD</td> <td>315 SF</td> </tr> </table> <p>PRIMARY MATERIALS  <b>REQUIRED: 80%</b>  <b>PROVIDED: 58% (86% WITH THIN BRICK VENEER)</b></p> <p>SECONDARY MATERIALS  <b>REQUIRED: &lt;20%</b></p> <p>STREET FACADE: YES              PRINCIPLE ENTRANCE: NO</p>	TOTAL FACADE AREA MINUS WINDOWS AND DOORS:	5,286 SF	PRIMARY: FULL DEPTH BRICK	2,418 SF	PRIMARY: GLAZING (STOREFRONT)	650 SF	SECONDARY: THIN BRICK	1,475 SF	SECONDARY: LOUVERS	303 SF	SECONDARY: METAL PANEL	125 SF	SECONDARY: WOOD	315 SF
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**SOUTH ELEVATION FACADE REQUIREMENTS**

<p><b>TRANSPARENCY</b></p> <p>GROUND LEVEL:              HEIGHT: BETWEEN 2'-8" ABOVE SIDEWALK              ZONE AREA: 581 SF              GLAZING AREA: 176 SF  <b>REQUIRED: 15% min</b>  <b>PROVIDED: 30%</b></p> <p>UPPER LEVEL:              HEIGHT: 10'-0"              ZONE AREA: 678 SF              GLAZING AREA: 95 SF  <b>REQUIRED: 15% min</b>  <b>PROVIDED: 14%</b></p> <p><b>BLANK WALL LIMITATION</b>  <b>REQUIRED: YES</b>  <b>PROVIDED: (74%) (NO MORE THAN 30% OF BUILDING FACADE GREATER THAN 15'-0")</b></p>	<p><b>NUMBER OF ENTRANCES</b></p> <p>FACADE LENGTH: 96'-0" / 75 = 2  <b>REQUIRED: 2 (1 PER 75')</b>  <b>PROVIDED: 3</b></p> <p><b>VERTICAL FACADE DIVISIONS</b></p> <p><b>REQUIRED: YES (NO GREATER THAN 45')</b>  <b>PROVIDED: YES (PILASTER DETAILING)</b></p> <p><b>HORIZONTAL FACADE DIVISIONS</b></p> <p><b>REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)</b>  <b>PROVIDED: YES (WITH MATERIAL CHANGE AND HORIZONTAL ORNAMENTATION.)</b></p>	<p><b>FACADE MATERIALS AND AREAS</b></p> <table border="0"> <tr> <td>TOTAL FACADE AREA MINUS WINDOWS AND DOORS:</td> <td>4,720 SF</td> </tr> <tr> <td>PRIMARY: FULL DEPTH BRICK</td> <td>2,456 SF</td> </tr> <tr> <td>PRIMARY: GLAZING (STOREFRONT)</td> <td>532 SF</td> </tr> <tr> <td>SECONDARY: THIN BRICK</td> <td>1,344 SF</td> </tr> <tr> <td>SECONDARY: LOUVERS</td> <td>0 SF</td> </tr> <tr> <td>SECONDARY: METAL PANEL</td> <td>223 SF</td> </tr> <tr> <td>SECONDARY: WOOD</td> <td>165 SF</td> </tr> </table> <p>PRIMARY MATERIALS  <b>REQUIRED: 80%</b>  <b>PROVIDED: 63% (92% WITH HALF BRICK VENEER)</b></p> <p>SECONDARY MATERIALS  <b>REQUIRED: &lt;20%</b></p> <p>STREET FACADE: NO              PRINCIPLE ENTRANCE: NO</p>	TOTAL FACADE AREA MINUS WINDOWS AND DOORS:	4,720 SF	PRIMARY: FULL DEPTH BRICK	2,456 SF	PRIMARY: GLAZING (STOREFRONT)	532 SF	SECONDARY: THIN BRICK	1,344 SF	SECONDARY: LOUVERS	0 SF	SECONDARY: METAL PANEL	223 SF	SECONDARY: WOOD	165 SF
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## WAIVER SUMMARY

- Waiver Requests highlighted in green on prior pages

### 1) 153.062 (E) 2a Materials:

*Vertical Transitions in materials shall occur at inside corners*

In select areas of the building there are material transitions from brick to wood, and brick to metal panel. These areas are detailed with brick framing to give additional depth to the transition that is already larger due to the brick wall assembly.

### 2) 153.062 (H) 1f Windows, Shutters, Awnings and Canopies:

*Windows in masonry walls shall have architecturally appropriate lintels and projecting sills.*

All windows in masonry walls at the ground level have lintels and projecting sills. However, above the first floor the traditional lintel and sill is centered between window bays. This strategy reinforces the grid pattern on the brick facade without introducing extraneous detailing.

### 3) D1. 3b Transparency:

The East Elevation is under the required 60% transparency requirement due to the location of back of house spaces and relocated water room along this facade.

### 4) D3. Building Entrance:

A second entry on the North Elevation was removed due to planning changes to the back of house area of the hotel.

### 4) D5. Facade Materials

The West Elevation primary materials are under the 80% requirement due to the amount of metal louvers on this facade, which are required per hotel VTAC system.









