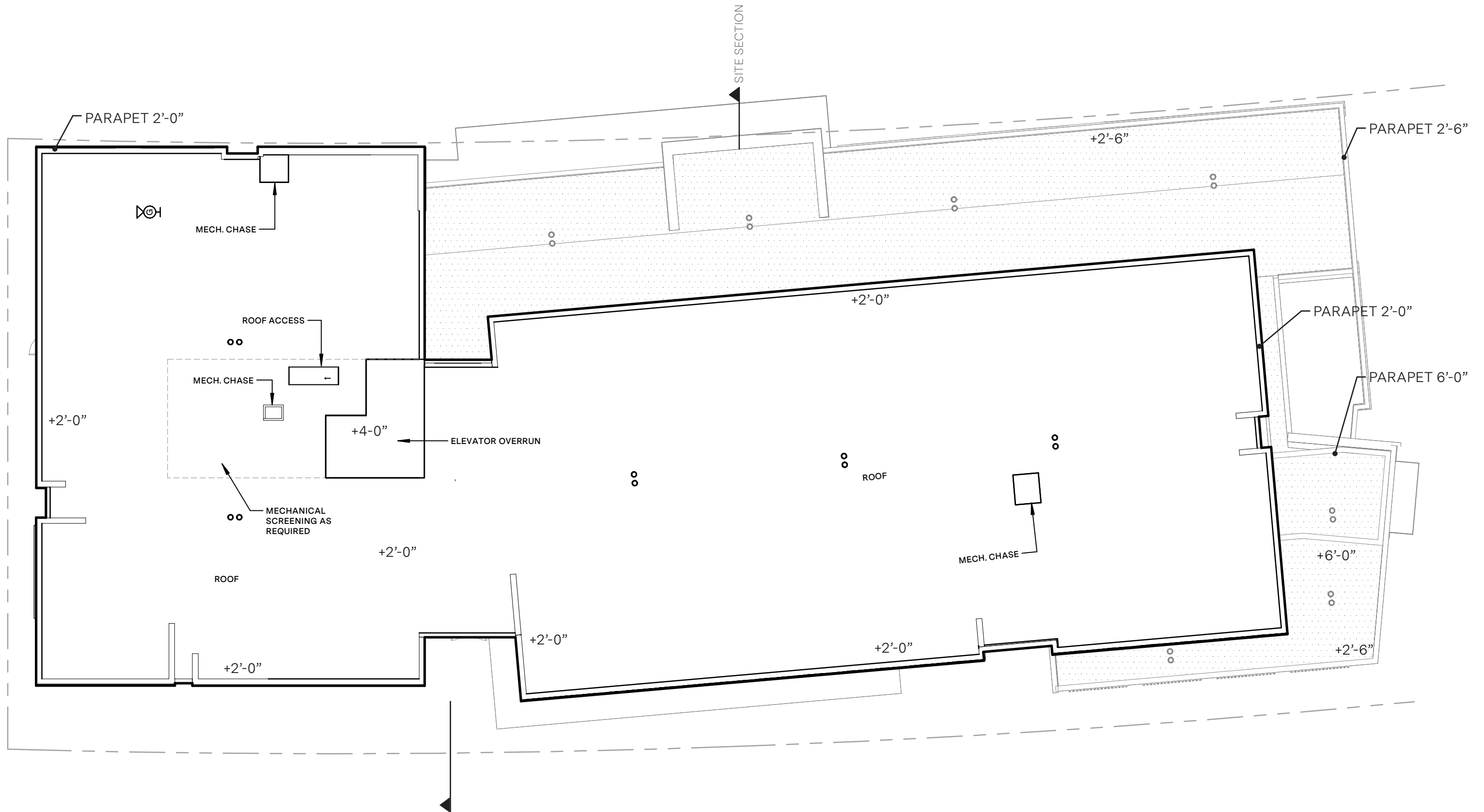
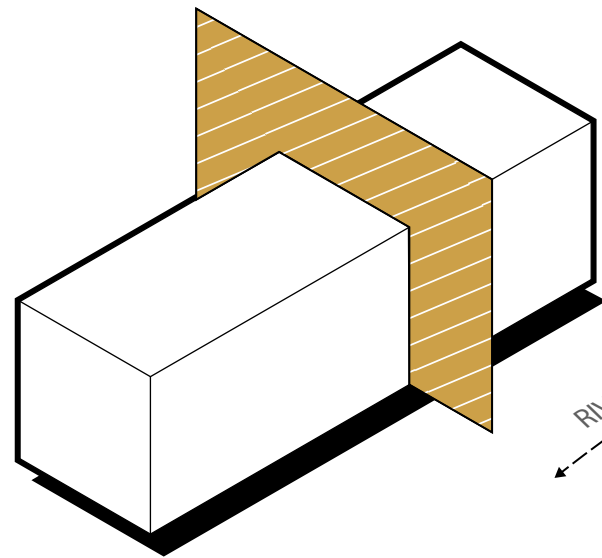




1/16" = 1'-0"

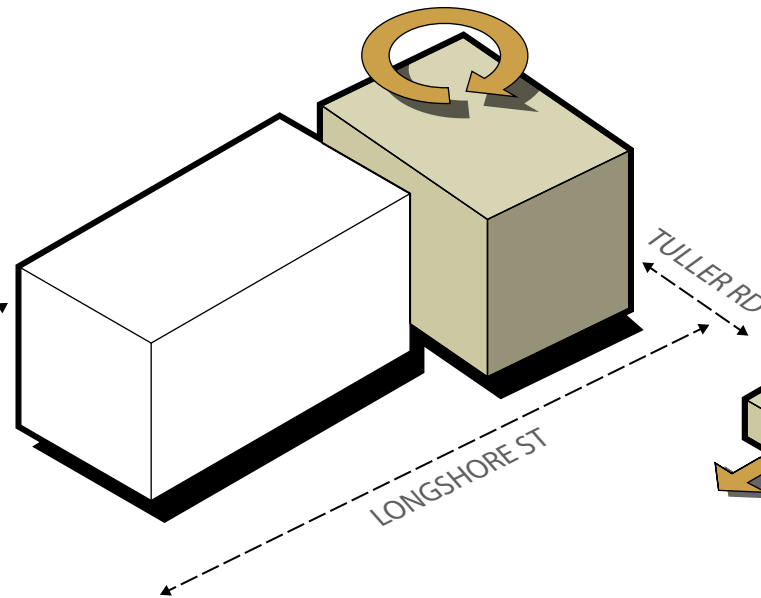






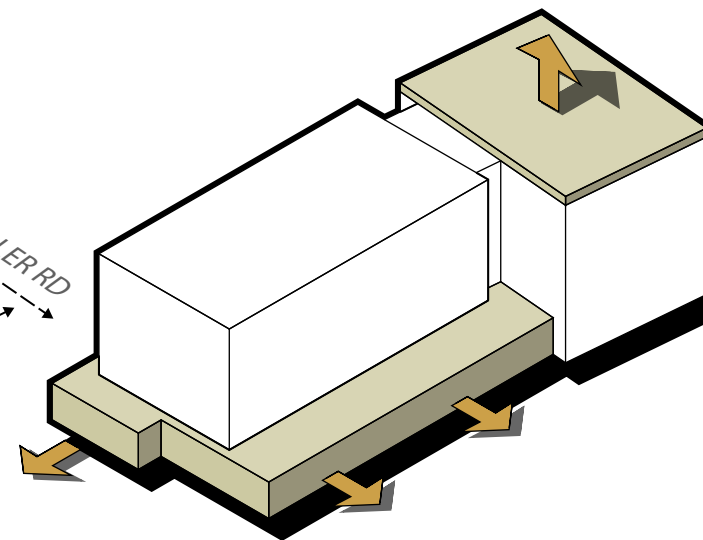
1. Split

A split in the building located across from the parking garage entry defines the hotel entry, core location, and creates visual connection from Longshore to Riverside.



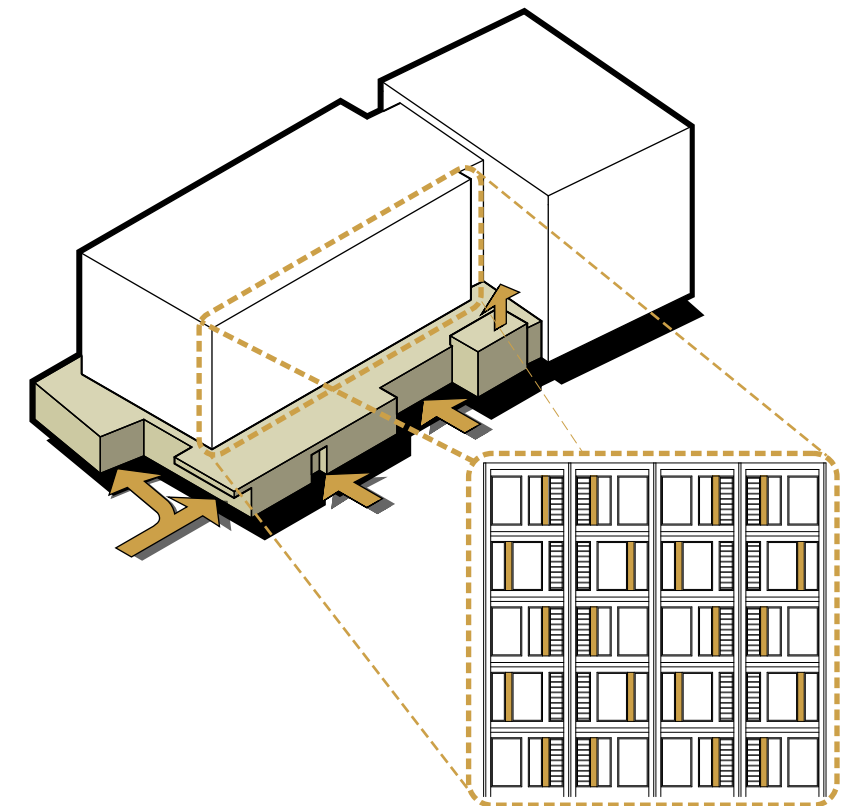
2. Rotate

Northwest corner of the building turns toward Tuller activating a visually prominent corner.



3. Pull

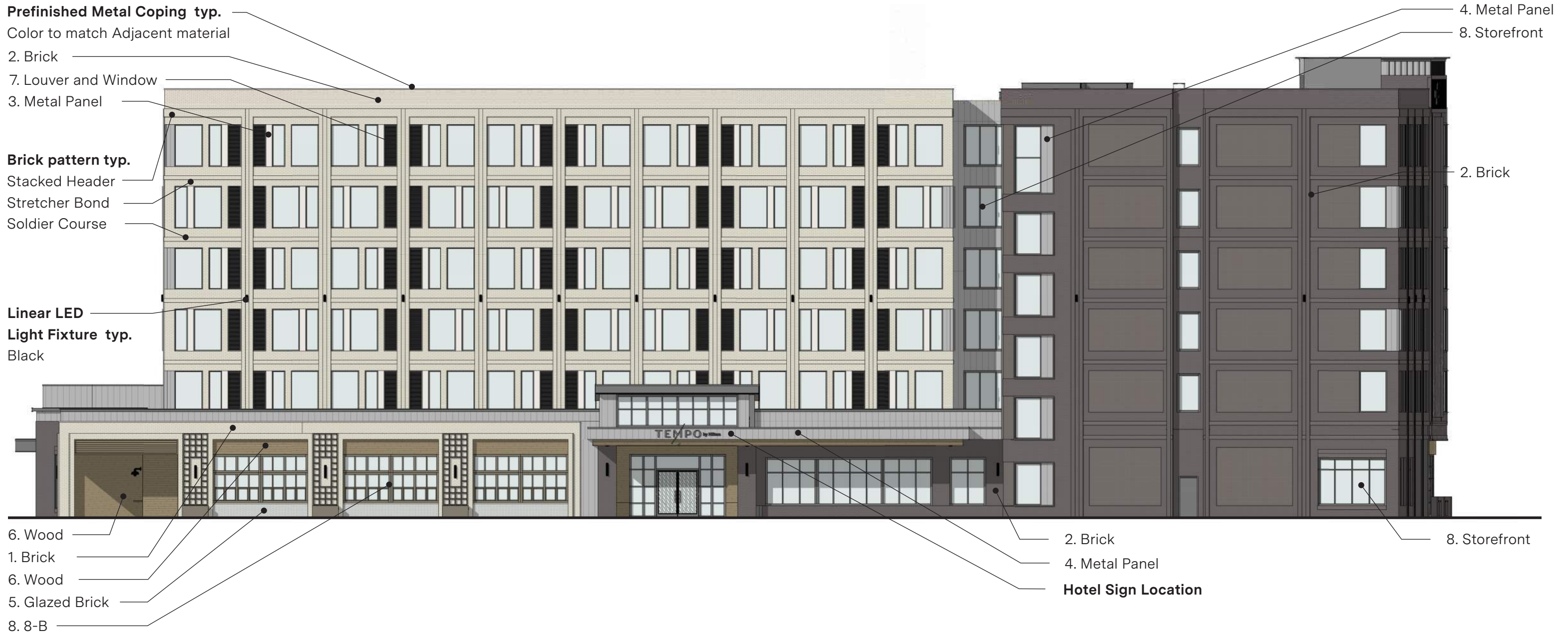
The north end pushes skyward for additional prominence and conceals rooftop equipment. The entry and restaurant spaces scale down toward the street and park.



4. Detail

The window units create a rhythm to camouflage the stacked louvers.

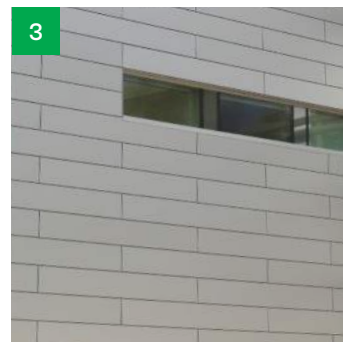




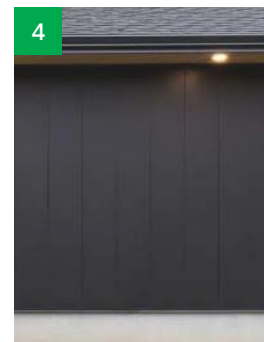
1. Brick
-Belden
Modular: Sea Gray Velour
Mortar: Flamingo-Tennessee Buff



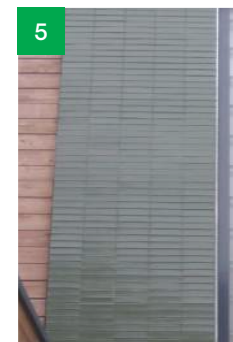
2. Brick
-Belden
Modular: Black Diamond Velour
Mortar: Flamingo-X-25 Charcoal



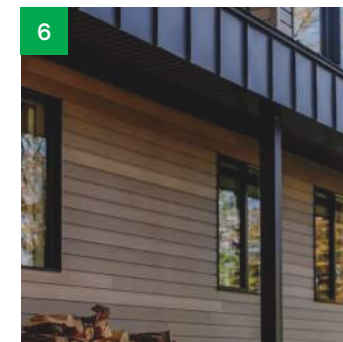
3. Metal Panel
-Alucobond
Easy Fix
Vertical Stack:
Bone White



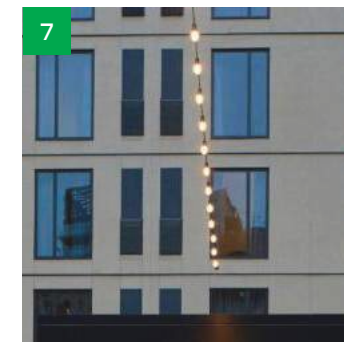
4. Metal Panel
-Alucobond
Easy Fix
Vertical Stack
Dusty Charcoal



5. Glazed Brick
-Belden
Modular:
Forest Glaze
Mortar: Tenn Buff



6. Wood-Look Metal
-Longboard
Tongue and Groove: Light
National Walnut



7. Alum. Louver & Windows
-Quaker Commercial M600
Aluminum Windows
Black



8. Storefront
-OBE Series 3000 Thermal
Multiplane Glazing System
A-Black
B-Light Bronze

Prefinished Metal Coping typ.
Color to match Adjacent material

4. Metal Panel
8. Storefront

1. Brick
3. Metal Panel
7. Alum. Louver
4. Metal Panel

Brick pattern typ.
Stretcher Running Bond
Stacked Bond
Soldier Course

Linear LED Light Fixture typ.
Black

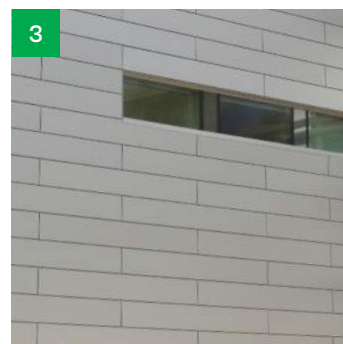
6. Wood
8. Storefront
3. Metal Panel



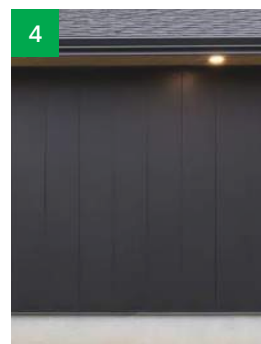
1. Brick
-Belden
Modular: Sea Gray Velour
Mortar: Flamingo-Tennessee Buff



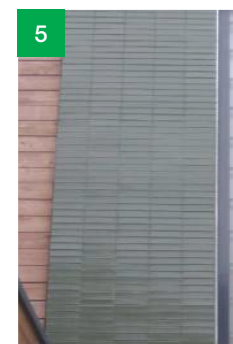
2. Brick
-Belden
Modular: Black Diamond Velour
Mortar: Flamingo-X-25 Charcoal



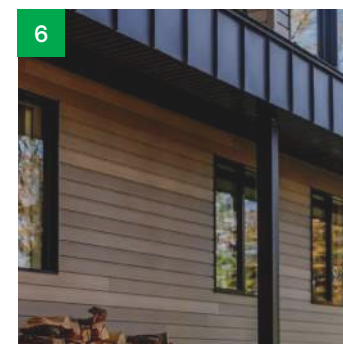
3. Metal Panel
-Alucobond
Easy Fix
Vertical Stack:
Bone White



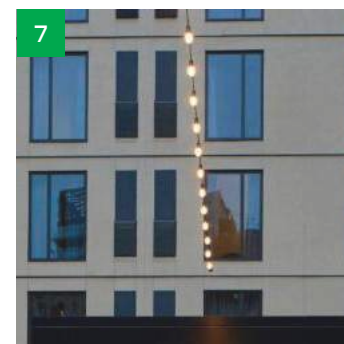
4. Metal Panel
-Alucobond
Easy Fix
Vertical Stack
Dusty Charcoal



5. Glazed Brick
-Belden
Modular:
Forest Glaze
Mortar: Tenn Buff



6. Wood-Look Metal
-Longboard
Tongue and Groove: Light
National Walnut



7. Alum. Louver & Windows
-Quaker Commercial M600
Aluminum Windows
Black



8. Storefront
-OBE Series 3000 Thermal
Multiplane Glazing System
A-Black
B-Light Bronze

Prefinished Metal Coping typ.

Color to match Adjacent material

2. Brick

7. Alum. Louver and Window

3. Metal Panel

4. Metal Panel

Brick pattern typ.

Stretcher Running Bond

Soldier Course

Linear LED Light Fixture typ.

Black

Hotel Sign Location

4. Metal Panel & 2" Battens

2. Brick - Vertical Sailor Course

6. Wood

4. Metal Panel

2. Brick

Hotel Mural Location



6. Wood

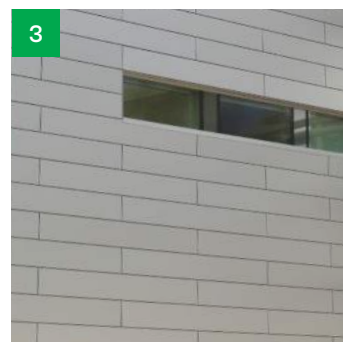
8. Storefront



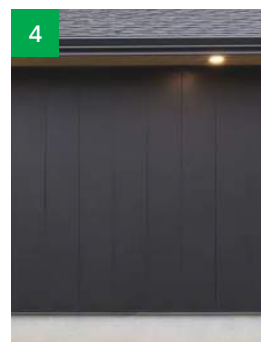
1. Brick
-Belden
Modular: Sea Gray Velour
Mortar: Flamingo-Tennessee Buff



2. Brick
-Belden
Modular: Black Diamond Velour
Mortar: Flamingo-X-25 Charcoal



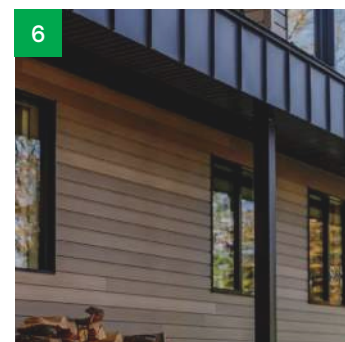
3. Metal Panel
-Alucobond
Easy Fix
Vertical Stack:
Bone White



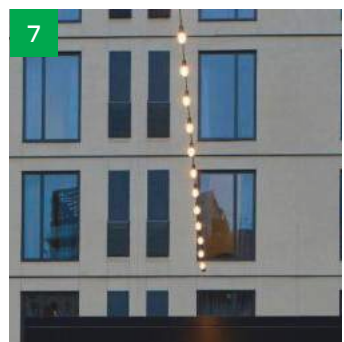
4. Metal Panel
-Alucobond
Easy Fix
Vertical Stack
Dusty Charcoal



5. Glazed Brick
-Belden
Modular:
Forest Glaze
Mortar: Tenn Buff



6. Wood-Look Metal
-Longboard
Tongue and Groove: Light
National Walnut



7. Alum. Louver & Windows
-Quaker Commercial M600
Aluminum Windows
Black



8. Storefront
-OBE Series 3000 Thermal
Multiplane Glazing System
A-Black
B-Light Bronze

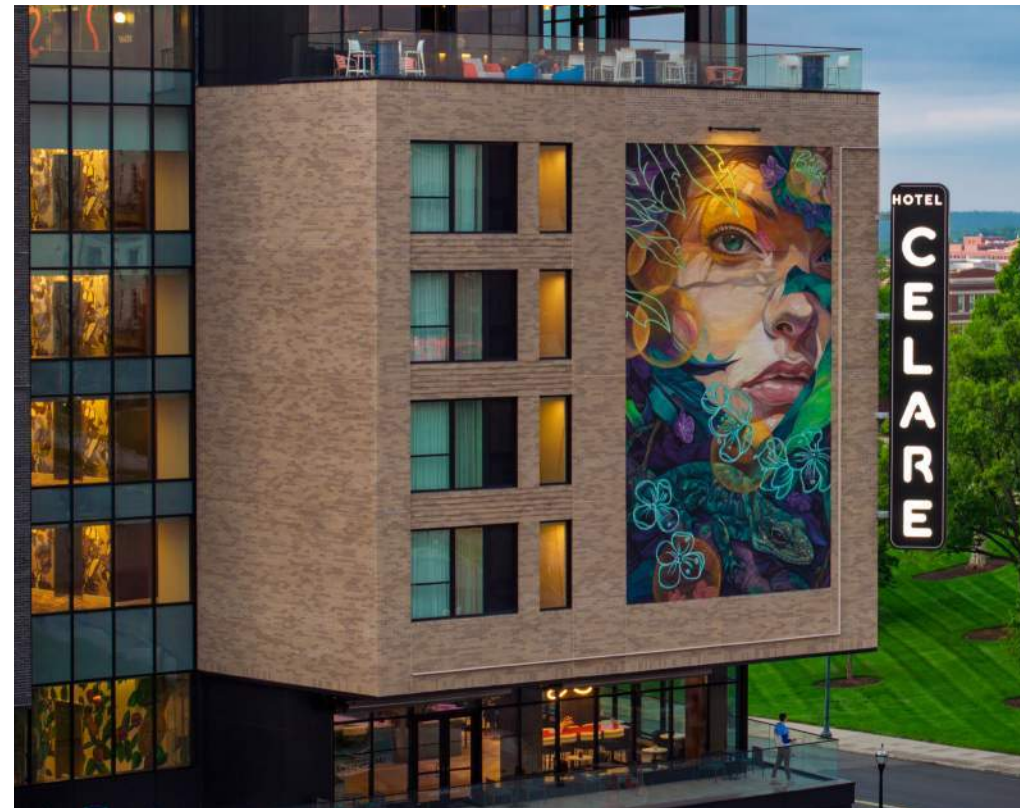


Dublin - Reference Project



AC Hotels by Marriott - Dublin, Ohio

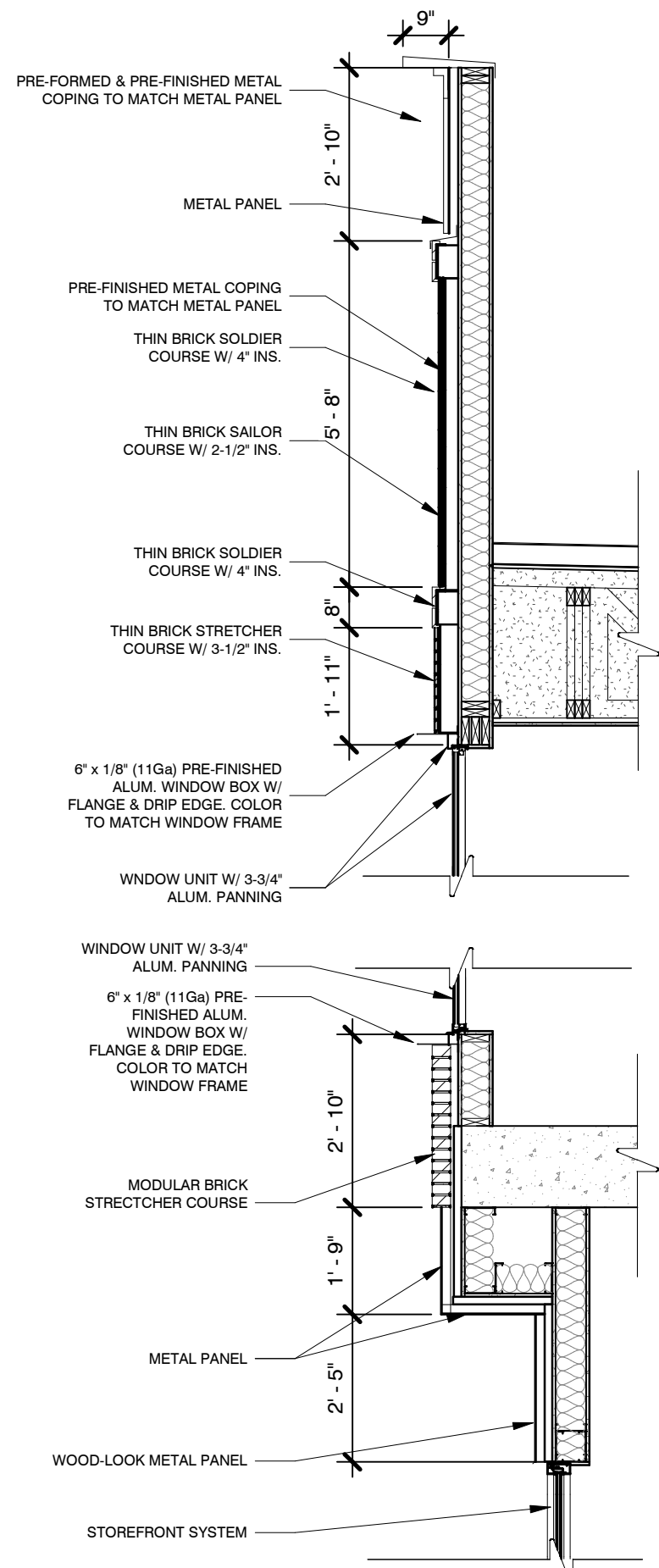
Meyers+Associates Reference Projects



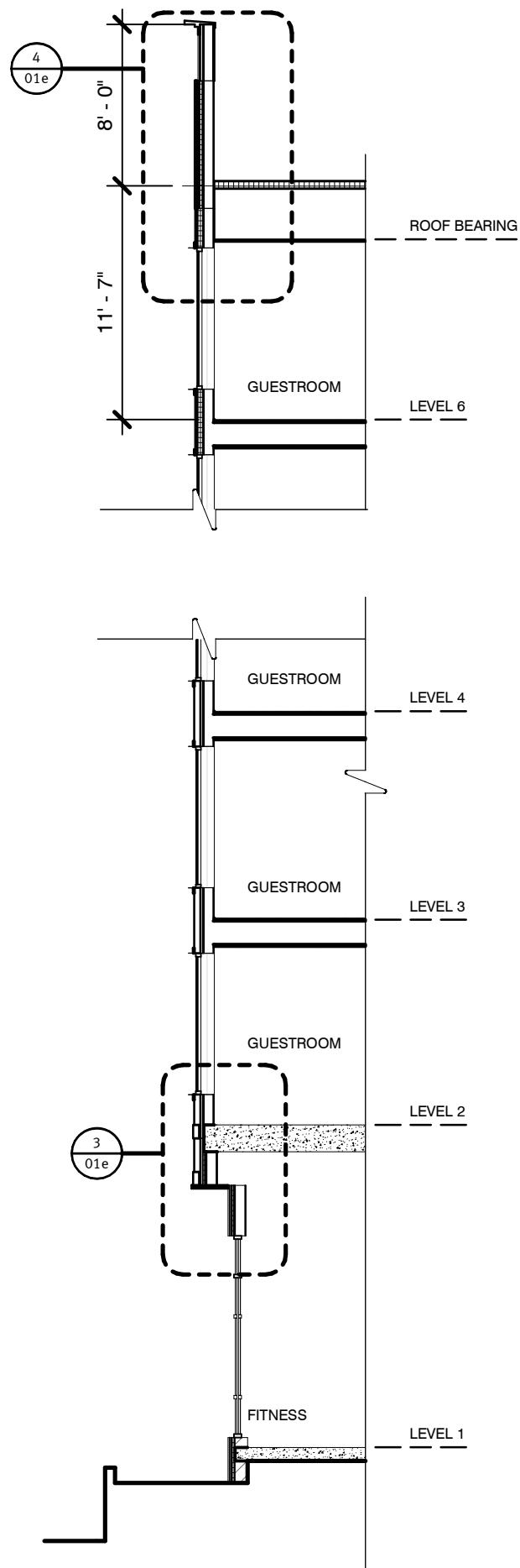
Hotel Celare, Marriott Tribute Portfolio - Cincinnati, Ohio



Graduate By Hilton Hotel - Columbus, Ohio



Section Details



Wall Section

Northwest Corner Vignette

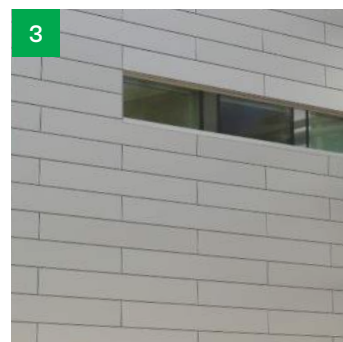




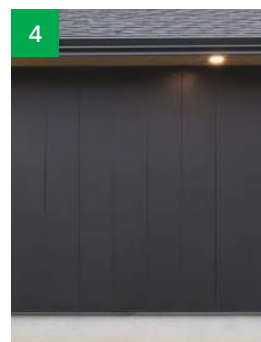
1. Brick
-Belden
Modular: Sea Gray Velour
Mortar: Flamingo-Tennessee Buff



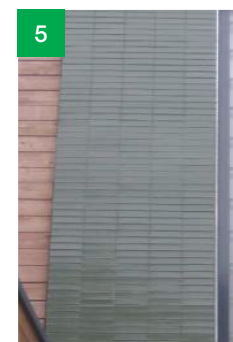
2. Brick
-Belden
Modular: Black Diamond Velour
Mortar: Flamingo-X-25 Charcoal



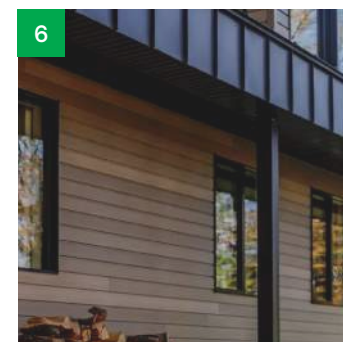
3. Metal Panel
-Alucobond
Easy Fix
Vertical Stack:
Bone White



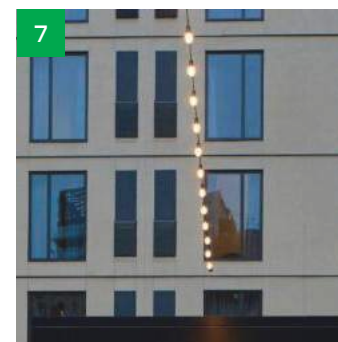
4. Metal Panel
-Alucobond
Easy Fix
Vertical Stack
Dusty Charcoal



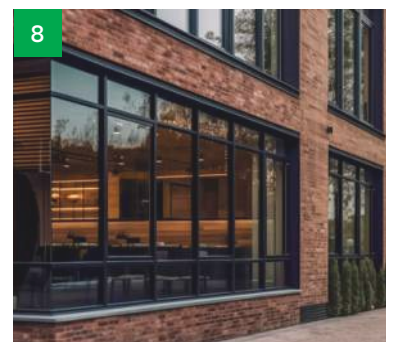
5. Glazed Brick
-Belden
Modular:
Forest Glaze
Mortar: Tenn Buff



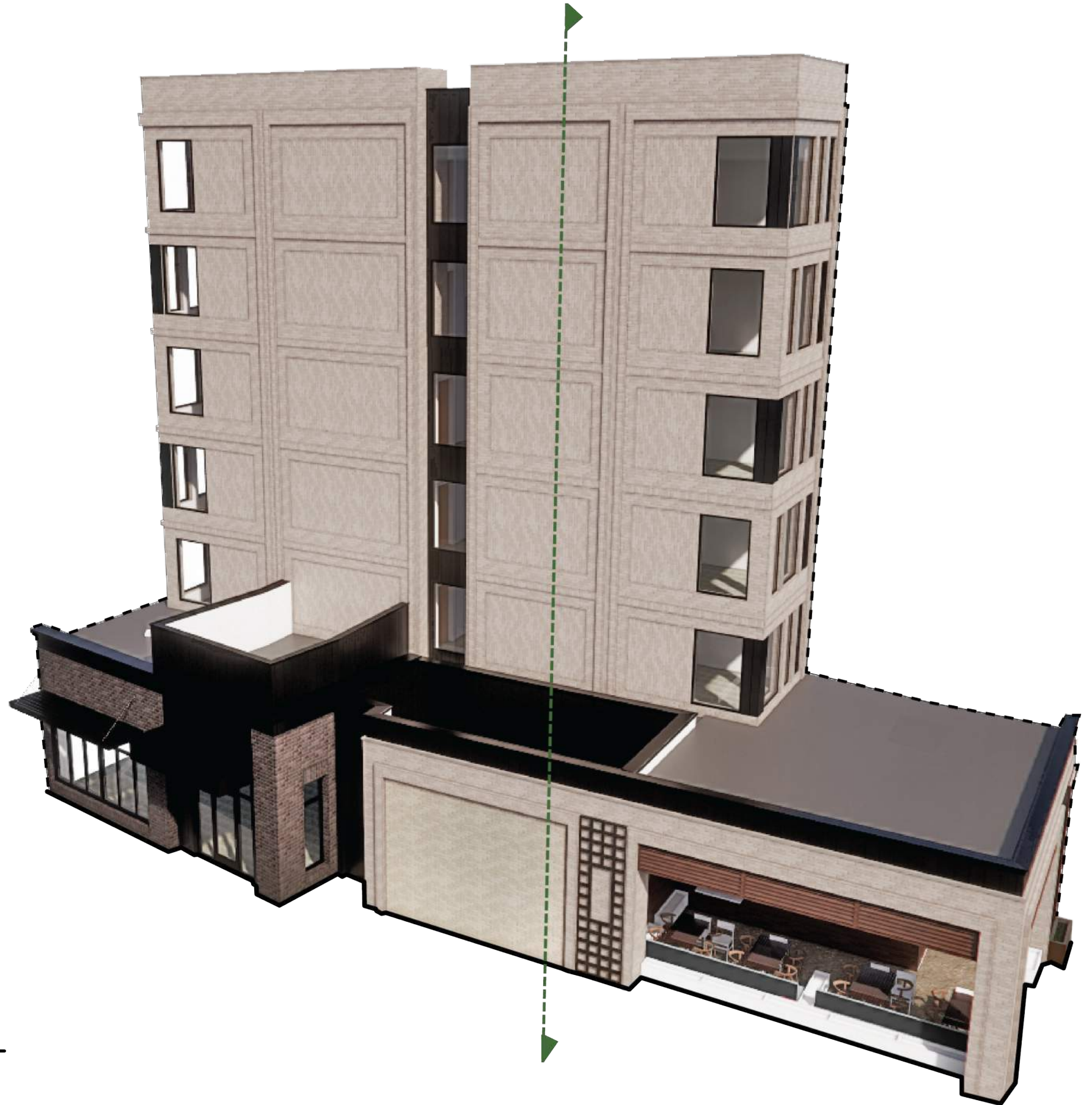
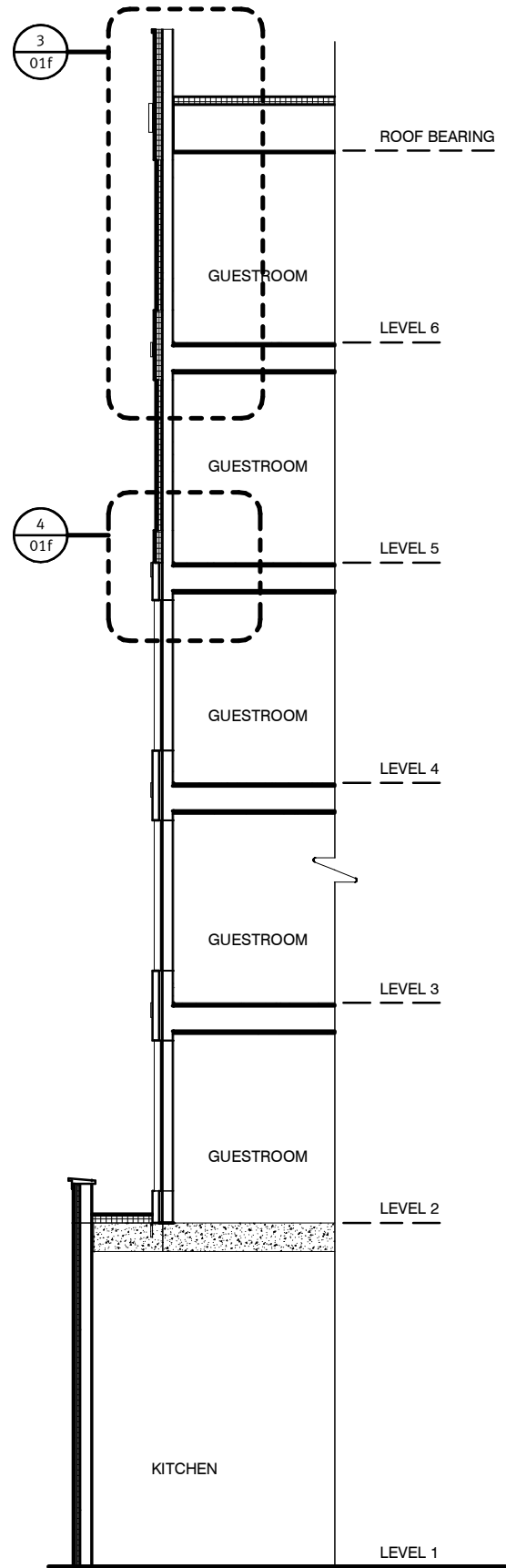
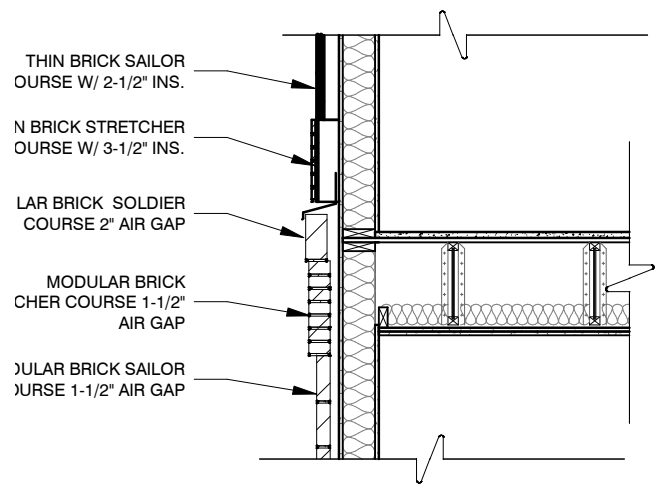
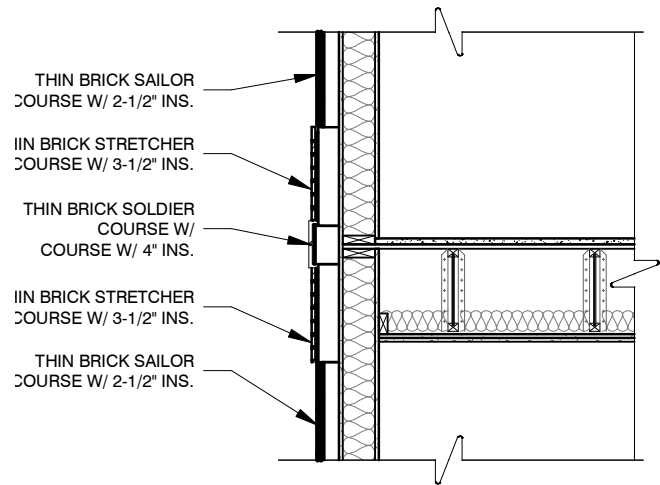
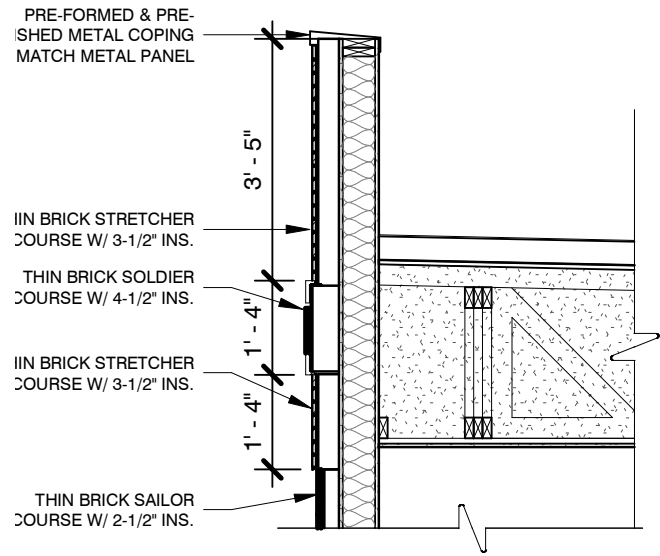
6. Wood-Look Metal
-Longboard
Tongue and Groove: Light
National Walnut



7. Alum. Louver & Windows
-Quaker Commercial M600
Aluminum Windows
Black



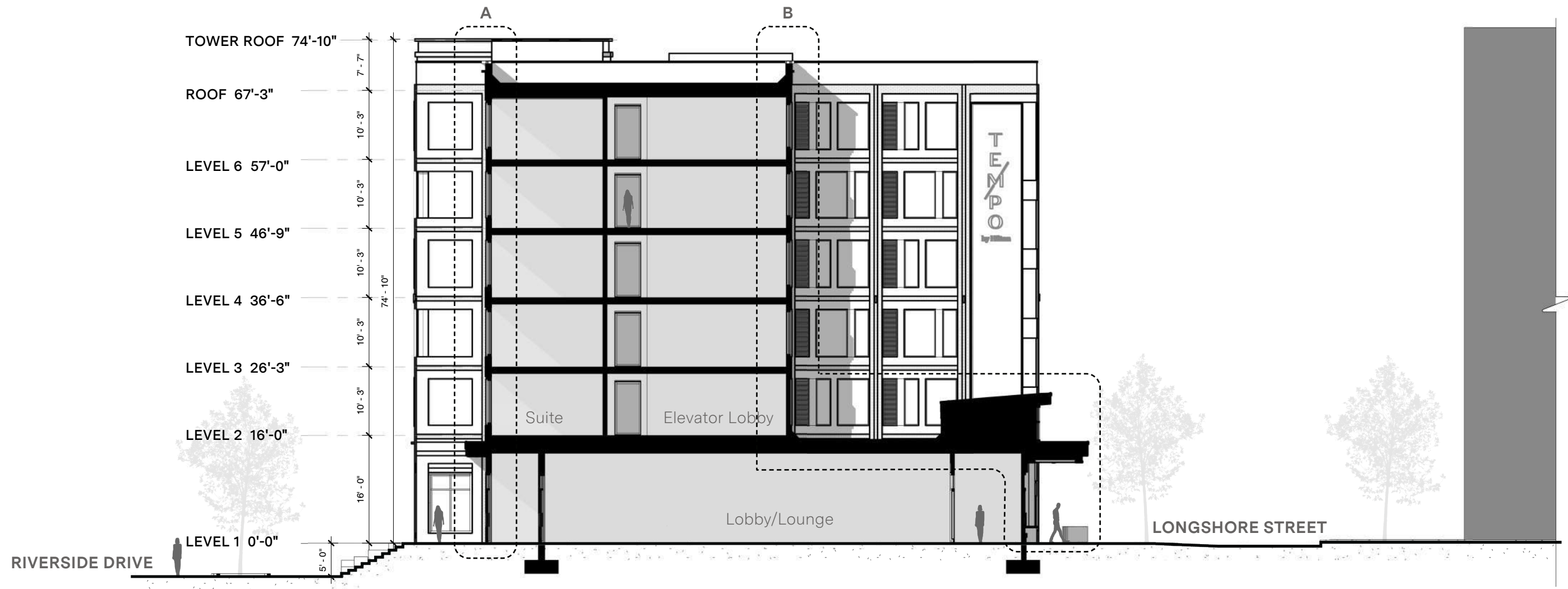
8. Storefront
-OBE Series 3000 Thermal
Multiplane Glazing System
A-Black
B-Light Bronze

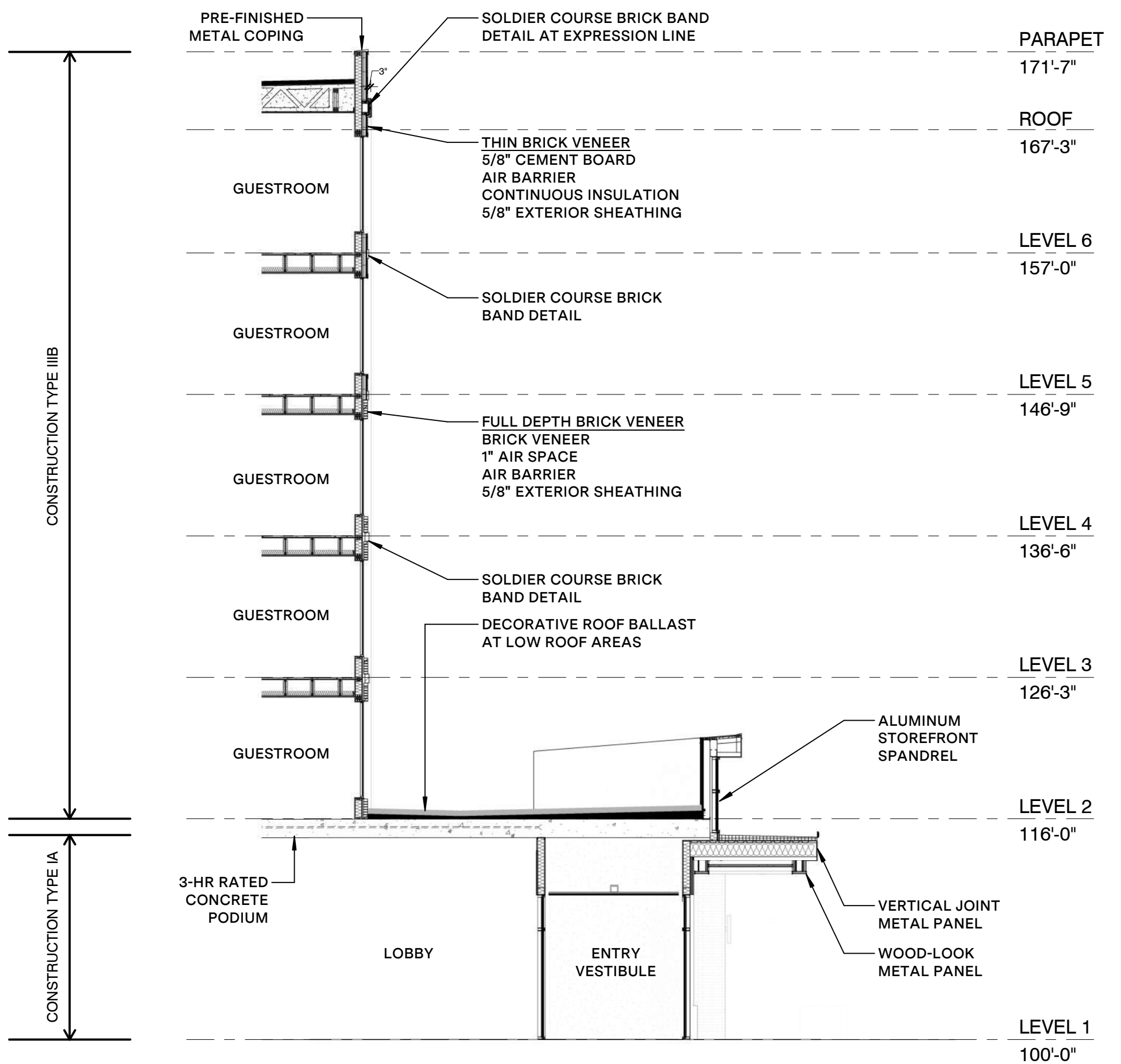
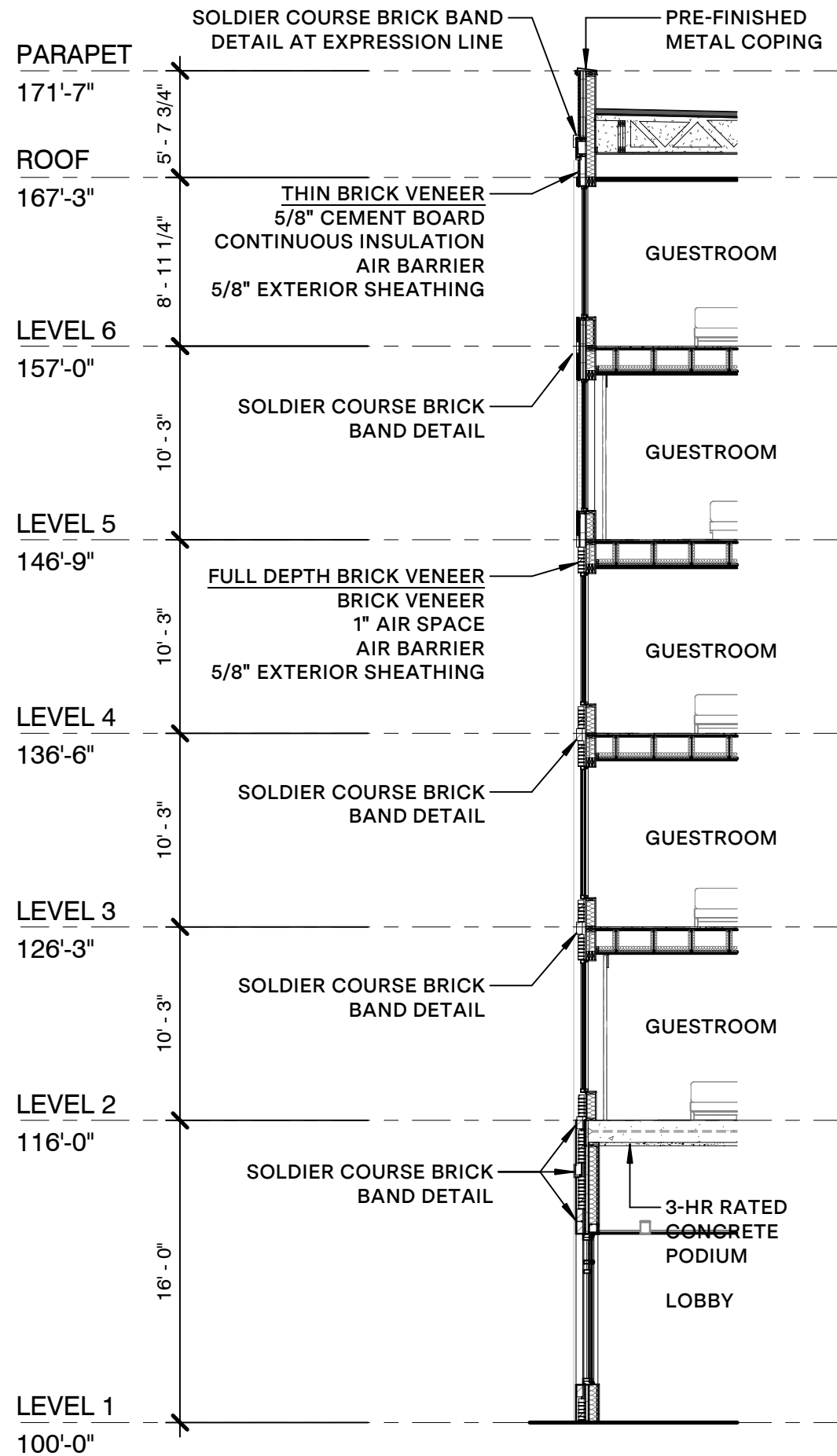


Section Details

Wall Section

South Facade Vignette





CONSTRUCTION TYPE IIIB

CONSTRUCTION TYPE IA

A - WALL SECTION AT BRICK

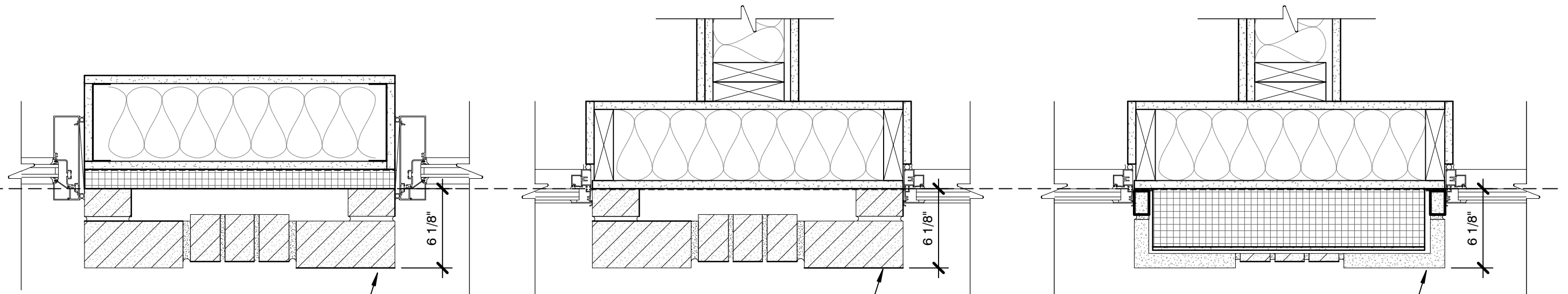
B - WALL SECTION AT ENTRY

(A) BRICK PILASTER DETAIL
LEVEL 1 - LEVEL 2

(B) BRICK PILASTER DETAIL
LEVEL 2 - LEVEL 4

(C) BRICK PILASTER DETAIL
LEVEL 4 - LEVEL 6

INTERIOR
EXTERIOR



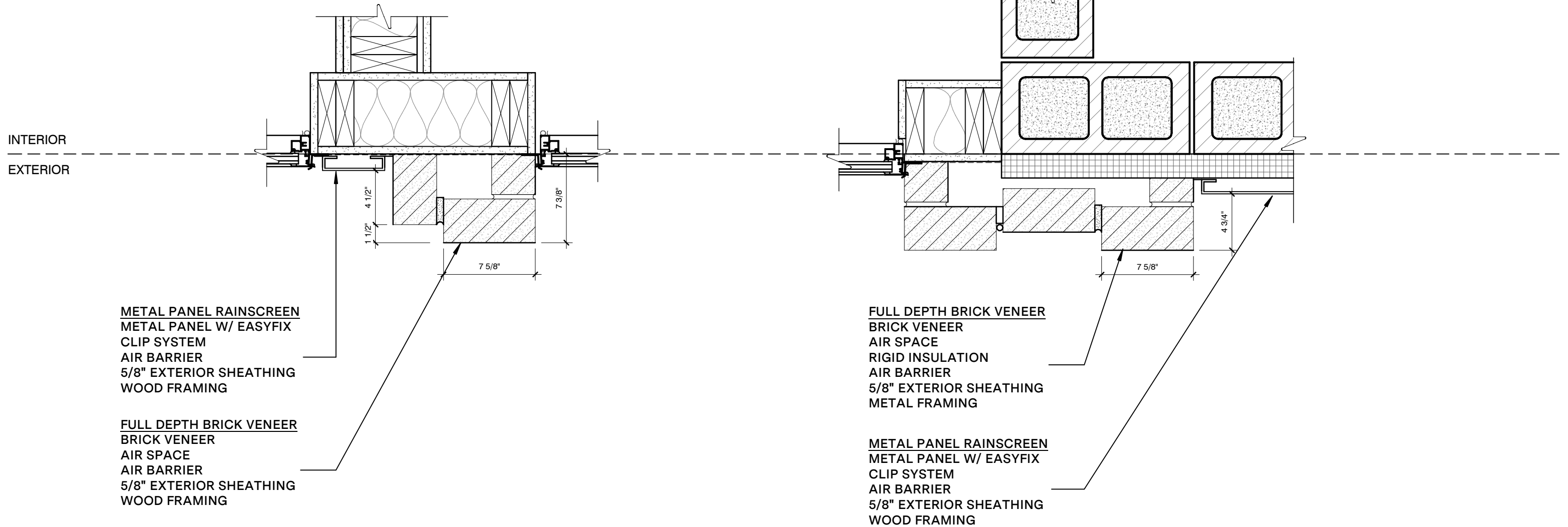
FULL DEPTH BRICK VENEER
BRICK VENEER
AIR SPACE
RIGID INSULATION
AIR BARRIER
5/8" EXTERIOR SHEATHING
METAL FRAMING

FULL DEPTH BRICK VENEER
BRICK VENEER
AIR SPACE
AIR BARRIER
5/8" EXTERIOR SHEATHING
WOOD FRAMING

THIN BRICK VENEER
BRICK VENEER
5/8" CEMENT BOARD
CONTINUOUS INSULATION
AIR BARRIER
5/8" EXTERIOR SHEATHING
WOOD FRAMING

(A) BRICK TO METAL PANEL TRANSITION
LEVEL 2- LEVEL 6

(B) BRICK PILASTER TO METAL PANEL TRANSITION
LEVEL 1 - LEVEL 6



A1. Street Frontage

	<u>Allowable:</u>	<u>Actual:</u>
Multiple Principal Buildings:	Permitted	Complies
Front Property Line Coverage:	75% minimum	Complies; 85%
Occupation of Corner:	Required	Complies
Front RBZ:	0ft - 15ft	Complies
Corner Side RBZ:	0ft - 15ft	Complies
RBZ Treatment:	Landscape, Patio, or Streetscape; along West Dublin-Granville Road, Streetscape required	Complies
Right-of-Way Encroachment:	0ft - 15ft	Complies

A2. Buildable Area

	<u>Allowable:</u>	<u>Actual:</u>
Minimum Side Yard Setback:	5ft	Complies; 30'-0"
Minimum Rear Yard Setback:	5ft	N/A
Minimum Lot Width:	50ft	Complies; 253'-0"
Maximum Lot Width:	None	N/A
Maximum Impervious Coverage:	80%	87%
Additional Semi-Pervious Coverage:	10%	N/A

A3. Parking Location & Loading

	<u>Allowable:</u>	<u>Actual:</u>
Parking Location:	Rear yard; within building	Adjacent Site
Loading Facility Location:	Rear & side Facade	Side Facade
Entry for Parking within Building:	Rear & side facade; corner side facade on non-principal frontage streets	N/A
Access:	Refer to 153.062(N)(1)(c)	Complies

FDP Waiver Requests

B. Height

	<u>Allowable:</u>	<u>Actual:</u>
Minimum Height:	3 stories	Complies
Maximum Height:	6 stories	6 Total Stories
Ground Stories - Minimum Height:	12ft	Complies; 16ft
Ground Stories - Maximum Height:	16ft	16ft
Stories - Minimum Height:	10ft	Complies; 10'-3"
Stories - Maximum Height:	14ft	

C. Uses & Occupancy Requirements

	<u>Allowable:</u>	<u>Actual:</u>
Ground Story:	Residential and general office uses are prohibited in shopping corridors; Podium parking structures are conditional uses in accordance with 153.059(C)(3)(g)	N/A
Upper Story:	No additional requirements	Complies
Parking within Building:	Permitted in the rear of the first 3 floors and fully in any basement(s)	N/A
Occupied Space:	Minimum 30ft depth facing street(s)	Complies See plan for hotel BOH spaces

D1. Street Facade Transparency

	<u>Allowable:</u>	<u>Actual:</u>
Ground Story Street Facing Transparency:	Minimum 60% required	Ref. Elevations
Transparency:	Minimum 30%	Ref. Elevations
Blank Wall Limitations	Required	Ref. Elevations

D2. Non-Street Facade Transparency

	<u>Allowable:</u>	<u>Actual:</u>
Transparency:	Minimum 15%	Ref. Elevations
Blank Wall Limitations:	Required	Ref. Elevations

153.062 (D-N) General Design Requirements

153.062 (N) (4)5. Vents located at the exterior facade for hotel room mechanical systems.

153.062 (E) a. Vertical Transitions in facade materials shall occur at inside corners.

153.062 (h) F. Windows in masonry walls shall have architecturally appropriate lintels and projectings sills.

D3. Building Entrance

	<u>Allowable:</u>	<u>Actual:</u>
Principal Entrance Location:	Primary street facade of building	Complies
Street Facades - Number of Entrances:	1 per 75ft of facade minimum	Ref. Elevations
Parking Lot Facades - Number of Entrances:	1 per 100ft of facade minimum	N/A
Mid-Building Pedestrianway:	In shopping corridors, required for buildings greater than 250ft in length	N/A

D4. Facade Divisions

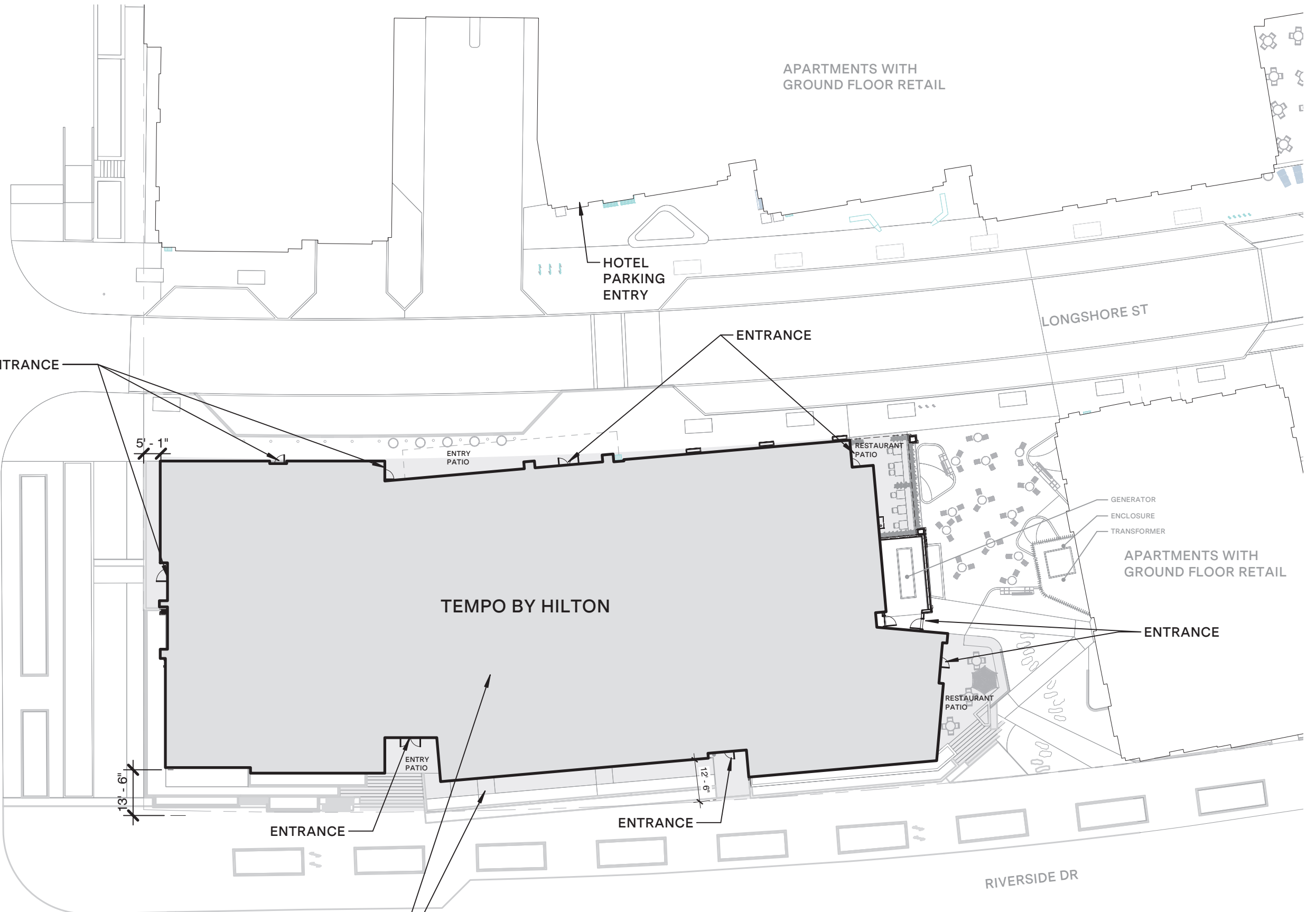
	<u>Allowable:</u>	<u>Actual:</u>
Vertical Increments:	No greater than 45ft	Ref. Elevations
Horizontal Facade Divisions:	On buildings 3 stories or taller, required within 3ft of the top of the ground story. Required at any building step-back	Complies - Ref. Elevations
Required Change in Roof Plane or Type:	None	N/A

D5. Facade Materials

	<u>Allowable:</u>	<u>Actual:</u>
Permitted Primary Materials:	Stone, Brick, Glass	Ref. Elevations

D6. Roof Types

	<u>Allowable:</u>	<u>Actual:</u>
Permitted Types:	Parapet, pitched roof, flat roof;; other types may be permitted with approval	Ref. Elevations
Tower:	Permitted of facades only at terminal vistas, corners at two principal frontage streets, and/or adjacent to an open space	Ref. Elevations



BUILDING FOOTPRINT: 19,830 SF
 IMPERVIOUS ZONE: 2,941 SF

EAST ELEVATION FACADE REQUIREMENTS

TRANSPARENCY

GROUND LEVEL:
 HEIGHT: BETWEEN 2'-8" ABOVE SIDEWALK
 ZONE AREA: 1365 SF
 GLAZING AREA: 703 SF
REQUIRED: 60% min
PROVIDED: 55%

UPPER LEVEL:
 HEIGHT: 10'-0"
 ZONE AREA: 2083 SF
 GLAZING AREA: 638 SF
REQUIRED: 30% min
PROVIDED: 31%

BLANK WALL LIMITATION

REQUIRED: YES
PROVIDED: - 20% (NO MORE THAN 30% OF BUILDING FACADE GREATER THAN 15'-0")

NUMBER OF ENTRANCES

FACADE LENGTH: 217'-0" / 75 = 3
REQUIRED: 3 (1 PER 75')
PROVIDED: 3

VERTICAL FACADE DIVISIONS

REQUIRED: YES (NO GREATER THAN 45')
PROVIDED: YES (PILASTER DETAILING)

HORIZONTAL FACADE DIVISIONS

REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)
PROVIDED: YES (WITH MATERIAL CHANGE AND HORIZONTAL ORNAMENTATION.)

FACADE MATERIALS AND AREAS

TOTAL FACADE AREA MINUS WINDOWS AND DOORS: 12,086 SF
 PRIMARY: FULL DEPTH BRICK 5,166 SF
 PRIMARY: GLAZING (STOREFRONT) 1,355 SF

SECONDARY: THIN BRICK 3,241 SF
 SECONDARY: LOUVERS 729 SF
 SECONDARY: METAL PANEL 1,220 SF
 SECONDARY: WOOD PANEL 375 SF

PRIMARY MATERIALS
REQUIRED: 80%
PROVIDED: 54% (81% WITH HALF BRICK VENEER)

SECONDARY MATERIALS
REQUIRED: <20%

STREET FACADE: YES
 PRINCIPLE ENTRANCE: YES



WEST ELEVATION FACADE REQUIREMENTS

<p>TRANSPARENCY</p> <p>GROUND LEVEL: HEIGHT: BETWEEN 2'-8" ABOVE SIDEWALK ZONE AREA: 1,386 SF GLAZING AREA: 499 SF REQUIRED: 60% min PROVIDED: 36%</p> <p>UPPER LEVEL: HEIGHT: 10'-0" ZONE AREA: 2,131 SF GLAZING AREA: 770 SF REQUIRED: 30% min PROVIDED: 36%</p> <p>BLANK WALL LIMITATION REQUIRED: YES PROVIDED: N/A (NO MORE THAN 30% OF BUILDING FACADE GREATER THAN 15'-0")</p>	<p>NUMBER OF ENTRANCES</p> <p>FACADE LENGTH: 225'-0" / 75 = 3 REQUIRED: 3 (1 PER 75') PROVIDED: 3</p> <p>VERTICAL FACADE DIVISIONS</p> <p>REQUIRED: YES (NO GREATER THAN 45') PROVIDED: YES (WITH RECESSED AREAS AND PILASTER DETAILING)</p> <p>HORIZONTAL FACADE DIVISIONS</p> <p>REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY) PROVIDED: YES (WITH MATERIAL CHANGE AND HORIZONTAL ORNAMENTATION.)</p>	<p>FACADE MATERIALS AND AREAS</p> <table border="0"> <tr> <td>TOTAL FACADE AREA MINUS WINDOWS AND DOORS:</td> <td>12,477 SF</td> </tr> <tr> <td>PRIMARY: FULL DEPTH BRICK</td> <td>4,874 SF</td> </tr> <tr> <td>PRIMARY: GLAZING (STOREFRONT)</td> <td>1,990 SF</td> </tr> <tr> <td>SECONDARY: THIN BRICK</td> <td>2,813 SF</td> </tr> <tr> <td>SECONDARY: LOUVERS</td> <td>1,063 SF</td> </tr> <tr> <td>SECONDARY: METAL PANEL</td> <td>1,394 SF</td> </tr> <tr> <td>SECONDARY: WOOD</td> <td>343 SF</td> </tr> </table> <p>PRIMARY MATERIALS REQUIRED: 80% PROVIDED: 55% (78% WITH THIN BRICK VENEER)</p> <p>SECONDARY MATERIALS REQUIRED: <20%</p> <p>STREET FACADE: YES PRINCIPLE ENTRANCE: YES</p>	TOTAL FACADE AREA MINUS WINDOWS AND DOORS:	12,477 SF	PRIMARY: FULL DEPTH BRICK	4,874 SF	PRIMARY: GLAZING (STOREFRONT)	1,990 SF	SECONDARY: THIN BRICK	2,813 SF	SECONDARY: LOUVERS	1,063 SF	SECONDARY: METAL PANEL	1,394 SF	SECONDARY: WOOD	343 SF
TOTAL FACADE AREA MINUS WINDOWS AND DOORS:	12,477 SF															
PRIMARY: FULL DEPTH BRICK	4,874 SF															
PRIMARY: GLAZING (STOREFRONT)	1,990 SF															
SECONDARY: THIN BRICK	2,813 SF															
SECONDARY: LOUVERS	1,063 SF															
SECONDARY: METAL PANEL	1,394 SF															
SECONDARY: WOOD	343 SF															



KEY PLAN

NORTH ELEVATION FACADE REQUIREMENTS

TRANSPARENCY

GROUND LEVEL:
 HEIGHT: BETWEEN 2'-8" ABOVE SIDEWALK
 ZONE AREA: 547 SF
 GLAZING AREA: 185 SF
REQUIRED: 60% min
PROVIDED: 37%

UPPER LEVEL:
 HEIGHT: 10'-0"
 ZONE AREA: 946 SF
 GLAZING AREA: 283 SF
REQUIRED: 30% min
PROVIDED: 30%

BLANK WALL LIMITATION

REQUIRED: YES
PROVIDED: 25% (NO MORE THAN 30% OF BUILDING FACADE GREATER THAN 15'-0")

NUMBER OF ENTRANCES

FACADE LENGTH: 90'-0" / 75 = 2
REQUIRED: 2 (1 PER 75')
PROVIDED: 1

VERTICAL FACADE DIVISIONS

REQUIRED: YES (NO GREATER THAN 45')
PROVIDED: YES (PILASTER DETAILING)

HORIZONTAL FACADE DIVISIONS

REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)
PROVIDED: YES (WITH MATERIAL CHANGE AND HORIZONTAL ORNAMENTATION.)

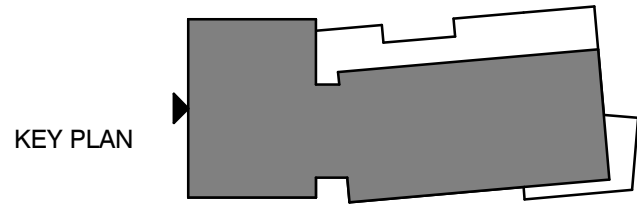
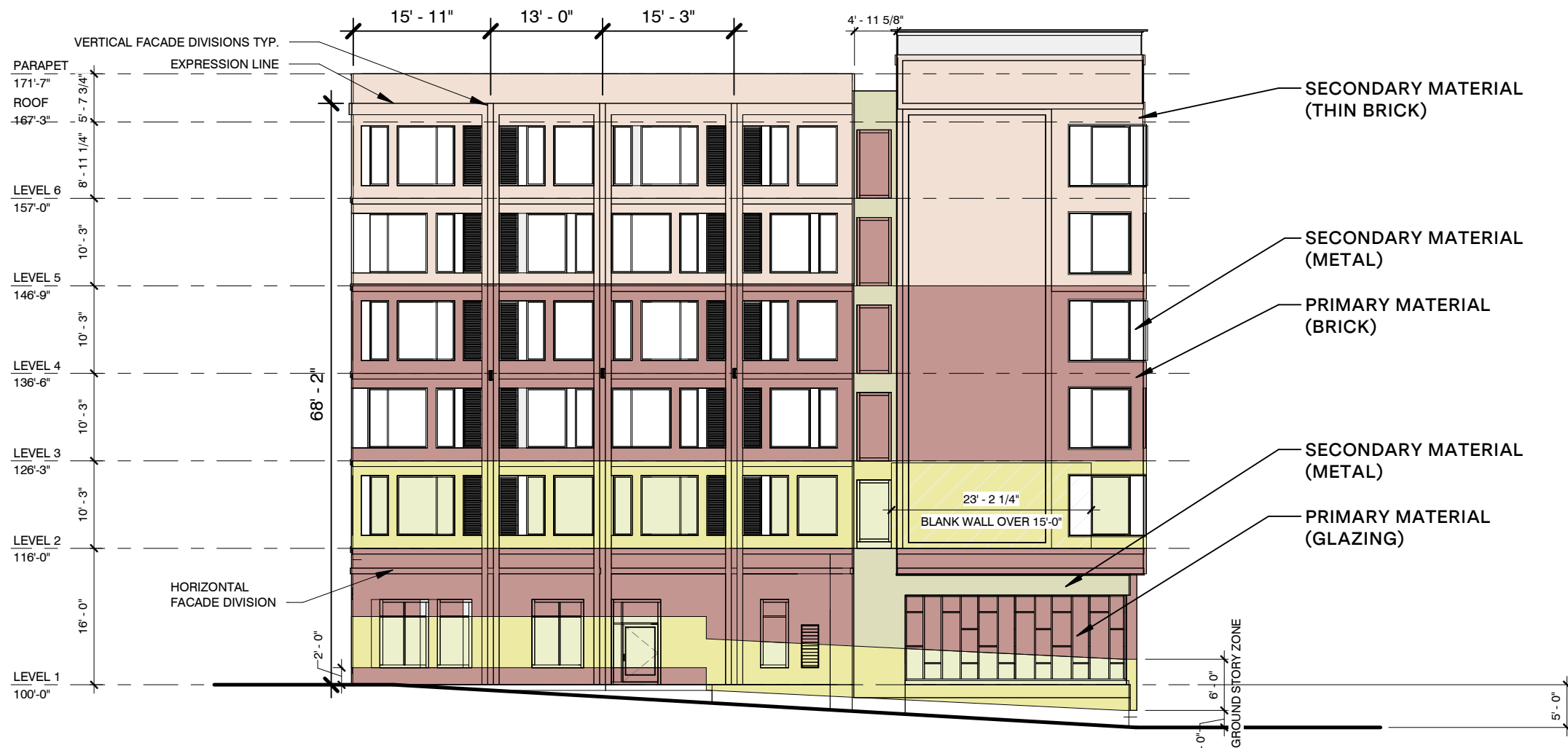
FACADE MATERIALS AND AREAS

TOTAL FACADE AREA MINUS WINDOWS AND DOORS:	5,286 SF
PRIMARY: FULL DEPTH BRICK	2,418 SF
PRIMARY: GLAZING (STOREFRONT)	650 SF
SECONDARY: THIN BRICK	1,475 SF
SECONDARY: LOUVERS	303 SF
SECONDARY: METAL PANEL	125 SF
SECONDARY: WOOD	315 SF

PRIMARY MATERIALS
REQUIRED: 80%
PROVIDED: 58% (86% WITH THIN BRICK VENEER)

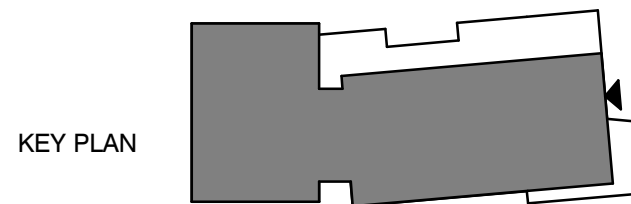
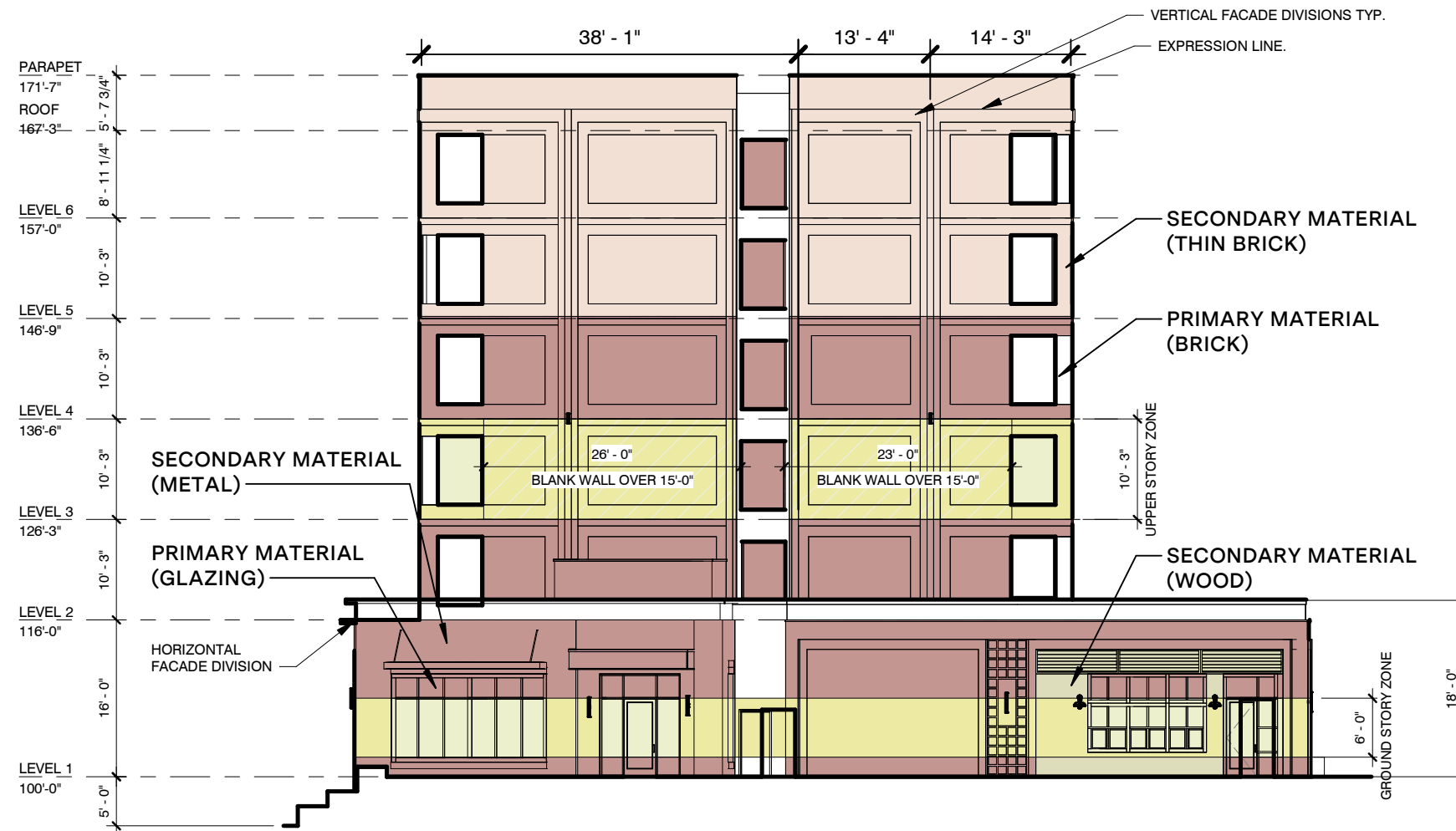
SECONDARY MATERIALS
REQUIRED: <20%

STREET FACADE: YES
 PRINCIPLE ENTRANCE: NO



SOUTH ELEVATION FACADE REQUIREMENTS

<p>TRANSPARENCY</p> <p>GROUND LEVEL: HEIGHT: BETWEEN 2'-8" ABOVE SIDEWALK ZONE AREA: 581 SF GLAZING AREA: 176 SF REQUIRED: 15% min PROVIDED: 30%</p> <p>UPPER LEVEL: HEIGHT: 10'-0" ZONE AREA: 678 SF GLAZING AREA: 95 SF REQUIRED: 15% min PROVIDED: 14%</p> <p>BLANK WALL LIMITATION REQUIRED: YES PROVIDED: (74%) (NO MORE THAN 30% OF BUILDING FACADE GREATER THAN 15'-0")</p>	<p>NUMBER OF ENTRANCES</p> <p>FACADE LENGTH: 96'-0" / 75 = 2 REQUIRED: 2 (1 PER 75') PROVIDED: 3</p> <p>VERTICAL FACADE DIVISIONS</p> <p>REQUIRED: YES (NO GREATER THAN 45') PROVIDED: YES (PILASTER DETAILING)</p> <p>HORIZONTAL FACADE DIVISIONS</p> <p>REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY) PROVIDED: YES (WITH MATERIAL CHANGE AND HORIZONTAL ORNAMENTATION.)</p>	<p>FACADE MATERIALS AND AREAS</p> <table border="0"> <tr> <td>TOTAL FACADE AREA MINUS WINDOWS AND DOORS:</td> <td>4,720 SF</td> </tr> <tr> <td>PRIMARY: FULL DEPTH BRICK</td> <td>2,456 SF</td> </tr> <tr> <td>PRIMARY: GLAZING (STOREFRONT)</td> <td>532 SF</td> </tr> <tr> <td>SECONDARY: THIN BRICK</td> <td>1,344 SF</td> </tr> <tr> <td>SECONDARY: LOUVERS</td> <td>0 SF</td> </tr> <tr> <td>SECONDARY: METAL PANEL</td> <td>223 SF</td> </tr> <tr> <td>SECONDARY: WOOD</td> <td>165 SF</td> </tr> </table> <p>PRIMARY MATERIALS REQUIRED: 80% PROVIDED: 63% (92% WITH HALF BRICK VENEER)</p> <p>SECONDARY MATERIALS REQUIRED: <20%</p> <p>STREET FACADE: NO PRINCIPLE ENTRANCE: NO</p>	TOTAL FACADE AREA MINUS WINDOWS AND DOORS:	4,720 SF	PRIMARY: FULL DEPTH BRICK	2,456 SF	PRIMARY: GLAZING (STOREFRONT)	532 SF	SECONDARY: THIN BRICK	1,344 SF	SECONDARY: LOUVERS	0 SF	SECONDARY: METAL PANEL	223 SF	SECONDARY: WOOD	165 SF
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SECONDARY: METAL PANEL	223 SF															
SECONDARY: WOOD	165 SF															



WAIVER SUMMARY

- Waiver Requests highlighted in green on prior pages

1) 153.062 (E) 2a Materials:

Vertical Transitions in materials shall occur at inside corners

In select areas of the building there are material transitions from brick to wood, and brick to metal panel. These areas are detailed with brick framing to give additional depth to the transition that is already larger due to the brick wall assembly.

2) 153.062 (H) 1f Windows, Shutters, Awnings and Canopies:

Windows in masonry walls shall have architecturally appropriate lintels and projecting sills.

All windows in masonry walls at the ground level have lintels and projecting sills. However, above the first floor the traditional lintel and sill is centered between window bays. This strategy reinforces the grid pattern on the brick facade without introducing extraneous detailing.

3) D1. 3b Transparency:

The East Elevation is under the required 60% transparency requirement due to the location of back of house spaces and relocated water room along this facade.

4) D3. Building Entrance:

A second entry on the North Elevation was removed due to planning changes to the back of house area of the hotel.

4) D5. Facade Materials

The West Elevation primary materials are under the 80% requirement due to the amount of metal louvers on this facade, which are required per hotel VTAC system.







Original Design



Current Design









M600

COMMERCIAL ALUMINUM SERIES

Casement | Project-Out | Fixed | Sliding Door | Terrace Door



Credit: Jason Keen Photography

**Architectural Window & Door Solutions
for the Modern Building World**

www.QuakerCommercialWindows.com

M600

COMMERCIAL ALUMINUM SERIES

The Modern Solution

Building in the 21st century is more complex than ever. In fact, it's no longer just building. It's harmonizing. It's modernizing. It's stylizing. It's building for today with the future in mind. The windows and doors that will help you do that are right here: Quaker's M600 Series -- the modern solution.

Engineered for Strength

- Life cycle tested to achieve NAFS certified AW-ratings
- Heavy-gauge aluminum allows for taller/wider sizes
- Impact Tested and FBC-approved models

Designed for Flexibility

- Integral nailing flange for new construction
- Multiple retrofit installation accessories
- Structural mull systems
- Interior and exterior trim packages
- Any color in the rainbow is available with our custom color capabilities

Built for Long-Term Durability

- Quaker powder coat paint finishes resist fading and chipping much better than liquid paint alternatives
- Only high-quality components found throughout all models
- One of the industry's best commercial warranties

Developed for Optimal Thermal Performance

- Effective glass choices for every part of the U.S.
- Standard 1" glass pocket with optional 1 3/8" to support and strengthen thermal performance
- Pour-and-Debridge thermal barriers

Saint Teresa de Calcutta Villa
San Diego, CA
Developer: 14th & Commercial CIC, LP
Contractor: Level 10 Construction LP
Architect: Joseph Wong Design Associates
Glazing Contractor: Lunstrum Windows
LEED: Gold



Credit: Joseph Wong Design Associates / jwdainc.com



www.QuakerCommercialWindows.com

M600

COMMERCIAL ALUMINUM SERIES

Selection Guide

Model	Frame Depth	Structural Test Rating	Test Size	Design Pressure	Air Infiltration	Water Resistance	U-Value Range [#]	SHGC Range [#]	STC Range ^x	OITC Range ^x
Casement	3 1/4"	AW-PG70	36" x 60"	70	<0.10	15	0.32-0.57	0.11-0.54	29-43	23-34
Project-Out	3 1/4"	AW-PG70	60" x 36"	70	<0.10	15	0.33-0.59	0.11-0.54	41-43	33-34
Fixed	3 1/4"	AW-PG70	60" x 60"	70	<0.10	12	0.18-0.50	0.13-0.68	30-41	27-33
Terrace Door (inswing)	4 1/2"	AW-50	48" x 96"	50		10	0.33-0.58	0.09-0.52	34-38	30-33
Terrace Door (outswing)	4 1/2"	AW-70	39" x 95"	70		12	0.33-0.57	0.09-0.52	34-38	30-33
Terrace Door (outswing w/ADA sill)	4 1/2"	AW-50	48" x 96"	50		12	0.36-0.58	0.09-0.48	34-38	30-33
Sliding Door (M600)	5"	AW-50	123" x 96"	50		12	0.36-0.56	0.14-0.59		
Sliding Door (M300)	5"	CW-50	95" x 83"	50		7.5	0.35-0.40	0.14-0.50		

[#] -U-Value and SHGC ranges are NFRC certified based on I.G. combinations incorporating some or all the following: Low-E glass, clear glass, argon gas and/or air fill, and grids

^x -STC and OITC Ranges based on multiple I.G. combinations

All ratings listed are NAFS certified. Periodic re-certification testing is required thus data shown may vary slightly.



Legacy 202
Champaign, IL
Contractor: Wells & Wells
Architect: Mode 3 Architecture
Comm. Window Dealer: LS Building

Credit: The Daily Illini / dailyillini.com

800-347-0438



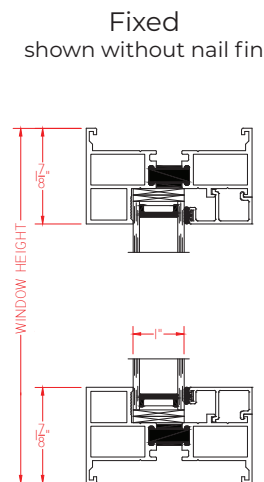
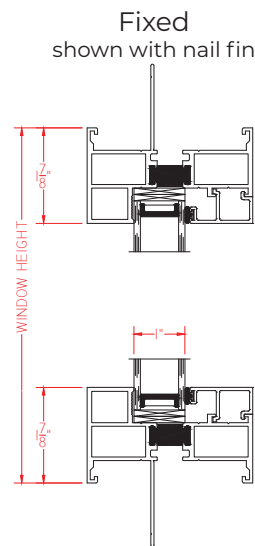
M600

COMMERCIAL ALUMINUM SERIES

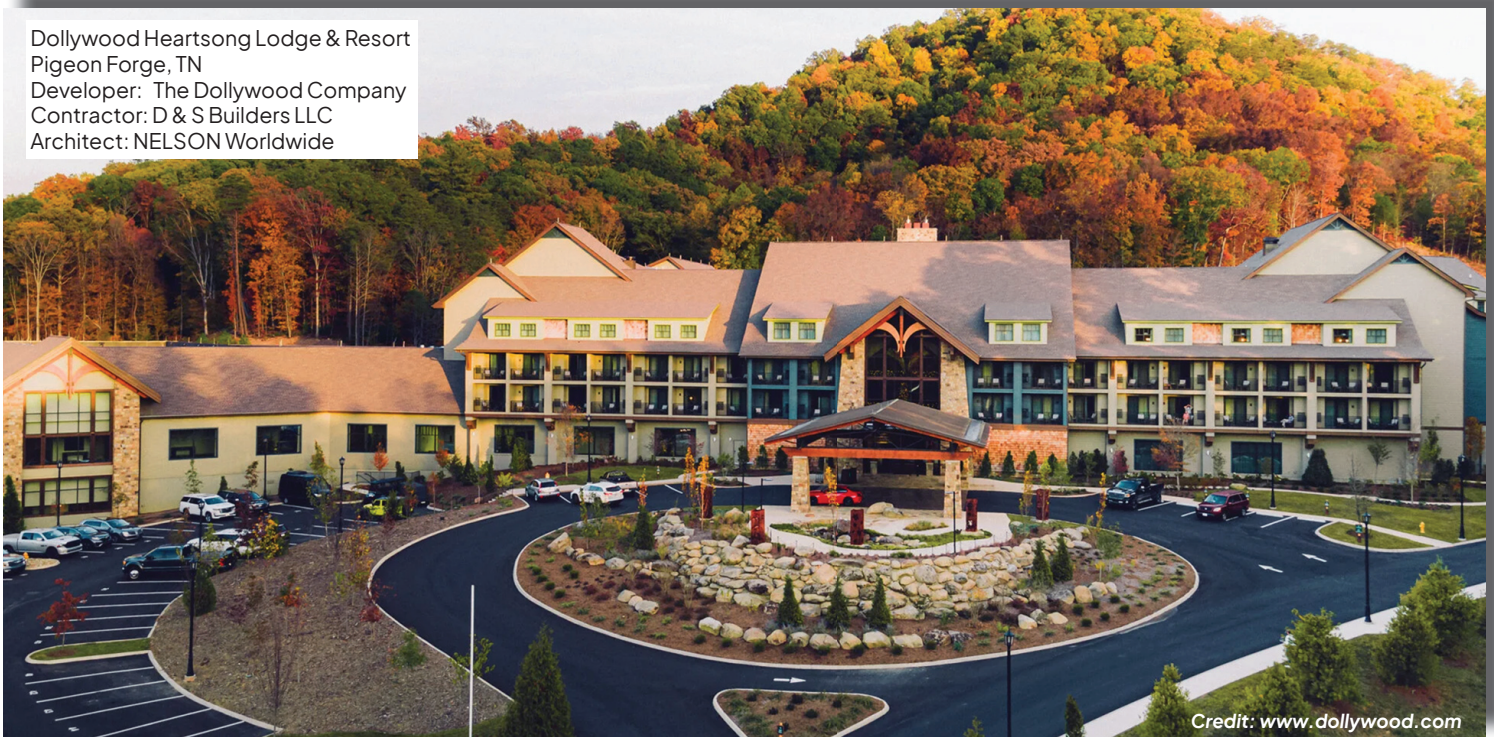
Products

Fixed

- AW-70 Rating
- Architectural grade aluminum
- Pour and debridge thermal barrier system
- 1" I.G. with warm-edge spacer
- With or without Integral nailing fin
- Single-frame combination capability
- Heavy-duty, sealed corner key construction eliminates sag
- Clean corner joints for greater aesthetic appeal
- Geometric shapes
- Impact and Florida Building approved (M700)
- Standard and custom sizing for all models



Dollywood Heartsong Lodge & Resort
Pigeon Forge, TN
Developer: The Dollywood Company
Contractor: D & S Builders LLC
Architect: NELSON Worldwide



Credit: www.dollywood.com

M600

COMMERCIAL ALUMINUM SERIES

Products



Union at San Antonio
Austin, TX
Developer: Greystar Development
Contractor: Hensel Phelps Construction Co.
Architect: Page/
Glazing Contractor: Eastern Glass & Aluminum

Credit: Hensel Phelps Construction / henselphelps.com

800-347-0438



M600

COMMERCIAL ALUMINUM SERIES

Colors & Finishes

Quaker makes it easy to get your color right with more than 40 "Quick Pick" powder-coat paint colors. If that's not enough, Quaker offers full custom color capabilities, meaning you can grab any color in the spectrum for your project.

The Basics: Nearly 30 color tones that never go out of style.

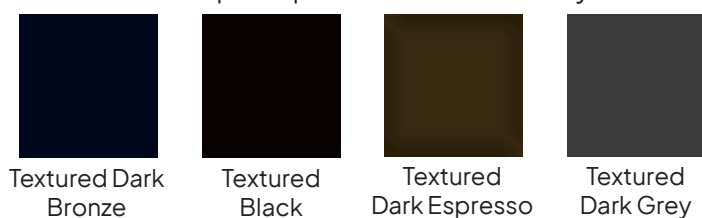


Resembles: Powder coat, paint finishes made to resemble an anodized look.



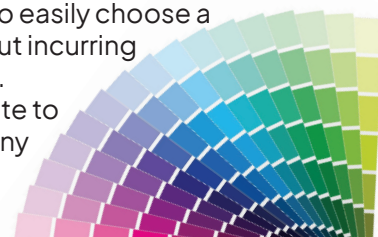
- Resembles painted finishes have double the warranty (10 years vs. 5 years for anodized)
- Shorter lead times as Quaker paints all aluminum lineals in-house while anodized must be outsourced.
- Better pricing across the board vs. anodized
- Consistent painted finish for each rail as opposed to the industry-accepted ranges that come with the anodizing process.

Textured: Unique depth and feel to elevate your color choice.



Custom Colors:

- Custom colors are a Quaker specialty.
- Our state-of-the-art, in-house painting facilities allow you to easily choose a custom color without incurring an exorbitant cost.
- From the purest white to the darkest black, any color is right at your fingertips.



M600

COMMERCIAL ALUMINUM SERIES

Options

Colors & Finishes

Paint Finishes:

- Standard: High-performance 2604 Powder Coat finish (an FGIA specification)
- Upgrade: Max-performance 2605 Powder Coat finish* (an FGIA specification)

*2605 finish not available for all colors

Heat Reflective: Keeps aluminum window and door exteriors cooler by repelling excessive solar heat.

- Available with these colors: Black, Dark Bronze, Textured Black, Textured Dark Bronze, & Textured Dark Espresso
- Proven technology adapted to work with windows and doors
- Paint additive works much like Low-E works in glass
- Reduces the possibility of thermal heat transfer through windows and doors

Anodized:

Available by request if commercial anodized finishes are a must for your project.

- Quaker offers only Class I anodized finishes, the highest grade available for exterior usage and vastly superior to Class II anodized
- Seven Anodized colors ranging from clear to black

Paint & Finish Warranty:

- 10 year limited warranty on 2604 paint finish
- Up to 20 year limited warranty on 2605 paint finish
- 5 year limited warranty on Anodized finishes
- See complete warranty details at QuakerCommercialWindows.com

Although every effort is made, the sample colors shown in this brochure may not perfectly reflect the actual paint color once it has been applied. For an exact color match, please contact Quaker.

Quaker Windows & Doors does not assume any responsibility for possible misrepresentations of our colors and reserves the right to add, remove or alter the color offerings and/or information shown here without notice.



Midtown Plaza Apartments
Kansas City, MO
Developer: MTP1, LLC
Contractor: Construction Tech LLC
Architect: B & A Architecture, LLC
Comm. Window Dealer: Sightline Windows

Credit: B+A Architecture / baarchitecture.com

M600

COMMERCIAL ALUMINUM SERIES

Options

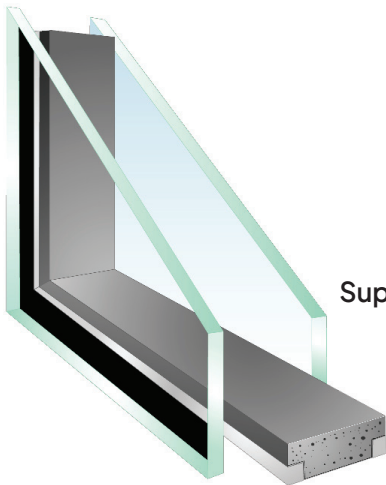
Glass

Pane thickness

- $\frac{3}{32}$ "
- $\frac{1}{8}$ "
- $\frac{5}{32}$ "
- $\frac{3}{16}$ "
- $\frac{1}{4}$ "
- $\frac{5}{16}$ "

I.G. thickness

- 1" (Double pane)
- 1 $\frac{3}{8}$ " (Triple pane)



Glass Types

- Dual Silver Low-E
 - Triple Silver Low-E
 - Interior Pane Low-E
 - Tempered Safety Glass
 - Laminated
 - Bird Glass
 - Spandrel
 - Neat+™ Low Maintenance
 - Obscure (for privacy)
 - Tinted
- and many others

Some limitations may apply based upon several variables including, but not limited to, the window/door series chosen and requested/required specifications.

Super Spacer® Premium Enhanced

- Low conductivity
- Edge-seal durability
- High desiccant content for moisture absorption
- Superior argon gas retention
- Pleasing aesthetics
- Excellent condensation resistance
- Great impedance to ozone, UV light and oxidation
- Optimized energy savings



26th & Alcott
Denver, CO
Owner: GPAI Highlands, LLC
Contractor: The Weitz Company
Architects: OZ Architecture

Render Credit: OZ Architecture / ozarch.com

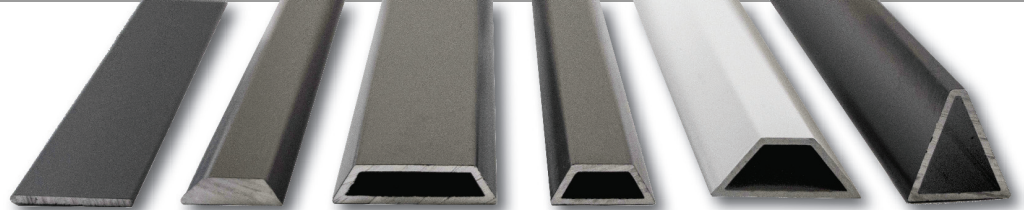
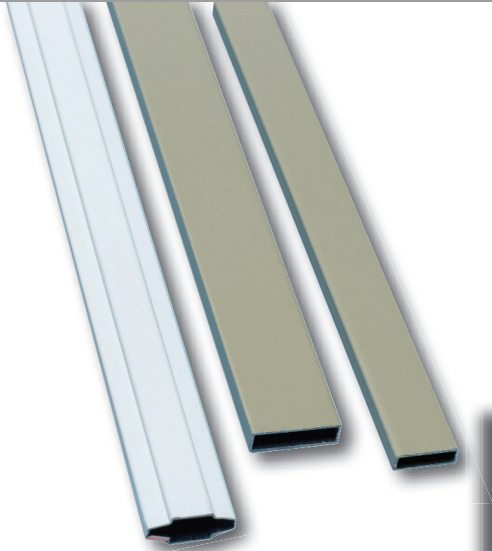


M600

COMMERCIAL ALUMINUM SERIES

Options

Grids



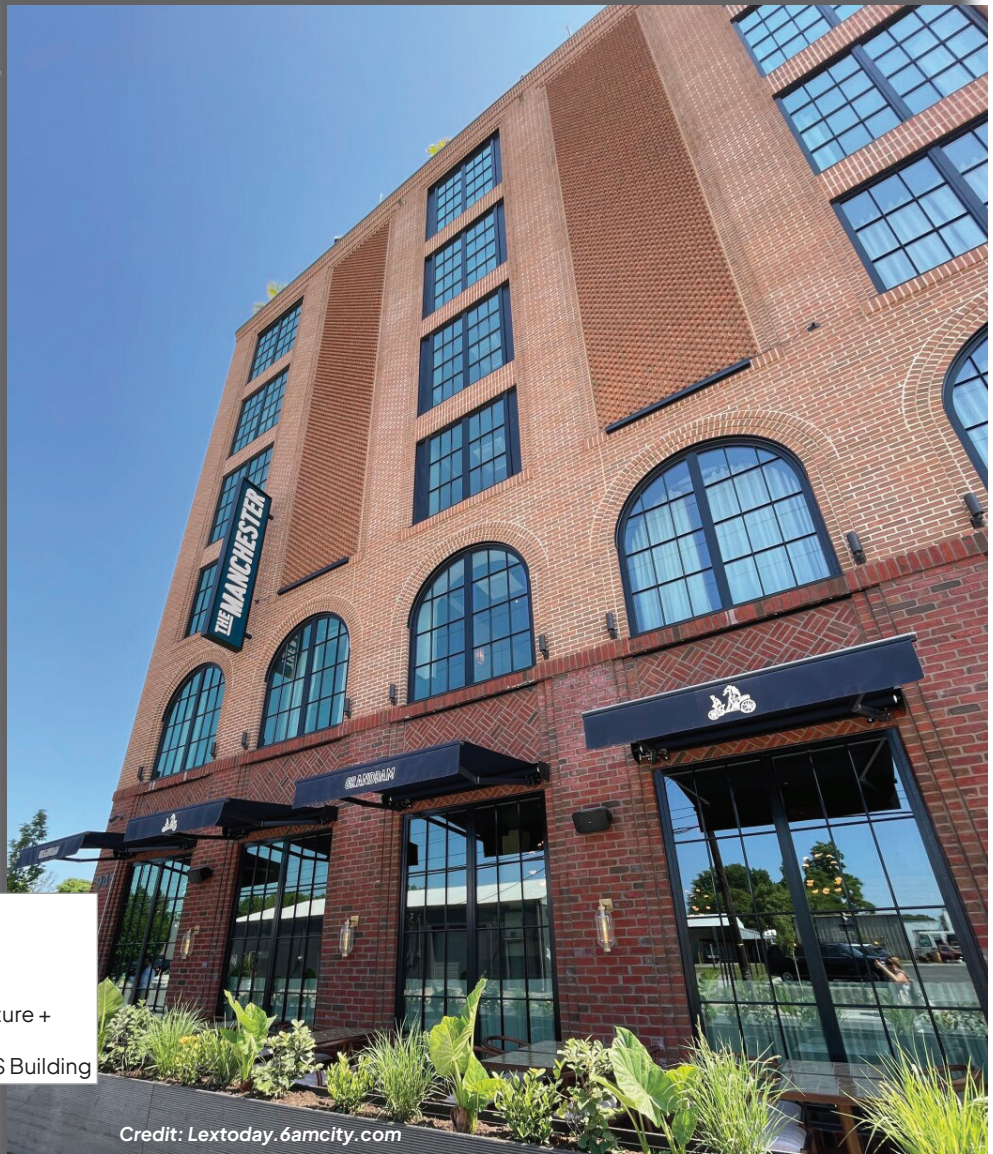
Simulated Divided Lites

- Dozens of flat and raised profiles with numerous combinations available

SDL profiles shown above are just a sampling of the many Quaker offers. Custom profiles available.

Grids Between the Glass

- Flat ($\frac{5}{8}$ "
- Flat ($\frac{3}{4}$ "
- Flat (1")
- Contoured ($\frac{3}{4}$ "



The Manchester Hotel
Lexington, KY
Owner: Astana LLC
Contractor: Wells and Wells
Architects: Champlin Architecture +
EOP Architects
Comm. Window Distributor: LS Building

Credit: Lextoday.6amcity.com

M600

COMMERCIAL ALUMINUM SERIES

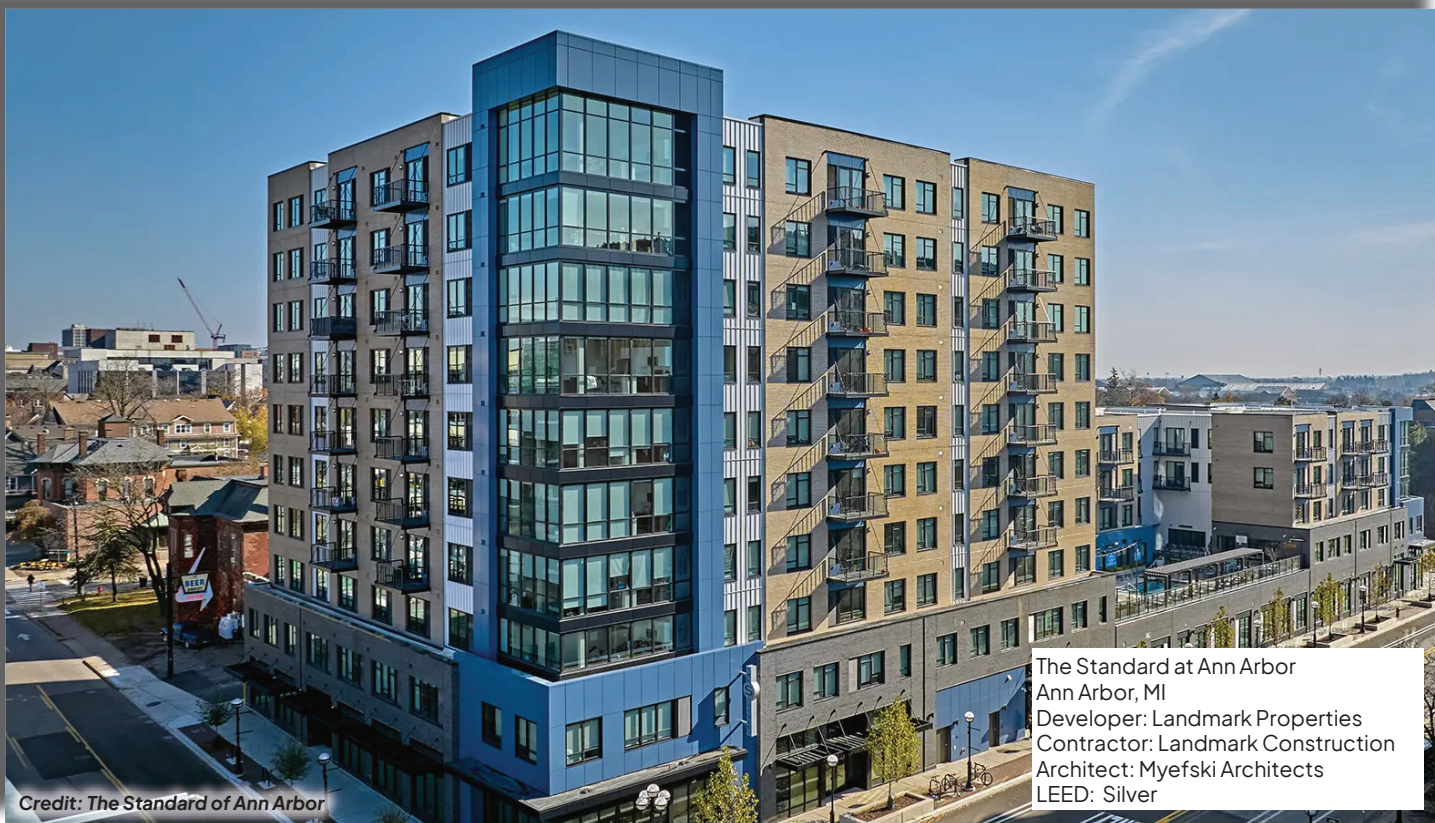
Options

Mulls

M600 Structural Mull Systems deliver confidence, whether you're stacking units or pairing them side-by-side. Or both.

- Vertical mulls - Up to 3" wide
- Horizontal mulls - 1" to 7" tall
- Post Mulls
- Mull Covers - up to 8" wide
- 120° Angle Mull

Usage limitations may apply



M600

COMMERCIAL ALUMINUM SERIES

Options

Installation Accessories

Quaker can provide a multitude of accessories for your M600 installation.

- Panning
- Receptor
- Subsill
- Anchor straps
- Interior and exterior trim
- Drywall channel

Other factory-applied* options and accessories include:

- Louver systems to accommodate HVAC (horizontal or vertical)
- WOCD (Window Operating Control Device). Meets ASTM F2090 requirements for window fall prevention.
- Trickle Vent (aka Background Ventilators) to allow for small amounts of air transfer
- Preserve Film protects against glass damage during construction stage

and many more.

**Some limitations may apply*

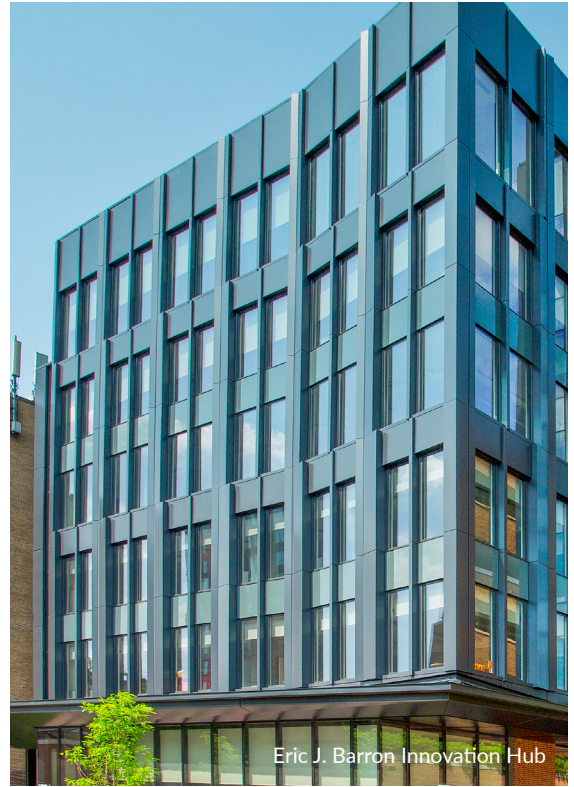
Block 5 Apartments/Hyatt Place
Rapid City, SD
Developer: Block 5 LLC
Contractor: Lloyd Construction Co.
Architect: VanDeWalle Architects
Glazing Contractor: Hagen Glass Company



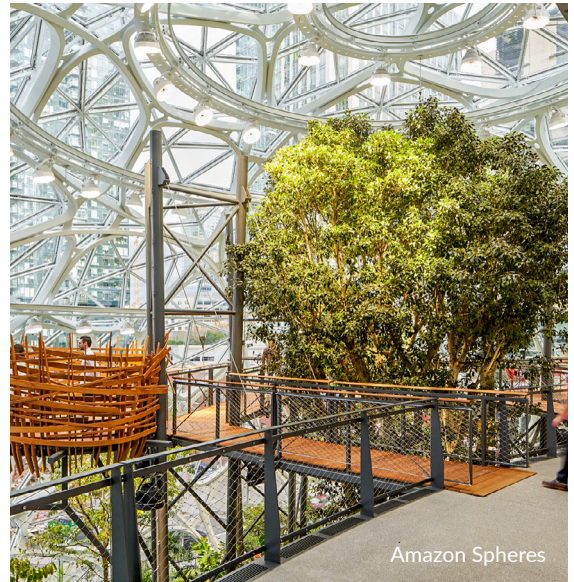
Credit: Lloyd Construction / lloydcompanies.com



Congress Square



Eric J. Barron Innovation Hub



Amazon Spheres

Solarban® 60 Solar Control Low-e Glass

Delivers Year-Round Comfort

Solarban® 60 glass is a double-silver low-e glass with low reflectivity, offering a clear, color-neutral appearance while reducing energy costs.

1-Inch IGU on Clear (2)		Substrate Options		
SHGC	VLT%	Clear	Low-Iron	Tinted
0.39	70	✓	✓	✓

Aesthetic: Clear, color-neutral

Reflectivity: Low

Availability				
Titan™ Glass Sizes	BirdSmart® Glass	Annealed	Heat Treatable	Vitro Certified® Network
✓	✓	✓	✓	✓

Compatibility			
Laminated	Bent	Heat Soaked Testing	Used With Sungate Therml™ Glass
✓	✓	✓	✓

Insulating Glass Unit Performance Comparisons | 1-inch (25 mm) units with 1/2-inch (13 mm) airspace and two 1/4-inch (6 mm) lites

Outdoor Lite: Coating if Any (Surface) Glass	Glass Type + Indoor Lite: Coating if Any (Surface) Glass	Visible Light Transmittance (VLT) %	Visible Light Reflectance		(BTU/hr²ft²°F) NFRC U-Value		Solar Heat Gain Coefficient (SHGC)	Color Rendering Index (CRI)
			Exterior %	Interior %	Winter Nighttime	Winter Argon		

Solarban® 60 Solar Control Low-E Glass

Solarban® 60 (2) Clear + Clear	70	11	12	0.29	0.24	0.39	95
Solarban® 60 (2) Acuity® + Acuity®	73	11	12	0.29	0.24	0.41	97
Solarban® 60 (2) Starphire® + Starphire®	74	11	12	0.29	0.24	0.41	98
Solarban® 60 (2) Solexia® + Clear	61	9	12	0.29	0.24	0.32	90
Solarban® 60 (2) Azuria® + Clear	54	8	11	0.29	0.24	0.28	78
Solarban® 60 (2) Solarblue® + Clear	45	7	11	0.29	0.24	0.29	94
Solarban® 60 (2) Solarbronze® + Clear	42	7	11	0.29	0.24	0.28	95
Solarban® 60 (2) Optigray® + Clear	50	8	11	0.29	0.24	0.30	94
Solarban® 60 (2) Solargray® + Clear	35	6	10	0.29	0.24	0.25	95
Atlantica® + Solarban® 60 (3) Clear	53	8	10	0.29	0.24	0.31	84
Solarban® 60 (2) Pacifica® + Clear	34	6	9	0.29	0.24	0.25	72
Graylite® II + Solarban® 60 (3) Clear	7	4	8	0.29	0.24	0.13	84

Solarban® 60 Optiblue® Solar Control Low-E Glass

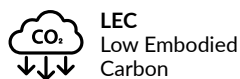
Solarban® 60 (2) Optiblue® + Clear	51	8	11	0.29	0.24	0.32	91
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All performance data calculated using LBNL Window 7.8 software and represents center of glass performance data. For detailed information on the methodologies used to calculate the aesthetic and performance values in this table, please visit vitroglazings.com or request our Architectural Glass Catalog.

Sustainability

All Vitro Architectural Glass Products meet US GSA Low-Embodied Carbon standards.

Vitro is the first U.S. glass manufacturer to have its entire collection earn **Cradle to Cradle Certified®** recognition and first North American glass manufacturer to publish **Environmental Product Declarations (EPDs)** for Flat and Processed Glass Products.



For more information visit vitroglazings.com, or call 1-855-VTRO-GLS (887-6457).

To order samples, visit samples.vitroglazings.com

Projects

Congress Square | Boston, Massachusetts | Solarban® 60 Starphire® Glass | Architect: Arrowstreet
Glass Fabricator: Oldcastle BuildingEnvelope® - Wright City | Glazing Contractor: Cheviot | Photographer: Tom Kessler

Eric J. Barron Innovation Hub | State College, Pennsylvania | Solarban® 60 Acuity® Glass | Architect: KieranTimberlake Glass
Fabricator: W.A. Wilson Glass Inc. | Glazing Contractor: Nittany Building Specialties | Photographer: Jim Cunningham

Amazon Spheres | Seattle, Washington | Solarban® 60 Starphire® Glass | Architect: NBBJ | Vitro Certified® Fabricator
Glazing Contractor: Enclos | Photographer: Bruce Damonte



Solarban® 60 Starphire® Glass