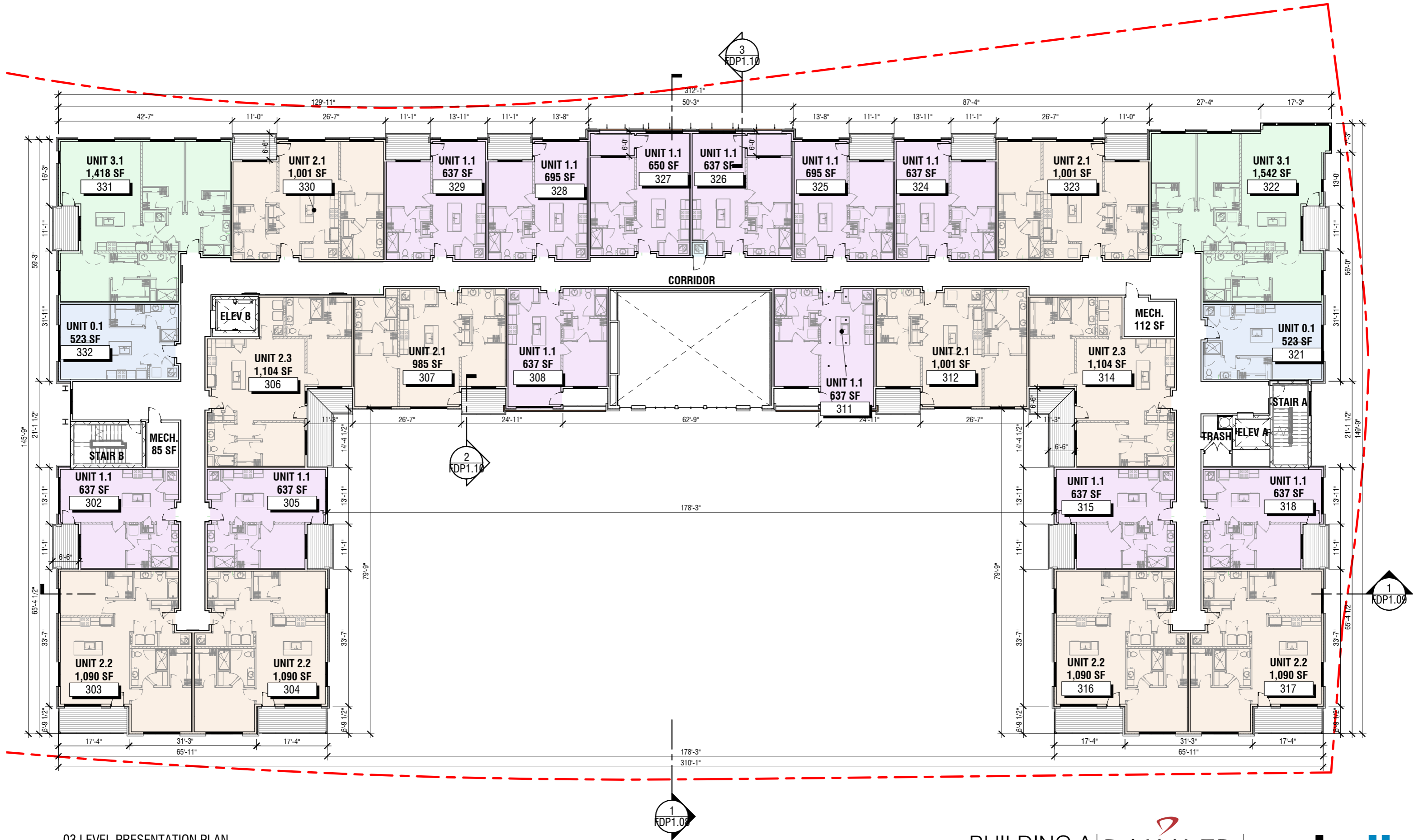


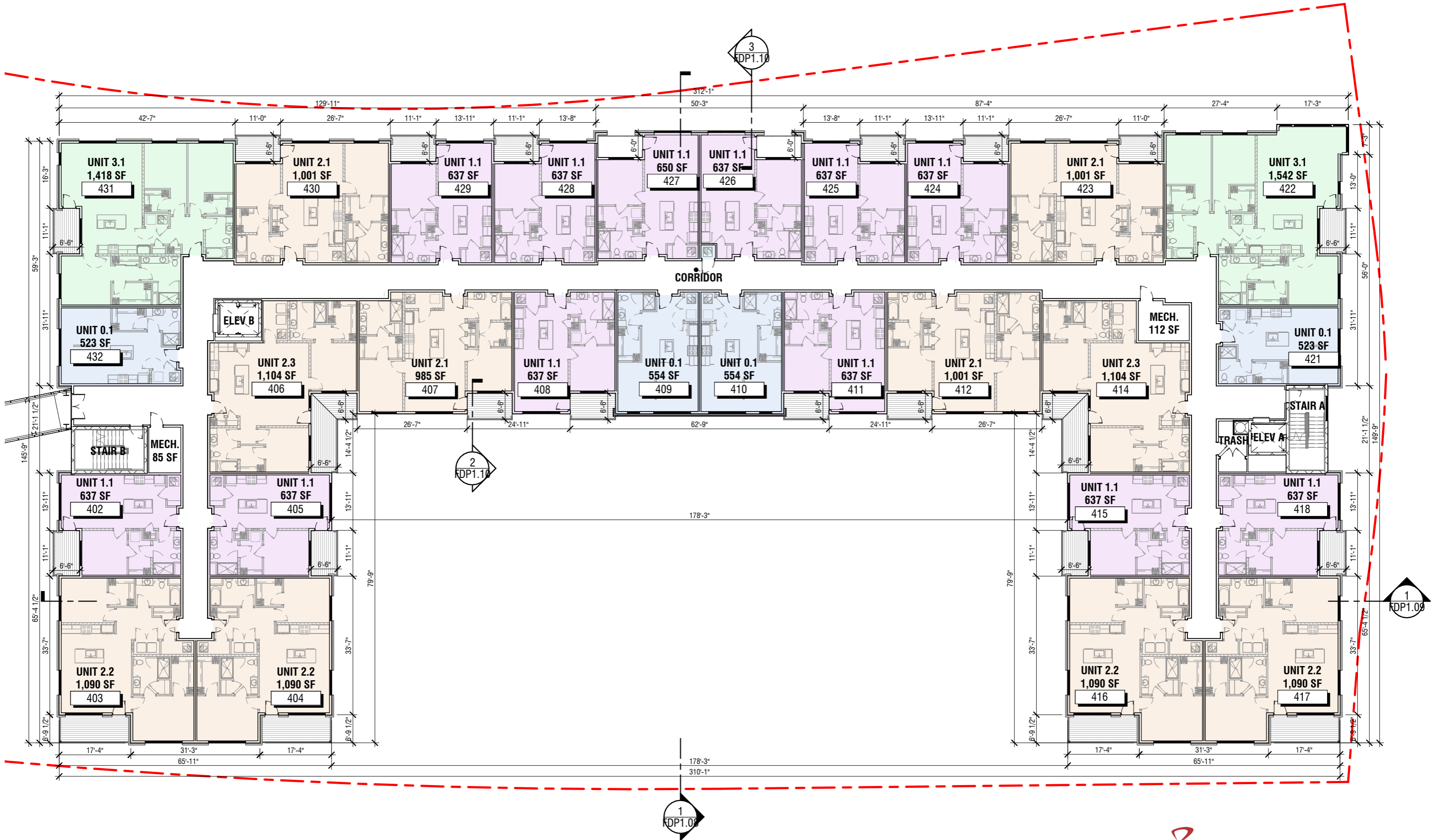
01 LEVEL PRESENTATION PLAN
 SCALE 3/64" = 1'-0"



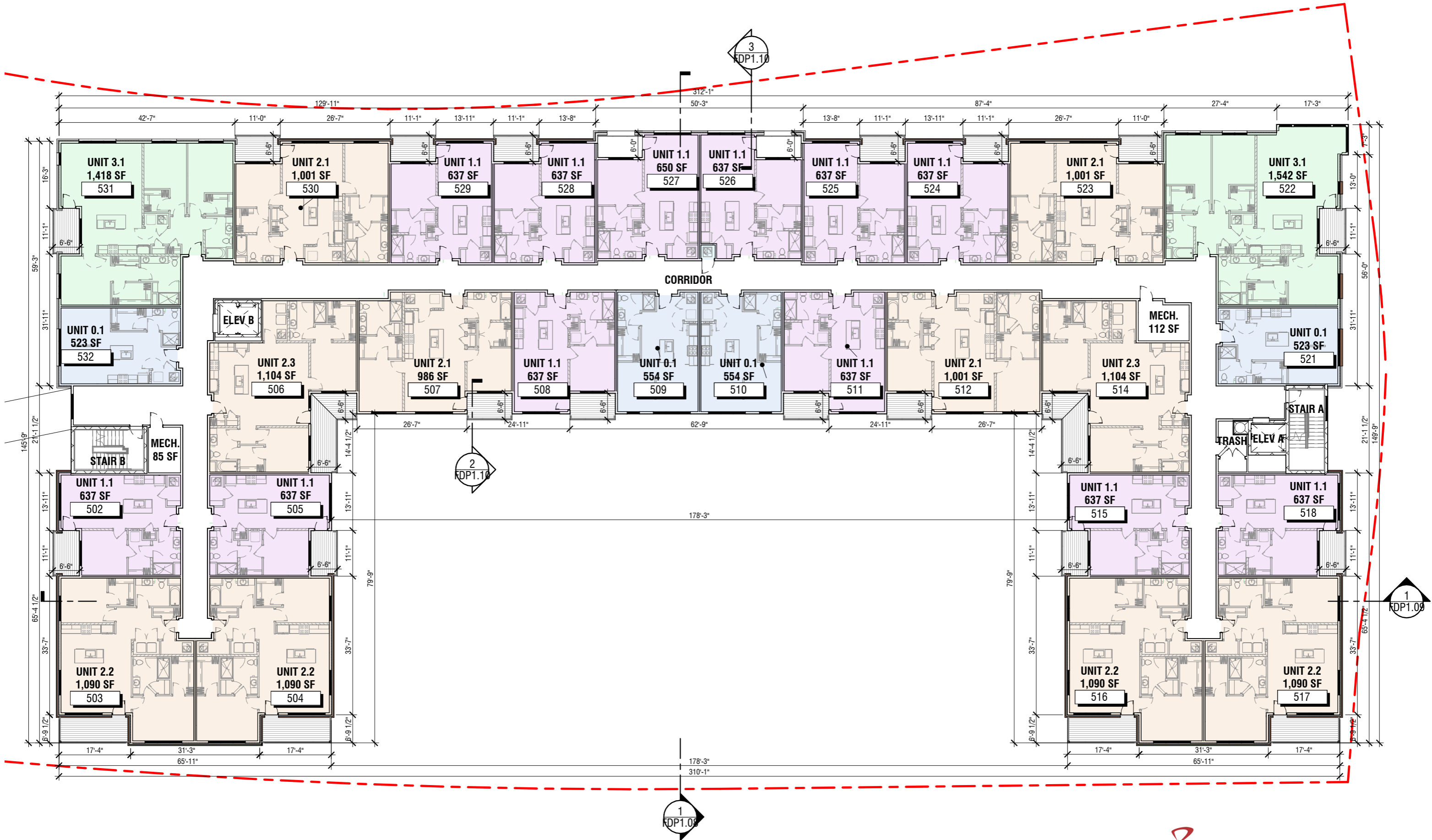
02 LEVEL PRESENTATION PLAN
SCALE 3/64" = 1'-0"



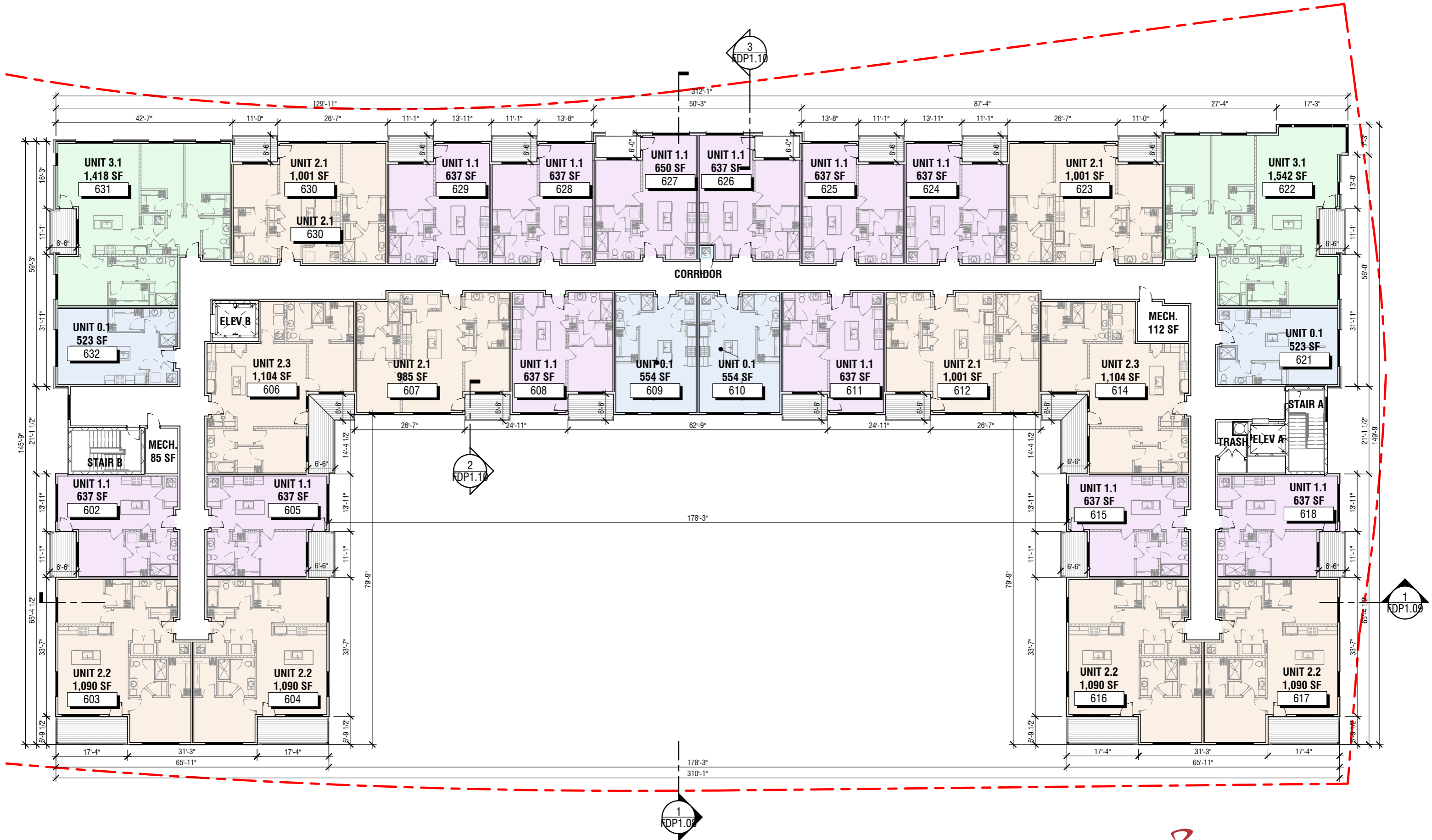
03 LEVEL PRESENTATION PLAN
SCALE 3/64" = 1'-0"



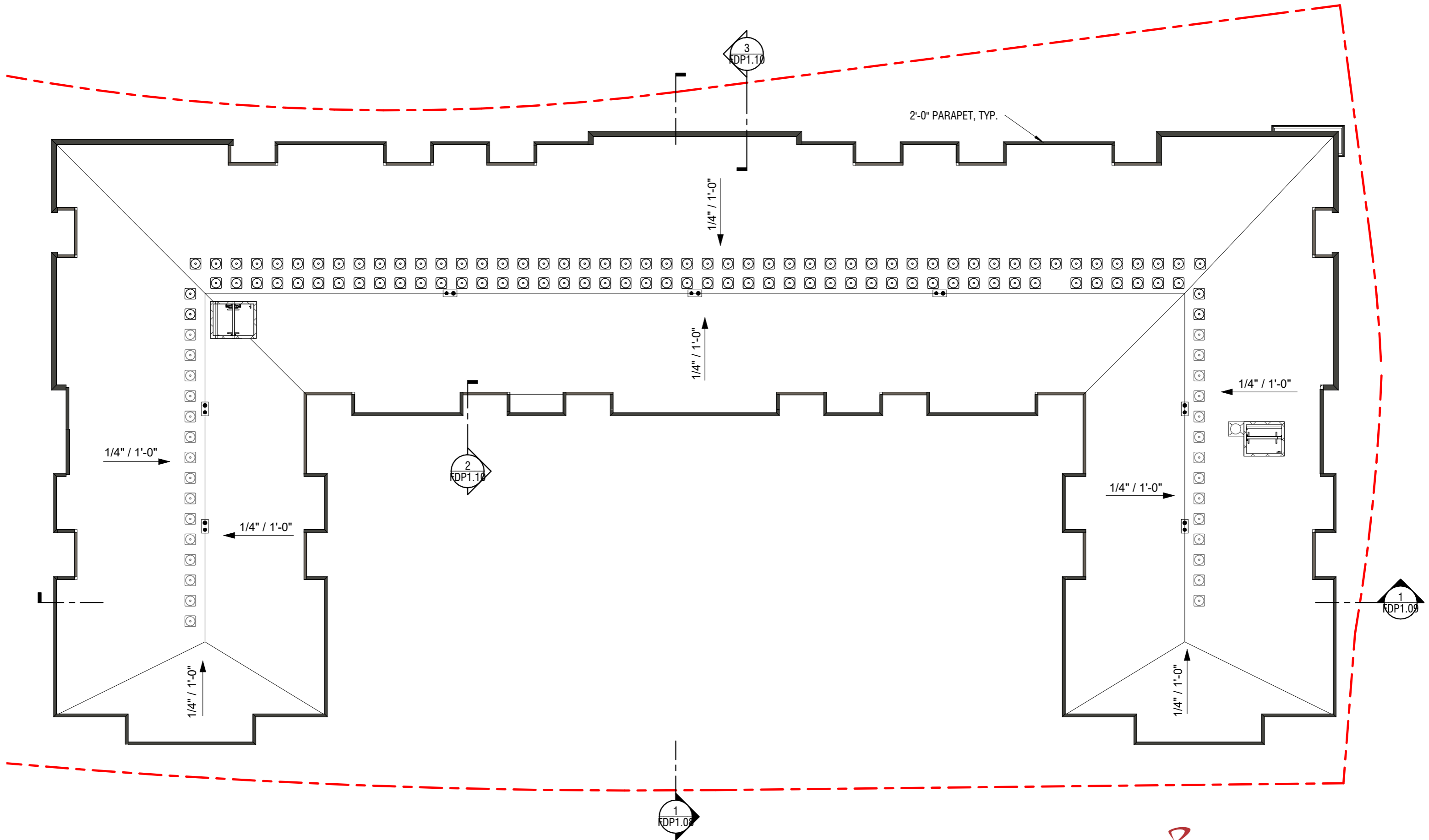
04 LEVEL PRESENTATION PLAN
SCALE 3/64" = 1'-0"



05 LEVEL PRESENTATION PLAN
SCALE 3/64" = 1'-0"



06 LEVEL PRESENTATION PLAN
SCALE 3/64" = 1'-0"



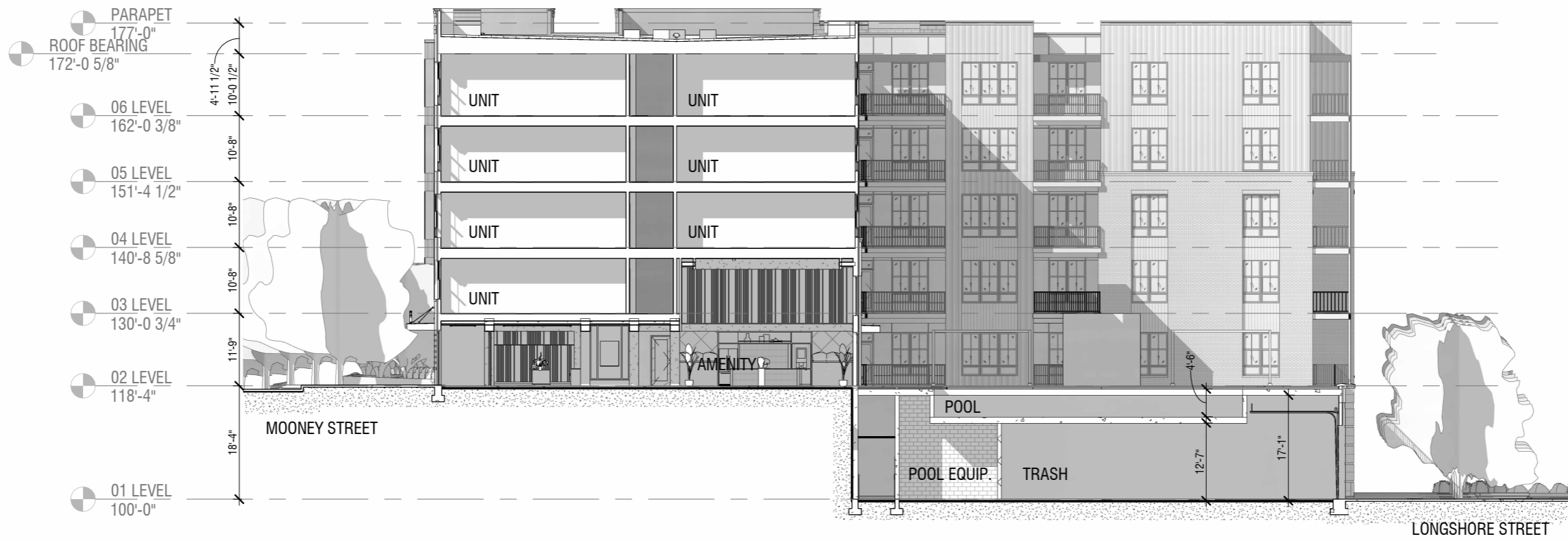
ROOF PRESENTATION PLAN
 SCALE 3/64" = 1'-0"

Daimler Bridge North - BUILDING A																						
	Parking Stalls	Total Gross Building Area	Retail (Gross)	Restaurant (Gross)	Amenity (Gross)	Vertical Circulation (Gross)	Parking (Gross)	Total Residential Area	Unit 0.1	Unit 1.1	Unit 1.2	Unit 1.3	Unit 1+Den	Unit 2.1	Unit 2.2	Unit 2.3	Unit 3.1	Total units	Residential (NET)	Summary Table		
									571	689	723	692	877	1067	1163	1180	1506					
Level 01		23,934	10,095	7,586	-	462		-	-	-	-	-	-	-	-	-	-				Units	133
Level 02		29,388	-	-	2,951	641		25,796	3	9	-	-	-	3	4	2	2	23			Parking	0
Level 03		29,388	-	-	-	641		28,747	2	12	-	-	-	4	4	2	2	26			Unit Avg	941
Level 04		29,388	-	-	-	641		28,747	4	12	-	-	-	4	4	2	2	28				
Level 05		29,388	-	-	-	641		28,747	4	12	-	-	-	4	4	2	2	28			Total Gross Area	170,928
Level 06		29,442	-	-	-	641		28,801	4	12	-	-	-	4	4	2	2	28				
Totals	0	170,928	10,095	7,586	2,951	3,667	-	140,838	17	57	-	-	-	19	20	10	10	133				
									13%	43%				14%	15%	8%	8%					
								140,838	9,707	39,273				20,273	23,260	11,800	15,060		119,373	Res Efficiency	85%	

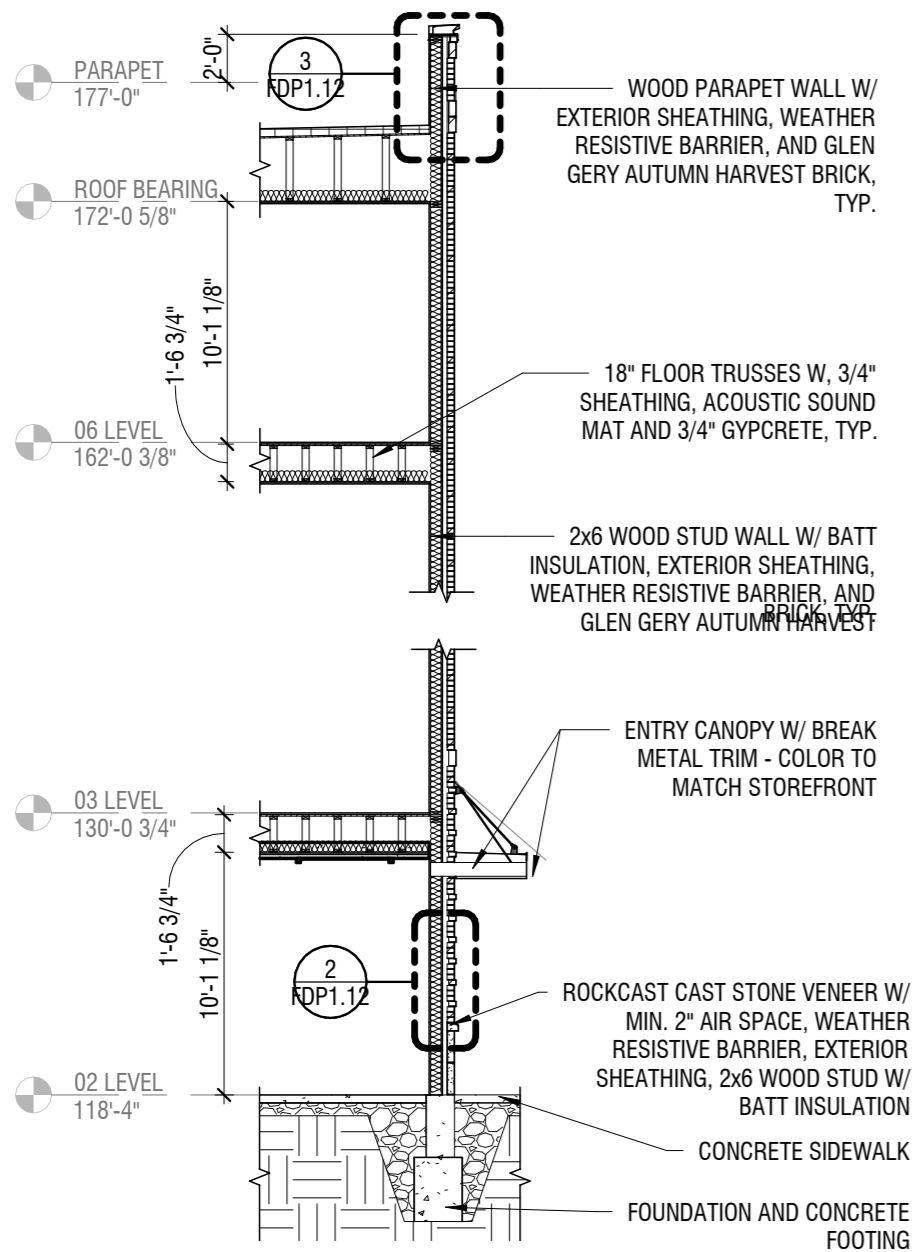
Shared By Building	Unit Specific Summary - Total		
A, B, C	Studio	16	12%
B,C	1 Bed + Den	0	0%
A, B, C	1.1	57	43%
C	1.2	0	0%
B	1.3	0	0%
A, B, C	2.1	20	15%
A	2.2	20	15%
A	2.3	10	8%
A, B, C	3.1	10	8%
	Total	133	100%

Mix Summary		
Studio	17	13%
1 Bed	57	43%
1 Bed + Den	0	0%
2 Bed	49	37%
3 Bed	10	8%
	133	100%

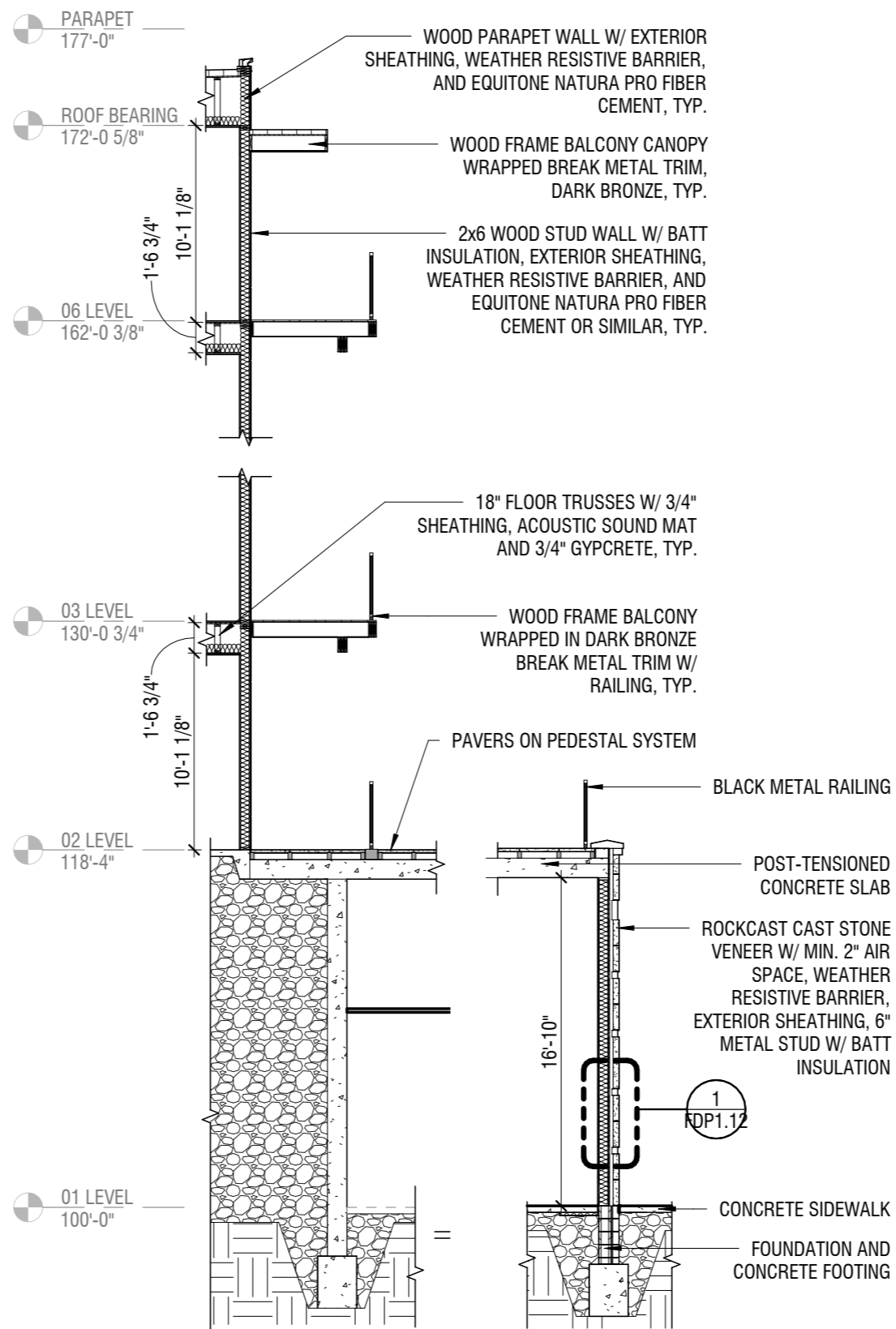
Site Totals Mix Summary		
Studio	52	18%
1 Bed	111	38%
1 Bed + Den	15	5%
2 Bed	94	32%
3 Bed	24	8%
	296	100%



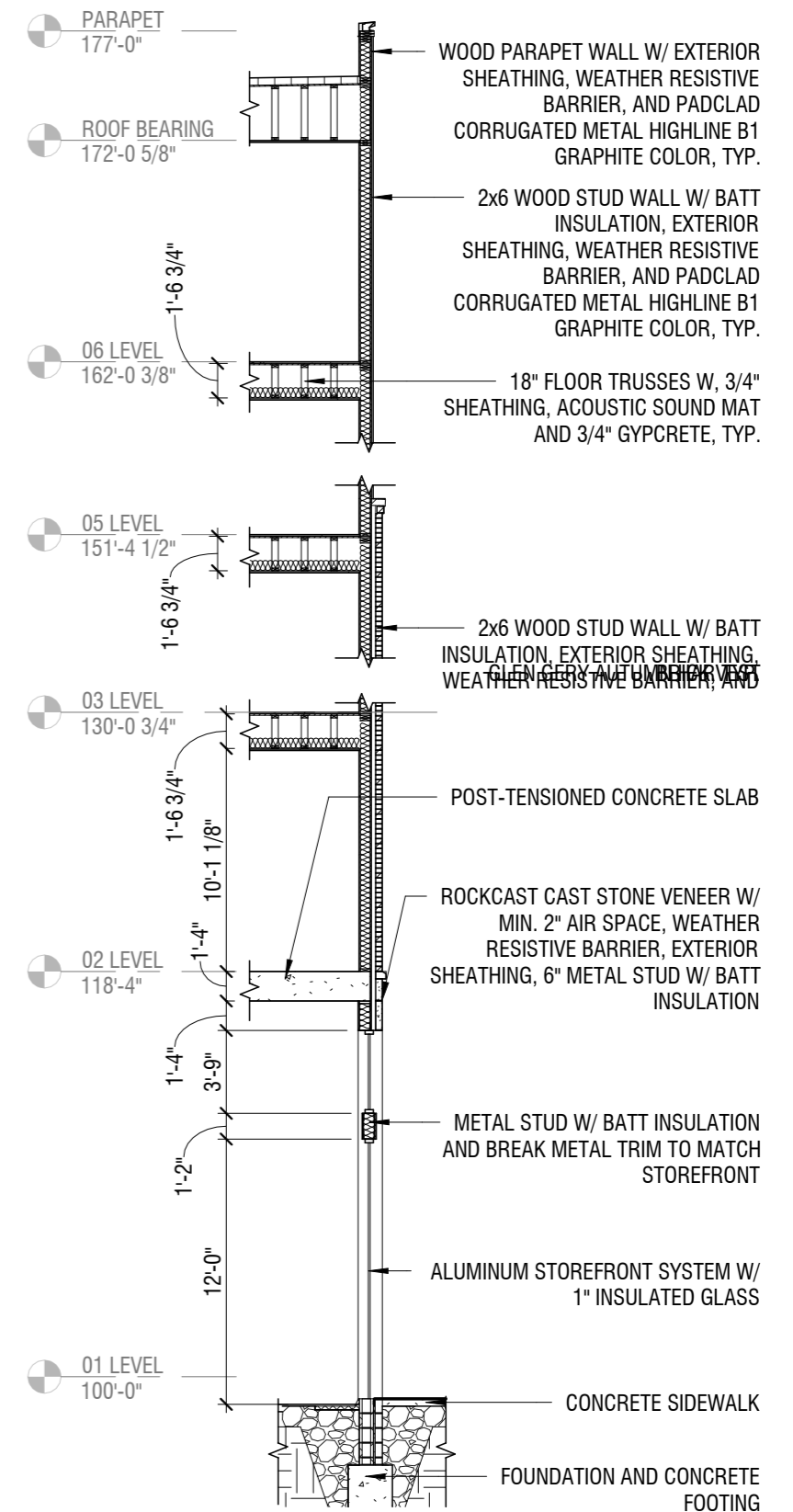
OVERALL EAST/WEST
SCALE 3/64" = 1'-0"



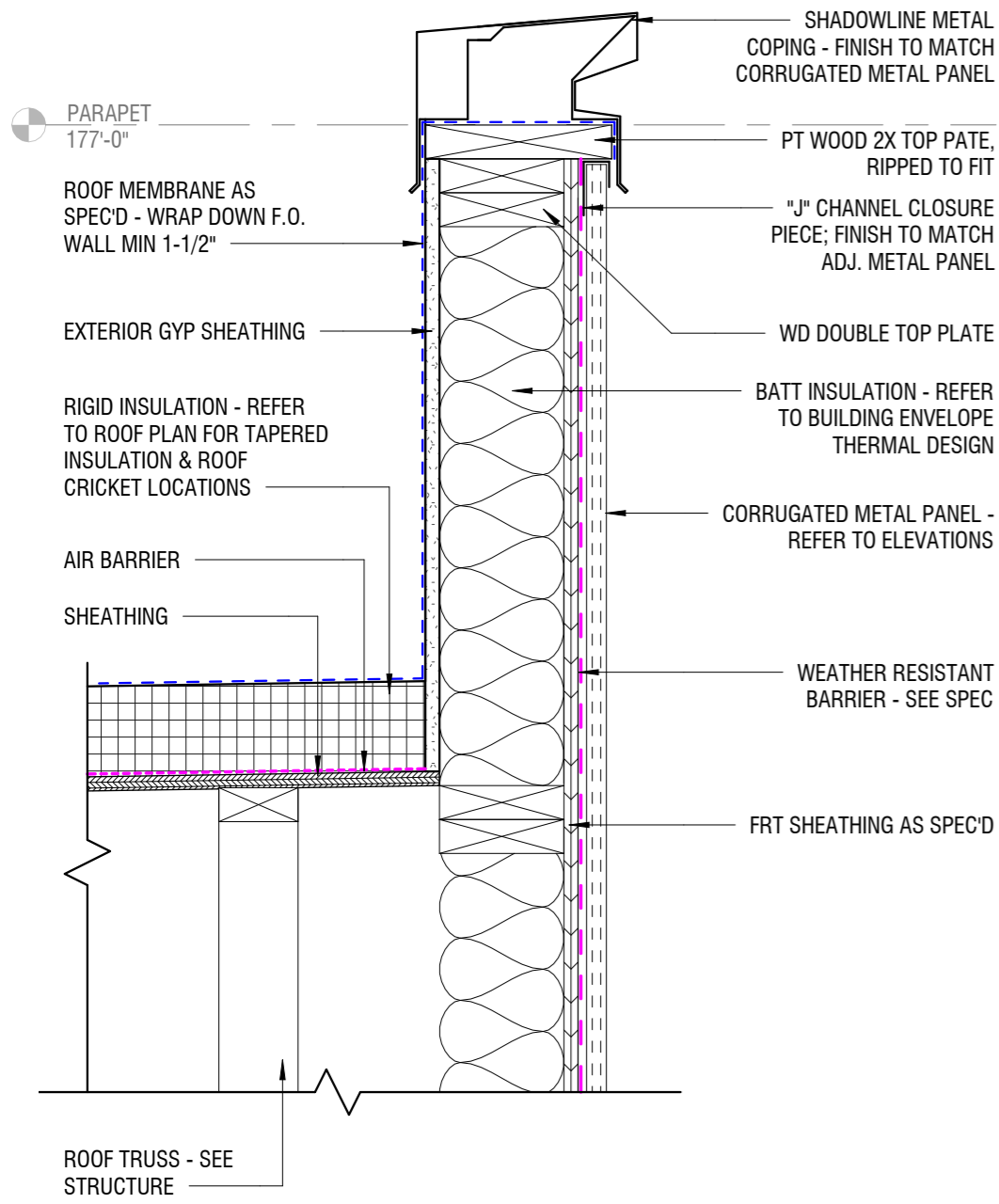
MOONEY ENTRY
SCALE 1/8" = 1'-0"



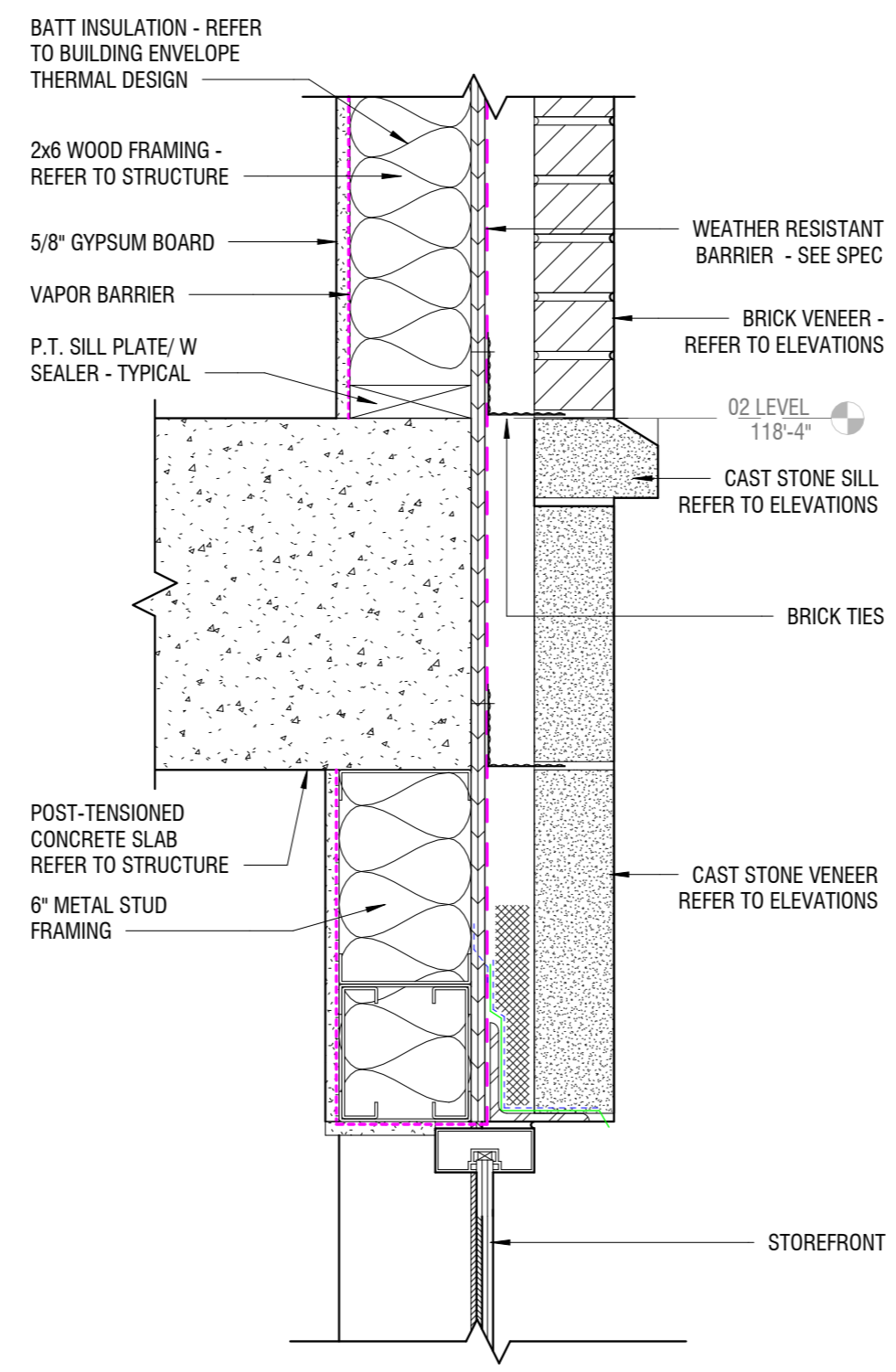
COURTYARD BALCONY
SCALE 1/8" = 1'-0"



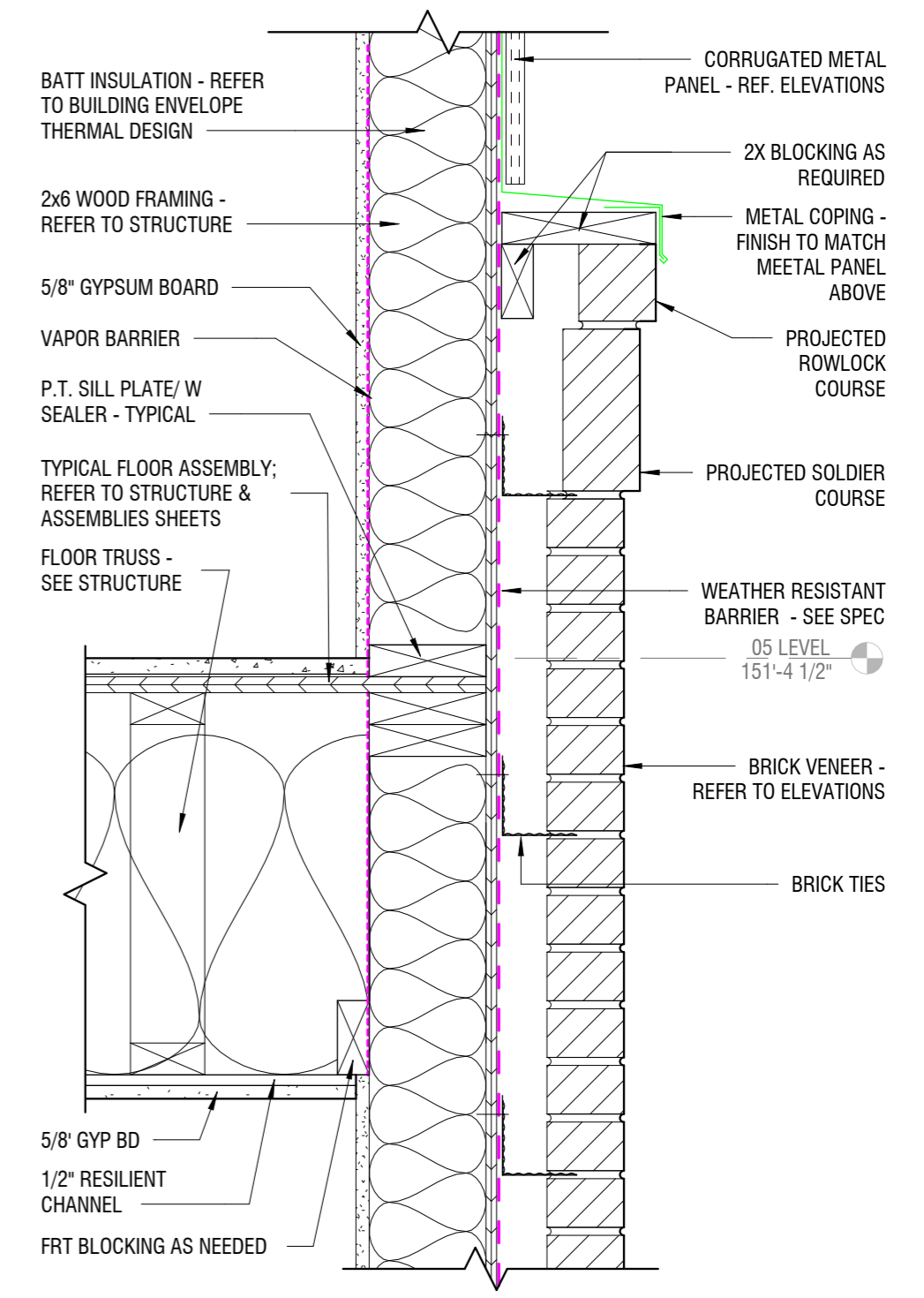
TYPICAL
SCALE 1/8" = 1'-0"



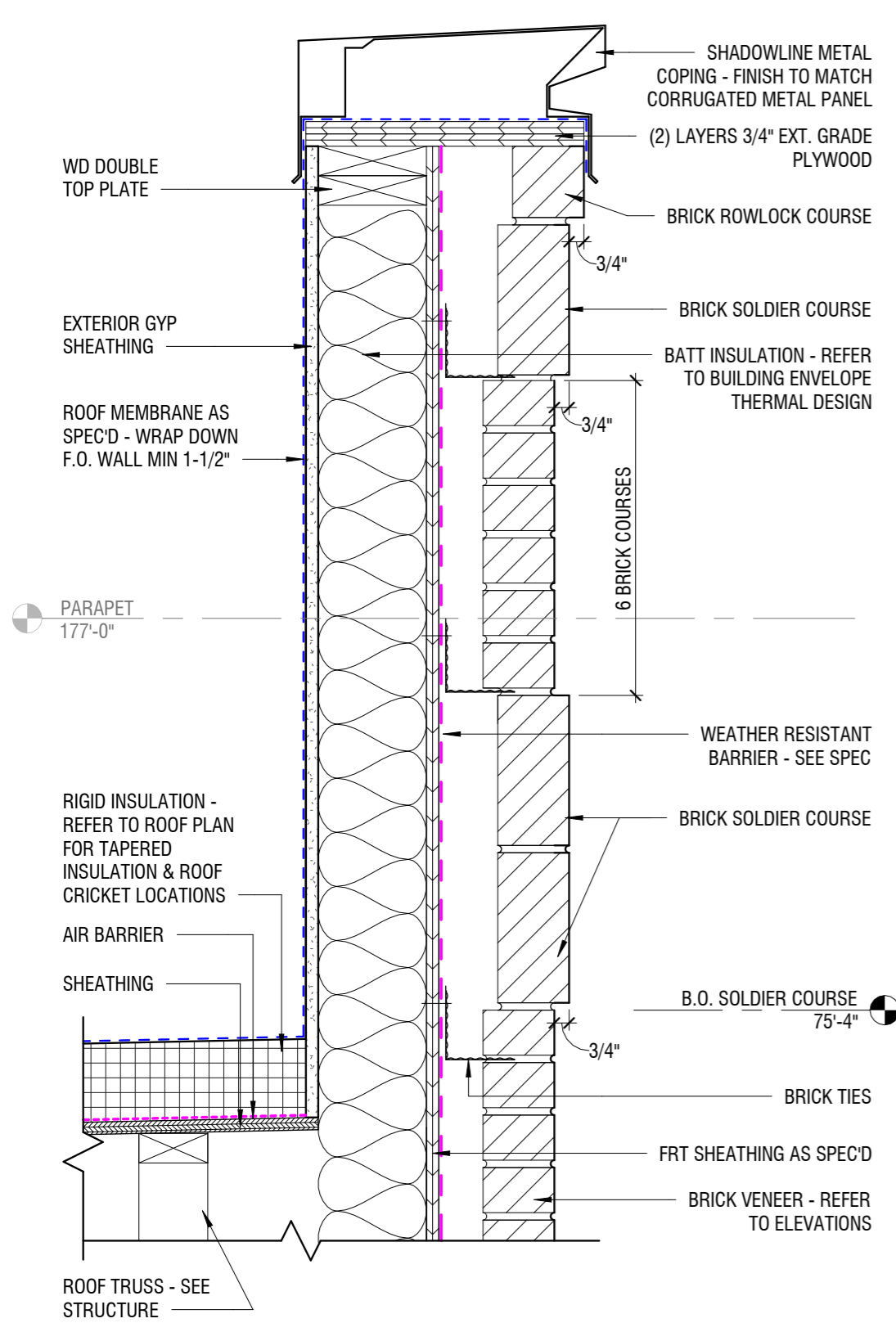
CORRUGATED METAL PARAPET
SCALE 1 1/2" = 1'-0"



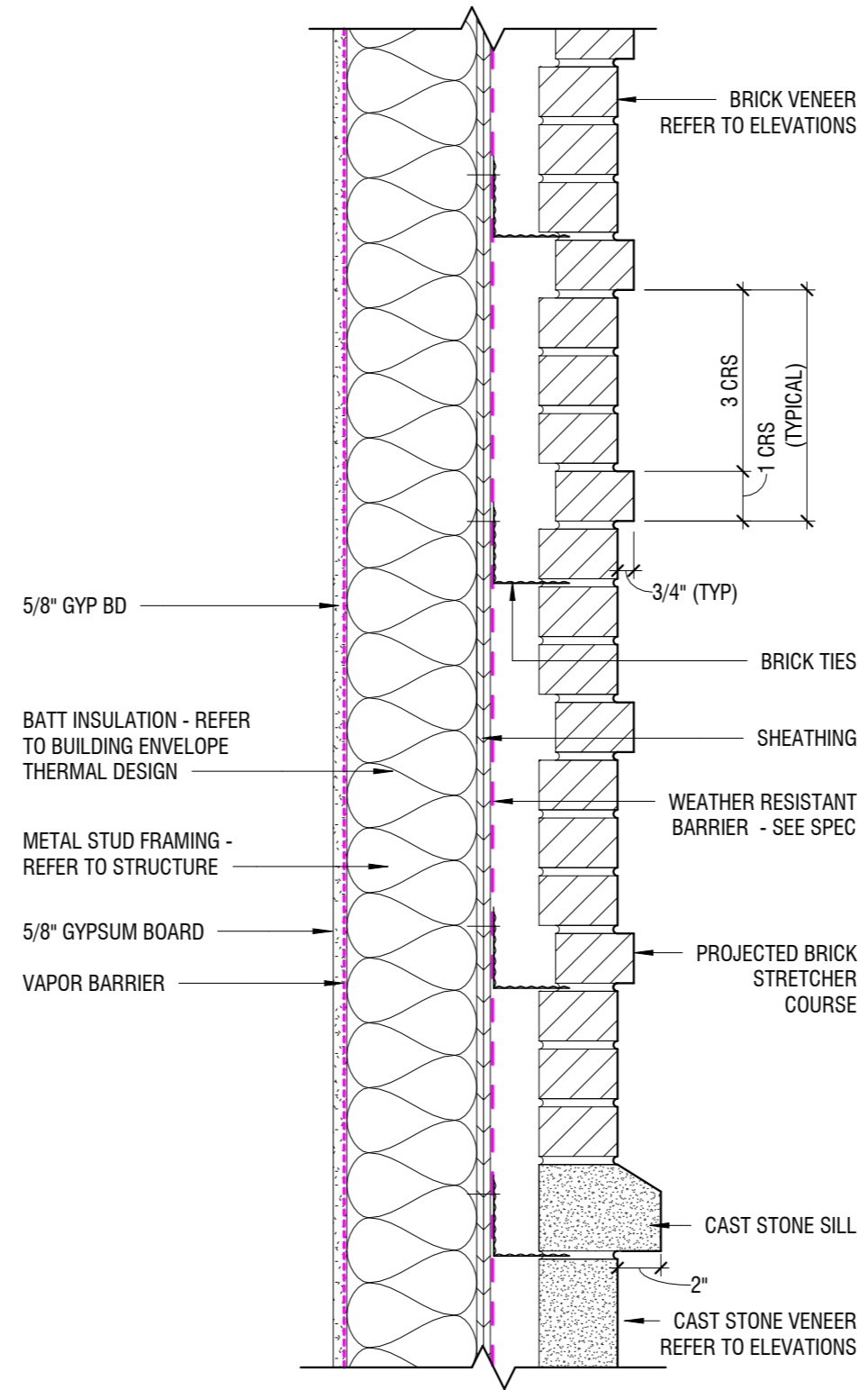
BRICK OVER STONE
SCALE 1 1/2" = 1'-0"



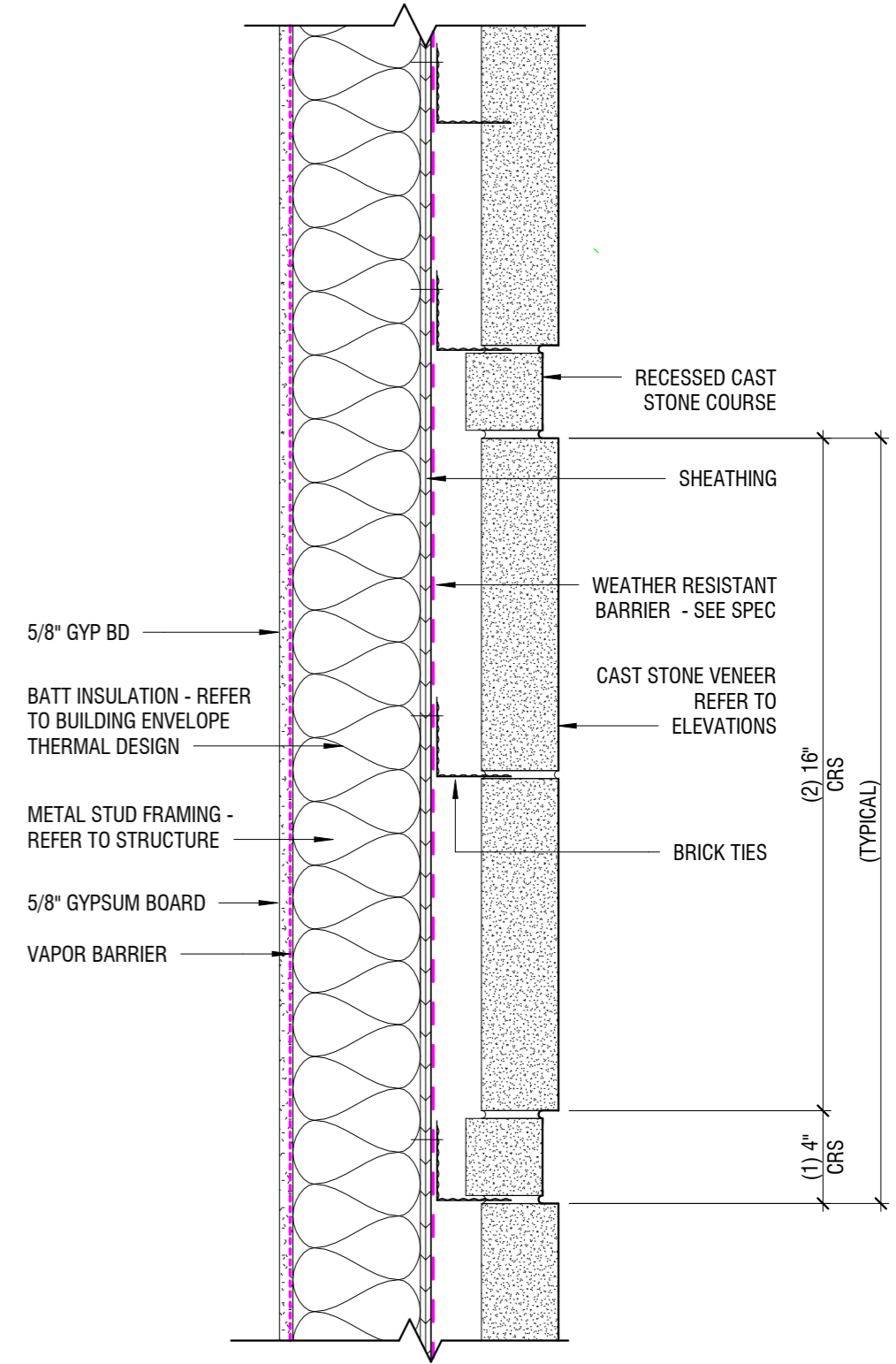
METAL PANEL OVER BRICK
SCALE 1 1/2" = 1'-0"



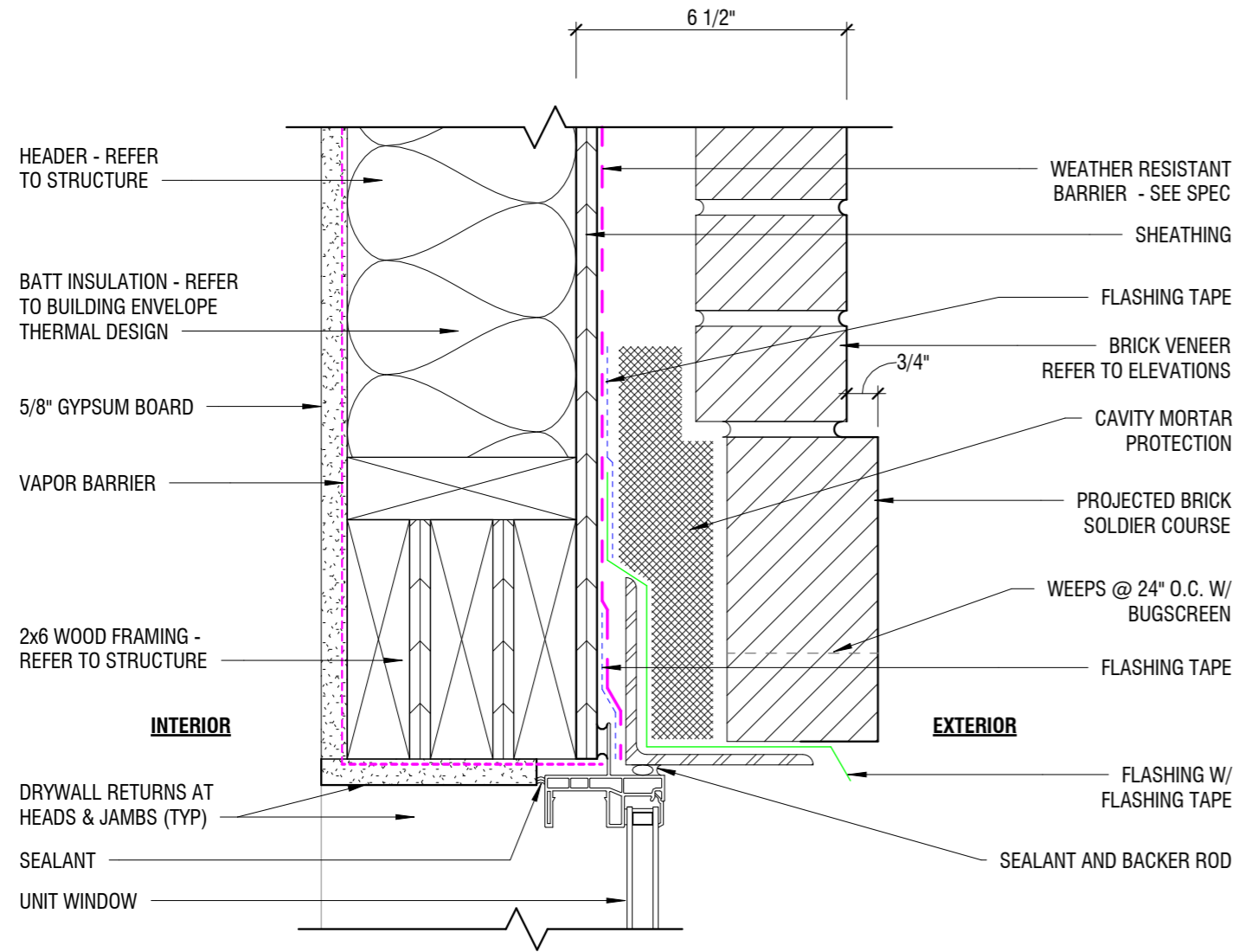
BRICK PARAPET
SCALE 1 1/2" = 1'-0"



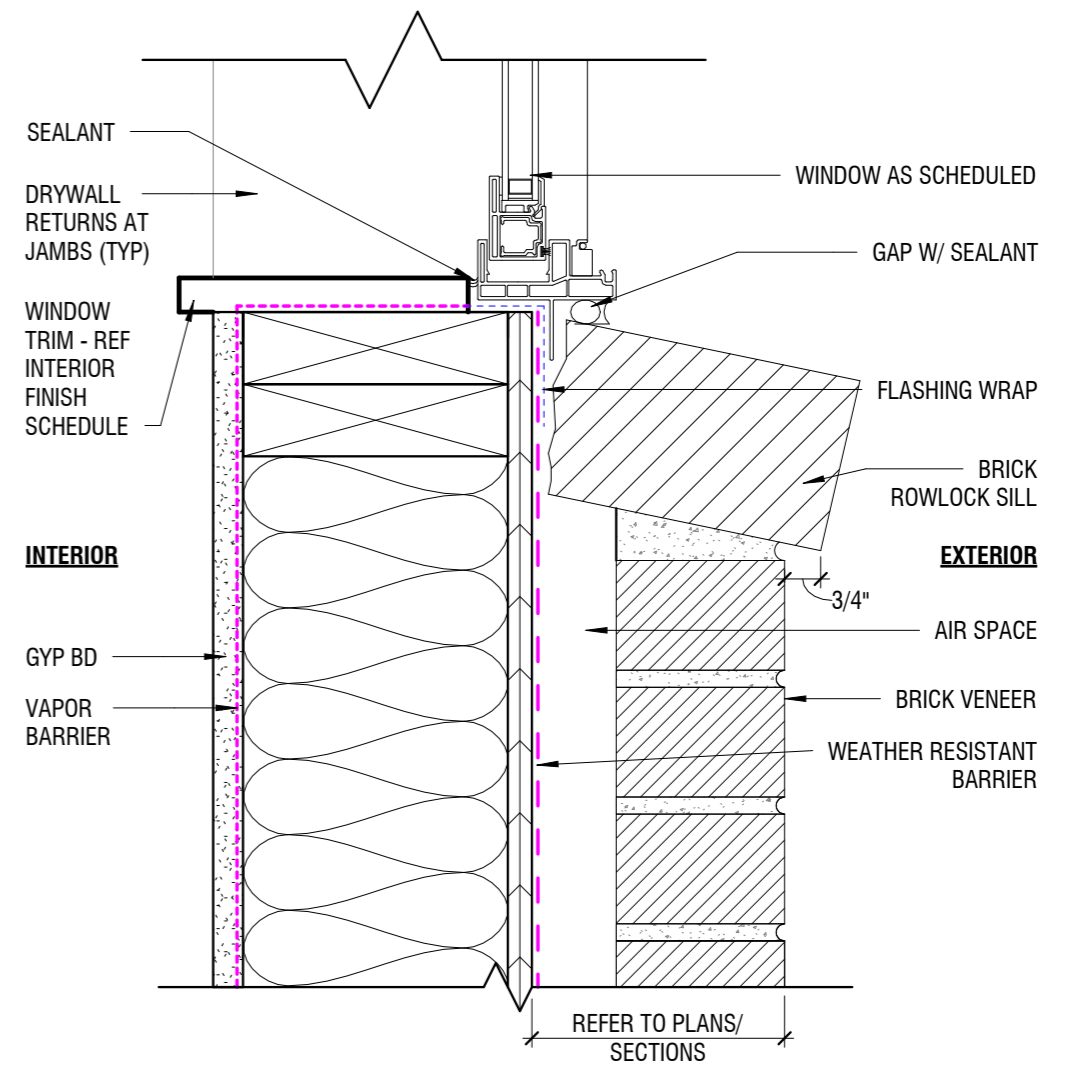
STONE TO BRICK WITH PROJECTED COURSES
SCALE 1 1/2" = 1'-0"



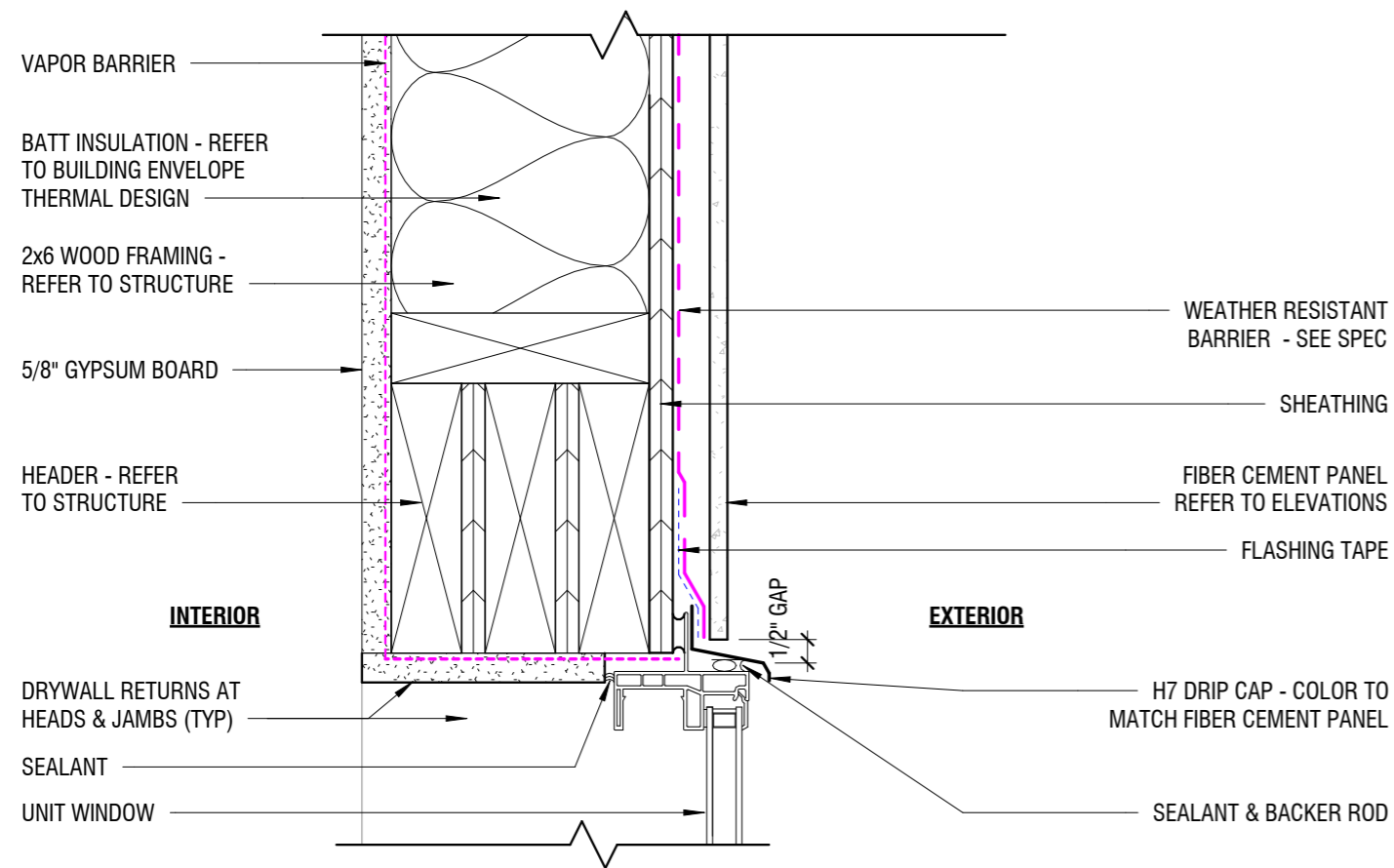
STONE PIER
SCALE 1 1/2" = 1'-0"



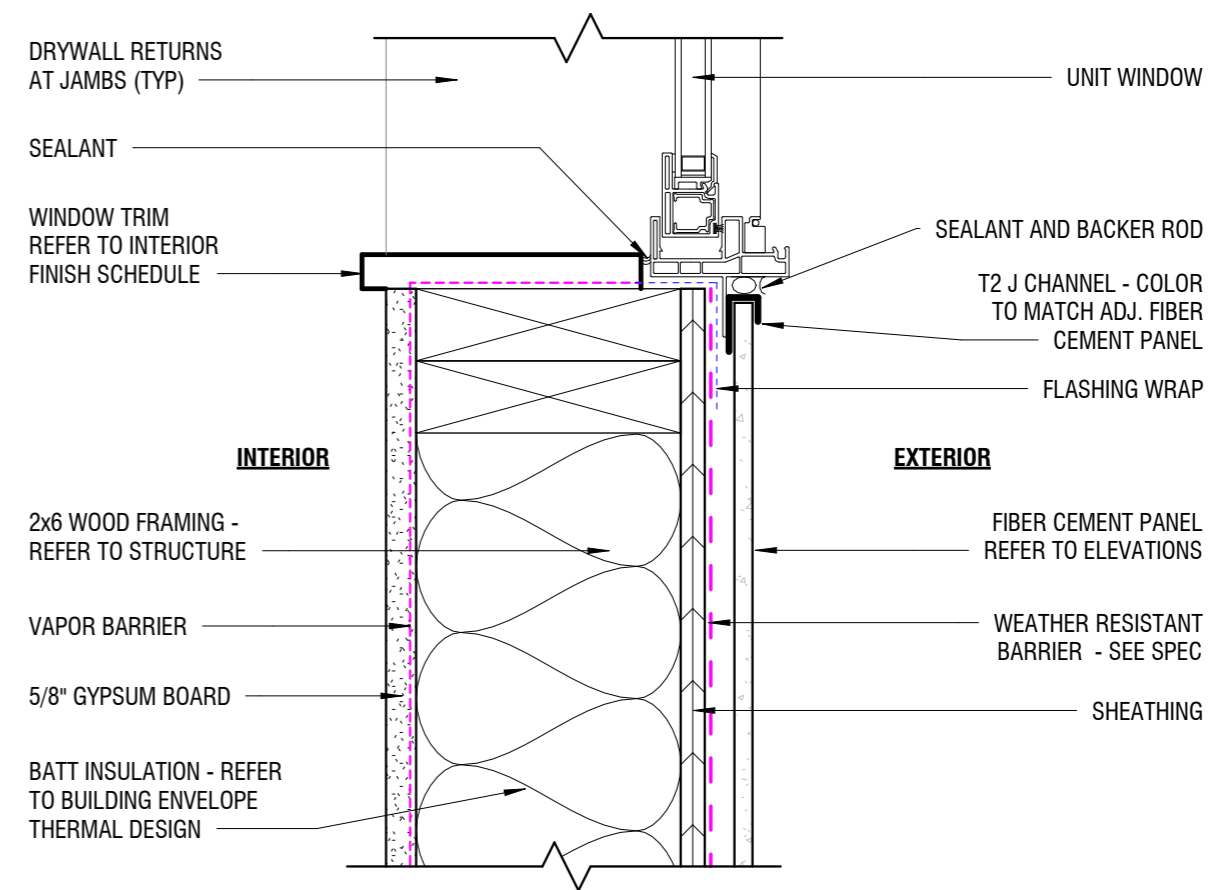
WINDOW-BRICK-WD-HEAD
SCALE 3" = 1'-0"



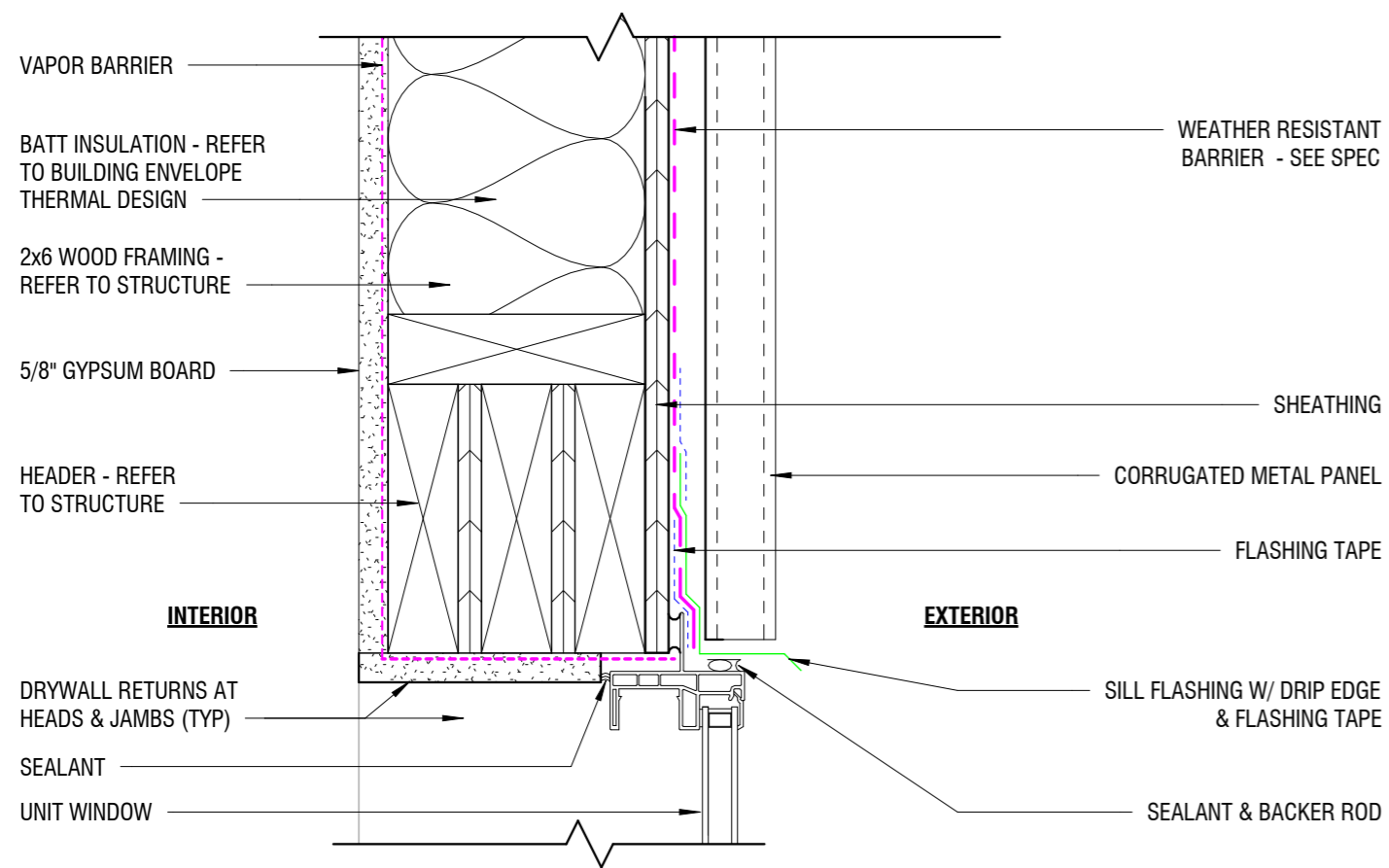
WINDOW-BRICK-WD-SILL
SCALE 3" = 1'-0"



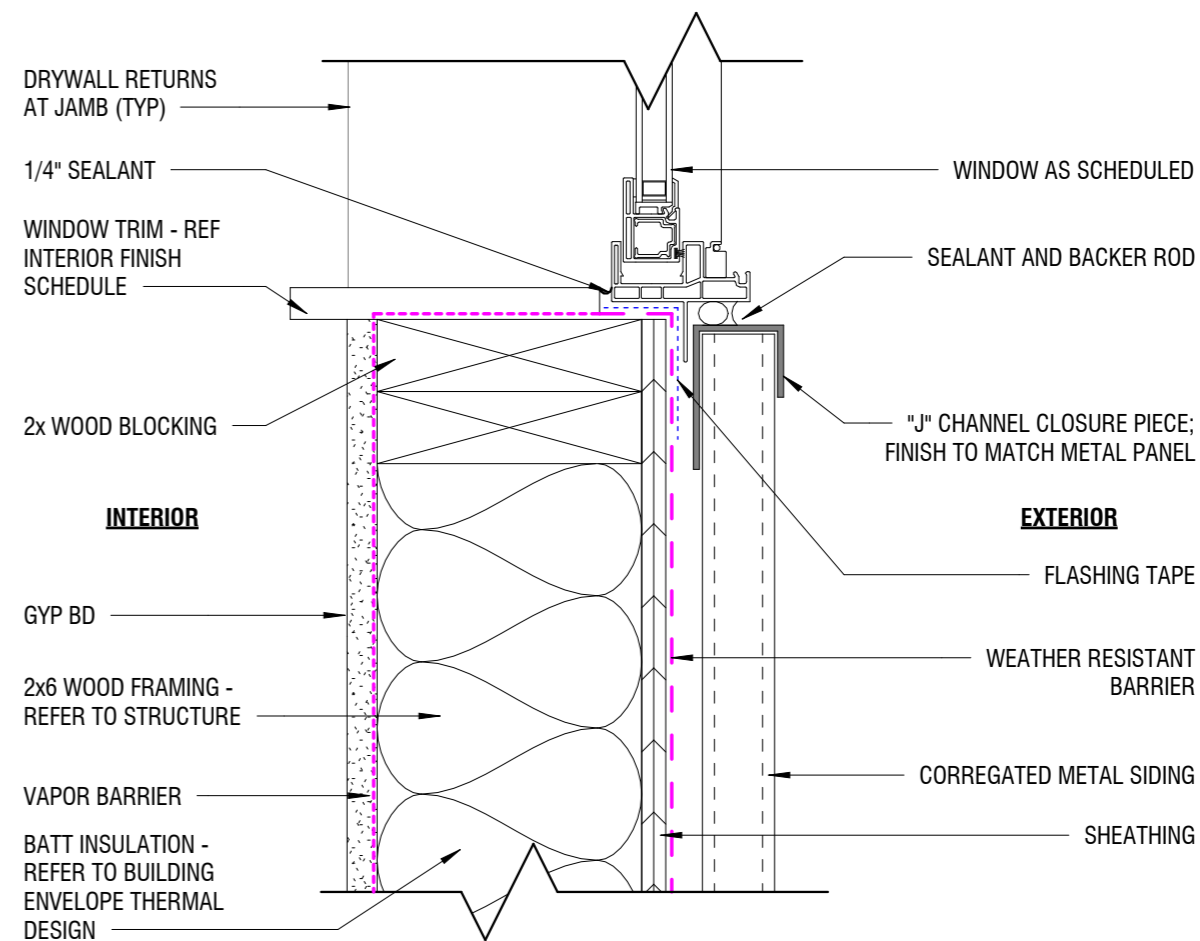
WINDOW-FIBERCEMENT-WD-HEAD
SCALE 3" = 1'-0"



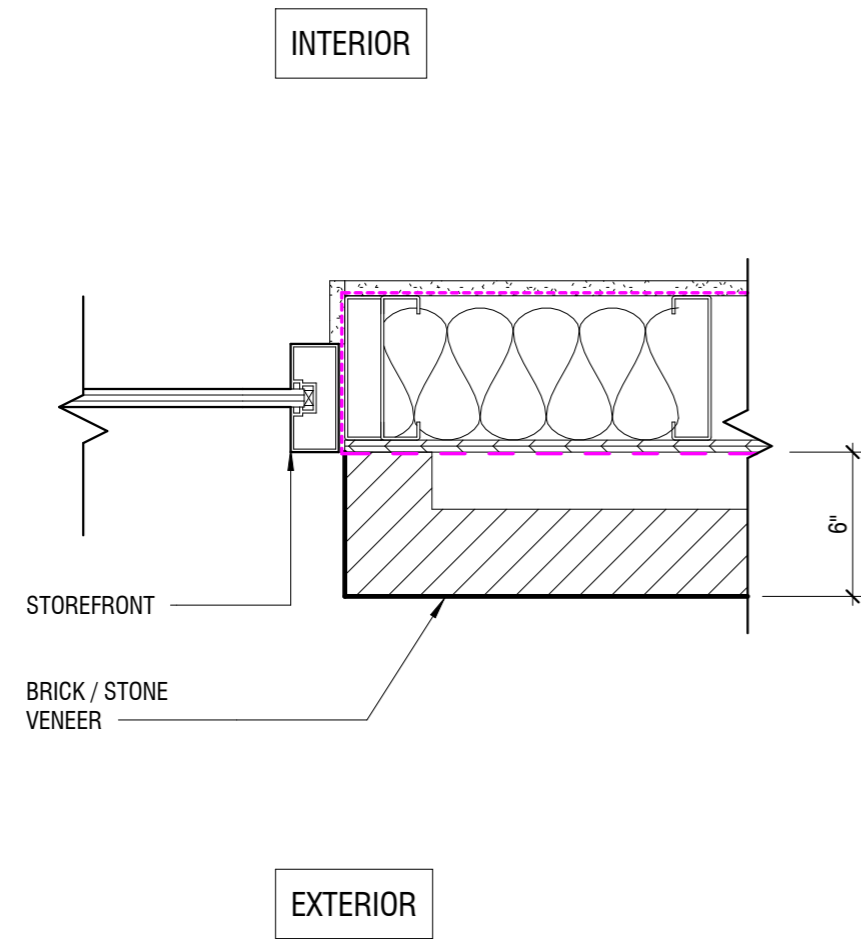
WINDOW-FCB-PANEL-WD-SILL
SCALE 3" = 1'-0"



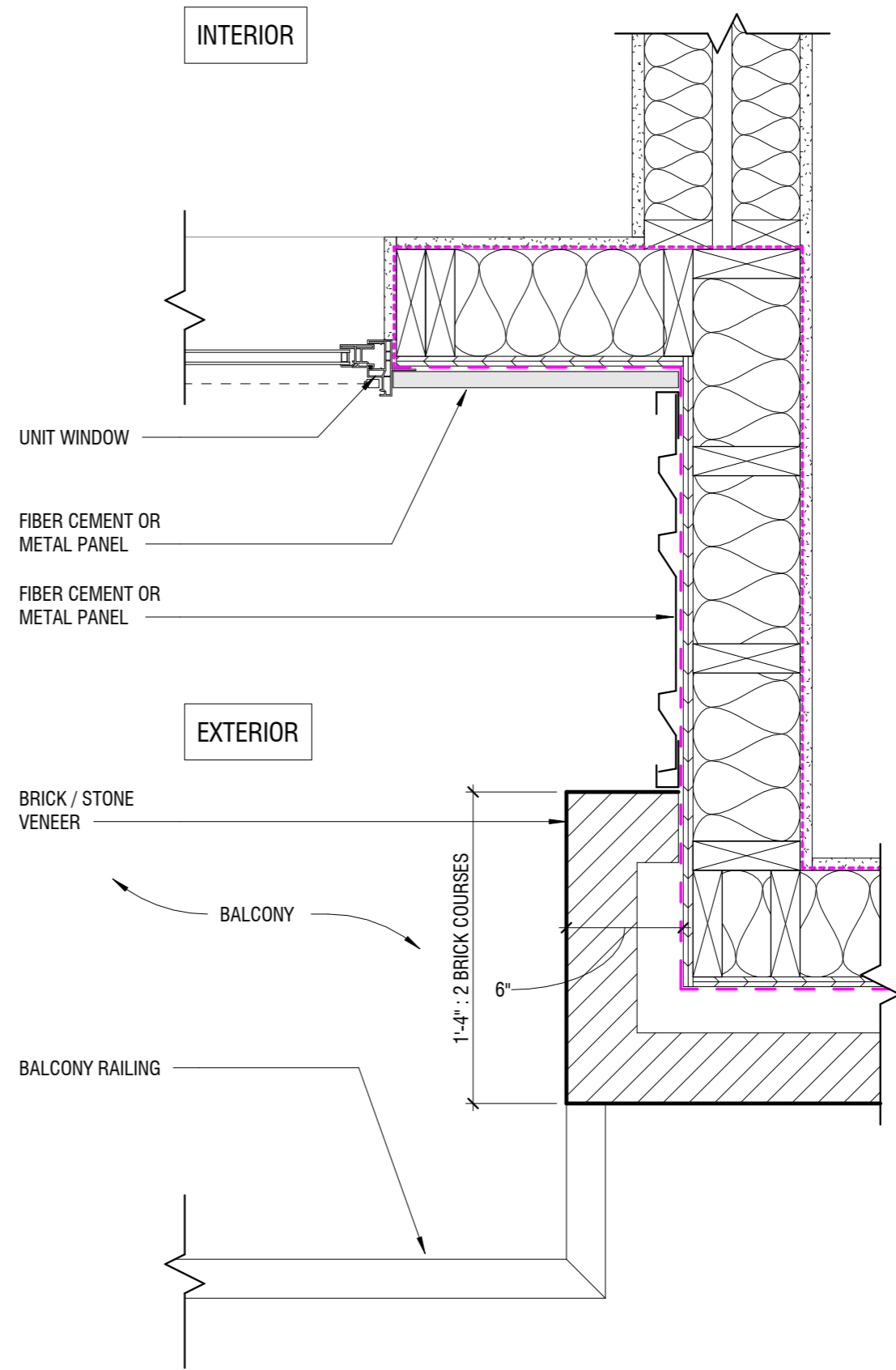
WINDOW-CORRUGATED METAL-WD-HEAD
SCALE 3" = 1'-0"



WINDOW SILL @ CORRUGATED METAL
SCALE 3" = 1'-0"



AT STOREFRONT



AT BALCONY

VERTICAL TRANSITIONS
SCALE 1 1/2" = 1'-0"



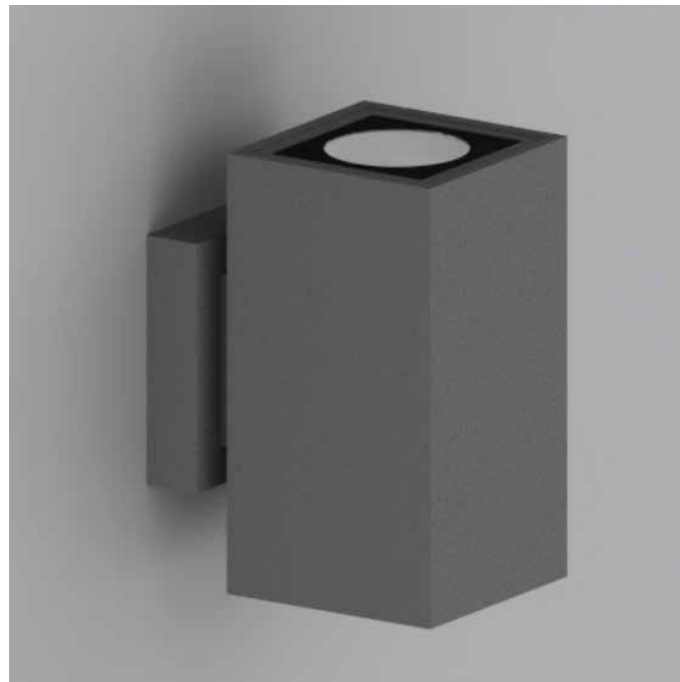
PARKING GARAGE ENTRY LED LIGHT FIXTURE - 19 IN
(USED IN RESI C)



RECESSED LED LIGHT FIXTURE AT ENTRY CANOPIES
(USED IN RESI A, B, & C)



HANDRAIL LED LIGHT FIXTURE
(USED IN RESI B)



UP/DOWN WALL LED LIGHT FIXTURE - 6 INCH
(USED IN RESI B)



WALL WASH LED LIGHT FIXTURE AT GARAGE PERFORATED PANELS
(USED IN RESI C)



WALL SCONCE LED LIGHT FIXTURE - 9 INCH
(USED IN RESI A & B)



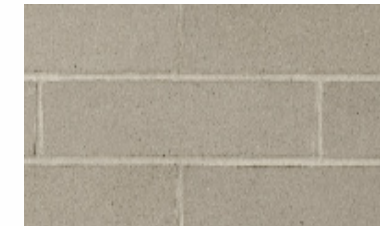
FDP ELEVATION - WEST
SCALE 3/64" = 1'-0"



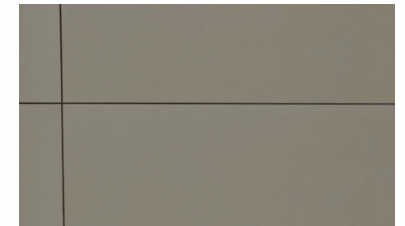
FDP ELEVATION - NORTH
SCALE 3/64" = 1'-0"



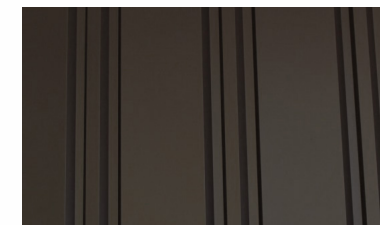
BRICK-1
BOWERSTON MODULAR BRICK IN CANYON BLEND RT LF



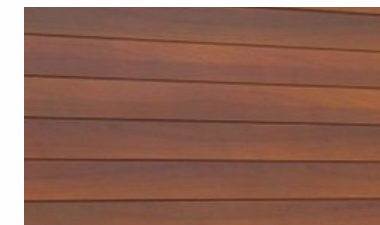
STONE-1
READING ROCK ROCKCAST CAST STONE IN SMOOTH ST-1648 RIESLING



FIBER-4
JAMES HARDIE SMOOTH HARDIE PANEL PAINTED SW7047 PORPOISE



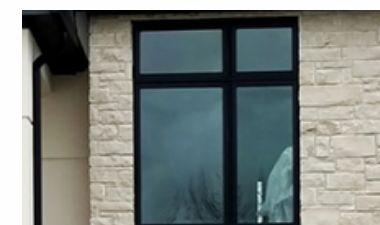
METAL-1
DMI CORRUGATED METAL HWPC12 IN CLASSIC BRONZE



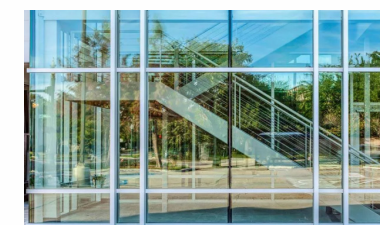
WOOD-1
LONGBOARD WOODGRAIN METAL PANEL IN TABLE WALNUT



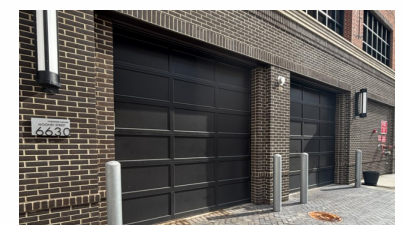
RAILINGS
SUPERIOR ALUMINUM SERIES 9P PICKET RAILING IN BLACK



WINDOWS
QUAKER V300 SERIES WINDOWS IN BLACK



STOREFRONT
TUBELITE ALUMINUM STOREFRONT IN BLACK WITH VIRACON VRE 1-59 #2 SURFACE



DOOR-1
COURTYARD COLLECTION OVERHEAD DOOR IN E2 BLACK



FDP ELEVATION - EAST
SCALE 3/64" = 1'-0"



FDP ELEVATION - SOUTH
SCALE 3/64" = 1'-0"



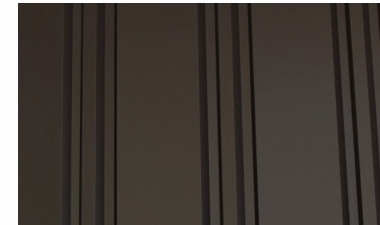
BRICK-1
BOWERSTON MODULAR BRICK IN CANYON BLEND RT LF



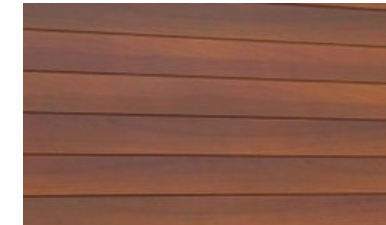
STONE-1
READING ROCK ROCKCAST CAST STONE IN SMOOTH ST-1648 RIESLING



FIBER-4
JAMES HARDIE SMOOTH HARDIE PANEL PAINTED SW7047 PORPOISE



METAL-1
DMI CORRUGATED METAL HWPC12 IN CLASSIC BRONZE



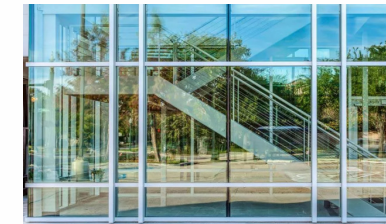
WOOD-1
LONGBOARD WOODGRAIN METAL PANEL IN TABLE WALNUT



RAILINGS
SUPERIOR ALUMINUM SERIES 9P PICKET RAILING IN BLACK



WINDOWS
QUAKER V300 SERIES WINDOWS IN BLACK



STOREFRONT
TUBELITE ALUMINUM STOREFRONT IN BLACK WITH VIRACON VRE 1-59 #2 SURFACE



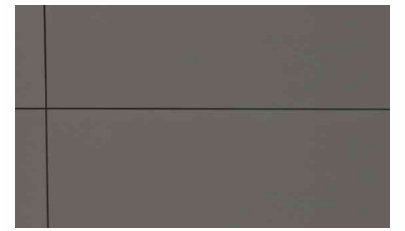
DOOR-1
COURTYARD COLLECTION OVERHEAD DOOR IN E2 BLACK



FDP ELEVATION - COURTYARD NORTH
SCALE 3/64" = 1'-0"



FDP ELEVATION - COURTYARD SOUTH
SCALE 3/64" = 1'-0"



FIBER-4
JAMES HARDIE SMOOTH HARDIE PANEL
PAINTED SW7047 PORPOISE



RAILINGS
SUPERIOR ALUMINUM SERIES 9P PICKET
RAILING IN BLACK



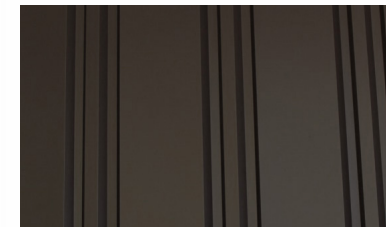
BRICK-1
BOWERSTON MODULAR BRICK IN CANYON
BLEND RT LF



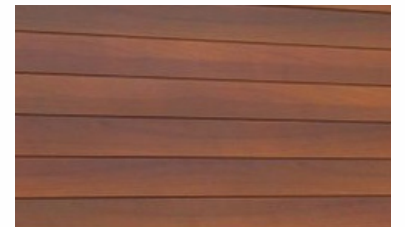
STONE-1
READING ROCK ROCKCAST CAST STONE IN
SMOOTH ST-1648 RIESLING



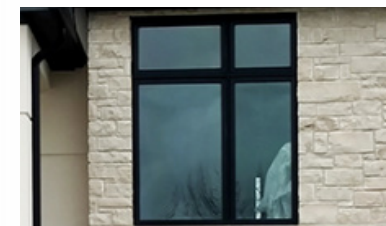
FDP ELEVATION - COURTYARD EAST
SCALE 3/64" = 1'-0"



METAL-1
DMI CORRUGATED METAL HWPC12 IN
CLASSIC BRONZE



WOOD-1
LONGBOARD WOODGRAIN METAL PANEL IN
TABLE WALNUT



WINDOWS
QUAKER V300 SERIES WINDOWS IN BLACK



STOREFRONT
TUBELITE ALUMINUM STOREFRONT IN BLACK
WITH VIRACON VRE 1-59 #2 SURFACE

A1. Street Frontage

	<u>Allowable:</u>	<u>Actual:</u>
Multiple Principal Buildings:	Permitted	Complies
Front Property Line Coverage:	Minimum 75%	73%
Occupation of Corner:	Required	Complies
Front RBZ:	0-15 ft.	Complies
Corner Side RBZ:	0-15 ft.	Complies
RBZ Treatment:	Landscape, Patio, or street-scape; along West Dublin-Granville Road, Street-scape Required	Complies
Right-of-Way Encroachment:	Awnings, Canopies, eaves, patios & signs	Complies

A2. Buildable Area

	<u>Allowable:</u>	<u>Actual:</u>
Minimum Side Yard Setback:	5 ft.	Complies
Minimum Rear Yard Setback:	5 ft.	Complies
Minimum Lot Width:	50 ft.	Complies
Max. Impervious Coverage:	80%	96.5%
Additional Semi-Impervious Coverage:	10%	N/A

A3. Parking Location & Loading

	<u>Allowable:</u>	<u>Actual:</u>
Parking Location:	Rear yard, within building	N/A
Loading Facility Location:	Rear & Side Facade	Front Facade (Longshore)
Entry for Parking within Bldg:	Rear & Side Facade Corner Side Facade	N/A
Access:	Refer to 153.062	Complies

B. Height

	<u>Allowable:</u>	<u>Actual:</u>
Minimum Height:	3 stories	6 stories
Maximum Height:	6 stories	6 stories
Ground story:	12 ft. - 16 ft.	21'-4"
Stories:	10-14 ft.	Complies: 10'-8"

C. Uses & Occupancy Requirements

	<u>Allowable:</u>	<u>Actual:</u>
Ground Story:	Residential and general office uses are prohibited	Complies
Upper Story:	No requirements	Complies
Parking within Building:	Permitted	N/A
Occupied Space:	Min. 30 ft. facing Street	Complies

D1. Street Facade Transparency

	<u>Allowable:</u>	<u>Actual:</u>
Ground Story Street Facing Transparency:	Min. 60% required	Ref. Elevations
Transparency:	Min. 30%	Ref. Elevations
Blank Wall Limitation:	Required	Complies

D2. Non-Street Facade Transparency

	<u>Allowable:</u>	<u>Actual:</u>
Transparency:	Min. 15%	Complies
Blank Wall Limitation:	Required	Complies

D3. Building Entrance

	<u>Allowable:</u>	<u>Actual:</u>
Principal Entrance Location:	Primary Street	Complies
Street Facades: Number of Entrances:	1 per 75'	Ref. Elevations
Parking Lot Facades:	1 per 100'	N/A
Mid-Building Pedestrianway:	In shopping corridors: Required for building greater than 250' in length	N/A

D4. Facade Divisions

	<u>Allowable:</u>	<u>Actual:</u>
Vertical Increments:	No greater than 45'	Complies
Horizontal Facade Division:	On building 3 stories or taller, required with 3' of top of the ground story. Required at any building step-back.	Complies
Required Change in Roof Plane or Type:	None	N/A

D5. Facade Materials

	<u>Allowable:</u>	<u>Actual:</u>
Permitted Primary Materials:	Stone, Brick, Glass	Ref. Elevations

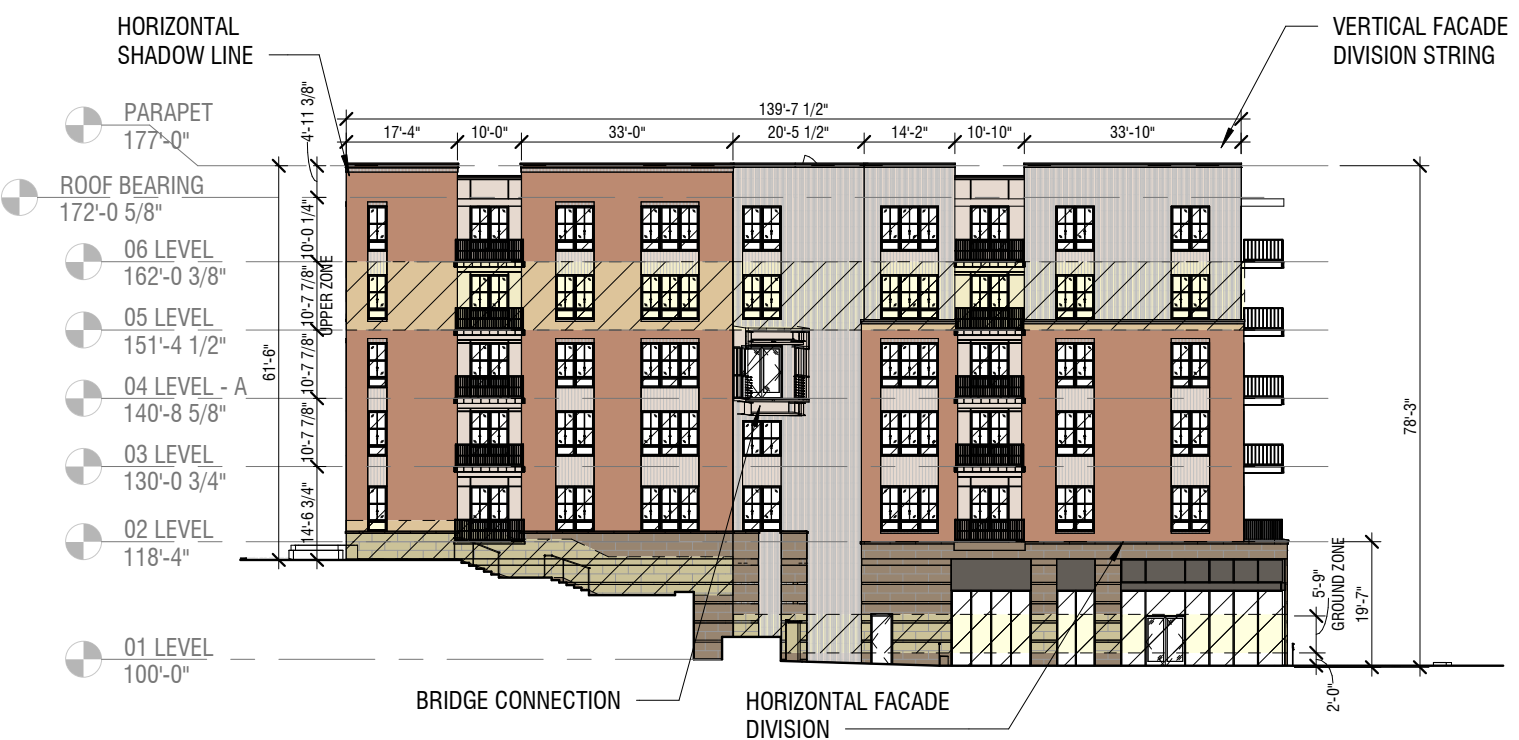
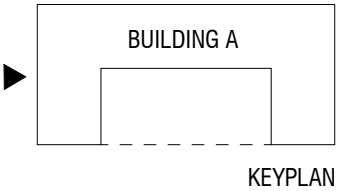
D6. Roof Types







	<u>Allowable:</u>	<u>Actual:</u>
Permitted Types:	Parapet, pitched roof, flat roof, other types may be permitted with approval	Complies
Tower:	Permitted on facades only at terminal vistas, corners at two principal frontage streets	Complies

Potential Waiver Request

MATERIAL TYPE:		FACADE REQUIREMENTS		UPPER STORY:	
NORTH FACADE TOTAL AREA 10,247 SF		STREET FACADE: NO PRINCIPAL ENTRANCE: NO		HEIGHT: 10'-7 7/8" UPPER STORY TOTAL AREA: 1,493 SF (EA. FLOOR 02-06)	
PRIMARY	GLAZING (WINDOWS & DOORS) 2,513 SF	NUMBER OF ENTRANCES:		UPPER STORY TRANSPARENCY:	
PRIMARY	BRICK 3,165 SF	REQUIRED: NO - NOT A PRIMARY STREET FACADE		UPPER STORY TRANSPARENCY ZONE: 1,493 SF (FLOOR TO FLOOR 02-06)	
PRIMARY	CAST STONE 1,156 SF	TOTAL FACADE LENGTH: 139'-8"		UPPER STORY GLAZING AREA: 399 SF (FLOOR TO FLOOR 02-06)	
SECONDARY	METAL/FIBER CEMENT 3,196 SF	REQUIRED: 0		TRANSPARENCY REQUIRED: 15%	
SECONDARY	LOUVERS/GLAZING/METAL 217 SF	PROVIDED: 0		TRANSPARENCY PROVIDED: 27%	
		GROUND STORY:		BLANK WALL LIMITATIONS:	
		HEIGHT: (VARIES) 19'-4" (EAST) 14'-6 3/4" (WEST)		REQUIRED: YES PROVIDED: YES	
		GROUND STORY TOTAL AREA: 2,795 SF		VERTICAL FACADE DIVISIONS:	
PRIMARY MATERIAL TOTAL: 6,834 SF		GROUND STORY TRANSPARENCY:		REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS)	
REQUIRED: 80%		GROUND STORY TRANSPARENCY ZONE: 890 SF		PROVIDED: YES	
PROVIDED: 67% (6,834 / 10,247 = 0.67)		(2'-0" TO 8'-0" ABOVE GRADE)		HORIZONTAL FACADE DIVISIONS:	
SECONDARY MATERIAL TOTAL: 3,413 SF		GROUND STORY GLAZING AREA: 275 SF		REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)	
REQUIRED: <20%		(2'-0" TO 8'-0" ABOVE GRADE)		PROVIDED: YES, TENANT BALCONY, MATERIAL CHANGE, AND SOLDIER COURSE	
PROVIDED: 33% (3,413 / 10,247 = 0.33)		TRANSPARENCY REQUIRED: 15%			
		TRANSPARENCY PROVIDED: 31%			

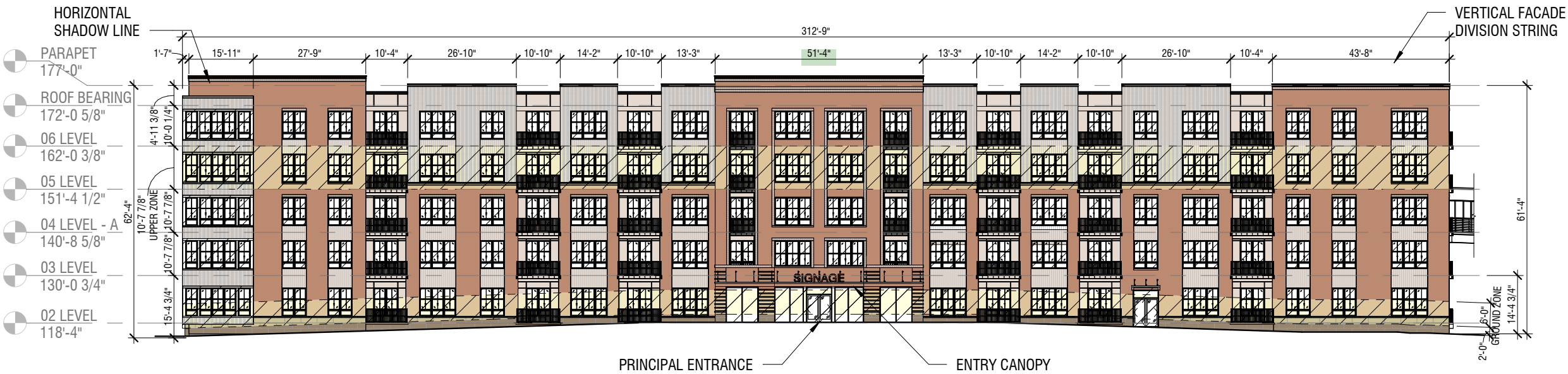
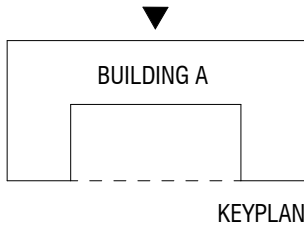
 POTENTIAL WAIVER REQUEST







- PRIMARY MATERIALS**
-  BRICK
 -  CAST STONE
 -  GLAZING
 -  TRANSPARENCY ZONE GLAZING
- SECONDARY MATERIALS**
-  METAL / FIBER CEMENT
 -  FUTURE LOUVERS / METAL

MATERIAL TYPE:		FACADE REQUIREMENTS		UPPER STORY:	
NORTH FACADE TOTAL AREA 18,853 SF		STREET FACADE: YES PRINCIPAL ENTRANCE: YES		HEIGHT: 10'-7 7/8" UPPER STORY TOTAL AREA: 3,333 SF (EA. FLOOR 02-06)	
PRIMARY	GLAZING (WINDOWS & DOORS) 6,556 SF	NUMBER OF ENTRANCES:		UPPER STORY TRANSPARENCY:	
PRIMARY	BRICK 6,256 SF	REQUIRED: 1 PER 75'-0" OF FACADE		UPPER STORY TRANSPARENCY ZONE: 3,333 SF (FLOOR TO FLOOR 02-06)	
PRIMARY	CAST STONE 665 SF	TOTAL FACADE LENGTH: 312'-9 1/2"		UPPER STORY GLAZING AREA: 1,267 SF (FLOOR TO FLOOR 02-06)	
SECONDARY	METAL/FIBER CEMENT 5,376 SF	REQUIRED: 312'-9 1/2" / 75 = 5 (4.17 ROUNDED UP)		TRANSPARENCY REQUIRED: 30%	
		PROVIDED: 2		TRANSPARENCY PROVIDED: 38%	
PRIMARY MATERIAL TOTAL: 13,477 SF		GROUND STORY:		BLANK WALL LIMITATIONS:	
REQUIRED: 80%		HEIGHT: (VARIES) 15'-4 3/4" (SOUTH) 14'-4 3/4" (NORTH)		REQUIRED: YES	
PROVIDED: 72% (13,477 / 18,853 = 0.715)		GROUND STORY TOTAL AREA: 3,715 SF		PROVIDED: YES	
SECONDARY MATERIAL TOTAL: 5,376 SF		GROUND STORY TRANSPARENCY:		VERTICAL FACADE DIVISIONS:	
REQUIRED: <20%		GROUND STORY TRANSPARENCY ZONE: 1,876 SF (2'-0" TO 8'-0" ABOVE GRADE)		REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS)	
PROVIDED: 28% (5,376 / 18,853 = 0.284)		GROUND STORY GLAZING AREA: 984 SF (2'-0" TO 8'-0" ABOVE GRADE)		PROVIDED: YES, ONE GREATER THAN 45'-0"	
		TRANSPARENCY REQUIRED: 60%		HORIZONTAL FACADE DIVISIONS:	
		TRANSPARENCY PROVIDED: 52%		REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)	
				PROVIDED: YES, MATERIAL CHANGE	



 POTENTIAL WAIVER REQUEST



PRIMARY MATERIALS

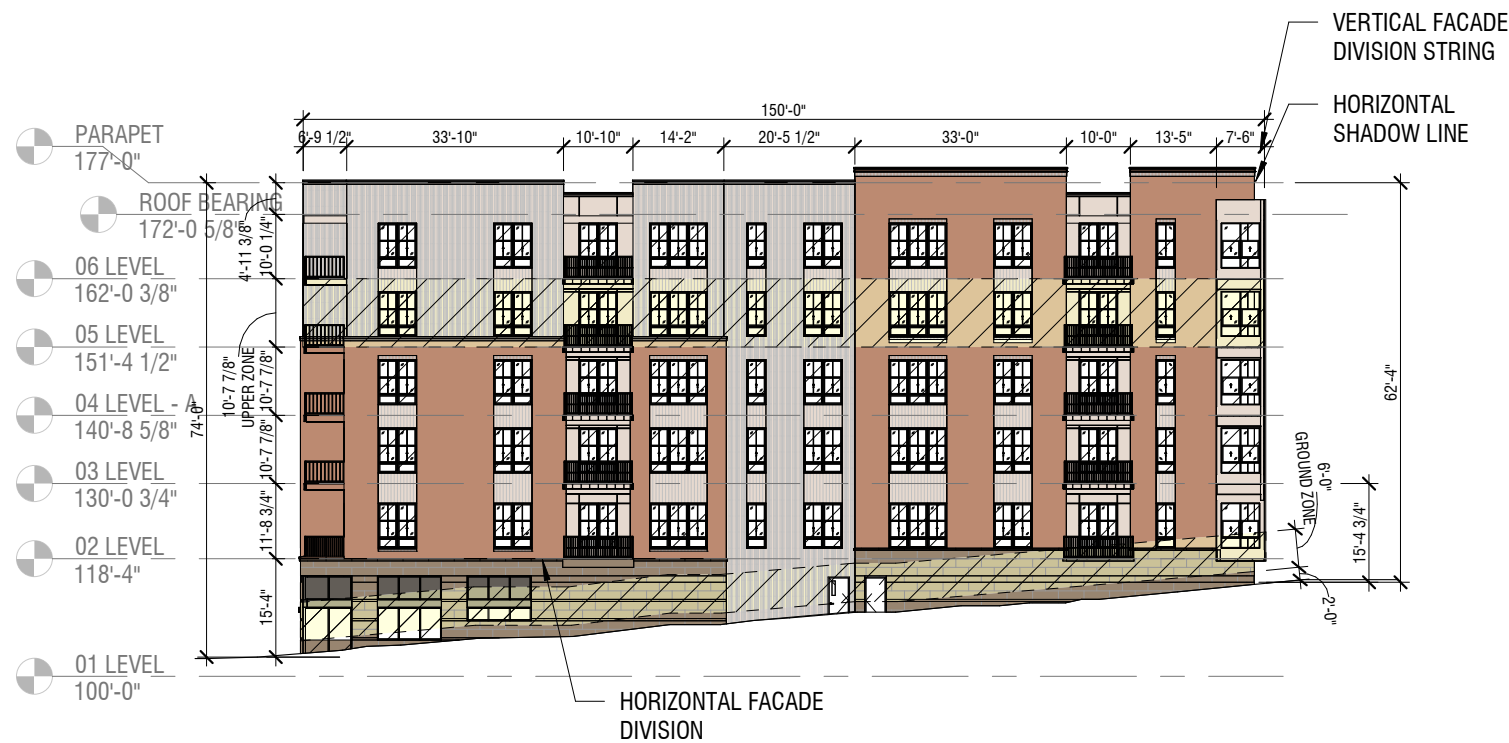
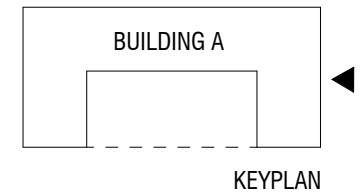
-  BRICK
-  CAST STONE
-  GLAZING
-  TRANSPARENCY ZONE GLAZING

SECONDARY MATERIALS

-  METAL / FIBER CEMENT
-  FUTURE LOUVERS / METAL

MATERIAL TYPE:		FACADE REQUIREMENTS		UPPER STORY:	
SOUTH FACADE TOTAL AREA: 10,334 SF		STREET FACADE: YES		HEIGHT: 10'-7 7/8"	
PRIMARY GLAZING (WINDOWS & DOORS): 2,439 SF		PRINCIPAL ENTRANCE: NO		UPPER STORY TOTAL AREA: 1,597 SF (EA. FLOOR 02-06)	
PRIMARY BRICK: 3,274 SF		NUMBER OF ENTRANCES:		UPPER STORY TRANSPARENCY:	
PRIMARY CAST STONE: 1,018 SF		REQUIRED: NO - NOT A PRIMARY STREET FACADE		UPPER STORY TRANSPARENCY ZONE: 1,597 SF (FLOOR TO FLOOR 02-06)	
SECONDARY METAL/FIBER CEMENT: 3,467 SF		TOTAL FACADE LENGTH: 150'-1"		UPPER STORY GLAZING AREA: 462 SF (FLOOR TO FLOOR 02-06)	
SECONDARY LOUVERS/GLAZING/METAL (TBD PER TENANT REQ. - UPPER PORTION OF GROUND FLOOR STOREFRONTS): 136 SF		REQUIRED: 0		TRANSPARENCY REQUIRED: 30%	
		PROVIDED: 0		TRANSPARENCY PROVIDED: 29%	
PRIMARY MATERIAL TOTAL: 6,731 SF		GROUND STORY:		BLANK WALL LIMITATIONS:	
REQUIRED: 80%		HEIGHT: (VARIES) 15'-4" (EAST)		REQUIRED: YES	
PROVIDED: 65% (6,731 / 10,334 = 0.651)		14'-4 3/4" (WEST)		PROVIDED: YES	
SECONDARY MATERIAL TOTAL: 3,603 SF		GROUND STORY TOTAL AREA: 2,136 SF		VERTICAL FACADE DIVISIONS:	
REQUIRED: <20%		GROUND STORY TRANSPARENCY:		REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS)	
PROVIDED: 35% (3,603 / 10,334 = 0.348)		GROUND STORY TRANSPARENCY ZONE: 904 SF		PROVIDED: YES	
		(2'-0" TO 8'-0" ABOVE GRADE)		HORIZONTAL FACADE DIVISIONS:	
		GROUND STORY GLAZING AREA: 80 SF		REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)	
		(2'-0" TO 8'-0" ABOVE GRADE)		PROVIDED: YES, MATERIAL CHANGE	
		TRANSPARENCY REQUIRED: 60%			
		TRANSPARENCY PROVIDED: 8%			

POTENTIAL WAIVER REQUEST



PRIMARY MATERIALS

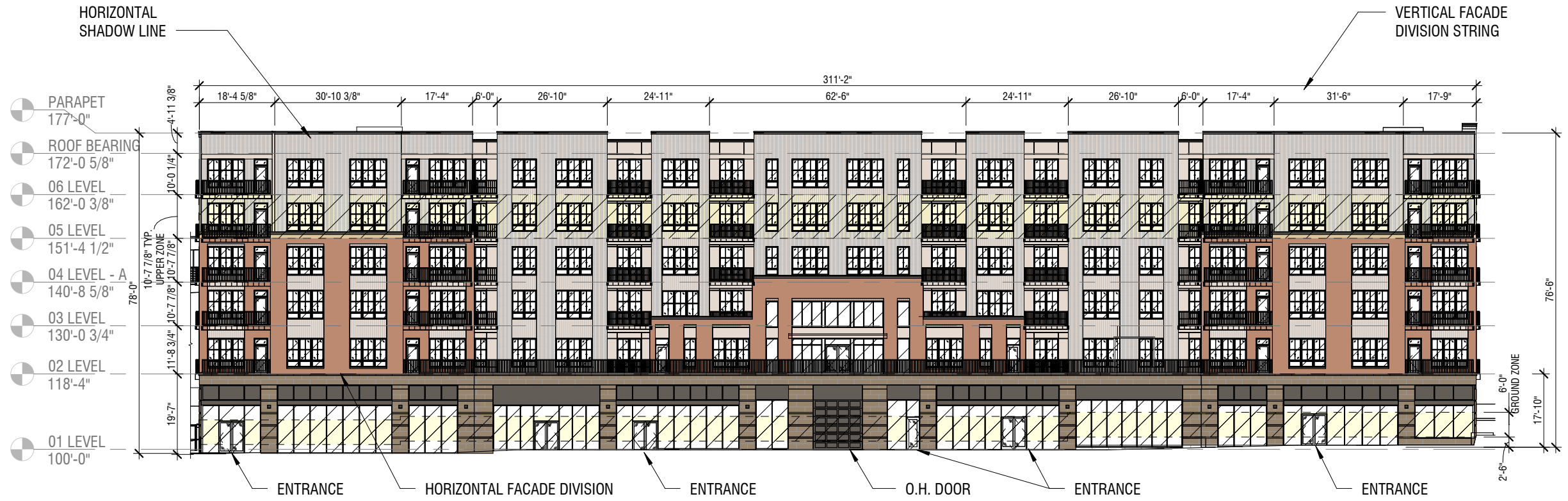
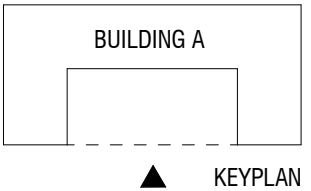
- BRICK
- CAST STONE
- GLAZING
- TRANSPARENCY ZONE GLAZING







SECONDARY MATERIALS

- METAL / FIBER CEMENT
- FUTURE LOUVERS / METAL

MATERIAL TYPE:		FACADE REQUIREMENTS		UPPER STORY:	
WEST FACADE TOTAL AREA	23,903 SF	STREET FACADE:	YES	HEIGHT:	10'-7 7/8"
		PRINCIPAL ENTRANCE:	NO	UPPER STORY TOTAL AREA:	3,318 SF (EA. FLOOR 02-06)
PRIMARY GLAZING (WINDOWS & DOORS)	9,304 SF	NUMBER OF ENTRANCES:		UPPER STORY TRANSPARENCY:	
PRIMARY BRICK	3,050 SF	REQUIRED:	1 PER 75'-0" OF FACADE	UPPER STORY TRANSPARENCY ZONE:	3,318 SF (FLOOR TO FLOOR 02-06)
PRIMARY CAST STONE	1,826 SF	TOTAL FACADE LENGTH:	311'-2"	UPPER STORY GLAZING AREA:	1,327 SF (FLOOR TO FLOOR 02-06)
SECONDARY METAL/FIBER CEMENT	8,425 SF	REQUIRED:	311'-2" / 75 = 5 (4.15 ROUNDED UP)	TRANSPARENCY REQUIRED:	30%
SECONDARY LOUVERS/GLAZING/METAL (TBD PER TENANT REQ. - UPPER PORTION OF GROUND FLOOR STOREFRONTS)	1,298 SF	PROVIDED:	5	TRANSPARENCY PROVIDED:	40%
PRIMARY MATERIAL TOTAL:	14,180 SF	GROUND STORY:		BLANK WALL LIMITATIONS:	
REQUIRED:	80%	HEIGHT: (VARIES)	19'-4" (NORTH) 18'-4" (CENTER) 17'-4" (SOUTH)	REQUIRED:	YES
PROVIDED:	59% (14,180 / 23,903 = 0.593)	GROUND STORY TOTAL AREA:	5,648 SF	PROVIDED:	YES
SECONDARY MATERIAL TOTAL:	9,723 SF	GROUND STORY TRANSPARENCY:		VERTICAL FACADE DIVISIONS:	
REQUIRED:	<20%	GROUND STORY TRANSPARENCY ZONE: (2'-0" TO 8'-0" ABOVE GRADE)	1,867 SF	REQUIRED:	YES (NO GREATER THAN 45'-0" INCREMENTS)
PROVIDED:	41% (9,723 / 23,903 = 0.406)	GROUND STORY GLAZING AREA: (2'-0" TO 8'-0" ABOVE GRADE)	1,386 SF	PROVIDED:	YES
		TRANSPARENCY REQUIRED:	60%	HORIZONTAL FACADE DIVISIONS:	
		TRANSPARENCY PROVIDED:	74%	REQUIRED:	YES (WITHIN 3'-0" TO TOP OF GROUND STORY)
				PROVIDED:	YES, MATERIAL TYPE CHANGE

 POTENTIAL WAIVER REQUEST



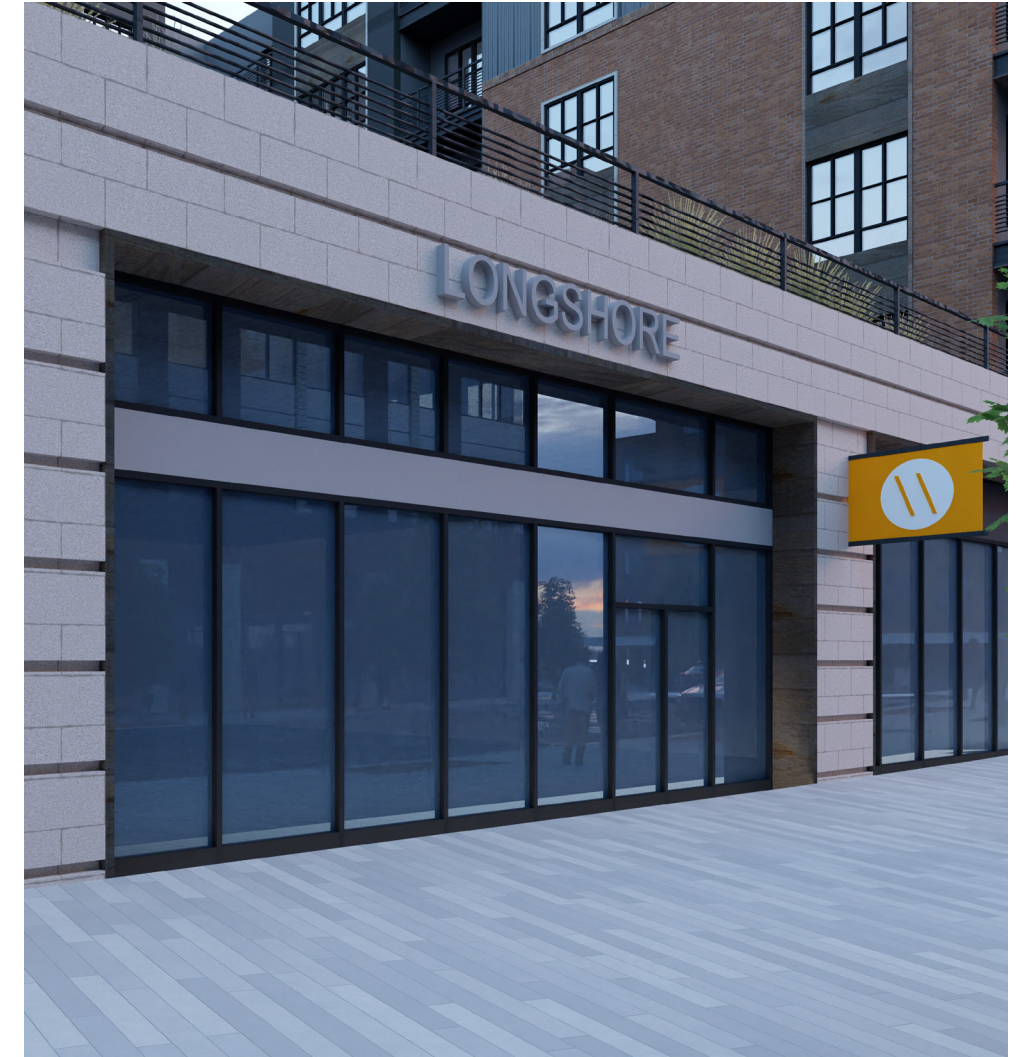
- PRIMARY MATERIALS**
-  BRICK
 -  CAST STONE
 -  GLAZING
 -  TRANSPARENCY ZONE GLAZING
- SECONDARY MATERIALS**
-  METAL / FIBER CEMENT
 -  FUTURE LOUVERS / METAL



1. Trellis



2. Canopy



3. No canopy

Retailers may choose from one of the approved storefront options for installation, in order to maintain visual variety across the overall street scape within the Bridge North development.



Moody Nolan

archall

EDGE

EMHT
Engineers, Surveyors, Planners, Scientists



DAIMLER









