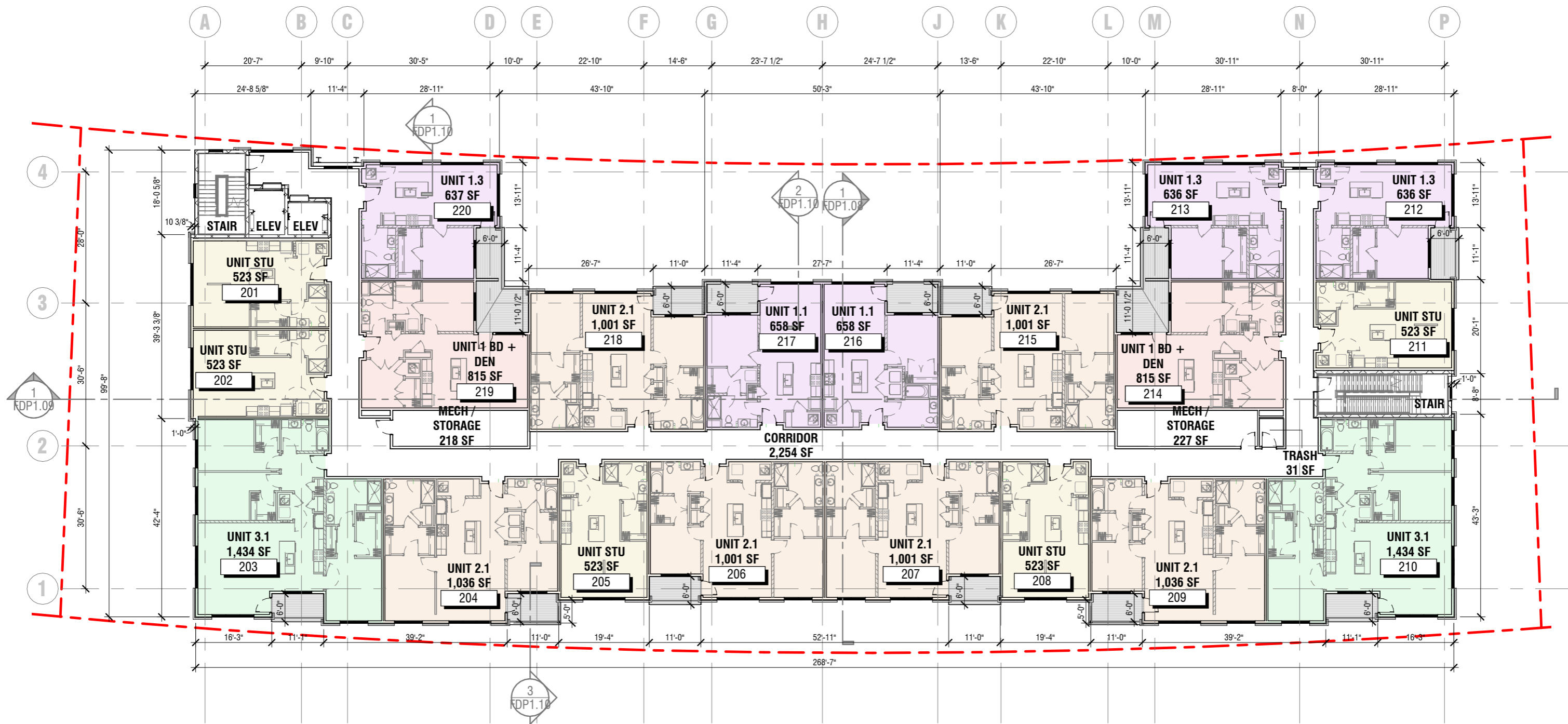


01 LEVEL PRESENTATION PLAN  
 SCALE 3/64" = 1'-0"



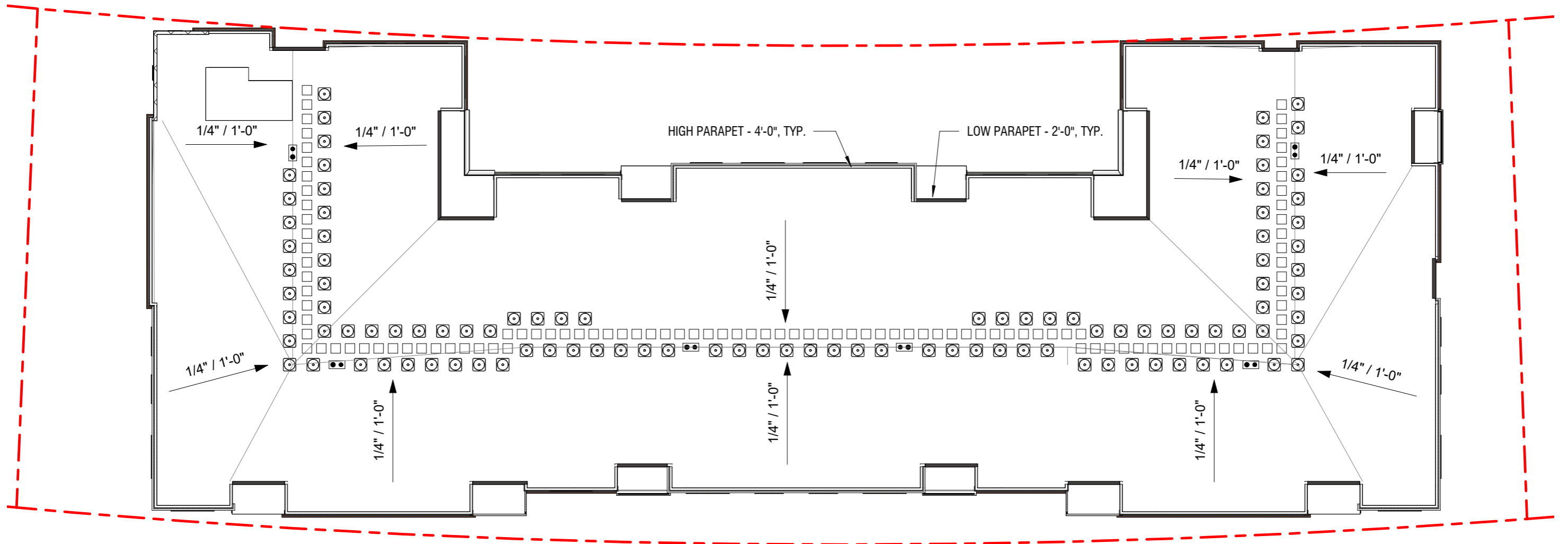
02 LEVEL PRESENTATION PLAN  
SCALE 3/64" = 1'-0"











ROOF PRESENTATION PLAN  
 SCALE 3/64" = 1'-0"

**Daimler Bridge North - BUILDING B**

	Parking Stalls	Total Gross Building Area	Retail (Gross)	Amenity (Gross)	Vertical Circulation (Gross)	Parking (Gross)	Total Residential Area	Unit 0.1	Unit 1.1	Unit 1.2	Unit 1.3	Unit 1+Den	Unit 2.1	Unit 2.2	Unit 2.3	Unit 3.1	Total units	Residential (NET)	Summary Table		
								571	689	723	692	877	1067	1163	1180	1506					
Level 01		21,626	18,284	232	674		-	-	-	-	-	-	-	-	-	-				Units	100
Level 02		21,406			674		20,732	5	2	-	3	2	6	-	-	2	20			Parking	0
Level 03		21,406			674		20,732	5	2	-	3	2	6	-	-	2	20			Unit Avg	941
Level 04		21,406			674		20,732	5	2	-	3	2	6	-	-	2	20			Total Gross Area	128,656
Level 05		21,406			674		20,732	5	2	-	3	2	6	-	-	2	20				
Level 06		21,406			674		20,732	5	2	-	3	2	6	-	-	2	20				
<b>Totals</b>		<b>128,656</b>	<b>18,284</b>	<b>232</b>	<b>4,044</b>	<b>-</b>	<b>103,660</b>	<b>25</b>	<b>10</b>	<b>-</b>	<b>15</b>	<b>10</b>	<b>30</b>			<b>10</b>	<b>100</b>				
								25%	10%	0%	15%	10%	30%			10%					
							103,660	14,275	6,890	-		8,770	32,010			15,060			77,005	Res Efficiency	74%

Shared By Building	Unit Specific Summary - Total		
A, B, C	Studio	25	25%
B,C	1 Bed + Den	10	10%
A, B, C	1.1	10	10%
C	1.2	0	0%
B	1.3	15	15%
A, B, C	2.1	30	30%
A	2.2	0	0%
A	2.3	0	0%

Mix Summary		
Studio	25	25%
1 Bed	25	25%
1 Bed + Den	10	10%
2 Bed	30	30%
3 Bed	10	10%
	100	100%

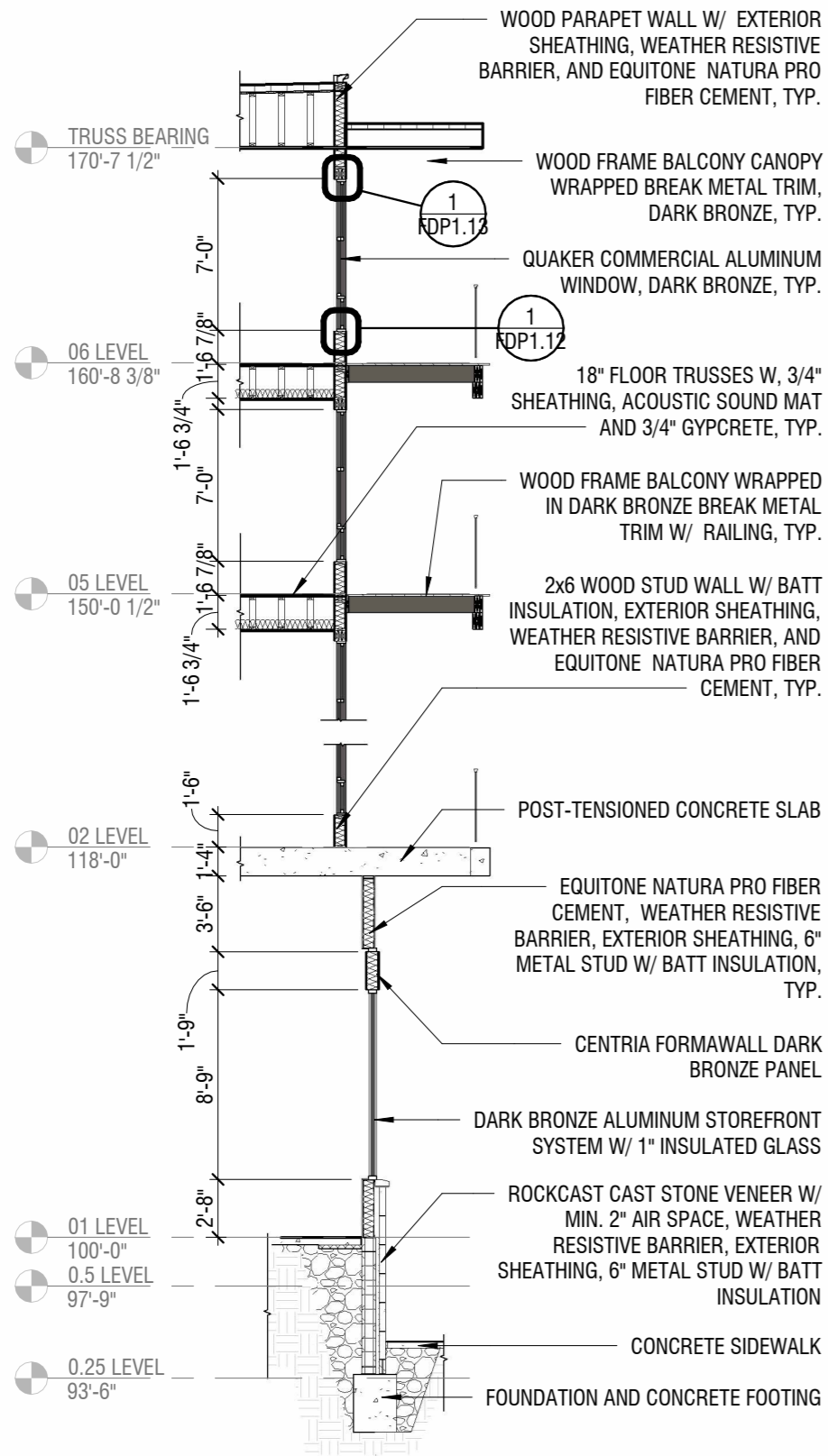
Site Totals Mix Summary		
Studio	52	18%
1 Bed	111	38%
1 Bed + Den	15	5%
2 Bed	94	32%
3 Bed	24	8%
	296	100%



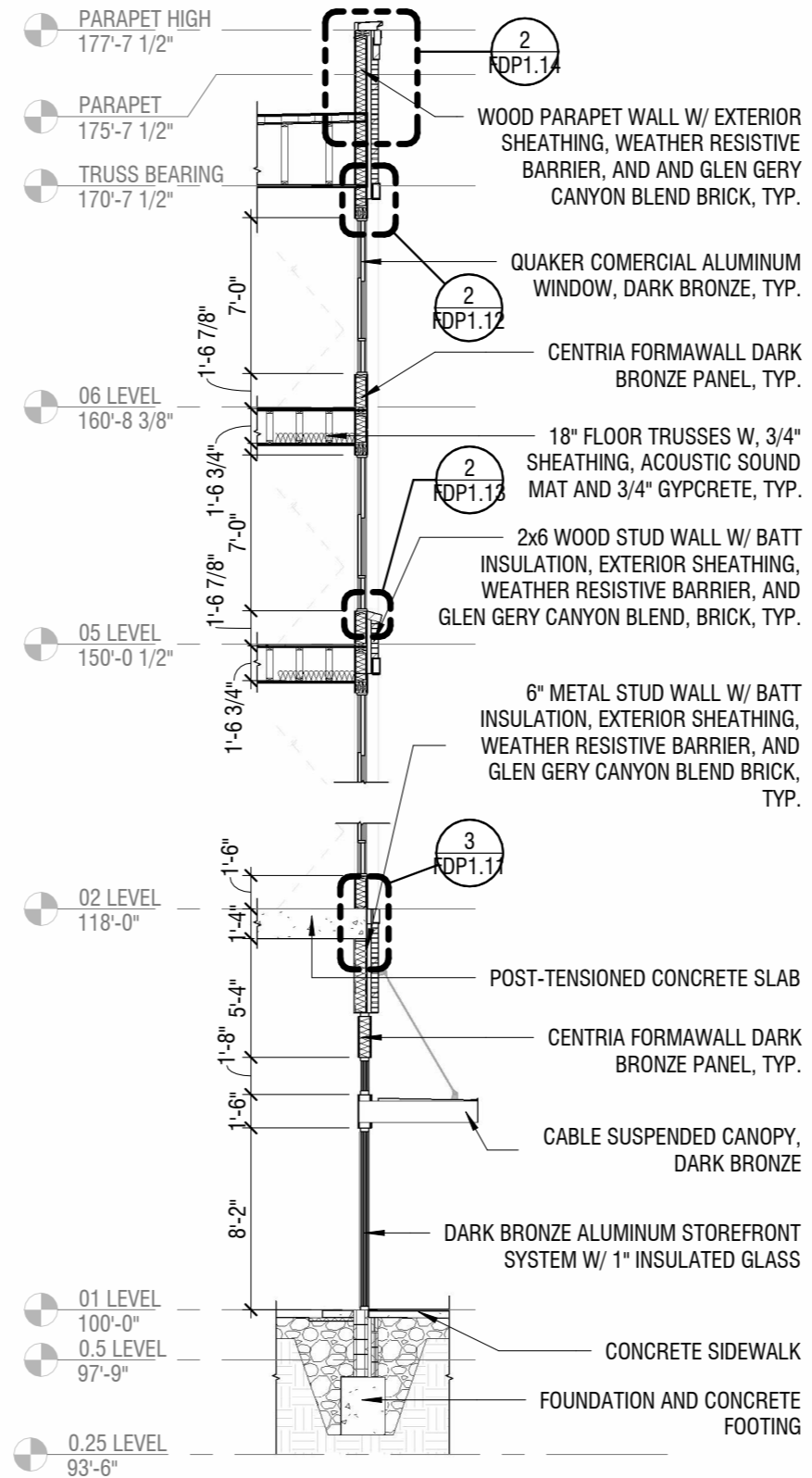
OVERALL BUILDING B SECTION - EAST/WEST  
 SCALE 3/64" = 1'-0"



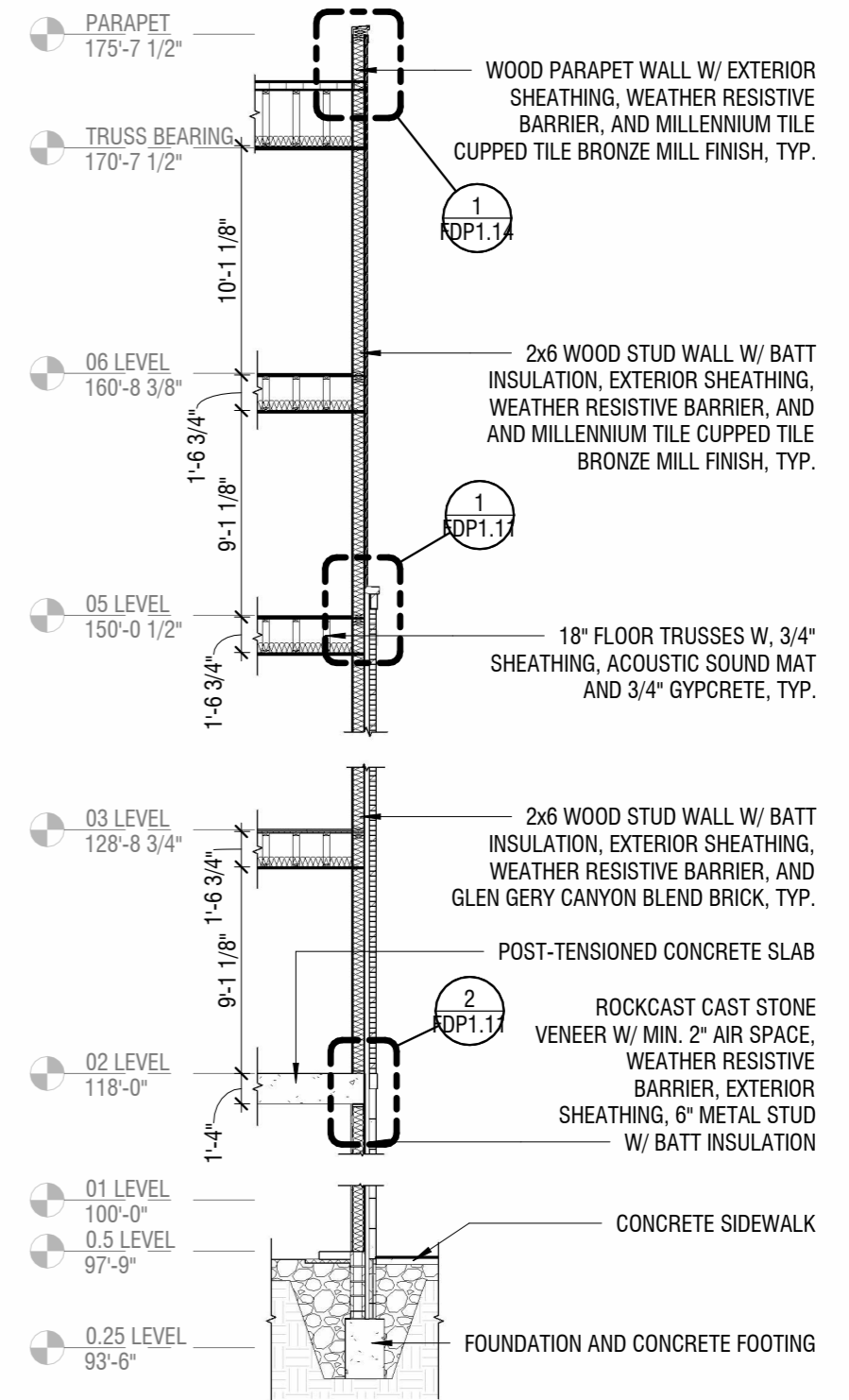
OVERALL BUILDING B SECTION - NORTH/SOUTH  
 SCALE 3/64" = 1'-0"



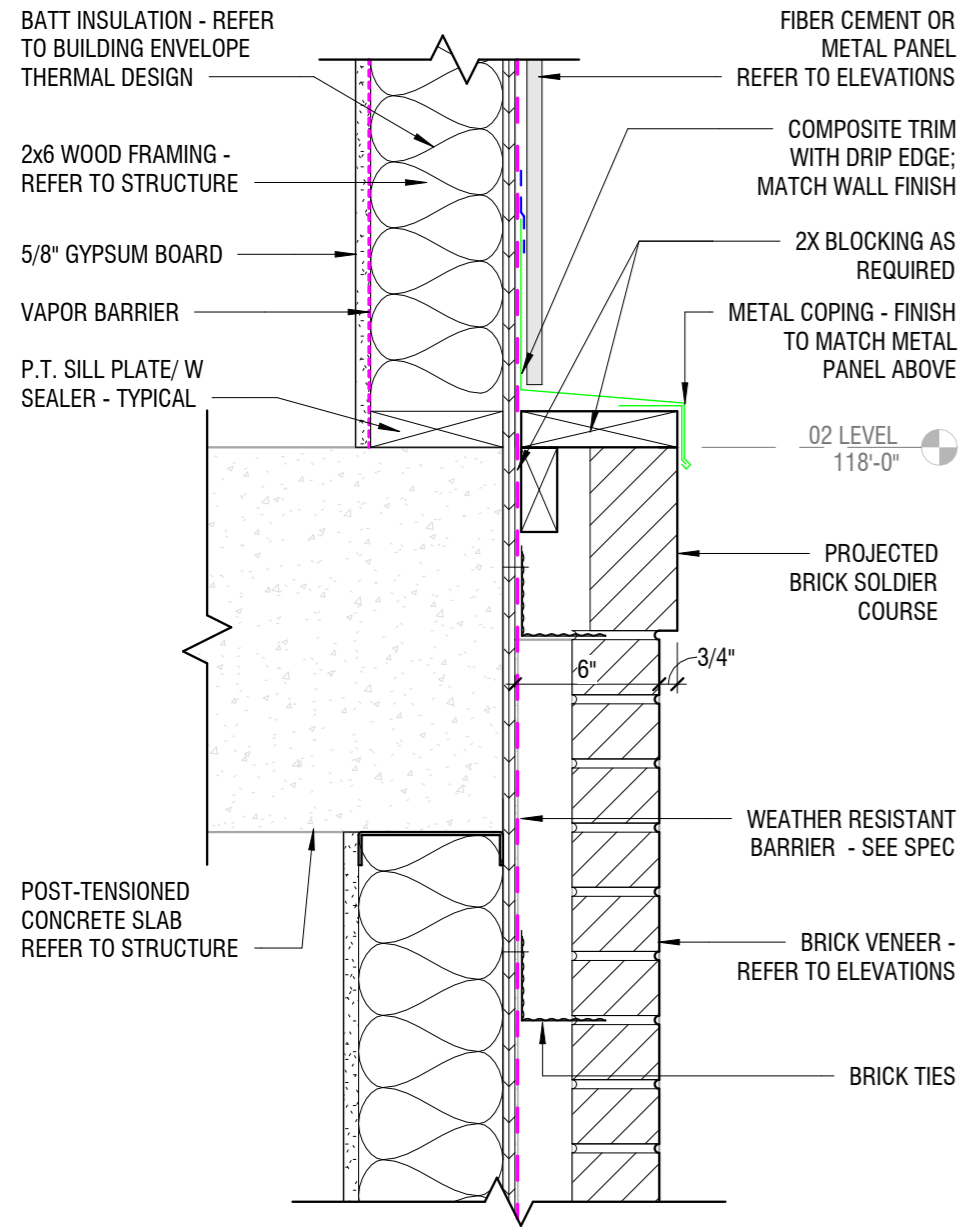
STONE & FIBER CEMENT WALL SECTION  
SCALE 1/8" = 1'-0"



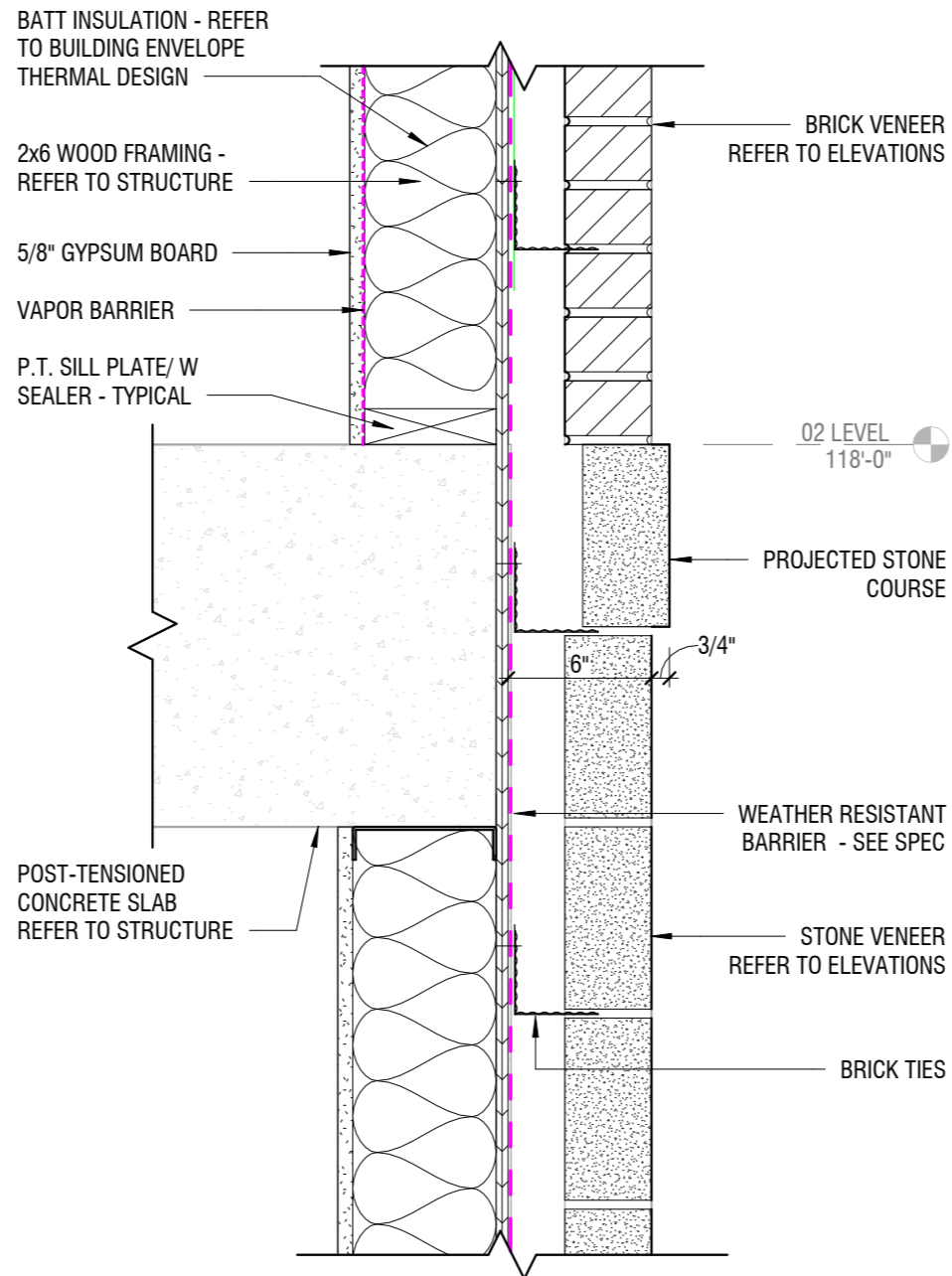
BRICK WALL SECTION  
SCALE 1/8" = 1'-0"



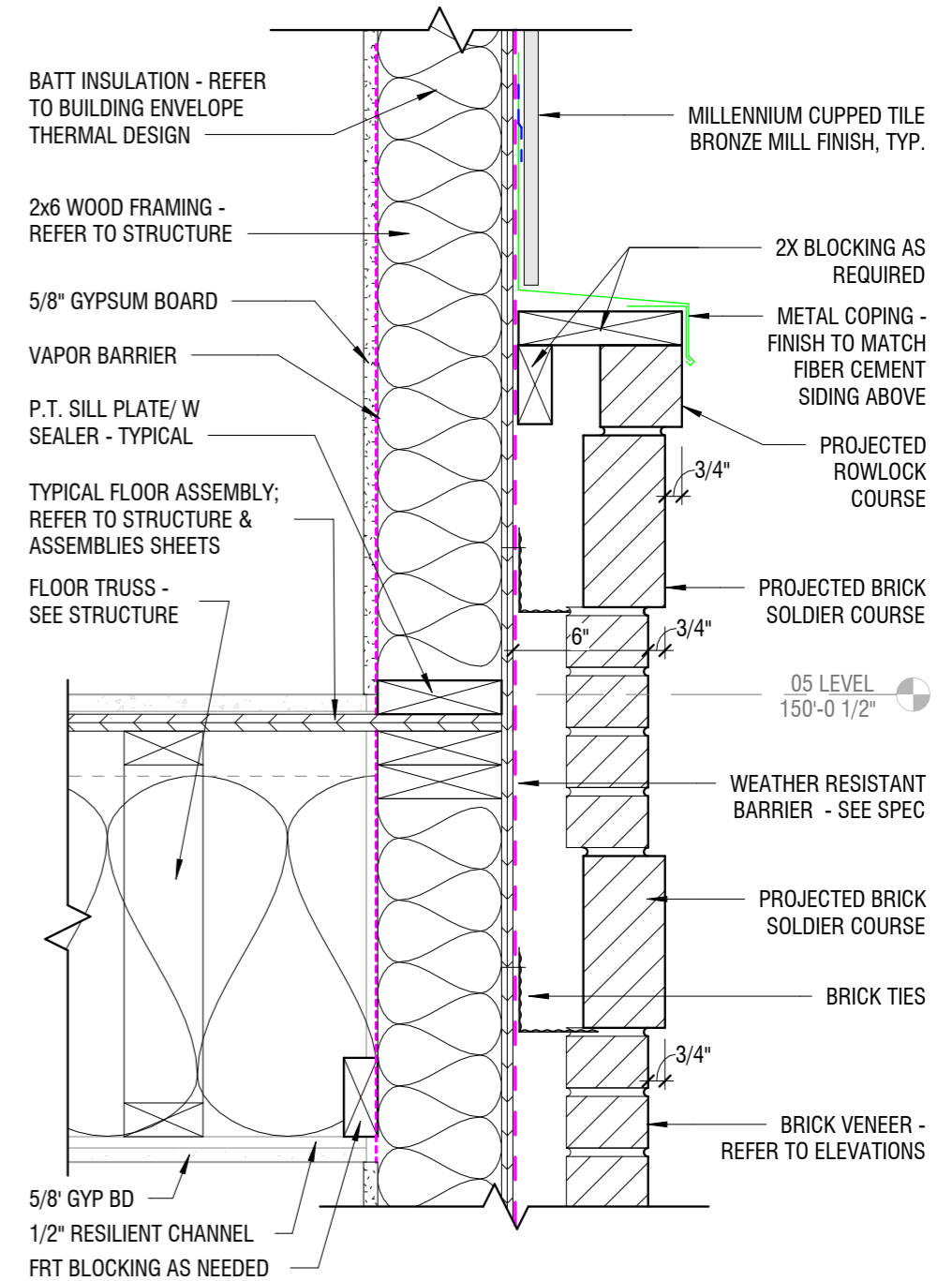
STONE, BRICK, & TILE WALL SECTION  
SCALE 1/8" = 1'-0"



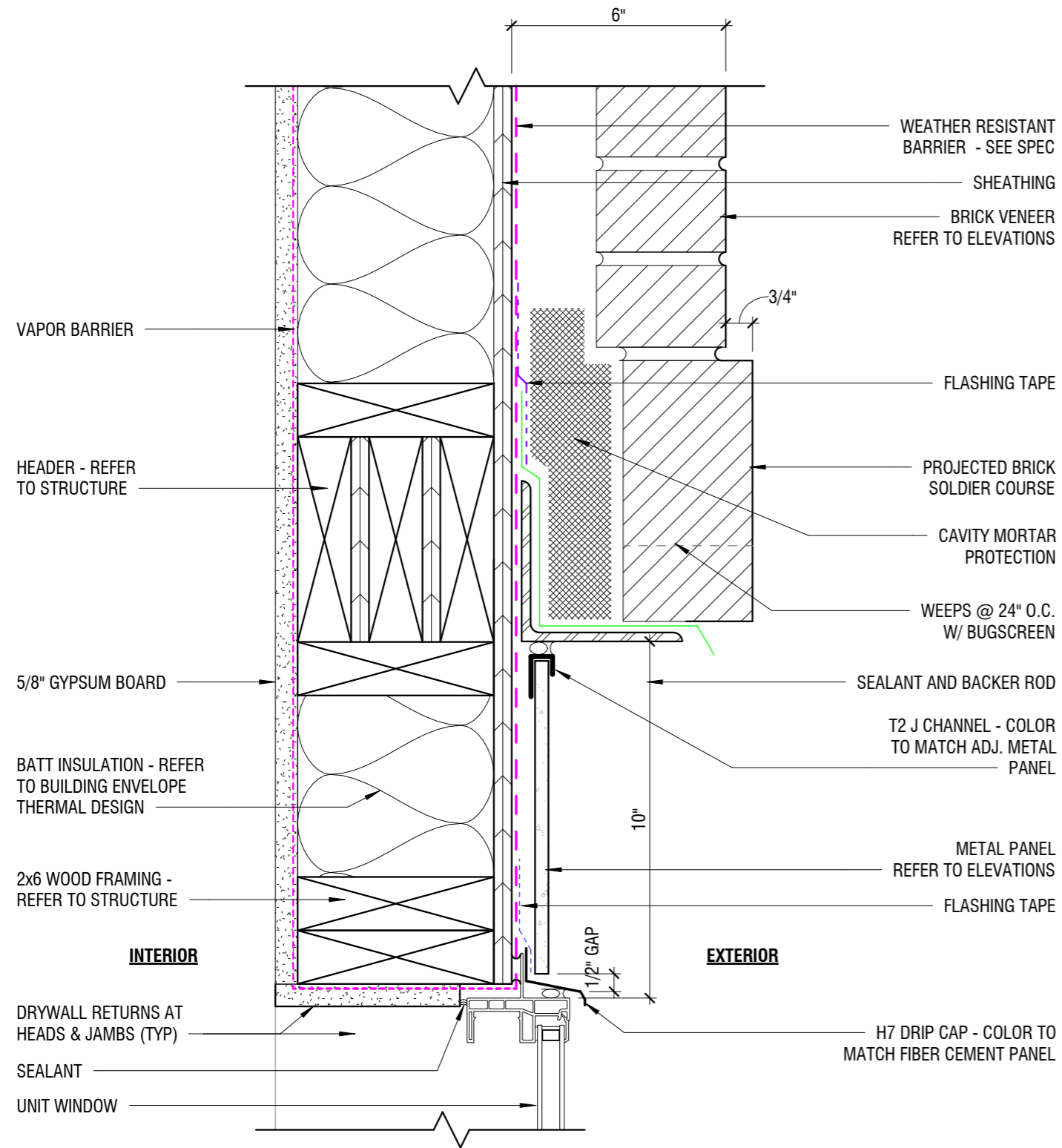
FCB/MTL PANEL OVER BRICK (SOLDIER)  
SCALE 1 1/2" = 1'-0"



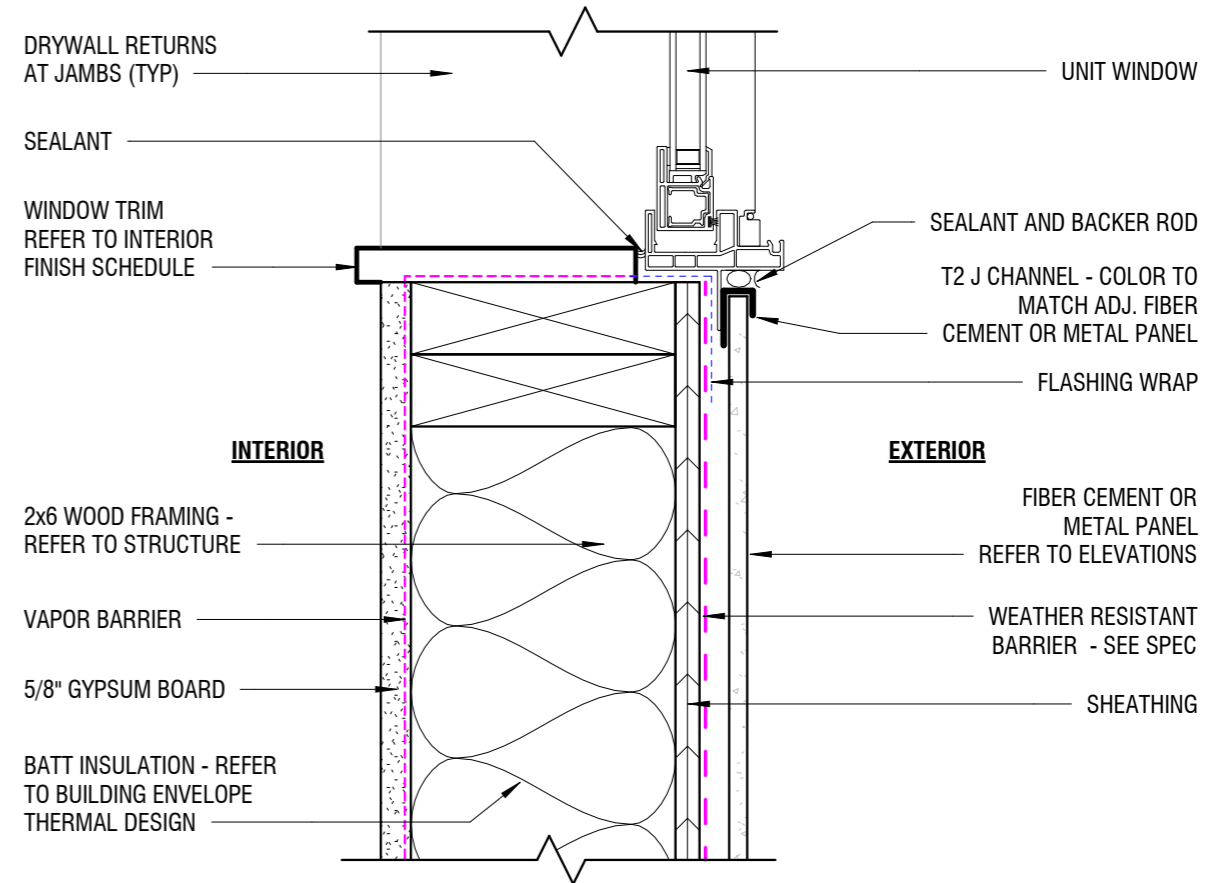
BRICK (SOLDIER) OVER STONE  
SCALE 1 1/2" = 1'-0"



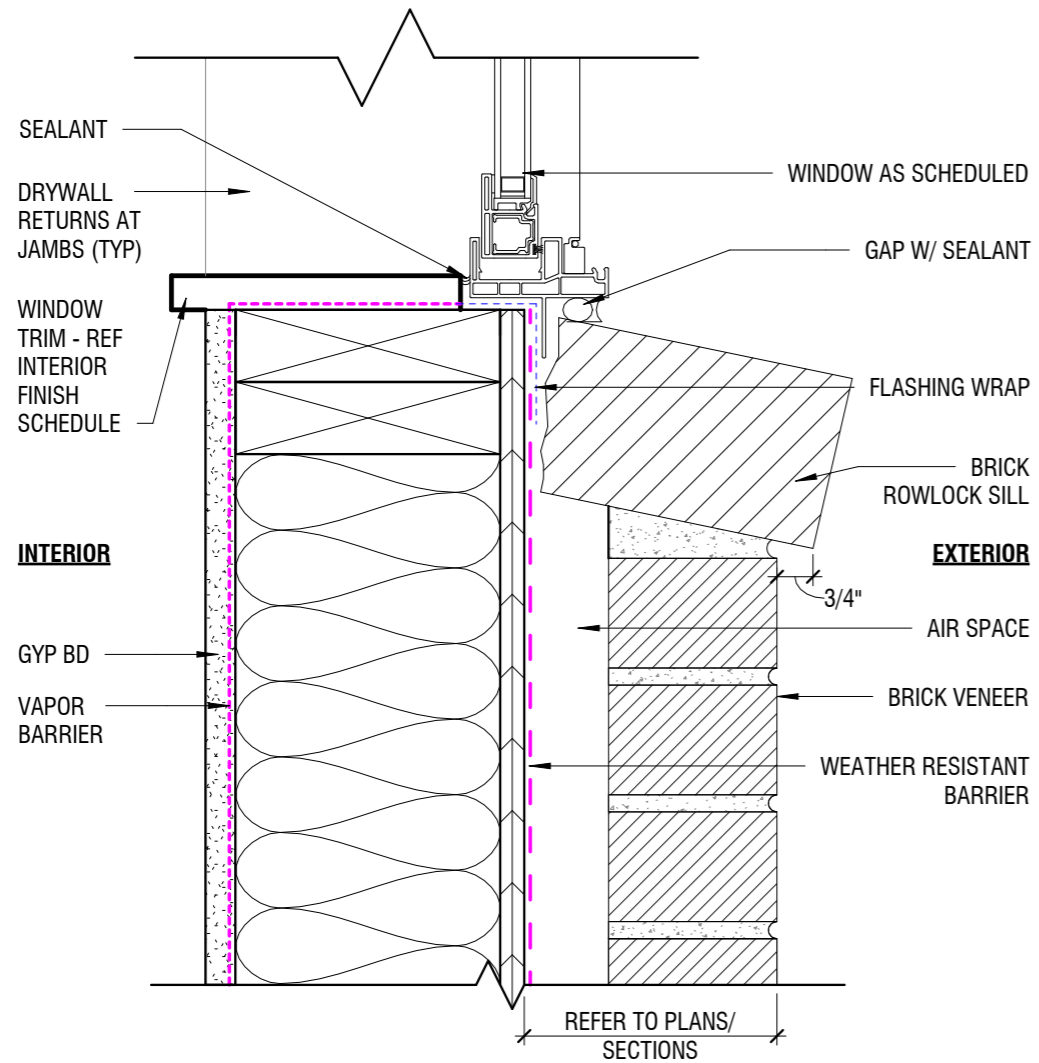
CUPPED TILE OVER BRICK (ROWLOCK + SOLDIER)  
SCALE 1 1/2" = 1'-0"



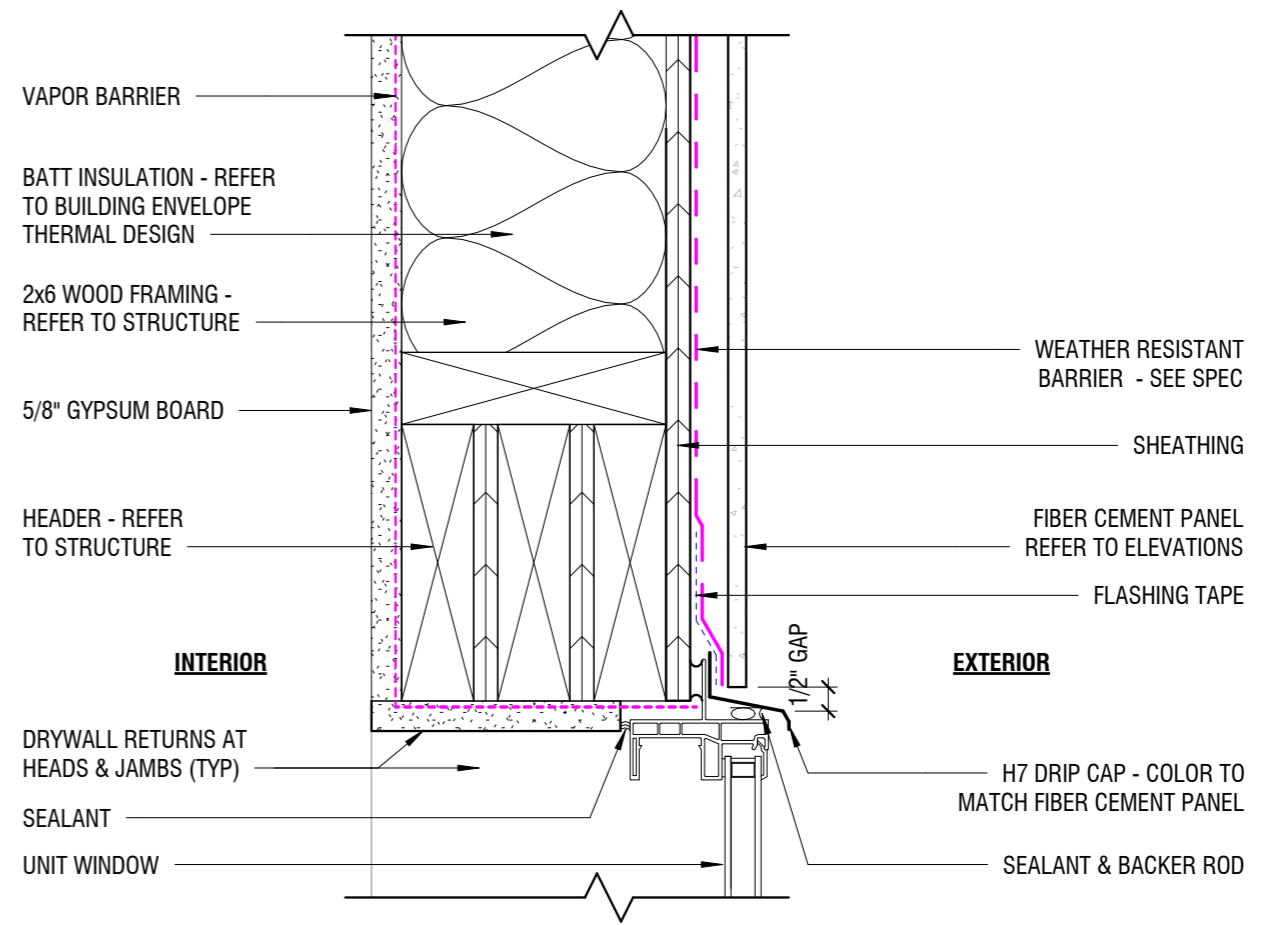
WINDOW-MTL-PANEL-WD-HEAD  
SCALE 3" = 1'-0"



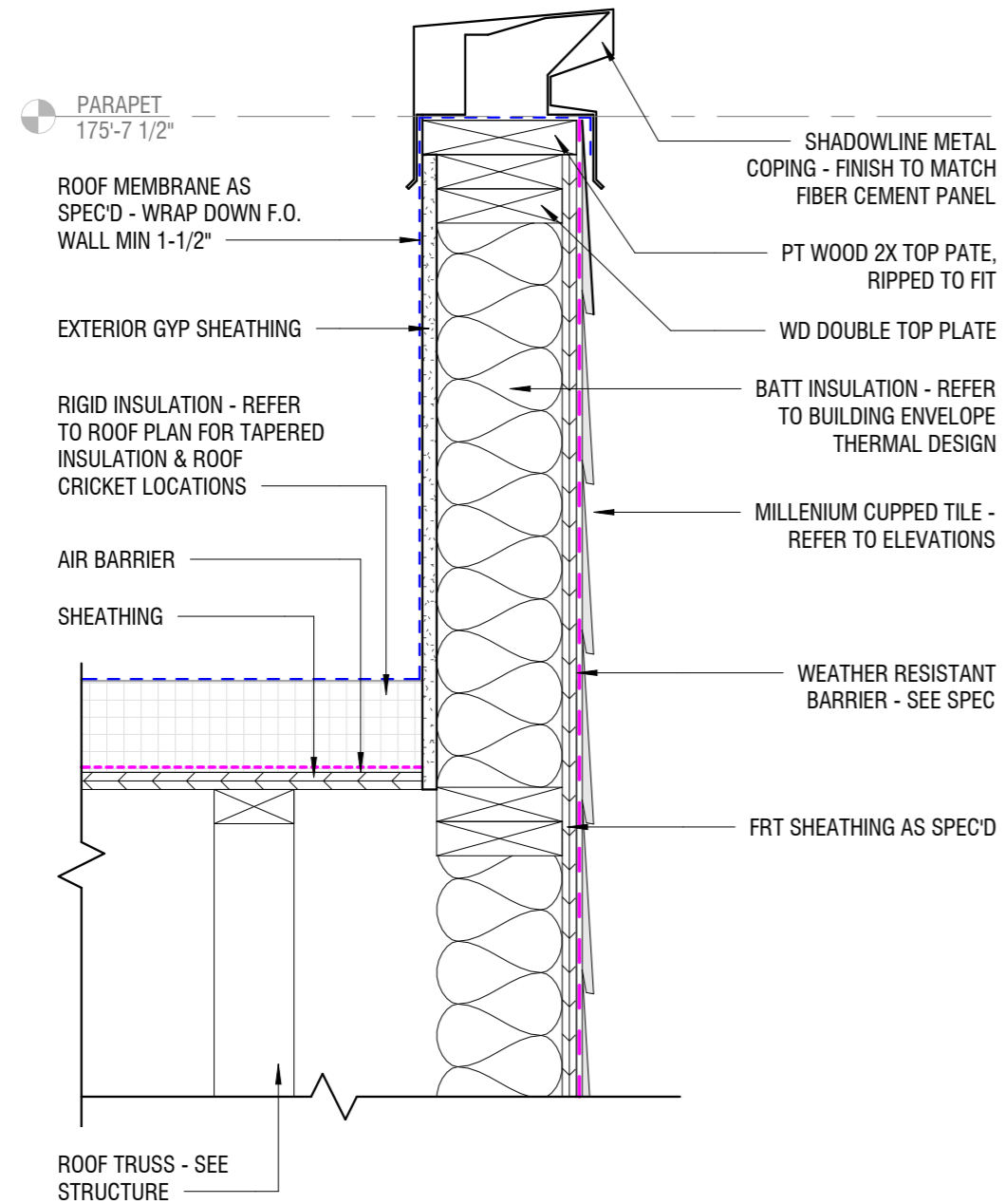
WINDOW-FCB/MTL-PANEL-WD-SILL  
SCALE 3" = 1'-0"



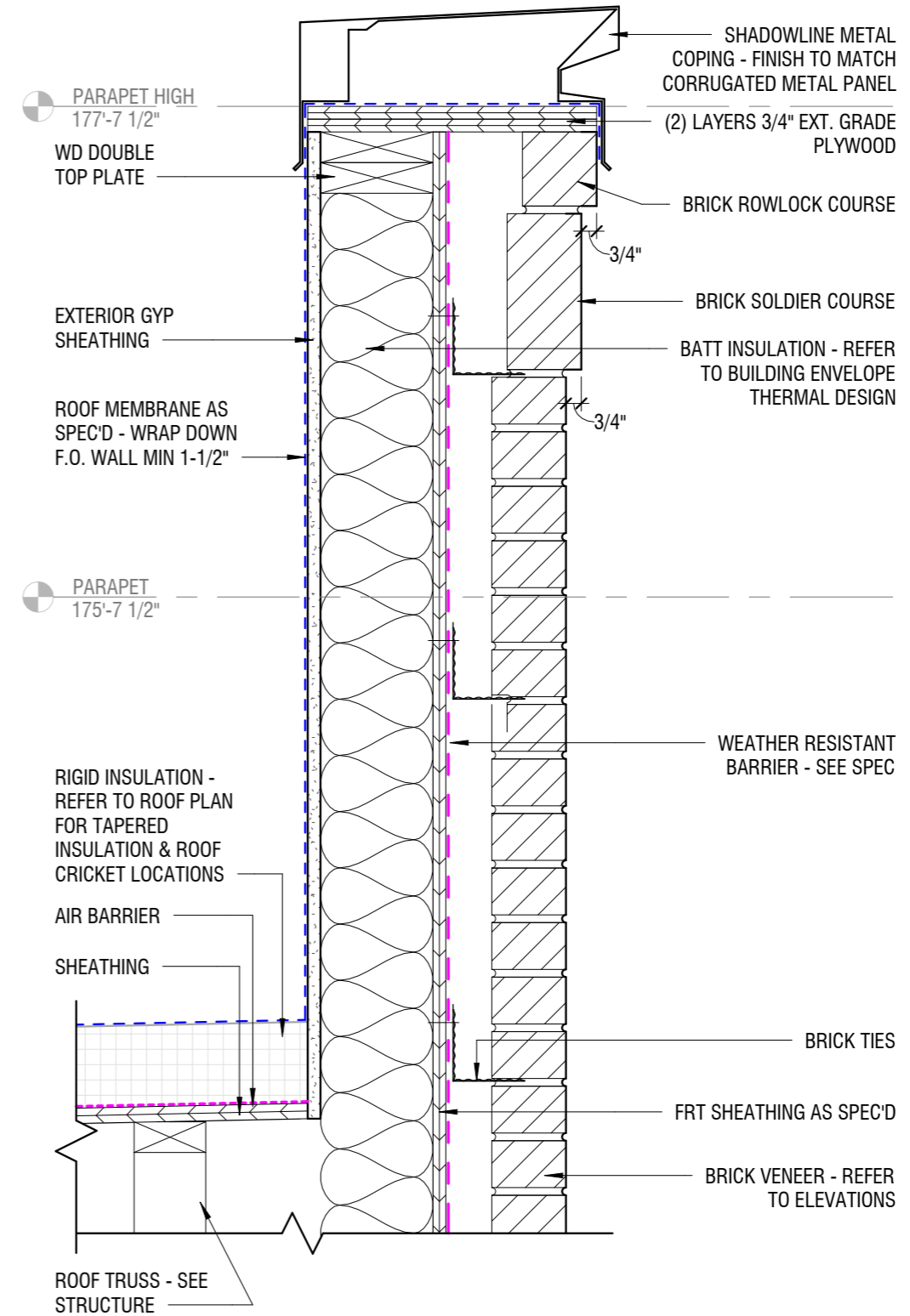
WINDOW-BRICK-WD SILL  
SCALE 3" = 1'-0"



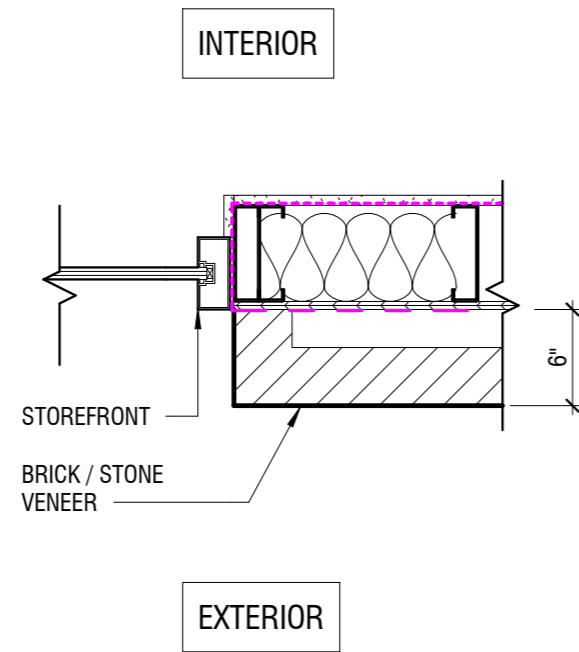
WINDOW-FIBERCEMENT-WD-HEAD  
SCALE 3" = 1'-0"



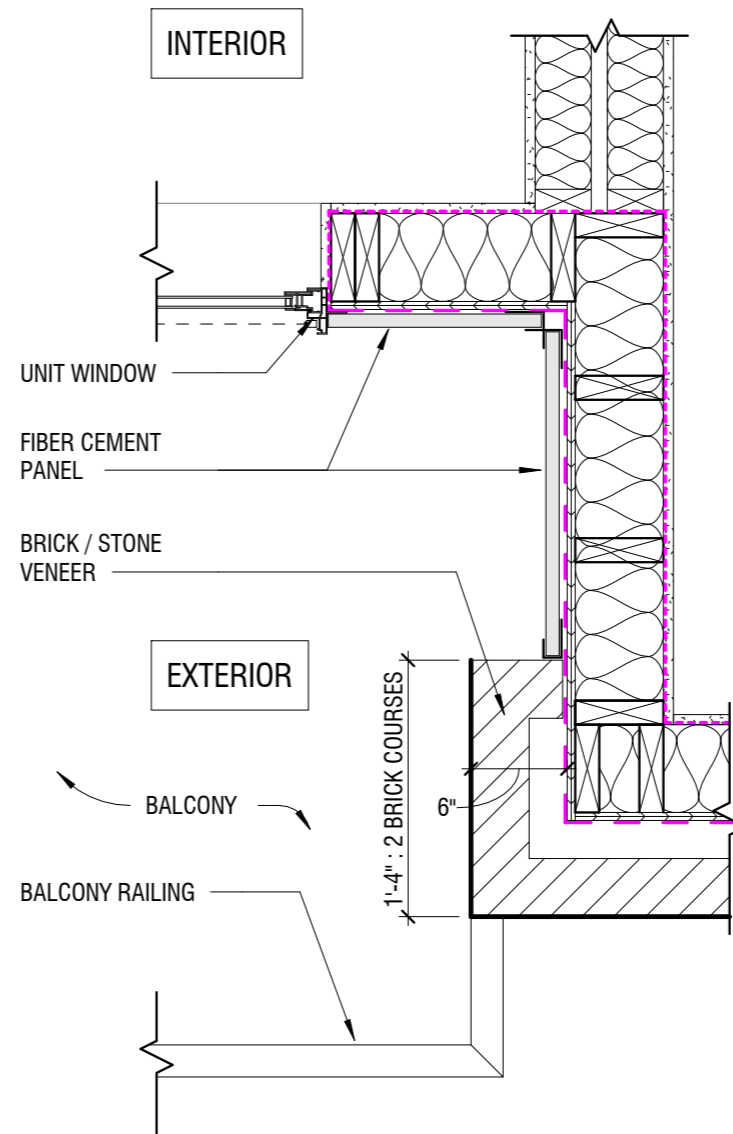
CUPPED MILLENNIUM TILE PARAPET  
SCALE 1 1/2" = 1'-0"



BRICK PARAPET  
SCALE 1 1/2" = 1'-0"



**AT STOREFRONT**



**AT BALCONY**

VERTICAL TRANSITIONS  
SCALE 1" = 1'-0"



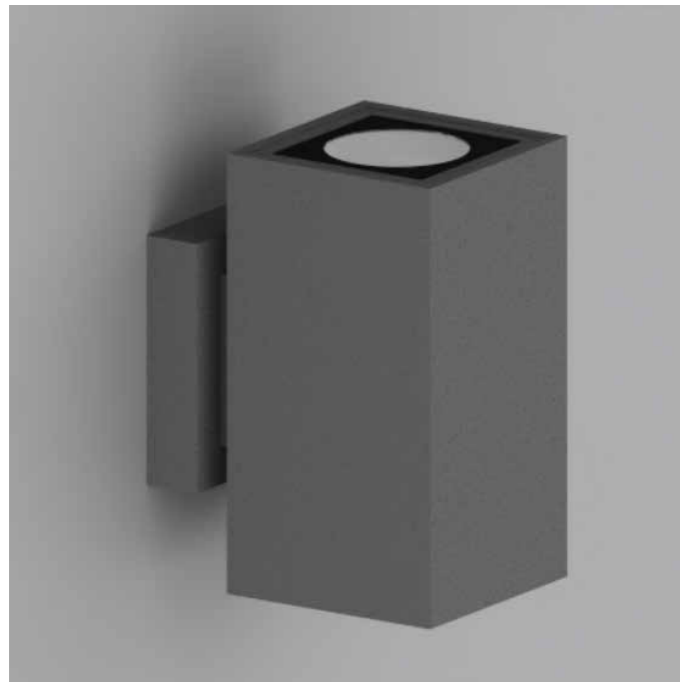
PARKING GARAGE ENTRY LED LIGHT FIXTURE - 19 IN  
*(USED IN RESI C)*



RECESSED LED LIGHT FIXTURE AT ENTRY CANOPIES  
*(USED IN RESI A, B, & C)*



HANDRAIL LED LIGHT FIXTURE  
*(USED IN RESI B)*



UP/DOWN WALL LED LIGHT FIXTURE - 6 INCH  
*(USED IN RESI B)*



WALL WASH LED LIGHT FIXTURE AT GARAGE PERFORATED PANELS  
*(USED IN RESI C)*



WALL SCONCE LED LIGHT FIXTURE - 9 INCH  
*(USED IN RESI A & B)*



FDP ELEVATION - WEST  
SCALE 3/64" = 1'-0"



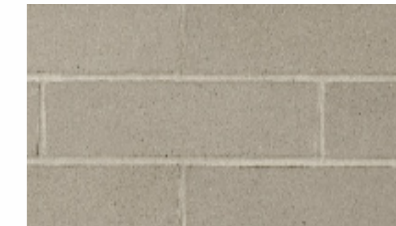
FDP ELEVATION - SOUTH  
SCALE 3/64" = 1'-0"



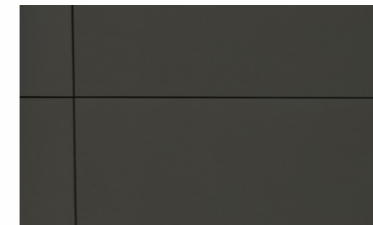
BRICK-4  
TAYLOR MODULAR WIRECUT BRICK IN #301-W WHITE



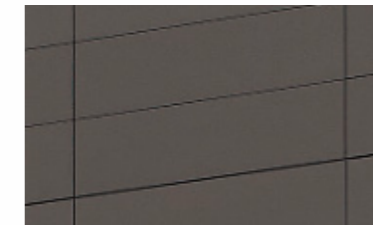
BRICK-1  
BOWERSTON MODULAR BRICK IN CANYON BLEND RT LF



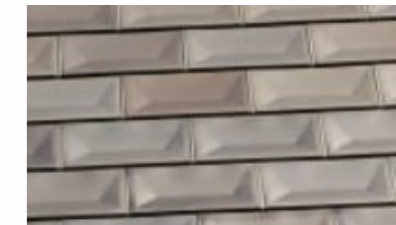
STONE-1  
READING ROCK ROCKCAST CAST STONE IN SMOOTH ST-1648 RIESLING



FIBER-1  
JAMES HARDIE SMOOTH HARDIE PANEL PAINTED SW7048 URBANE BRONZE



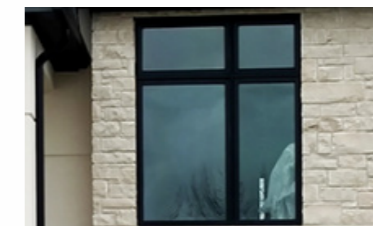
METAL-5  
CENTRIA FORMAWALL IN DARK BRONZE



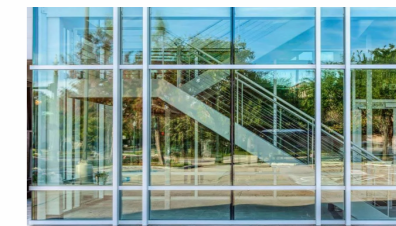
METAL-4  
MILLENNIUM FORMS CUPPED TILE IN BRONZE MILL FINISH



RAILINGS  
SUPERIOR ALUMINUM SERIES 9P PICKET RAILING IN BLACK



WINDOWS  
QUAKER V300 SERIES WINDOWS IN BLACK



STOREFRONT  
TUBELITE ALUMINUM STOREFRONT IN BLACK WITH VIRACON VRE 1-59 #2 SURFACE



FDP ELEVATION - EAST  
SCALE 3/64" = 1'-0"



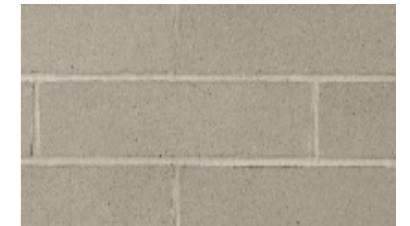
FDP ELEVATION - NORTH  
SCALE 3/64" = 1'-0"



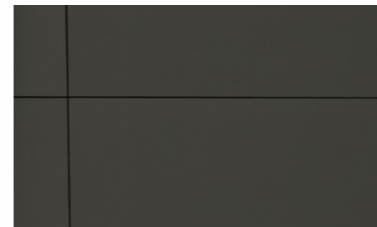
BRICK-4  
TAYLOR MODULAR WIRECUT BRICK IN #301-W WHITE



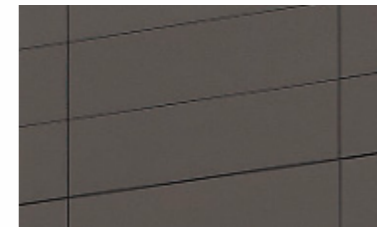
BRICK-1  
BOWERSTON MODULAR BRICK IN CANYON BLEND RT LF



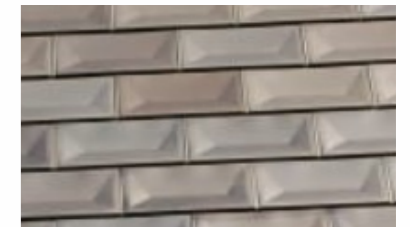
STONE-1  
READING ROCK ROCKCAST CAST STONE IN SMOOTH ST-1648 RIESLING



FIBER-1  
JAMES HARDIE SMOOTH HARDIE PANEL PAINTED SW7048 URBANE BRONZE



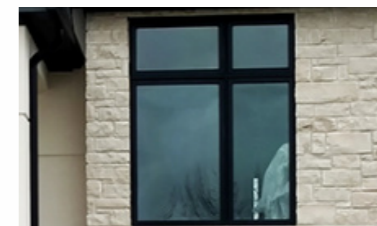
METAL-5  
CENTRIA FORMAWALL IN DARK BRONZE



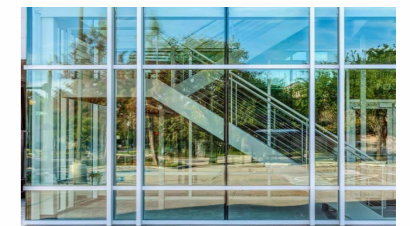
METAL-4  
MILLENNIUM FORMS CUPPED TILE IN BRONZE MILL FINISH



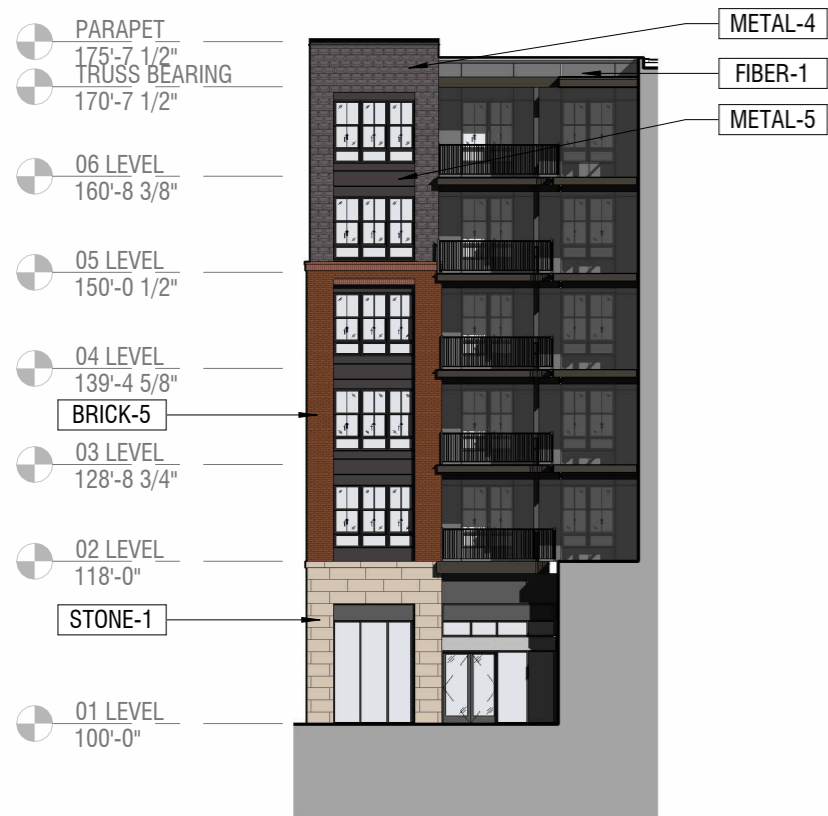
RAILINGS  
SUPERIOR ALUMINUM SERIES 9P PICKET RAILING IN BLACK



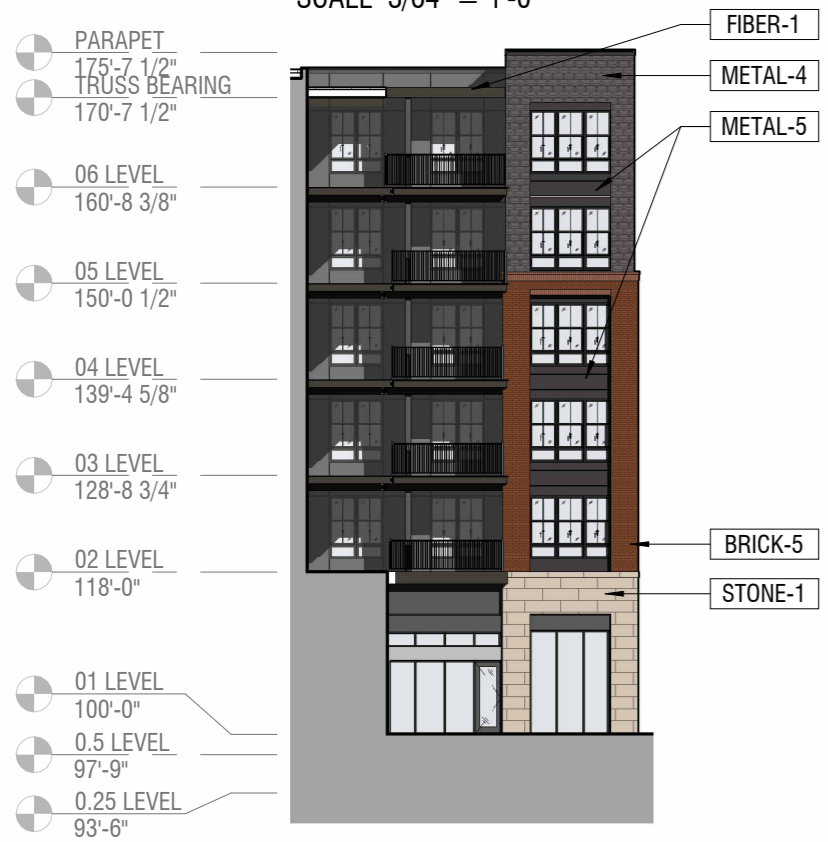
WINDOWS  
QUAKER V300 SERIES WINDOWS IN BLACK



STOREFRONT  
TUBELITE ALUMINUM STOREFRONT IN BLACK WITH VIRACON VRE 1-59 #2 SURFACE



FDP ELEVATION - SOUTH COURTYARD  
SCALE 3/64" = 1'-0"



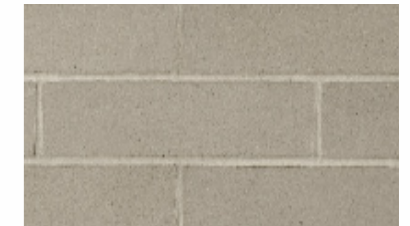
FDP ELEVATION - NORTH COURTYARD  
SCALE 3/64" = 1'-0"



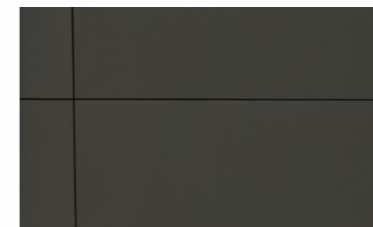
BRICK-4  
TAYLOR MODULAR WIRECUT BRICK IN #301-W WHITE



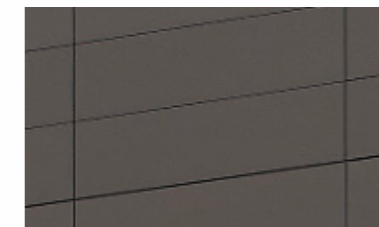
BRICK-1  
BOWERSTON MODULAR BRICK IN CANYON BLEND RT LF



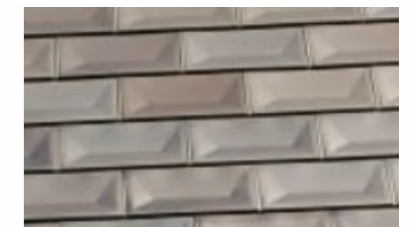
STONE-1  
READING ROCK ROCKCAST CAST STONE IN SMOOTH ST-1648 RIESLING



FIBER-1  
JAMES HARDIE SMOOTH HARDIE PANEL PAINTED SW7048 URBANE BRONZE



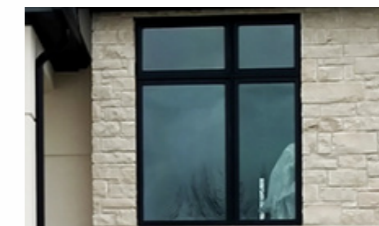
METAL-5  
CENTRIA FORMAWALL IN DARK BRONZE



METAL-4  
MILLENNIUM FORMS CUPPED TILE IN BRONZE MILL FINISH



RAILINGS  
SUPERIOR ALUMINUM SERIES 9P PICKET RAILING IN BLACK



WINDOWS  
QUAKER V300 SERIES WINDOWS IN BLACK



STOREFRONT  
TUBELITE ALUMINUM STOREFRONT IN BLACK WITH VIRACON VRE 1-59 #2 SURFACE

### **A1. Street Frontage**

	<u>Allowable:</u>	<u>Actual:</u>
Multiple Principal Buildings:	Permitted	Complies
Front Property Line Coverage:	Minimum 75%	53%
Occupation of Corner:	Required	Complies
Front RBZ:	0-15 ft.	Complies
Corner Side RBZ:	0-15 ft.	Complies
RBZ Treatment:	Landscape, Patio, or street-scape; along West Dublin-Granville Road, Street-scape Required	Complies
Right-of-Way Encroachment:	Awnings, Canopies, eaves, patios & signs	Complies

### **A2. Buildable Area**

	<u>Allowable:</u>	<u>Actual:</u>
Minimum Side Yard Setback:	5 ft.	Complies
Minimum Rear Yard Setback:	5 ft.	Complies
Minimum Lot Width:	50 ft.	Complies; 115 ft.
Max. Impervious Coverage:	80%	94.7%
Additional Semi-Impervious Coverage:	10%	N/A

### **A3. Parking Location & Loading**

	<u>Allowable:</u>	<u>Actual:</u>
Parking Location:	Rear yard, within building	N/A
Loading Facility Location:	Rear & Side Facade	N/A
Entry for Parking within Bldg:	Rear & Side Facade Corner Side Facade	N/A
Access:	Refer to 153.062	Complies

### **B. Height**

	<u>Allowable:</u>	<u>Actual:</u>
Minimum Height:	3 stories	6 stories
Maximum Height:	6 stories	6 stories
Ground Story:	12ft. - 16ft.	18' - 24'-6"
Stories:	10-14ft.	Complies; 10'-8"

### **C. Uses & Occupancy Requirements**

	<u>Allowable:</u>	<u>Actual:</u>
Ground Story:	Residential and general office uses are prohibited	Complies
Upper Story:	No requirements	Complies
Parking within Building:	Permitted	N/A
Occupied Space:	Min. 30ft. facing street	Complies

### **D1. Street Facade Transparency**

	<u>Allowable:</u>	<u>Actual:</u>
Ground Story Street Facing Transparency:	Min. 60% required	Ref. Elevations
Transparency:	Min 30%	Complies
Parking within Building:	Permitted	N/A
Blank Wall Limitation:	Required	Complies

### **D2. Non-Street Facade Transparency**

	<u>Allowable:</u>	<u>Actual:</u>
Transparency:	Min 15%	Complies
Blank Wall Limitation:	Required	Complies

### **D3. Building Entrance**

	<u>Allowable:</u>	<u>Actual:</u>
Principal Entrance Location:	Primary Street	Complies
Street Facades: Number of Entrances:	1 per 75ft.	Complies
Parking Lot Facades:	1 per 100ft.	N/A
Mid-Building Pedestrianway:	In shopping corridors; Required for building greater than 250ft. in length	N/A

### **D4. Facade Divisions**

	<u>Allowable:</u>	<u>Actual:</u>
Vertical Increments:	No greater than 45ft.	Ref. Elevations
Horizontal Facade Division:	On building 3 stories or taller, required with 3ft. of top of the ground story. Required at any building step-back.	Complies
Required Change in Roof Plane or Type:	None	N/A

### **D5. Facade Materials**

	<u>Allowable:</u>	<u>Actual:</u>
Permitted Primary Materials:	Stone, Brick, Glass	Ref. Elevation

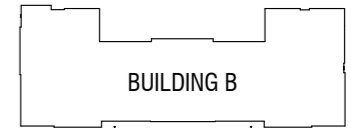
### **D5. Roof Types**

	<u>Allowable:</u>	<u>Actual:</u>
Permitted Types:	Parapet, pitched roof, flat roof, other types may be permitted with approval	Complies
Tower:	Permitted on facades only at terminal vistas, corners at two principal frontage streets	Complies

 Potential Waver Request

<b>MATERIAL TYPE:</b>		<b>FACADE REQUIREMENTS</b>		<b>UPPER STORY:</b>	
WEST FACADE TOTAL AREA: 21,667 SF		STREET FACADE: YES		HEIGHT: 10'-8"	
		PRINCIPAL ENTRANCE: YES		UPPER STORY TOTAL AREA: 2,881 SF (EA. FLOOR 02-06)	
PRIMARY GLAZING (WINDOWS & DOORS) 7,442 SF		<b>NUMBER OF ENTRANCES:</b>		UPPER STORY TRANSPARENCY:	
PRIMARY RED BRICK 2,893 SF		REQUIRED: 1 PER 75'-0" OF FACADE		UPPER STORY TRANSPARENCY ZONE: 2,881 SF (FLOOR TO FLOOR 02-06)	
PRIMARY TAN BRICK 3,310 SF		TOTAL FACADE LENGTH: 270'-8"		UPPER STORY GLAZING AREA: 1,008 SF (FLOOR TO FLOOR 02-06)	
PRIMARY CAST STONE 1,855 SF		REQUIRED: 270'-8" / 75 = 4 (3.61 ROUNDED UP)		TRANSPARENCY REQUIRED: 30%	
SECONDARY MILLENNIUM TILE 1,805 SF		PROVIDED: 4		TRANSPARENCY PROVIDED: 35%	
SECONDARY METAL/FIBER CEMENT 3,975 SF		<b>GROUND STORY:</b>		BLANK WALL LIMITATIONS:	
SECONDARY LOUVERS/GLAZING/METAL 387 SF		HEIGHT: (VARIES)		REQUIRED: YES	
		24'-6" (NORTH)		PROVIDED: YES	
		18'-0" (SOUTH)			
		20'-6" (CENTER)			
		GROUND STORY TOTAL AREA: 5,603 SF		VERTICAL FACADE DIVISIONS:	
PRIMARY MATERIAL TOTAL: 15,500 SF		GROUND STORY TRANSPARENCY:		REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS)	
REQUIRED: 80%		GROUND STORY TRANSPARENCY ZONE: 1,624 SF		PROVIDED: YES, ONE GREATER THAN 45'-0"	
PROVIDED: 72% (15,500 / 21,667 = 0.715)		(2'-0" TO 8'-0" ABOVE GRADE)			
SECONDARY MATERIAL TOTAL: 6,167 SF		GROUND STORY GLAZING AREA: 749 SF		HORIZONTAL FACADE DIVISIONS:	
REQUIRED: <20%		(2'-0" TO 8'-0" ABOVE GRADE)		REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)	
PROVIDED: 28% (6,167 / 21,667 = 0.284)		TRANSPARENCY REQUIRED: 60%		PROVIDED: YES, MATERIAL TYPE CHANGE, BRICK COURSING	
		TRANSPARENCY PROVIDED: 46%			






 POTENTIAL WAIVER REQUEST







KEYPLAN



**PRIMARY MATERIALS**

-  RED BRICK
-  TAN BRICK
-  CAST STONE
-  GLAZING
-  TRANSPARENCY ZONE GLAZING

**SECONDARY MATERIALS**

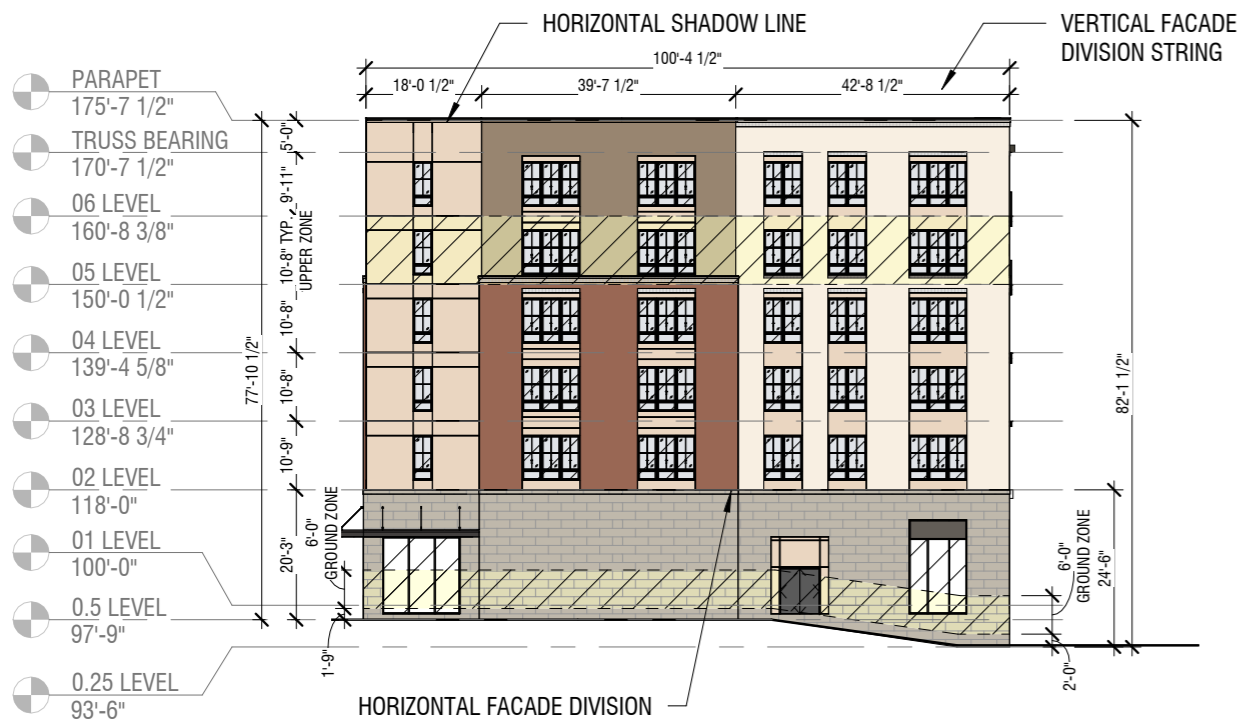
-  METAL / FIBER CEMENT
-  FUTURE LOUVERS / METAL
-  MILLENNIUM TILE
-  HOLLOW METAL DOOR

<b>MATERIAL TYPE:</b>		<b>FACADE REQUIREMENTS</b>		<b>UPPER STORY:</b>	
NORTH FACADE TOTAL AREA: 7,965 SF		STREET FACADE: NO		HEIGHT: 10'-8"	
PRIMARY GLAZING (WINDOWS & DOORS): 1,720 SF		PRINCIPAL ENTRANCE: NO		UPPER STORY TOTAL AREA: 1,070 SF (EA. FLOOR 02-06)	
PRIMARY RED BRICK: 808 SF		<b>NUMBER OF ENTRANCES:</b>		UPPER STORY TRANSPARENCY:	
PRIMARY TAN BRICK: 1,428 SF		REQUIRED: NO - NOT A STREET FACADE		UPPER STORY TRANSPARENCY ZONE: 1,070 SF (FLOOR TO FLOOR 02-06)	
PRIMARY CAST STONE: 1,752 SF		TOTAL FACADE LENGTH: 100'-4 1/2"		UPPER STORY GLAZING AREA: 294 SF (FLOOR TO FLOOR 02-06)	
SECONDARY MILENNIUM TILE: 641 SF		REQUIRED: 0		TRANSPARENCY REQUIRED: 15%	
SECONDARY METAL/FIBER CEMENT: 1,544 SF		PROVIDED: 0		TRANSPARENCY PROVIDED: 27%	
SECONDARY HOLLOW METAL DOOR: 46 SF		<b>GROUND STORY:</b>		BLANK WALL LIMITATIONS:	
SECONDARY LOUVERS/GLAZING/METAL (TBD PER TENANT REQ. - UPPER PORTION OF GROUND FLOOR STOREFRONTS): 26 SF		HEIGHT: (VARIES)		REQUIRED: YES	
PRIMARY MATERIAL TOTAL: 5,708 SF		20'-6" (EAST)		PROVIDED: YES	
REQUIRED: 80%		24'-6" (WEST)		VERTICAL FACADE DIVISIONS:	
PROVIDED: 72% (5,708 / 7,965 = 0.716)		GROUND STORY TOTAL AREA: 2,156 SF		REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS)	
SECONDARY MATERIAL TOTAL: 2,257 SF		GROUND STORY TRANSPARENCY:		PROVIDED: YES	
REQUIRED: <20%		GROUND STORY TRANSPARENCY ZONE: 606 SF		HORIZONTAL FACADE DIVISIONS:	
PROVIDED: 28% (2,257 / 7,965 = 0.283)		(2'-0" TO 8'-0" ABOVE GRADE)		REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)	
		GROUND STORY GLAZING AREA: 102 SF		PROVIDED: YES, MATERIAL TYPE CHANGE	
		TRANSPARENCY REQUIRED: 15%			
		TRANSPARENCY PROVIDED: 17%			






 POTENTIAL WAIVER REQUEST







KEYPLAN



**PRIMARY MATERIALS**

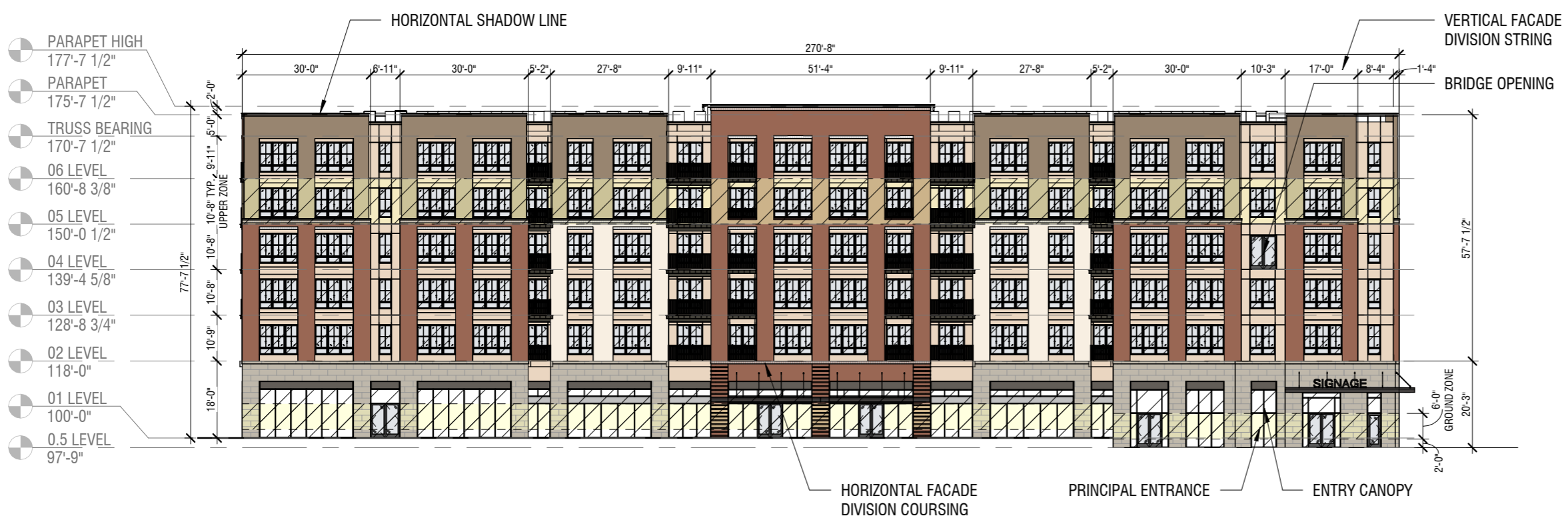
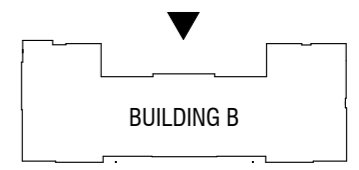
-  RED BRICK
-  TAN BRICK
-  CAST STONE
-  GLAZING
-  TRANSPARENCY ZONE GLAZING










**SECONDARY MATERIALS**

-  METAL / FIBER CEMENT
-  FUTURE LOUVERS / METAL
-  MILENNIUM TILE
-  HOLLOW METAL DOOR

MATERIAL TYPE:		FACADE REQUIREMENTS		UPPER STORY:	
EAST FACADE TOTAL AREA		20,406 SF		HEIGHT: 10'-8"	
		STREET FACADE: YES		UPPER STORY TOTAL AREA: 2,884 SF (EA. FLOOR 02-06)	
		PRINCIPAL ENTRANCE: YES			
PRIMARY GLAZING (WINDOWS & DOORS)		7,802 SF		UPPER STORY TRANSPARENCY:	
PRIMARY RED BRICK		3,586 SF		UPPER STORY TRANSPARENCY ZONE: 2,884 SF (FLOOR TO FLOOR 02-06)	
PRIMARY TAN BRICK		922 SF		UPPER STORY GLAZING AREA: 1,100 SF (FLOOR TO FLOOR 02-06)	
PRIMARY CAST STONE		1,820 SF		TRANSPARENCY REQUIRED: 30%	
SECONDARY MILENNIUM TILE		2,173 SF		TRANSPARENCY PROVIDED: 38%	
SECONDARY METAL/FIBER CEMENT		3,752 SF			
SECONDARY LOUVERS/GLAZING/METAL (TBD PER TENANT REQ. - UPPER PORTION OF GROUND FLOOR STOREFRONTS)		351 SF		BLANK WALL LIMITATIONS:	
				REQUIRED: YES	
				PROVIDED: YES	
PRIMARY MATERIAL TOTAL:		14,130 SF		VERTICAL FACADE DIVISIONS:	
REQUIRED: 80%				REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS)	
PROVIDED: 69% (14,130 / 20,406 = 0.692)				PROVIDED: YES, ONE GREATER THAN 45'-0"	
SECONDARY MATERIAL TOTAL:		6,276 SF		HORIZONTAL FACADE DIVISIONS:	
REQUIRED: <20%				REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)	
PROVIDED: 31% (6,276 / 20,406 = 0.307)				PROVIDED: YES, MATERIAL TYPE CHANGE, BRICK COURSING	
		NUMBER OF ENTRANCES:			
		REQUIRED: 1 PER 75'-0" OF FACADE			
		TOTAL FACADE LENGTH: 270'-8"			
		REQUIRED: 270'-8" / 75 = 4 (3.61 ROUNDED UP)			
		PROVIDED: 6			
		GROUND STORY:			
		HEIGHT: (VARIES)		18'-0" (SOUTH & CENTER)	
				20'-3" (NORTH)	
		GROUND STORY TOTAL AREA: 5,023 SF			
		GROUND STORY TRANSPARENCY:			
		GROUND STORY TRANSPARENCY ZONE: 1,624 SF			
		(2'-0" TO 8'-0" ABOVE GRADE)			
		GROUND STORY GLAZING AREA: 1,179 SF			
		(2'-0" TO 8'-0" ABOVE GRADE)			
		TRANSPARENCY REQUIRED: 60%			
		TRANSPARENCY PROVIDED: 73%			

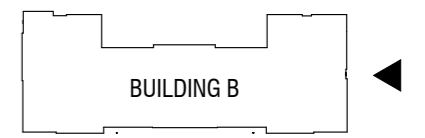
 POTENTIAL WAIVER REQUEST



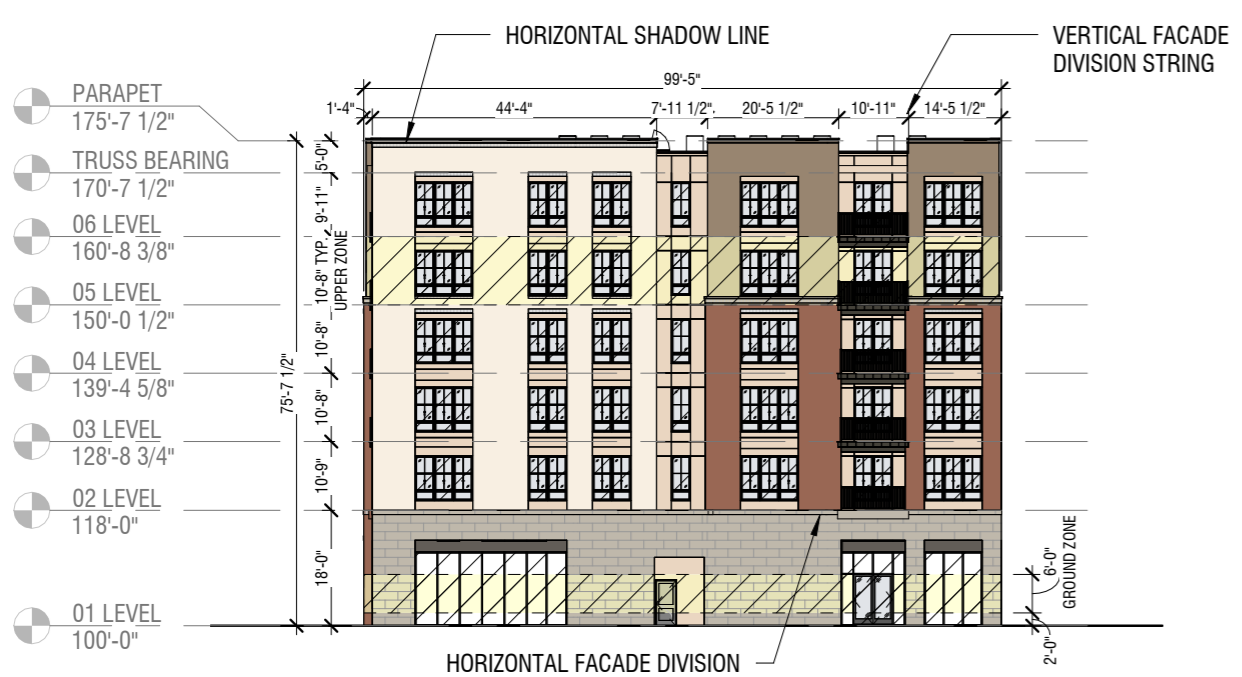
- KEYPLAN
- PRIMARY MATERIALS**
-  RED BRICK
  -  TAN BRICK
  -  CAST STONE
  -  GLAZING
  -  TRANSPARENCY ZONE GLAZING
- SECONDARY MATERIALS**
-  METAL / FIBER CEMENT
  -  FUTURE LOUVERS / METAL
  -  MILENNIUM TILE
  -  HOLLOW METAL DOOR

<b>MATERIAL TYPE:</b>		<b>FACADE REQUIREMENTS</b>		<b>UPPER STORY:</b>	
SOUTH FACADE TOTAL AREA: 7,494 SF		STREET FACADE: NO		HEIGHT: 10'-8"	
PRIMARY GLAZING (WINDOWS & DOORS): 2,171 SF		PRINCIPAL ENTRANCE: NO		UPPER STORY TOTAL AREA: 1,053 SF (EA. FLOOR 02-06)	
PRIMARY RED BRICK: 721 SF		<b>NUMBER OF ENTRANCES:</b>		UPPER STORY TRANSPARENCY:	
PRIMARY TAN BRICK: 1,534 SF		REQUIRED: NO - NOT A STREET FACADE		UPPER STORY TRANSPARENCY ZONE: 1,053 SF (FLOOR TO FLOOR 02-06)	
PRIMARY CAST STONE: 1,114 SF		TOTAL FACADE LENGTH: 99'-5"		UPPER STORY GLAZING AREA: 336 SF (FLOOR TO FLOOR 02-06)	
SECONDARY MILENNIUM TILE: 540 SF		REQUIRED: 0		TRANSPARENCY REQUIRED: 15%	
SECONDARY METAL/FIBER CEMENT: 1,312 SF		PROVIDED: 0		TRANSPARENCY PROVIDED: 32%	
SECONDARY HOLLOW METAL DOOR: 24 SF		<b>GROUND STORY:</b>		BLANK WALL LIMITATIONS:	
SECONDARY LOUVERS/GLAZING/METAL (TBD PER TENANT REQ. - UPPER PORTION OF GROUND FLOOR STOREFRONTS): 78 SF		HEIGHT: (VARIES)		REQUIRED: YES	
PRIMARY MATERIAL TOTAL: 5,540 SF		18'-0" (EAST)		PROVIDED: YES	
REQUIRED: 80%		18'-0" (WEST)		VERTICAL FACADE DIVISIONS:	
PROVIDED: 74% (5,540 / 7,494 = 0.739)		GROUND STORY TOTAL AREA: 1,790 SF		REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS)	
SECONDARY MATERIAL TOTAL: 1,954 SF		GROUND STORY TRANSPARENCY:		PROVIDED: YES	
REQUIRED: <20%		GROUND STORY TRANSPARENCY ZONE: 597 SF		HORIZONTAL FACADE DIVISIONS:	
PROVIDED: 26% (1,954 / 7,494 = 0.261)		(2'-0" TO 8'-0" ABOVE GRADE)		REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)	
		GROUND STORY GLAZING AREA: 256 SF		PROVIDED: YES, MATERIAL TYPE CHANGE	
		(2'-0" TO 8'-0" ABOVE GRADE)			
		TRANSPARENCY REQUIRED: 15%			
		TRANSPARENCY PROVIDED: 43%			






 POTENTIAL WAIVER REQUEST







KEYPLAN



**PRIMARY MATERIALS**

-  RED BRICK
-  TAN BRICK
-  CAST STONE
-  GLAZING
-  TRANSPARENCY ZONE GLAZING

**SECONDARY MATERIALS**

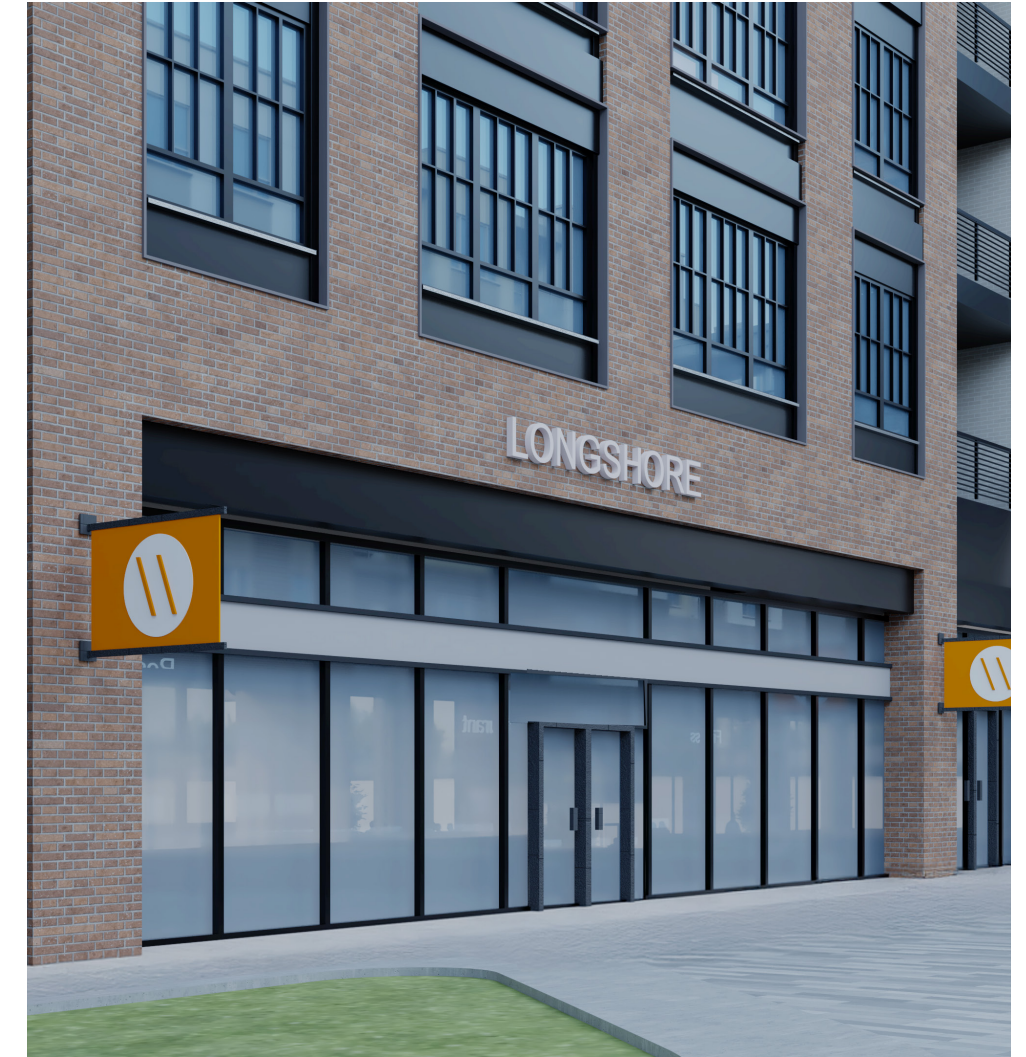
-  METAL / FIBER CEMENT
-  FUTURE LOUVERS / METAL
-  MILENNIUM TILE
-  HOLLOW METAL DOOR



1. Trellis



2. Canopy



3. No canopy

Retailers may choose from one of the approved storefront options for installation, in order to maintain visual variety across the overall street scape within the Bridge North development.





