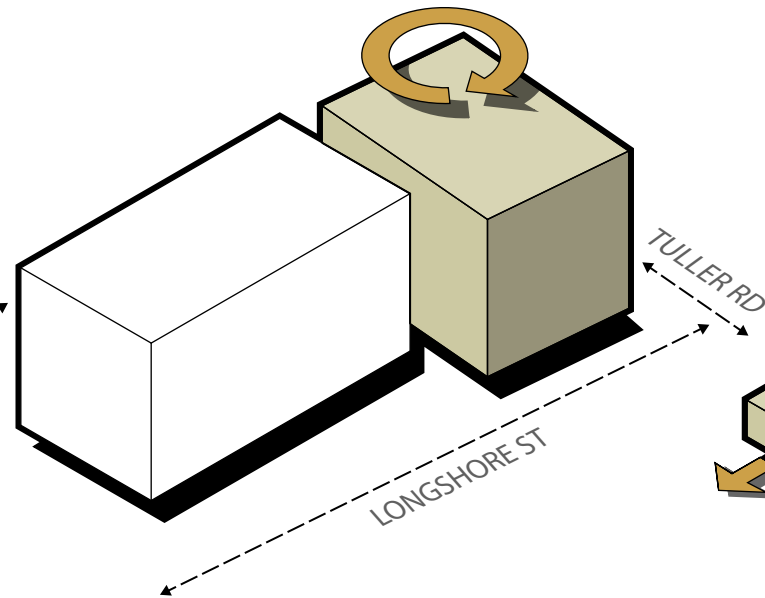


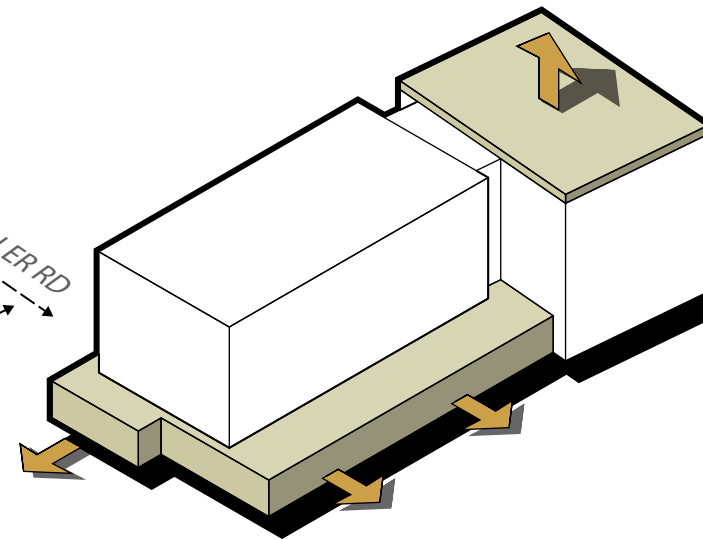
1. Split

A split in the building located across from the parking garage entry defines the hotel entry, core location, and creates visual connection from Longshore to Riverside.



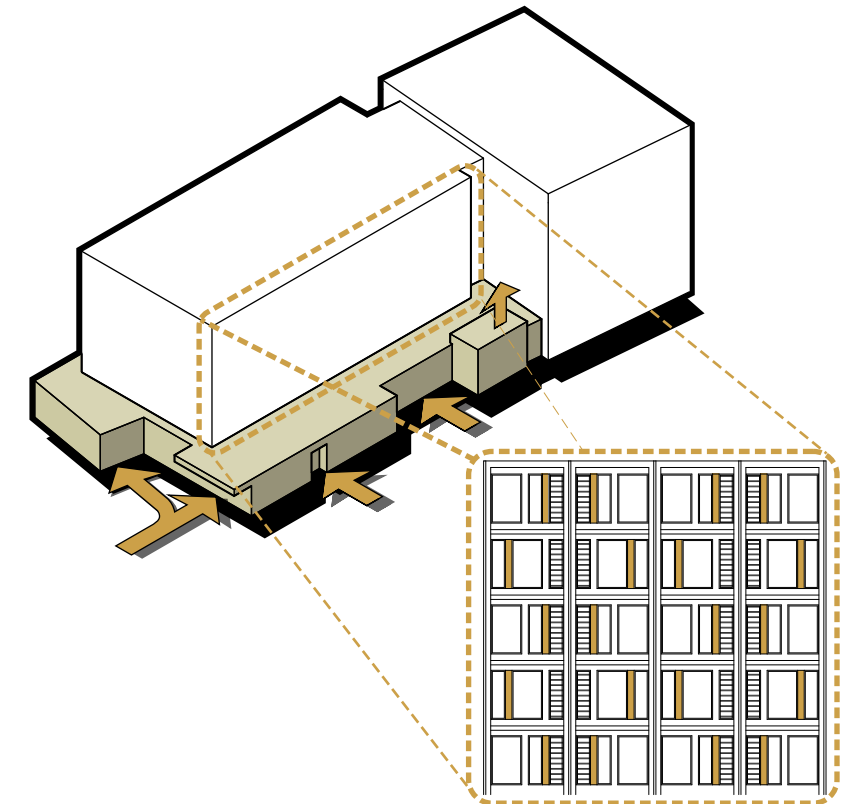
2. Rotate

Northwest corner of the building turns toward Tuller activating a visually prominent corner.



3. Pull

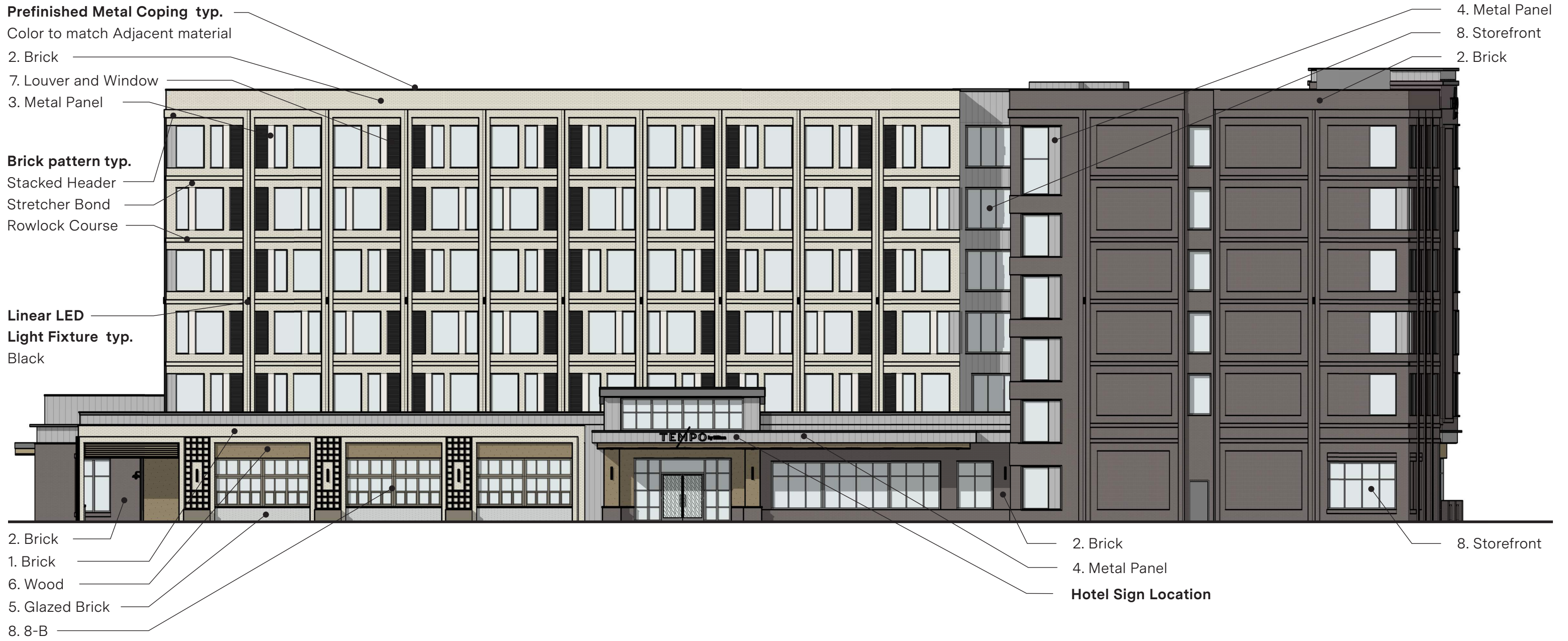
The north end pushes skyward for additional prominence and conceals rooftop equipment. The entry and restaurant spaces scale down toward the street and park.



4. Detail

The window units create a rhythm to camouflage the stacked louvers.

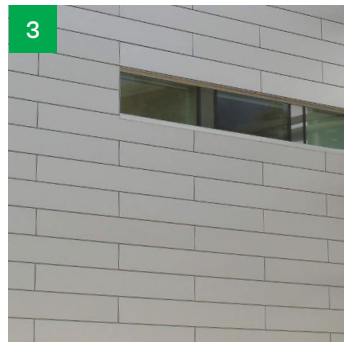




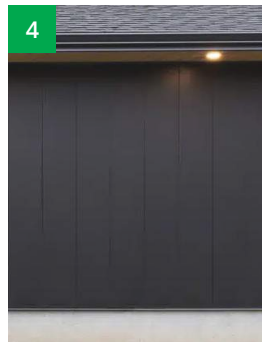
1. Brick
-Belden
Modular: Sea Gray Velour
Mortar: Flamingo-Tennessee Buff



2. Brick
-Belden
Modular: Black Diamond Velour
Mortar: Flamingo-X-25 Charcoal



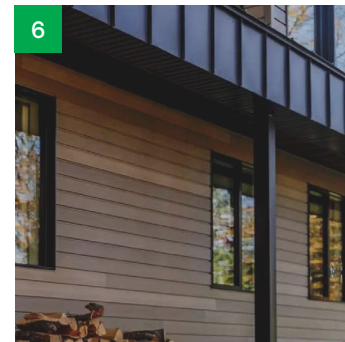
3. Metal Panel
-Alucobond
Easy Fix
Vertical Stack:
Bone White



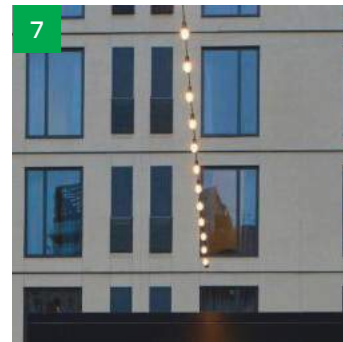
4. Metal Panel
-Alucobond
Easy Fix
Vertical Stack
Dusty Charcoal



5. Glazed Brick
-Belden
Modular:
Forest Glaze
Mortar: Tenn Buff



6. Wood-Look Metal
-Longboard
Tongue and Groove: Light
National Walnut



7. Alum. Louver & Windows
-Quaker Commercial M600
Aluminum Windows
Black



8. Storefront
-OBE Series 3000 Thermal
Multiplane Glazing System
A-Black
B-Light Bronze

Prefinished Metal Coping typ.
Color to match Adjacent material

4. Metal Panel
8. Storefront

1. Brick
3. Metal Panel
7. Alum. Louver
4. Metal Panel

Brick pattern typ.
Stretcher Running Bond
Stacked Bond
Rowlock Course

Linear LED Light Fixture typ.
Black

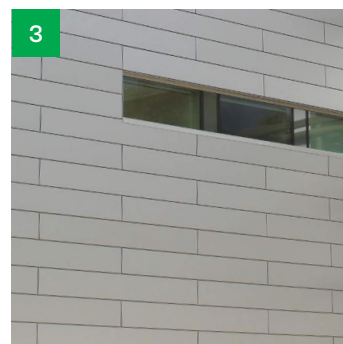
6. Wood
8. Storefront
3. Metal Panel



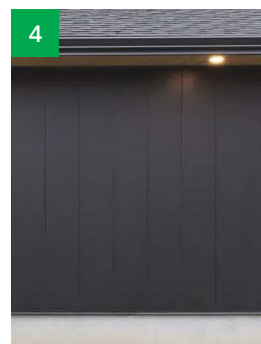
1. Brick
-Belden
Modular: Sea Gray Velour
Mortar: Flamingo-Tennessee Buff



2. Brick
-Belden
Modular: Black Diamond Velour
Mortar: Flamingo-X-25 Charcoal



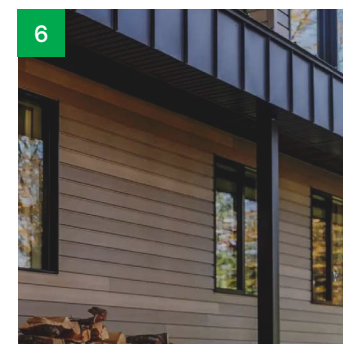
3. Metal Panel
-Alucobond
Easy Fix
Vertical Stack:
Bone White



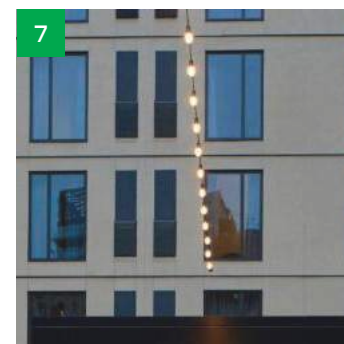
4. Metal Panel
-Alucobond
Easy Fix
Vertical Stack
Dusty Charcoal



5. Glazed Brick
-Belden
Modular:
Forest Glaze
Mortar: Tenn Buff



6. Wood-Look Metal
-Longboard
Tongue and Groove: Light
National Walnut



7. Alum. Louver & Windows
-Quaker Commercial M600
Aluminum Windows
Black



8. Storefront
-OBE Series 3000 Thermal
Multiplane Glazing System
A-Black
B-Light Bronze

Prefinished Metal Coping typ.

Color to match Adjacent material

2. Brick

7. Alum. Louver and Window

3. Metal Panel

4. Metal Panel

Brick pattern typ.

Stretcher Running Bond

Rowlock Course

Linear LED Light Fixture typ.

Black

Hotel Sign Location

6. Wood

4. Metal Panel

2. Brick

Hotel Mural Location

6. Wood

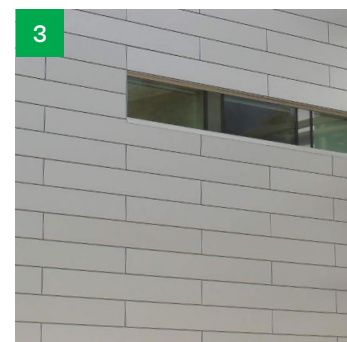
8. Storefront



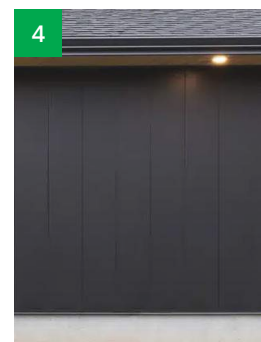
1. Brick
-Belden
Modular: Sea Gray Velour
Mortar: Flamingo-Tennessee Buff



2. Brick
-Belden
Modular: Black Diamond Velour
Mortar: Flamingo-X-25 Charcoal



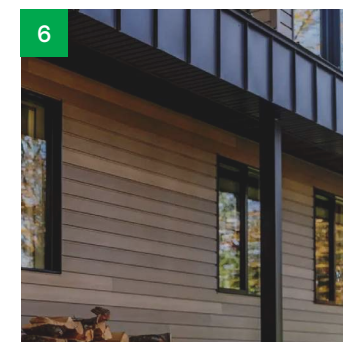
3. Metal Panel
-Alucobond
Easy Fix
Vertical Stack:
Bone White



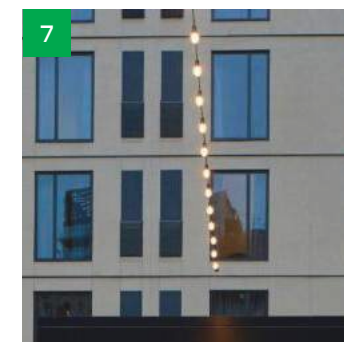
4. Metal Panel
-Alucobond
Easy Fix
Vertical Stack
Dusty Charcoal



5. Glazed Brick
-Belden
Modular:
Forest Glaze
Mortar: Tenn Buff



6. Wood-Look Metal
-Longboard
Tongue and Groove: Light
National Walnut



7. Alum. Louver & Windows
-Quaker Commercial M600
Aluminum Windows
Black



8. Storefront
-OBE Series 3000 Thermal
Multiplane Glazing System
A-Black
B-Light Bronze

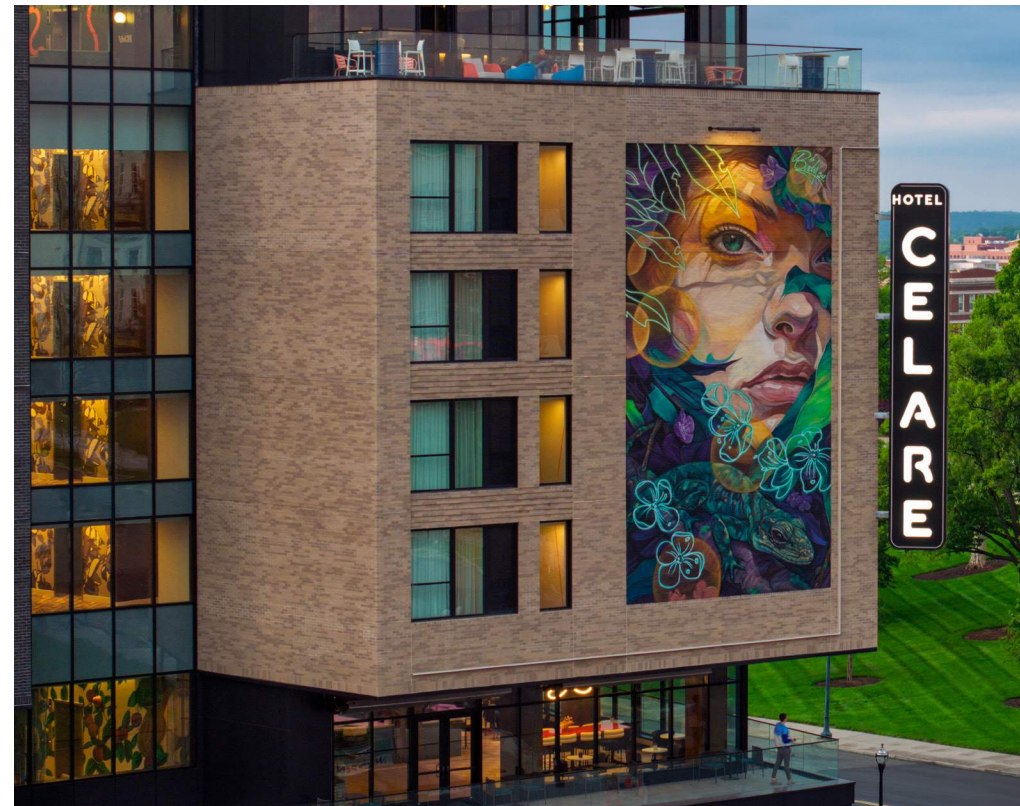


Dublin - Reference Project



AC Hotels by Marriott - Dublin, Ohio

Meyers+Associates Reference Projects



Hotel Celare, Marriott Tribute Portfolio - Cincinnati, Ohio



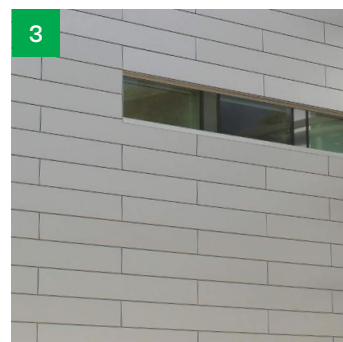
Graduate By Hilton Hotel - Columbus, Ohio



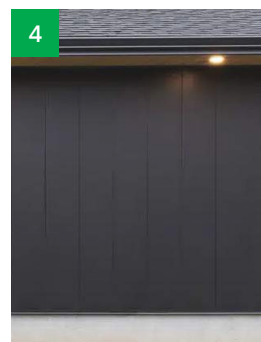
1. Brick
-Belden
Modular: Sea Gray Velour
Mortar: Flamingo-Tennessee Buff



2. Brick
-Belden
Modular: Black Diamond Velour
Mortar: Flamingo-X-25 Charcoal



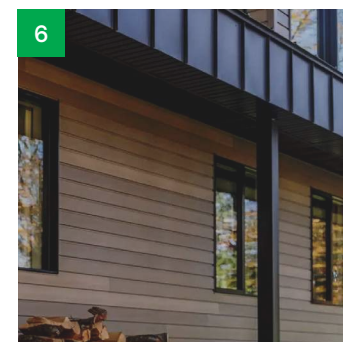
3. Metal Panel
-Alucobond
Easy Fix
Vertical Stack:
Bone White



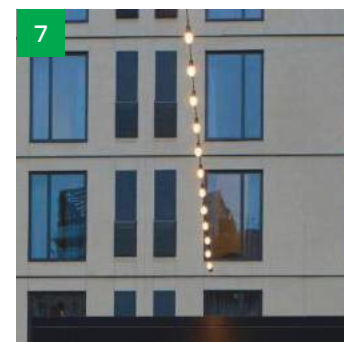
4. Metal Panel
-Alucobond
Easy Fix
Vertical Stack
Dusty Charcoal



5. Glazed Brick
-Belden
Modular:
Forest Glaze
Mortar: Tenn Buff



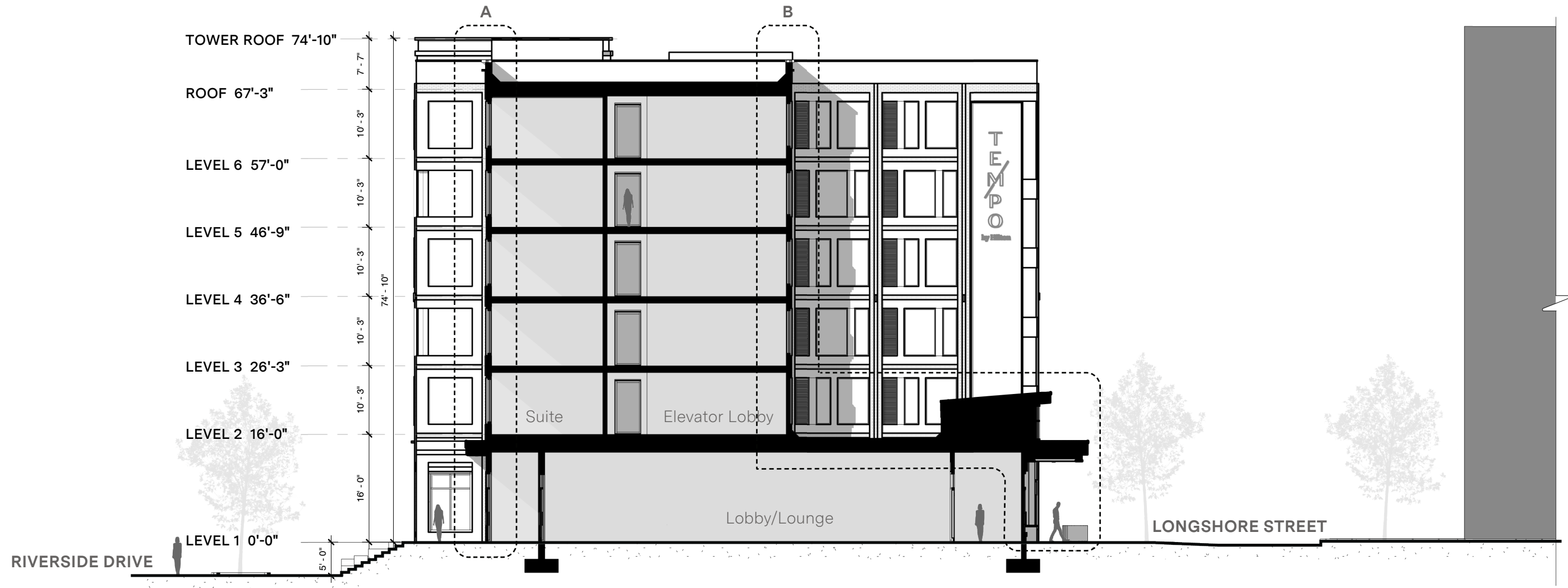
6. Wood-Look Metal
-Longboard
Tongue and Groove: Light
National Walnut

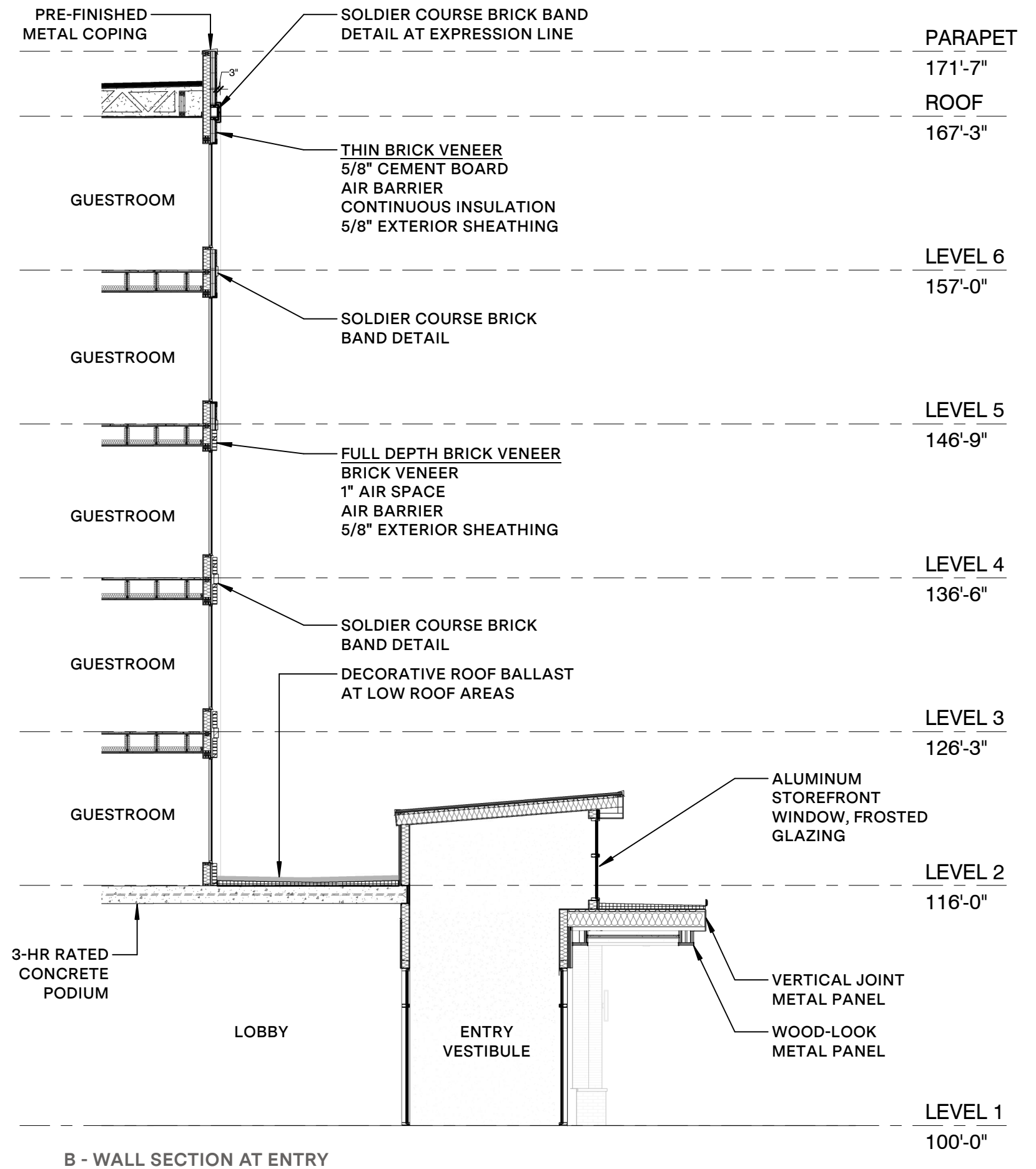
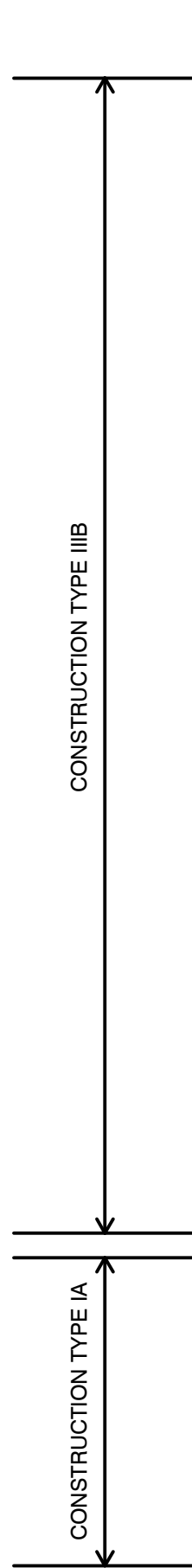
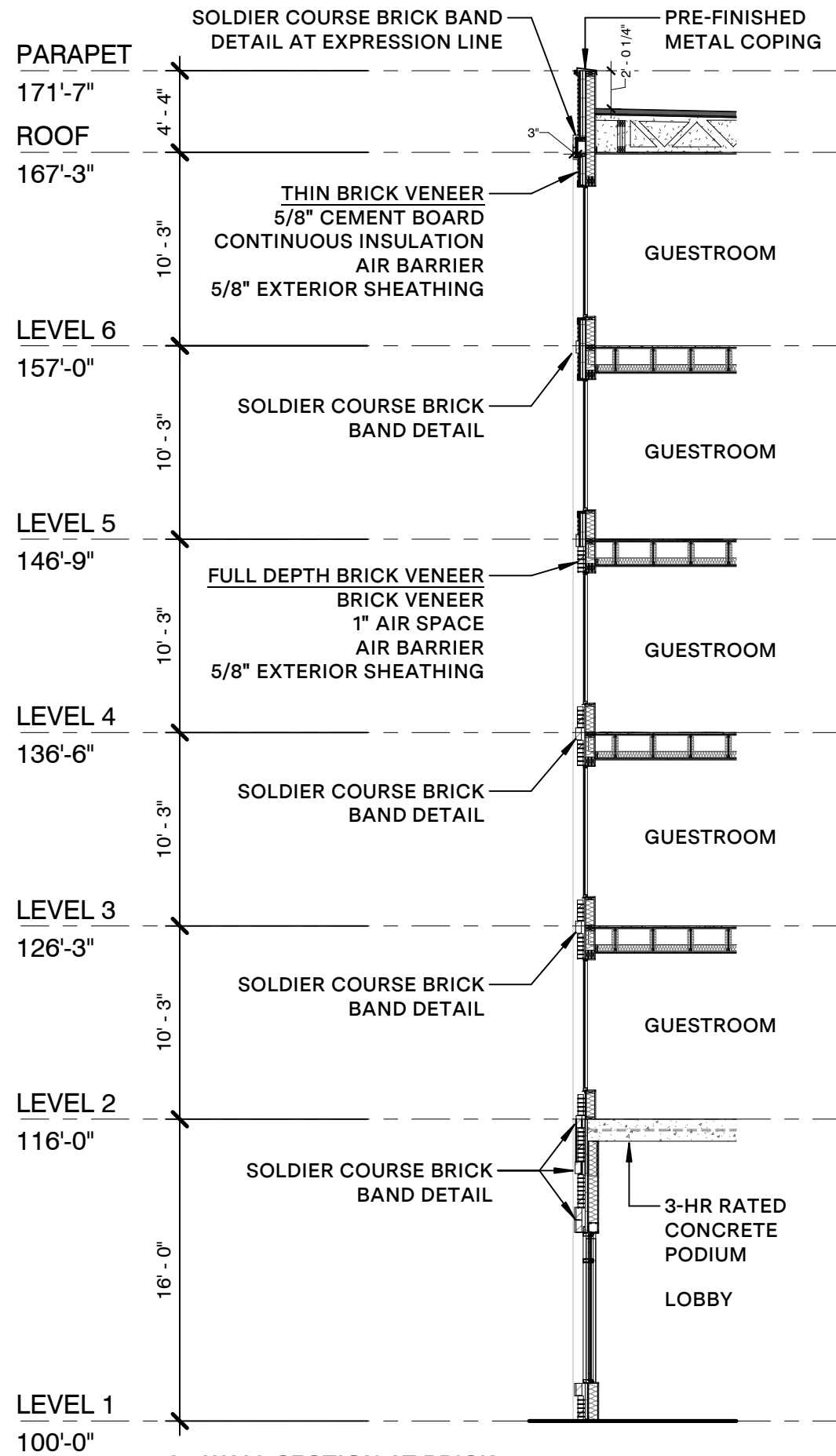


7. Alum. Louver & Windows
-Quaker Commercial M600
Aluminum Windows
Black



8. Storefront
-OBE Series 3000 Thermal
Multiplane Glazing System
A-Black
B-Light Bronze

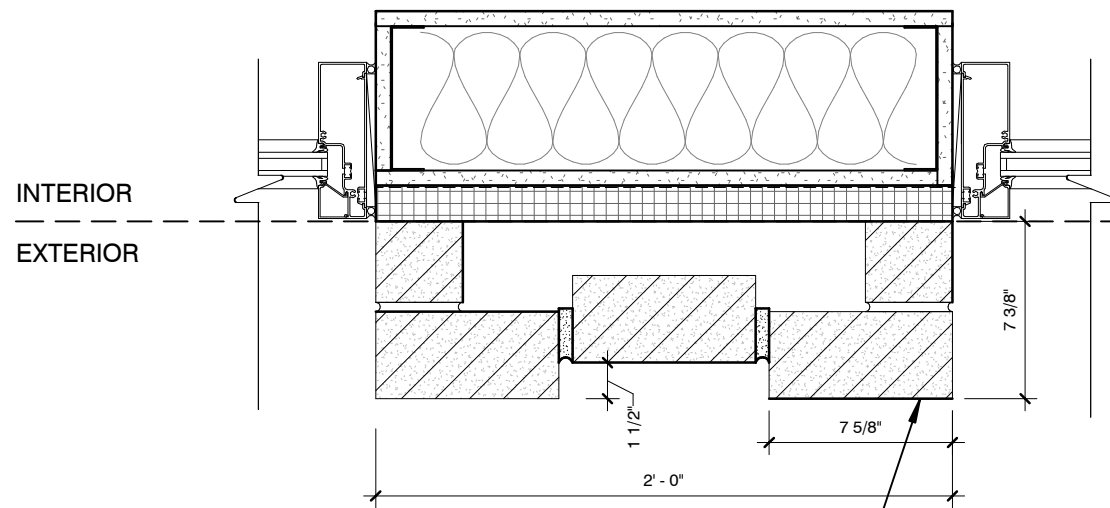




A - WALL SECTION AT BRICK

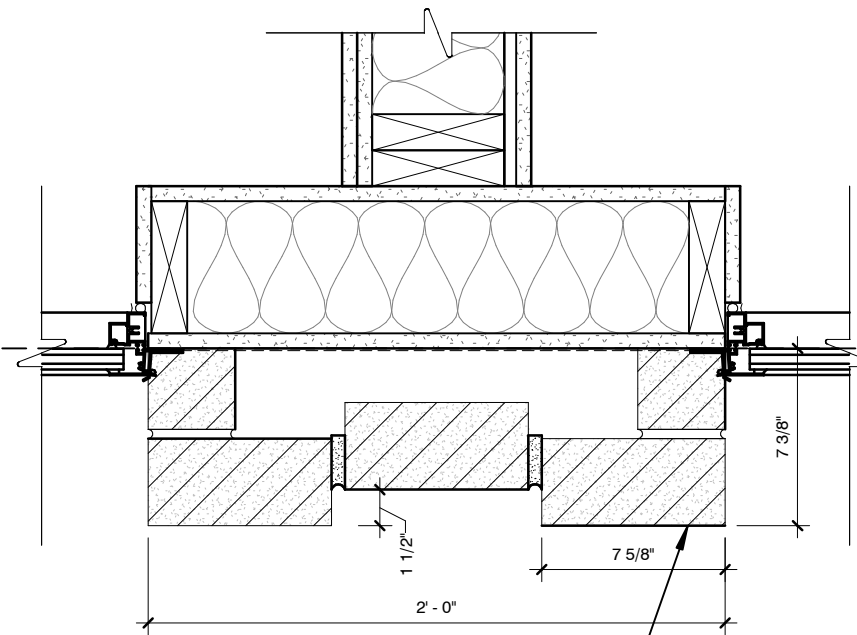
B - WALL SECTION AT ENTRY

(A) BRICK PILASTER DETAIL
LEVEL 1 - LEVEL 2



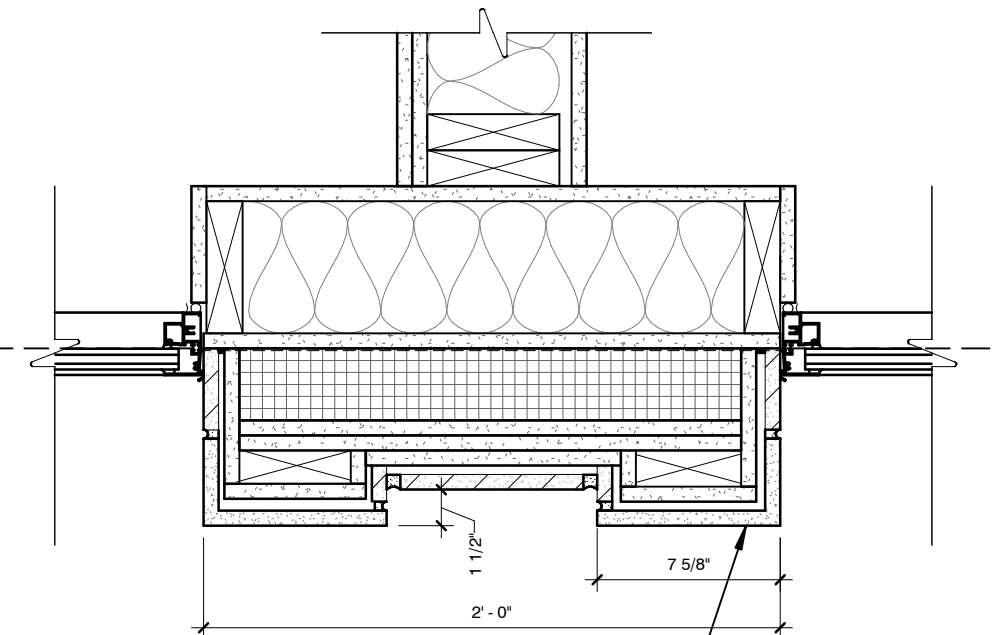
FULL DEPTH BRICK VENEER
BRICK VENEER
AIR SPACE
RIGID INSULATION
AIR BARRIER
5/8" EXTERIOR SHEATHING
METAL FRAMING

(B) BRICK PILASTER DETAIL
LEVEL 2 - LEVEL 4



FULL DEPTH BRICK VENEER
BRICK VENEER
AIR SPACE
AIR BARRIER
5/8" EXTERIOR SHEATHING
WOOD FRAMING

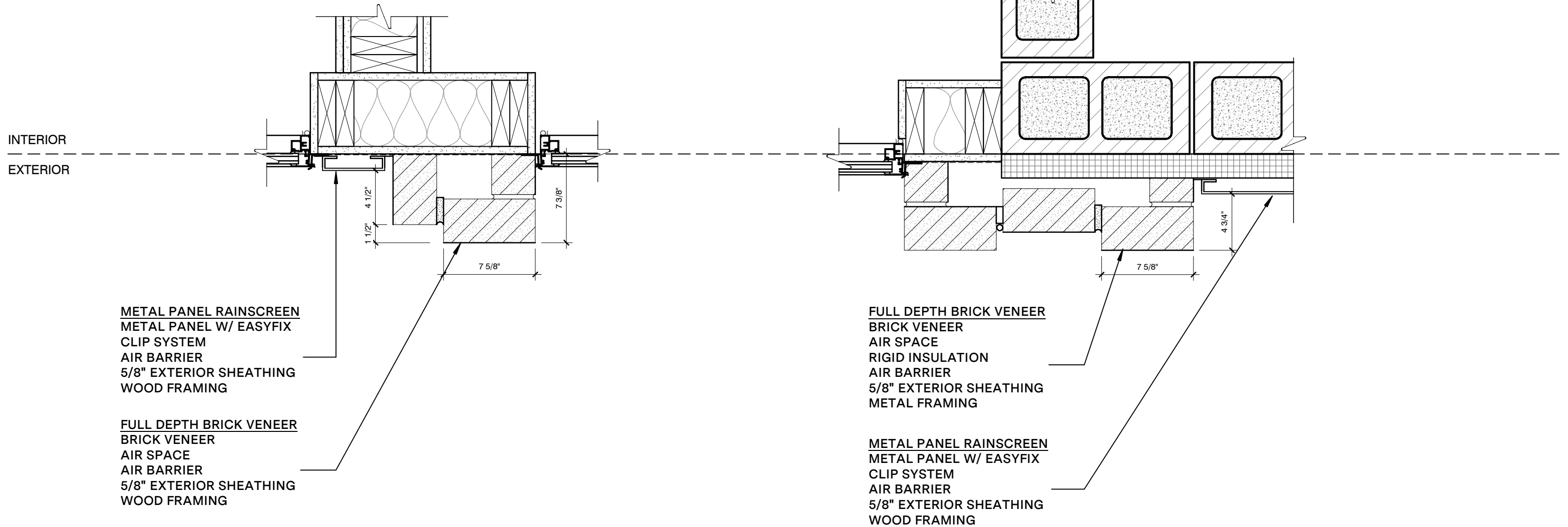
(C) BRICK PILASTER DETAIL
LEVEL 4 - LEVEL 6



THIN BRICK VENEER
BRICK VENEER
5/8" CEMENT BOARD
CONTINUOUS INSULATION
AIR BARRIER
5/8" EXTERIOR SHEATHING
WOOD FRAMING

(A) BRICK TO METAL PANEL TRANSITION
LEVEL 2- LEVEL 6

(B) BRICK PILASTER TO METAL PANEL TRANSITION
LEVEL 1 - LEVEL 6



A1. Street Frontage

	<u>Allowable:</u>	<u>Actual:</u>
Multiple Principal Buildings:	Permitted	Complies
Front Property Line Coverage:	75% minimum	Complies; 85%
Occupation of Corner:	Required	Complies
Front RBZ:	0ft - 15ft	Complies
Corner Side RBZ:	0ft - 15ft	Complies
RBZ Treatment:	Landscape, Patio, or Streetscape; along West Dublin-Granville Road, Streetscape required	Complies
Right-of-Way Encroachment:	0ft - 15ft	Complies

A2. Buildable Area

	<u>Allowable:</u>	<u>Actual:</u>
Minimum Side Yard Setback:	5ft	Complies; 30'-0"
Minimum Rear Yard Setback:	5ft	N/A
Minimum Lot Width:	50ft	Complies; 253'-0"
Maximum Lot Width:	None	N/A
Maximum Impervious Coverage:	80%	87%
Additional Semi-Pervious Coverage:	10%	N/A

A3. Parking Location & Loading

	<u>Allowable:</u>	<u>Actual:</u>
Parking Location:	Rear yard; within building	Adjacent Site
Loading Facility Location:	Rear & side Facade	Side Facade
Entry for Parking within Building:	Rear & side facade; corner side facade on non-principal frontage streets	N/A
Access:	Refer to 153.062(N)(1)(c)	Complies

FDP Waiver Requests

B. Height

	<u>Allowable:</u>	<u>Actual:</u>
Minimum Height:	3 stories	Complies
Maximum Height:	6 stories	6 Total Stories
Ground Stories - Minimum Height:	12ft	Complies; 16ft
Ground Stories - Maximum Height:	16ft	16ft
Stories - Minimum Height:	10ft	Complies; 10'-3"
Stories - Maximum Height:	14ft	

C. Uses & Occupancy Requirements

	<u>Allowable:</u>	<u>Actual:</u>
Ground Story:	Residential and general office uses are prohibited in shopping corridors; Podium parking structures are conditional uses in accordance with 153.059(C)(3)(g)	N/A
Upper Story:	No additional requirements	Complies
Parking within Building:	Permitted in the rear of the first 3 floors and fully in any basement(s)	N/A
Occupied Space:	Minimum 30ft depth facing street(s)	Complies See plan for hotel BOH spaces

D1. Street Facade Transparency

	<u>Allowable:</u>	<u>Actual:</u>
Ground Story Street Facing Transparency:	Minimum 60% required	Ref. Elevations
Transparency:	Minimum 30%	Ref. Elevations
Blank Wall Limitations	Required	Ref. Elevations

D2. Non-Street Facade Transparency

	<u>Allowable:</u>	<u>Actual:</u>
Transparency:	Minimum 15%	Ref. Elevations
Blank Wall Limitations:	Required	Ref. Elevations

153.062 (D-N) General Design Requirements

153.062 (N) (4)5. Vents located at the exterior facade for hotel room mechanical systems.

153.062 (E) a. Vertical Transitions in facade materials shall occur at inside corners.

153.062 (h) F. Windows in masonry walls shall have architecturally appropriate lintels and projectings sills.

D3. Building Entrance

	<u>Allowable:</u>	<u>Actual:</u>
Principal Entrance Location:	Primary street facade of building	Complies
Street Facades - Number of Entrances:	1 per 75ft of facade minimum	Ref. Elevations
Parking Lot Facades - Number of Entrances:	1 per 100ft of facade minimum	N/A
Mid-Building Pedestrianway:	In shopping corridors, required for buildings greater than 250ft in length	N/A

D4. Facade Divisions

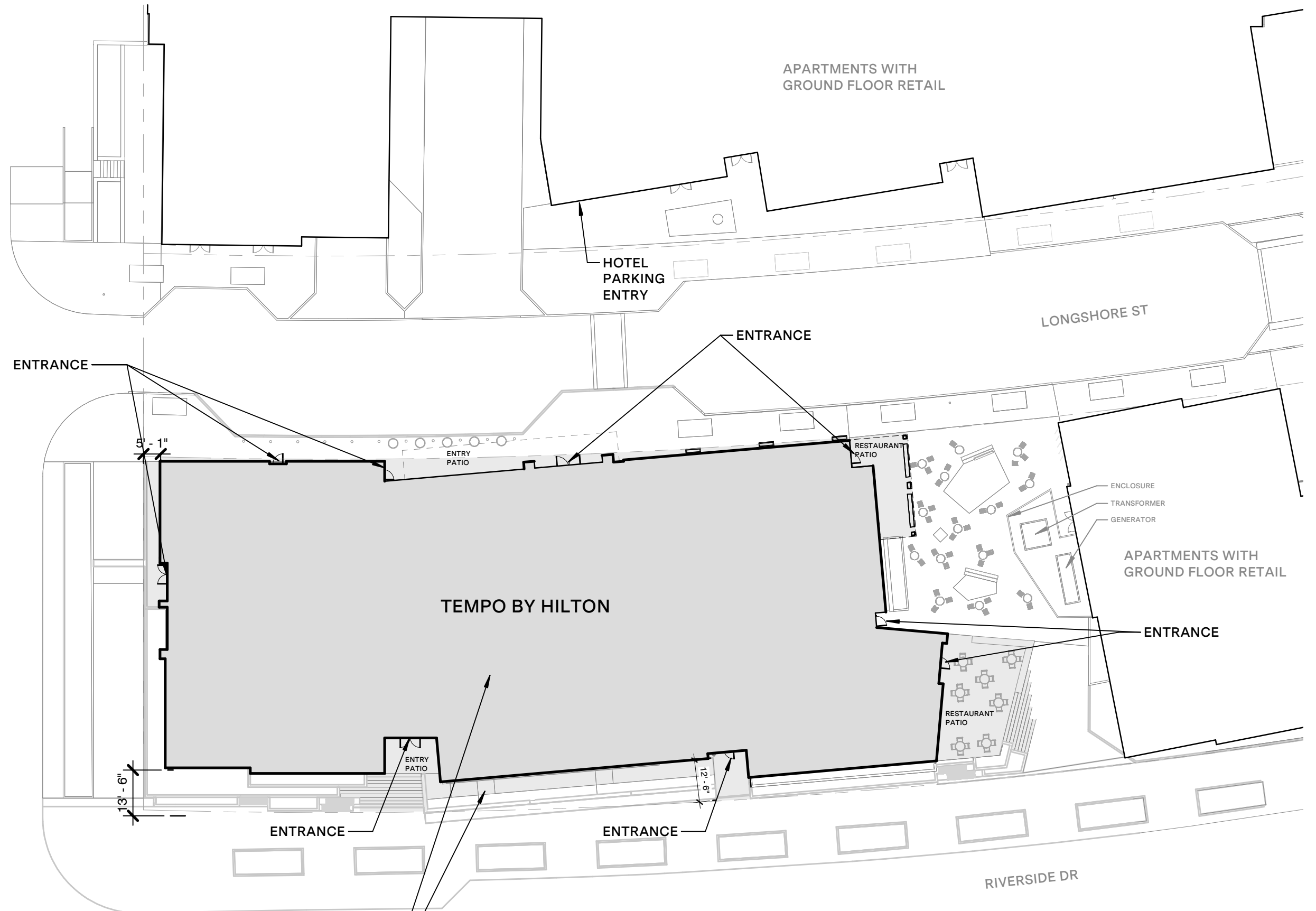
	<u>Allowable:</u>	<u>Actual:</u>
Vertical Increments:	No greater than 45ft	Ref. Elevations
Horizontal Facade Divisions:	On buildings 3 stories or taller, required within 3ft of the top of the ground story. Required at any building step-back	Complies - Ref. Elevations
Required Change in Roof Plane or Type:	None	N/A

D5. Facade Materials

	<u>Allowable:</u>	<u>Actual:</u>
Permitted Primary Materials:	Stone, Brick, Glass	Ref. Elevations

D6. Roof Types

	<u>Allowable:</u>	<u>Actual:</u>
Permitted Types:	Parapet, pitched roof, flat roof;; other types may be permitted with approval	Ref. Elevations
Tower:	Permitted of facades only at terminal vistas, corners at two principal frontage streets, and/or adjacent to an open space	Ref. Elevations



BUILDING FOOTPRINT: 19,830 SF
 IMPERVIOUS ZONE: 2,941 SF

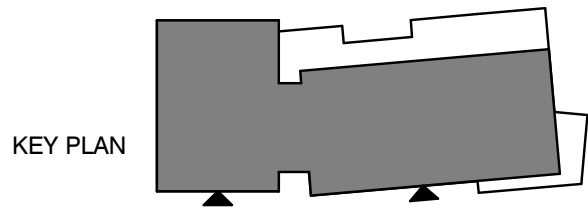
EAST ELEVATION FACADE REQUIREMENTS

<p>TRANSPARENCY</p> <p>GROUND LEVEL: HEIGHT: BETWEEN 2'-8" ABOVE SIDEWALK ZONE AREA: 1365 SF GLAZING AREA: 703 SF REQUIRED: 60% min PROVIDED: 55%</p> <p>UPPER LEVEL: HEIGHT: 10'-0" ZONE AREA: 2083 SF GLAZING AREA: 638 SF REQUIRED: 30% min PROVIDED: 31%</p> <p>BLANK WALL LIMITATION REQUIRED: YES PROVIDED: - 20% (NO MORE THAN 30% OF BUILDING FACADE GREATER THAN 15'-0")</p>	<p>NUMBER OF ENTRANCES</p> <p>FACADE LENGTH: 217'-0" / 75 = 3 REQUIRED: 3 (1 PER 75') PROVIDED: 3</p> <p>VERTICAL FACADE DIVISIONS</p> <p>REQUIRED: YES (NO GREATER THAN 45') PROVIDED: YES (PILASTER DETAILING)</p> <p>HORIZONTAL FACADE DIVISIONS</p> <p>REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY) PROVIDED: YES (WITH MATERIAL CHANGE AND HORIZONTAL ORNAMENTATION.)</p>	<p>FACADE MATERIALS AND AREAS</p> <table border="0"> <tr> <td>TOTAL FACADE AREA MINUS WINDOWS AND DOORS:</td> <td>12,086 SF</td> </tr> <tr> <td>PRIMARY: FULL DEPTH BRICK</td> <td>5,166 SF</td> </tr> <tr> <td>PRIMARY: GLAZING (STOREFRONT)</td> <td>1,355 SF</td> </tr> <tr> <td>SECONDARY: THIN BRICK</td> <td>3,241 SF</td> </tr> <tr> <td>SECONDARY: LOUVERS</td> <td>729 SF</td> </tr> <tr> <td>SECONDARY: METAL PANEL</td> <td>1,220 SF</td> </tr> <tr> <td>SECONDARY: WOOD PANEL</td> <td>375 SF</td> </tr> </table> <p>PRIMARY MATERIALS REQUIRED: 80% PROVIDED: 54% (81% WITH HALF BRICK VENEER)</p> <p>SECONDARY MATERIALS REQUIRED: <20%</p> <p>STREET FACADE: YES PRINCIPLE ENTRANCE: YES</p>	TOTAL FACADE AREA MINUS WINDOWS AND DOORS:	12,086 SF	PRIMARY: FULL DEPTH BRICK	5,166 SF	PRIMARY: GLAZING (STOREFRONT)	1,355 SF	SECONDARY: THIN BRICK	3,241 SF	SECONDARY: LOUVERS	729 SF	SECONDARY: METAL PANEL	1,220 SF	SECONDARY: WOOD PANEL	375 SF
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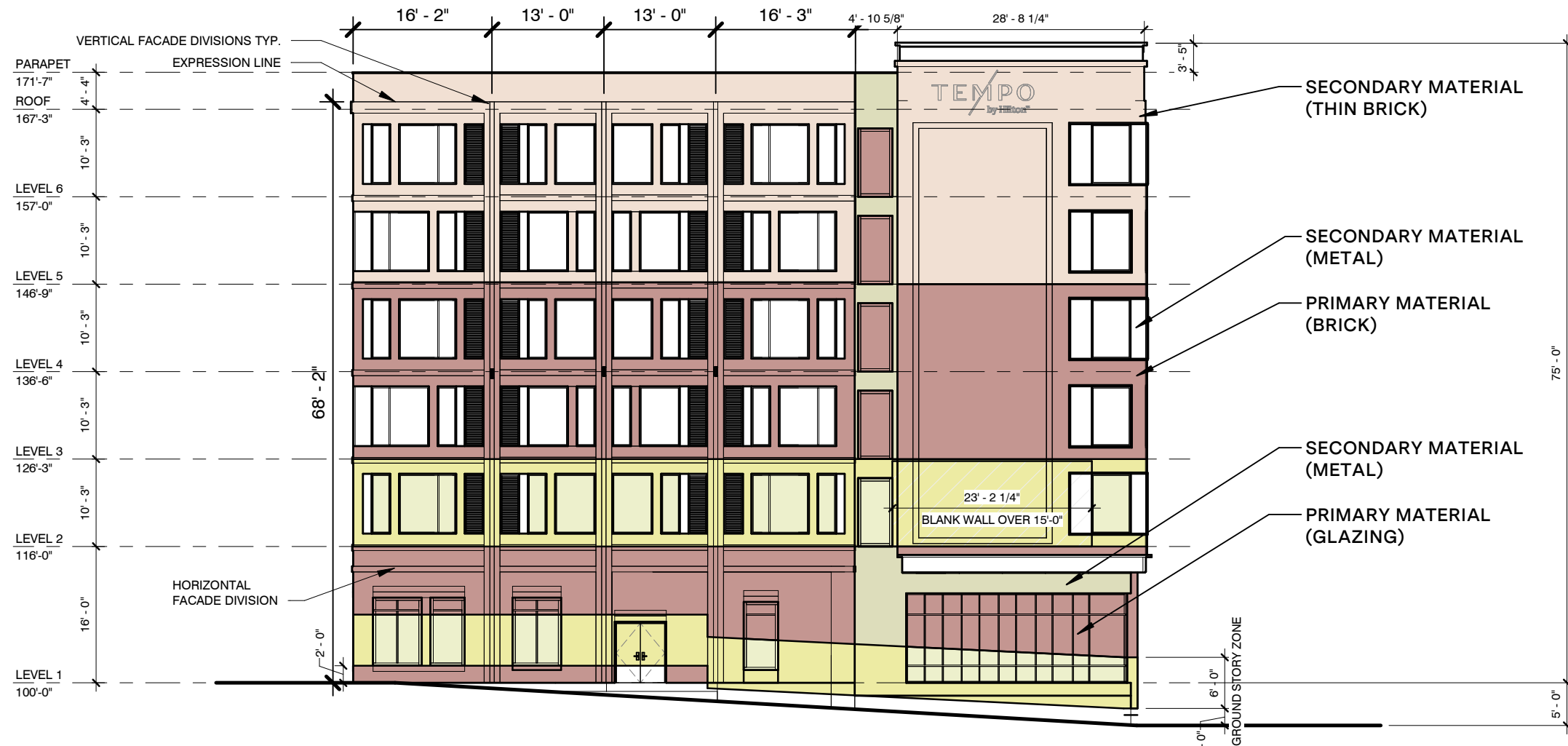
WEST ELEVATION FACADE REQUIREMENTS

<p>TRANSPARENCY</p> <p>GROUND LEVEL: HEIGHT: BETWEEN 2'-8" ABOVE SIDEWALK ZONE AREA: 1,386 SF GLAZING AREA: 499 SF REQUIRED: 60% min PROVIDED: 36%</p> <p>UPPER LEVEL: HEIGHT: 10'-0" ZONE AREA: 2,131 SF GLAZING AREA: 770 SF REQUIRED: 30% min PROVIDED: 36%</p> <p>BLANK WALL LIMITATION REQUIRED: YES PROVIDED: N/A (NO MORE THAN 30% OF BUILDING FACADE GREATER THAN 15'-0")</p>	<p>NUMBER OF ENTRANCES</p> <p>FACADE LENGTH: 225'-0" / 75 = 3 REQUIRED: 3 (1 PER 75') PROVIDED: 3</p> <p>VERTICAL FACADE DIVISIONS</p> <p>REQUIRED: YES (NO GREATER THAN 45') PROVIDED: YES (WITH RECESSED AREAS AND PILASTER DETAILING)</p> <p>HORIZONTAL FACADE DIVISIONS</p> <p>REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY) PROVIDED: YES (WITH MATERIAL CHANGE AND HORIZONTAL ORNAMENTATION.)</p>	<p>FACADE MATERIALS AND AREAS</p> <p>TOTAL FACADE AREA MINUS WINDOWS AND DOORS: 12,398 SF</p> <p>PRIMARY: FULL DEPTH BRICK 4,660 SF PRIMARY: GLAZING (STOREFRONT) 1,990 SF</p> <p>SECONDARY: THIN BRICK 2,813 SF SECONDARY: LOUVERS 1,063 SF SECONDARY: METAL PANEL 1,808 SF SECONDARY: WOOD 63 SF</p> <p>PRIMARY MATERIALS REQUIRED: 80% PROVIDED: 54% (76% WITH THIN BRICK VENEER)</p> <p>SECONDARY MATERIALS REQUIRED: <20%</p> <p>STREET FACADE: YES PRINCIPLE ENTRANCE: YES</p>
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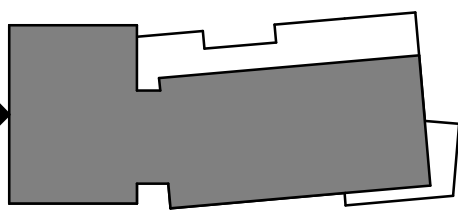


NORTH ELEVATION FACADE REQUIREMENTS

<p>TRANSPARENCY</p> <p>GROUND LEVEL: HEIGHT: BETWEEN 2'-8" ABOVE SIDEWALK ZONE AREA: 547 SF GLAZING AREA: 185 SF REQUIRED: 60% min PROVIDED: 37%</p> <p>UPPER LEVEL: HEIGHT: 10'-0" ZONE AREA: 946 SF GLAZING AREA: 283 SF REQUIRED: 30% min PROVIDED: 30%</p> <p>BLANK WALL LIMITATION REQUIRED: YES PROVIDED: 25% (NO MORE THAN 30% OF BUILDING FACADE GREATER THAN 15'-0")</p>	<p>NUMBER OF ENTRANCES</p> <p>FACADE LENGTH: 90'-0" / 75 = 2 REQUIRED: 2 (1 PER 75') PROVIDED: 1</p> <p>VERTICAL FACADE DIVISIONS</p> <p>REQUIRED: YES (NO GREATER THAN 45') PROVIDED: YES (PILASTER DETAILING)</p> <p>HORIZONTAL FACADE DIVISIONS</p> <p>REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY) PROVIDED: YES (WITH MATERIAL CHANGE AND HORIZONTAL ORNAMENTATION.)</p>	<p>FACADE MATERIALS AND AREAS</p> <table border="0"> <tr> <td>TOTAL FACADE AREA MINUS WINDOWS AND DOORS:</td> <td>5,272 SF</td> </tr> <tr> <td>PRIMARY: FULL DEPTH BRICK</td> <td>2,353 SF</td> </tr> <tr> <td>PRIMARY: GLAZING (STOREFRONT)</td> <td>588 SF</td> </tr> <tr> <td>SECONDARY: THIN BRICK</td> <td>1,444 SF</td> </tr> <tr> <td>SECONDARY: LOUVERS</td> <td>303 SF</td> </tr> <tr> <td>SECONDARY: METAL PANEL</td> <td>270 SF</td> </tr> <tr> <td>SECONDARY: WOOD</td> <td>315 SF</td> </tr> </table> <p>PRIMARY MATERIALS REQUIRED: 80% PROVIDED: 56% (83% WITH THIN BRICK VENEER)</p> <p>SECONDARY MATERIALS REQUIRED: <20%</p> <p>STREET FACADE: YES PRINCIPLE ENTRANCE: NO</p>	TOTAL FACADE AREA MINUS WINDOWS AND DOORS:	5,272 SF	PRIMARY: FULL DEPTH BRICK	2,353 SF	PRIMARY: GLAZING (STOREFRONT)	588 SF	SECONDARY: THIN BRICK	1,444 SF	SECONDARY: LOUVERS	303 SF	SECONDARY: METAL PANEL	270 SF	SECONDARY: WOOD	315 SF
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SECONDARY: LOUVERS	303 SF															
SECONDARY: METAL PANEL	270 SF															
SECONDARY: WOOD	315 SF															

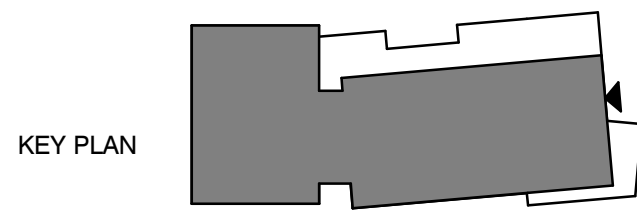
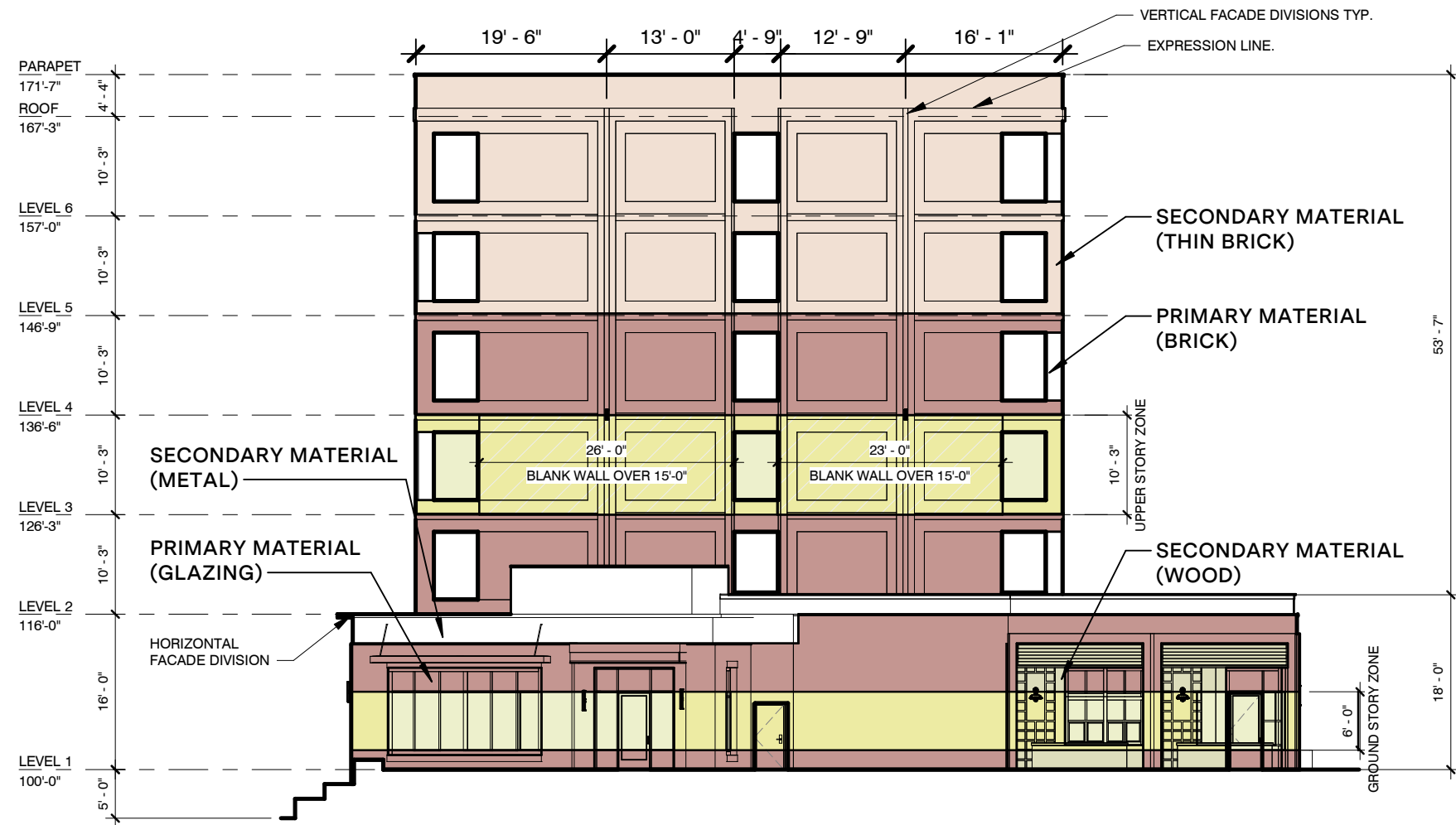


KEY PLAN



SOUTH ELEVATION FACADE REQUIREMENTS

<p>TRANSPARENCY</p> <p>GROUND LEVEL: HEIGHT: BETWEEN 2'-8" ABOVE SIDEWALK ZONE AREA: 581 SF GLAZING AREA: 176 SF REQUIRED: 15% min PROVIDED: 30%</p> <p>UPPER LEVEL: HEIGHT: 10'-0" ZONE AREA: 678 SF GLAZING AREA: 95 SF REQUIRED: 15% min PROVIDED: 14%</p> <p>BLANK WALL LIMITATION REQUIRED: YES PROVIDED: (74%) (NO MORE THAN 30% OF BUILDING FACADE GREATER THAN 15'-0")</p>	<p>NUMBER OF ENTRANCES</p> <p>FACADE LENGTH: 96'-0" / 75 = 2 REQUIRED: 2 (1 PER 75') PROVIDED: 3</p> <p>VERTICAL FACADE DIVISIONS</p> <p>REQUIRED: YES (NO GREATER THAN 45') PROVIDED: YES (PILASTER DETAILING)</p> <p>HORIZONTAL FACADE DIVISIONS</p> <p>REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY) PROVIDED: YES (WITH MATERIAL CHANGE AND HORIZONTAL ORNAMENTATION.)</p>	<p>FACADE MATERIALS AND AREAS</p> <table border="0"> <tr> <td>TOTAL FACADE AREA MINUS WINDOWS AND DOORS:</td> <td>4,645 SF</td> </tr> <tr> <td>PRIMARY: FULL DEPTH BRICK</td> <td>2,343 SF</td> </tr> <tr> <td>PRIMARY: GLAZING (STOREFRONT)</td> <td>350 SF</td> </tr> <tr> <td>SECONDARY: THIN BRICK</td> <td>1,325 SF</td> </tr> <tr> <td>SECONDARY: LOUVERS</td> <td>0 SF</td> </tr> <tr> <td>SECONDARY: METAL PANEL</td> <td>421 SF</td> </tr> <tr> <td>SECONDARY: WOOD</td> <td>206 SF</td> </tr> </table> <p>PRIMARY MATERIALS REQUIRED: 80% PROVIDED: 64% (94% WITH HALF BRICK VENEER)</p> <p>SECONDARY MATERIALS REQUIRED: <20%</p> <p>STREET FACADE: NO PRINCIPLE ENTRANCE: NO</p>	TOTAL FACADE AREA MINUS WINDOWS AND DOORS:	4,645 SF	PRIMARY: FULL DEPTH BRICK	2,343 SF	PRIMARY: GLAZING (STOREFRONT)	350 SF	SECONDARY: THIN BRICK	1,325 SF	SECONDARY: LOUVERS	0 SF	SECONDARY: METAL PANEL	421 SF	SECONDARY: WOOD	206 SF
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WAIVER SUMMARY

- Waiver Requests highlighted in green on prior pages

1) 153.062 (E) 2a Materials:

Vertical Transitions in materials shall occur at inside corners

In select areas of the building there are material transitions from brick to wood, and brick to metal panel. These areas are detailed with brick framing to give additional depth to the transition that is already larger due to the brick wall assembly.

2) 153.062 (H) 1f Windows, Shutters, Awnings and Canopies:

Windows in masonry walls shall have architecturally appropriate lintels and projecting sills.

All windows in masonry walls at the ground level have lintels and projecting sills. However, above the first floor the traditional lintel and sill is centered between window bays. This strategy reinforces the grid pattern on the brick facade without introducing extraneous detailing.

3) D1. 3b Transparency:

The East Elevation is under the required 60% transparency requirement due to the location of back of house spaces and relocated water room along this facade.

4) D3. Building Entrance:

A second entry on the North Elevation was removed due to planning changes to the back of house area of the hotel.

4) D5. Facade Materials

The West Elevation primary materials are under the 80% requirement due to the amount of metal louvers on this facade, which are required per hotel VTAC system.







