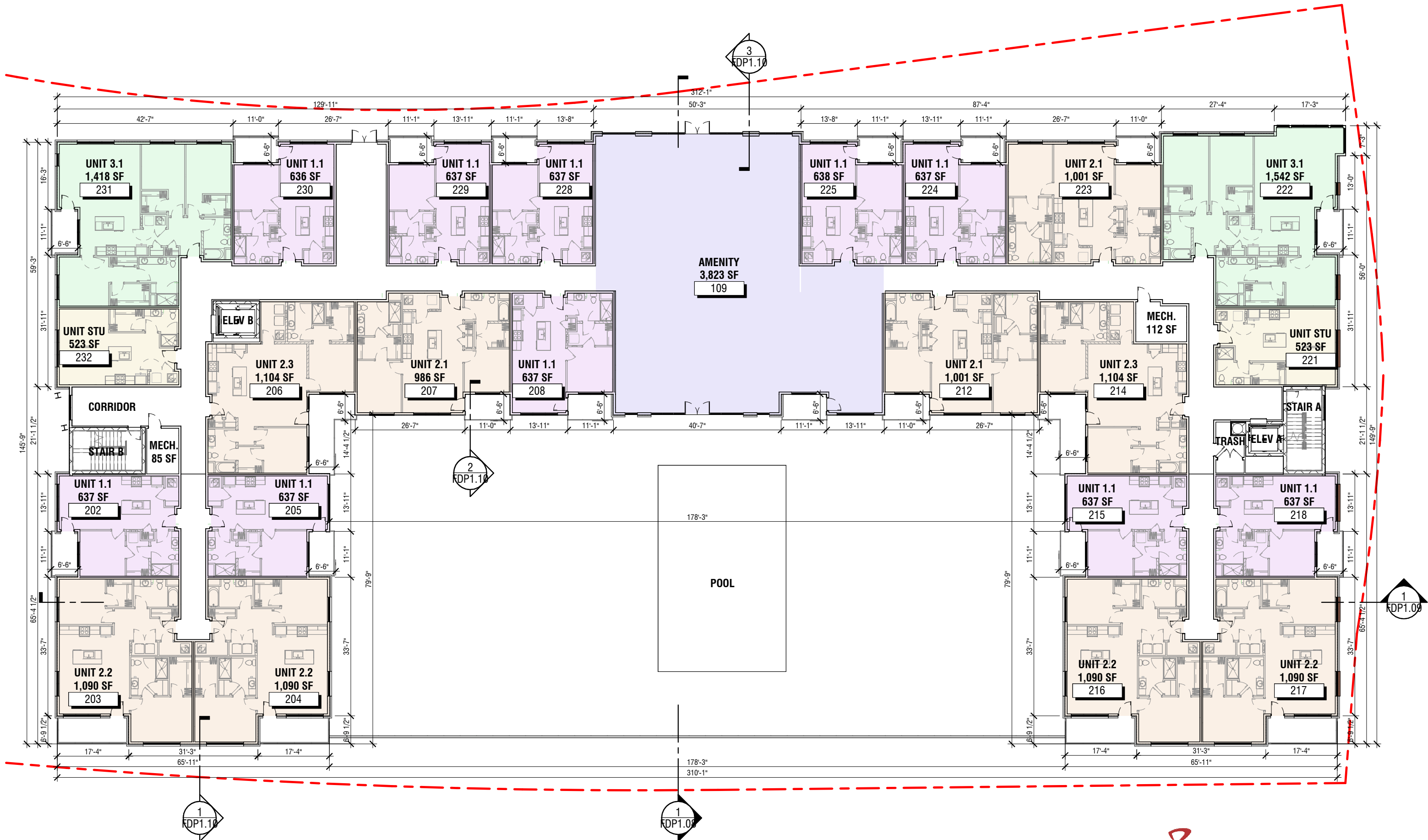


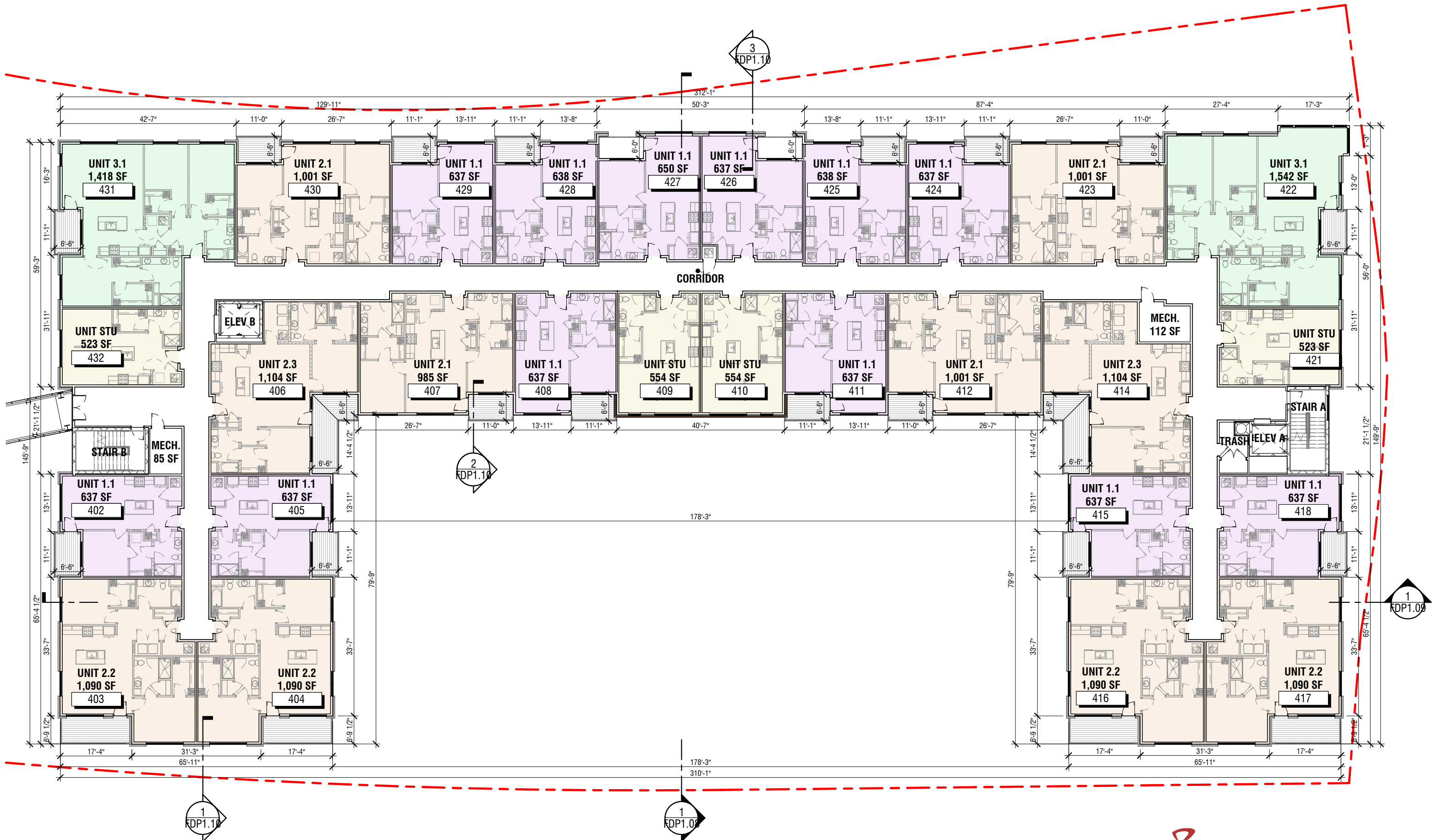
01 LEVEL PRESENTATION PLAN
 SCALE 3/64" = 1'-0"



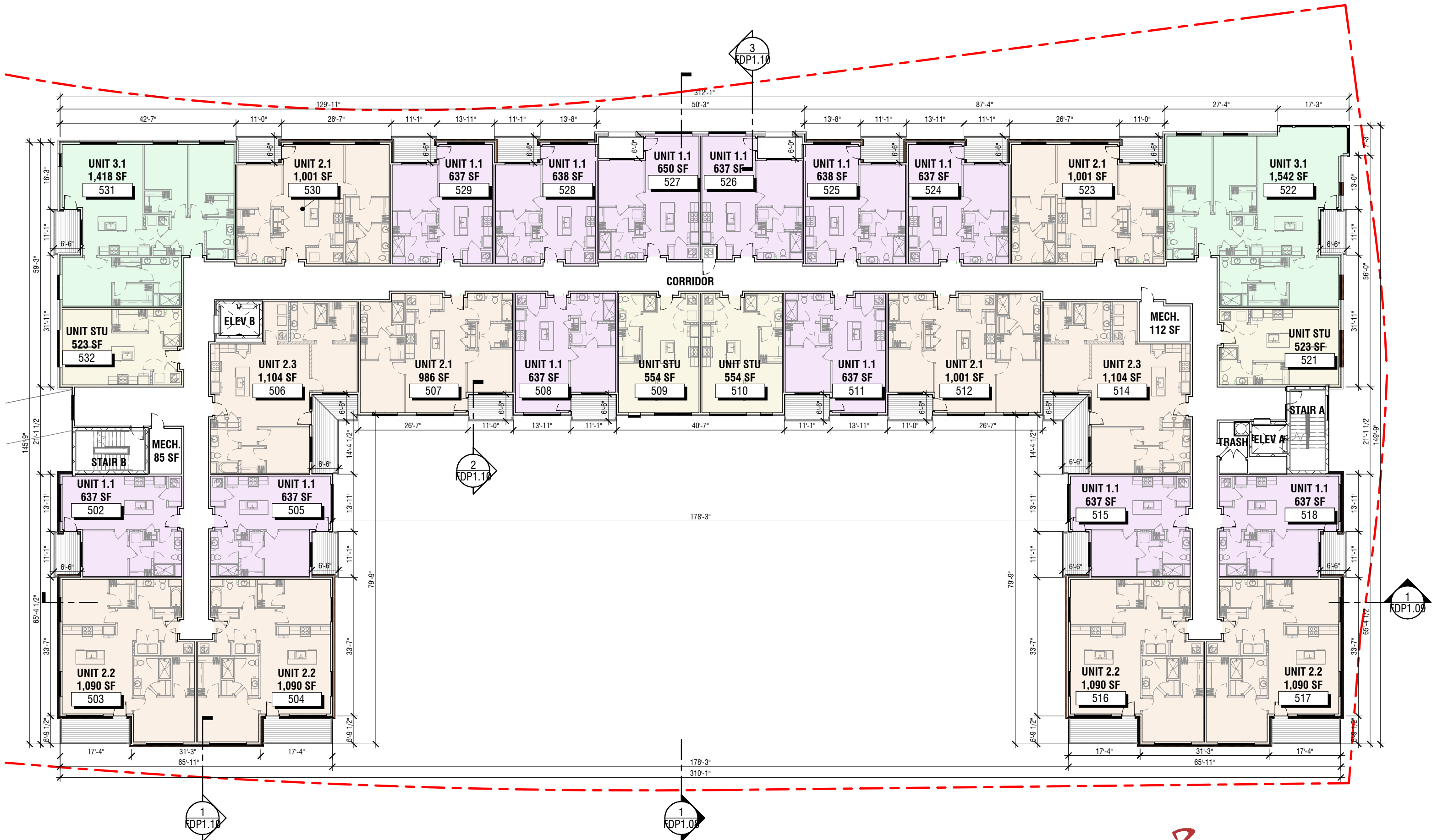
02 LEVEL PRESENTATION PLAN
SCALE 3/64" = 1'-0"



03 LEVEL PRESENTATION PLAN
SCALE 3/64" = 1'-0"



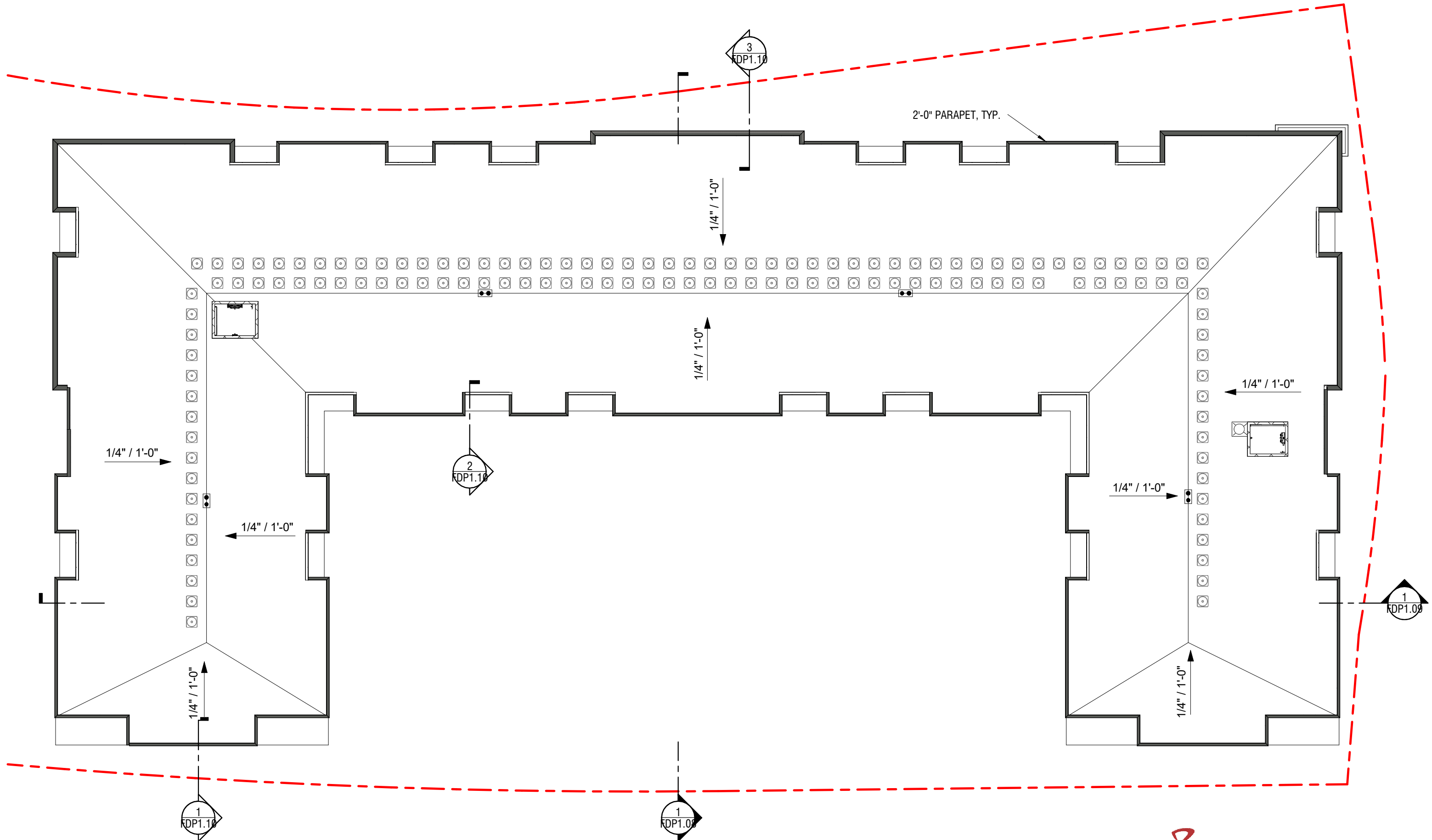
04 LEVEL PRESENTATION PLAN
SCALE 3/64" = 1'-0"



05 LEVEL PRESENTATION PLAN
SCALE 3/64" = 1'-0"



06 LEVEL PRESENTATION PLAN
SCALE 3/64" = 1'-0"



2'-0" PARAPET, TYP.

ROOF PRESENTATION PLAN
SCALE 3/64" = 1'-0"

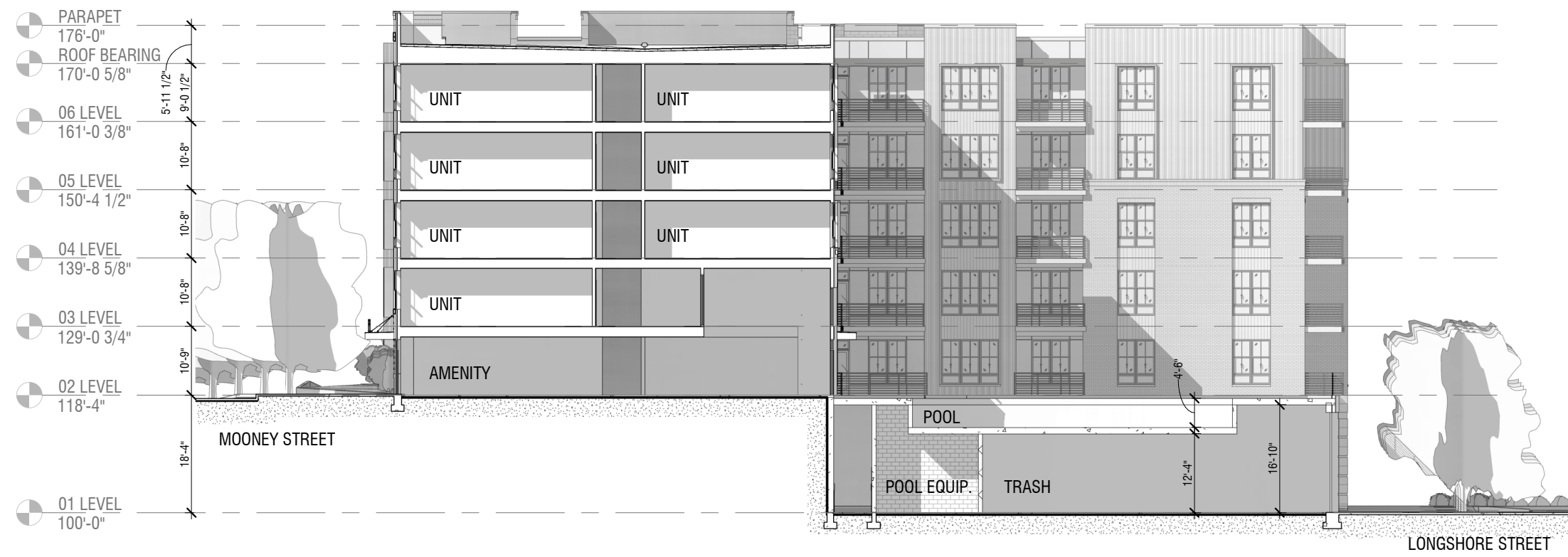
Daimler Bridge North - BUILDING A

	Parking Stalls	Total Gross Building Area	Retail (Gross)	Amenity (Gross)	Vertical Circulation (Gross)	Parking (Gross)	Total Residential Area	Unit 0.1	Unit 1.1	Unit 1.2	Unit 1.3	Unit 1+Den	Unit 2.1	Unit 2.2	Unit 2.3	Unit 3.1	Total units	Residential (NET)	Summary Table		
								523	637	668	637	815	1001	1090	1104	1418					
Level 01		23,934	1,772	-	462		-	-	-	-	-	-	-	-	-	-				Units	133
Level 02		29,388		3,823	641		24,924	2	9	-	-	-	4	4	2	2	23			Parking	0
Level 03		29,388		-	641		28,747	2	12	-	-	-	4	4	2	2	26			Unit Avg	877
Level 04		29,388		-	641		28,747	4	12	-	-	-	4	4	2	2	28				
Level 05		29,388		-	641		28,747	4	12	-	-	-	4	4	2	2	28			Total Gross Area	170,928
Level 06		29,442		-	641		28,801	4	12	-	-	-	4	4	2	2	28				
Totals	0	170,928	1,772	3,823	3,667	-	139,966	16	57	-	-	-	20	20	10	10	133				
								12%	43%				15%	15%	8%	8%					
							139,966	8,368	36,309				20,020	21,800	11,040	14,180			111,717	Res Efficiency	80%

Shared By Building	Unit Specific Summary - Total		
A, B, C	Studio	16	12%
B,C	1 Bed + Den	0	0%
A, B, C	1.1	57	43%
C	1.2	0	0%
B	1.3	0	0%
A, B, C	2.1	20	15%
A	2.2	20	15%
A	2.3	10	8%
A, B, C	3.1	10	8%
	Total	133	100%

Mix Summary		
Studio	16	12%
1 Bed	57	43%
1 Bed + Den	0	0%
2 Bed	50	38%
3 Bed	10	8%
	133	100%

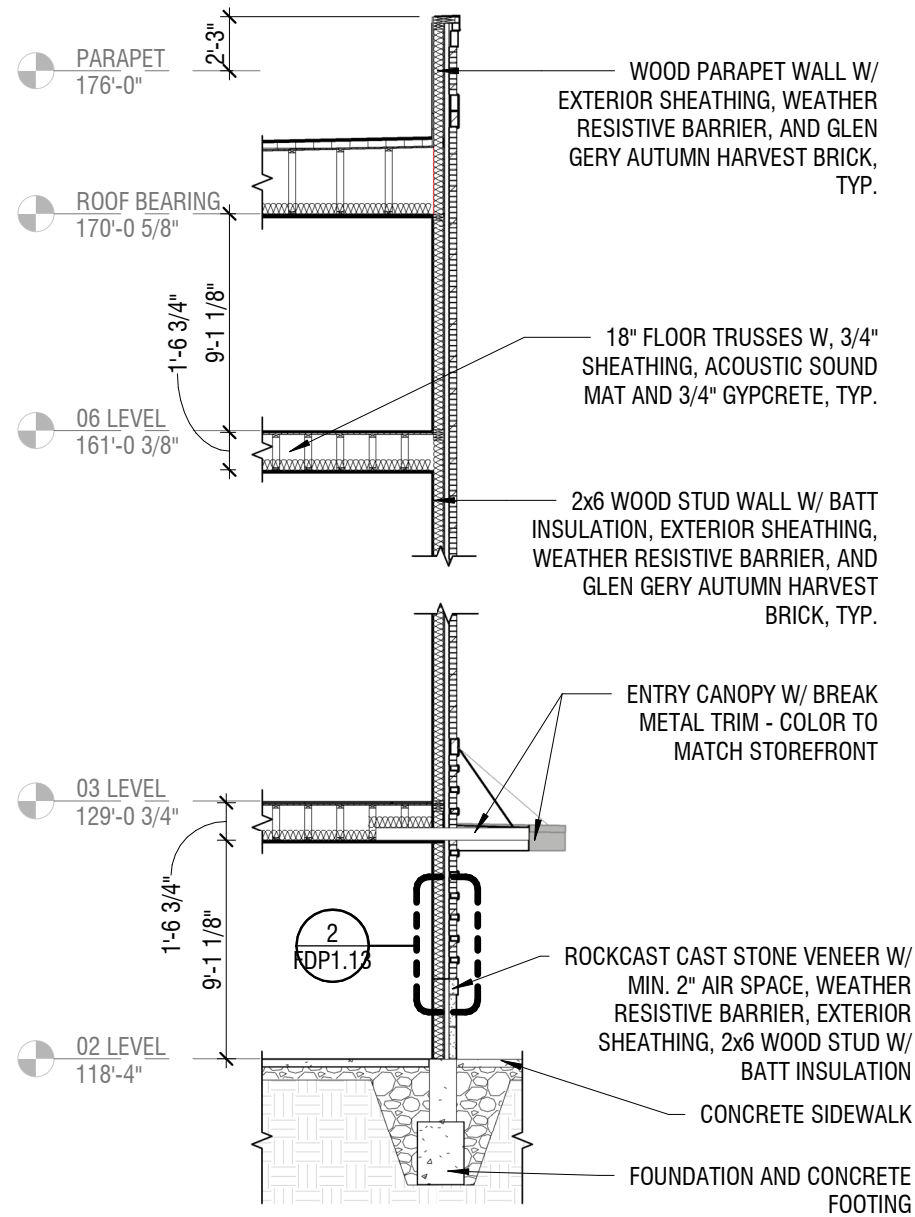
Site Totals Mix Summary		
Studio	51	17%
1 Bed	111	38%
1 Bed + Den	15	5%
2 Bed	95	32%
3 Bed	24	8%
	296	100%



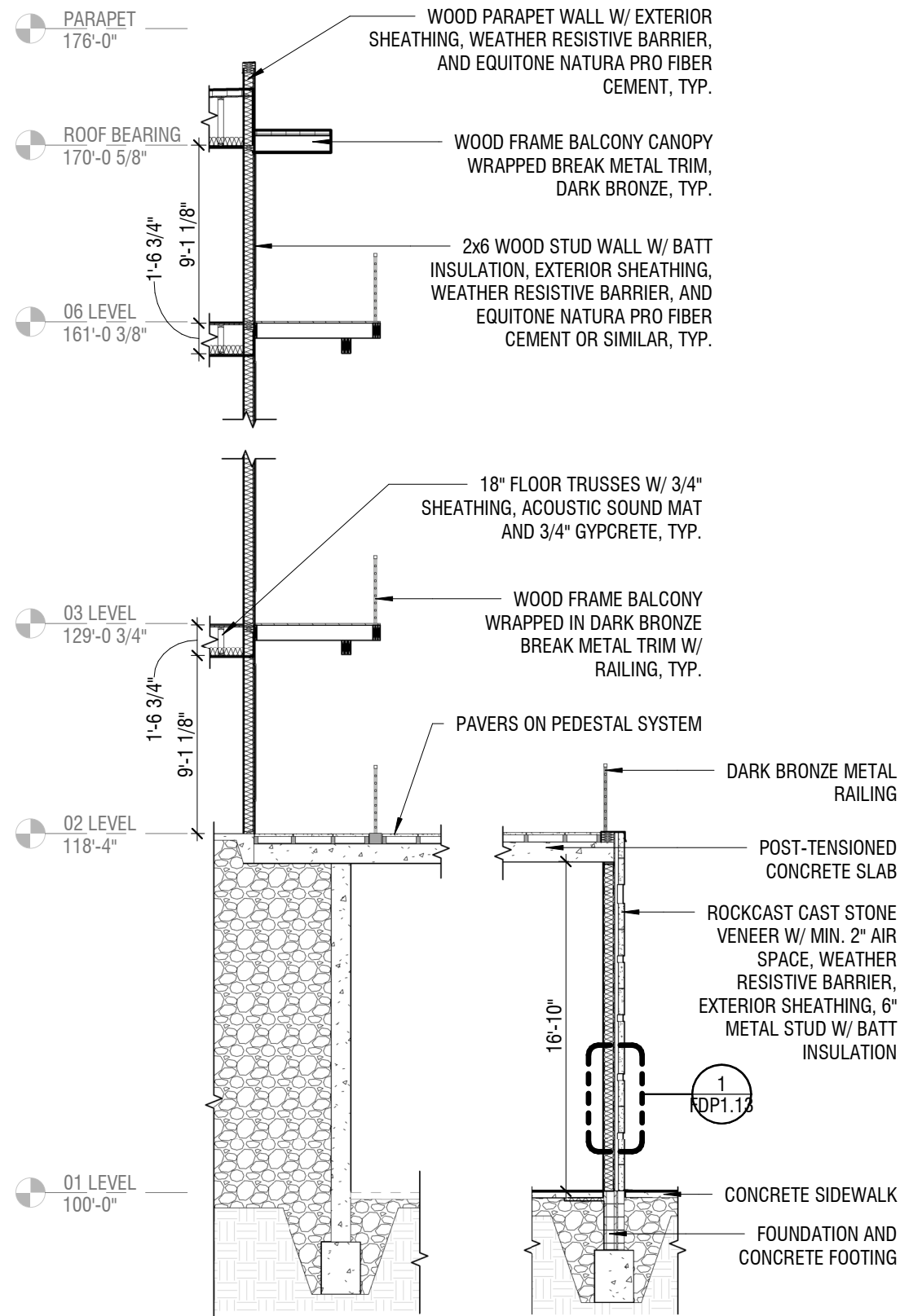
OVERALL EAST/WEST
 SCALE 3/64" = 1'-0"



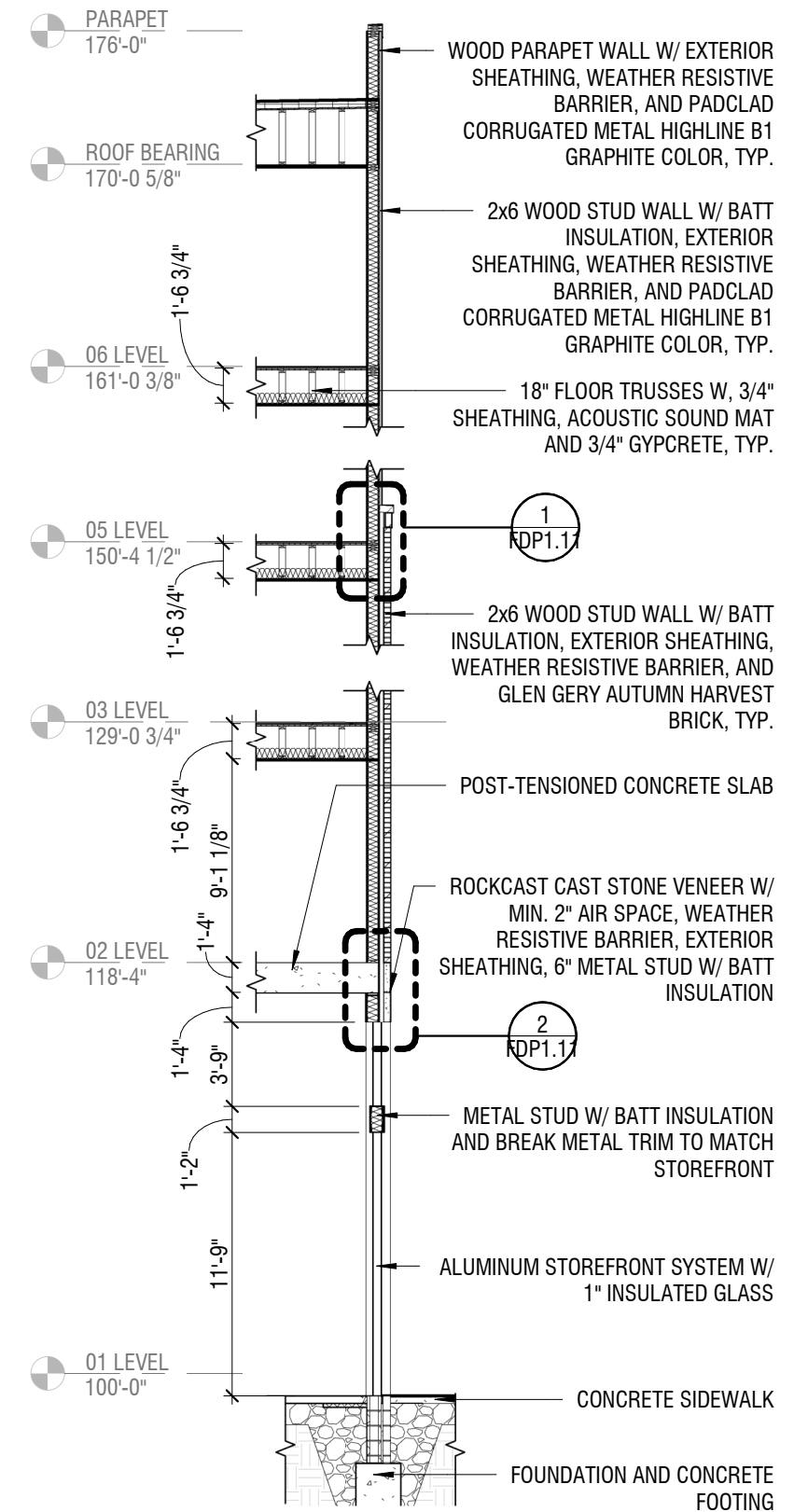
OVERALL NORTH/SOUTH
SCALE 3/64" = 1'-0"



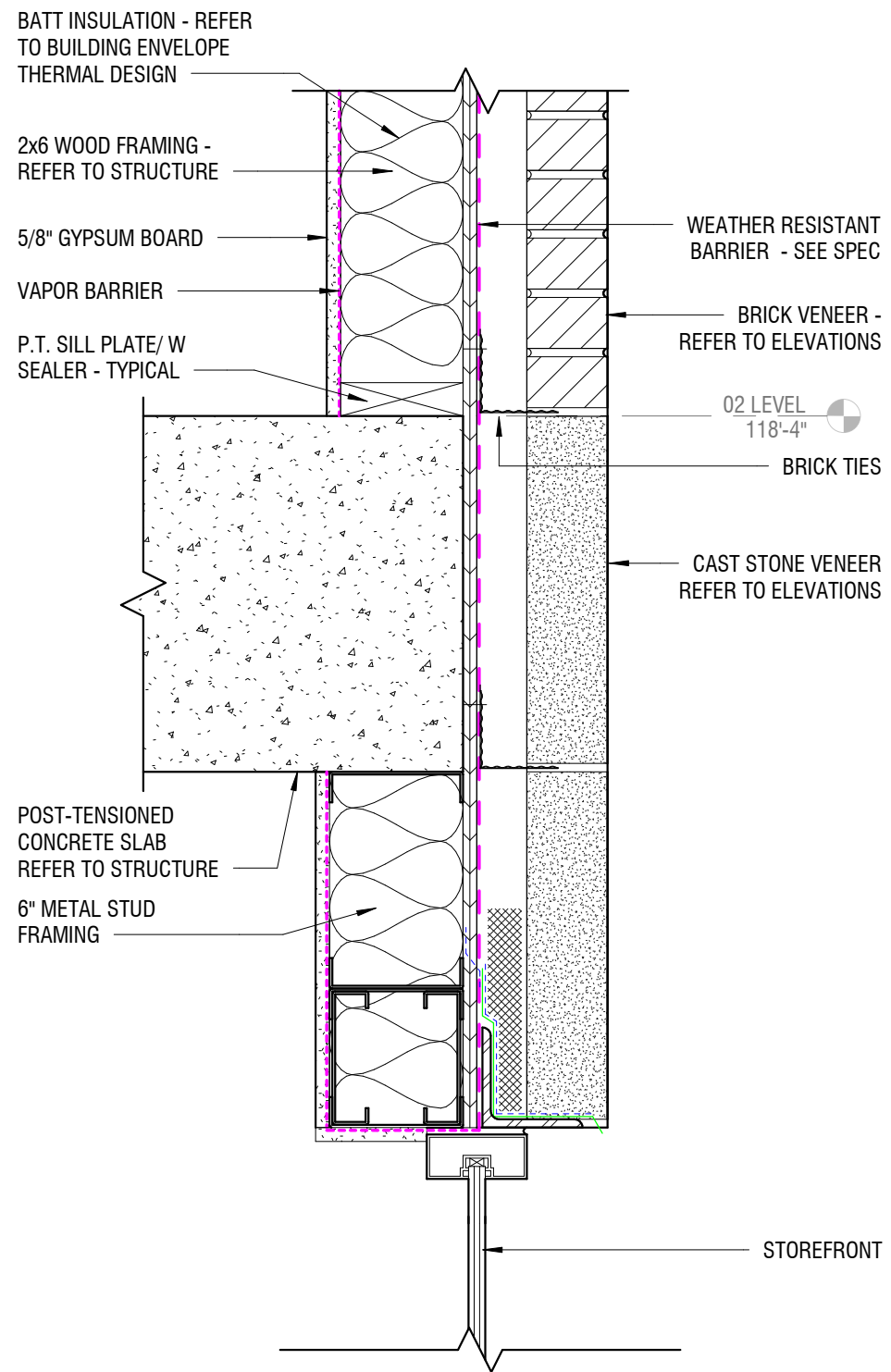
MOONEY ENTRY
SCALE 1/8" = 1'-0"



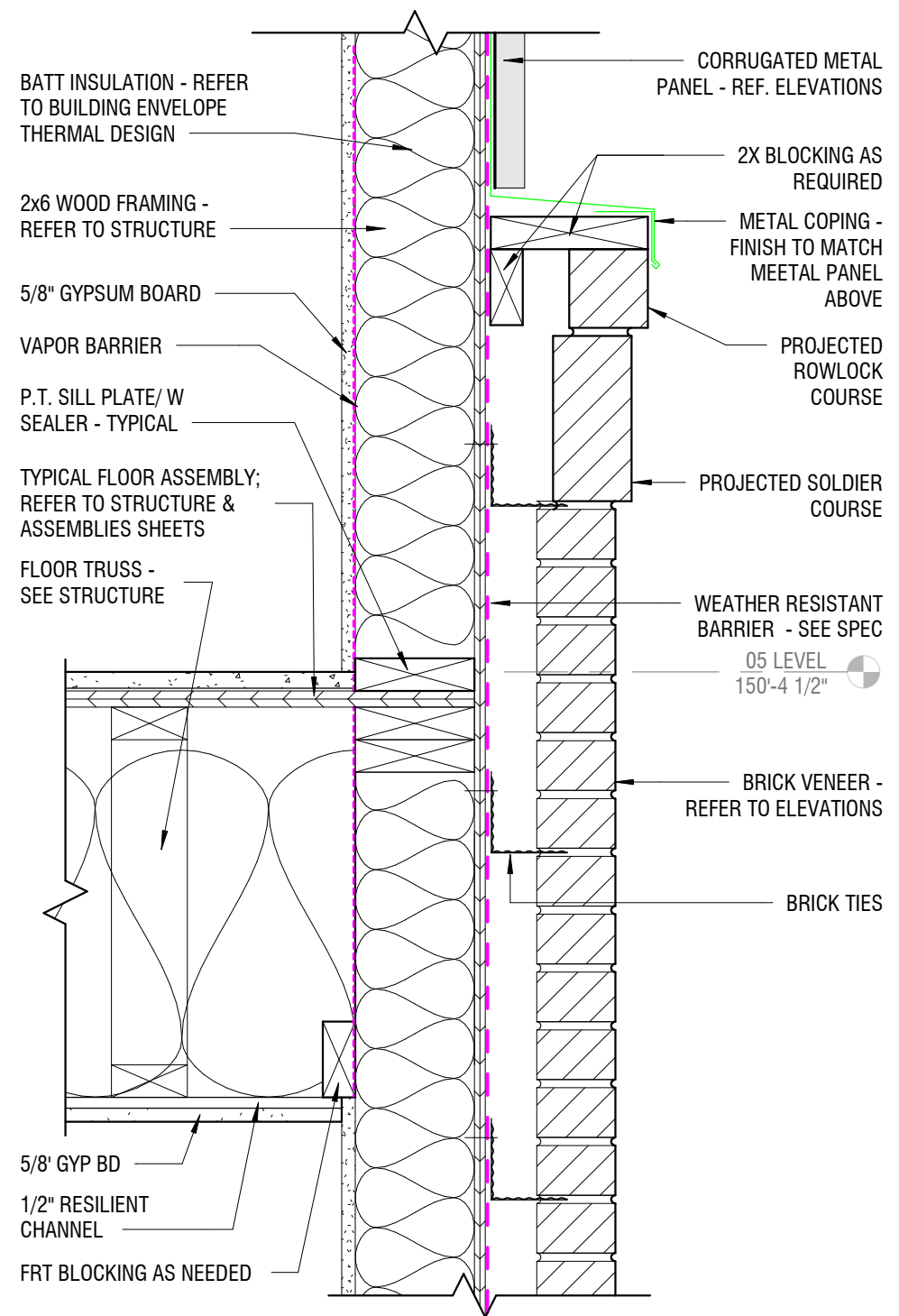
COURTYARD BALCONY
SCALE 1/8" = 1'-0"



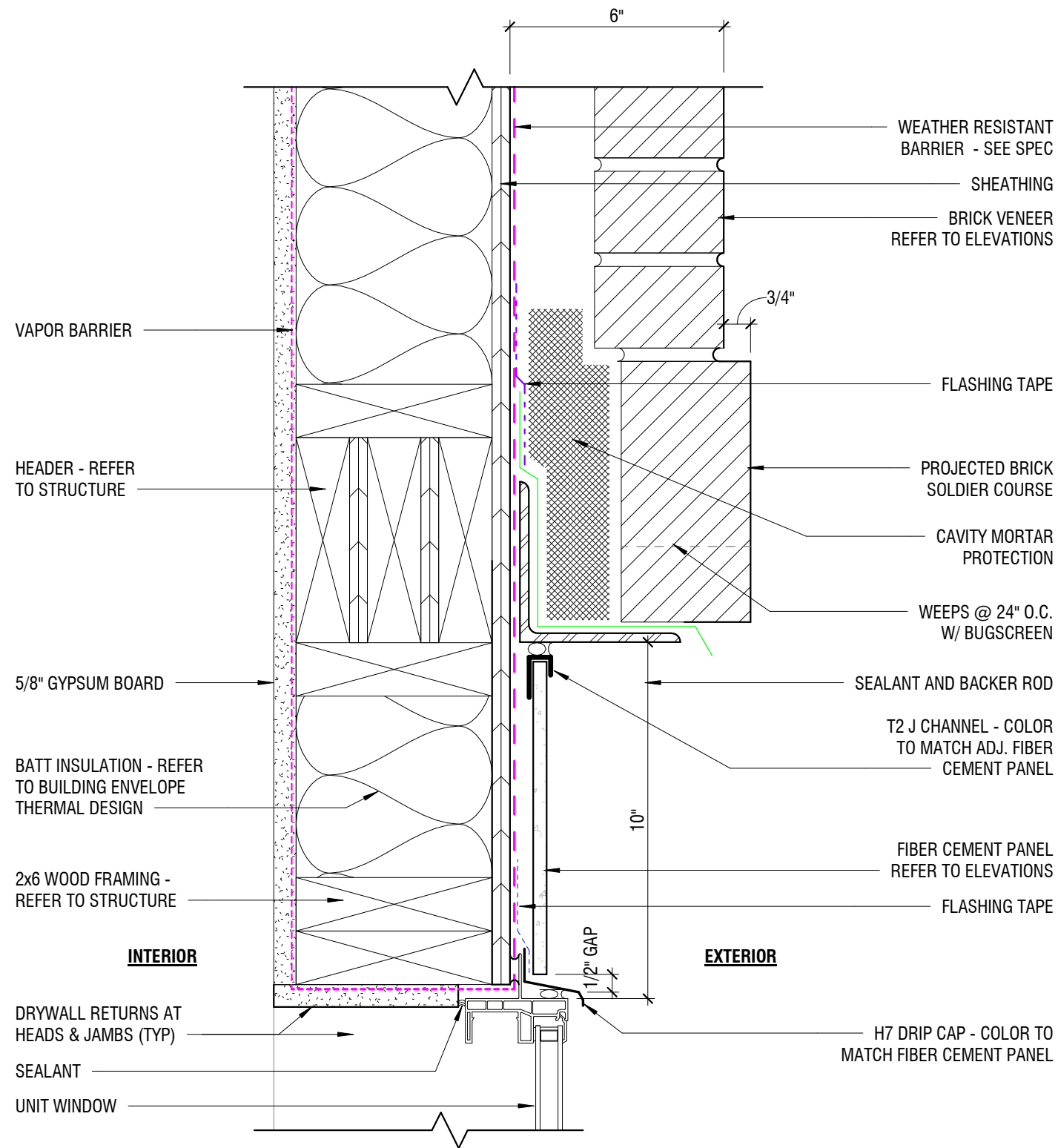
TYPICAL
SCALE 1/8" = 1'-0"



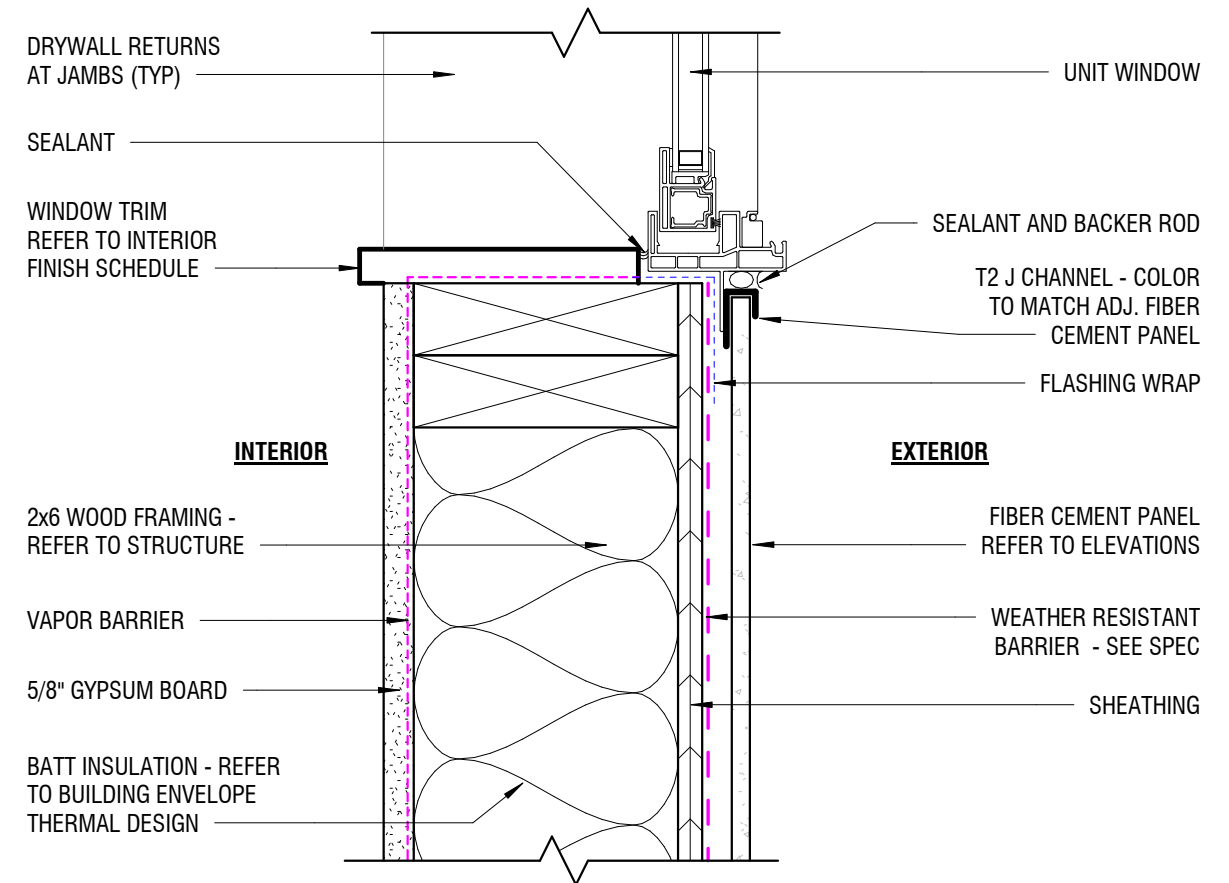
BRICK OVER STONE
SCALE 1 1/2" = 1'-0"



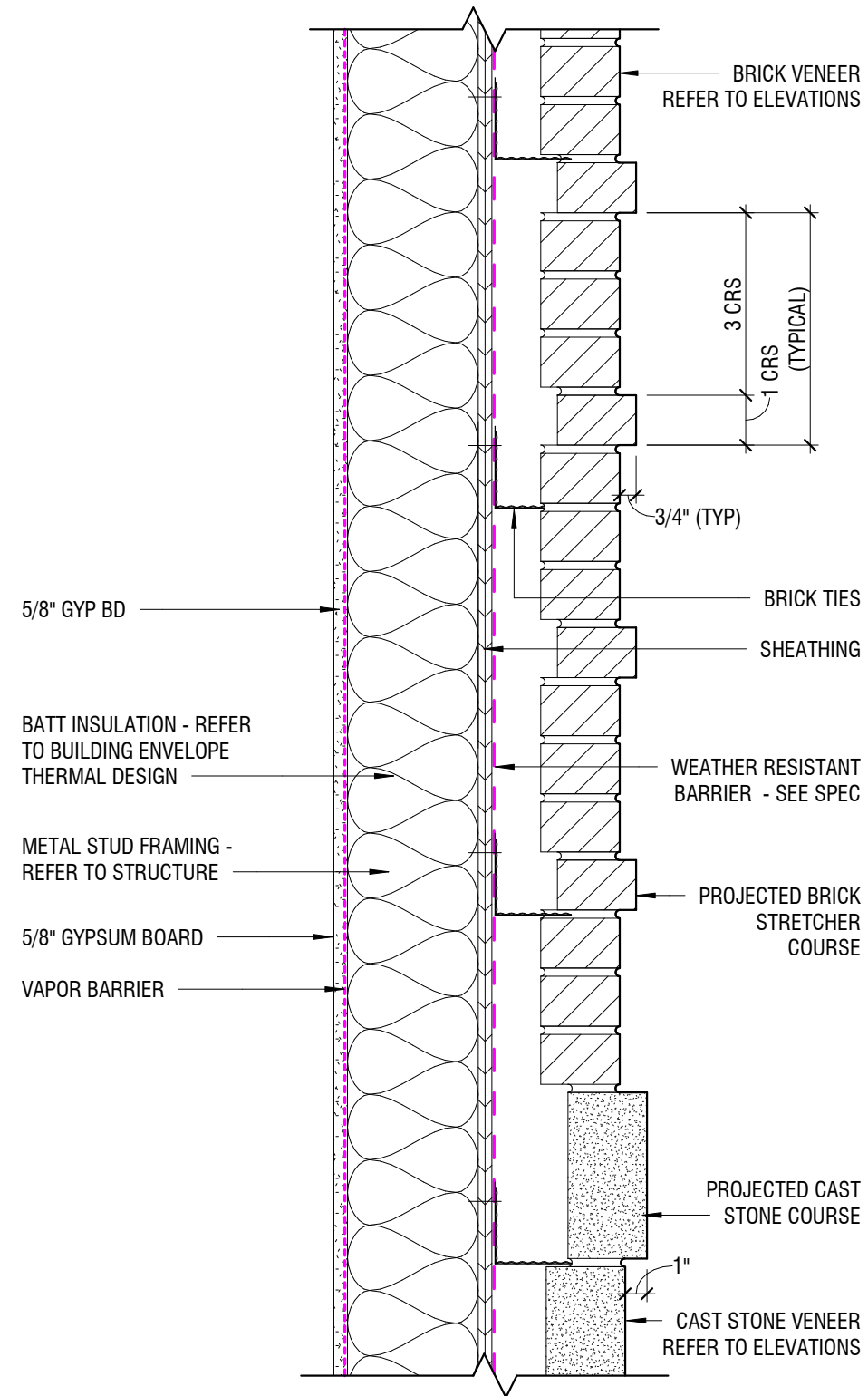
METAL PANEL OVER BRICK
SCALE 1 1/2" = 1'-0"



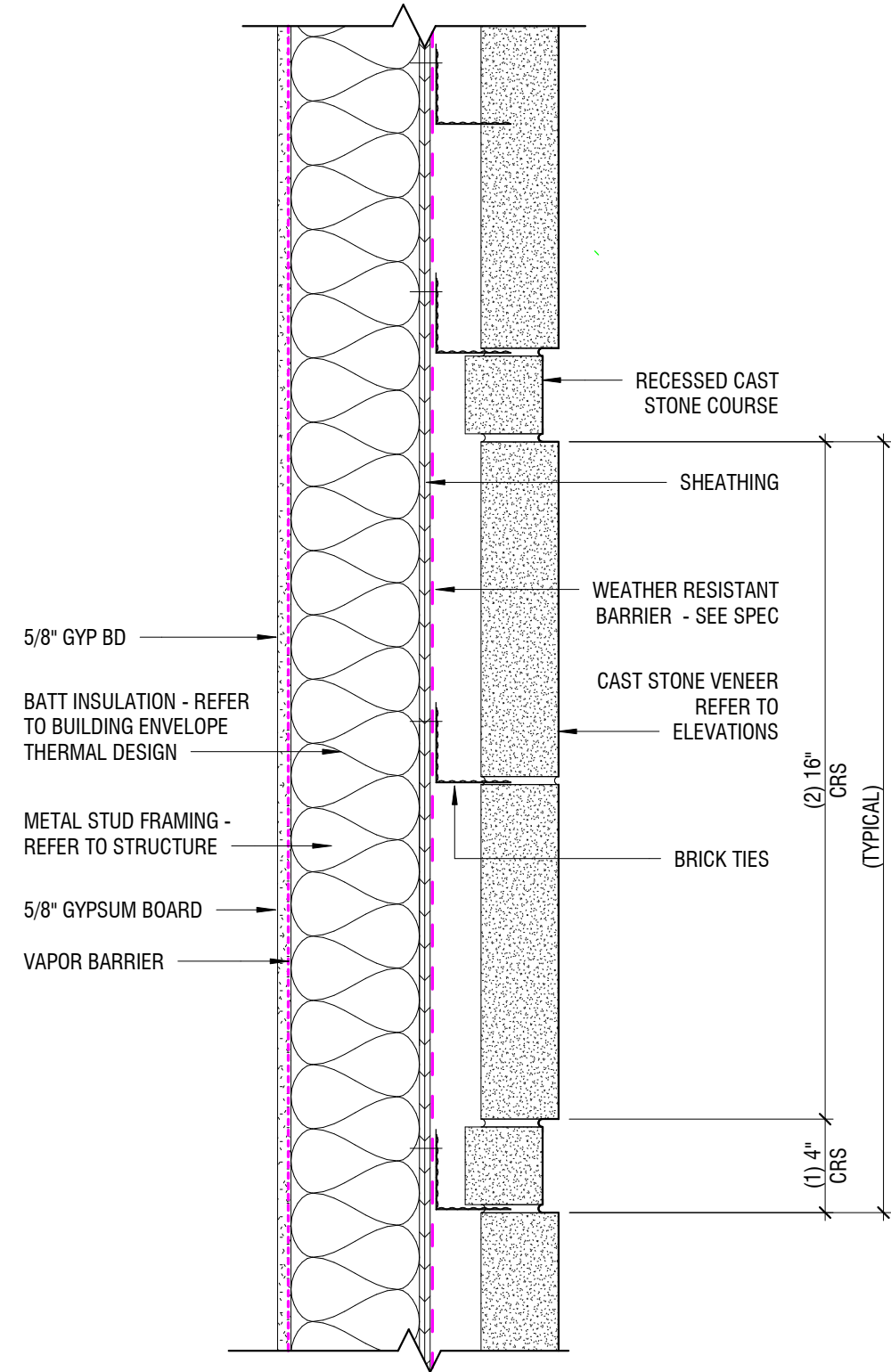
WINDOW-FCB-PANEL-WD-HEAD
SCALE 3" = 1'-0"



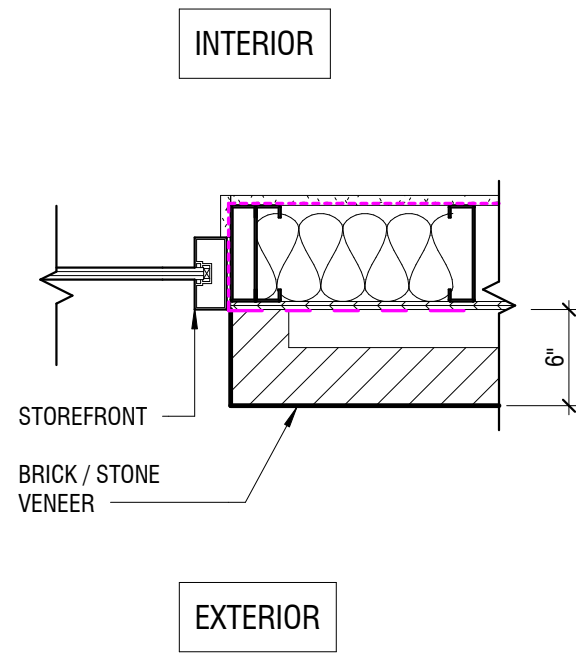
WINDOW-FCB-PANEL-WD-SILL
SCALE 3" = 1'-0"



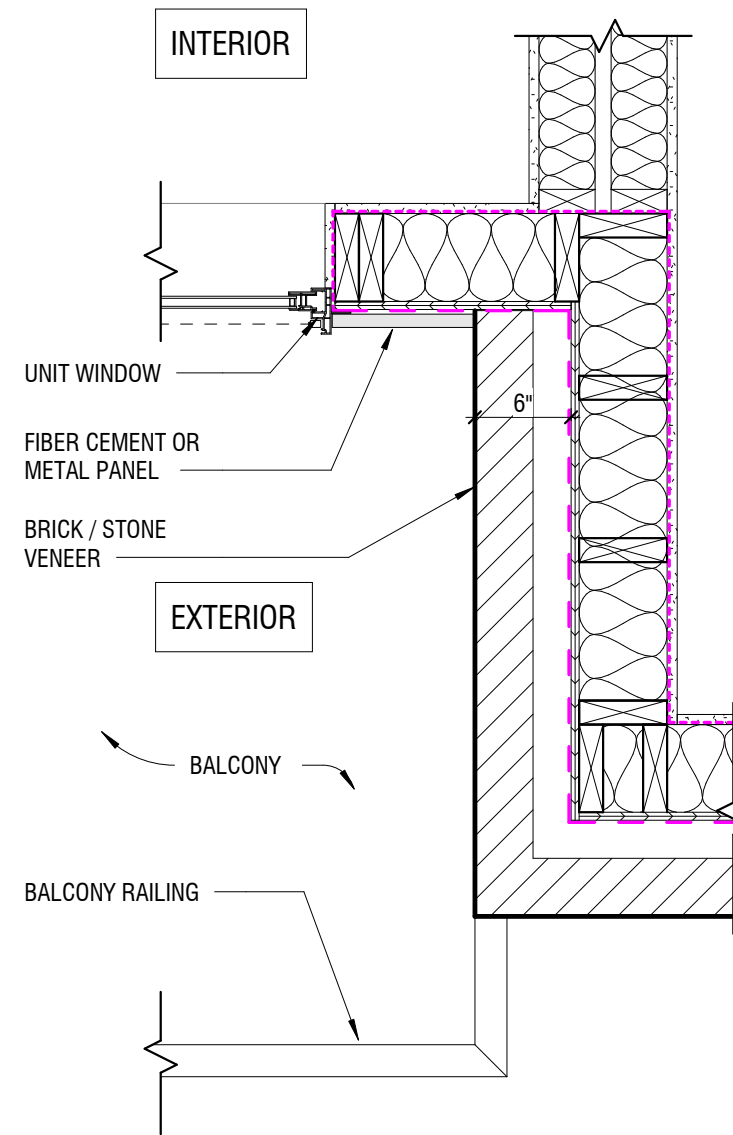
STONE TO BRICK WITH PROJECTED COURSES
SCALE 1 1/2" = 1'-0"



STONE PIER
SCALE 1 1/2" = 1'-0"



AT STOREFRONT



AT BALCONY

VERTICAL TRANSITIONS
SCALE 1" = 1'-0"



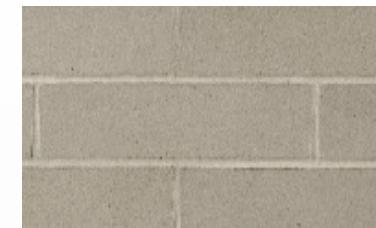
FDP ELEVATION - WEST
SCALE 3/64" = 1'-0"



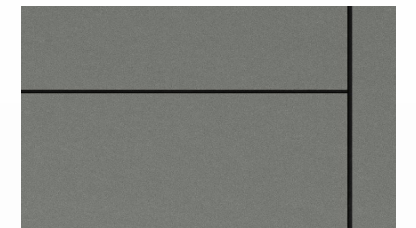
FDP ELEVATION - NORTH
SCALE 3/64" = 1'-0"



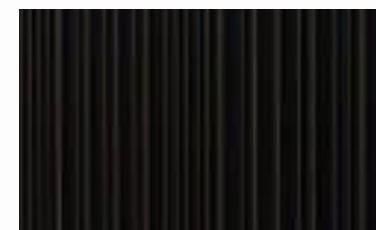
BRICK-1
GLEN-GERY AUTUMN HARVEST BLEND



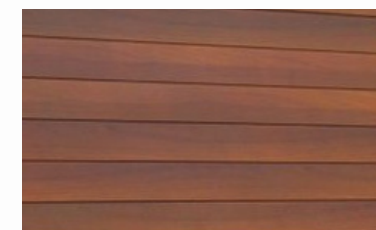
STONE-1
READING ROCK ROCKCAST CAST STONE IN BUFFSTONE



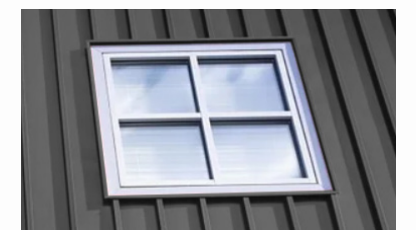
FIBER-4
EQUITONE NATURA FIBER CEMENT PANEL IN N211



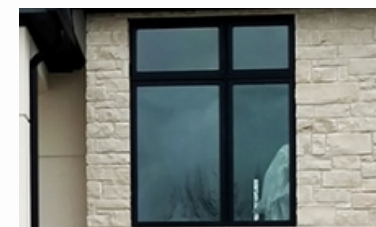
METAL-1
PAC-CLAD HIGHLINE B1 IN GRAPHITE



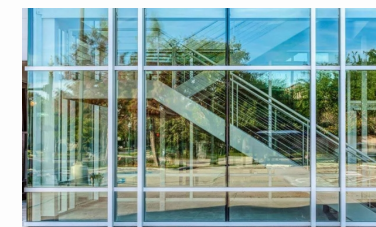
WOOD-1
LONGBOARD WOODGRAIN METAL PANEL IN TABLE WALNUT



TRIM-1
PAC-CLAD TRIM TO MATCH METAL SIDING



WINDOWS
QUAKER ALUMINUM WINDOWS



STOREFRONT
TUBELITE ALUMINUM STOREFRONT



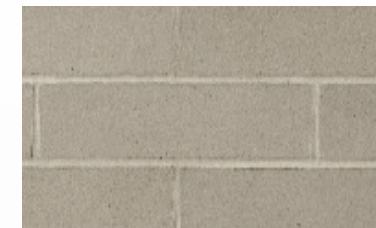
FDP ELEVATION - EAST
SCALE 3/64" = 1'-0"



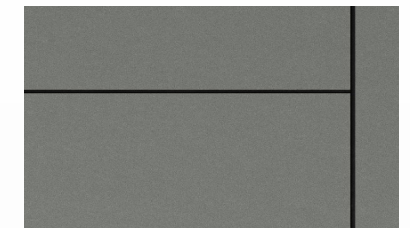
FDP ELEVATION - SOUTH
SCALE 3/64" = 1'-0"



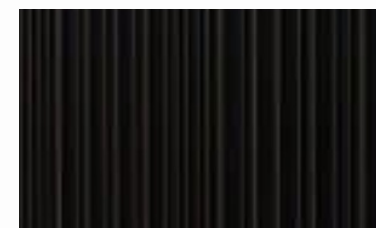
BRICK-1
GLEN-GERY AUTUMN HARVEST BLEND



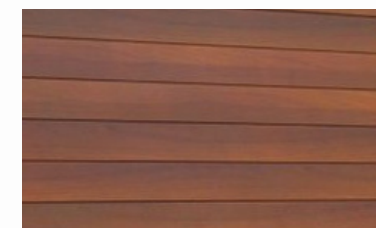
STONE-1
READING ROCK ROCKCAST CAST STONE IN BUFFSTONE



FIBER-4
EQUITONE NATURA FIBER CEMENT PANEL IN N211



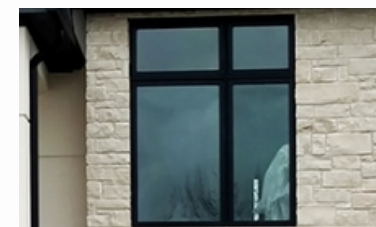
METAL-1
PAC-CLAD HIGHLINE B1 IN GRAPHITE



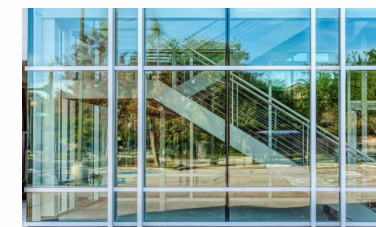
WOOD-1
LONGBOARD WOODGRAIN METAL PANEL IN TABLE WALNUT



TRIM-1
PAC-CLAD TRIM TO MATCH METAL SIDING



WINDOWS
QUAKER ALUMINUM WINDOWS



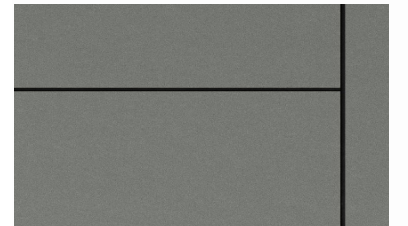
STOREFRONT
TUBELITE ALUMINUM STOREFRONT



FDP ELEVATION - COURTYARD NORTH
SCALE 3/64" = 1'-0"



FDP ELEVATION - COURTYARD SOUTH UTH
SCALE 3/64" = 1'-0"



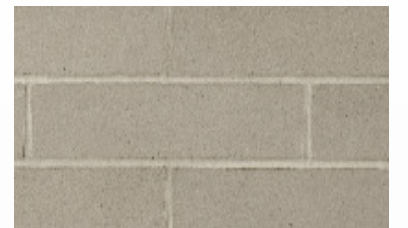
FIBER-4
EQUITONE NATURA FIBER CEMENT PANEL IN N972



TRIM-1
PAC-CLAD TRIM TO MATCH METAL SIDING



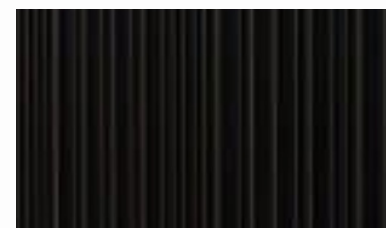
BRICK-1
GLEN-GERY AUTUMN HARVEST BLEND



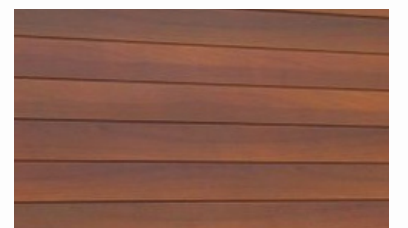
STONE-1
READING ROCK ROCKCAST CAST STONE IN BUFFSTONE



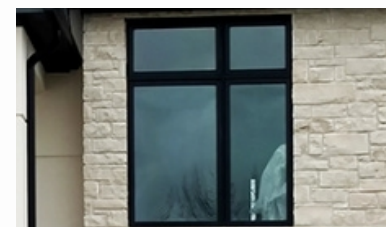
FDP ELEVATION - COURTYARD EAST
SCALE 3/64" = 1'-0"



METAL-1
PAC-CLAD HIGHLINE B1 IN GRAPHITE



WOOD-1
LONGBOARD WOODGRAIN METAL PANEL IN TABLE WALNUT



WINDOWS
QUAKER ALUMINUM WINDOWS



STOREFRONT
TUBELITE ALUMINUM STOREFRONT

A1. Street Frontage

Multiple Principal Buildings:	<u>Allowable:</u> Permitted	<u>Actual:</u> Complies
Front Property Line Coverage:	Minimum 75%	73%
Occupation of Corner:	Required	Complies
Front RBZ:	0-15 ft.	Complies
Corner Side RBZ:	0-15 ft.	Complies
RBZ Treatment:	Landscape, Patio, or street-scape; along West Dublin-Granville Road, Street-scape Required	Complies
Right-of-Way Encroachment:	Awnings, Canopies, eaves, patios & signs	Complies

A2. Buildable Area

Minimum Side Yard Setback:	<u>Allowable:</u> 5 ft.	<u>Actual:</u> Complies
Minimum Rear Yard Setback:	5 ft.	Complies
Minimum Lot Width:	50 ft.	Complies
Max. Impervious Coverage:	80%	96.5%
Additional Semi-Impervious Coverage:	10%	N/A

A3. Parking Location & Loading

Parking Location:	<u>Allowable:</u> Rear yard, within building	<u>Actual:</u> N/A
Loading Facility Location:	Rear & Side Facade	Front Facade (Longshore)
Entry for Parking within Bldg:	Rear & Side Facade Corner Side Facade	N/A
Access:	Refer to 153.062	Complies

B. Height

Minimum Height:	<u>Allowable:</u> 3 stories	<u>Actual:</u> 6 stories
Maximum Height:	6 stories	6 stories
Ground story:	12 ft. - 16 ft.	21'-4"
Stories:	10-14 ft.	Complies: 10'-8"

C. Uses & Occupancy Requirements

Ground Story:	<u>Allowable:</u> Residential and general office uses are prohibited	<u>Actual:</u> Complies
Upper Story:	No requirements	Complies
Parking within Building:	Permitted	N/A
Occupied Space:	Min. 30 ft. facing Street	Complies

D1. Street Facade Transparency

Ground Story Street Facing Transparency:	<u>Allowable:</u> Min. 60% required	<u>Actual:</u> Ref. Elevations
Transparency:	Min. 30%	Ref. Elevations
Blank Wall Limitation:	Required	Complies

D2. Non-Street Facade Transparency

Transparency:	<u>Allowable:</u> Min. 15%	<u>Actual:</u> Complies
Blank Wall Limitation:	Required	Complies

D3. Building Entrance

Principal Entrance Location:	<u>Allowable:</u> Primary Street	<u>Actual:</u> Complies
Street Facades: Number of Entrances:	1 per 75'	Ref. Elevations
Parking Lot Facades:	1 per 100'	N/A
Mid-Building Pedestrianway:	In shopping corridors: Required for building greater than 250' in length	N/A

D4. Facade Divisions

Vertical Increments:	<u>Allowable:</u> No greater than 45'	<u>Actual:</u> Complies
Horizontal Facade Division:	On building 3 stories or taller, required with 3' of top of the ground story. Required at any building step-back.	Complies
Required Change in Roof Plane or Type:	None	N/A

D5. Facade Materials

Permitted Primary Materials:	<u>Allowable:</u> Stone, Brick, Glass	<u>Actual:</u> Ref. Elevations
------------------------------	--	-----------------------------------

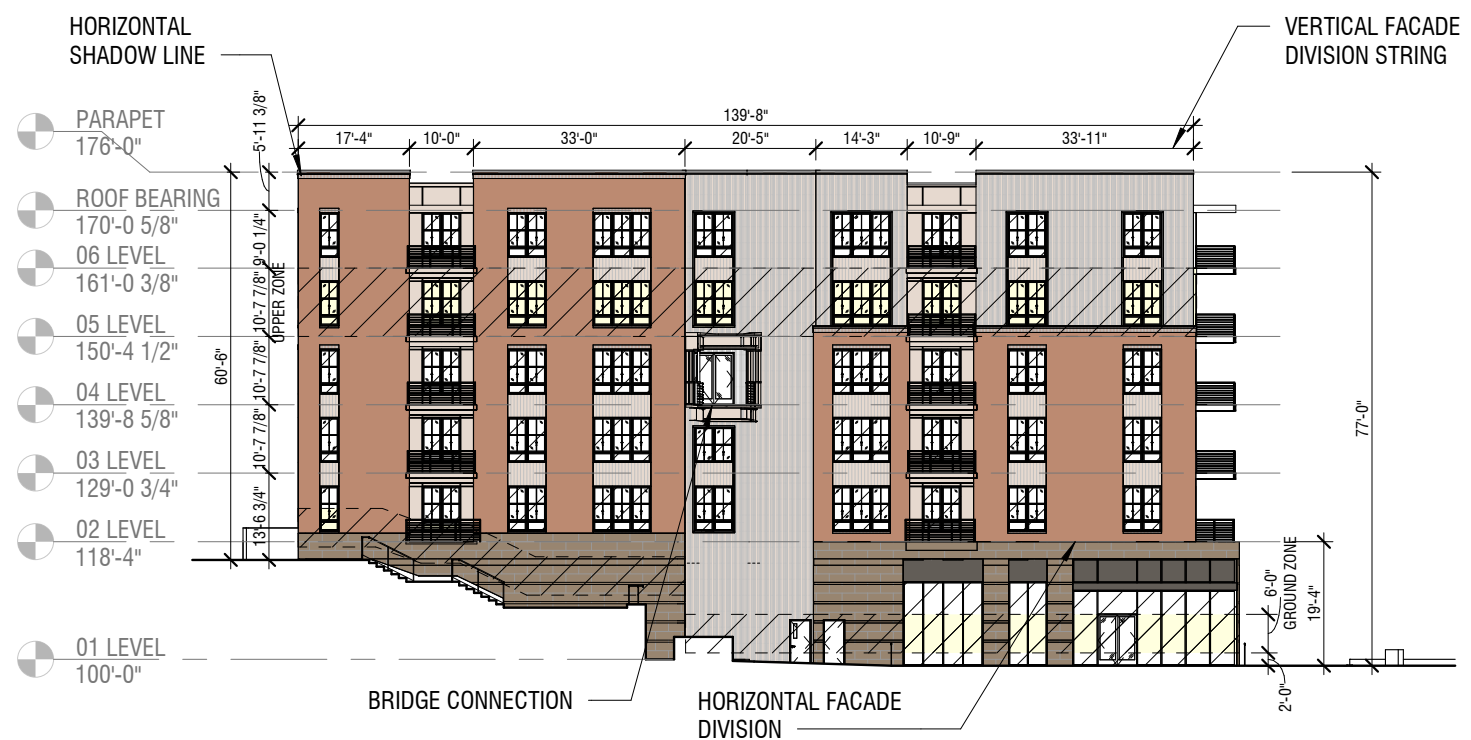
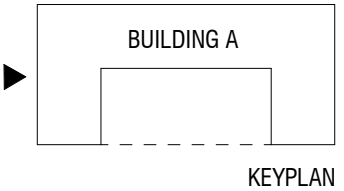
D6. Roof Types

Permitted Types:	<u>Allowable:</u> Parapet, pitched roof, flat roof, other types may be permitted with approval	<u>Actual:</u> Complies
Tower:	Permitted on facades only at terminal vistas, corners at two principal frontage streets	Complies





Potential Waiver Request

MATERIAL TYPE:		FACADE REQUIREMENTS		UPPER STORY:	
NORTH FACADE TOTAL AREA 9,960 SF		STREET FACADE: NO PRINCIPAL ENTRANCE: NO		HEIGHT: 10'-7 7/8" UPPER STORY TOTAL AREA: 1,493 SF (EA. FLOOR 02-06)	
PRIMARY	GLAZING (WINDOWS & DOORS) 2,485 SF	NUMBER OF ENTRANCES:		UPPER STORY TRANSPARENCY:	
PRIMARY	BRICK 3,083 SF	REQUIRED: NO - NOT A PRIMARY STREET FACADE		UPPER STORY TRANSPARENCY ZONE: 1,493 SF (FLOOR TO FLOOR 02-06)	
PRIMARY	CAST STONE 1,070 SF	TOTAL FACADE LENGTH: 139'-8"		UPPER STORY GLAZING AREA: 399 SF (FLOOR TO FLOOR 02-06)	
SECONDARY	METAL/FIBER CEMENT 3,131 SF	REQUIRED: 0		TRANSPARENCY REQUIRED: 15%	
SECONDARY	LOUVERS/GLAZING/METAL 191 SF	PROVIDED: 0		TRANSPARENCY PROVIDED: 27%	
	(TBD PER TENANT REQ. - UPPER PORTION OF GROUND FLOOR STOREFRONTS)	GROUND STORY:		BLANK WALL LIMITATIONS:	
		HEIGHT: (VARIES) 19'-4" (EAST) 13'-6 3/4" (WEST)		REQUIRED: YES PROVIDED: YES	
PRIMARY MATERIAL TOTAL:	6,638 SF	GROUND STORY TOTAL AREA: 2,795 SF		VERTICAL FACADE DIVISIONS:	
REQUIRED:	80%	GROUND STORY TRANSPARENCY:		REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS)	
PROVIDED:	66% (6,638 / 9,960 = 0.66)	GROUND STORY TRANSPARENCY ZONE: 890 SF		PROVIDED: YES	
		(2'-0" TO 8'-0" ABOVE GRADE)		HORIZONTAL FACADE DIVISIONS:	
SECONDARY MATERIAL TOTAL:	3,322 SF	GROUND STORY GLAZING AREA: 275 SF		REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)	
REQUIRED:	<20%	(2'-0" TO 8'-0" ABOVE GRADE)		PROVIDED: YES, TENANT BALCONY, MATERIAL CHANGE, AND SOLDIER COURSE	
PROVIDED:	33% (3,322 / 9,960 = 0.33)	TRANSPARENCY REQUIRED: 15%			
		TRANSPARENCY PROVIDED: 31%			



 POTENTIAL WAIVER REQUEST



PRIMARY MATERIALS

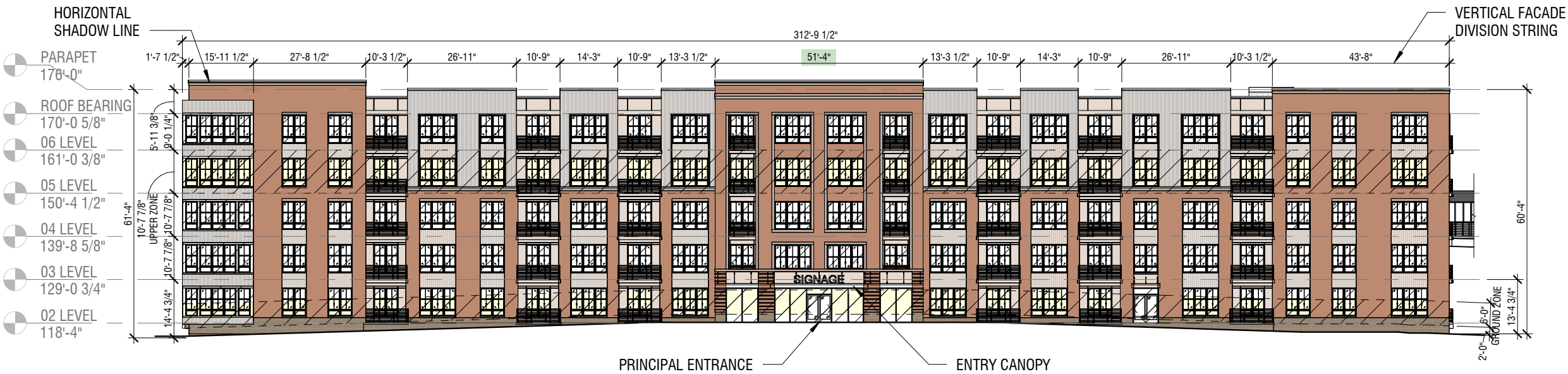
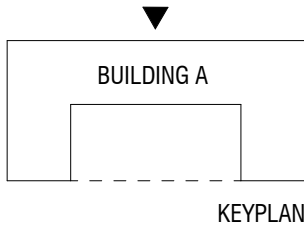
-  BRICK
-  CAST STONE
-  GLAZING
-  TRANSPARENCY ZONE GLAZING

SECONDARY MATERIALS




-  METAL / FIBER CEMENT
-  FUTURE LOUVERS / METAL

MATERIAL TYPE:		FACADE REQUIREMENTS		UPPER STORY:	
NORTH FACADE TOTAL AREA 18,283 SF		STREET FACADE: YES PRINCIPAL ENTRANCE: YES		HEIGHT: 10'-7 7/8" UPPER STORY TOTAL AREA: 3,333 SF (EA. FLOOR 02-06)	
PRIMARY	GLAZING (WINDOWS & DOORS) 6,527 SF	NUMBER OF ENTRANCES:		UPPER STORY TRANSPARENCY:	
PRIMARY	BRICK 5,934 SF	REQUIRED: 1 PER 75'-0" OF FACADE		UPPER STORY TRANSPARENCY ZONE: 3,333 SF (FLOOR TO FLOOR 02-06)	
PRIMARY	CAST STONE 614 SF	TOTAL FACADE LENGTH: 312'-9 1/2"		UPPER STORY GLAZING AREA: 1,267 SF (FLOOR TO FLOOR 02-06)	
SECONDARY	METAL/FIBER CEMENT 5,208 SF	REQUIRED: 312'-9 1/2" / 75 = 5 (4.17 ROUNDED UP)		TRANSPARENCY REQUIRED: 30%	
		PROVIDED: 1		TRANSPARENCY PROVIDED: 38%	
PRIMARY MATERIAL TOTAL: 13,075 SF		GROUND STORY:		BLANK WALL LIMITATIONS:	
REQUIRED: 80%		HEIGHT: (VARIES) 14'-4 3/4" (SOUTH) 13'-4 3/4" (NORTH)		REQUIRED: YES	
PROVIDED: 72% (13,075 / 18,283 = 0.715)		GROUND STORY TOTAL AREA: 3,715 SF		PROVIDED: YES	
SECONDARY MATERIAL TOTAL: 5,208 SF		GROUND STORY TRANSPARENCY:		VERTICAL FACADE DIVISIONS:	
REQUIRED: <20%		GROUND STORY TRANSPARENCY ZONE: 1,876 SF (2'-0" TO 8'-0" ABOVE GRADE)		REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS)	
PROVIDED: 28% (5,208 / 18,283 = 0.284)		GROUND STORY GLAZING AREA: 984 SF (2'-0" TO 8'-0" ABOVE GRADE)		PROVIDED: YES, ONE GREATER THAN 45'-0"	
		TRANSPARENCY REQUIRED: 60%		HORIZONTAL FACADE DIVISIONS:	
		TRANSPARENCY PROVIDED: 52%		REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)	
				PROVIDED: YES, MATERIAL CHANGE	



 POTENTIAL WAIVER REQUEST



PRIMARY MATERIALS

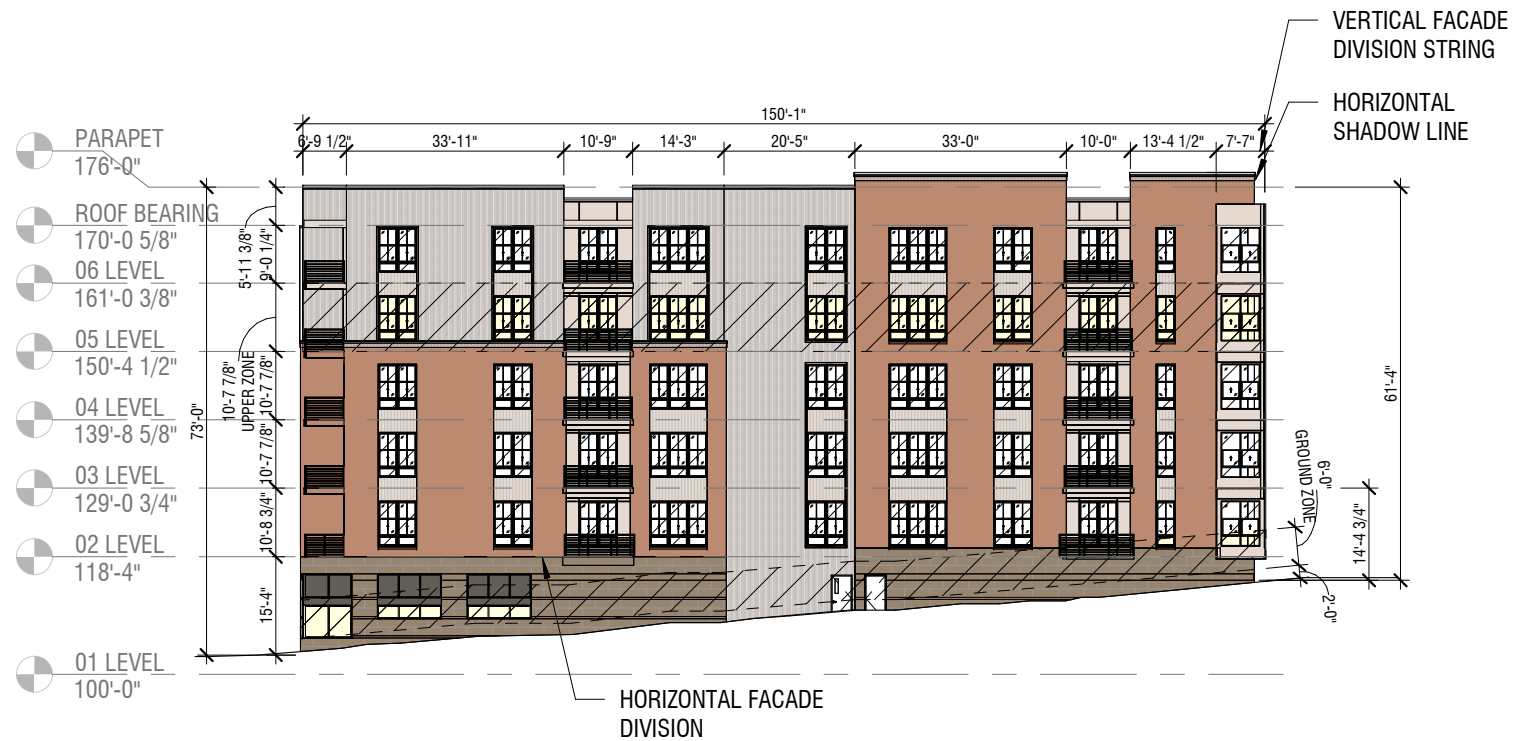
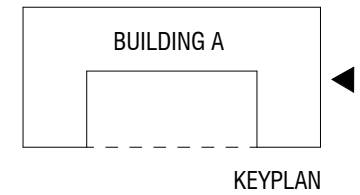
-  BRICK
-  CAST STONE
-  GLAZING
-  TRANSPARENCY ZONE GLAZING

SECONDARY MATERIALS

-  METAL / FIBER CEMENT
-  FUTURE LOUVERS / METAL

MATERIAL TYPE:		FACADE REQUIREMENTS		UPPER STORY:	
SOUTH FACADE TOTAL AREA: 10,101 SF		STREET FACADE: YES		HEIGHT: 10'-7 7/8"	
PRIMARY GLAZING (WINDOWS & DOORS): 2,325 SF		PRINCIPAL ENTRANCE: NO		UPPER STORY TOTAL AREA: 1,597 SF (EA. FLOOR 02-06)	
PRIMARY BRICK: 3,207 SF		NUMBER OF ENTRANCES:		UPPER STORY TRANSPARENCY:	
PRIMARY CAST STONE: 1,048 SF		REQUIRED: NO - NOT A PRIMARY STREET FACADE		UPPER STORY TRANSPARENCY ZONE: 1,597 SF (FLOOR TO FLOOR 02-06)	
SECONDARY METAL/FIBER CEMENT: 3,385 SF		TOTAL FACADE LENGTH: 150'-1"		UPPER STORY GLAZING AREA: 441 SF (FLOOR TO FLOOR 02-06)	
SECONDARY LOUVERS/GLAZING/METAL (TBD PER TENANT REQ. - UPPER PORTION OF GROUND FLOOR STOREFRONTS): 136 SF		REQUIRED: 0		TRANSPARENCY REQUIRED: 30%	
		PROVIDED: 0		TRANSPARENCY PROVIDED: 28%	
PRIMARY MATERIAL TOTAL: 6,580 SF		GROUND STORY:		BLANK WALL LIMITATIONS:	
REQUIRED: 80%		HEIGHT: (VARIES) 15'-4" (EAST) 14'-4 3/4" (WEST)		REQUIRED: YES	
PROVIDED: 65% (6,580 / 10,101 = 0.651)		GROUND STORY TOTAL AREA: 2,136 SF		PROVIDED: YES	
SECONDARY MATERIAL TOTAL: 3,521 SF		GROUND STORY TRANSPARENCY:		VERTICAL FACADE DIVISIONS:	
REQUIRED: <20%		GROUND STORY TRANSPARENCY ZONE: 904 SF (2'-0" TO 8'-0" ABOVE GRADE)		REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS)	
PROVIDED: 35% (3,521 / 10,101 = 0.348)		GROUND STORY GLAZING AREA: 80 SF (2'-0" TO 8'-0" ABOVE GRADE)		PROVIDED: YES	
		TRANSPARENCY REQUIRED: 60%		HORIZONTAL FACADE DIVISIONS:	
		TRANSPARENCY PROVIDED: 8%		REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY)	
				PROVIDED: YES, MATERIAL CHANGE	

POTENTIAL WAIVER REQUEST



PRIMARY MATERIALS

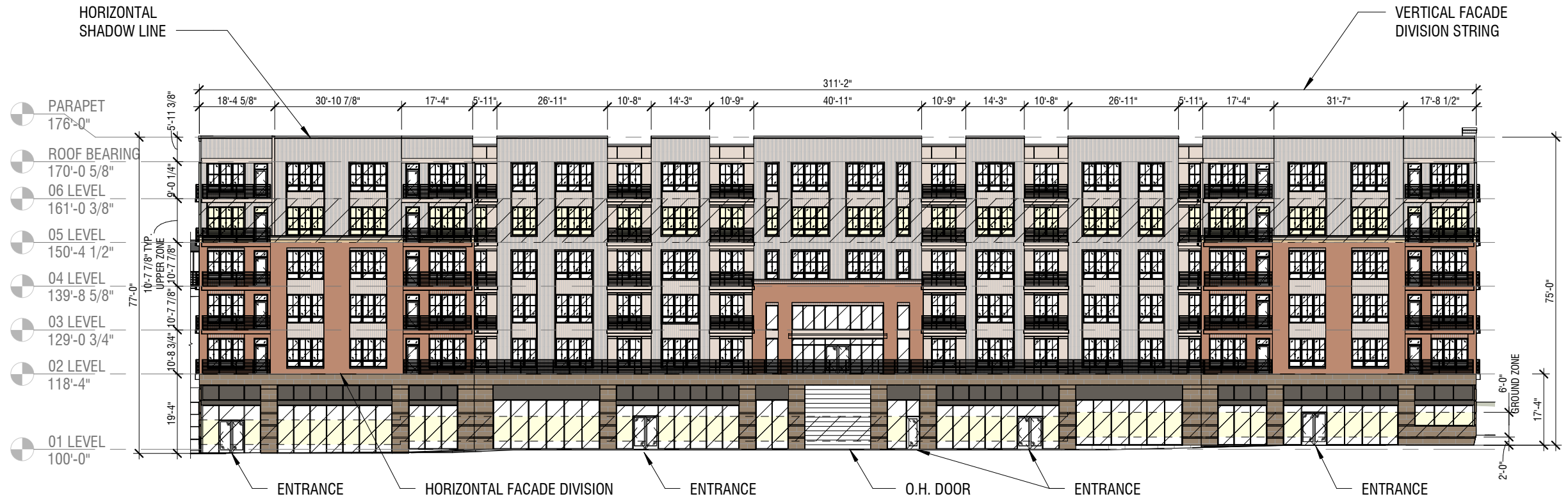
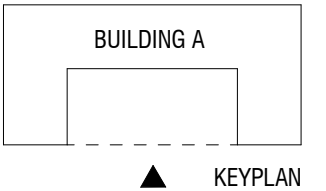
- BRICK
- CAST STONE
- GLAZING
- TRANSPARENCY ZONE GLAZING







SECONDARY MATERIALS

- METAL / FIBER CEMENT
- FUTURE LOUVERS / METAL

MATERIAL TYPE: WEST FACADE TOTAL AREA 23,079 SF PRIMARY GLAZING (WINDOWS & DOORS) 9,293 SF PRIMARY BRICK 2,923 SF PRIMARY CAST STONE 1,798 SF SECONDARY METAL/FIBER CEMENT 8,147 SF SECONDARY LOUVERS/GLAZING/METAL (TBD PER TENANT REQ. - UPPER PORTION OF GROUND FLOOR STOREFRONTS) 1,325 SF PRIMARY MATERIAL TOTAL: 14,014 SF REQUIRED: 80% PROVIDED: 61% (14,014 / 23,079 = 0.607) SECONDARY MATERIAL TOTAL: 9,065 SF REQUIRED: <20% PROVIDED: 39% (9,065 / 23,079 = 0.392)		FACADE REQUIREMENTS STREET FACADE: YES PRINCIPAL ENTRANCE: NO NUMBER OF ENTRANCES: REQUIRED: 1 PER 75'-0" OF FACADE TOTAL FACADE LENGTH: 311'-2" REQUIRED: 311'-2" / 75 = 5 (4.15 ROUNDED UP) PROVIDED: 5 GROUND STORY: HEIGHT: (VARIES) 19'-4" (NORTH) 18'-4" (CENTER) 17'-4" (SOUTH) GROUND STORY TOTAL AREA: 5,648 SF GROUND STORY TRANSPARENCY: GROUND STORY TRANSPARENCY ZONE: 1,867 SF (2'-0" TO 8'-0" ABOVE GRADE) GROUND STORY GLAZING AREA: 1,386 SF (2'-0" TO 8'-0" ABOVE GRADE) TRANSPARENCY REQUIRED: 60% TRANSPARENCY PROVIDED: 74%		UPPER STORY: HEIGHT: 10'-7 7/8" UPPER STORY TOTAL AREA: 3,318 SF (EA. FLOOR 02-06) UPPER STORY TRANSPARENCY: UPPER STORY TRANSPARENCY ZONE: 3,318 SF (FLOOR TO FLOOR 02-06) UPPER STORY GLAZING AREA: 1,327 SF (FLOOR TO FLOOR 02-06) TRANSPARENCY REQUIRED: 30% TRANSPARENCY PROVIDED: 40% BLANK WALL LIMITATIONS: REQUIRED: YES PROVIDED: YES VERTICAL FACADE DIVISIONS: REQUIRED: YES (NO GREATER THAN 45'-0" INCREMENTS) PROVIDED: YES HORIZONTAL FACADE DIVISIONS: REQUIRED: YES (WITHIN 3'-0" TO TOP OF GROUND STORY) PROVIDED: YES, MATERIAL TYPE CHANGE	
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 POTENTIAL WAIVER REQUEST



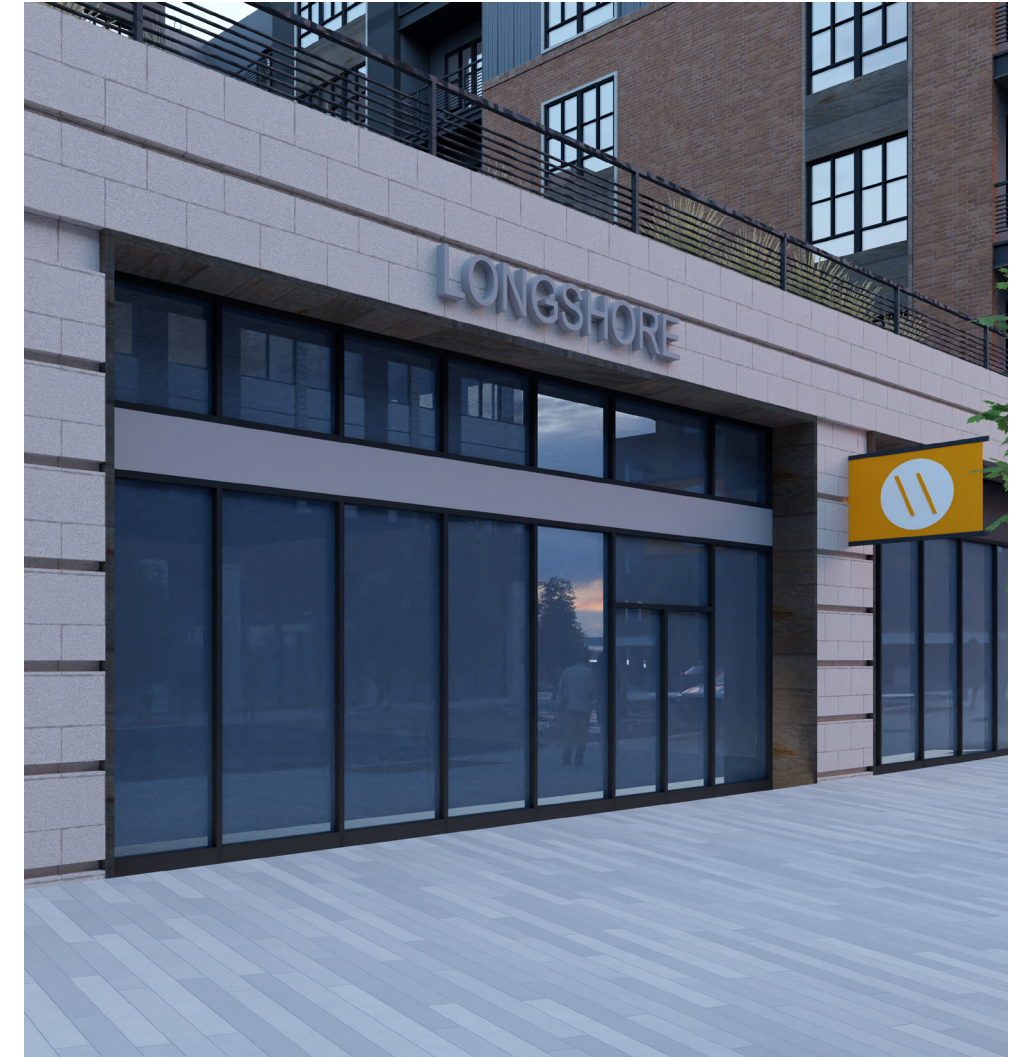
- PRIMARY MATERIALS**
-  BRICK
 -  CAST STONE
 -  GLAZING
 -  TRANSPARENCY ZONE GLAZING
- SECONDARY MATERIALS**
-  METAL / FIBER CEMENT
 -  FUTURE LOUVERS / METAL



1. Trellis



2. Canopy



3. No canopy

Retailers may choose from one of the approved storefront options for installation, in order to maintain visual variety across the overall street scape within the Bridge North development.





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