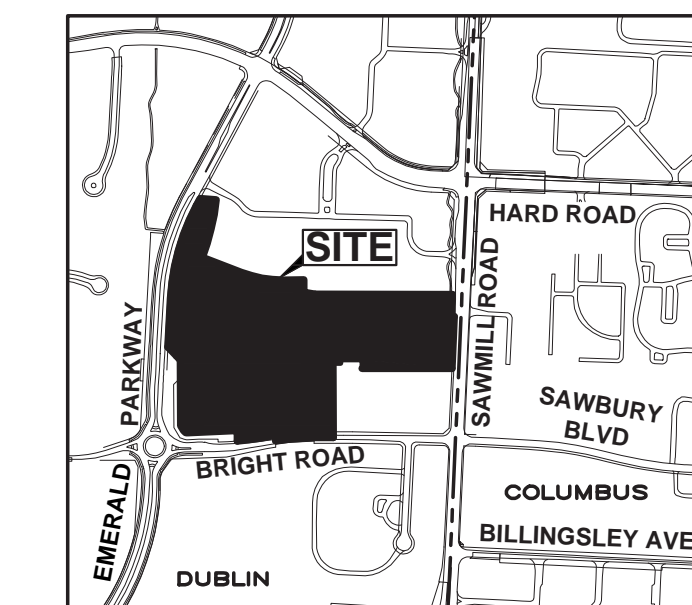


CITY OF DUBLIN, COUNTY OF FRANKLIN, OHIO

FINAL DEVELOPMENT PLAN

FOR THE BEACON - PHASE 1

2026



VICINITY MAP
SCALE: 1" = 1000'

SHEET INDEX

CIVIL PLANS	C.1
TITLE SHEET	C.2
DETAILS	C.3
EXISTING CONDITIONS AND DEMOLITION	C.4
PROPERTY SURVEY	C.5
PHASING PLAN-PHASE 1	C.6
STAKING PLAN-PHASE 1	C.10
UTILITY PLAN-PHASE 1	C.14
SANITARY PLAN	C.18
SANITARY PROFILE	C.19
PROPOSED STORM TRIBUTARY AREA	C.20
GRADING PLAN	C.21
GRADING PLAN	C.22
GRADING PLAN	C.23
GRADING PLAN	C.24
GRADING PLAN	C.25
STORM PROFILES	C.26
STORM PROFILES	C.27
STORM DETAILS	C.28
EROSION & SEDIMENT CONTROL NOTES & DETAILS	C.30
EROSION CONTROL PHASE 1	C.31
FIRE ACCESS PLAN PHASE 1	C.35
FIRE HYDRANT COVERAGE-PHASE 1	C.39
GARAGE ACCESS PLAN-BUILDING 1 & 3	C.43
FLOODPLAIN MAP-EXISTING CONDITIONS	C.45
FLOODPLAIN COMPENSATORY CUT PLAN	C.46
FLOODPLAIN MAP-PROPOSED CONDITIONS	C.47
LANDSCAPE PLANS	L.01
ILLUSTRATIVE PLAN	L.02
OVERALL COURTYARD SITE PLAN	L.02
OPEN SPACE PLAN	L.10
KEY PLAN	L.10
SITE ENLARGEMENT I LAYOUT & MATERIALS PLAN	L.2.01
SITE ENLARGEMENT I LANDSCAPE PLAN	L.2.02
SITE ENLARGEMENT II LAYOUT & MATERIALS PLAN	L.3.01
SITE ENLARGEMENT II LANDSCAPE PLAN	L.3.02
PROJECT IDENTIFICATION SIGNAGE	L.3.11
SITE ENLARGEMENT III LANDSCAPE & KEY PLAN	L.4.01
ATHLETICS COURTYARD LAYOUT & MATERIALS PLAN	L.4.11
ATHLETICS COURTYARD LANDSCAPE PLAN	L.4.12
NORTHERN PATIO LAYOUT & MATERIALS PLANS	L.4.21
NORTHERN PATIO LANDSCAPE PLANS	L.4.22
BLDG. 1 SOUTHWEST LAYOUT & MATERIALS PLAN	L.4.31
BLDG. 1 SOUTHWEST LANDSCAPE PLAN	L.4.32
BUILDING 1 AUTO COURT LAYOUT & MATERIALS PLAN	L.4.41
BUILDING 1 AUTO COURT LANDSCAPE PLAN	L.4.42
SITE ENLARGEMENT IV LANDSCAPE & KEY PLAN	L.5.02
BLDG. 1 SOUTHEAST LAYOUT & MATERIALS PLAN	L.5.11
BLDG. 1 SOUTHEAST LANDSCAPE PLAN	L.5.12
SITE ENTRY SIGN	L.5.13
SITE ENLARGEMENT V LANDSCAPE PLAN	L.6.02
LANDSCAPE DETAILS I	L.7.02
LANDSCAPE DETAILS II	L.7.03
LANDSCAPE DETAILS III	L.7.04
LANDSCAPE DETAILS IV	L.7.05
LANDSCAPE DETAILS V	L.7.05
TREE PRESERVATION PLAN	L.8.00
EXISTING TREE INDEX (TREE # 1-152)	L.8.01
EXISTING TREE INDEX (TREE # 153-305)	L.8.02
EXISTING TREE INDEX (TREE # 306-457)	L.8.03
EXISTING TREE INDEX (TREE # 458-609)	L.8.04
EXISTING TREE INDEX (TREE # 610-763)	L.8.05
EXISTING TREE INDEX (TREE # 764-914)	L.8.06
EXISTING TREE INDEX (TREE # 916-1030)	L.8.07
CONTEXTUAL SITE PLAN - CIRCULATION PATH	L.-.-

PROJECT DESCRIPTION

THE PROJECT IS TO DEVELOP EXISTING UNDEVELOPED RESIDENTIAL LAND INTO A PLANNED UNIT DEVELOPMENT WITH FOUR PHASES OF CONSTRUCTION FOR A NEW SENIOR HOUSING COMMUNITY (INDEPENDENT LIVING, ASSISTED LIVING/MEMORY CARE, & MEMORY CARE). THE PROJECT WILL WORK TO MAINTAIN THE EXISTING NATURAL BILLINGSLEY CREEK THAT RUNS THROUGH THE PROJECT SITE. MASTER STORMWATER MANAGEMENT FACILITIES WILL BE CREATED TO HANDLE STORMWATER REQUIREMENTS FOR THE MASTER DEVELOPMENT SOUTH OF BILLINGSLEY CREEK.

SITE ZONING INFORMATION

ZONING DISTRICT: PUD-PLANNED UNIT DEVELOPMENT
 TAX DISTRICT: CITY OF DUBLIN-WASH TWP
 PARCEL NUMBER: 273-012155, 273-008632, 273-008633, 273-008634, 273-008660, 273-008680, 273-008681, 273-008619, 273-008676, 273-008405, 273-008761
 LAND AREA: 21.523 ACRES
 PHASE 1 LAND USE: INDEPENDENT LIVING WITH ASSISTANCE & ASSISTED LIVING
 PHASE 1 BUILDING AREA: 220,896 SQ. FT. TOTAL (FIRST, SECOND, THIRD & FOURTH FLOORS) NOT INCLUDING STRUCTURED PARKING
 TOTAL UNIT COUNT:
 INDEPENDENT LIVING (IL) 81 UNITS
 ASSISTED LIVING (AL) 60 UNITS
 PHASE 1 DENSITY: 6.55 UNITS/ACRE (141 UNITS / 21.523 ACRES)
 PHASE 1 PARKING REQUIREMENTS:
 INDEPENDENT LIVING (IL)- 1 PER DWELLING UNIT
 ASSISTED LIVING (AL) - 1 PER EVERY 6 UNITS
 STAFF PARKING (SP) - 1 PER EMPLOYEE (OF LARGEST SHIFT)
 PROPOSED PARKING:
 SURFACE PARKING & GARAGE STRUCTURE PARKING
 109 GARAGE STRUCTURE PARKING SPACES
 84 SURFACE PARKING SPACES
 TOTAL 193 SPACES (11 ADA SPACES, 3 VAN)

BENCHMARKS

BASED ON NAVD 1988 DATUM.
 SOURCE - ELEVATIONS WERE ESTABLISHED USING 45 MINUTE STATIC OBSERVATIONS UTILIZING GLOBAL POSITIONING SYSTEM (GPS) PROCEDURES. THE GPS DATA WAS SUBMITTED TO THE NATIONAL GEODETIC SURVEY'S (NGS) ONLINE POSITIONING USER SERVICE RAPID-STATIC (OPUS-RS) SYSTEM FOR PROCESSING. THE SYSTEM USES THE CONTINUALLY OPERATING REFERENCE STATIONS (CORS) TO ESTABLISH THE GEODETIC ELEVATION.

- BM #1 - BOLT ON THE NORTHEAST SIDE OF EXISTING FIRE HYDRANT, APPROXIMATELY 577' NORTH OF EXISTING ROUNDABOUT INTERSECTION OF EMERALD PARKWAY AND BRIGHT ROAD, ALONG THE EAST SIDE OF EMERALD PARKWAY. SHOWN ON INDEX MAP AS BM #1.
 ELEVATION = 893.24 (NAVD 88)
- BM #2 - BOLT ON THE NORTH SIDE OF EXISTING FIRE HYDRANT, APPROXIMATELY 873' EAST OF EXISTING ROUNDABOUT INTERSECTION OF EMERALD PARKWAY AND BRIGHT ROAD, ALONG THE SOUTH SIDE OF BRIGHT ROAD. SHOWN ON INDEX MAP AS BM #2.
 ELEVATION = 902.48 (NAVD 88)
- BM #3 - BOLT ON THE NORTHEAST SIDE OF EXISTING FIRE HYDRANT, APPROXIMATELY 167' WEST OF THE EXISTING SAWMILL PARKWAY RIGHT-OF-WAY, ALONG THE NORTH SIDE OF PRIVATE DRIVE. SHOWN ON INDEX MAP AS BM #3.
 ELEVATION = 902.66 (NAVD 88)

HORIZONTAL CONTROL POINTS

BASED ON NAD83 OHIO ZONE SOUTH (NSRS2011)

No.	Description/Location	NORTHING	EASTING
CP#1	5/8" REBAR - BURGESS & NIPL	771080.810	1801814.561
CP#2	5/8" REBAR - BURGESS & NIPL	770646.939	1802174.544
CP#3	RAIL ROAD SPIKE	770970.328	1802773.257
CP#4	PK NAIL	770972.140	1803274.307

FLOODPLAIN

THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) SHOWS THAT THE MAJORITY OF SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOOD PLAIN) AND ZONE "A", SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD (100 YEAR FLOOD) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP, FRANKLIN COUNTY, OHIO, PANELS 39049C0151K, EFFECTIVE DATE: JUNE 17, 2008 AND 39049C0152K, EFFECTIVE DATE: JUNE 17, 2008.

THE AMOUNT OF FILL WITHIN DESIGNATED FEMA FLOODPLAIN AREAS ONSITE IS ____ C.Y. THE AMOUNT OF FILL COMPENSATED WITHIN DESIGNATED FEMA FLOODPLAIN AREAS ONSITE IS ____ C.Y.

NOTE: THIS PROJECT HAS COMPLETED AN H&H STUDY OF THE BILLINGSLEY CREEK THAT TRAVERSES THROUGH THE PROJECT SITE.

STANDARD CONSTRUCTION DRAWINGS

CITY OF DUBLIN (2024)	CITY OF COLUMBUS (CONSTRUCTION)	CITY OF COLUMBUS (SEWER & WATER)
PD-02 RD-06 ST-01		
PD-03 RD-07 ST-02	N/A	SEWER
PD-06 SA-01 ST-03		WATER
PD-08 SA-02 ST-04		L-6309B
PD-09 SA-03 ST-05		L-6310
PD-12 SA-04 ST-06		L-6311
WA-01		L-6312

UTILITY & SERVICE CONTACTS

AEP OHIO 700 MORRISON ROAD GAHANNA, OHIO 43230 ATTN: ERIK SCHAAS (614) 883-7963	SANITARY, STORM, WATER	CITY OF DUBLIN 6555 SHER-RINGS ROAD DUBLIN, OHIO 43016 (614) 410-7360	AT&T 111 N 4TH ST, SUITE 802 COLUMBUS, OHIO 43215 ATTN: RON FOMBY (614) 223-7983
COLUMBIA GAS OF OHIO 3550 JOHNNY APPLESEED COURT COLUMBUS, OHIO 43231 ATTN: TODD SCHWARZ (614) 280-7500	PHONE/ CATV	DUBLINK 5200 EMERALD PARKWAY DUBLIN, OHIO 43016 (614) 410-4600	SPECTRUM (CHARTER) 3760 INTERCHANGE ROAD COLUMBUS, OHIO 43204 ATTN: KEVIN RICH (614) 481-5263

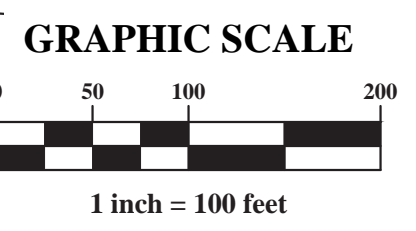
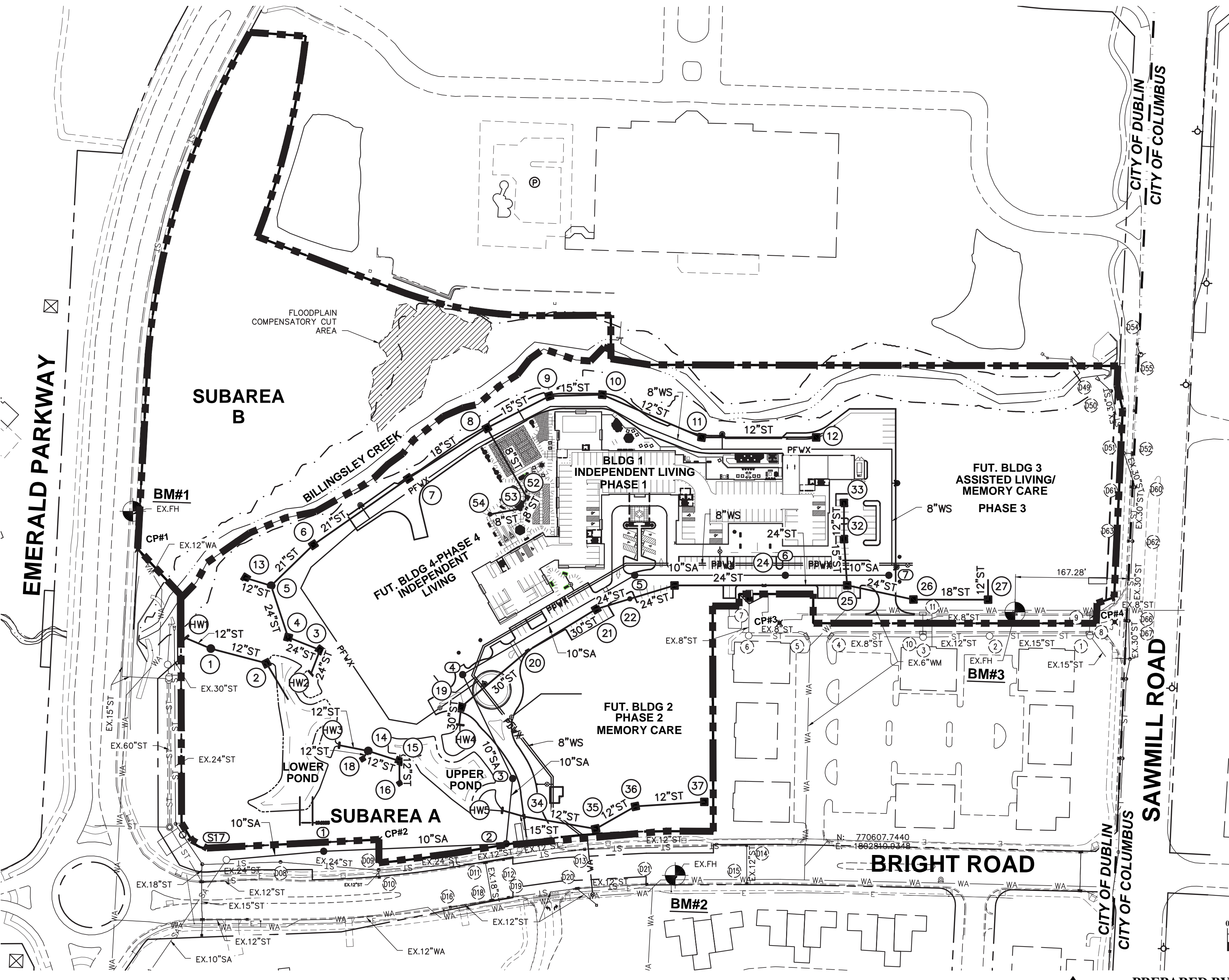
OHIO811.org
Before You Dig
800-362-2764 or 8-1-1

DEVELOPER
NEWBURY COMPANIES
169 S LIBERTY STREET
POWELL, OHIO 43065
PHONE: 614-832-5409
STEVE.NEWCOME@NEWBURYCOMPANIES.COM

ARCHITECT
ORANGE FROG DESIGN GROUP, LLC
411 MEDITATION LANE
COLUMBUS, OHIO 43235
PHONE: 614-578-1707
MATTHEW D. LONES AIA, NCARB
MLONES@ORANGEFROGDC.COM

ENGINEER
ADVANCED CIVIL DESIGN, INC.
781 SCIENCE BOULEVARD, SUITE 100
GAHANNA, OHIO 43230
PHONE: 614-428-7750
THOMAS M. WARNER, P.E.
T.WARNER@ADVANCEDCIVILDESIGN.COM

LANDSCAPE ARCHITECTURE
G2 PLANNING + DESIGN
720 EAST BROAD STREET, SUITE 200
COLUMBUS, OHIO 43215
PHONE: 614-214-9232
PHIL MOOREHEAD, RLA
P.MOOREHEAD@G2PLANNING.COM



PREPARED BY:

ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS

781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755

REGISTERED ENGINEER NUMBER DATE

CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
TITLE SHEET
FOR
THE BEACON - PHASE 1

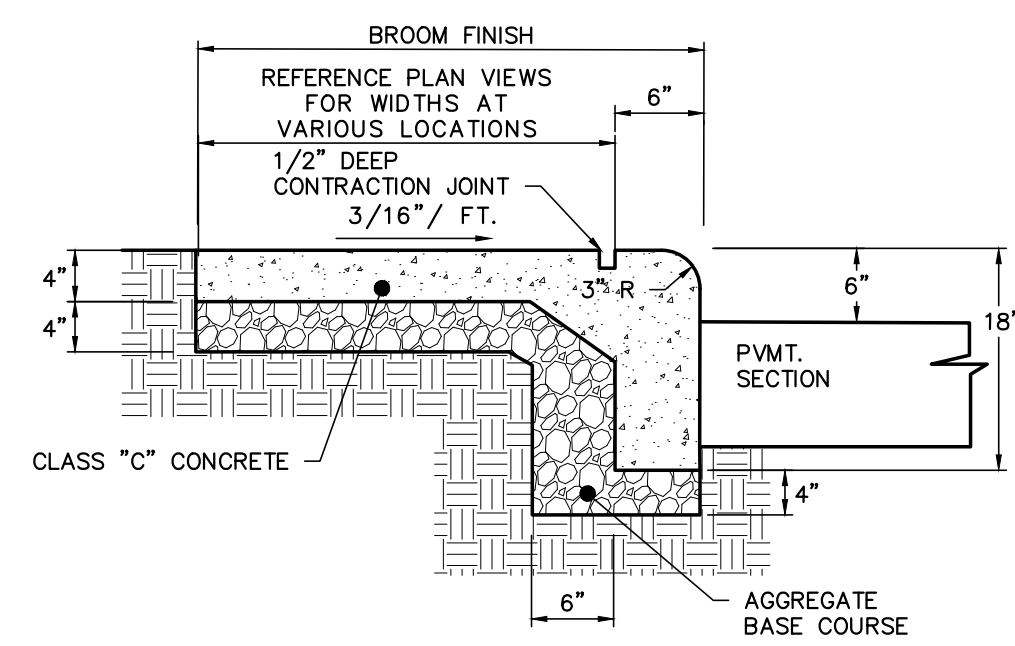
PLAN PREPARED BY:

ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS

781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755

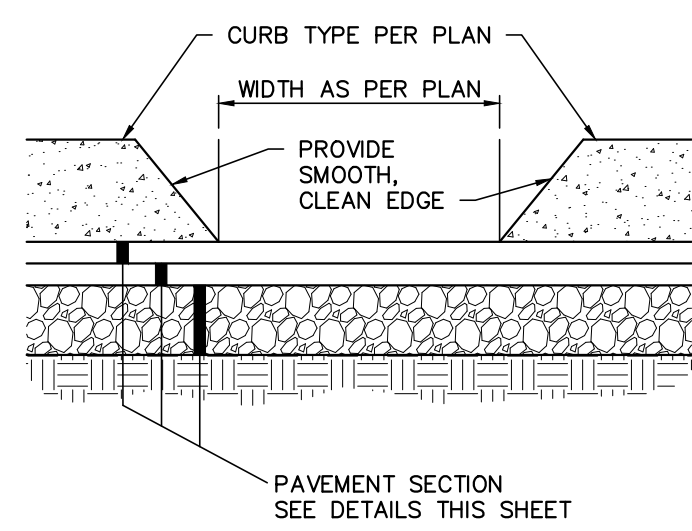
SCALE: AS NOTED
DATE: 03/16/2026
SHEET C.1

21.19-0039-30 DWS PRODUCTION DRAWINGS/FINAL DEVELOPMENT PLAN/FDP-TITLE SHEET.dwg C2 DETAILS Mar 16, 2026 - 3:34:35pm ceshelberry

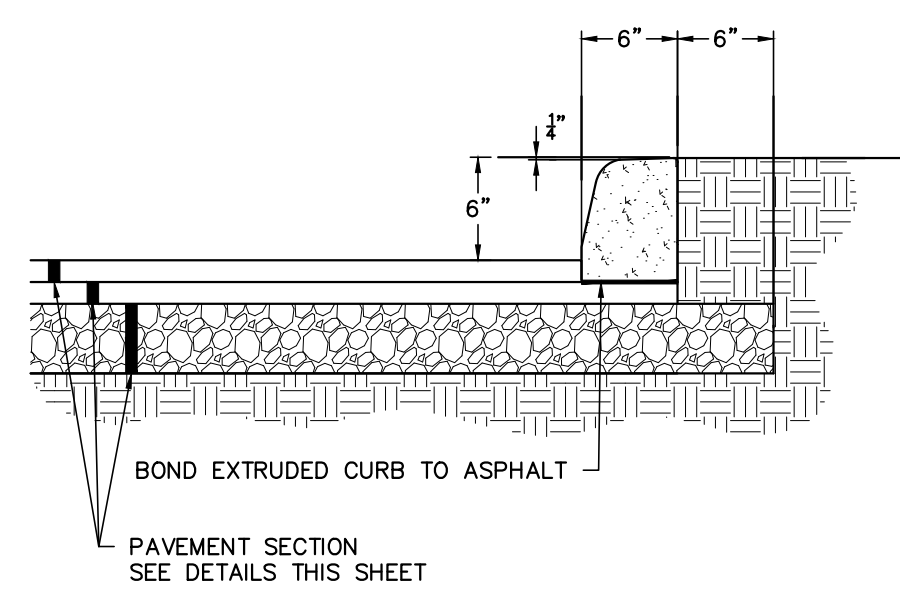


NOTE: SIDEWALK JOINTS SHALL BE IN ACCORDANCE WITH CMSC ITEM 608.03 UNLESS OTHERWISE DETAILED AS A PART OF THE BUILDING OR LANDSCAPE ARCHITECT PLANS.

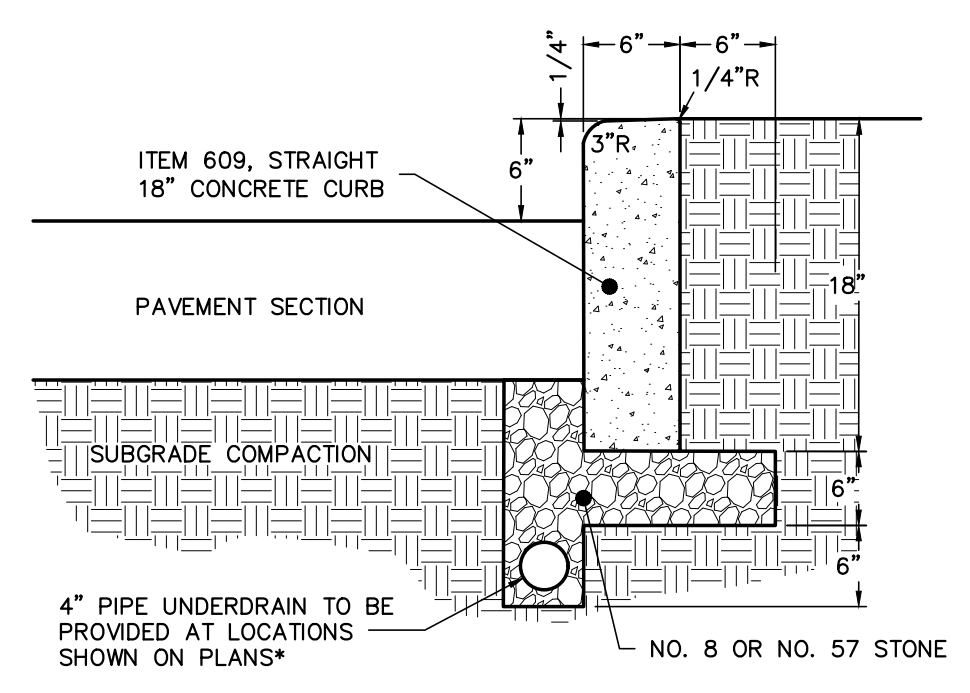
COMBINED SIDEWALK AND CURB DETAIL
NO SCALE



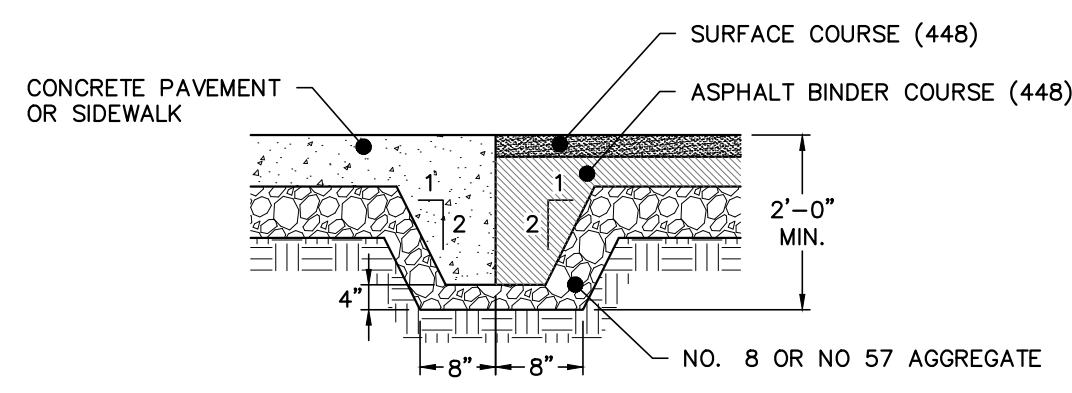
CURB OPENING DETAIL
NO SCALE



EXTRUDED CONCRETE CURB DETAIL
NO SCALE

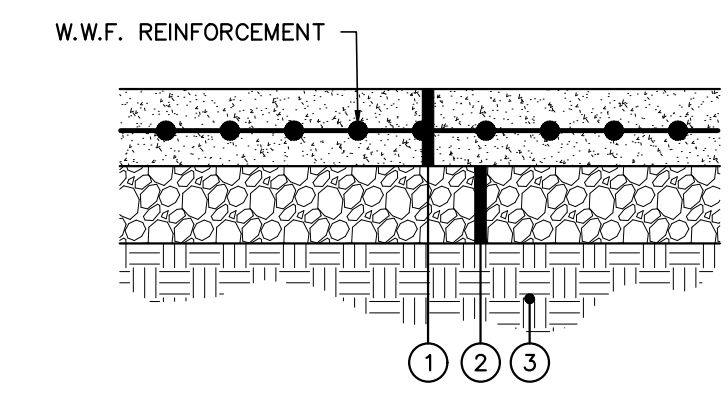


18\"/>



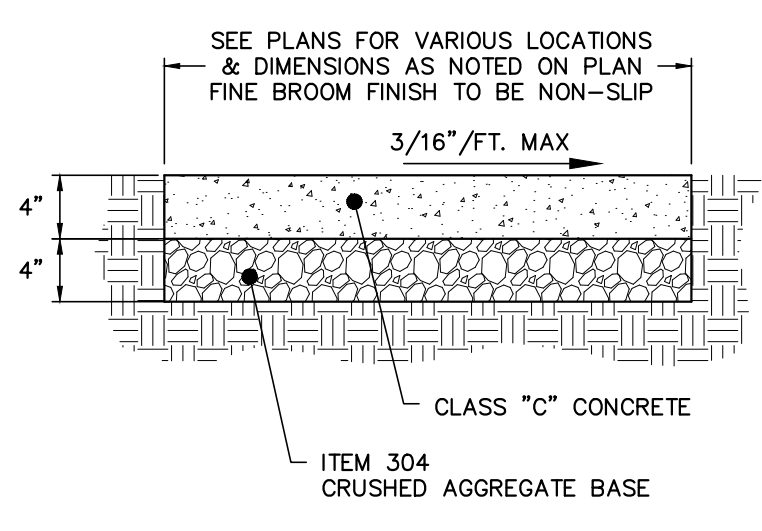
NOTE: CONTRACTOR SHALL PROVIDE TURNDOWN ANYWHERE ASPHALT AND CONCRETE OR CONCRETE BASE PAVEMENT MEET.

CONCRETE/ASPHALT TURNDOWN DETAIL
NO SCALE

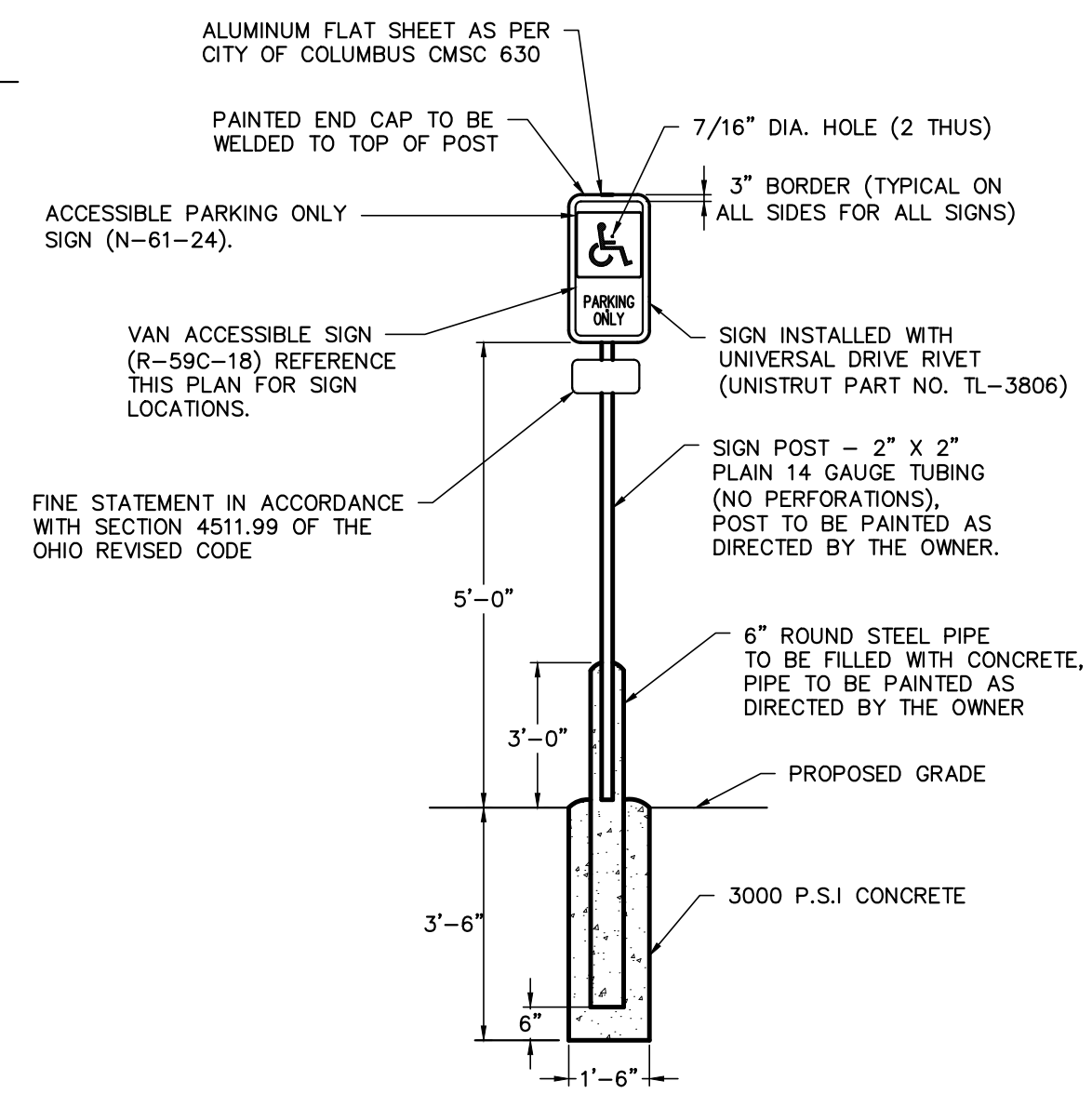


- ① ITEM 451, 8" REINFORCED P.C. CONCRETE PAVEMENT (CLASS C)
- ② ITEM 304, 4" CRUSHED AGGREGATE BASE
- ③ ITEM 204, SUBGRADE COMPACTION

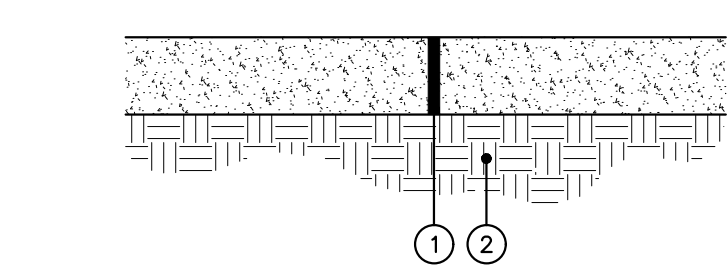
DUMPSTER PAD CONCRETE DETAIL
NO SCALE



SIDEWALK CONCRETE SECTION
NO SCALE

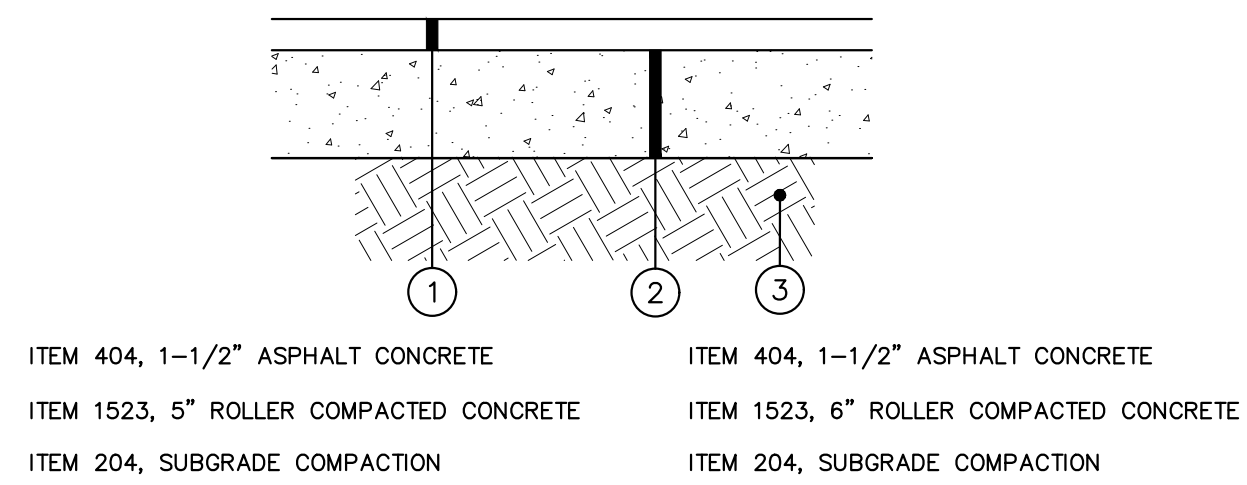


TYPICAL BOLLARD ACCESSIBLE SIGN DETAIL
NO SCALE



- ① ITEM 452, 8" NON-REINFORCED P.C. CONCRETE PAVEMENT (CLASS C)
- ② ITEM 204, SUBGRADE COMPACTION

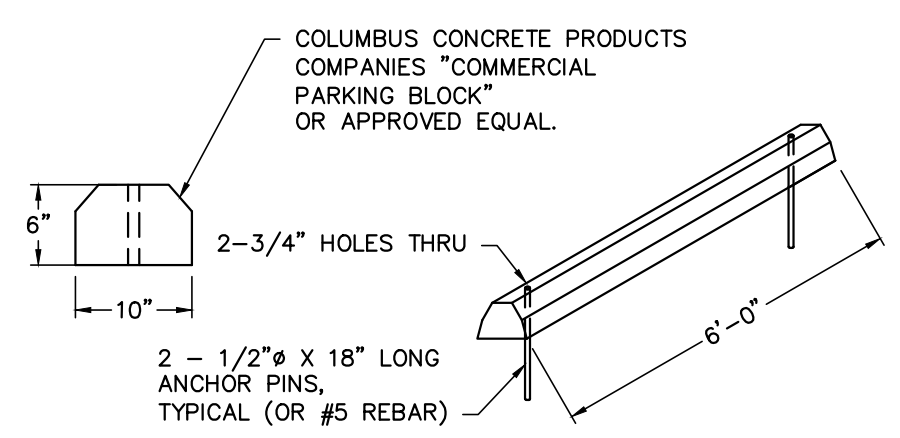
NON-REINFORCED CONCRETE DRIVE SECTION DETAIL
NO SCALE



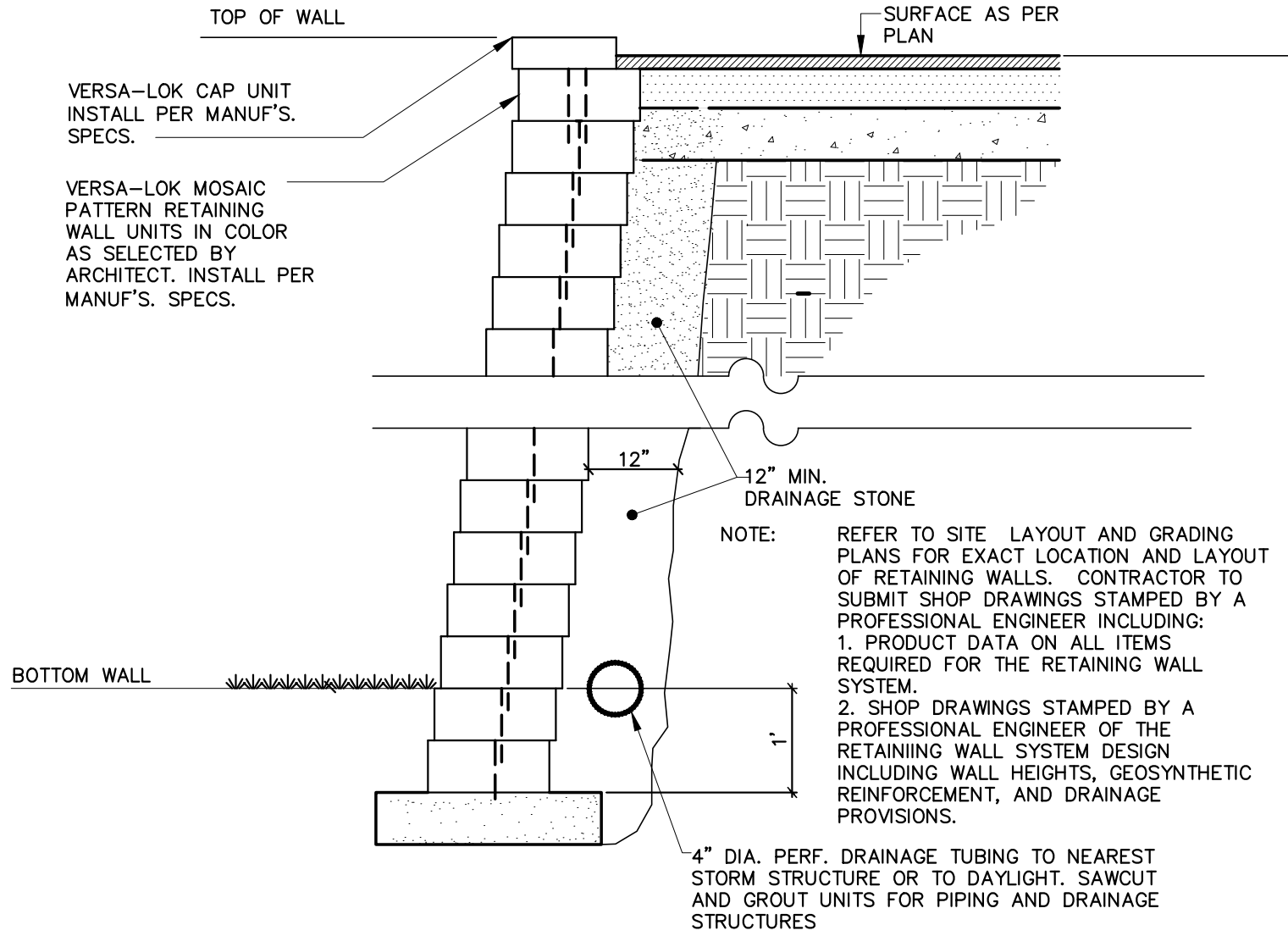
PAVEMENT SECTION DETAIL
NO SCALE

NOTES:
 ROLLER COMPACTED CONCRETE (RCC) SHALL HAVE EXPANSION JOINTS LOCATED EVERY 400-450 FEET. EXPANSION JOINT TO BE 3- FEET WIDE FROM SUBGRADE TO TOP OF RCC. FILL EXPANSION JOINT WITH COMPACTED 301 ASPHALT BASE MATERIAL. LEAVE BASE MATERIAL 1.5 INCHES BELOW TOP OF RCC IN EXPANSION JOINTS. INSTALL 1.5-INCH ITEM 404 ASPHALT SURFACE COURSE. FINAL LOCATION OF EXPANSION JOINTS SHALL BE COORDINATED WITH DEVELOPERS CONSTRUCTION MANAGER.

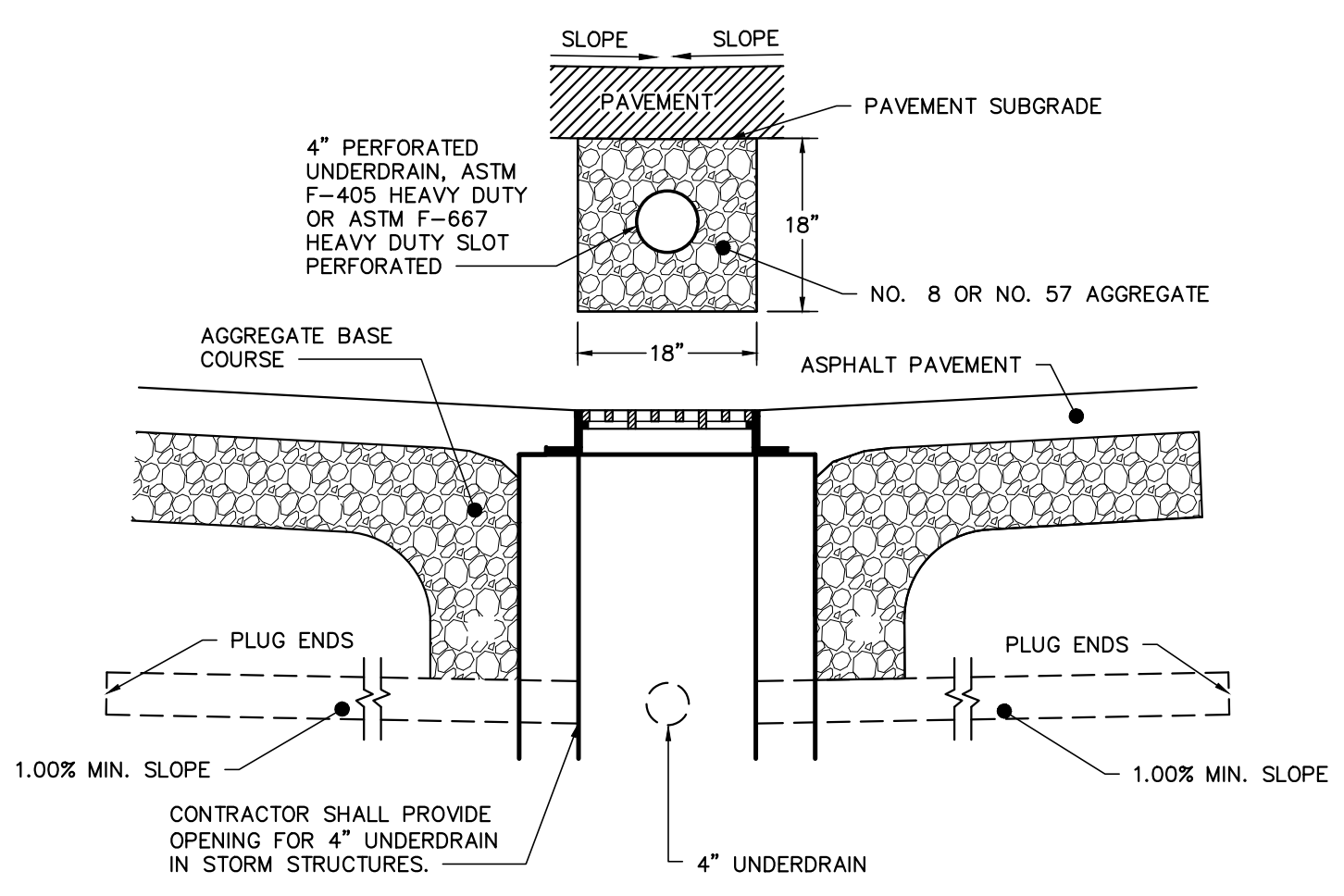
NOTE: THE ABOVE PRIVATE PAVEMENT SPECIFICATIONS ARE FOR BIDDING PURPOSES ONLY. THE CONTRACTOR TO REFER TO THE GEOTECHNICAL REPORT FOR PAVEMENT AND SUBGRADE RECOMMENDATIONS.



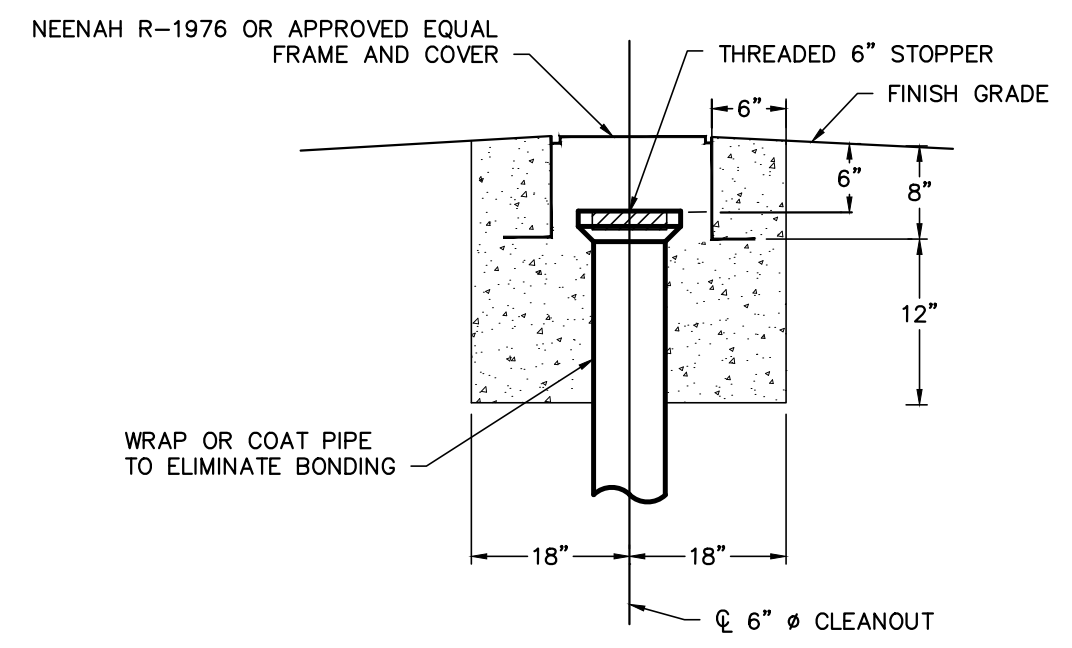
STANDARD PARKING BLOCK DETAIL
NO SCALE



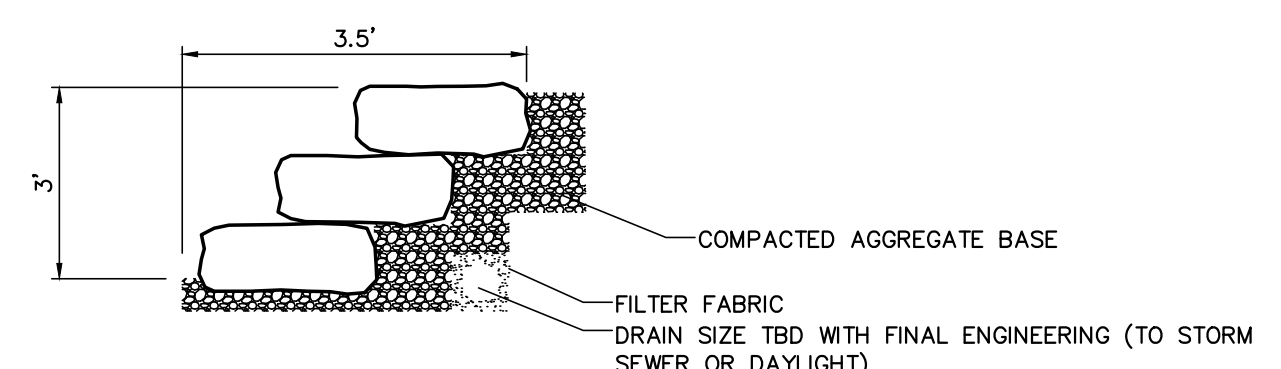
BLOCK RETAINING WALL
NO SCALE



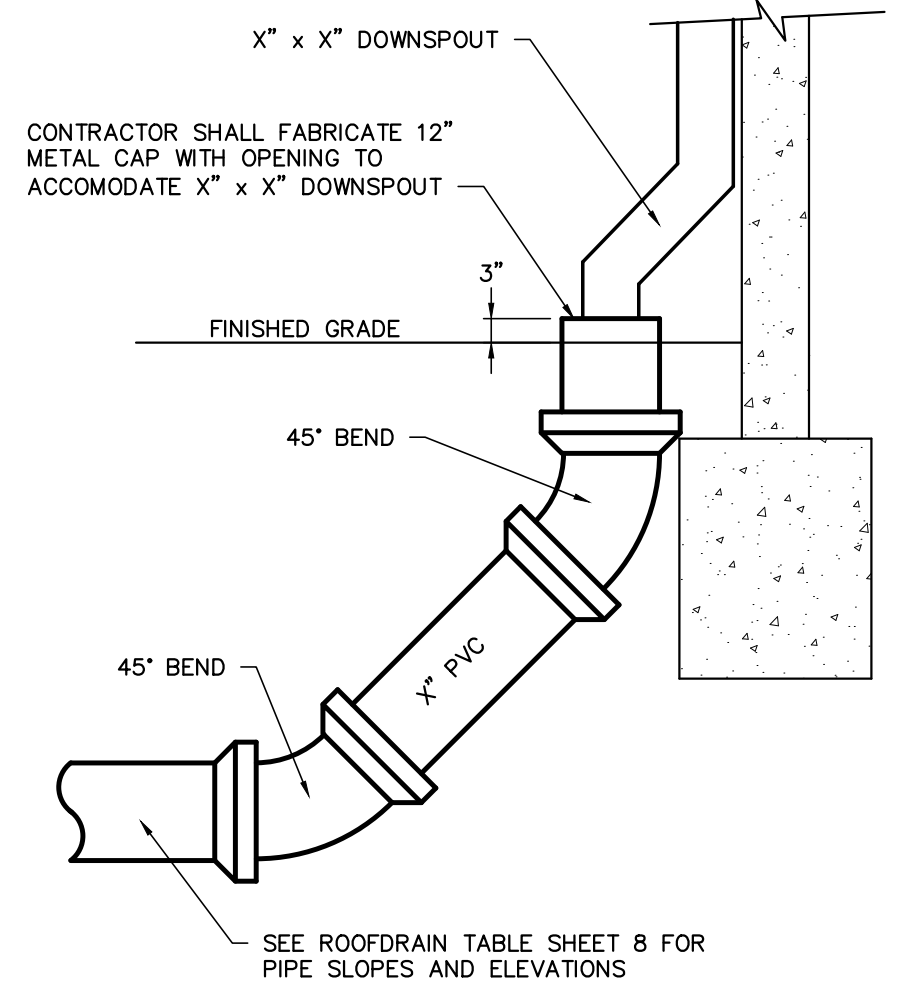
4\"/>



CLEANOUT IN PAVEMENT/SIDEWALK DETAIL
NO SCALE



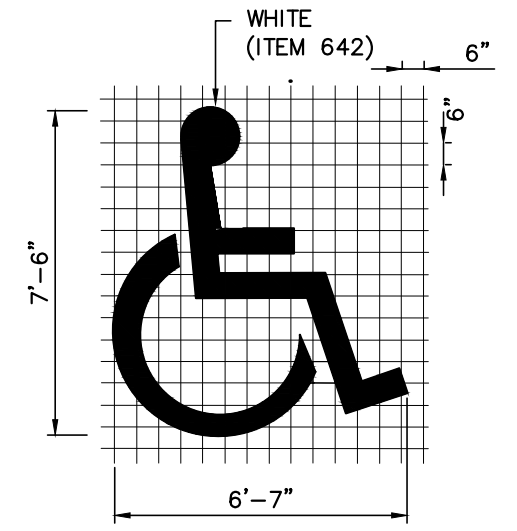
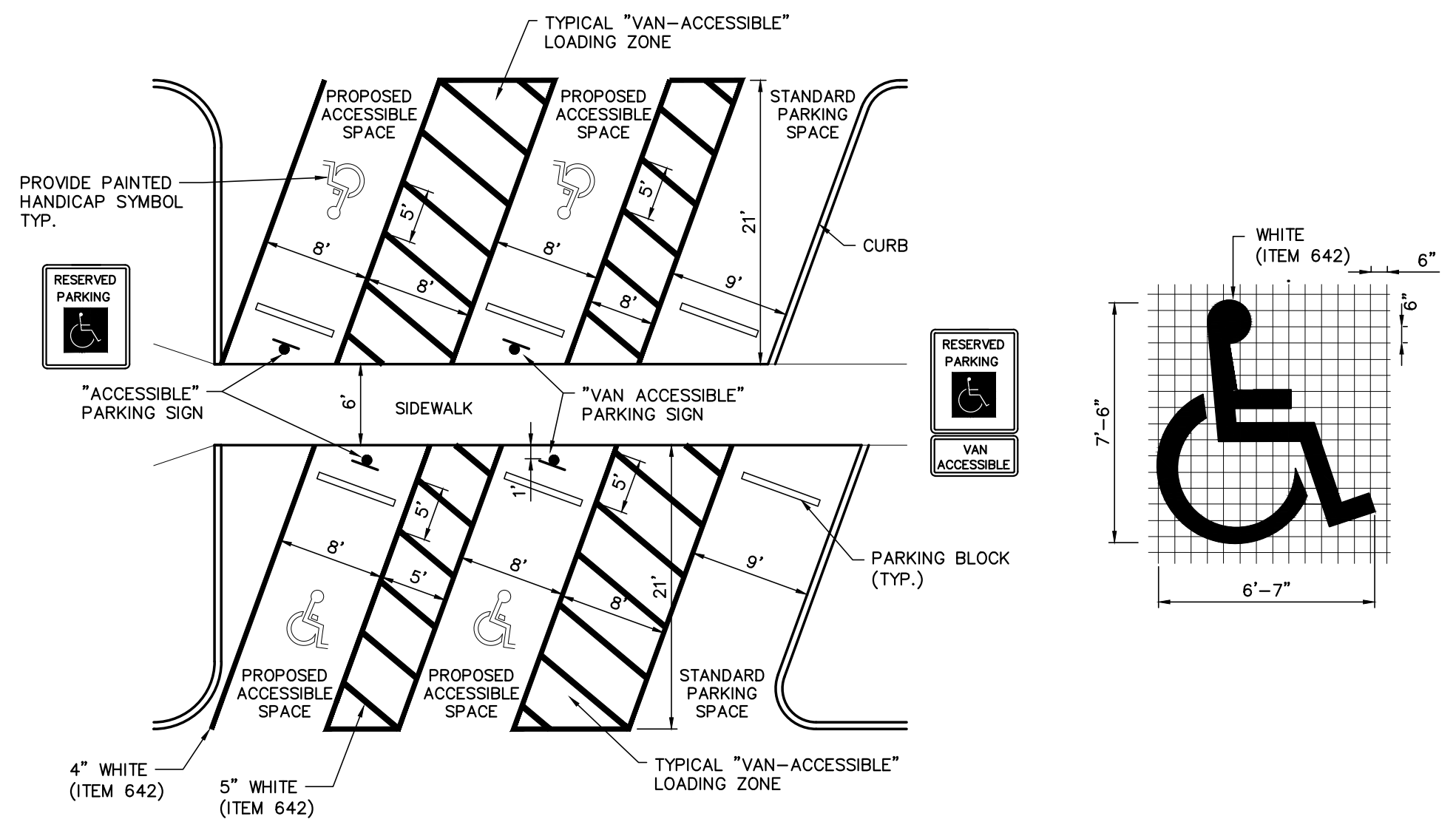
STONE RETAINING WALL
NO SCALE




TYPICAL DOWNSPOUT CONNECTION DETAIL
NO SCALE

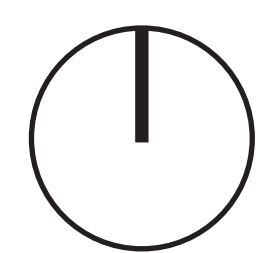
CITY OF DUBLIN, OHIO FINAL DEVELOPMENT PLAN DETAILS FOR THE BEACON - PHASE 1		
PLAN PREPARED BY:  ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS		
781 Science Boulevard, Suite 100 Gahanna, Ohio 43230 ph 614.428.7750 fax 614.428.7755		
SCALE: AS NOTED	DATE: 12/11/2025	SHEET C.2

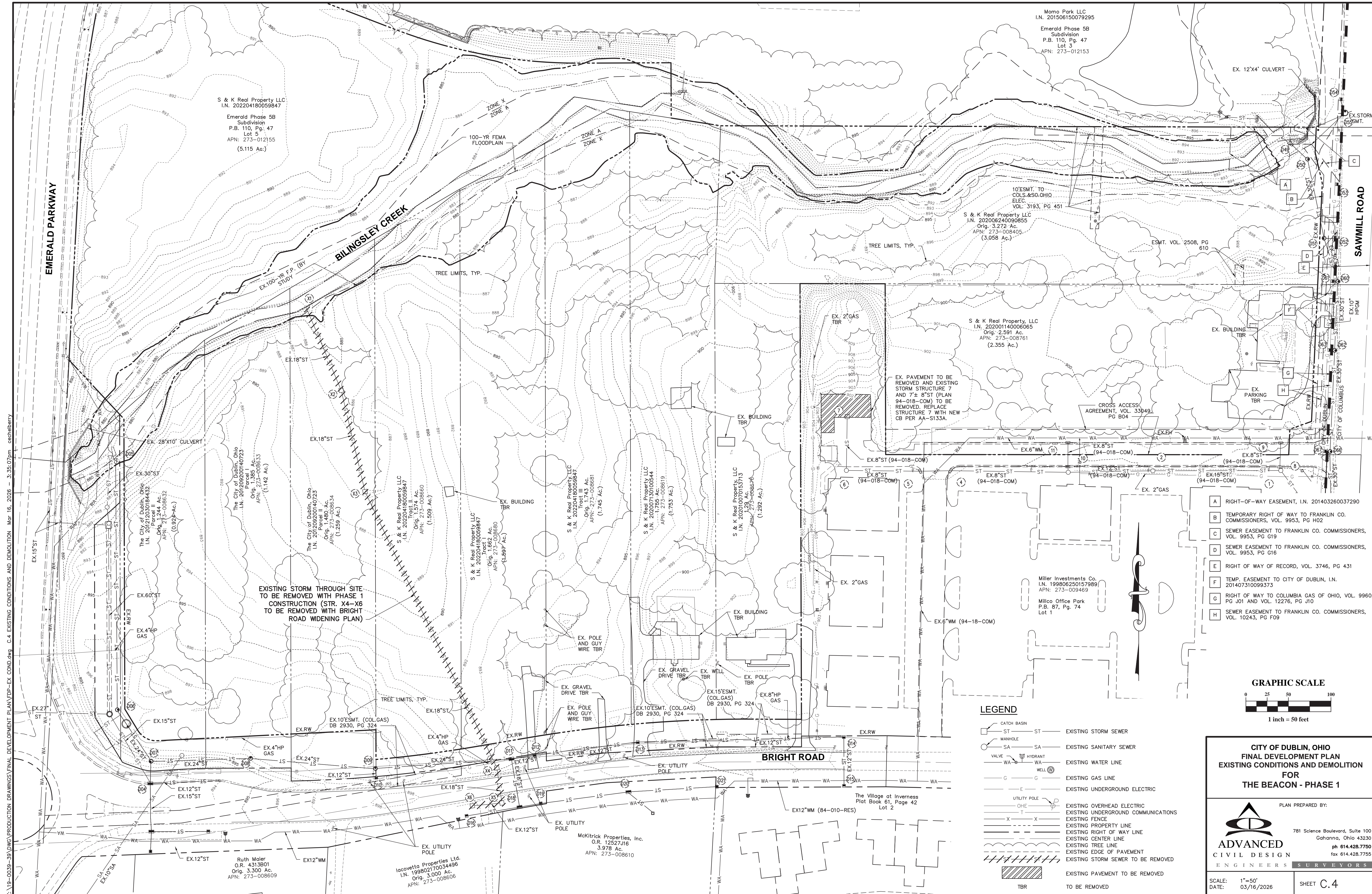
Z:\18-0039-30\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\FDP-TITLE SHEET.dwg C3 DETAILS Mar 16, 2026 - 3:34:09pm ceehelberry



PHASE 1 ACCESSIBLE PARKING DETAIL
NO SCALE

CITY OF DUBLIN, OHIO FINAL DEVELOPMENT PLAN DETAILS FOR THE BEACON - PHASE 1		
PLAN PREPARED BY:		
		
781 Science Boulevard, Suite 100 Gahanna, Ohio 43230 ph 614.428.7750 fax 614.428.7755		
ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS		
SCALE: AS NOTED DATE: 12/11/2025	SHEET C.3	





21.18-003B-30 DWG PRODUCTION DRAWINGS/FINAL DEVELOPMENT PLAN/FDP-EX-COND.dwg C-4 EXISTING CONDITIONS AND DEMOLITION Mar 16, 2026 - 3:35:07pm ceshelberry

Momo Park LLC
 I.N. 201506150079295
 Emerald Phase 5B
 Subdivision
 P.B. 110, Pg. 47
 Lot 3
 APN: 273-012153

S & K Real Property LLC
 I.N. 202204180059847
 Emerald Phase 5B
 Subdivision
 P.B. 110, Pg. 47
 Lot 5
 APN: 273-012155
 (5.115 Ac.)

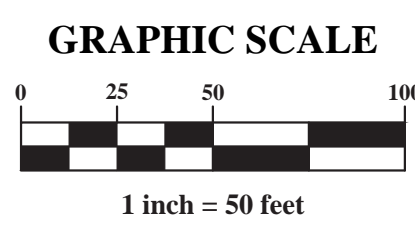
10' ESMT. TO
 COL.S. & SO. OHIO
 ELEC.
 VOL. 3193, PG 451
 S & K Real Property LLC
 I.N. 202006240090855
 Orig. 3.272 Ac.
 APN: 273-008405
 (3.058 Ac.)

S & K Real Property, LLC
 I.N. 20201140006065
 Orig. 2.591 Ac.
 APN: 273-008761
 (2.355 Ac.)

The City of Dublin, Ohio
 I.N. 202008184432
 Parcel 1
 Orig. 1.244 Ac.
 APN: 273-008632
 (0.924 Ac.)
 The City of Dublin, Ohio
 I.N. 2020200140723
 Parcel 1
 Orig. 1.380 Ac.
 APN: 273-008633
 (1.142 Ac.)
 The City of Dublin, Ohio
 I.N. 2020200140723
 Parcel II
 Orig. 1.480 Ac.
 APN: 273-008634
 (1.259 Ac.)

EXISTING STORM THROUGH SITE
 TO BE REMOVED WITH PHASE 1
 CONSTRUCTION (STR. X4-X6
 TO BE REMOVED WITH BRIGHT
 ROAD WIDENING PLAN)

- A RIGHT-OF-WAY EASEMENT, I.N. 201403260037290
- B TEMPORARY RIGHT OF WAY TO FRANKLIN CO. COMMISSIONERS, VOL. 9953, PG H02
- C SEWER EASEMENT TO FRANKLIN CO. COMMISSIONERS, VOL. 9953, PG G19
- D SEWER EASEMENT TO FRANKLIN CO. COMMISSIONERS, VOL. 9953, PG G16
- E RIGHT OF WAY OF RECORD, VOL. 3746, PG 431
- F TEMP. EASEMENT TO CITY OF DUBLIN, I.N. 201407310098373
- G RIGHT OF WAY TO COLUMBIA GAS OF OHIO, VOL. 9960, PG J01 AND VOL. 12276, PG J10
- H SEWER EASEMENT TO FRANKLIN CO. COMMISSIONERS, VOL. 10243, PG F09



LEGEND

	CATCH BASIN		EXISTING STORM SEWER
	MANHOLE		EXISTING SANITARY SEWER
	VALVE		EXISTING WATER LINE
	HYDRANT		EXISTING GAS LINE
	WELL		EXISTING UNDERGROUND ELECTRIC
	UTILITY POLE		EXISTING OVERHEAD ELECTRIC
	OHE		EXISTING UNDERGROUND COMMUNICATIONS
	X		EXISTING FENCE
			EXISTING PROPERTY LINE
			EXISTING RIGHT OF WAY LINE
			EXISTING CENTER LINE
			EXISTING TREE LINE
			EXISTING EDGE OF PAVEMENT
			EXISTING STORM SEWER TO BE REMOVED
	TBR		EXISTING PAVEMENT TO BE REMOVED
			TO BE REMOVED

CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
EXISTING CONDITIONS AND DEMOLITION
FOR
THE BEACON - PHASE 1

PLAN PREPARED BY:

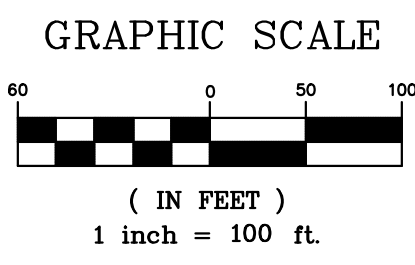
ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

SCALE: 1"=50'
 DATE: 03/16/2026

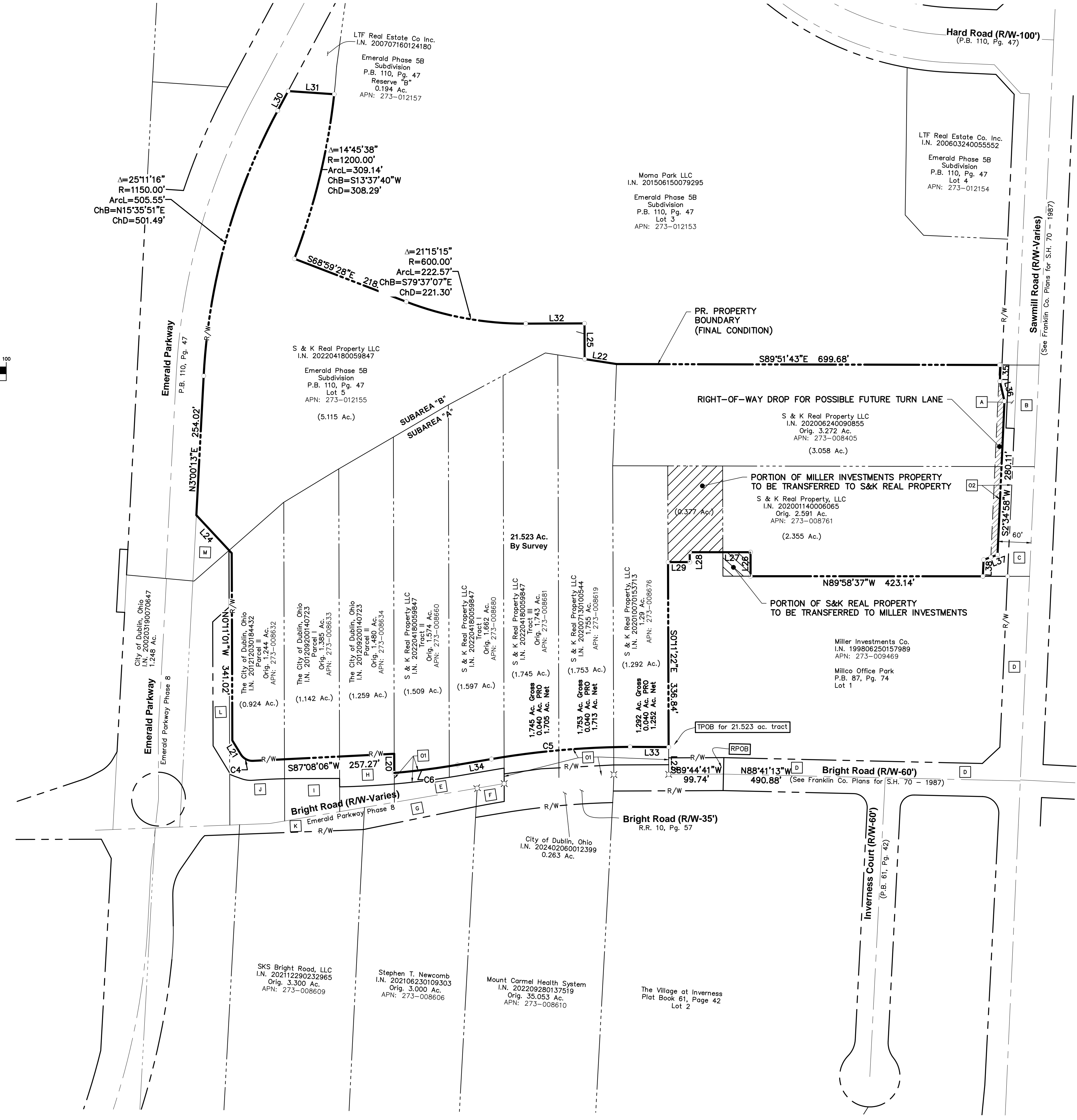
SHEET C.4

2119-0039-39 DWS PRODUCTION DRAWINGS FINAL DEVELOPMENT PLAN FDP-PROPERTY SURVEY.dwg C.S. PROPERTY SURVEY, Mar 16, 2026 - 3:35:39pm ceshelberry



Legend

- Iron Rod Found
- Iron Pipe Found
- PK Nail Found
- ▲ RR Spike Found
- Iron Pin Set
- ⊗ PK Nail Set
- △ RR Spike Set



CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DIST.
C4	061°26'03"	25.00'	26.81'	N62°09'07"W	25.54'
C5	009°22'54"	1550.00'	253.80'	S84°59'18"W	253.52'
C6	004°35'42"	1450.00'	116.29'	S82°40'00"W	116.25'

LINE TABLE			LINE TABLE		
LINE	DISTANCE	BEARING	LINE	DISTANCE	BEARING
L20	34.91'	N00°09'46"W	L31	84.05'	S86°06'38"E
L21	29.56'	N31°26'21"W	L32	107.00'	N89°45'15"E
L22	58.78'	S81°08'03"E	L33	70.17'	N89°44'40"W
L23	49.68'	N00°11'22"W	L34	62.65'	S80°22'08"W
L24	94.53'	N42°58'11"W	L35	29.62'	S02°34'58"W
L25	65.00'	S00°14'45"E	L36	37.21'	S13°00'30"E
L26	43.72'	N00°02'00"E	L37	27.02'	S70°16'23"W
L27	110.78'	N90°00'00"W	L38	30.07'	S02°34'58"W
L28	18.00'	S00°00'00"E			
L29	39.62'	N90°00'00"W			
L30	40.45'	N28°11'29"E			

- A City of Dublin, Ohio I.N. 20140801009966 0.040 Ac. Parcel 3-WD
- B Franklin County Commissioners I.N. 20140801009966 0.180 Ac. Parcel 16WD
- C Franklin County Commissioners O.R. 10243F14 0.195 Ac. Parcel 14WD
- D Franklin County Commissioners O.R. 10522D02 0.720 Ac. Parcel 12WD
- E City of Dublin, Ohio I.N. 201302130026192 0.135 Ac. Parcel 23-WD1
- F City of Dublin, Ohio I.N. 201312170206128 0.038 Ac. Parcel 10-WD2
- G City of Dublin, Ohio I.N. 201209040129523 0.172 Ac. Parcel 13-WD
- H City of Dublin, Ohio I.N. 201403260037288 0.216 Ac. Parcel 22-WD2
- I City of Dublin, Ohio I.N. 201403260037290 0.245 Ac. Parcel 22-WD1
- J City of Dublin, Ohio I.N. 201403260037290 0.322 Ac. Parcel 21-WD1
- K City of Dublin, Ohio I.N. 201105160062622 0.136 Ac. Parcel 12-WD
- L The City of Dublin, Ohio I.N. 201212030184432 0.841 Ac. Parcel 1
- M City of Dublin, Ohio I.N. 201302130026193 0.086 Ac. Parcel 23-WD2

NOTE: THIS SURVEY IS NOT TO BE USED FOR RECORDING PURPOSES.

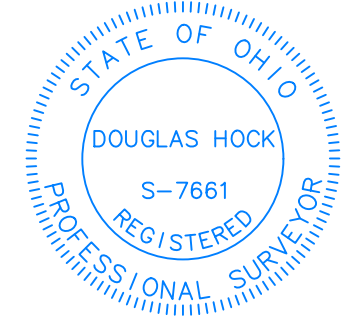
This drawing is based on existing Auditor's and Recorder's records and an actual field survey by Advanced Civil Design, Inc. in April of 2020.

All iron pins set are 5/8" diameter rebar, 30" long with a plastic cap inscribed "Advanced 7661".

Bearings are based on the bearing of N88°41'13"W for the centerline of Bright Road between Franklin County Geodetic Survey monuments 6656 and 7739 (Ohio State Plane Coordinate System, South Zone, NAD83, NSRS 2007) as established using a GPS survey.

ADVANCED CIVIL DESIGN, INC.

 Douglas R. Hock
 Professional Surveyor No. 8241
 Date: 03/16/2026



**CITY OF DUBLIN, OHIO
 FINAL DEVELOPMENT PLAN
 PROPERTY SURVEY
 FOR
 THE BEACON - PHASE 1**

PLAN PREPARED BY:

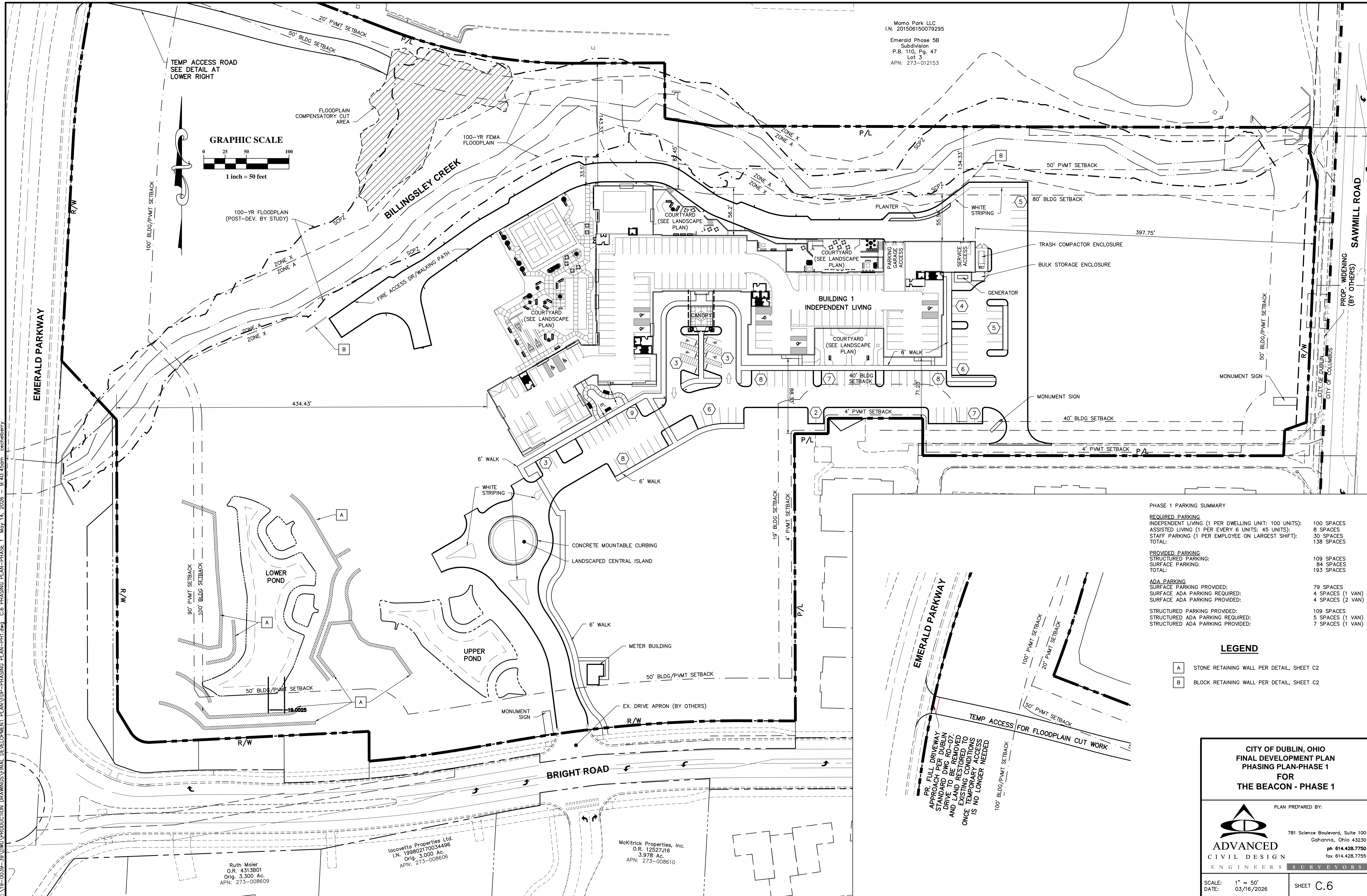
ADVANCED CIVIL DESIGN
 ENGINEERS SURVEYORS

781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

SCALE: 1" = 100'
 DATE: 03/16/2026

SHEET C.5

Z:\18-0038-30\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\EDP-PHASING PLAN-PH1.dwg C:\6 PHASING PLAN-PH1.dwg 8:40:45am cec@alberberry



Momo Park LLC
I.N. 201506150079295
Emerald Phase 5B
Subdivision
P.B. 110, Pg. 47
Lot 3
APN: 273-012153

TEMP ACCESS ROAD
SEE DETAIL AT
LOWER RIGHT

GRAPHIC SCALE
1 inch = 50 feet

100-YR FLOODPLAIN
(POST-DEV. BY STUDY)


PHASE 1 PARKING SUMMARY

REQUIRED PARKING	
INDEPENDENT LIVING (1 PER DWELLING UNIT: 100 UNITS):	100 SPACES
ASSISTED LIVING (1 PER EVERY 6 UNITS: 45 UNITS):	8 SPACES
STAFF PARKING (1 PER EMPLOYEE ON LARGEST SHIFT):	30 SPACES
TOTAL:	138 SPACES
PROVIDED PARKING	
STRUCTURED PARKING:	109 SPACES
SURFACE PARKING:	84 SPACES
TOTAL:	193 SPACES
ADA PARKING	
SURFACE PARKING PROVIDED:	79 SPACES
SURFACE ADA PARKING REQUIRED:	4 SPACES (1 VAN)
SURFACE ADA PARKING PROVIDED:	4 SPACES (2 VAN)
STRUCTURED PARKING PROVIDED:	109 SPACES
STRUCTURED ADA PARKING REQUIRED:	5 SPACES (1 VAN)
STRUCTURED ADA PARKING PROVIDED:	7 SPACES (1 VAN)

- LEGEND**
- A STONE RETAINING WALL PER DETAIL, SHEET C2
 - B BLOCK RETAINING WALL PER DETAIL, SHEET C2

CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
PHASING PLAN-PHASE 1
FOR
THE BEACON - PHASE 1

PLAN PREPARED BY:

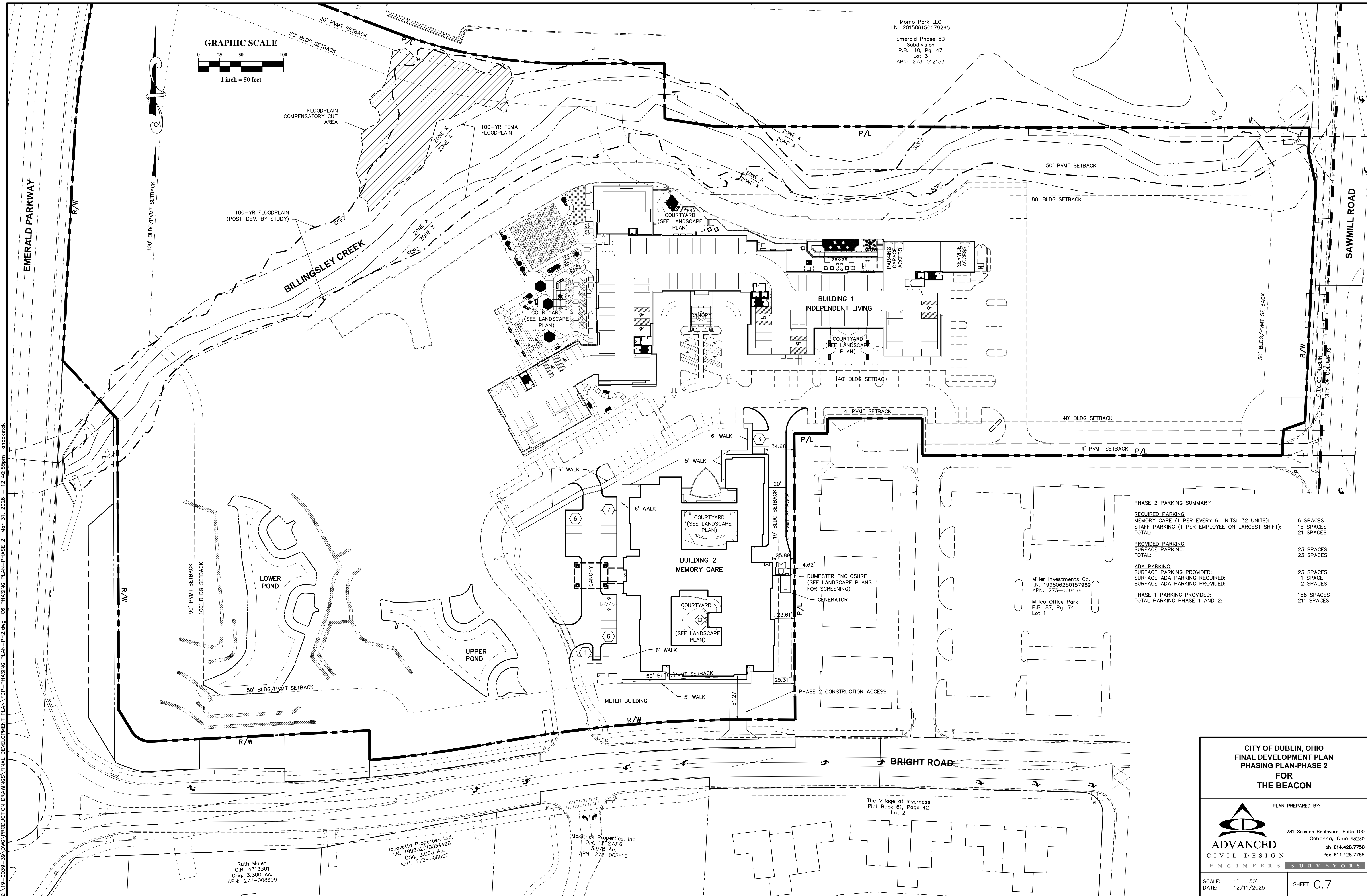


ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

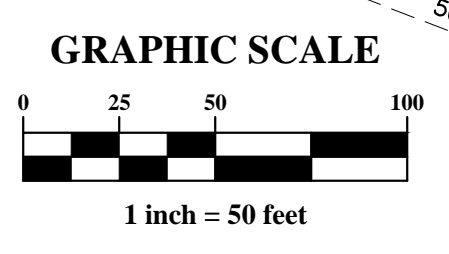
781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755

SCALE: 1" = 50'
DATE: 03/16/2026

SHEET C.6



Memo Park LLC
 I.N. 201506150079295
 Emerald Phase 5B
 Subdivision
 P.B. 110, Pg. 47
 Lot 3
 APN: 273-012153



PHASE 2 PARKING SUMMARY

REQUIRED PARKING	
MEMORY CARE (1 PER EVERY 6 UNITS: 32 UNITS):	6 SPACES
STAFF PARKING (1 PER EMPLOYEE ON LARGEST SHIFT):	15 SPACES
TOTAL:	21 SPACES
PROVIDED PARKING	
SURFACE PARKING:	23 SPACES
TOTAL:	23 SPACES
ADA PARKING	
SURFACE PARKING PROVIDED:	23 SPACES
SURFACE ADA PARKING REQUIRED:	1 SPACE
SURFACE ADA PARKING PROVIDED:	2 SPACES
PHASE 1 PARKING PROVIDED:	188 SPACES
TOTAL PARKING PHASE 1 AND 2:	211 SPACES

Z:\18-0039-39\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\FDP-PHASE 2 Mar 31, 2026 - 12:40:55pm_ehodesetok

CITY OF DUBLIN, OHIO
 FINAL DEVELOPMENT PLAN
 PHASING PLAN-PHASE 2
 FOR
THE BEACON

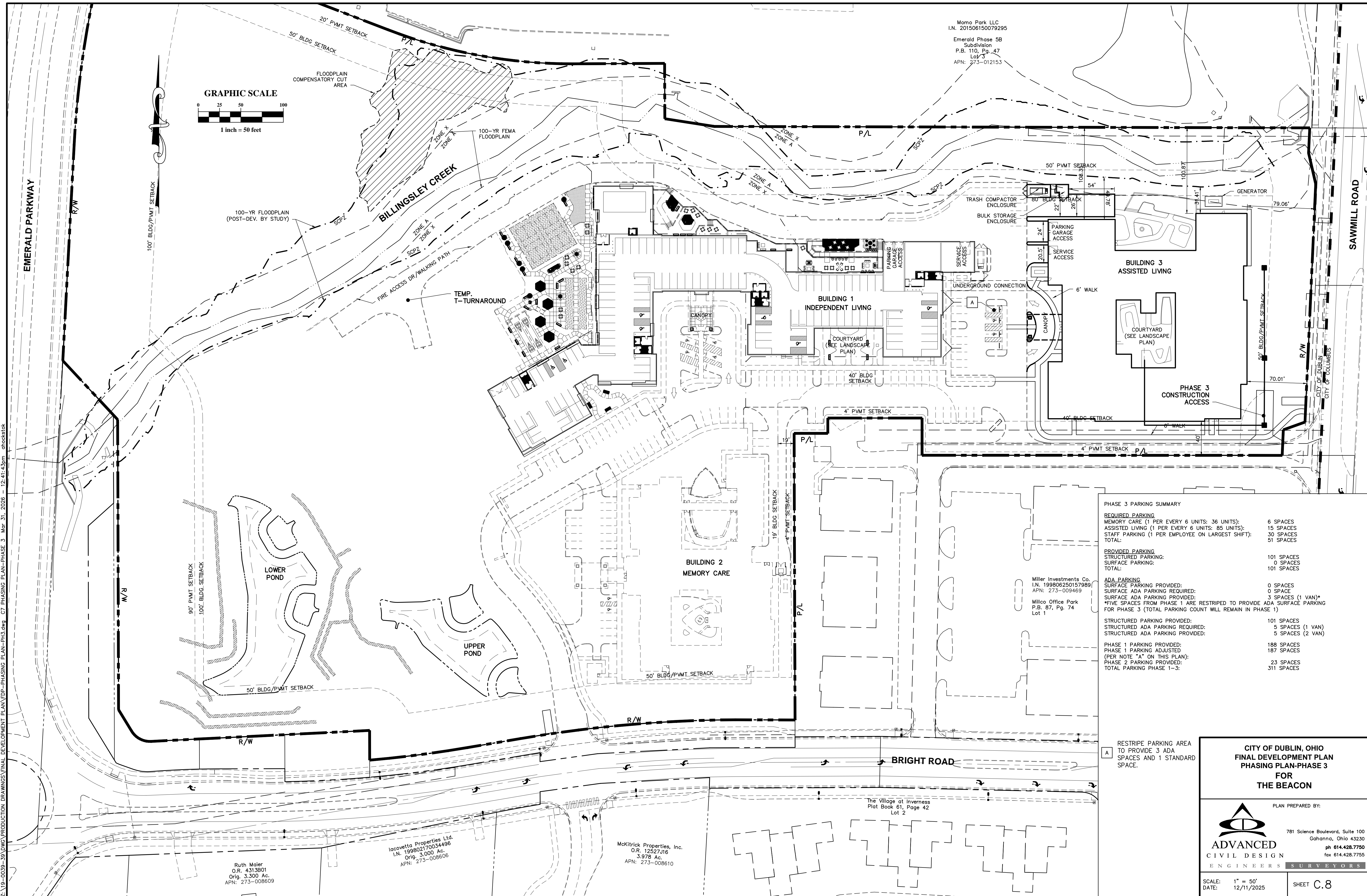
PLAN PREPARED BY:

ADVANCED
 CIVIL DESIGN
 ENGINEERS SURVEYORS

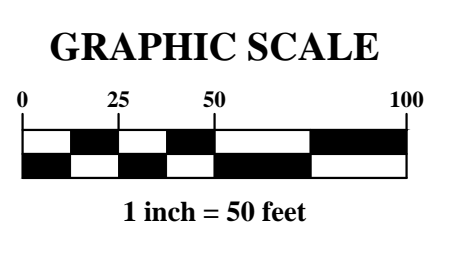
781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

SCALE: 1" = 50'
 DATE: 12/11/2025

SHEET **C.7**



Momo Park LLC
 I.N. 201506150079295
 Emerald Phase 5B
 Subdivision
 P.B. 110, Pg. 47
 Lot 3
 APN: 273-012153



PHASE 3 PARKING SUMMARY

REQUIRED PARKING	
MEMORY CARE (1 PER EVERY 6 UNITS: 36 UNITS):	6 SPACES
ASSISTED LIVING (1 PER EVERY 6 UNITS: 85 UNITS):	15 SPACES
STAFF PARKING (1 PER EMPLOYEE ON LARGEST SHIFT):	30 SPACES
TOTAL:	51 SPACES
PROVIDED PARKING	
STRUCTURED PARKING:	101 SPACES
SURFACE PARKING:	0 SPACES
TOTAL:	101 SPACES
ADA PARKING	
SURFACE PARKING PROVIDED:	0 SPACES
SURFACE ADA PARKING REQUIRED:	0 SPACE
SURFACE ADA PARKING PROVIDED:	3 SPACES (1 VAN)*
*FIVE SPACES FROM PHASE 1 ARE RESTRIPE TO PROVIDE ADA SURFACE PARKING FOR PHASE 3 (TOTAL PARKING COUNT WILL REMAIN IN PHASE 1)	
STRUCTURED PARKING PROVIDED:	101 SPACES
STRUCTURED ADA PARKING REQUIRED:	5 SPACES (1 VAN)
STRUCTURED ADA PARKING PROVIDED:	5 SPACES (2 VAN)
PHASE 1 PARKING PROVIDED:	188 SPACES
PHASE 1 PARKING ADJUSTED (PER NOTE "A" ON THIS PLAN):	187 SPACES
PHASE 2 PARKING PROVIDED:	23 SPACES
TOTAL PARKING PHASE 1-3:	311 SPACES

A RESTRIPE PARKING AREA TO PROVIDE 3 ADA SPACES AND 1 STANDARD SPACE.

CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
PHASING PLAN-PHASE 3
FOR
THE BEACON

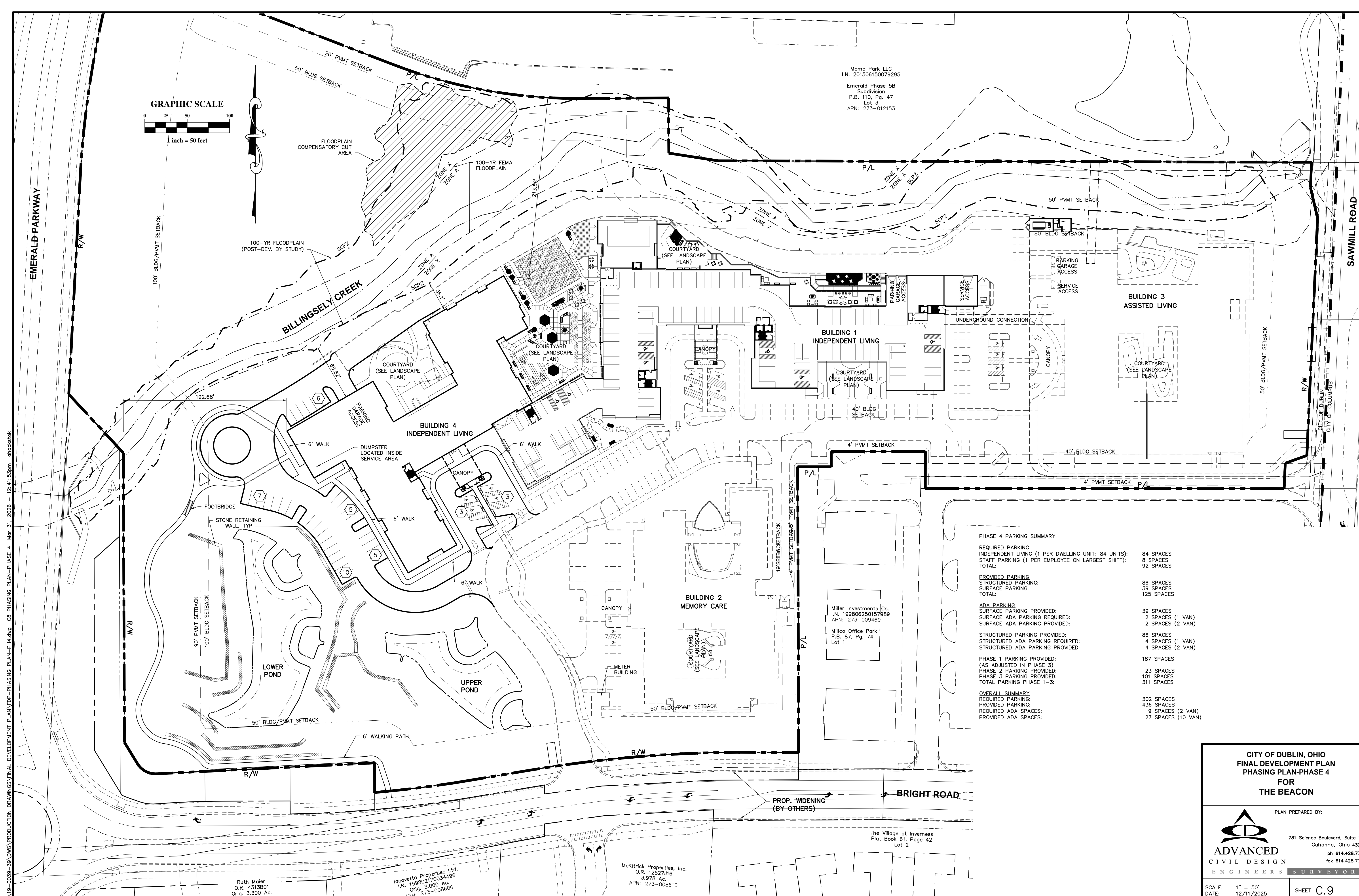
PLAN PREPARED BY:

781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

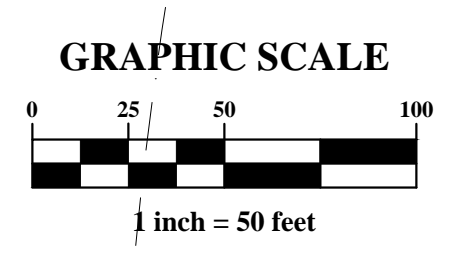
SCALE: 1" = 50'
 DATE: 12/11/2025

SHEET C.8

24.18-0039-39 PDW PRODUCTION DRAWINGS/FINAL DEVELOPMENT PLAN-FDP-PHASE 3, Mar. 31, 2026 - 12:41:53pm ahoctatck
 24.18-0039-39 PDW PRODUCTION DRAWINGS/FINAL DEVELOPMENT PLAN-FDP-PHASE 3, Mar. 31, 2026 - 12:41:53pm ahoctatck



Momo Park LLC
 I.N. 201506150079295
 Emerald Phase 5B
 Subdivision
 P.B. 110, Pg. 47
 Lot 3
 APN: 273-012153




PHASE 4 PARKING SUMMARY

REQUIRED PARKING:	
INDEPENDENT LIVING (1 PER DWELLING UNIT: 84 UNITS):	84 SPACES
STAFF PARKING (1 PER EMPLOYEE ON LARGEST SHIFT):	8 SPACES
TOTAL:	92 SPACES
PROVIDED PARKING:	
STRUCTURED PARKING:	86 SPACES
SURFACE PARKING:	39 SPACES
TOTAL:	125 SPACES
ADA PARKING	
SURFACE PARKING PROVIDED:	39 SPACES
SURFACE ADA PARKING REQUIRED:	2 SPACES (1 VAN)
SURFACE ADA PARKING PROVIDED:	2 SPACES (2 VAN)
STRUCTURED PARKING PROVIDED:	86 SPACES
STRUCTURED ADA PARKING REQUIRED:	4 SPACES (1 VAN)
STRUCTURED ADA PARKING PROVIDED:	4 SPACES (2 VAN)
PHASE 1 PARKING PROVIDED:	187 SPACES
(AS ADJUSTED IN PHASE 3)	
PHASE 2 PARKING PROVIDED:	23 SPACES
PHASE 3 PARKING PROVIDED:	101 SPACES
TOTAL PARKING PHASE 1-3:	311 SPACES
OVERALL SUMMARY:	
REQUIRED PARKING:	302 SPACES
PROVIDED PARKING:	436 SPACES
REQUIRED ADA SPACES:	9 SPACES (2 VAN)
PROVIDED ADA SPACES:	27 SPACES (10 VAN)

CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
PHASING PLAN-PHASE 4
FOR
THE BEACON

PLAN PREPARED BY:


ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

SCALE: 1" = 50'
 DATE: 12/11/2025

SHEET **C.9**

Z:\18-0039-39\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\FDP-PH4.dwg CB PHASING PLAN-PHASE 4 Mar 31, 2026 12:41:53pm ahsatata

Ruth Maier
 O.R. 4313801
 Orig. 3,300 Ac.
 APN: 273-008609

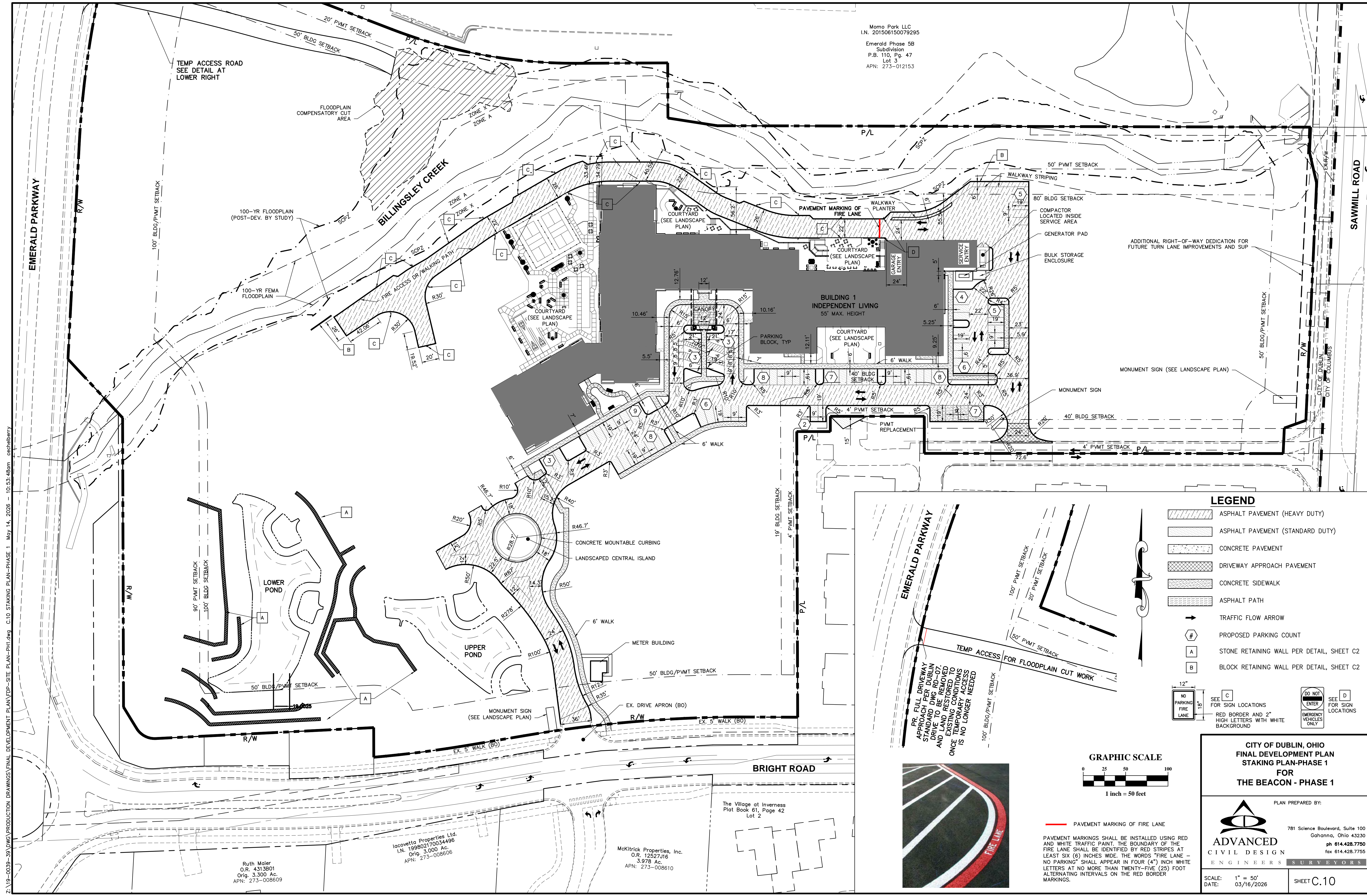
Iacovetta Properties Ltd.
 I.N. 199802710034496
 Orig. 3,000 Ac.
 APN: 273-008606

McKittrick Properties, Inc.
 O.R. 12527116
 3,978 Ac.
 APN: 273-008610

The Village at Inverness
 Plat Book 61, Page 42
 Lot 2

Miller Investments Co.
 I.N. 199806250157989
 APN: 273-009469

Milco Office Park
 P.B. 87, Pg. 74
 Lot 1



LEGEND

- ASPHALT PAVEMENT (HEAVY DUTY)
- ASPHALT PAVEMENT (STANDARD DUTY)
- CONCRETE PAVEMENT
- DRIVEWAY APPROACH PAVEMENT
- CONCRETE SIDEWALK
- ASPHALT PATH
- TRAFFIC FLOW ARROW
- PROPOSED PARKING COUNT
- STONE RETAINING WALL PER DETAIL, SHEET C2
- BLOCK RETAINING WALL PER DETAIL, SHEET C2

SEE FOR SIGN LOCATIONS
 SEE FOR SIGN LOCATIONS
 RED BORDER AND 2" HIGH LETTERS WITH WHITE BACKGROUND
 SEE FOR SIGN LOCATIONS
 SEE FOR SIGN LOCATIONS
 EMERGENCY VEHICLES ONLY

GRAPHIC SCALE

0 25 50 100
1 inch = 50 feet

PAVEMENT MARKING OF FIRE LANE

PAVEMENT MARKINGS SHALL BE INSTALLED USING RED AND WHITE TRAFFIC PAINT. THE BOUNDARY OF THE FIRE LANE SHALL BE IDENTIFIED BY RED STRIPES AT LEAST SIX (6) INCHES WIDE. THE WORDS "FIRE LANE - NO PARKING" SHALL APPEAR IN FOUR (4") INCH WHITE LETTERS AT NO MORE THAN TWENTY-FIVE (25) FOOT ALTERNATING INTERVALS ON THE RED BORDER MARKINGS.

PR. FULL DRIVEWAY APPROACH UNDER DUBLIN STANDARD FOR RD-07, AND TO BE MOVED AND RESTORED TO EXISTING CONDITION ONCE TEMPORARY ACCESS IS NO LONGER NEEDED

TEMP ACCESS FOR FLOODPLAIN CUT WORK

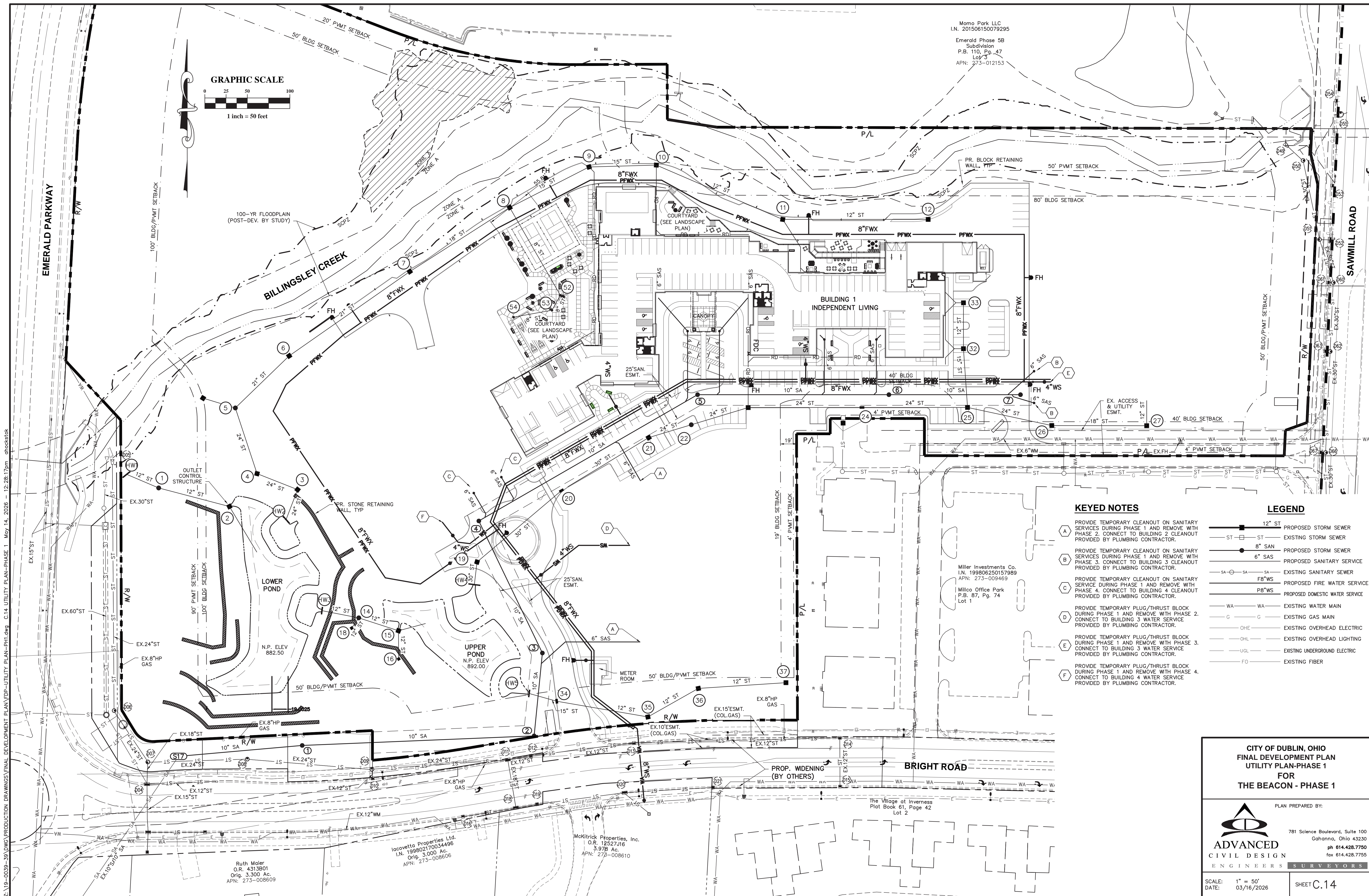
CITY OF DUBLIN, OHIO
 FINAL DEVELOPMENT PLAN
 STAKING PLAN-PHASE 1
 FOR
 THE BEACON - PHASE 1

PLAN PREPARED BY:

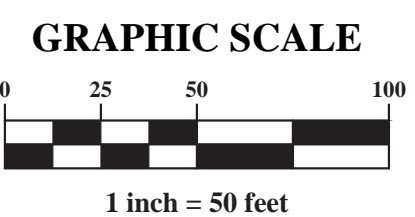
 781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

SCALE: 1" = 50'
 DATE: 03/16/2026

SHEET C.10



Momo Park LLC
 I.N. 201506150079295
 Emerald Phase 5B
 Subdivision
 P.B. 110, Pg. 47
 Lot 3
 APN: 273-012153



KEYED NOTES

- (A) PROVIDE TEMPORARY CLEANOUT ON SANITARY SERVICES DURING PHASE 1 AND REMOVE WITH PHASE 2. CONNECT TO BUILDING 2 CLEANOUT PROVIDED BY PLUMBING CONTRACTOR.
- (B) PROVIDE TEMPORARY CLEANOUT ON SANITARY SERVICES DURING PHASE 1 AND REMOVE WITH PHASE 3. CONNECT TO BUILDING 3 CLEANOUT PROVIDED BY PLUMBING CONTRACTOR.
- (C) PROVIDE TEMPORARY CLEANOUT ON SANITARY SERVICE DURING PHASE 1 AND REMOVE WITH PHASE 4. CONNECT TO BUILDING 4 CLEANOUT PROVIDED BY PLUMBING CONTRACTOR.
- (D) PROVIDE TEMPORARY PLUG/THRUST BLOCK DURING PHASE 1 AND REMOVE WITH PHASE 2. CONNECT TO BUILDING 3 WATER SERVICE PROVIDED BY PLUMBING CONTRACTOR.
- (E) PROVIDE TEMPORARY PLUG/THRUST BLOCK DURING PHASE 1 AND REMOVE WITH PHASE 3. CONNECT TO BUILDING 3 WATER SERVICE PROVIDED BY PLUMBING CONTRACTOR.
- (F) PROVIDE TEMPORARY PLUG/THRUST BLOCK DURING PHASE 1 AND REMOVE WITH PHASE 4. CONNECT TO BUILDING 4 WATER SERVICE PROVIDED BY PLUMBING CONTRACTOR.

LEGEND

- 12" ST — PROPOSED STORM SEWER
- ST — EXISTING STORM SEWER
- 8" SAN — PROPOSED STORM SEWER
- 6" SAS — PROPOSED SANITARY SERVICE
- SA — SA — EXISTING SANITARY SEWER
- F8"WS — PROPOSED FIRE WATER SERVICE
- P8"WS — PROPOSED DOMESTIC WATER SERVICE
- WA — WA — EXISTING WATER MAIN
- G — G — EXISTING GAS MAIN
- OHE — EXISTING OVERHEAD ELECTRIC
- OHL — EXISTING OVERHEAD LIGHTING
- UGL — EXISTING UNDERGROUND ELECTRIC
- FO — EXISTING FIBER

CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
UTILITY PLAN-PHASE 1
FOR
THE BEACON - PHASE 1

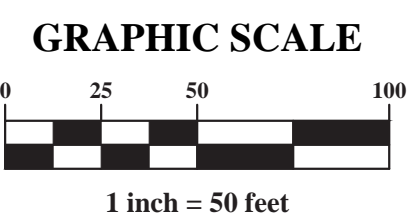
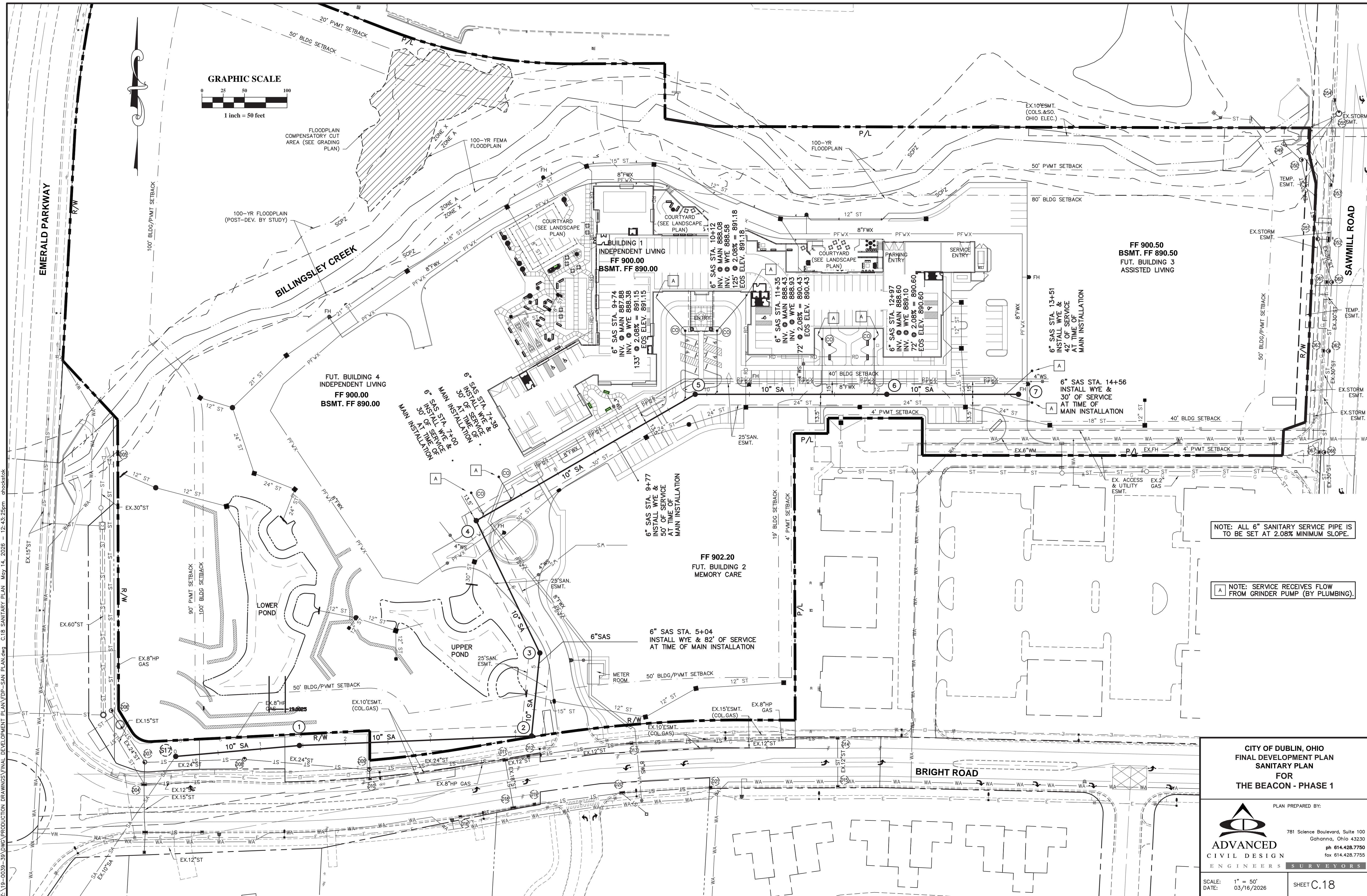
PLAN PREPARED BY:

ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

SCALE: 1" = 50'
 DATE: 03/16/2026

SHEET C.14



NOTE: ALL 6" SANITARY SERVICE PIPE IS TO BE SET AT 2.08% MINIMUM SLOPE.

A NOTE: SERVICE RECEIVES FLOW FROM GRINDER PUMP (BY PLUMBING).

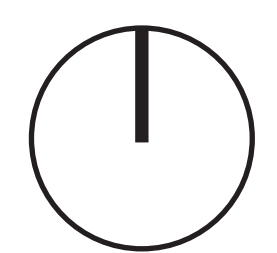
CITY OF DUBLIN, OHIO
 FINAL DEVELOPMENT PLAN
 SANITARY PLAN
 FOR
 THE BEACON - PHASE 1

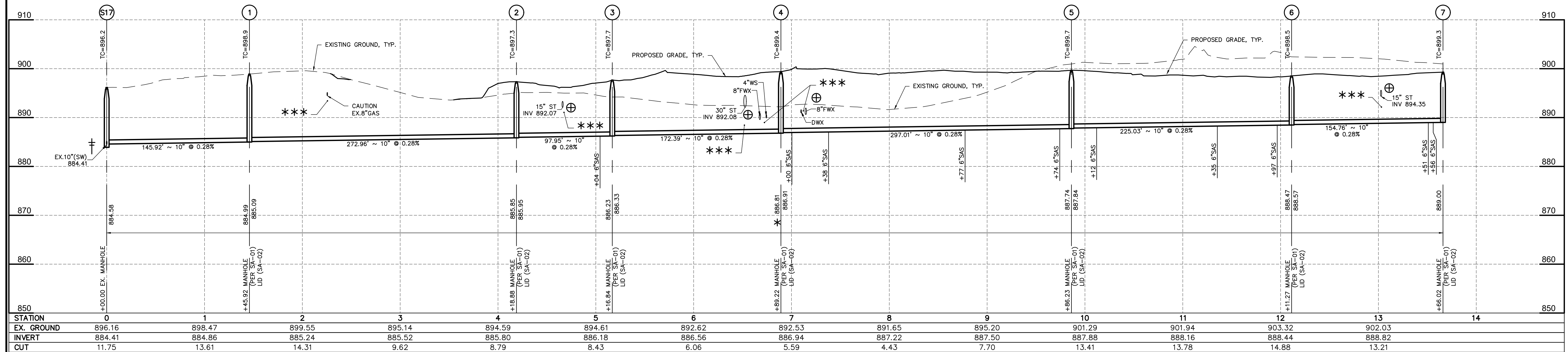
PLAN PREPARED BY:

 781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

SCALE: 1" = 50'
 DATE: 03/16/2026

SHEET C.18



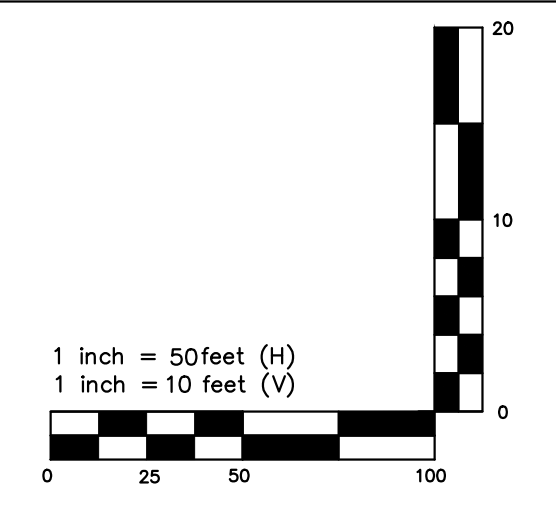


STATION	0	1	2	3	4	5	6	7	8	9	10	11	12	13	14	850
EX. GROUND	896.16	898.47	899.55	895.14	894.59	894.61	892.62	892.53	891.65	895.20	901.29	901.94	903.32	902.03		
INVERT	884.41	884.86	885.24	885.52	885.80	886.18	886.56	886.94	887.22	887.50	887.88	888.16	888.44	888.82		
CUT	11.75	13.61	14.31	9.62	8.79	8.43	6.06	5.59	4.43	7.70	13.41	13.78	14.88	13.21		

NOTE:
 † TAPS INTO EXISTING SANITARY MANHOLES SHALL BE CORE DRILLED AND INSPECTED BY THE CITY OF DUBLIN. CONTRACTOR SHALL FIELD VERIFY INVERT AND LOCATION OF EXISTING SANITARY MANHOLES.

NOTE:
 ALL 10" MAINLINE AND ALL 6" SERVICE LATERALS ARE INSTALLED WITH PHASE 1 CONSTRUCTION

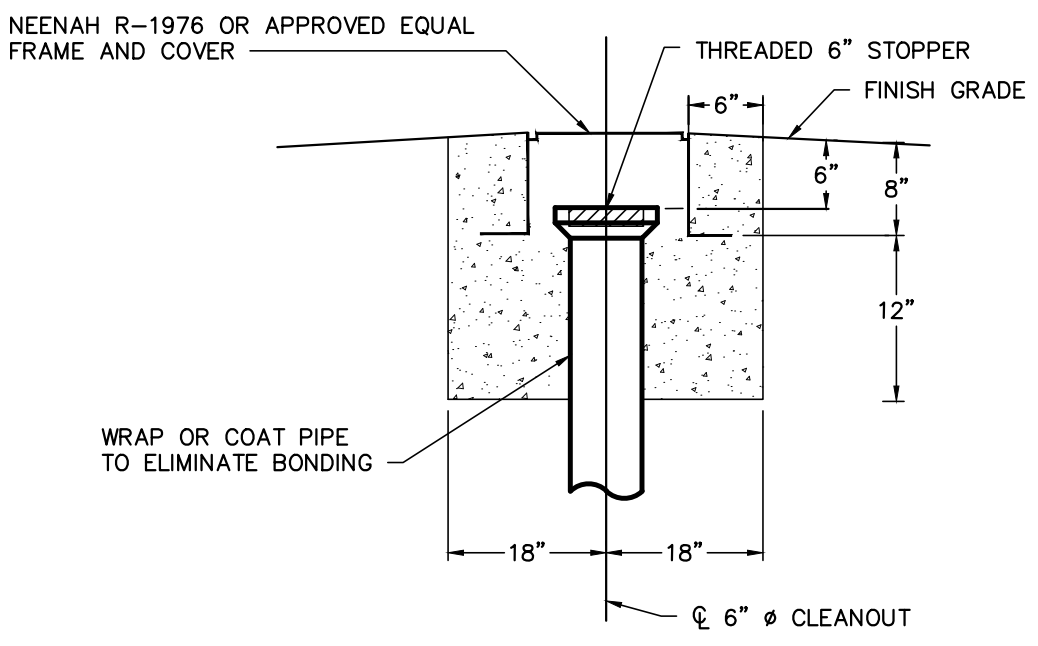
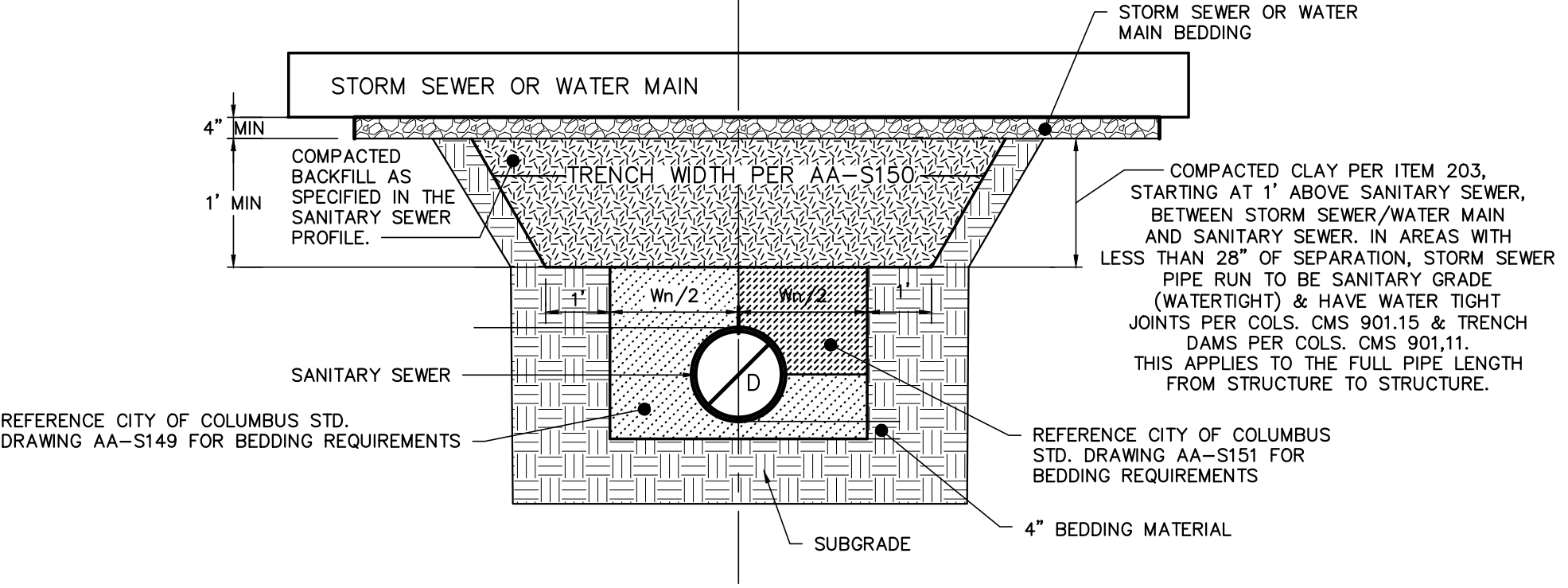
NOTE:
 STORM SEWERS, SANITARY SEWERS AND WATER MAINS CONSTRUCTED IN FILL AREAS SHALL NOT BE CONSTRUCTED UNTIL AFTER COMPACTED FILL HAS BEEN INSTALLED TO PROPOSED GRADE. THE STORM SEWERS, SANITARY SEWERS AND WATER MAINS SHALL BE INSTALLED PER SPECIFIED TRENCH INSTALLATION DETAILS.



CENTERLINE TRENCH

FLEXIBLE SEWER PIPE		RIGID SEWER PIPE	
D*	Wn*	D*	Wn*
6	30	6	24
8	30	8	27
10	30	10	30
12	32	12	32
15	36	15	36
18	40	18	40
21	44	21	44
24	48	24	48
27	52	27	52
30	57	30	57
33	61	33	61
36	64	36	64
42	71	42	71
48	78	48	78
54	87	54	87
60	96	60	96
66	105	66	105
72	116	72	116
78	123	78	123
84	130	84	130
90	136	90	136
96	143	96	143
102	151	102	151
108	160	108	160

* INCHES



THE ABOVE SHALL BE USED DURING THE CONSTRUCTION OF THE SANITARY SEWER & SANITARY SERVICE LATERALS AT EXISTING/PROPOSED STORM SEWER & ALL WATERLINE CROSSINGS. IF IT IS DISTURBED DURING CONSTRUCTION OF THE STORM SEWER OR THE WATERLINE, IT MUST BE RESTORED TO THE REQUIREMENTS OF THE DETAIL. LENGTH OF THE I/I BARRIER PROTECTION FOR SANITARY MAINS AND/OR LATERALS SHALL BE 10 FEET CENTERED ON STORM/WATERLINE PIPE CROSSING AND MEASURED ALONG THE SANITARY MAINLINE OR SERVICE LATERAL.

ALL TRENCH BACKFILL SHALL BE COMPACTED BACKFILL TO 95% OF MAXIMUM DRY WEIGHT AT OPTIMUM MOISTURE CONTENT (±2%) UNLESS NOTED AS:
 * : COMPACTED BACKFILL, ITEM 911
 ** : COMPACTED GRANULAR BACKFILL, ITEM 912

NOTE:
 PER CMS ITEM 911, WHERE NATURAL MATERIAL DOES NOT MEET THE REQUIREMENTS OF ITEM 911, THEN COMPACTED GRANULAR BACKFILL, ITEM 912, SHALL BE USED.
 ITEM 912 IS TO BE USED IN R/W PER 2179 STD. DWG.
 F.V. = ELEVATION AND LOCATION FIELD VERIFIED
 *** = MUST MAINTAIN A MIN. 18" CLEARANCE
 ⊕ = PROVIDE INFILTRATION BARRIER PER DETAIL THIS SHEET

CITY OF DUBLIN, OHIO
 FINAL DEVELOPMENT PLAN
 SANITARY PROFILE
 FOR
 THE BEACON - PHASE 1

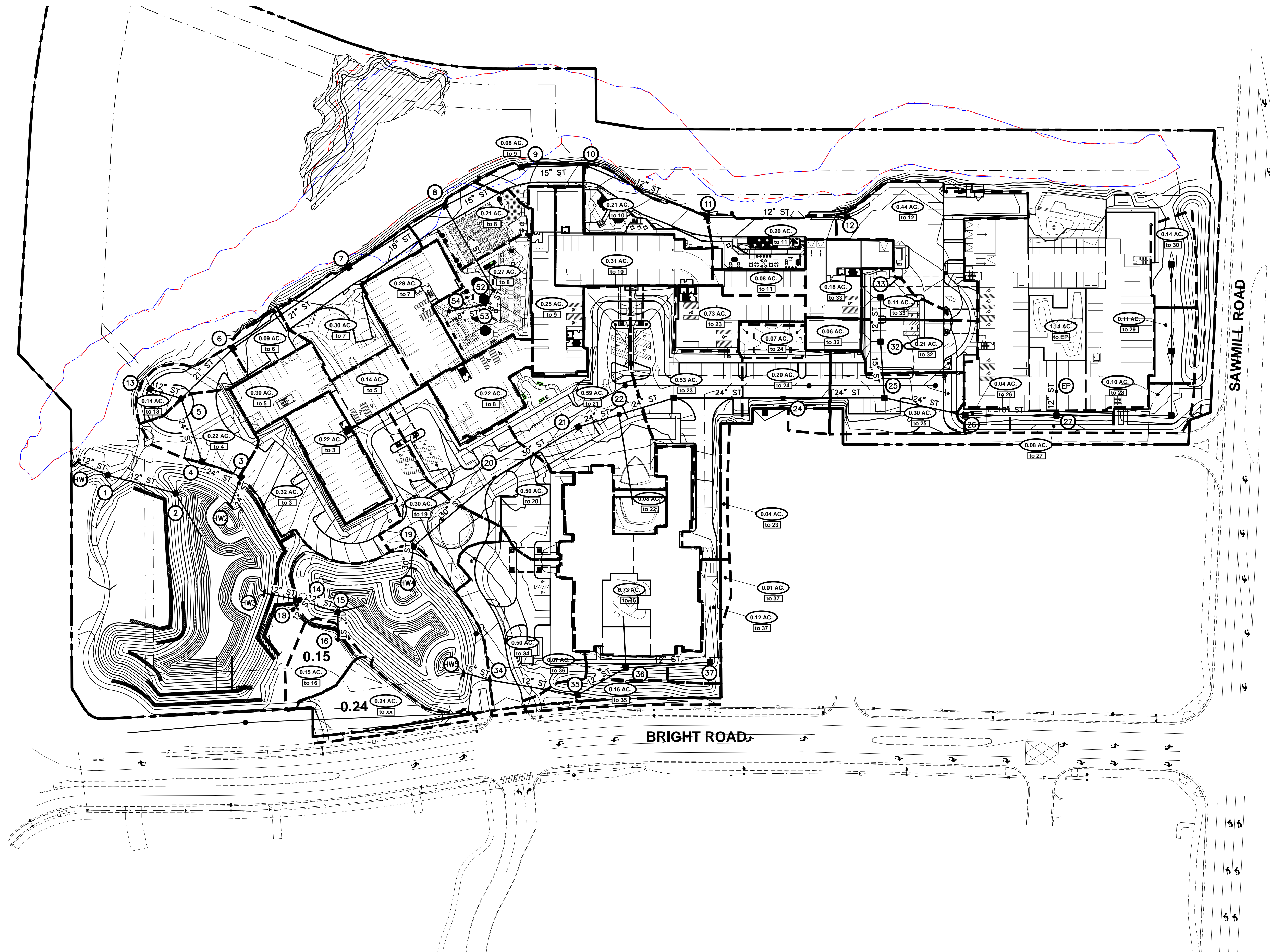
PLAN PREPARED BY:

781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

SCALE: 1"=60'(H), 1"=10'(V)
 DATE: 03/16/2026


SHEET C.19

Z:\18-0039-39\DWG\PRODUCTION\DRAWINGS\FINAL DEVELOPMENT PLAN\FDP-STORM TRIBUTARY MAP_May 14, 2026 - 12:47:47pm.dwg



CITY OF DUBLIN, OHIO
 FINAL DEVELOPMENT PLAN
 PROPOSED STORM TRIBUTARY AREAS
 FOR
 THE BEACON - PHASE 1

PLAN PREPARED BY:

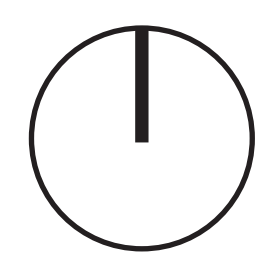


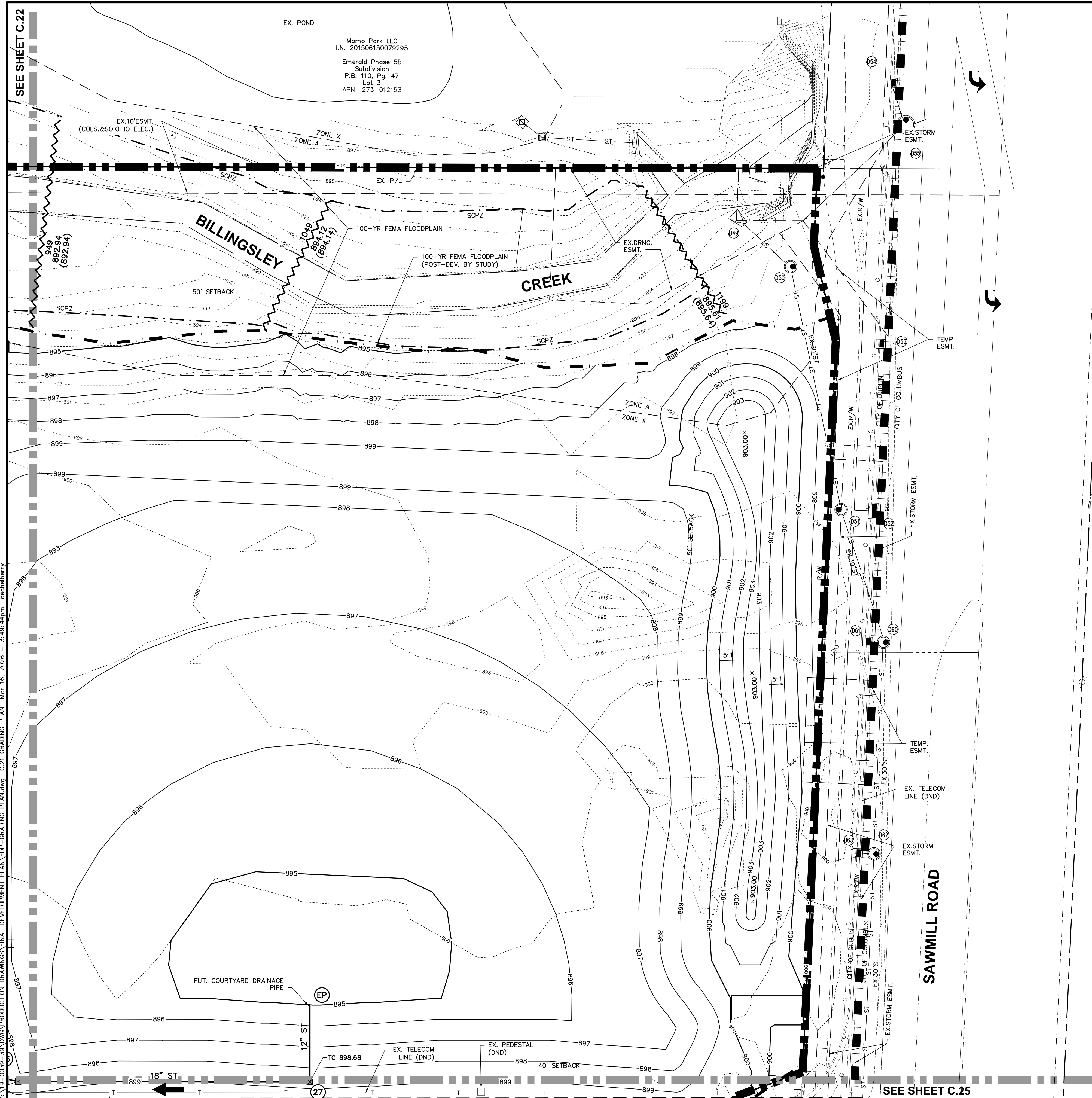
781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

ENGINEERS SURVEYORS

SCALE: 1" = 60'
 DATE: 03/16/2026

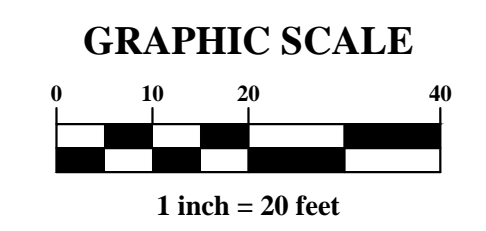
SHEET C.20



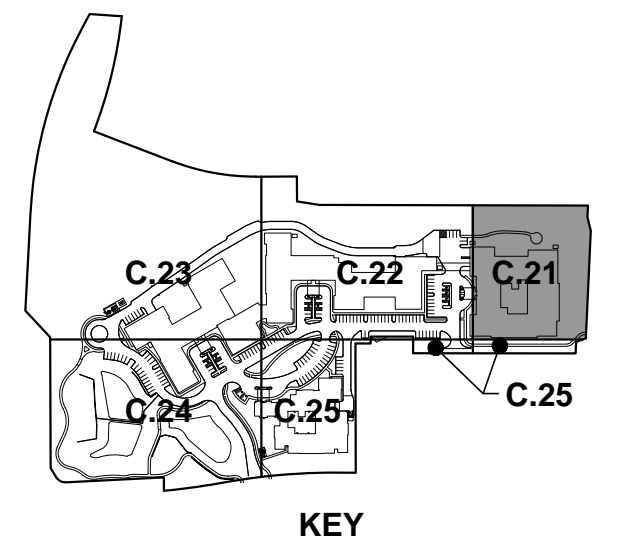


LEGEND

- 929--- EXISTING 1' CONTOUR
- 930--- EXISTING 5' CONTOUR
- 930--- PROPOSED 1' CONTOUR
- 930--- PROPOSED 5' CONTOUR
- ST-□ EXISTING STORM SEWER
- SA SA EXISTING SANITARY SEWER
- WA WA EXISTING WATER
- G G EXISTING GAS
- T T EXISTING TELECOMM
- E EXISTING ELECTRIC
- PROPOSED STORM SEWER
- SA SA PROPOSED SANITARY SEWER
- SAS PROPOSED SANITARY SERVICE
- WA WA PROPOSED WATER
- FLOOD ROUTE (>100-YR)
- FLOW DIRECTION
- 899.43 × FINISHED GRADE ELEVATION
- TC 899.50 × TOP OF CASTING ELEVATION
- TW 899.50 × TOP OF WALL ELEVATION
- BW 899.50 × BOTTOM OF WALL ELEVATION
- SW 899.50 × TOP OF SEAT WALL ELEVATION
- FFE 902.20 × TOP OF SLAB ELEVATION (FINISH FLOOR ELEVATION)
- GA 899.50 × GROUND AROUND ELEVATION
- TS 899.50 × TOP OF STEP ELEVATION
- BS 899.50 × BOTTOM OF STEP ELEVATION
- 100-YR PONDING ELEVATION
- LIMITS OF DISTURBANCE
- * TAPER CURB FROM FULL HEIGHT TO FLUSH OVER 1'-0"
- ** TAPER CURB FROM FULL HEIGHT TO FLUSH OVER LENGTH OF RADIUS
- *** TAPER CURB FROM FULL HEIGHT TO FLUSH OVER DISTANCE GIVEN
- **** FLUSH CURB




- NOTES:**
1. GRADING ELEVATIONS AND UTILITY ALIGNMENTS/LOCATIONS SHOWN ON THIS SHEET ARE PRELIMINARY IN NATURE AND SUBJECT TO MODIFICATION DURING FINAL DESIGN.
 2. SEDIMENT AND EROSION CONTROL MEASURES TO BE PROVIDED DURING FINAL DEVELOPMENT AND FINAL DESIGN.



CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
GRADING PLAN
FOR
THE BEACON - PHASE 1

PLAN PREPARED BY:



781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

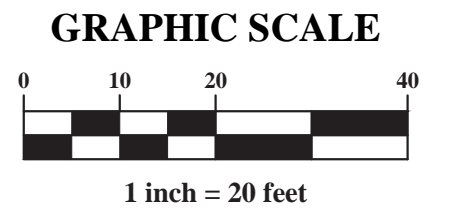
SCALE: 1"=20'
 DATE: 03/16/2026

SHEET C.21

SEE SHEET C.23

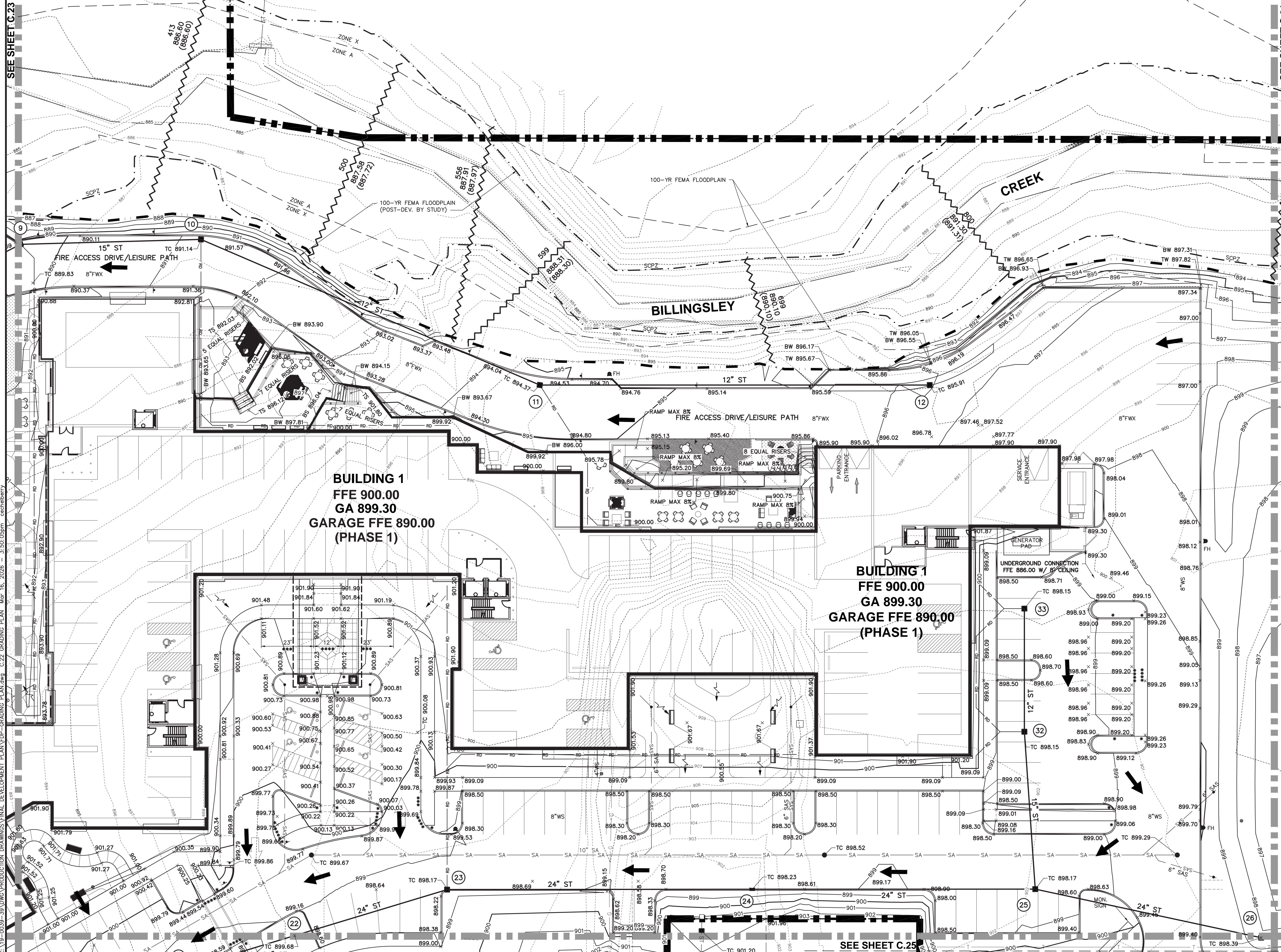
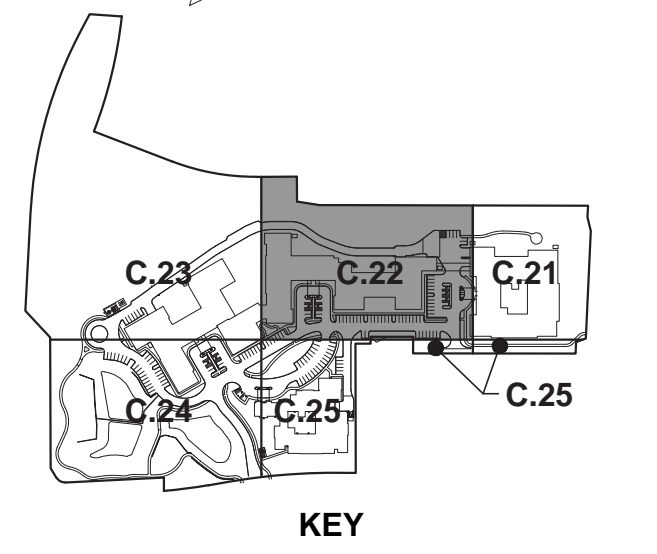
SEE SHEET C.21

- NOTES:**
1. GRADING ELEVATIONS AND UTILITY ALIGNMENTS/LOCATIONS SHOWN ON THIS SHEET ARE PRELIMINARY IN NATURE AND SUBJECT TO MODIFICATION DURING FINAL DESIGN. SEDIMENT AND EROSION CONTROL MEASURES TO BE PROVIDED DURING FINAL DEVELOPMENT AND FINAL DESIGN.



LEGEND

- 929 --- EXISTING 1" CONTOUR
- 930 --- EXISTING 5" CONTOUR
- 930 --- PROPOSED 1" CONTOUR
- 930 --- PROPOSED 5" CONTOUR
- S --- EXISTING STORM SEWER
- SA --- EXISTING SANITARY SEWER
- WA --- EXISTING WATER
- G --- EXISTING GAS
- T --- EXISTING TELECOMM
- E --- EXISTING ELECTRIC
- --- PROPOSED STORM SEWER
- SA --- PROPOSED SANITARY SEWER
- SAS --- PROPOSED SANITARY SERVICE
- WA --- PROPOSED WATER
- FLOOD ROUTE (>100-YR)
- FLOW DIRECTION
- 899.43 x FINISHED GRADE ELEVATION
- TC 899.50 x TOP OF CASTING ELEVATION
- TW 899.50 x TOP OF WALL ELEVATION
- BW 899.50 x BOTTOM OF WALL ELEVATION
- SW 899.50 x TOP OF SEAT WALL ELEVATION
- FFE 902.20 x TOP OF SLAB ELEVATION (FINISH FLOOR ELEVATION)
- GA 899.50 x GROUND AROUND ELEVATION
- TS 899.50 x TOP OF STEP ELEVATION
- BS 899.50 x BOTTOM OF STEP ELEVATION
- 100-YR PONDING ELEVATION
- LIMITS OF DISTURBANCE
- * TAPER CURB FROM FULL HEIGHT TO FLUSH OVER 1'-0"
- ** TAPER CURB FROM FULL HEIGHT TO FLUSH OVER LENGTH OF RADIUS
- *** TAPER CURB FROM FULL HEIGHT TO FLUSH OVER DISTANCE GIVEN
- **** FLUSH CURB
- TRAFFIC FLOW DIRECTION



CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
GRADING PLAN
FOR
THE BEACON - PHASE 1

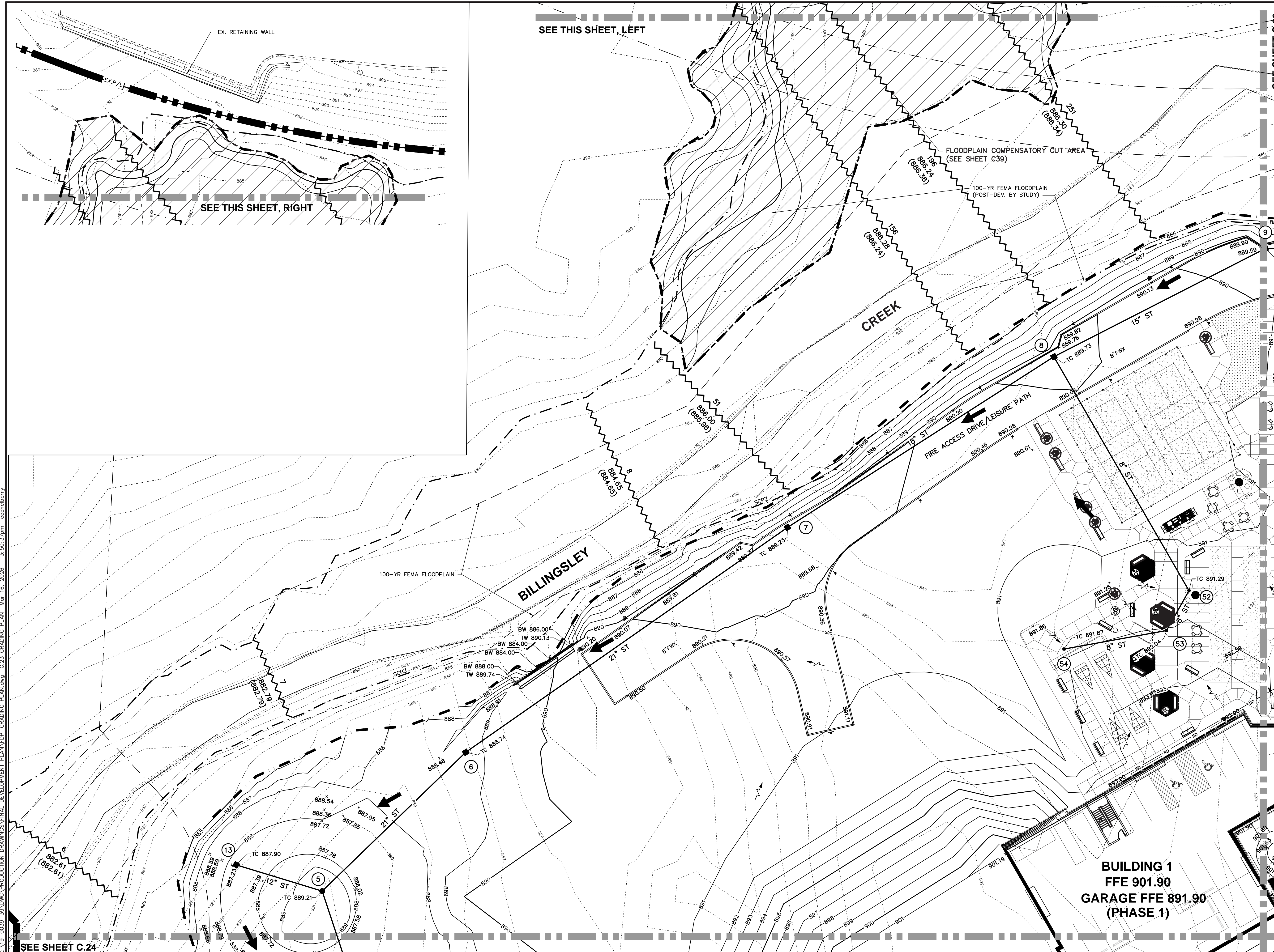
PLAN PREPARED BY:

ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS

781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

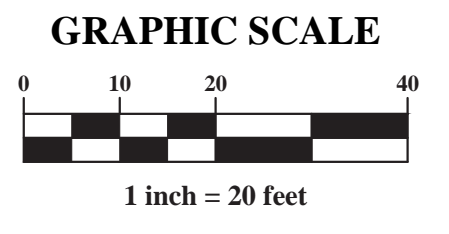
SCALE: 1"=20'
 DATE: 03/16/2026

SHEET C.22



NOTES:

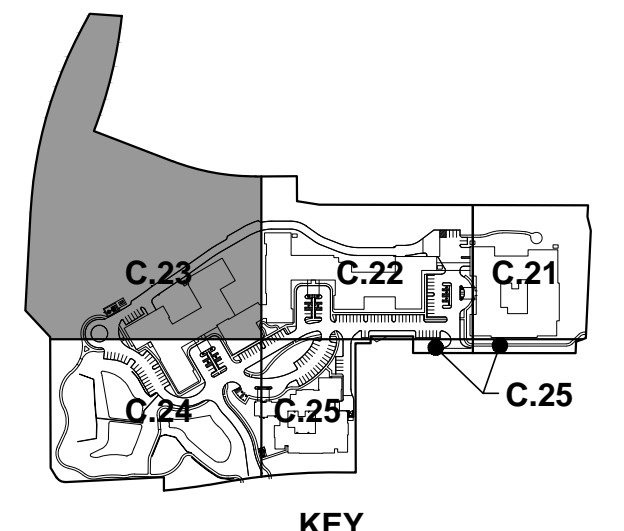
1. GRADING ELEVATIONS AND UTILITY ALIGNMENTS/LOCATIONS SHOWN ON THIS SHEET ARE PRELIMINARY IN NATURE AND SUBJECT TO MODIFICATION DURING FINAL DESIGN.
2. SEDIMENT AND EROSION CONTROL MEASURES TO BE PROVIDED DURING FINAL DEVELOPMENT AND FINAL DESIGN.



LEGEND

-----	EXISTING 1' CONTOUR
-----	EXISTING 5' CONTOUR
-----	PROPOSED 1' CONTOUR
-----	PROPOSED 5' CONTOUR
ST-15	EXISTING STORM SEWER
SA	EXISTING SANITARY SEWER
WA	EXISTING WATER
G	EXISTING GAS
T	EXISTING TELECOMM
E	EXISTING ELECTRIC
-----	PROPOSED STORM SEWER
SA	PROPOSED SANITARY SEWER
SAS	PROPOSED SANITARY SERVICE
WA	PROPOSED WATER
→	FLOOD ROUTE (>100-YR)
→	FLOW DIRECTION
899.43 x	FINISHED GRADE ELEVATION
TC 899.50 x	TOP OF CASTING ELEVATION
TW 899.50 x	TOP OF WALL ELEVATION
BW 899.50 x	BOTTOM OF WALL ELEVATION
SW 899.50 x	TOP OF SEAT WALL ELEVATION
FFE 902.20 x	TOP OF SLAB ELEVATION (FINISH FLOOR ELEVATION)
GA 899.50 x	GROUND AROUND ELEVATION
TS 899.50 x	TOP OF STEP ELEVATION
BS 899.50 x	BOTTOM OF STEP ELEVATION

-----	100-YR PONDING ELEVATION
-----	LIMITS OF DISTURBANCE
*	TAPER CURB FROM FULL HEIGHT TO FLUSH OVER 1'-0"
**	TAPER CURB FROM FULL HEIGHT TO FLUSH OVER LENGTH OF RADIUS
***	TAPER CURB FROM FULL HEIGHT TO FLUSH OVER DISTANCE GIVEN
****	FLUSH CURB



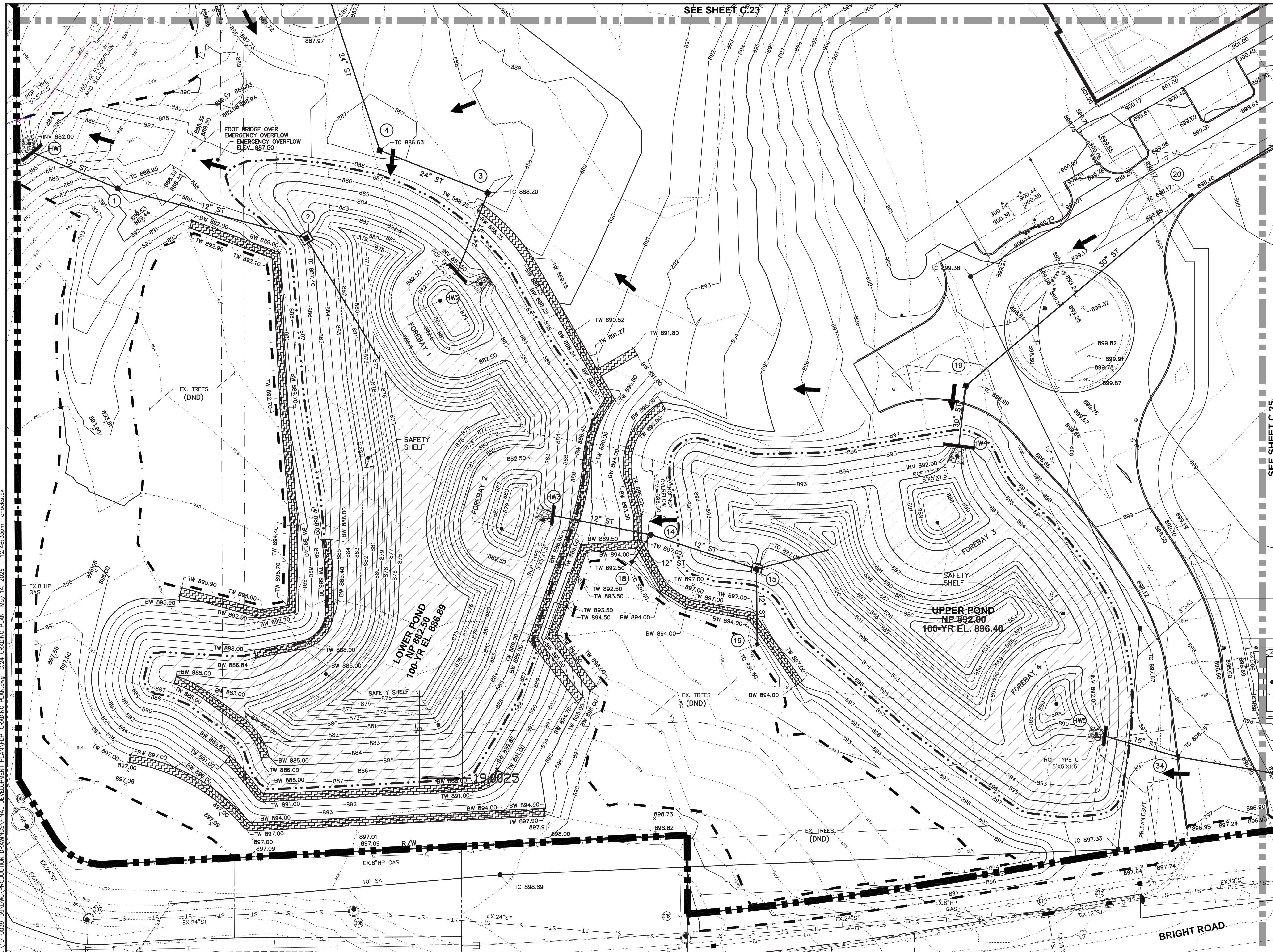
CITY OF DUBLIN, OHIO
 FINAL DEVELOPMENT PLAN
 GRADING PLAN
 FOR
THE BEACON - PHASE 1

PLAN PREPARED BY:

ADVANCED CIVIL DESIGN
 ENGINEERS SURVEYORS
 781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

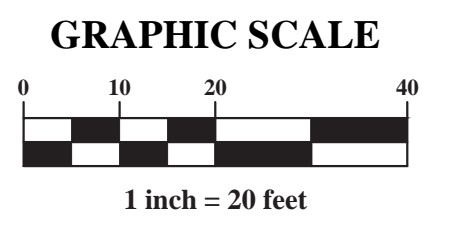
SCALE: 1"=20'
 DATE: 03/16/2026
 SHEET C.23

Z:\19-0039-30\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\FDP-GRADING PLAN.dwg C.23 GRADING PLAN Mar 16, 2026 - 3:50:37pm csethberry



SEE SHEET C.23

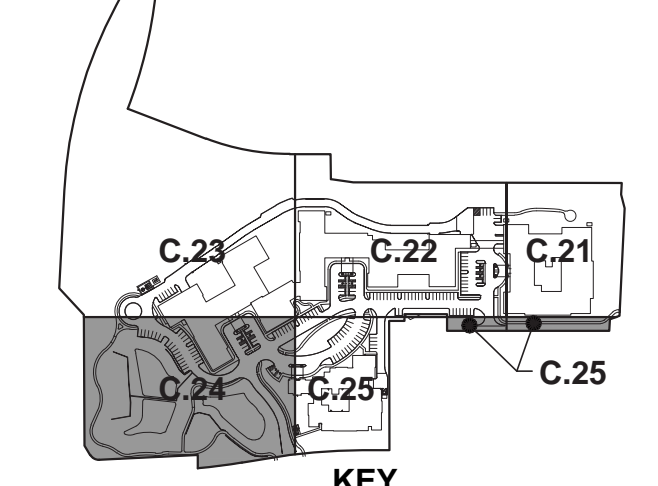
NOTES:
 1. GRADING ELEVATIONS AND UTILITY ALIGNMENTS/LOCATIONS SHOWN ON THIS SHEET ARE PRELIMINARY IN NATURE AND SUBJECT TO MODIFICATION DURING FINAL DESIGN.
 2. SEDIMENT AND EROSION CONTROL MEASURES TO BE PROVIDED DURING FINAL DEVELOPMENT AND FINAL DESIGN.



LEGEND

- 1' CONTOUR
- 5' CONTOUR
- 1' CONTOUR
- 5' CONTOUR
- EXISTING STORM SEWER
- SA --- EXISTING SANITARY SEWER
- WA --- EXISTING WATER
- G --- EXISTING GAS
- T --- EXISTING TELECOMM
- E --- EXISTING ELECTRIC
- PROPOSED STORM SEWER
- SA --- PROPOSED SANITARY SEWER
- SAS --- PROPOSED SANITARY SERVICE
- WA --- PROPOSED WATER
- ➔ FLOOD ROUTE (>100-YR)
- ➔ FLOW DIRECTION
- 899.43 x FINISHED GRADE ELEVATION
- TC 899.50 x TOP OF CASTING ELEVATION
- TW 899.50 x TOP OF WALL ELEVATION
- BW 899.50 x BOTTOM OF WALL ELEVATION
- SW 899.50 x TOP OF SEAT WALL ELEVATION
- FFE 902.20 x TOP OF SLAB ELEVATION (FINISH FLOOR ELEVATION)
- GA 899.50 x GROUND AROUND ELEVATION
- TS 899.50 x TOP OF STEP ELEVATION
- BS 899.50 x BOTTOM OF STEP ELEVATION
- 100-YR PONDING ELEVATION
- LIMITS OF DISTURBANCE
- PROPOSED WALL
- * TAPER CURB FROM FULL HEIGHT TO FLUSH OVER 1'-0"
- ** TAPER CURB FROM FULL HEIGHT TO FLUSH OVER LENGTH OF RADIUS
- *** TAPER CURB FROM FULL HEIGHT TO FLUSH OVER DISTANCE GIVEN
- **** FLUSH CURB

METER BLDG
FFE 901.10

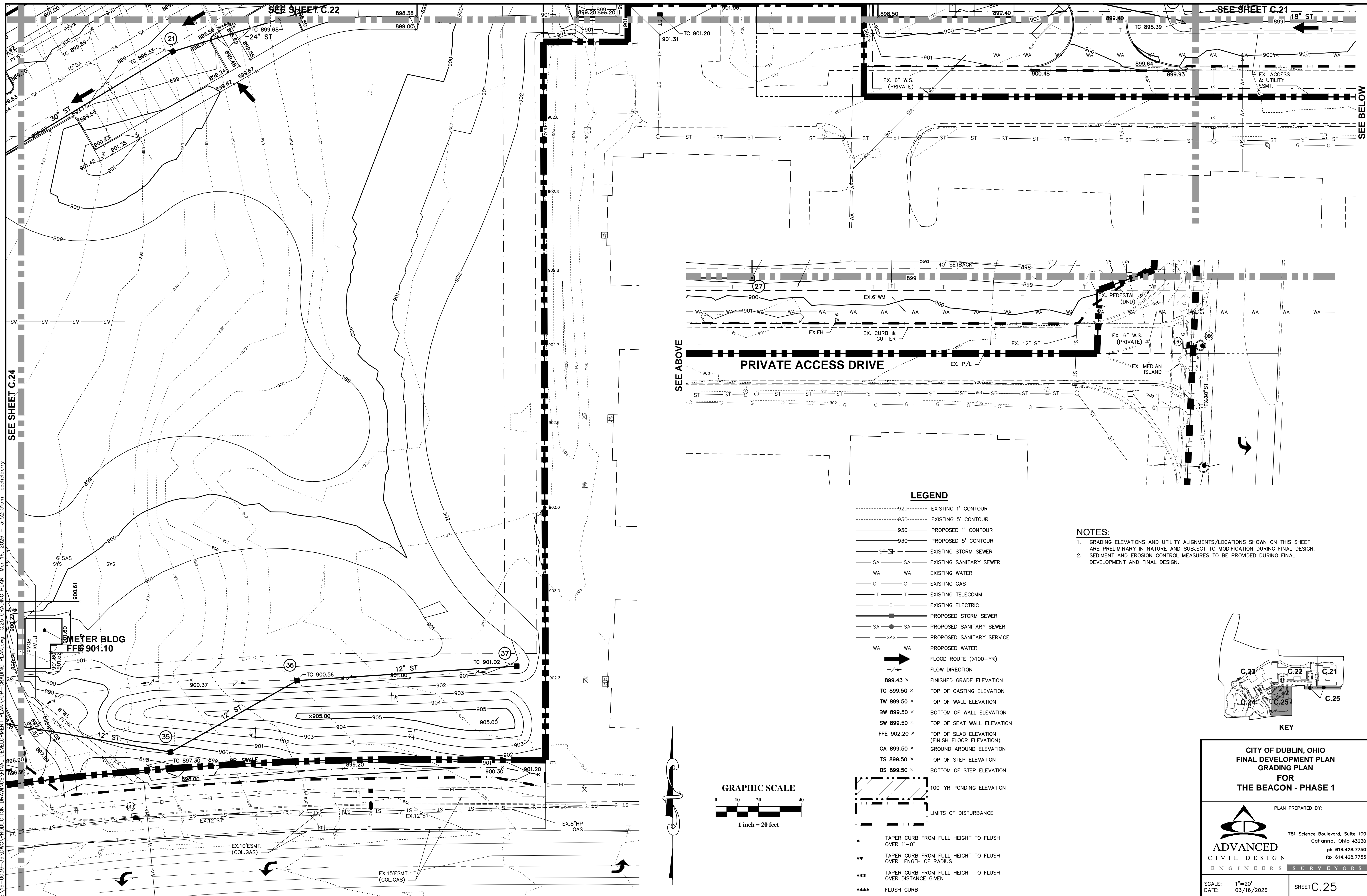


CITY OF DUBLIN, OHIO
 FINAL DEVELOPMENT PLAN
 GRADING PLAN
 FOR
 THE BEACON - PHASE 1

PLAN PREPARED BY:

781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

SCALE: 1"=20'
 DATE: 03/16/2026
 SHEET C.24



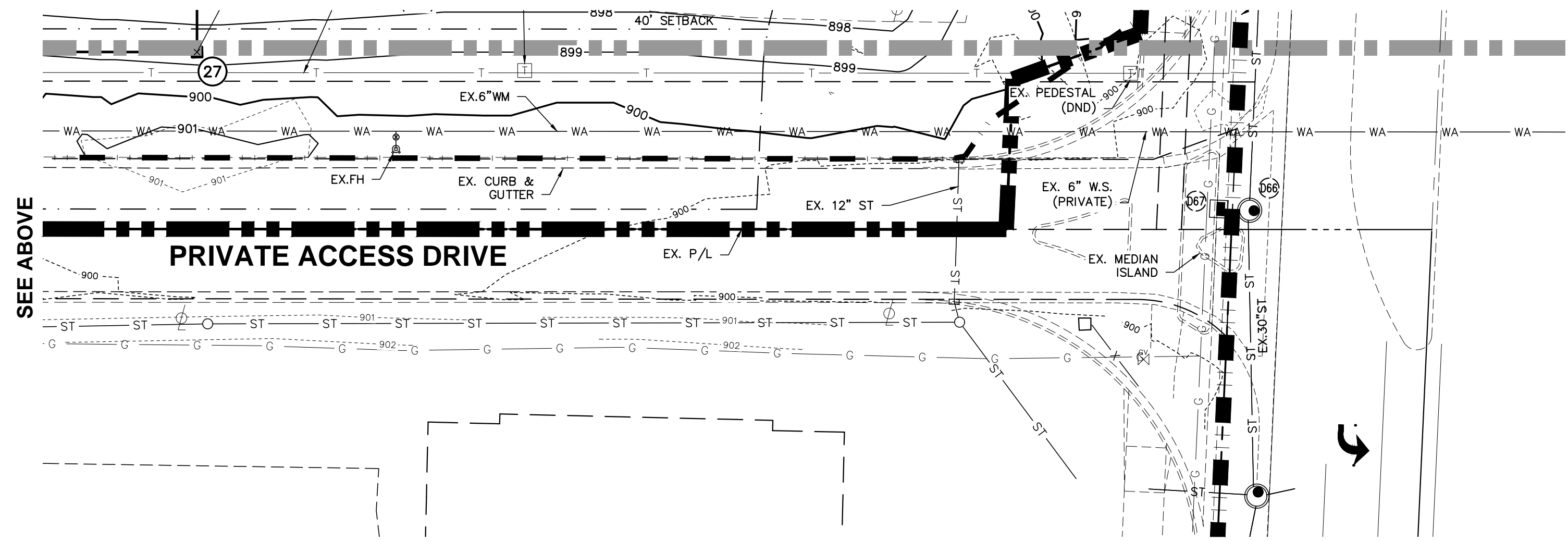
Z:\19-0039-30\DWG\PRODUCTION\DRAWINGS\FINAL DEVELOPMENT PLAN\DP-GRADING PLAN.dwg C:25 GRADING PLAN Mar 16 2026 11:52:01am cecaberry

SEE SHEET C.24

SEE SHEET C.22

SEE SHEET C.21

SEE BELOW



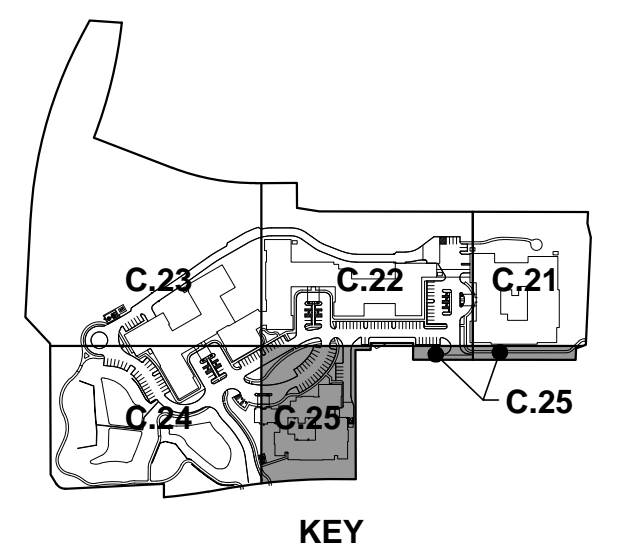
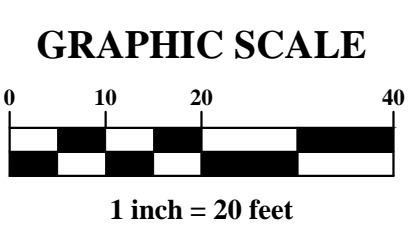
SEE ABOVE

LEGEND

- 929 ----- EXISTING 1' CONTOUR
- 930 ----- EXISTING 5' CONTOUR
- 930 ----- PROPOSED 1' CONTOUR
- 930 ----- PROPOSED 5' CONTOUR
- ST- [] ----- EXISTING STORM SEWER
- SA ----- SA ----- EXISTING SANITARY SEWER
- WA ----- WA ----- EXISTING WATER
- G ----- G ----- EXISTING GAS
- T ----- T ----- EXISTING TELECOMM
- E ----- E ----- EXISTING ELECTRIC
- PROPOSED STORM SEWER
- SA ----- SA ----- PROPOSED SANITARY SEWER
- SAS ----- SAS ----- PROPOSED SANITARY SERVICE
- WA ----- WA ----- PROPOSED WATER
- ➔ FLOOD ROUTE (>100-YR)
- ➔ FLOW DIRECTION
- 899.43 x FINISHED GRADE ELEVATION
- TC 899.50 x TOP OF CASTING ELEVATION
- TW 899.50 x TOP OF WALL ELEVATION
- BW 899.50 x BOTTOM OF WALL ELEVATION
- SW 899.50 x TOP OF SEAT WALL ELEVATION
- FFE 902.20 x TOP OF SLAB ELEVATION (FINISH FLOOR ELEVATION)
- GA 899.50 x GROUND AROUND ELEVATION
- TS 899.50 x TOP OF STEP ELEVATION
- BS 899.50 x BOTTOM OF STEP ELEVATION
- [] 100-YR PONDING ELEVATION
- [] LIMITS OF DISTURBANCE
- * TAPER CURB FROM FULL HEIGHT TO FLUSH OVER 1'-0"
- ** TAPER CURB FROM FULL HEIGHT TO FLUSH OVER LENGTH OF RADIUS
- *** TAPER CURB FROM FULL HEIGHT TO FLUSH OVER DISTANCE GIVEN
- **** FLUSH CURB

NOTES:

1. GRADING ELEVATIONS AND UTILITY ALIGNMENTS/LOCATIONS SHOWN ON THIS SHEET ARE PRELIMINARY IN NATURE AND SUBJECT TO MODIFICATION DURING FINAL DESIGN.
2. SEDIMENT AND EROSION CONTROL MEASURES TO BE PROVIDED DURING FINAL DEVELOPMENT AND FINAL DESIGN.



CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
GRADING PLAN
FOR
THE BEACON - PHASE 1

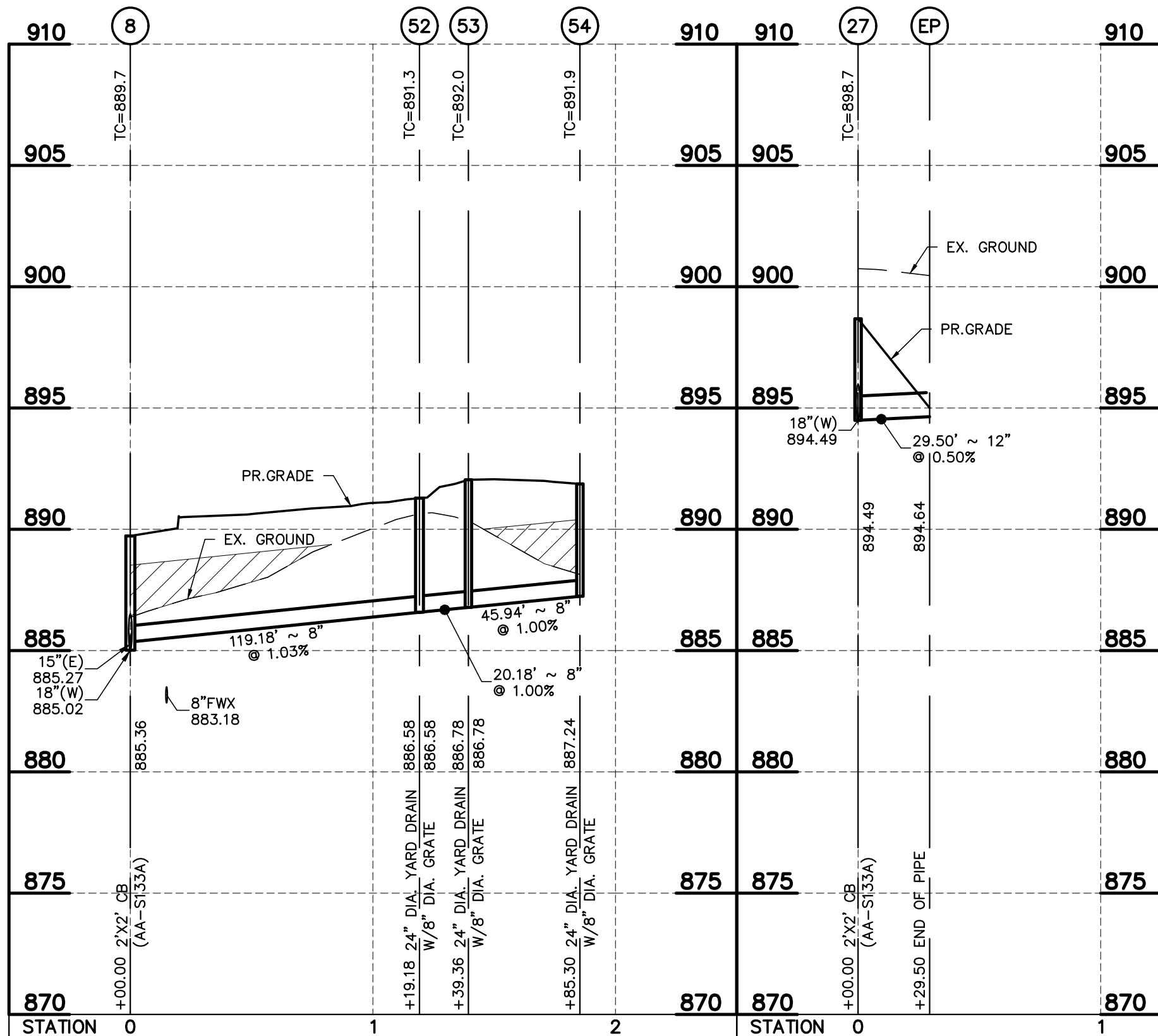
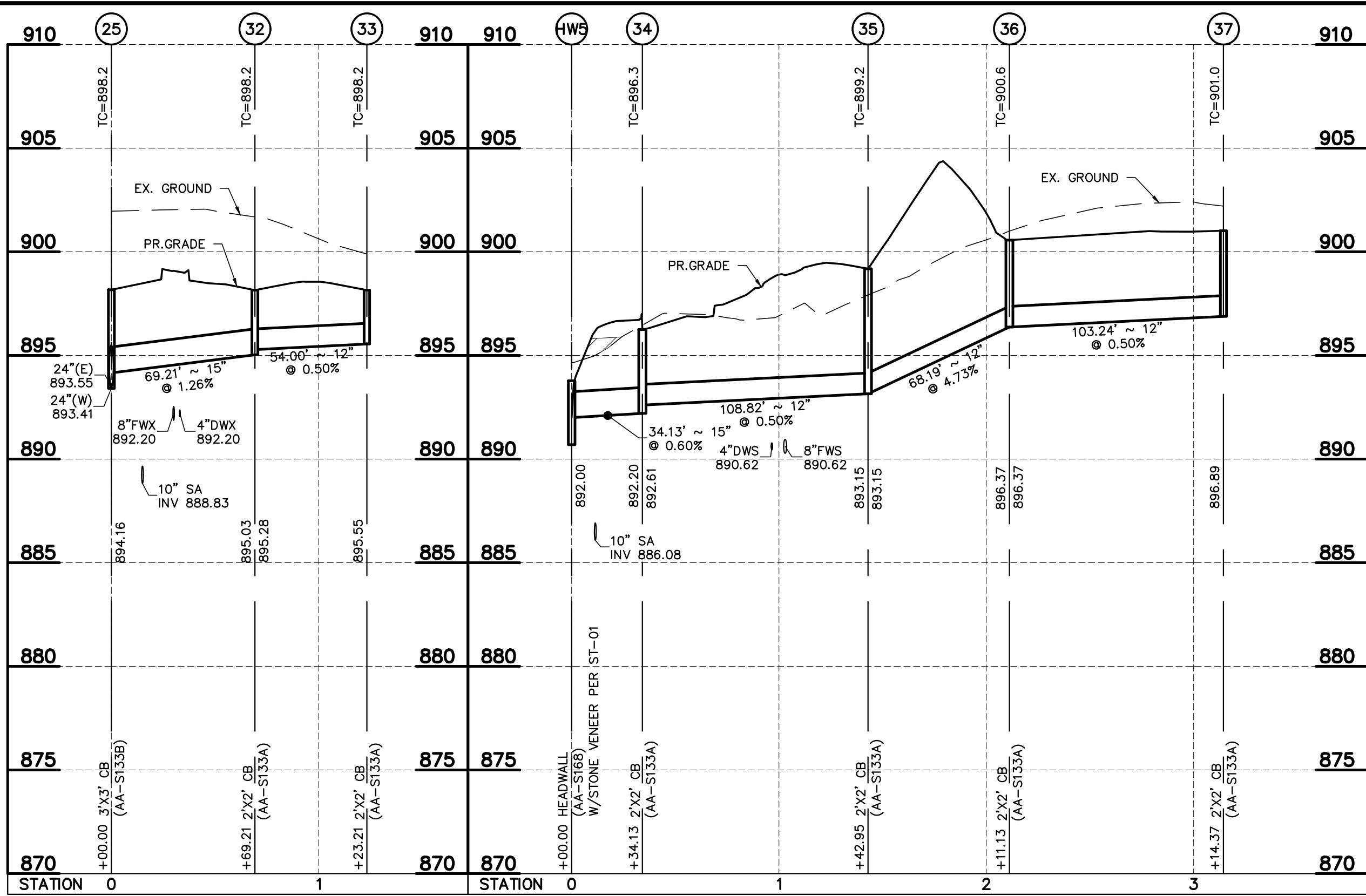
PLAN PREPARED BY:

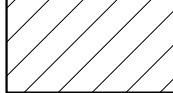
 781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

SCALE: 1"=20'
 DATE: 03/16/2026

SHEET C.25

Z:\19-0039-39\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\FDP-STRM-PROFILES.dwg C:27 STORM PROFILES Mar 16, 2026 - 3:53:35pm ecehelberry



 PLACE FILL 30" MINIMUM ABOVE THE PROPOSED CROWN OF PIPE ELEVATION PRIOR TO PIPE PLACEMENT

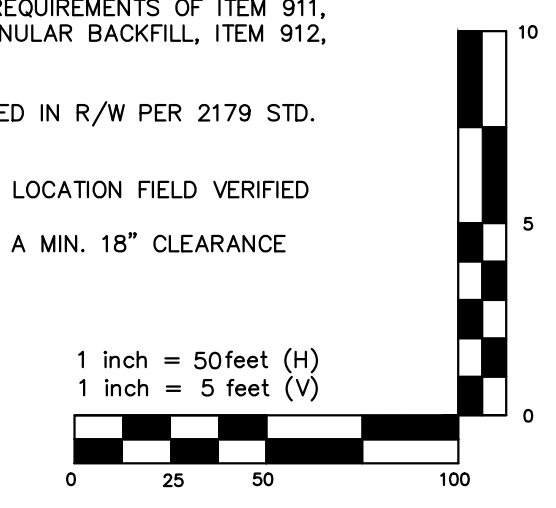
+ : SANITARY GRADE PIPE W/ WATERTIGHT JOINT FOR 1/1 CROSSING

ALL TRENCH BACKFILL SHALL BE COMPACTED BACKFILL TO 95% OF MAXIMUM DRY WEIGHT AT OPTIMUM MOISTURE CONTENT (±2%) UNLESS NOTED AS:

***** : COMPACTED BACKFILL, ITEM 911


****** : COMPACTED GRANULAR BACKFILL, ITEM 912

NOTE:
 PER CMSC ITEM 911, WHERE NATURAL MATERIAL DOES NOT MEET THE REQUIREMENTS OF ITEM 911, THEN COMPACTED GRANULAR BACKFILL, ITEM 912, SHALL BE USED.
 ITEM 912 IS TO BE USED IN R/W PER 2179 STD. DWG.
 F.V. = ELEVATION AND LOCATION FIELD VERIFIED
 *** = MUST MAINTAIN A MIN. 18" CLEARANCE



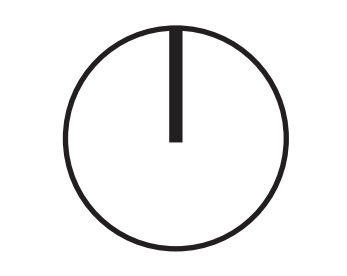
CITY OF DUBLIN, OHIO
 FINAL DEVELOPMENT PLAN
 STORM PROFILES
 FOR
THE BEACON - PHASE 1

PLAN PREPARED BY:


ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS

781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

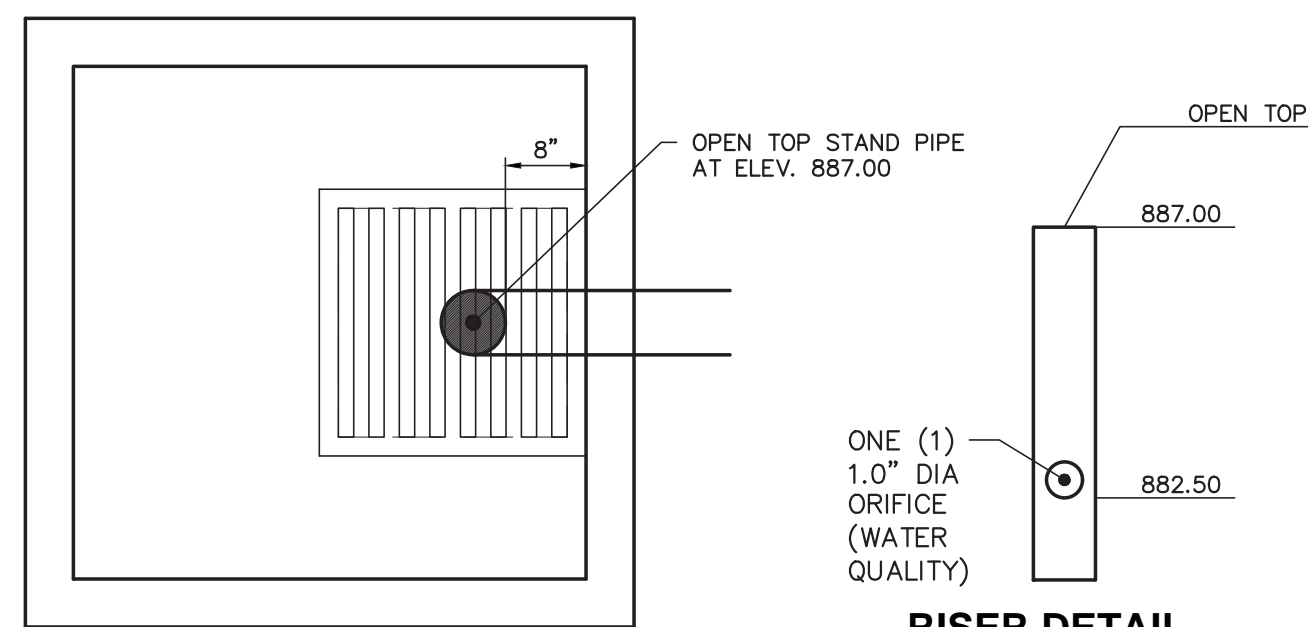
SCALE: 1"=50'(H), 1"=5'(V)
 DATE: 03/16/2026 SHEET C.27



Z:\19-0039-19\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\FDP-STRM-PROFILES.dwg C:28 STORM DETAILS Mar 16, 2026 3:53:56pm cecelberry

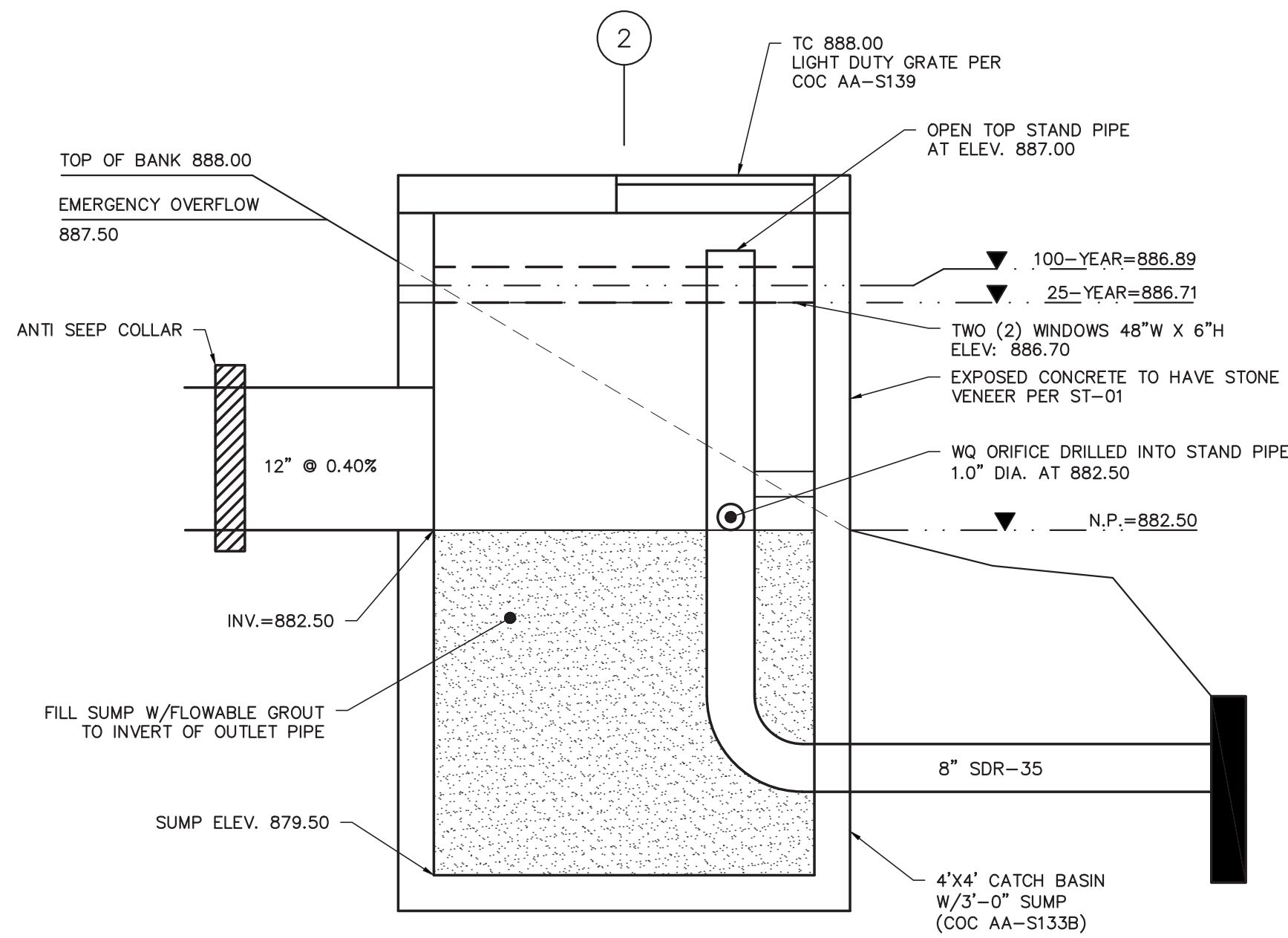
OUTLET TOP VIEW

NO SCALE



RISER DETAIL

NO SCALE

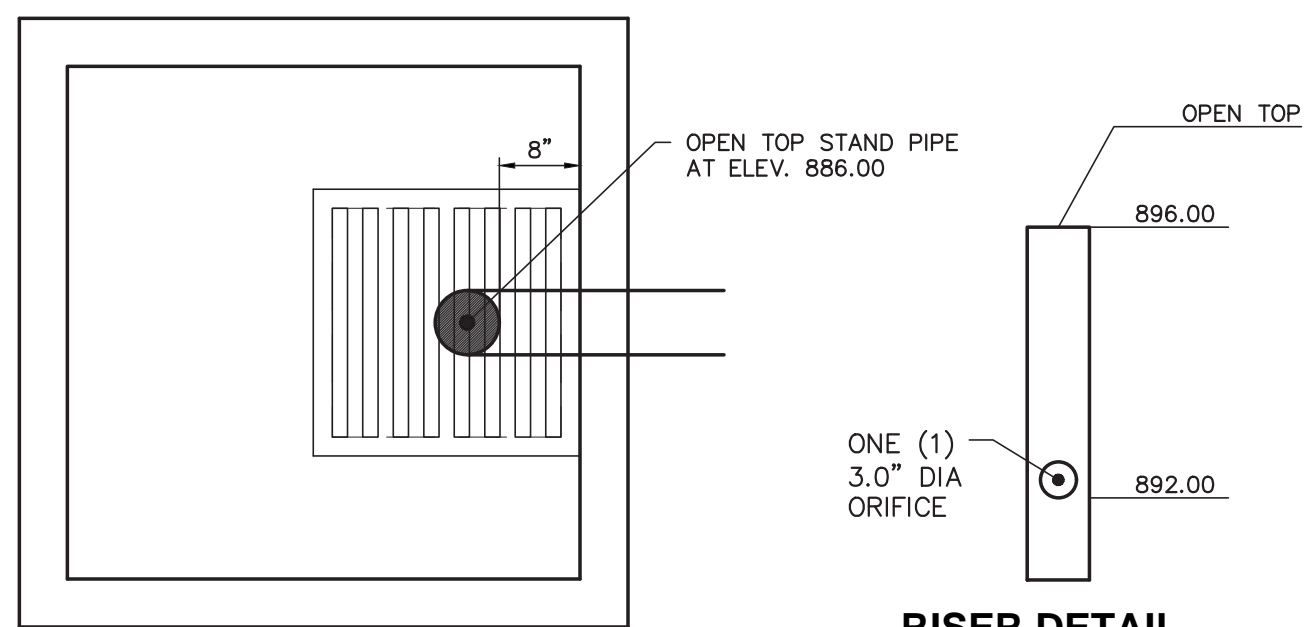


PERMANENT OUTLET STRUCTURE 2-LOWER POND

NO SCALE

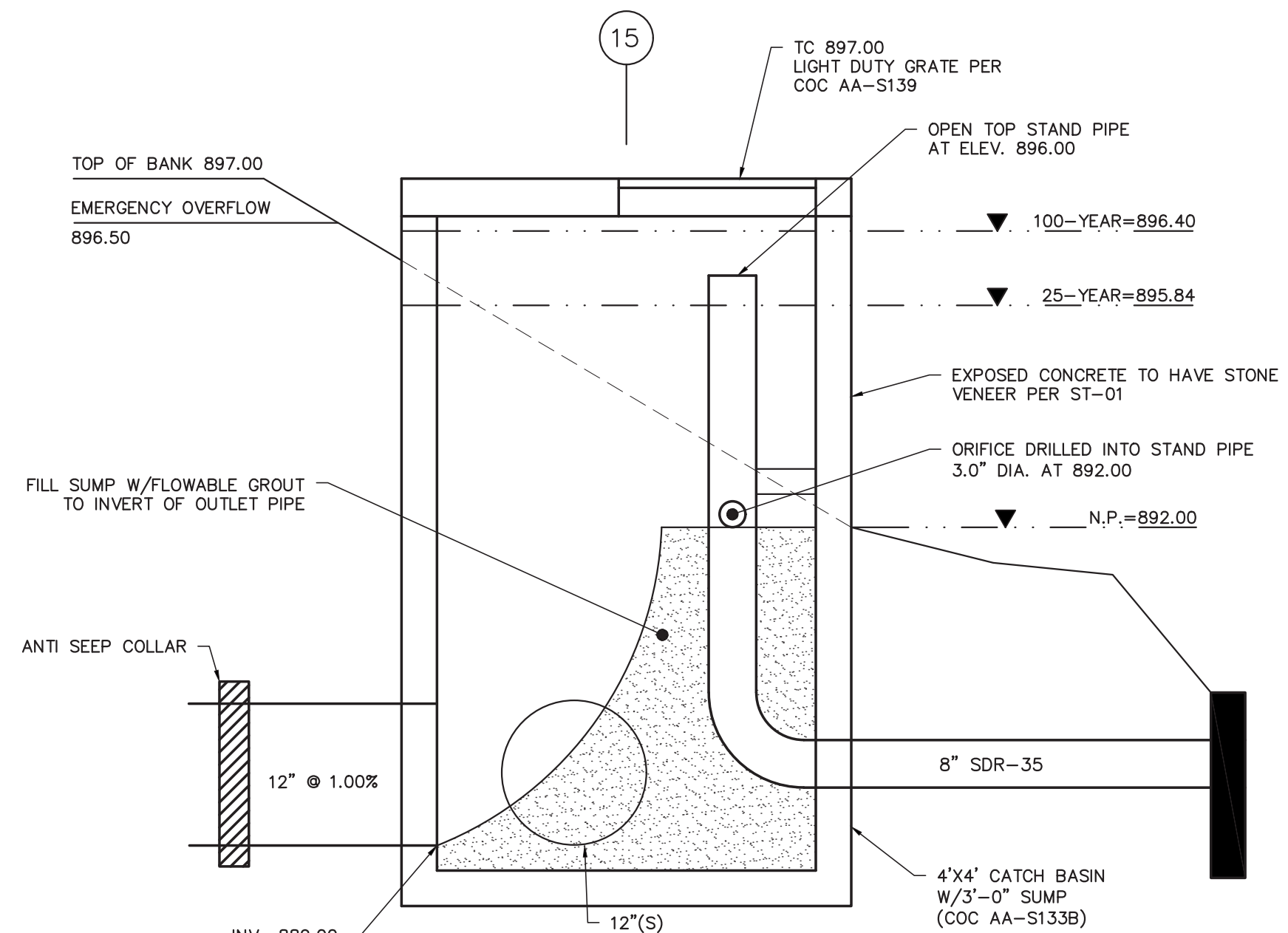
OUTLET TOP VIEW

NO SCALE



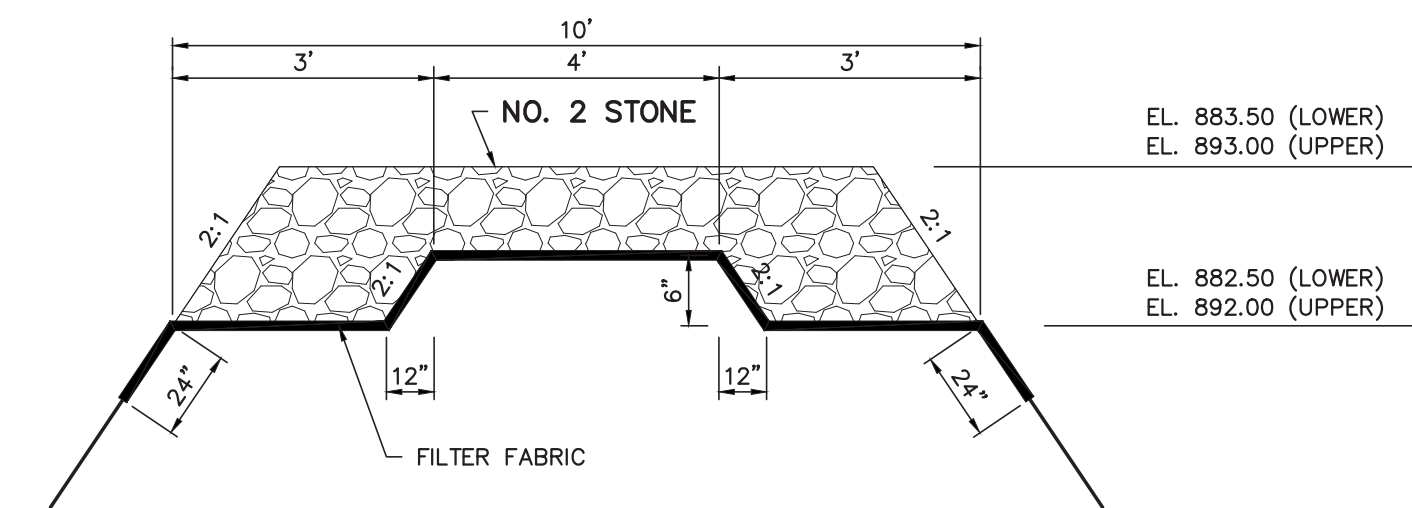
RISER DETAIL

NO SCALE



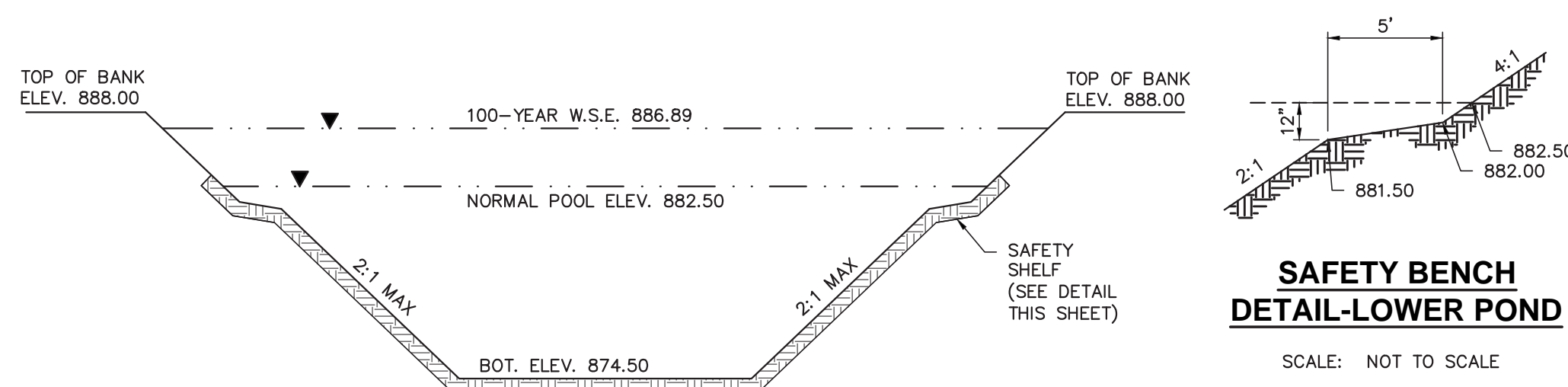
PERMANENT OUTLET STRUCTURE 15-UPPER POND

NO SCALE



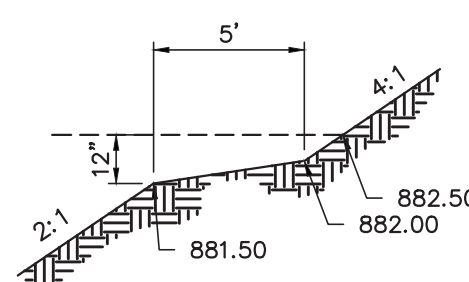
FOREBAY EMBANKMENT DETAIL

NO SCALE



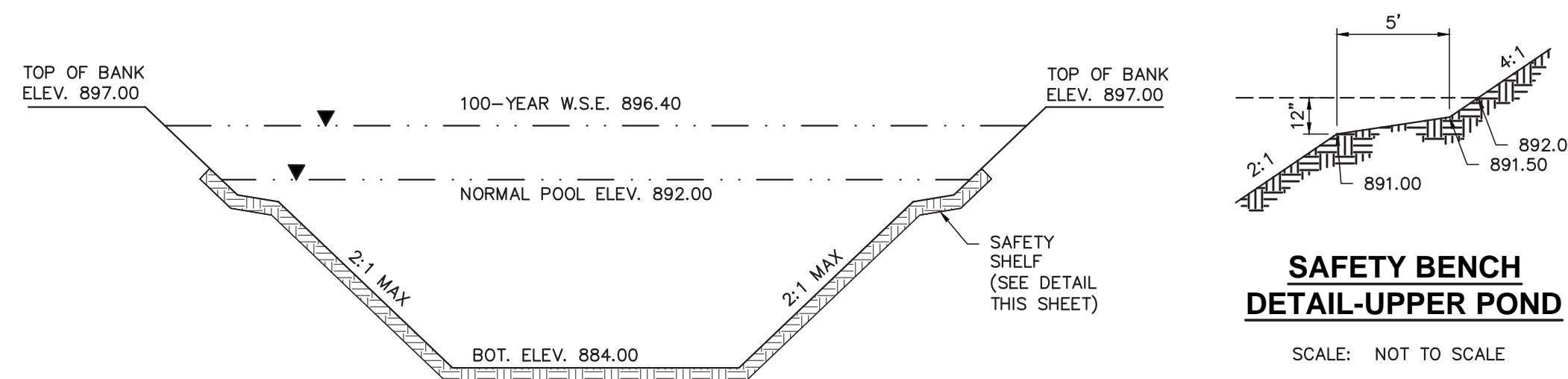
BASIN GRADING SECTION-LOWER POND

NO SCALE



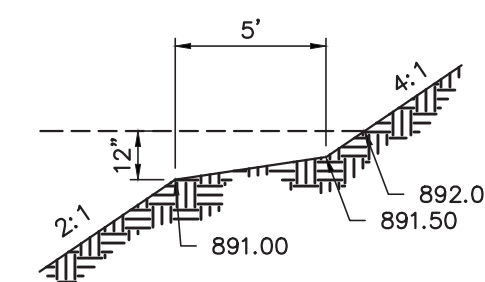
SAFETY BENCH DETAIL-LOWER POND

SCALE: NOT TO SCALE



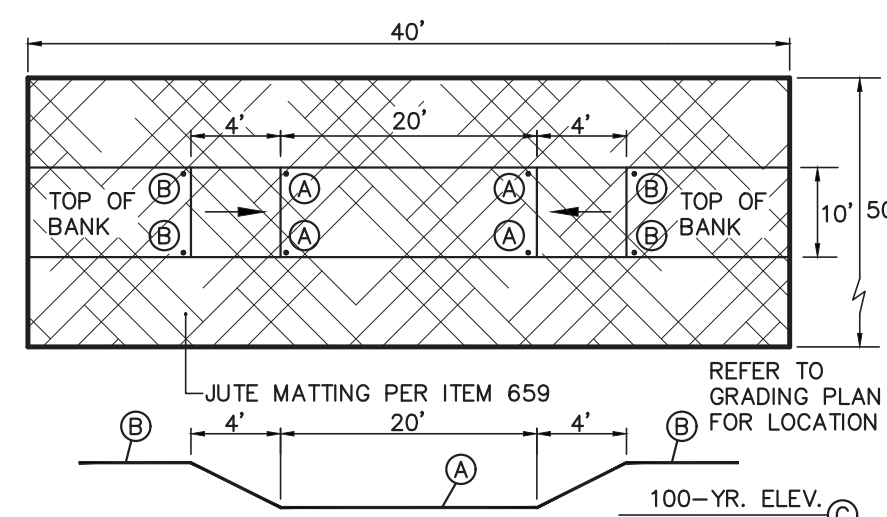
BASIN GRADING SECTION-UPPER POND

NO SCALE



SAFETY BENCH DETAIL-UPPER POND

SCALE: NOT TO SCALE



TYPICAL BASIN OVERFLOW WEIR DETAIL

EARTHEN OVERFLOW WEIR SCHEDULE			
BASIN LOCATION	WEIR ELEVATION (A)	TOP/BANK ELEVATION (B)	100-YR ELEVATION (C)
LOWER	887.50	888.00	886.89
UPPER	896.50	897.00	896.40

**CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
STORM DETAILS
FOR
THE BEACON - PHASE 1**

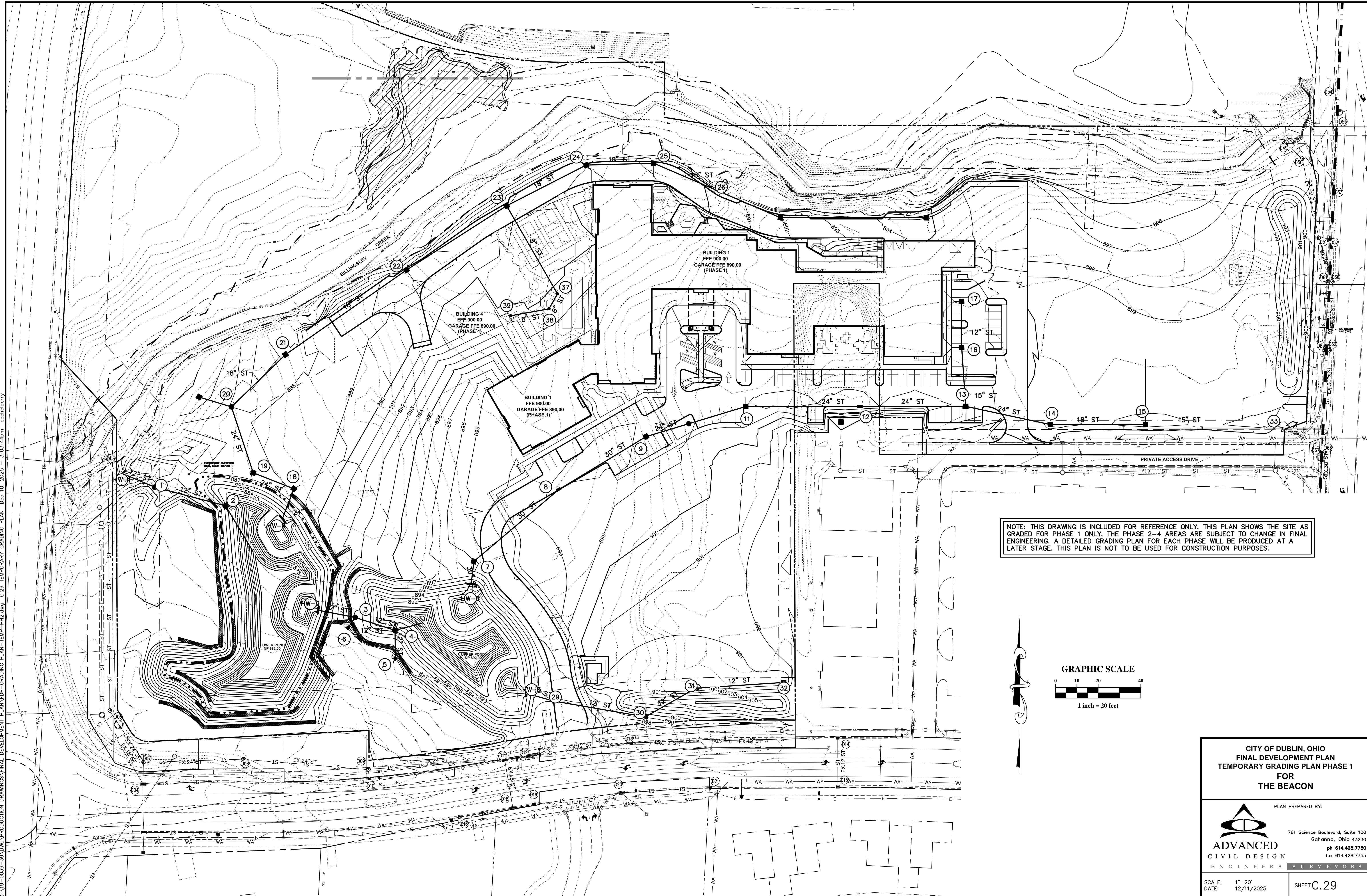
PLAN PREPARED BY:



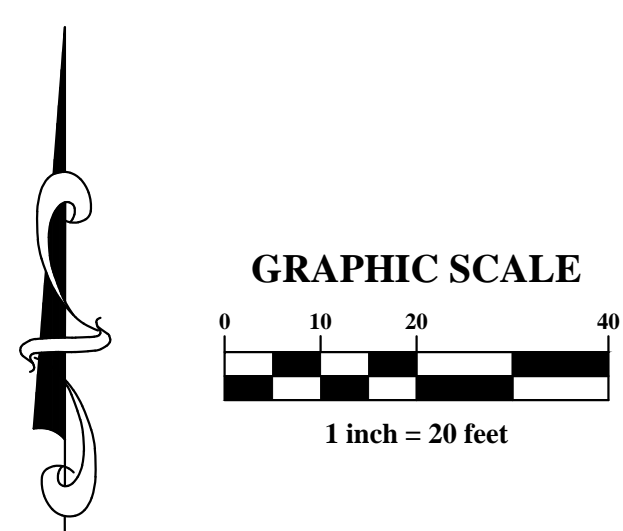
781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755


SCALE: 1"=50'(H), 1"=5'(V) SHEET C.28
DATE: 03/16/2026

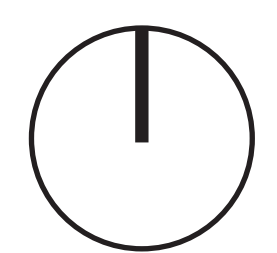
21.18-0039-39 PRODUCTION DRAWINGS FINAL DEVELOPMENT PLAN FDP-GRADING PLAN-TEMP-PH2.dwg C:29 TEMPORARY GRADING PLAN Dec 10, 2025 - 3:03:44pm ceeheberry



NOTE: THIS DRAWING IS INCLUDED FOR REFERENCE ONLY. THIS PLAN SHOWS THE SITE AS GRADED FOR PHASE 1 ONLY. THE PHASE 2-4 AREAS ARE SUBJECT TO CHANGE IN FINAL ENGINEERING. A DETAILED GRADING PLAN FOR EACH PHASE WILL BE PRODUCED AT A LATER STAGE. THIS PLAN IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.



CITY OF DUBLIN, OHIO FINAL DEVELOPMENT PLAN TEMPORARY GRADING PLAN PHASE 1 FOR THE BEACON	
PLAN PREPARED BY:  ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS	
781 Science Boulevard, Suite 100 Gahanna, Ohio 43230 ph 614.428.7750 fax 614.428.7755	
SCALE: 1"=20' DATE: 12/11/2025	SHEET C.29



EROSION AND SEDIMENT CONTROL NARRATIVE

GENERAL EROSION AND SEDIMENT CONTROL NOTES

PLAN ENGINEERS: ADVANCED CIVIL DESIGN, INC.
781 SCIENCE BLVD, SUITE 100
GAHANNA, OH 43230
PHONE: (614) 428-7750
CONTACT: DAVID DENNISTON
EMAIL: DDENNISTON@ADVANCEDCIVILDESIGN.COM

PROPERTY OWNER: S & K REAL PROPERTY LLC
169 S LIBERTY ST
POWELL, OH 43065
PHONE: 614-781-1900
CONTACT: STEVE NEWCOMB

EXISTING SITE DESCRIPTION: THE EXISTING SITE CONSISTS OF AN EXISTING BUILDINGS, GRAVEL DRIVES AND OPEN, PARTIALLY WOODED PROPERTY.
DISTURBED ACREAGE: 15.23 (ON-SITE), 0.00 ACRES (R/W), TOTAL SITE AREA: 22.261 AC
THE SITE IS TRIBUTARY TO THE SCIOTO RIVER VIA LITTLE EAST WATERSHED AND THE BILLINGSLEY CREEK WATERSHED.
OEPA NOI# TBD

CONDITION: THE SITE DRAINS NORTH INTO BILLINGSLEY RUN AND ULTIMATELY TO THE SCIOTO RIVER.
EXISTING SITE DRAINAGE

ADJACENT AREAS: THE SITE IS BOUNDED BY EXISTING RESIDENTIAL DEVELOPMENT TO THE NORTH, BRIGHT ROAD TO THE SOUTH, BILLINGSLEY RUN TO THE EAST AND VOLUNTEER-GROWTH WOODS THAT CONTAIN A DRAINAGE SWALE AND SINGLE FAMILY RESIDENCES TO THE WEST.

CRITICAL AREAS: A STREAM CORRIDOR PROTECTION ZONE IS PRESENT ALONG THE BILLINGSLEY RUN ON THE NORTHERN PORTION OF THE PROPERTY.

EROSION & SEDIMENT CONTROL MEASURES: EROSION AND SEDIMENT RUNOFF WILL BE CONTROLLED BY THE USE OF SEDIMENT FENCE, INLET PROTECTION AND SEDIMENT BASINS W/ SEDIMENT RISERS AND SKIMMERS.

MAINTENANCE: MAINTENANCE OF THE EROSION & SEDIMENT CONTROL ITEMS SHALL BE IN ACCORDANCE WITH THE NOTES LISTED WITHIN THIS PLAN.

CONSTRUCTION SEQUENCE: 1. OBTAIN PROPER CITY, COUNTY, STATE, AND FEDERAL PERMITS.
(EROSION & SED. CONTROL) 2. PRIOR TO CONSTRUCTION THE OWNER/OPERATOR SHALL COORDINATE WITH ALL CONTRACTORS AND THE CITY OF DUBLIN ENGINEER AS REQUIRED.
3. THE CONTRACTOR SHALL CALL THE OHIO UTILITIES PROTECTION SERVICE (OUPS) AT 1-800-362-2764 FORTY-EIGHT (48) HOURS IN ADVANCE OF ANTICIPATED START OF CONSTRUCTION, AND SHALL NOTIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO WORK IN THE VICINITY OF THEIR LINES.
4. ESTABLISH THE TEMPORARY CONSTRUCTION ENTRANCE INTO THE SITE PER DETAIL ON THIS SHEET.
5. THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCE AROUND ALL PROTECTION AREAS PRIOR TO COMMENCEMENT OF WORK.
6. CLEAR NECESSARY VEGETATION FOR THE INSTALLATION OF THE PERIMETER SEDIMENT FENCE.
7. INSTALL BASINS, OUTLET PIPING, OUTLET STRUCTURE AND SKIMMER DEVICE.
8. PERFORM SITE GRADING.
9. WHILE PERFORMING SITE GRADING ACTIVITIES, DISTURBED AREAS SHALL BE SEEDED WITHIN 7 DAYS OF CONSTRUCTION, GRADING WITH SLOPES 3:1 OR STEEPER ARE TO BE SEEDED AND STABILIZED IMMEDIATELY AFTER GRADING IS COMPLETE. DRAINAGE SHALL BE DIRECTED TO A FILTERING FACILITY AT ALL TIMES DURING CONSTRUCTION. TOPSOIL SHALL BE STOCKPILED FOR LATER RE-SPREAD OR HAULED OFFSITE.
12. INSTALL SANITARY SEWER.
13. INSTALL STORM SEWER AND NECESSARY INLET PROTECTION. ADJUSTING INLET PROTECTION AS NECESSARY AS GRADING IS PERFORMED.
14. AS EACH AREA IS DISTURBED AND MOUNDING TAKES PLACE IN ORDER TO PROVIDE COMPACTION AND PLACEMENT OF FILL ACROSS THE SITE, EROSION CONTROL MEASURES SHALL BE USED. STOCKPILES SHALL BE SURROUNDED BY SEDIMENT FENCE AND TEMPORARY SEEDING APPLIED.
15. INSTALL WATER MAIN.
16. FINE GRADE SITE.
17. SEED AND MULCH THE SITE ACCORDING TO THE TEMPORARY AND PERMANENT SEEDING REQUIREMENTS TO REESTABLISH ALL DENUDED AREAS.
18. PAVE ROADWAYS.
19. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR SEED/MULCHED. AFTER REMOVAL OF THE EROSION CONTROL DEVICES, THE CONTRACTOR SHALL CLEAN ALL INLETS AND STORM SEWER PIPES OF ALL SEDIMENT INCURRED DURING CONSTRUCTION.

PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL PROPOSED GRADE IS REACHED ON ANY PORTION OF THE SITE. ALL DENUDED AREAS SHALL BE CONSTRUCTED TO FINAL PROPOSED GRADE AS QUICKLY AS POSSIBLE AND SHOULD NOT BE LEFT DORMANT UNLESS SITE CONDITIONS DO NOT ALLOW FINAL GRADING TO BE COMPLETED. SOIL STABILIZATION SHALL ALSO BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS WHERE GRADING MAY NOT BE COMPLETE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN FORTY-FIVE DAYS.

SHEET FLOW RUNOFF FROM DENUDED AREAS SHALL BE FILTERED OR DIVERTED TO A SETTLING FACILITY.

SEDIMENT BARRIERS SUCH AS SEDIMENT FENCE OR DIVERSIONS TO SETTLING FACILITIES SHALL PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SEDIMENT TRANSPORTED BY SHEET FLOW.

PRIOR TO CONSTRUCTION OPERATIONS IN A PARTICULAR AREA, ALL SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE IN PLACE. FIELD ADJUSTMENTS WITH RESPECT TO LOCATIONS AND DIMENSIONS MAY BE MADE BY THE ENGINEER.

THE CONTRACTOR SHALL PLACE INLET PROTECTION FOR THE EROSION CONTROL IMMEDIATELY AFTER CONSTRUCTION OF THE CATCH BASINS OR INLETS WHICH ARE NOT TRIBUTARY TO A SEDIMENT BASIN OR DAM.

THE LIMITS OF SEEDING AND MULCHING WILL EXTEND OVER THE PROJECT AREA IN ACCORDANCE WITH THE LEVEL OF DISTURBANCE ASSOCIATED WITH THE ACTUAL CONSTRUCTION SEQUENCE. ALL AREAS NOT DESIGNATED TO BE SEEDED SHALL REMAIN UNDER NATURAL GROUND COVER. THOSE AREAS DISTURBED OUTSIDE THE SEEDING LIMITS SHALL BE SEEDED AND MULCHED AT THE CONTRACTOR'S EXPENSE.

DIRECT DISCHARGE OF SEDIMENT LADEN WATER TO THE CITY'S SEWER SYSTEM OR A RECEIVING STREAM IS A VIOLATION OF OHIO EPA AND CITY OF DUBLIN REGULATIONS. THE CONTRACTOR WILL BE HELD LIABLE FOR THE VIOLATION AND SUBSEQUENT FINES.

THIS PLAN MUST BE POSTED ON-SITE. A COPY OF THE SWPPP PLAN AND THE APPROVED EPA STORMWATER PERMIT (WITH THE SITE-SPECIFIC NOI NUMBER) SHALL BE KEPT ON-SITE AT ALL TIMES. ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DISCRETION OF THE CITY OF DUBLIN AND/OR THE OHIO EPA.

STREET CLEANING (ON AN AS-NEEDED BASIS) IS REQUIRED THROUGHOUT THE DURATION OF THIS CONSTRUCTION PROJECT. THIS INCLUDES SWEEPING, POWER CLEANING AND (IF NECESSARY) MANUAL REMOVAL OF DIRT OR MUD IN THE STREET GUTTERS.

ANY EXISTING STORM INLETS IMPACTED BY THE NEW CONSTRUCTION ACTIVITY WILL NEED THE APPROPRIATE INLET PROTECTION FOR SEDIMENT CONTROL.

PERMANENT STABILIZATION

DISTURBED AREAS MUST BE STABILIZED AS SPECIFIED IN THE FOLLOWING TABLES.

AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
Any areas that will lie dormant for one year or more	Within seven days of the most recent disturbance
Any areas within 50 feet of a stream and at final grade	Within two days of reaching final grade
Any other areas at final grade	Within seven days of reaching final grade within that area

PERMANENT SEEDING SHALL BE DONE BETWEEN MARCH 16 AND OCTOBER 14. IF SEEDING IS DONE BETWEEN OCTOBER 15 AND MARCH 15, IT SHALL BE CLASSIFIED AS *TEMPORARY SEEDING*. PERMANENT SEEDING SHALL CONSIST OF FERTILIZING, WATERING AND SEEDING RATES INDICATED UNDER ITEM 659.

RATES OF APPLICATION:

MARCH 16 TO OCTOBER 14		
SEED:	50% TALL FESCUE	150 LBS./ACRE
	20% CREEPING RED FESCUE	
	10% KENTUCKY BLUEGRASS	
	10% PERENNIAL RYE GRASS	
	10% ANNUAL RYE GRASS	
FERTILIZER (12:12:12)		420 LBS./ACRE
MULCH (STRAW OR HAY):		2 TONS/ACRE

TEMPORARY STABILIZATION

DISTURBED AREAS MUST BE STABILIZED AS SPECIFIED IN THE FOLLOWING TABLES.

AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
Any disturbed areas within 50 feet of a stream and not at final grade at final grade	Within two days of the most recent disturbance if the area will remain idle for more than 21 days
For all construction activities, any disturbed areas that will be dormant for more than 21 days but less than one year, and not within 50 feet of a stream	Within seven days of the most recent disturbance within the area
Disturbed areas that will be idle over winter	For residential subdivisions, disturbed areas must be stabilized at least seven days prior to transfer of permit coverage for the individual lot(s). Prior to the onset of winter weather

TEMPORARY SEEDING SHALL BE DONE AT THE FOLLOWING RATES:

MARCH 16 TO OCTOBER 14		OCTOBER 15 TO MARCH 15	
SEED:	50% TALL FESCUE	SEED:	CEREAL RYE
	20% CREEPING RED FESCUE		1.3 LBS./1000 SQ. FT.
	10% KENTUCKY BLUEGRASS	FERTILIZER (12:12:12)	6 LBS./1000 SQ. FT.
	10% PERENNIAL RYE GRASS	MULCH (STRAW OR HAY):	2 TONS/ACRE
	10% ANNUAL RYE GRASS	WATER:	300 G/1000 SQ. FT.
FERTILIZER (12:12:12)	6 LBS./1000 SQ. FT.		
MULCH (STRAW OR HAY):	2 TONS/ACRE		
WATER:	300 G/1000 SQ. FT.		

SEDIMENT FENCE NOTES

SILT FENCE: THIS SEDIMENT BARRIER UTILIZES STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS. IT IS DESIGNED FOR SITUATIONS IN WHICH ONLY SHEET OR OVERLAND FLOWS ARE EXPECTED.

1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE).
2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPliced TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM OF A 6 INCH OVERLAP, AND SECURELY SEALED.
3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET.
4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WRED TO THE FENCE, AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
7. WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF ITEM NO. 6 APPLYING.
8. THE TRENCH SHALL BE BACKFILLED AND SOIL COMPACTED OVER THE FILTER FABRIC.
9. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

MAINTENANCE

SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

THE USE OF STRAW WATTLES HAS PROVEN TO BE A VERSATILE AND EFFECTIVE ESC BMP, ESPECIALLY IN RESIDENTIAL SETTINGS. STRAW WATTLES MAY BE SUBSTITUTED FOR SILT FENCE IN LINEAR INSTALLATIONS.

STRAW WATTLES OR COMPOST ROLLS SHALL BE A MINIMUM OF 12 INCHES IN DIAMETER (OEPA). THE USE OF COMPOST FILTER SOCKS AND COMPOST BLANKETS ARE GAINING WIDER ACCEPTANCE NATIONWIDE, THEY ARE NOW APPROVED FOR USE ON CITY OF COLUMBUS SWP3 PLANS AND CONSTRUCTION SITES.

SEDIMENT BASIN

THE SEDIMENT BASIN LOCATIONS SHOWN ON THIS PLAN ARE GENERALLY LOCATED WHERE PERMANENT STORMWATER BASINS WILL BE CONSTRUCTED. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT THE TEMPORARY BASINS TO MEET THE REQUIRED STORAGE VOLUMES AND OVERALL CAPACITIES AS SHOWN ON THIS PLAN. MODIFICATIONS OF THE LOCATIONS DUE TO CONTRACTOR ACTIVITIES OR PROJECT SCHEDULING SHALL BE REVIEWED AND APPROVED BY THE CITY OF DUBLIN AS PART OF THE EARTHWORK ACTIVITIES.

SEDIMENT BASINS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE UPSLOPE LAND DISTURBANCE BEGINS.

SEDIMENT CLEANOUT: SEDIMENT SHALL BE REMOVED AND THE SEDIMENT BASIN RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS FILLED TO ONE-HALF THE SEDIMENT STORAGE ZONE. SEDIMENT REMOVED FROM THE BASIN SHALL BE PLACED SO THAT IT WILL NOT ERODE AND BE STABILIZED SIMILAR TO OTHER FILL MATERIAL PLACED ON THE SITE.

FINAL REMOVAL: THE SEDIMENT CONTROL STRUCTURE SHALL BE REMOVED ONLY AFTER THE UPSLOPE DRAINAGE AREA IS STABILIZED. DEMATERING AND REMOVAL SHALL NOT CAUSE SEDIMENT TO BE DISCHARGED.

INSPECTIONS

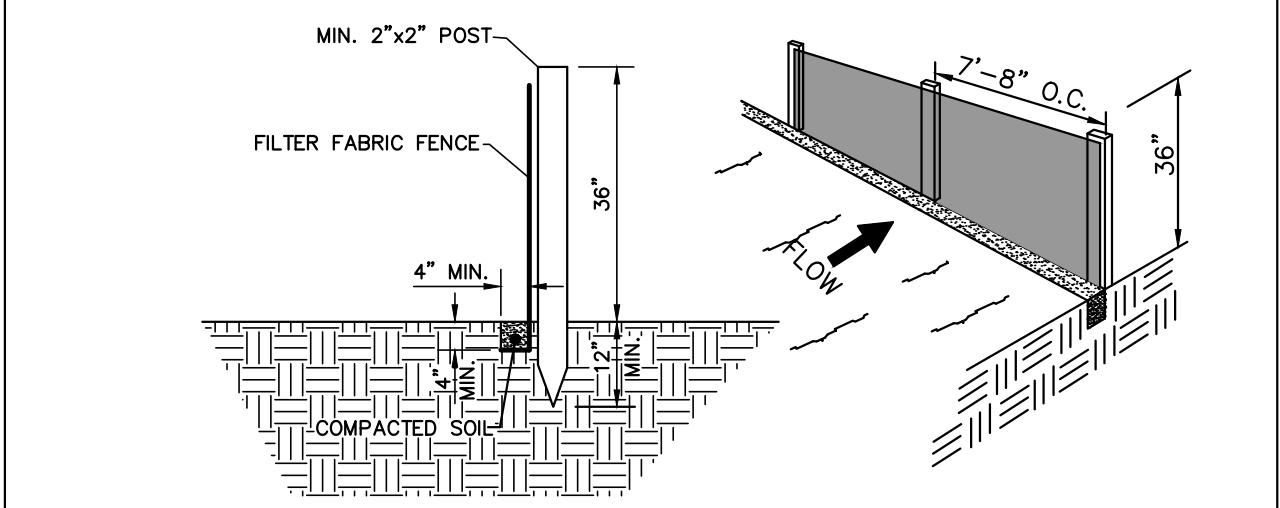
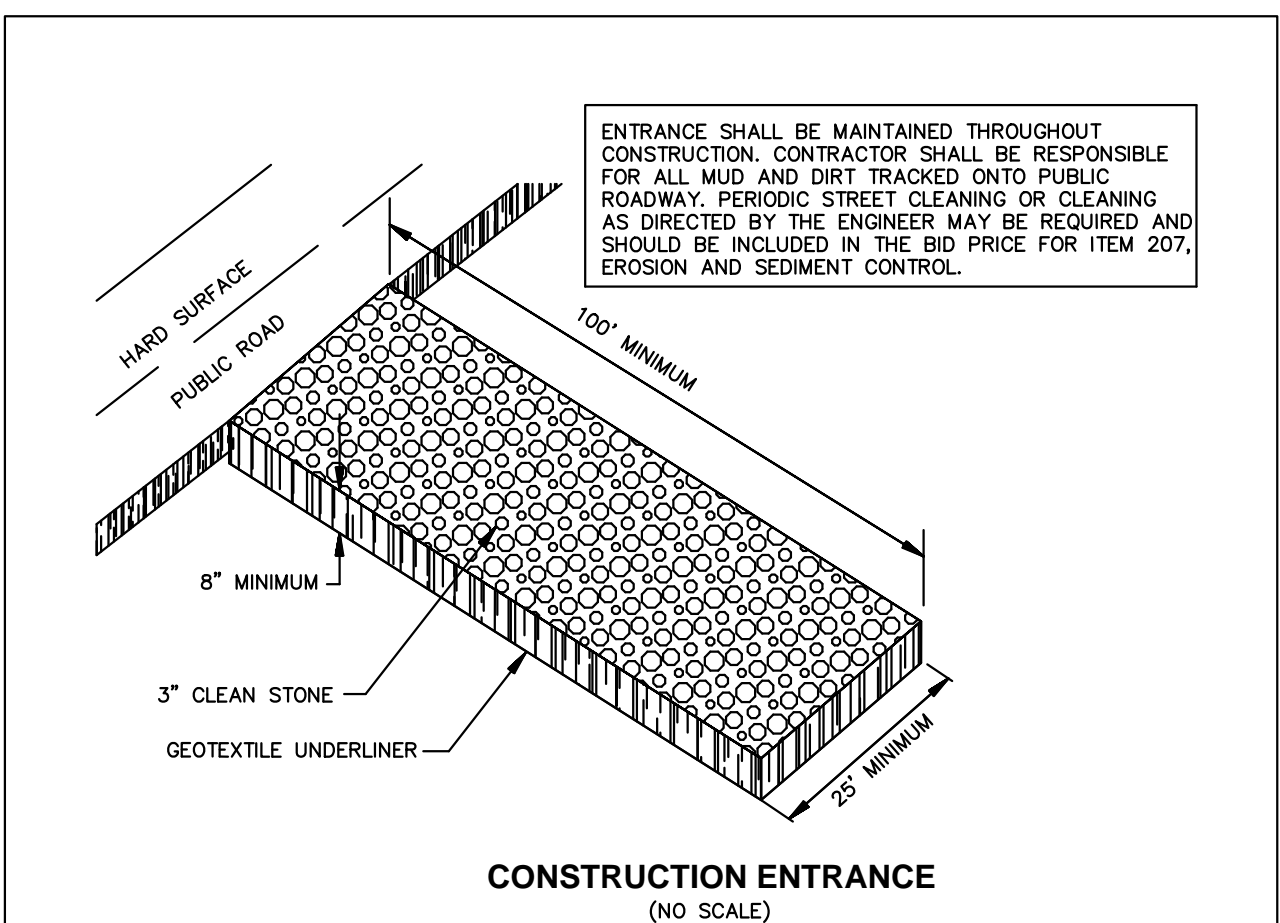
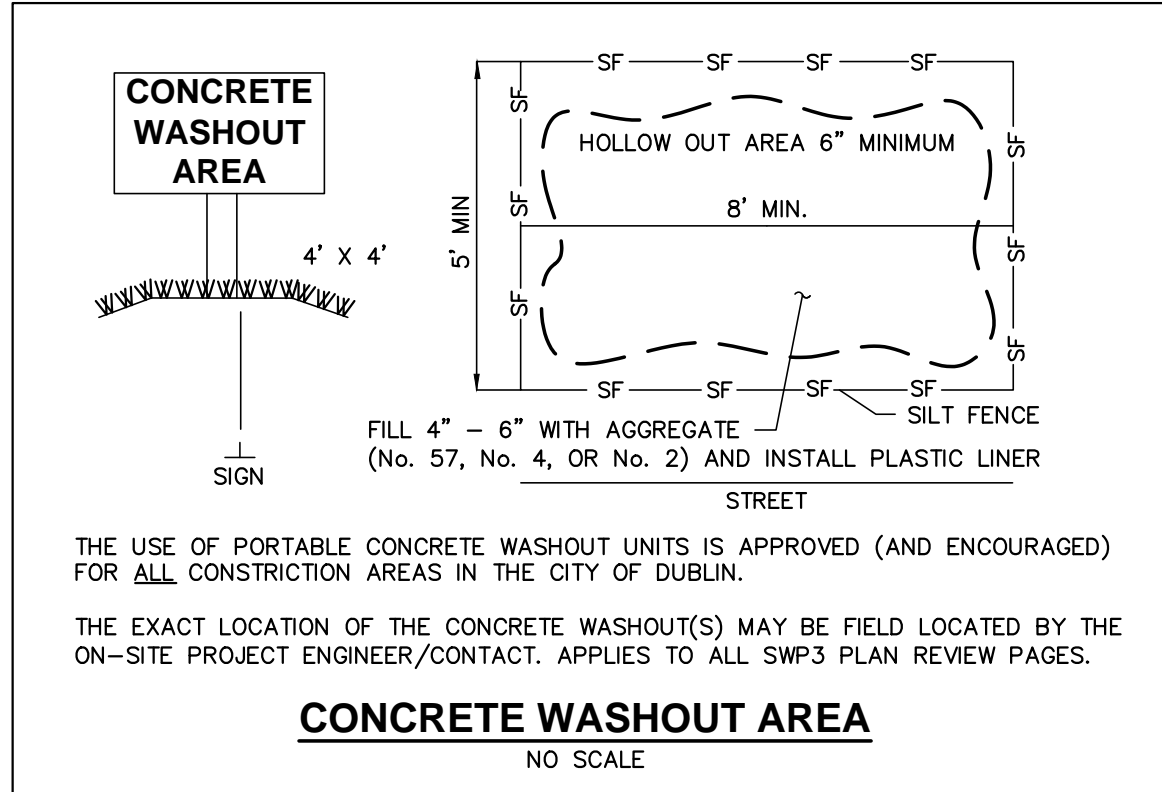
THE CONTRACTOR SHALL PROVIDE QUALIFIED PERSONNEL TO CONDUCT SITE INSPECTIONS ENSURING PROPER FUNCTIONALITY OF THE EROSION AND SEDIMENTATION CONTROLS. ALL EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSPECTED ONCE EVERY SEVEN CALENDAR DAYS OR WITHIN 24 HOURS OF A 1/2 INCH STORM EVENT OR GREATER. RECORDS OF THE SITE INSPECTIONS SHALL BE KEPT AND MADE AVAILABLE TO JURISDICTIONAL AGENCIES IF REQUESTED. ANY SEDIMENT OR DEBRIS WHICH HAS REDUCED THE EFFICIENCY OF A STRUCTURE SHALL BE REMOVED IMMEDIATELY. SHOULD A STRUCTURE OR FEATURE BECOME DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER.

MAINTENANCE

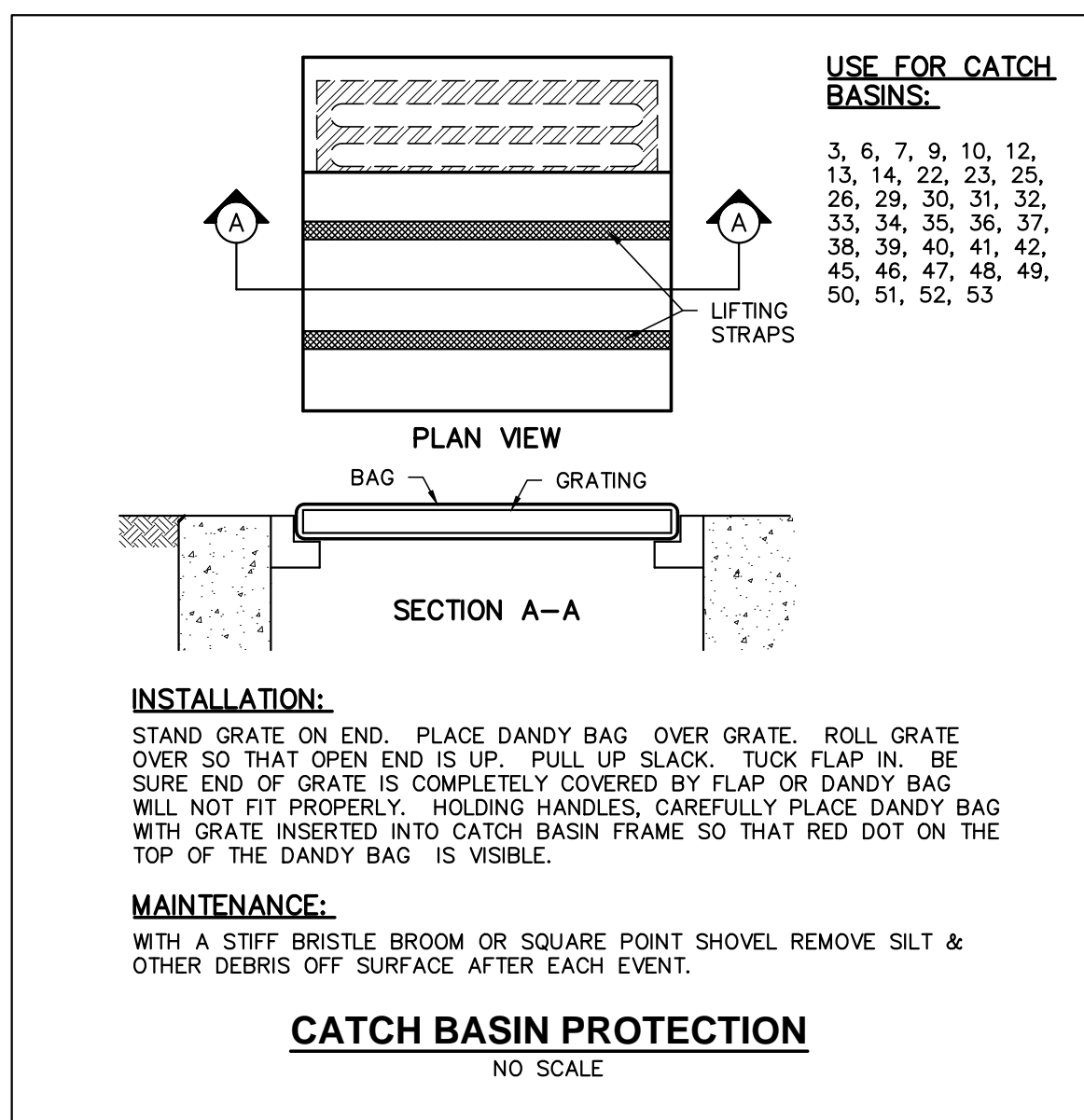
IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE SEDIMENT CONTROL FEATURES USED ON THIS PROJECT. THE SITE SHALL BE INSPECTED PERIODICALLY, BUT NOT TO EXCEED 30 DAYS, OR WITHIN 24 HOURS OF A SIGNIFICANT RAINFALL. RECORDS OF THESE INSPECTIONS SHALL BE KEPT AND MADE AVAILABLE TO JURISDICTIONAL AGENCIES IF REQUESTED. ANY SEDIMENT OR DEBRIS WHICH HAS REDUCED THE EFFICIENCY OF A STRUCTURE SHALL BE REMOVED IMMEDIATELY. SHOULD A STRUCTURE OR FEATURE BECOME DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER.

PROPERTY OWNER DESIGN ENGINEER CONTRACTOR

S & K REAL PROPERTY LLC 169 S LIBERTY ST POWELL, OH 43065	ADVANCED CIVIL DESIGN, INC. 781 SCIENCE BOULEVARD, SUITE 100 GAHANNA, OH 43230 PH (614) 428-7750 FAX (614) 428-7755	TO BE DETERMINED
---	---	------------------



MAXIMUM DRAINAGE AREA (N ACRES) TO 100 LINEAR FEET OF SILT FENCE	RANGE OF SLOPE FOR A PARTICULAR DRAINAGE AREA (IN PERCENT)
0.50 ACRES	< 2.0%
0.25 ACRES	≥ 2.0% BUT < 20%
0.125 ACRES	≥ 20% BUT < 50%



CONTRACTOR RESPONSIBILITY

DETAILS HAVE BEEN PROVIDED ON THE PLANS IN AN EFFORT TO HELP THE CONTRACTOR PROVIDE EROSION AND SEDIMENTATION CONTROL. THE DETAILS SHOWN ON THE PLAN SHALL BE CONSIDERED A MINIMUM. ADDITIONAL OR ALTERNATE DETAILS MAY BE FOUND IN THE S.C.S. MANUAL "WATER MANAGEMENT AND SEDIMENT CONTROL FOR URBANIZING AREAS." THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING NECESSARY AND ADEQUATE MEASURES FOR PROPER CONTROL OF EROSION AND SEDIMENT RUNOFF FROM THE SITE ALONG WITH PROPER MAINTENANCE AND INSPECTION IN COMPLIANCE WITH THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

THE CONTRACTOR SHALL PROVIDE A SCHEDULE OF OPERATIONS TO THE OWNER. THE SCHEDULE SHOULD INCLUDE A SEQUENCE OF THE PLACEMENT OF THE SEDIMENTATION AND EROSION CONTROL MEASURES THAT PROVIDES FOR CONTINUAL PROTECTION OF THE SITE THROUGHOUT THE EARTH MOVING ACTIVITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT OFF-SITE TRACKING OF SEDIMENTS BY VEHICLES AND EQUIPMENT IS MINIMIZED. ALL SUCH OFF-SITE SEDIMENT SHALL BE CLEANED UP DAILY.

THIS PLAN MUST BE POSTED ON-SITE. A COPY OF THE APPROVED SWPPP PLAN AND THE APPROVED EPA STORMWATER PERMIT (WITH SITE SPECIFIC NOI NUMBER) SHALL BE KEPT ON-SITE AT ALL TIMES.

THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE THE CURRENT STORM WATER POLLUTION PREVENTION PLAN IMMEDIATELY AVAILABLE OR POSTED ON SITE.

STREET CLEANING (ON AN AS NEEDED BASIS) IS REQUIRED THROUGHOUT THE DURATION OF THIS CONSTRUCTION PROJECT. THIS INCLUDES SWEEPING AND POWER CLEANING AND (IF NECESSARY) MANUAL REMOVAL OF DIRT AND MUD IN THE STREET GUTTERS.

DIRECT DISCHARGE OF SEDIMENT LADEN WATER TO THE CITY'S SEWER SYSTEM OR A RECEIVING STREAM IS A VIOLATION OF OHIO EPA AND CITY OF DUBLIN REGULATIONS. THE CONTRACTOR WILL BE HELD LIABLE FOR THE VIOLATION AND SUBSEQUENT FINES.

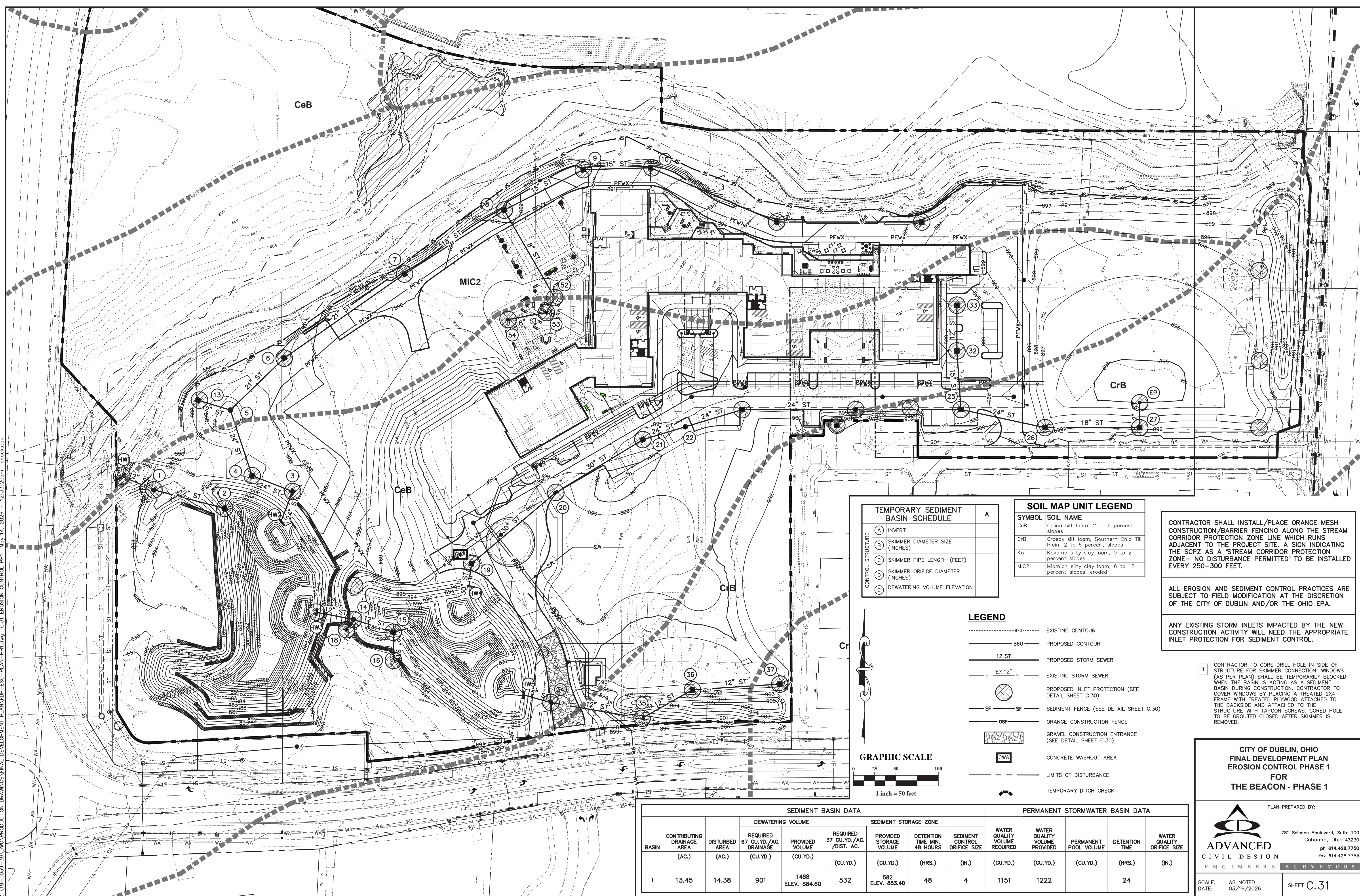
CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
EROSION & SEDIMENT CONTROL NOTES & DETAILS
FOR
THE BEACON - PHASE 1

PLAN PREPARED BY
ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS
781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755

SCALE: 1"=20'
DATE: 03/16/2026

SHEET C.30

Z:\18-0039-39\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\FDP-ESC-PLAN-PH1.dwg C:\31 EROSION CONTROL PH1 May 14, 2026 - 12:33:20pm abcadlck



TEMPORARY SEDIMENT BASIN SCHEDULE		A
(A)	INVERT	
(B)	SKIMMER DIAMETER SIZE (INCHES)	
(C)	SKIMMER PIPE LENGTH (FEET)	
(D)	SKIMMER ORIFICE DIAMETER (INCHES)	
(E)	DEWATERING VOLUME ELEVATION	

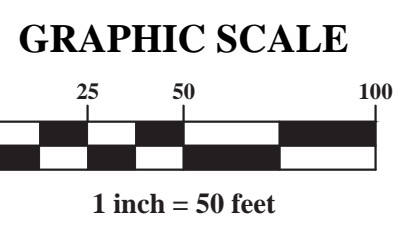
SOIL MAP UNIT LEGEND	
CeB	Calina silt loam, 2 to 6 percent slopes
CrB	Crosby silt loam, Southern Ohio Till Plain, 2 to 6 percent slopes
Ko	Kokomo silty clay loam, 0 to 2 percent slopes
MIC2	Miamion silty clay loam, 6 to 12 percent slopes, eroded

CONTRACTOR SHALL INSTALL/PLACE ORANGE MESH CONSTRUCTION/BARRIER FENCING ALONG THE STREAM CORRIDOR PROTECTION ZONE LINE WHICH RUNS ADJACENT TO THE PROJECT SITE. A SIGN INDICATING THE SCZ AS A 'STREAM CORRIDOR PROTECTION ZONE- NO DISTURBANCE PERMITTED' TO BE INSTALLED EVERY 250-300 FEET.

ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DISCRETION OF THE CITY OF DUBLIN AND/OR THE OHIO EPA.

ANY EXISTING STORM INLETS IMPACTED BY THE NEW CONSTRUCTION ACTIVITY WILL NEED THE APPROPRIATE INLET PROTECTION FOR SEDIMENT CONTROL.

- LEGEND**
- 870 --- EXISTING CONTOUR
 - 860 --- PROPOSED CONTOUR
 - 12" ST --- PROPOSED STORM SEWER
 - EX. 12" ST --- EXISTING STORM SEWER
 - [Symbol] --- PROPOSED INLET PROTECTION (SEE DETAIL SHEET C.30)
 - SF --- SF --- SEDIMENT FENCE (SEE DETAIL SHEET C.30)
 - OSF --- ORANGE CONSTRUCTION FENCE
 - [Symbol] --- GRAVEL CONSTRUCTION ENTRANCE (SEE DETAIL SHEET C.30)
 - [Symbol] --- CONCRETE WASHOUT AREA
 - [Symbol] --- LIMITS OF DISTURBANCE
 - [Symbol] --- TEMPORARY DITCH CHECK



BASIN	CONTRIBUTING DRAINAGE AREA (AC.)	DISTURBED AREA (AC.)	DEWATERING VOLUME				SEDIMENT STORAGE ZONE			PERMANENT STORMWATER BASIN DATA			
			REQUIRED 67 CU.YD./AC. DRAINAGE (CU.YD.)	PROVIDED VOLUME (CU.YD.)	REQUIRED 37 CU.YD./AC. /DIST. AC. (CU.YD.)	PROVIDED STORAGE VOLUME (CU.YD.)	DETENTION TIME MIN. 48 HOURS (HRS.)	SEDIMENT CONTROL ORIFICE SIZE (IN.)	WATER QUALITY VOLUME REQUIRED (CU.YD.)	WATER QUALITY VOLUME PROVIDED (CU.YD.)	PERMANENT POOL VOLUME (CU.YD.)	DETENTION TIME (HRS.)	WATER QUALITY ORIFICE SIZE (IN.)
1	13.45	14.38	901	1488 ELEV. 884.60	532	582 ELEV. 883.40	48	4	1151	1222		24	

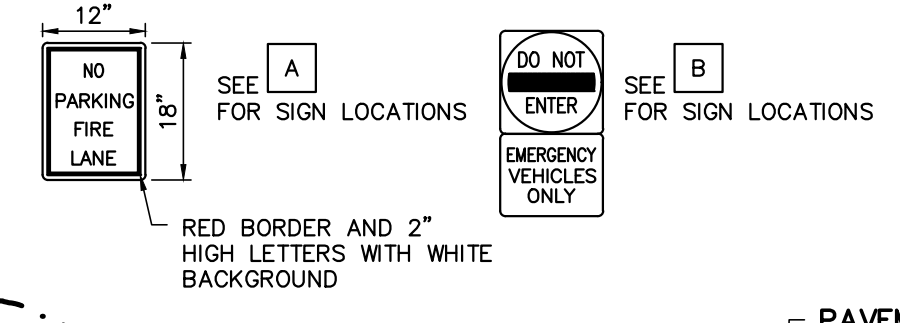
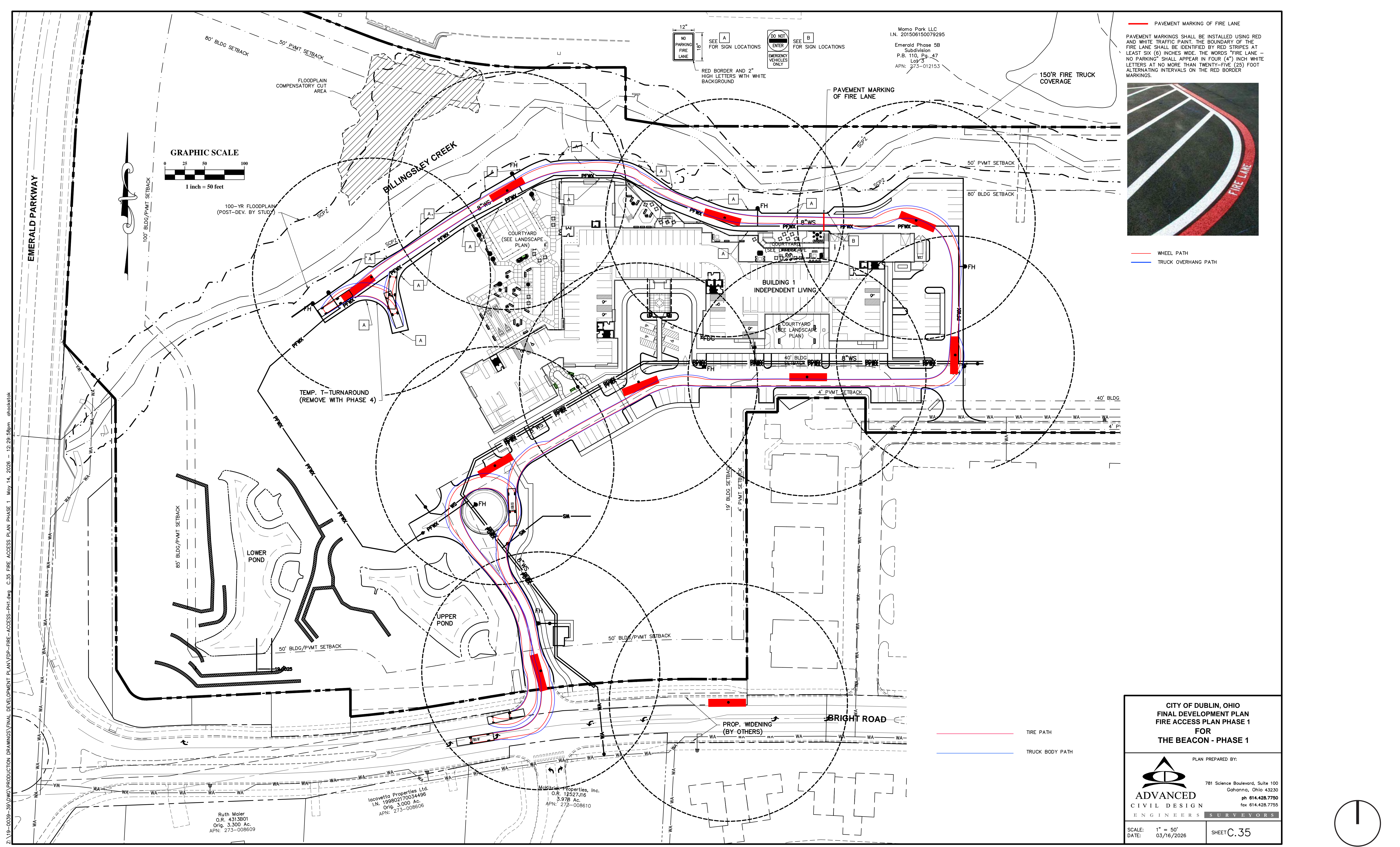
**CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
EROSION CONTROL PHASE 1
FOR
THE BEACON - PHASE 1**

PLAN PREPARED BY:

**ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS**

781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755

SCALE: AS NOTED
DATE: 03/16/2026
SHEET C.31



Momo Park LLC
 I.N. 201506150079295
 Emerald Phase 5B
 Subdivision
 P.B. 110, Pg. 47
 Lot 3
 APN: 273-012153

PAVEMENT MARKING OF FIRE LANE
 PAVEMENT MARKINGS SHALL BE INSTALLED USING RED AND WHITE TRAFFIC PAINT. THE BOUNDARY OF THE FIRE LANE SHALL BE IDENTIFIED BY RED STRIPES AT LEAST SIX (6) INCHES WIDE. THE WORDS "FIRE LANE - NO PARKING" SHALL APPEAR IN FOUR (4") INCH WHITE LETTERS AT NO MORE THAN TWENTY-FIVE (25) FOOT ALTERNATING INTERVALS ON THE RED BORDER MARKINGS.



— WHEEL PATH
 — TRUCK OVERHANG PATH

— TIRE PATH
 — TRUCK BODY PATH

CITY OF DUBLIN, OHIO
 FINAL DEVELOPMENT PLAN
 FIRE ACCESS PLAN PHASE 1
 FOR
 THE BEACON - PHASE 1

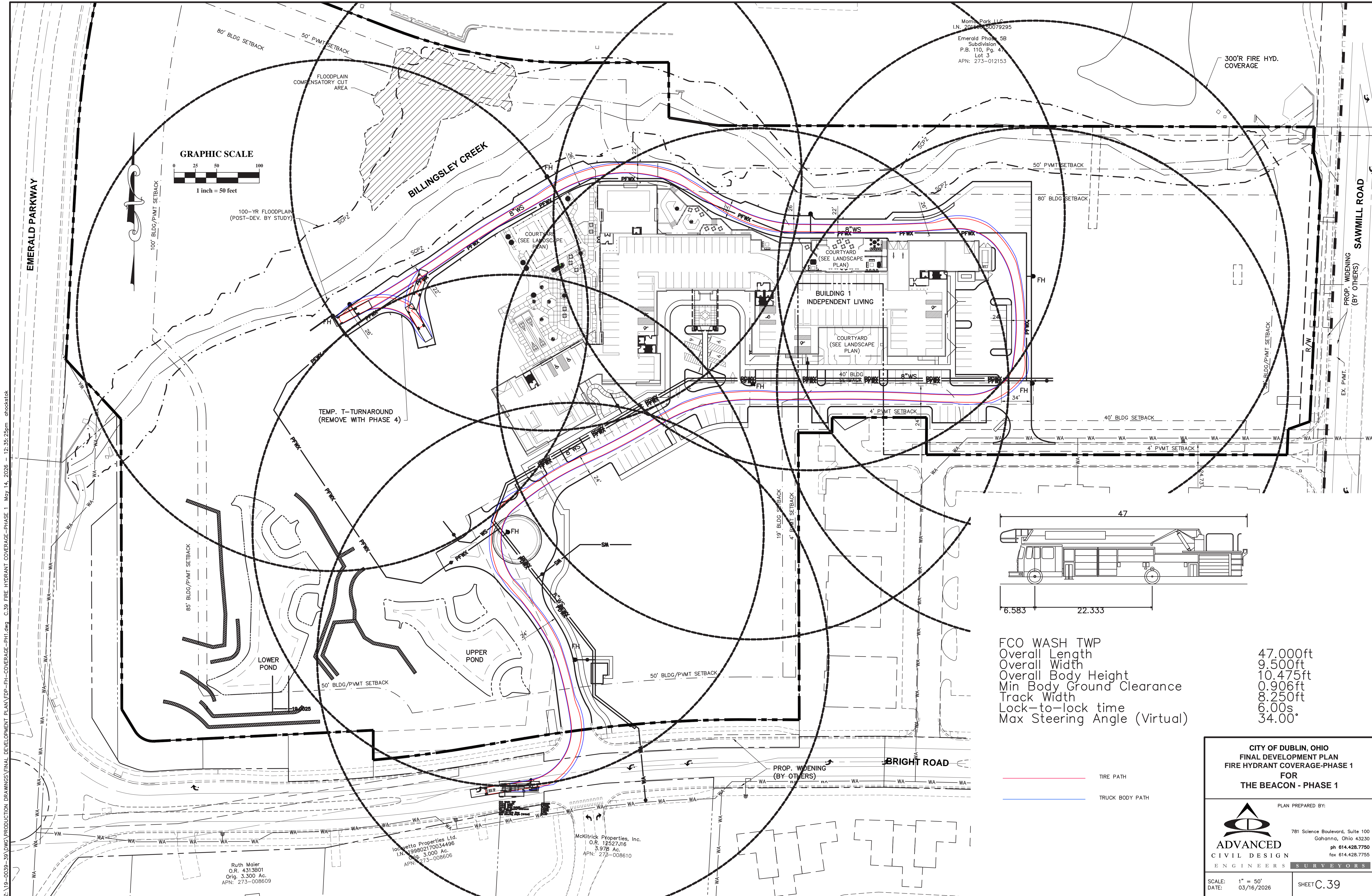
PLAN PREPARED BY:

781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

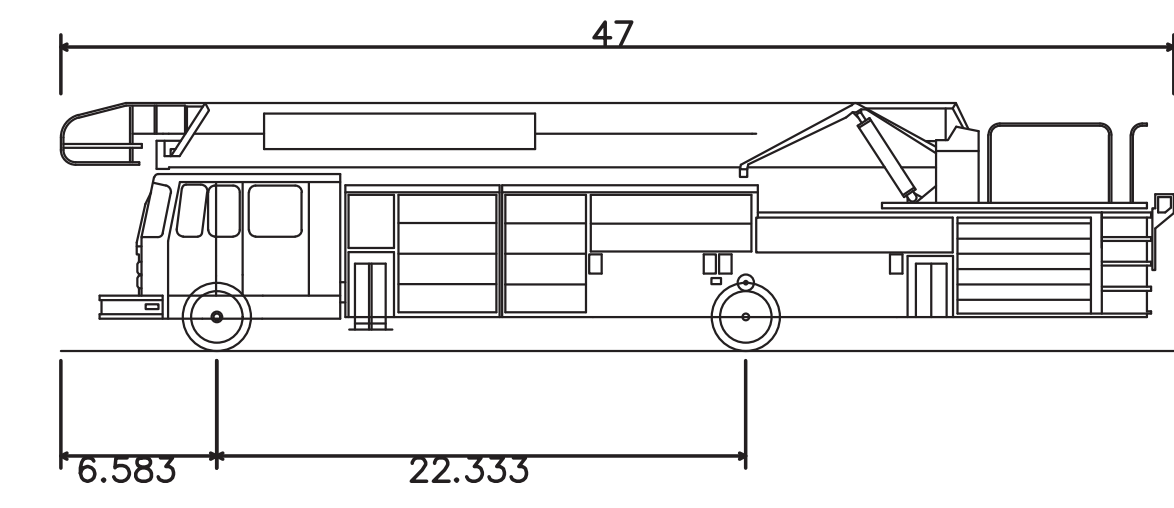
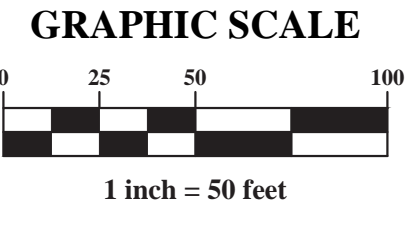
SCALE: 1" = 50'
 DATE: 03/16/2026

SHEET C.35

Z:\18-0039-39\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\FDP-FIRE-ACCESS-FH1.dwg C:\35 FIRE ACCESS PLAN PHASE 1 May 14, 2026 - 12:29:58pm d:\stock



Mom's Park LLC
 I.N. 2016-00079295
 Emerald Phase 5B
 Subdivision
 P.B. 110, Pg. 47
 Lot 3
 APN: 273-012153



FCO WASH TWP
 Overall Length 47.000ft
 Overall Width 9.500ft
 Overall Body Height 10.475ft
 Min Body Ground Clearance 0.906ft
 Track Width 8.250ft
 Lock-to-lock time 6.00s
 Max Steering Angle (Virtual) 34.00°

— TIRE PATH
 — TRUCK BODY PATH

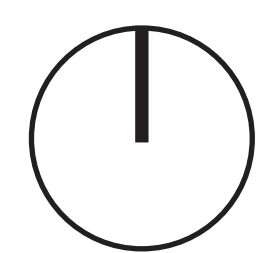
CITY OF DUBLIN, OHIO
 FINAL DEVELOPMENT PLAN
 FIRE HYDRANT COVERAGE-PHASE 1
 FOR
THE BEACON - PHASE 1

PLAN PREPARED BY:

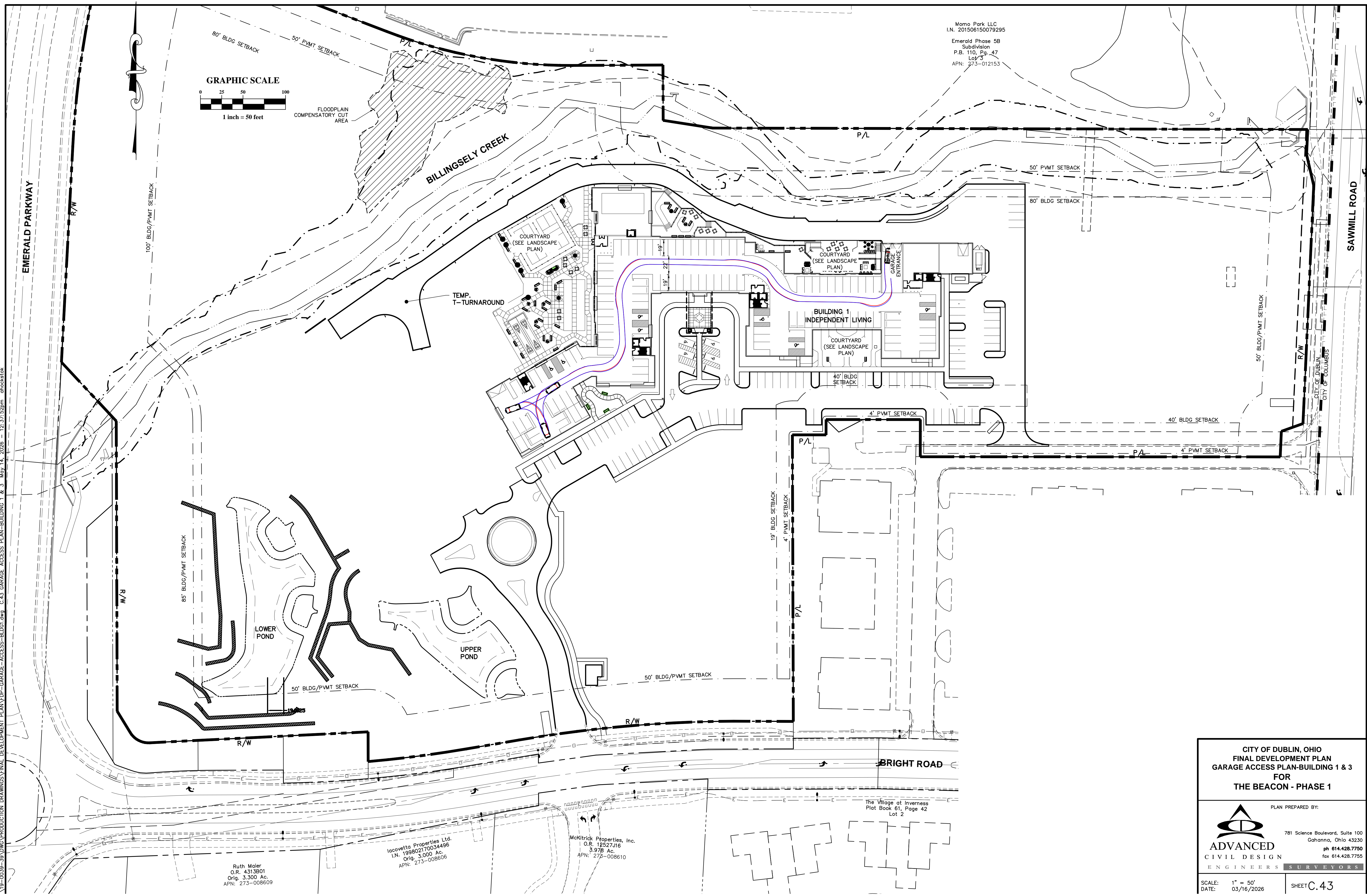
781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

SCALE: 1" = 50'
 DATE: 03/16/2026

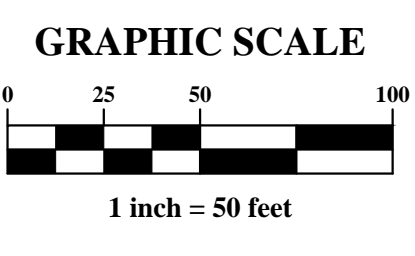
SHEET C.39



19-0039-39.DWG PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\FDP--GARAGE--ACCESS--BLDG1.dwg C:\3 GARAGE ACCESS PLAN-BUILDING 1 & 3 May 14, 2026 - 12:37:52pm checked



Momo Park LLC
I.N. 201506150079295
Emerald Phase 5B
Subdivision
P.B. 110, Pg. 47
Lot 3
APN: 273-012153



FLOODPLAIN
COMPENSATORY CUT
AREA

CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
GARAGE ACCESS PLAN-BUILDING 1 & 3
FOR
THE BEACON - PHASE 1

PLAN PREPARED BY:



781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755

SCALE: 1" = 50'
DATE: 03/16/2026

SHEET C.43

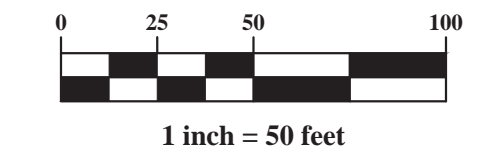
F:\19-0039-39\DWG PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\FLOODPLAIN-EX-COND.dwg C:\45 FLOODPLAIN MAP-EXISTING CONDITIONS Mar 16, 2026 4:02:38pm cecsherry



LEGEND

 EXISTING FLOODPLAIN AREA

GRAPHIC SCALE



**CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
FLOODPLAIN MAP-EXISTING CONDITIONS
FOR
THE BEACON - PHASE 1**

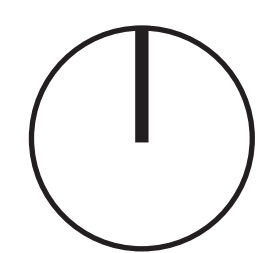
PLAN PREPARED BY:



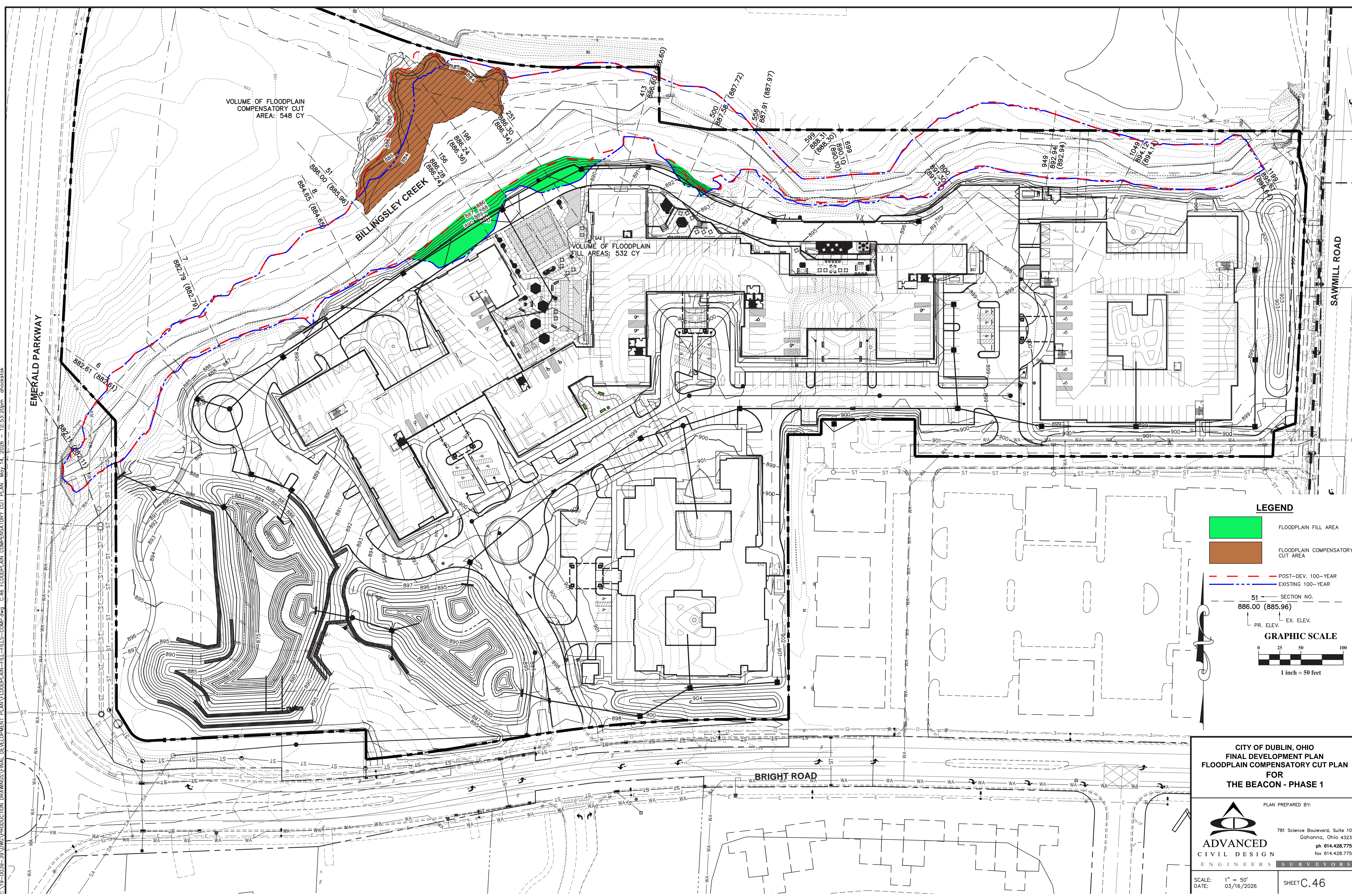
781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755

SCALE: 1" = 50'
DATE: 03/16/2026

SHEET C.45



P:\19-0039-30\DWG PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\FLOODPLAIN-FILL-FILLS-COMP.dwg C:\46 FLOODPLAIN COMPENSATORY CUT PLAN May 14, 2026 12:53:20pm ahsdskt



VOLUME OF FLOODPLAIN COMPENSATORY CUT AREA: 548 CY

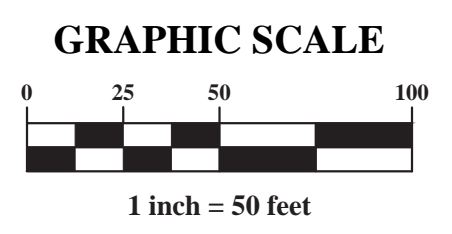
VOLUME OF FLOODPLAIN FILL AREAS: 532 CY

LEGEND

- FLOODPLAIN FILL AREA
- FLOODPLAIN COMPENSATORY CUT AREA

- POST-DEV. 100-YEAR
- EXISTING 100-YEAR

51 SECTION NO.
886.00 (885.96)
PR. ELEV. EX. ELEV.

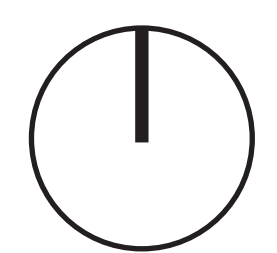


**CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
FLOODPLAIN COMPENSATORY CUT PLAN
FOR
THE BEACON - PHASE 1**

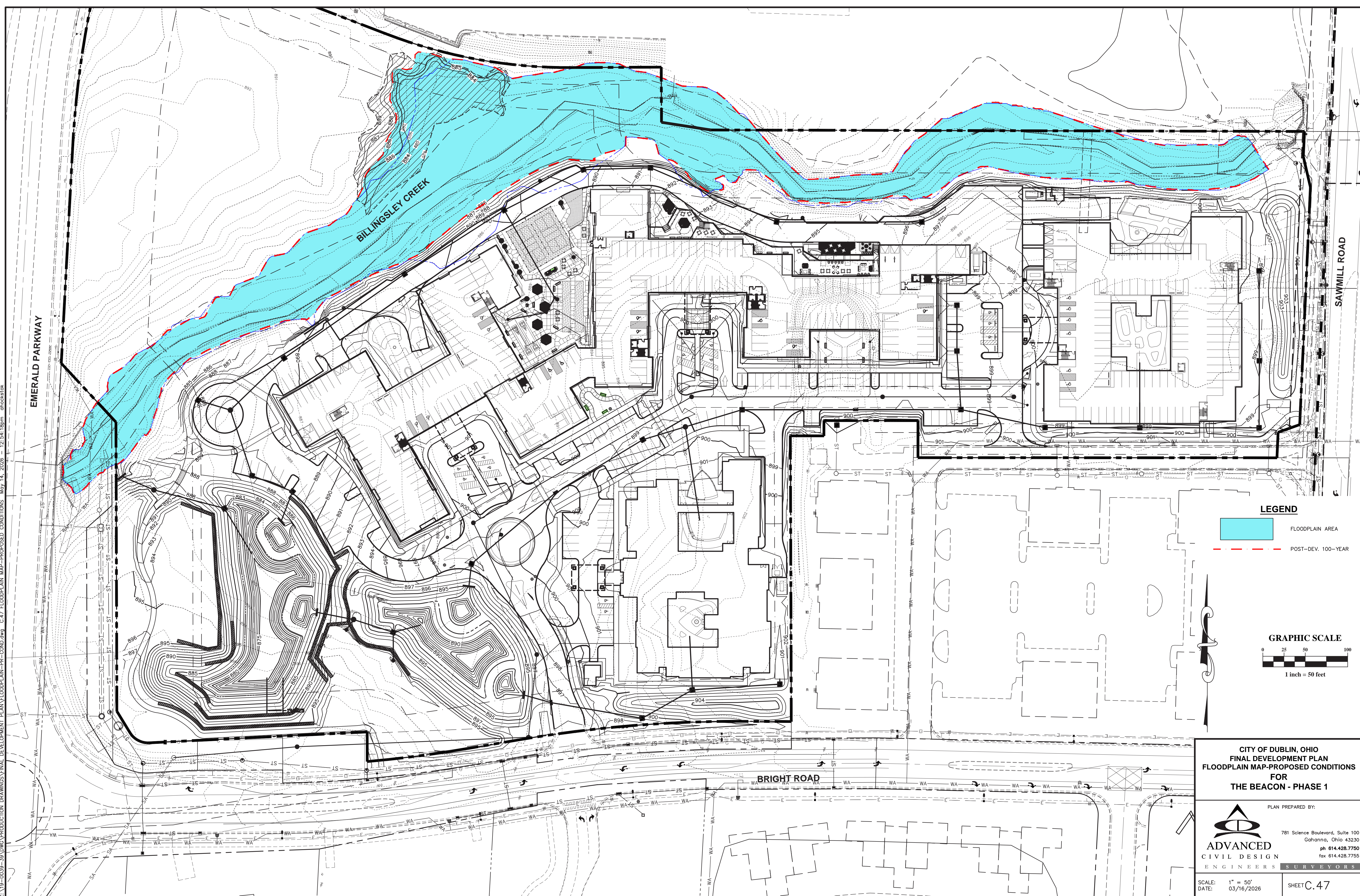
PLAN PREPARED BY:

**ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS**
781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755



SCALE: 1" = 50'
DATE: 03/16/2026 SHEET C.46



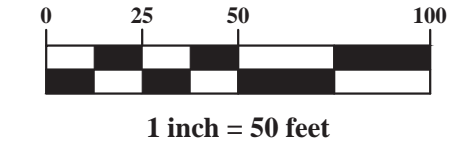
Z:\18-0039-18\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\FLOODPLAIN-PP-COND.dwg C:\7 FLOODPLAIN MAP-PROPOSED CONDITIONS May 14, 2026 12:54:18pm abroderick



LEGEND


-  FLOODPLAIN AREA
-  POST-DEV. 100-YEAR

GRAPHIC SCALE



CITY OF DUBLIN, OHIO
 FINAL DEVELOPMENT PLAN
 FLOODPLAIN MAP-PROPOSED CONDITIONS
 FOR
 THE BEACON - PHASE 1

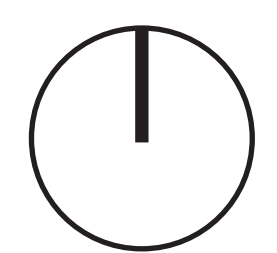
PLAN PREPARED BY:

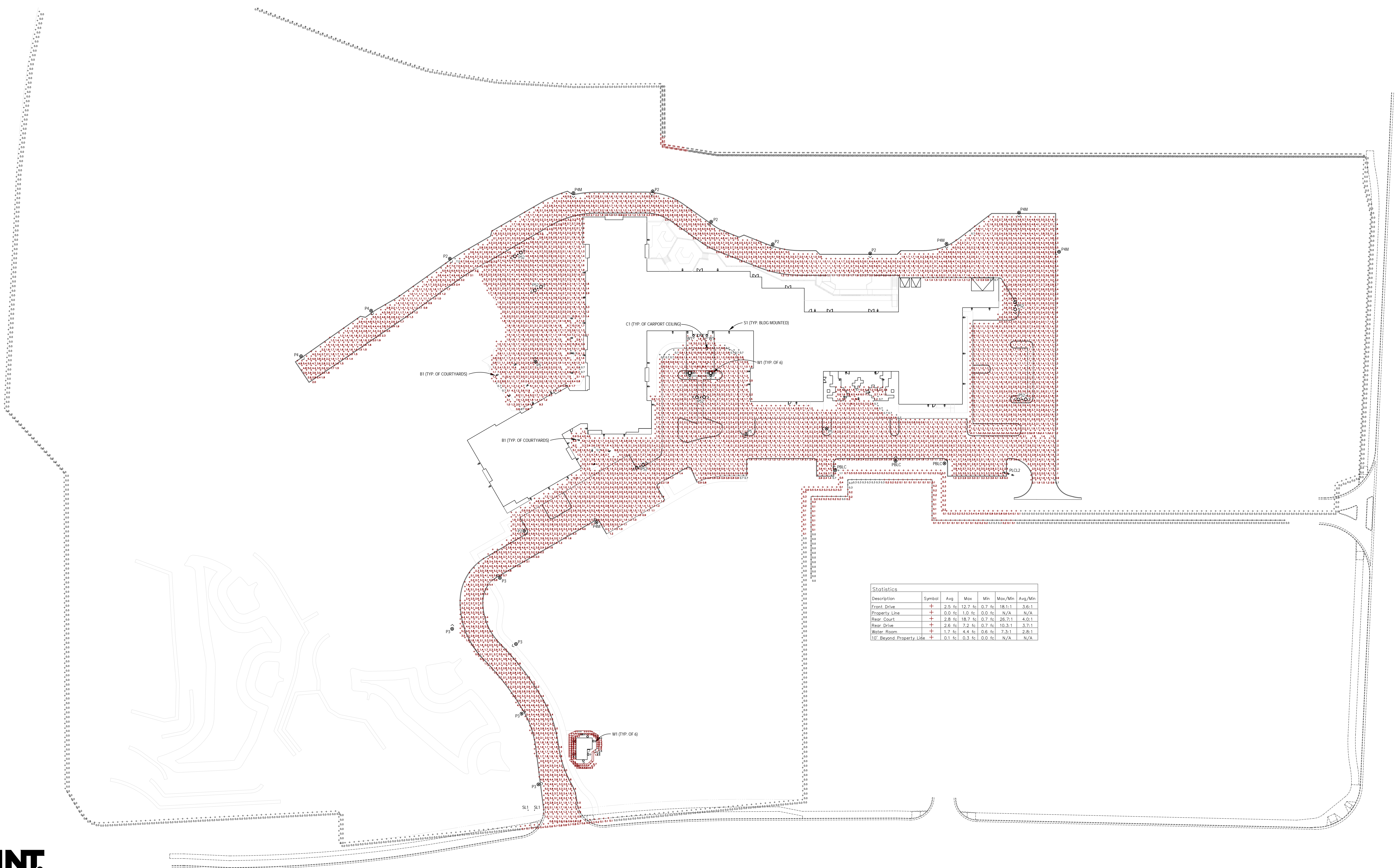


781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

SCALE: 1" = 50'
 DATE: 03/16/2026

SHEET C.47



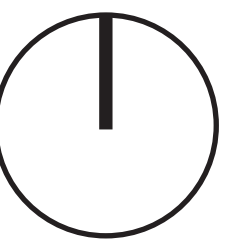


**POINT.
ONE** Design LTD.
Consulting Engineers

Columbus, OH | Cleveland, OH
P: 614-540-3500 | P: 440-230-1800
pointonedesign.com



SITE PHOTOMETRIC PLAN - PHASE I
SCALE: 1" = 40' 0"



THE BEACON
DUBLIN, OHIO



Orange frog Design Group, LLC

FINAL DEVELOPMENT PLAN : **PHASE 01**
MAY 15, 2026

PHOTOMETRIC SITE PLAN