

PROJECT DESCRIPTION

THE PROJECT IS TO DEVELOP EXISTING UNDEVELOPED RESIDENTIAL LAND INTO A PLANNED UNIT DEVELOPMENT WITH FOUR PHASES OF CONSTRUCTION FOR A NEW SENIOR HOUSING COMMUNITY (INDEPENDENT LIVING, ASSISTED LIVING/MEMORY CARE, & MEMORY CARE). THE PROJECT WILL WORK TO MAINTAIN THE EXISTING NATURAL BILLINGSLEY CREEK THAT RUNS THROUGH THE PROJECT SITE. MASTER STORMWATER MANAGEMENT FACILITIES WILL BE CREATED TO HANDLE STORMWATER REQUIREMENTS FOR THE MASTER DEVELOPMENT SOUTH OF BILLINGSLEY CREEK.

SITE ZONING INFORMATION

ZONING DISTRICT: PUD-PLANNED UNIT DEVELOPMENT
 TAX DISTRICT: CITY OF DUBLIN-WASH TWP
 PARCEL NUMBER: 273-012155, 273-008632, 273-008633, 273-008634, 273-008660, 273-008680, 273-008681, 273-008689, 273-008619, 273-008676, 273-008405, 273-008761
 LAND AREA: 21.523 ACRES
 PHASE 1 LAND USE: INDEPENDENT LIVING WITH ASSISTANCE & ASSISTED LIVING
 PHASE 1 BUILDING AREA: 220,896 SQ. FT. TOTAL (FIRST, SECOND, THIRD & FOURTH FLOORS) NOT INCLUDING STRUCTURED PARKING
 TOTAL UNIT COUNT:
 INDEPENDENT LIVING (IL) 81 UNITS
 ASSISTED LIVING (AL) 60 UNITS
 PHASE 1 DENSITY: 6.55 UNITS/ACRE (141 UNITS / 21.523 ACRES)
 PHASE 1 PARKING REQUIREMENTS:
 INDEPENDENT LIVING (IL) - 1 PER DWELLING UNIT
 ASSISTED LIVING (AL) - 1 PER EVERY 6 UNITS
 STAFF PARKING (SP) - 1 PER EMPLOYEE (OF LARGEST SHIFT)
 PROPOSED PARKING:
 PHASE 1 SURFACE PARKING & GARAGE STRUCTURE PARKING
 112 GARAGE STRUCTURE PARKING SPACES
 84 SURFACE PARKING SPACES
 TOTAL 196 SPACES (11 ADA SPACES, 4 VAN)

BENCHMARKS

BASED ON NAVD 1988 DATUM.

SOURCE - ELEVATIONS WERE ESTABLISHED USING 45 MINUTE STATIC OBSERVATIONS UTILIZING GLOBAL POSITIONING SYSTEM (GPS) PROCEDURES. THE GPS DATA WAS SUBMITTED TO THE NATIONAL GEODETIC SURVEY'S (NGS) ONLINE POSITIONING USER SERVICE RAPID-STATIC (OPUS-RS) SYSTEM FOR PROCESSING. THE SYSTEM USES THE CONTINUALLY OPERATING REFERENCE STATIONS (CORS) TO ESTABLISH THE GEODETIC ELEVATION.

BM #1 - BOLT ON THE NORTHEAST SIDE OF EXISTING FIRE HYDRANT, APPROXIMATELY 577' NORTH OF EXISTING ROUNDABOUT INTERSECTION OF EMERALD PARKWAY AND BRIGHT ROAD, ALONG THE EAST SIDE OF EMERALD PARKWAY. SHOWN ON INDEX MAP AS BM #1.

ELEVATION = 893.24 (NAVD 88)

BM #2 - BOLT ON THE NORTH SIDE OF EXISTING FIRE HYDRANT, APPROXIMATELY 873' EAST OF EXISTING ROUNDABOUT INTERSECTION OF EMERALD PARKWAY AND BRIGHT ROAD, ALONG THE SOUTH SIDE OF BRIGHT ROAD. SHOWN ON INDEX MAP AS BM #2.

ELEVATION = 902.48 (NAVD 88)

BM #3 - BOLT ON THE NORTHEAST SIDE OF EXISTING FIRE HYDRANT, APPROXIMATELY 167' WEST OF THE EXISTING SAWMILL PARKWAY RIGHT-OF-WAY, ALONG THE NORTH SIDE OF PRIVATE DRIVE. SHOWN ON INDEX MAP AS BM #3.

ELEVATION = 902.66 (NAVD 88)

HORIZONTAL CONTROL POINTS

BASED ON NAD83 OHIO ZONE SOUTH (NSRS2011)

No.	Description/Location	NORTHING	EASTING
CP#1	5/8" REBAR - BURGESS & NIPL	771080.810	1801814.561
CP#2	5/8" REBAR - BURGESS & NIPL	770646.939	1802174.544
CP#3	RAIL ROAD SPIKE	770970.328	1802773.257
CP#4	PK NAIL	770972.140	1803274.307

FLOODPLAIN

THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) SHOWS THAT THE MAJORITY OF SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOOD PLAIN) AND ZONE "X1" (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD (100 YEAR FLOOD)) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP, FRANKLIN COUNTY, OHIO, PANELS 39049C0151K, EFFECTIVE DATE: JUNE 17, 2008 AND 39049C0152K, EFFECTIVE DATE: JUNE 17, 2008.

THE AMOUNT OF FILL WITHIN DESIGNATED FEMA FLOODPLAIN AREAS ONSITE IS ____ C.Y. THE AMOUNT OF FILL COMPENSATED WITHIN DESIGNATED FEMA FLOODPLAIN AREAS ONSITE IS ____ C.Y.

NOTE: THIS PROJECT HAS COMPLETED AN H&H STUDY OF THE BILLINGSLEY CREEK THAT TRAVERSES THROUGH THE PROJECT SITE.

STANDARD CONSTRUCTION DRAWINGS

CITY OF DUBLIN (2024)		CITY OF COLUMBUS (CONSTRUCTION)		CITY OF COLUMBUS (SEWER & WATER)	
PD-02	RD-06	ST-01		SEWER	WATER
PD-03	RD-07	ST-02	N/A	N/A	L-6309B
PD-06	SA-01	ST-03			L-6310
PD-08	SA-02	ST-04			L-6311
PD-09	SA-03	ST-05			L-6312
PD-12	SA-04	ST-06			L-6312
		WA-01			

UTILITY & SERVICE CONTACTS

AEP OHIO 700 MORRISON ROAD GAHANNA, OHIO 43230 ATTN: ERIK SCHAAS (614) 883-7963	SANITARY, STORM, WATER	CITY OF DUBLIN 6555 SHIER-RINGS ROAD DUBLIN, OHIO 43016 (614) 410-7360	AT&T 111 N 4TH ST, SUITE 802 COLUMBUS, OHIO 43215 ATTN: RON FOMBY (614) 223-7983
COLUMBIA GAS OF OHIO 3550 JOHNNY APPELSEED COURT COLUMBUS, OHIO 43231 ATTN: TODD SCHWARZ (614) 280-7500	PHONE/ CATV	DUBLINK 5200 EMERALD PARKWAY DUBLIN, OHIO 43016 (614) 410-4600	SPECTRUM (CHARTER) 3760 INTERCHANGE ROAD COLUMBUS, OHIO 43204 ATTN: KEVIN RICH (614) 481-5263

OHIO811.org
Before You Dig
800-362-2764 or 8-1-1

DEVELOPER
NEWBURY COMPANIES
169 S LIBERTY STREET
POWELL, OHIO 43065
PHONE: 614-832-5409
STEVE NEWCOMB
STEVE.NEWCOMB@NEWBURYCOMPANIES.COM

ARCHITECT
ORANGE FROG DESIGN GROUP, LLC
411 MEDITATION LANE
COLUMBUS, OHIO 43235
PHONE: 614-578-1707
MATTHEW D. LONES AIA, NCARB
MLONES@ORANGEFROGDC.COM

ENGINEER
ADVANCED CIVIL DESIGN, INC.
781 SCIENCE BOULEVARD, SUITE 100
GAHANNA, OHIO 43230
PHONE: 614-428-7750
THOMAS M. WARNER, P.E.
TWARNER@ADVANCEDCIVILDESIGN.COM

LANDSCAPE ARCHITECTURE
G2 PLANNING + DESIGN
720 EAST BROAD STREET, SUITE 200
COLUMBUS, OHIO 43215
PHONE: 614-214-9232
PHIL MOOREHEAD, RLA
PMOOREHEAD@G2PLANNING.COM

ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS
781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755
REGISTERED ENGINEER NUMBER DATE

CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
TITLE SHEET
FOR
THE BEACON - PHASE 1

PLAN PREPARED BY:
ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS
781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755

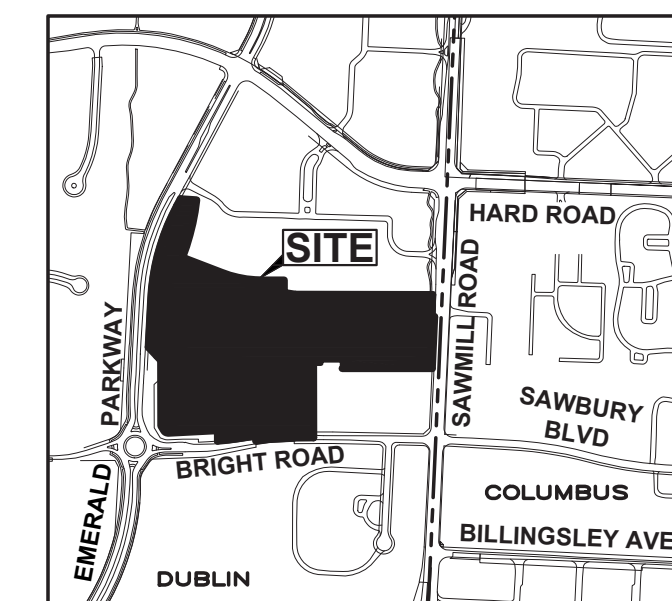
SCALE: AS NOTED
DATE: 06/03/2026
SHEET C.1

CITY OF DUBLIN, COUNTY OF FRANKLIN, OHIO

FINAL DEVELOPMENT PLAN

FOR THE BEACON - PHASE 1

2026



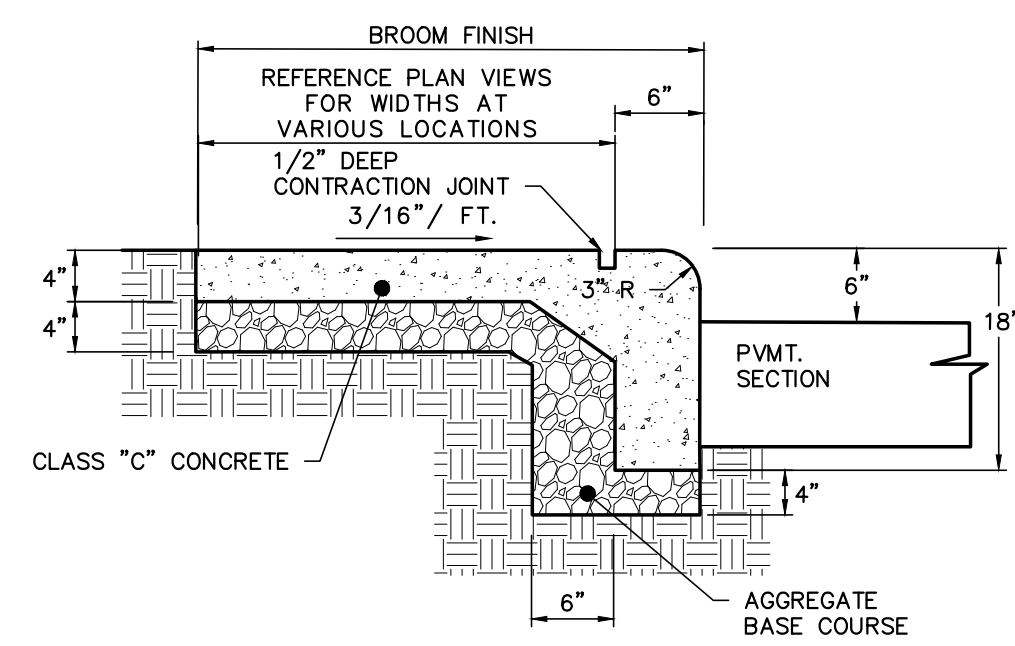
VICINITY MAP
SCALE: 1" = 1000'

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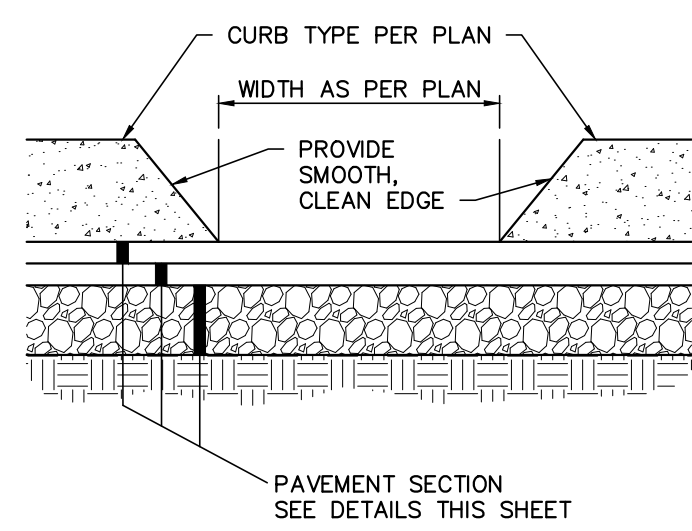
Z:\19-0039-39\DWG PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\FDP-TITLE SHEET.dwg C:\TITLE SHEET Jun 12, 2026 - 7:16:19pm ceshelberry

21.19-0039-30 DWS PRODUCTION DRAWINGS/FINAL DEVELOPMENT PLAN/FDP-TITLE SHEET.dwg C2 DETAILS Mar 16, 2026 - 3:34:35pm ceshelberry

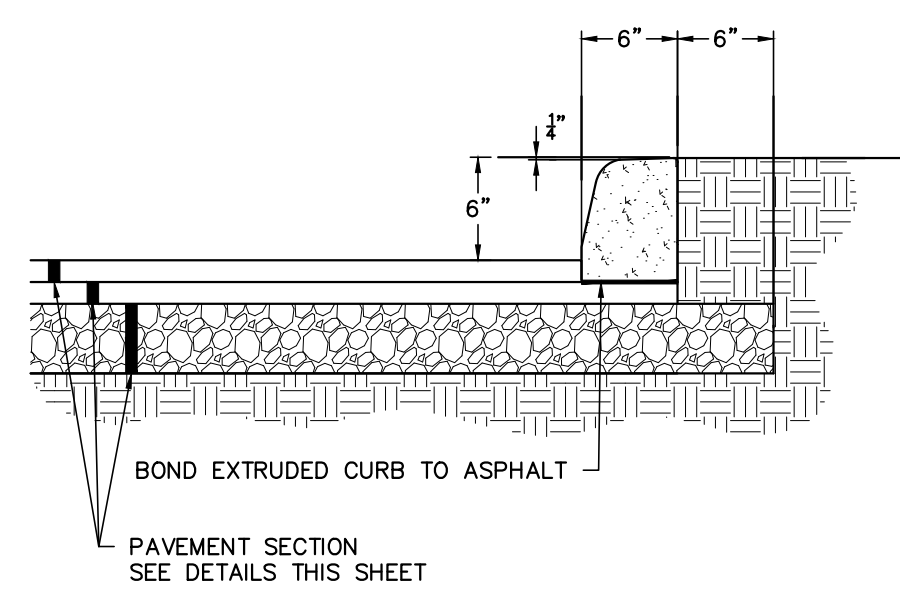


NOTE: SIDEWALK JOINTS SHALL BE IN ACCORDANCE WITH CMSC ITEM 608.03 UNLESS OTHERWISE DETAILED AS A PART OF THE BUILDING OR LANDSCAPE ARCHITECT PLANS.

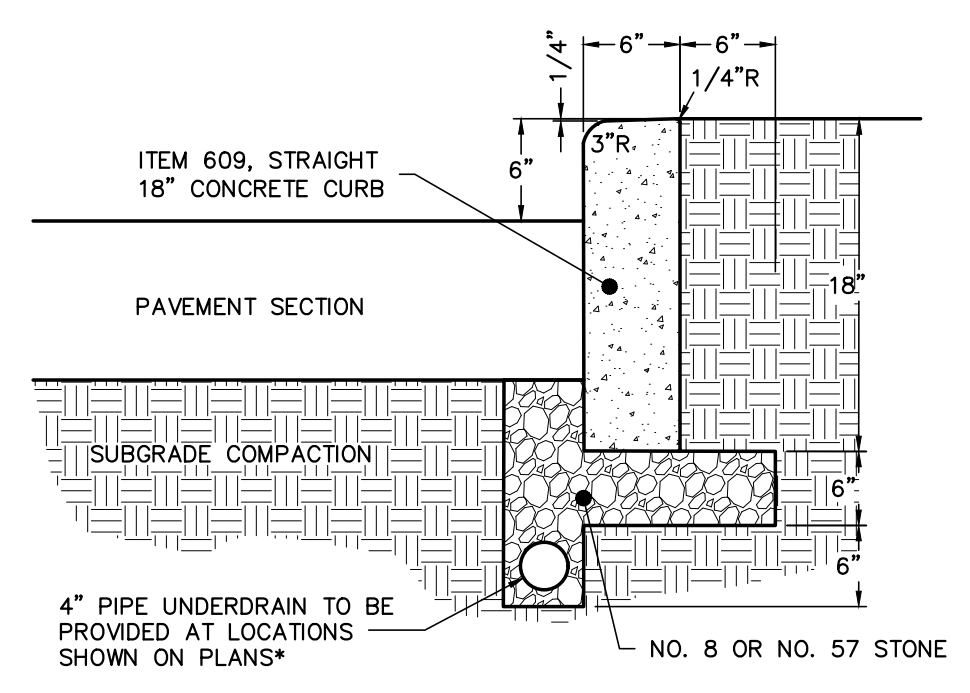
COMBINED SIDEWALK AND CURB DETAIL
NO SCALE



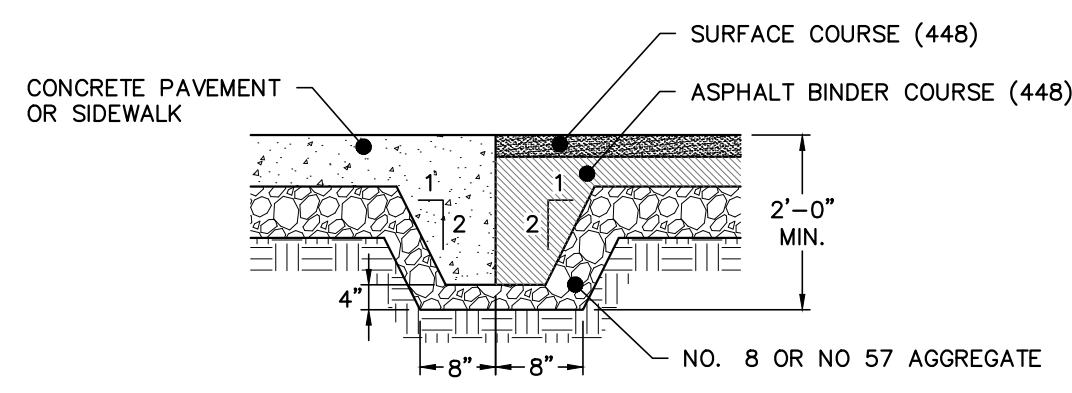
CURB OPENING DETAIL
NO SCALE



EXTRUDED CONCRETE CURB DETAIL
NO SCALE

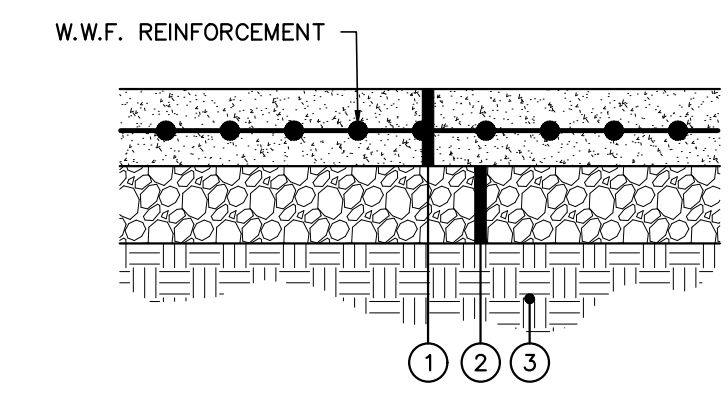


18\"/>



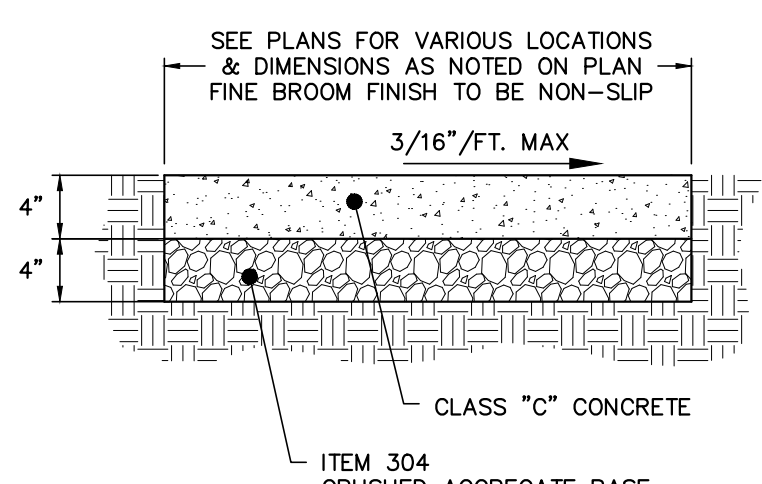
NOTE: CONTRACTOR SHALL PROVIDE TURNDOWN ANYWHERE ASPHALT AND CONCRETE OR CONCRETE BASE PAVEMENT MEET.

CONCRETE/ASPHALT TURNDOWN DETAIL
NO SCALE

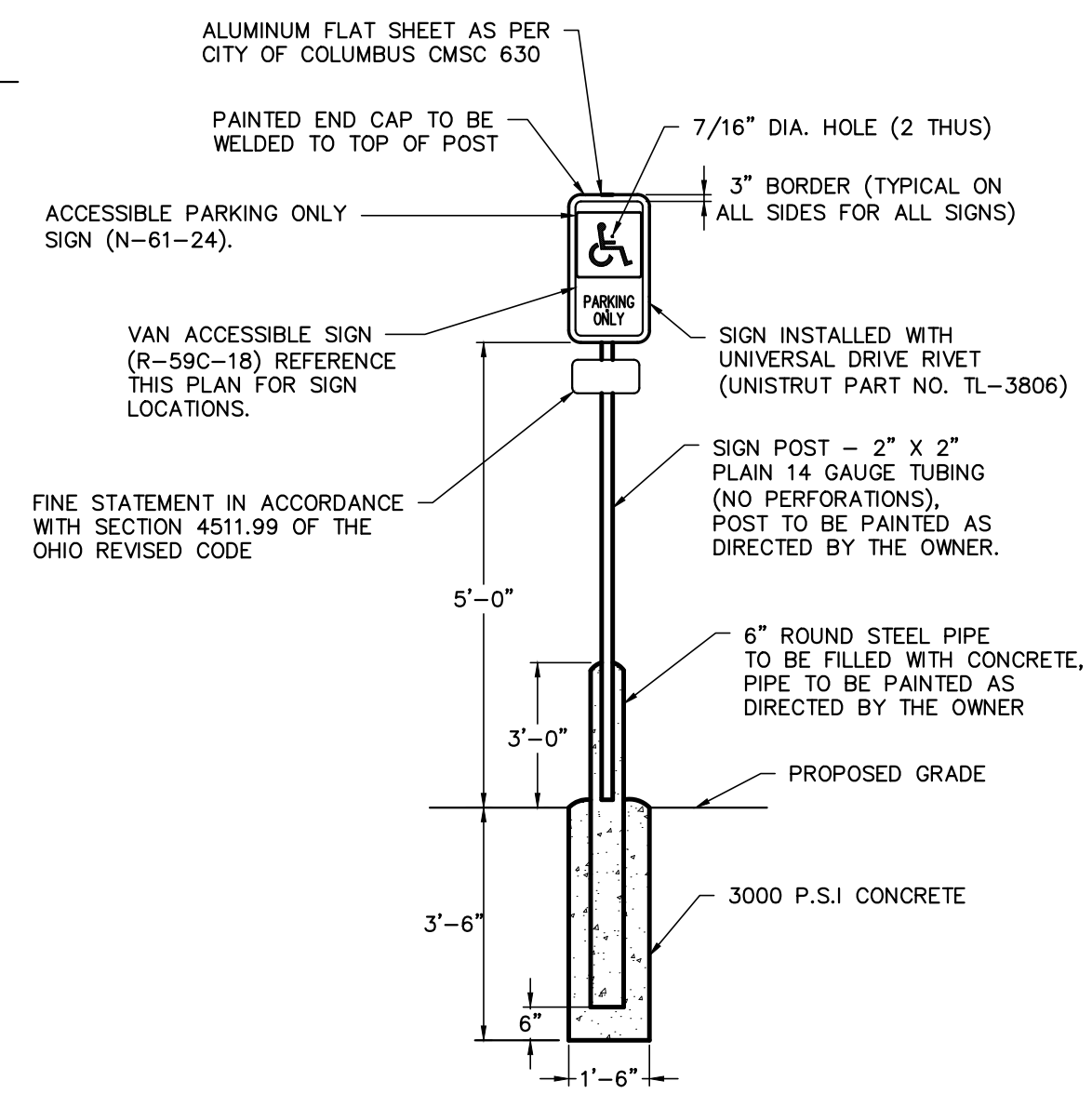


- ① ITEM 451, 8" REINFORCED P.C. CONCRETE PAVEMENT (CLASS C)
- ② ITEM 304, 4" CRUSHED AGGREGATE BASE
- ③ ITEM 204, SUBGRADE COMPACTION

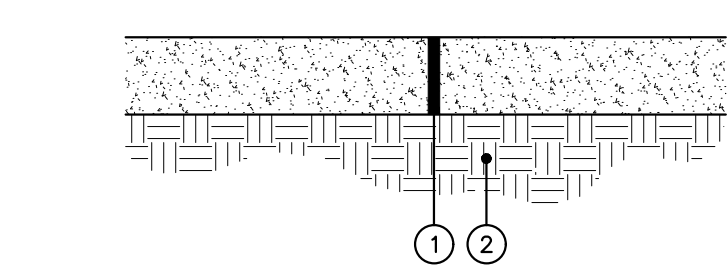
DUMPSTER PAD CONCRETE DETAIL
NO SCALE



SIDEWALK CONCRETE SECTION
NO SCALE

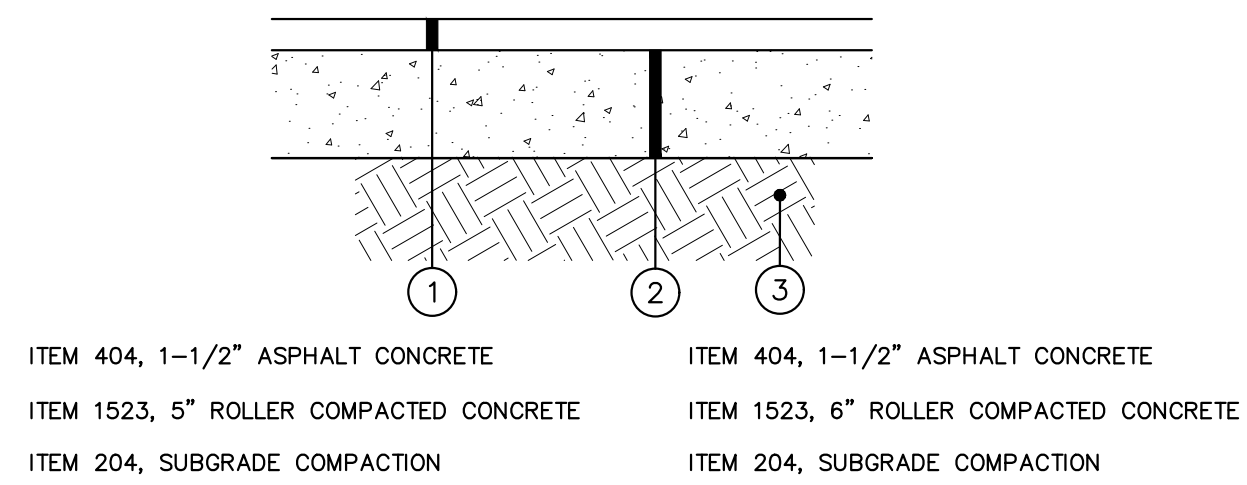


TYPICAL BOLLARD ACCESSIBLE SIGN DETAIL
NO SCALE



- ① ITEM 452, 8" NON-REINFORCED P.C. CONCRETE PAVEMENT (CLASS C)
- ② ITEM 204, SUBGRADE COMPACTION

NON-REINFORCED CONCRETE DRIVE SECTION DETAIL
NO SCALE



- ITEM 404, 1-1/2" ASPHALT CONCRETE
- ITEM 1523, 5" ROLLER COMPACTED CONCRETE
- ITEM 204, SUBGRADE COMPACTION

STANDARD DUTY
NO SCALE

ITEM 404, 1-1/2" ASPHALT CONCRETE

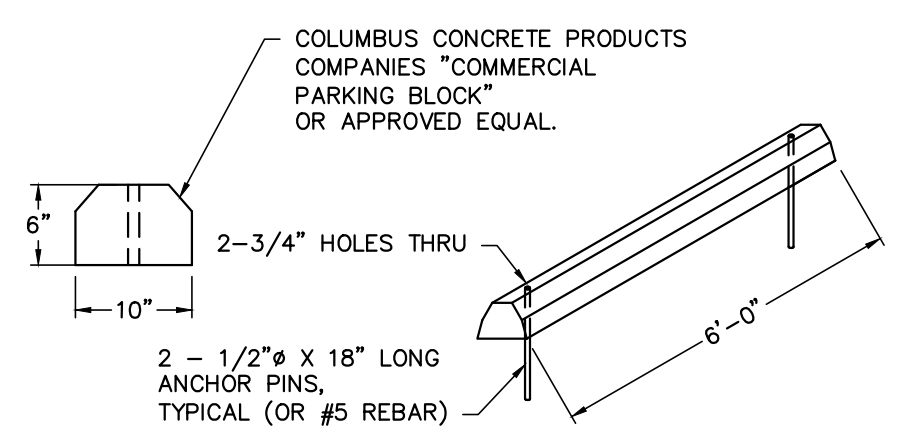
ITEM 1523, 6" ROLLER COMPACTED CONCRETE

ITEM 204, SUBGRADE COMPACTION

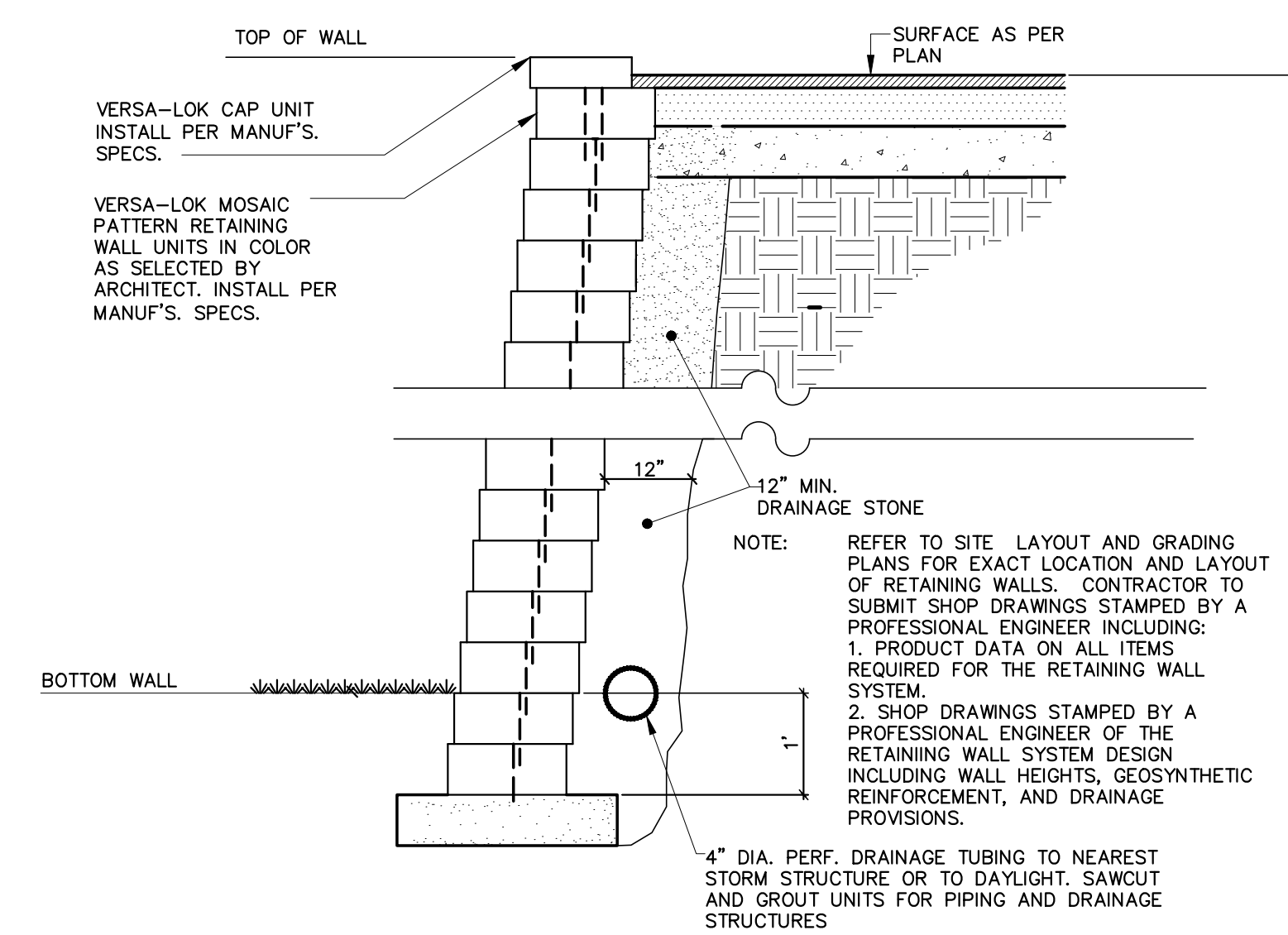
NOTES: ROLLER COMPACTED CONCRETE (RCC) SHALL HAVE EXPANSION JOINTS LOCATED EVERY 400-450 FEET. EXPANSION JOINT TO BE 3- FEET WIDE FROM SUBGRADE TO TOP OF RCC. FILL EXPANSION JOINT WITH COMPACTED 301 ASPHALT BASE MATERIAL. LEAVE BASE MATERIAL 1.5 INCHES BELOW TOP OF RCC IN EXPANSION JOINTS. INSTALL 1.5-INCH ITEM 404 ASPHALT SURFACE COURSE. FINAL LOCATION OF EXPANSION JOINTS SHALL BE COORDINATED WITH DEVELOPERS CONSTRUCTION MANAGER.

NOTE: THE ABOVE PRIVATE PAVEMENT SPECIFICATIONS ARE FOR BIDDING PURPOSES ONLY. THE CONTRACTOR TO REFER TO THE GEOTECHNICAL REPORT FOR PAVEMENT AND SUBGRADE RECOMMENDATIONS.

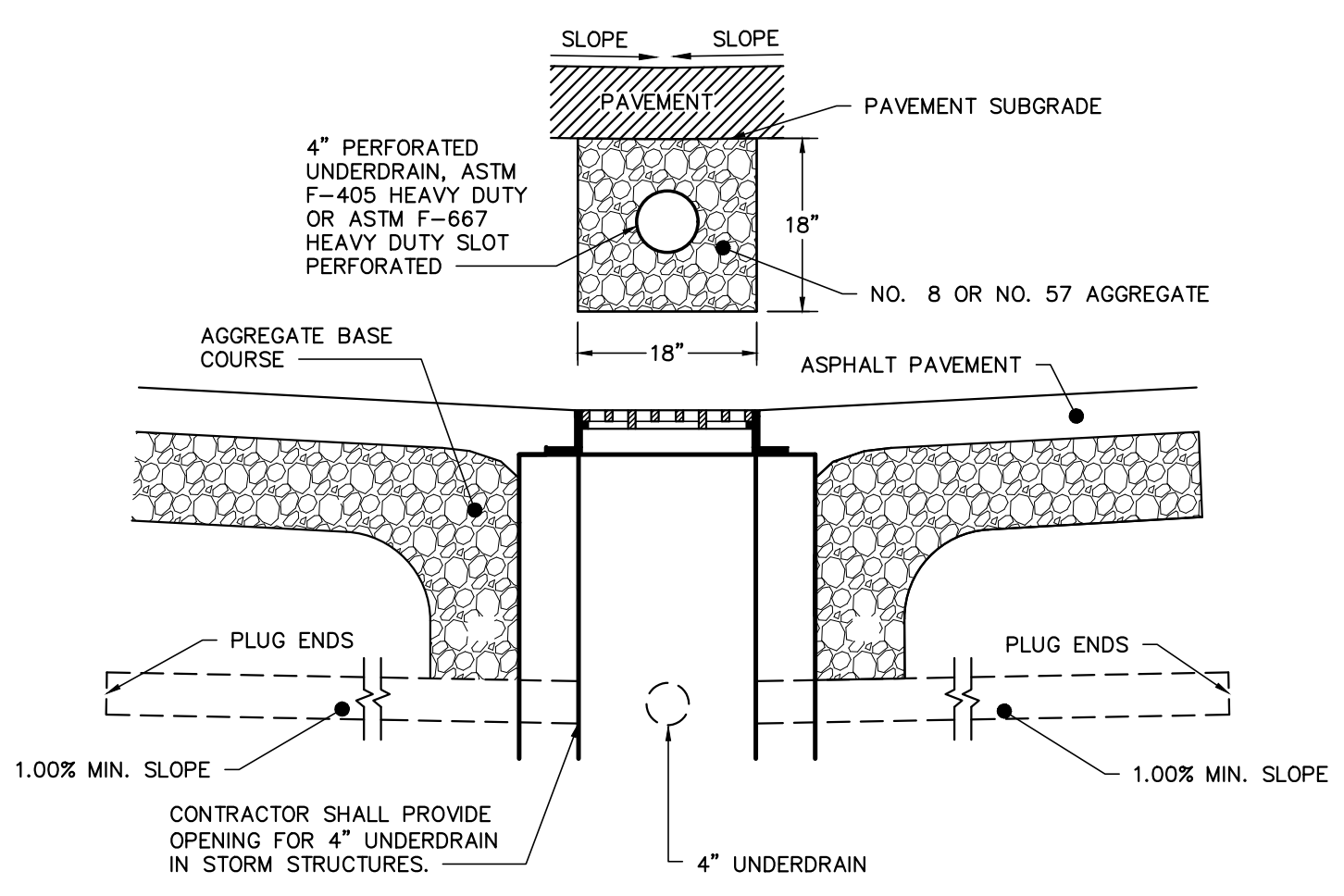
PAVEMENT SECTION DETAIL
NO SCALE



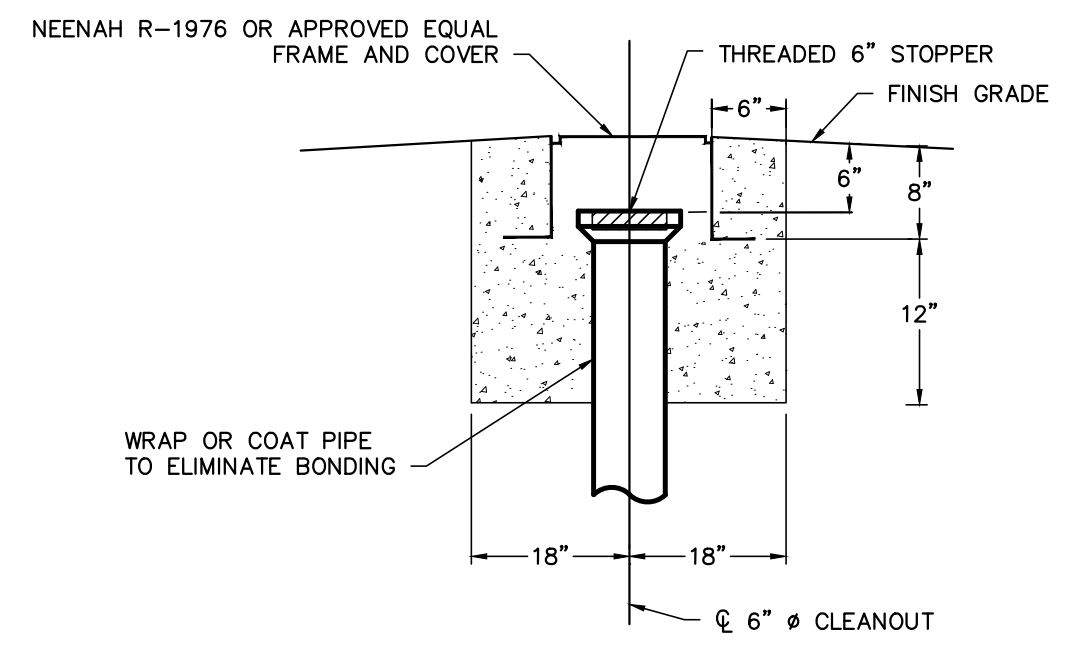
STANDARD PARKING BLOCK DETAIL
NO SCALE



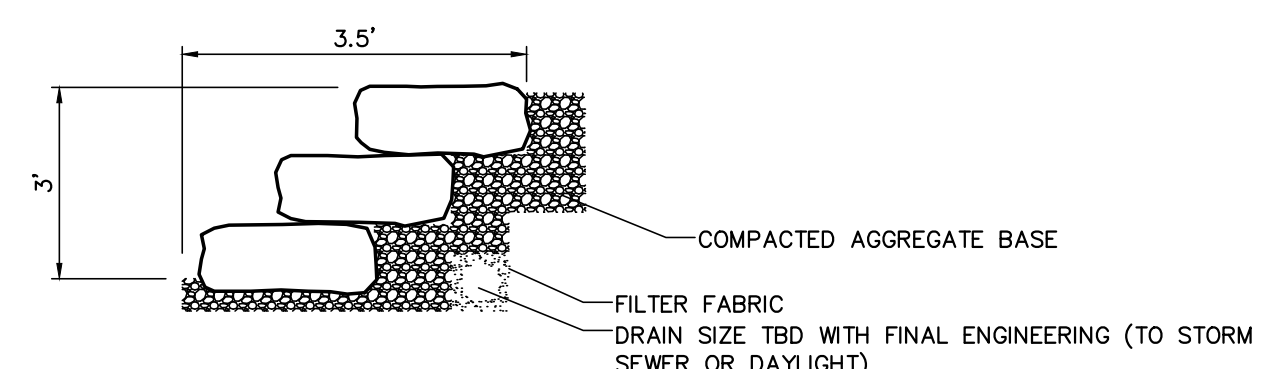
BLOCK RETAINING WALL
NO SCALE



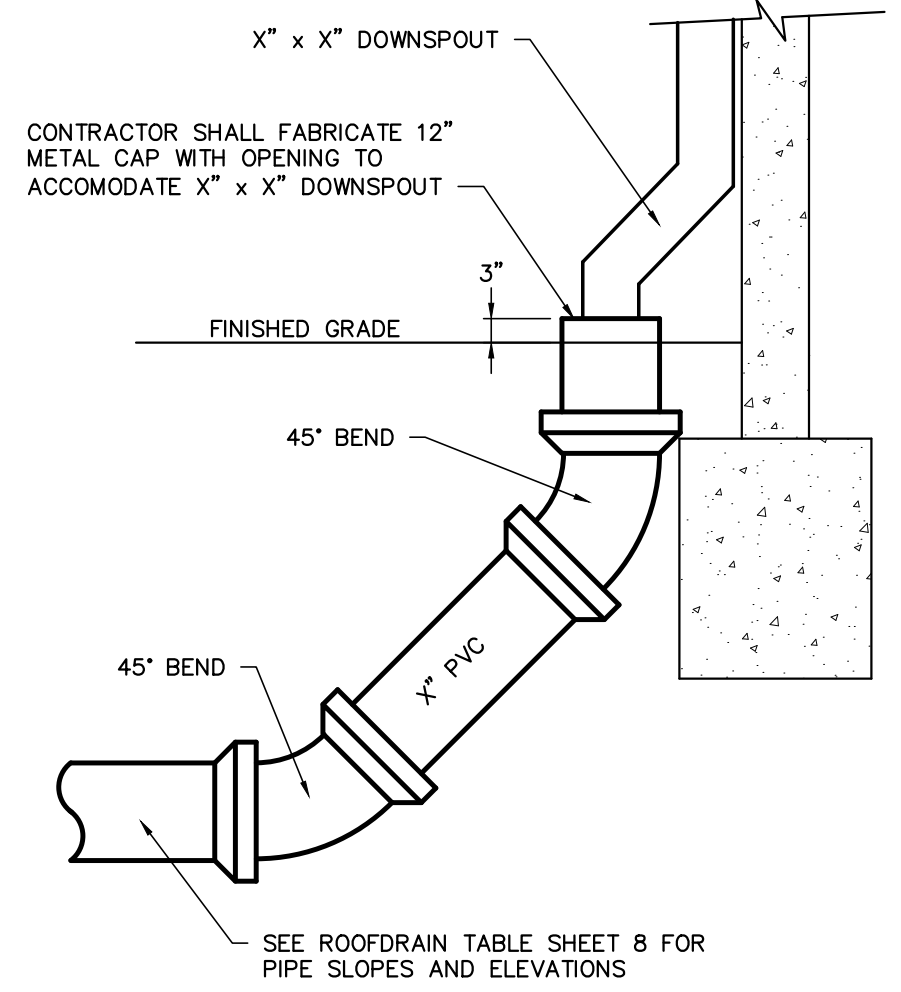
4\"/>




CLEANOUT IN PAVEMENT/SIDEWALK DETAIL
NO SCALE



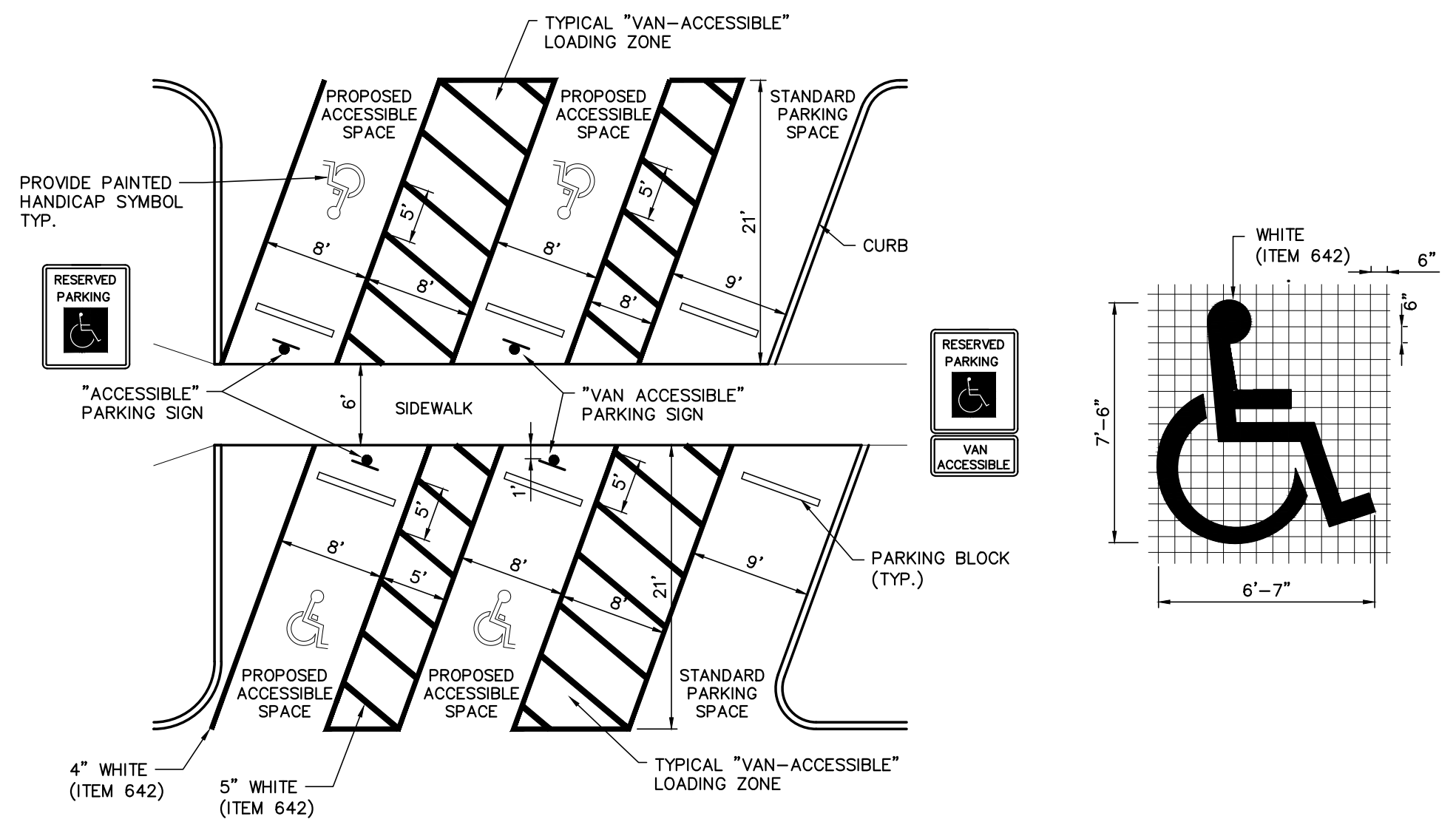
STONE RETAINING WALL
NO SCALE




TYPICAL DOWNSPOUT CONNECTION DETAIL
NO SCALE

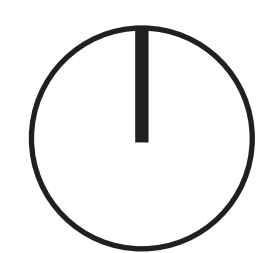
CITY OF DUBLIN, OHIO FINAL DEVELOPMENT PLAN DETAILS FOR THE BEACON - PHASE 1		
PLAN PREPARED BY:  ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS		
781 Science Boulevard, Suite 100 Gahanna, Ohio 43230 ph 614.428.7750 fax 614.428.7755		
SCALE:	AS NOTED	SHEET C.2
DATE:	12/11/2025	

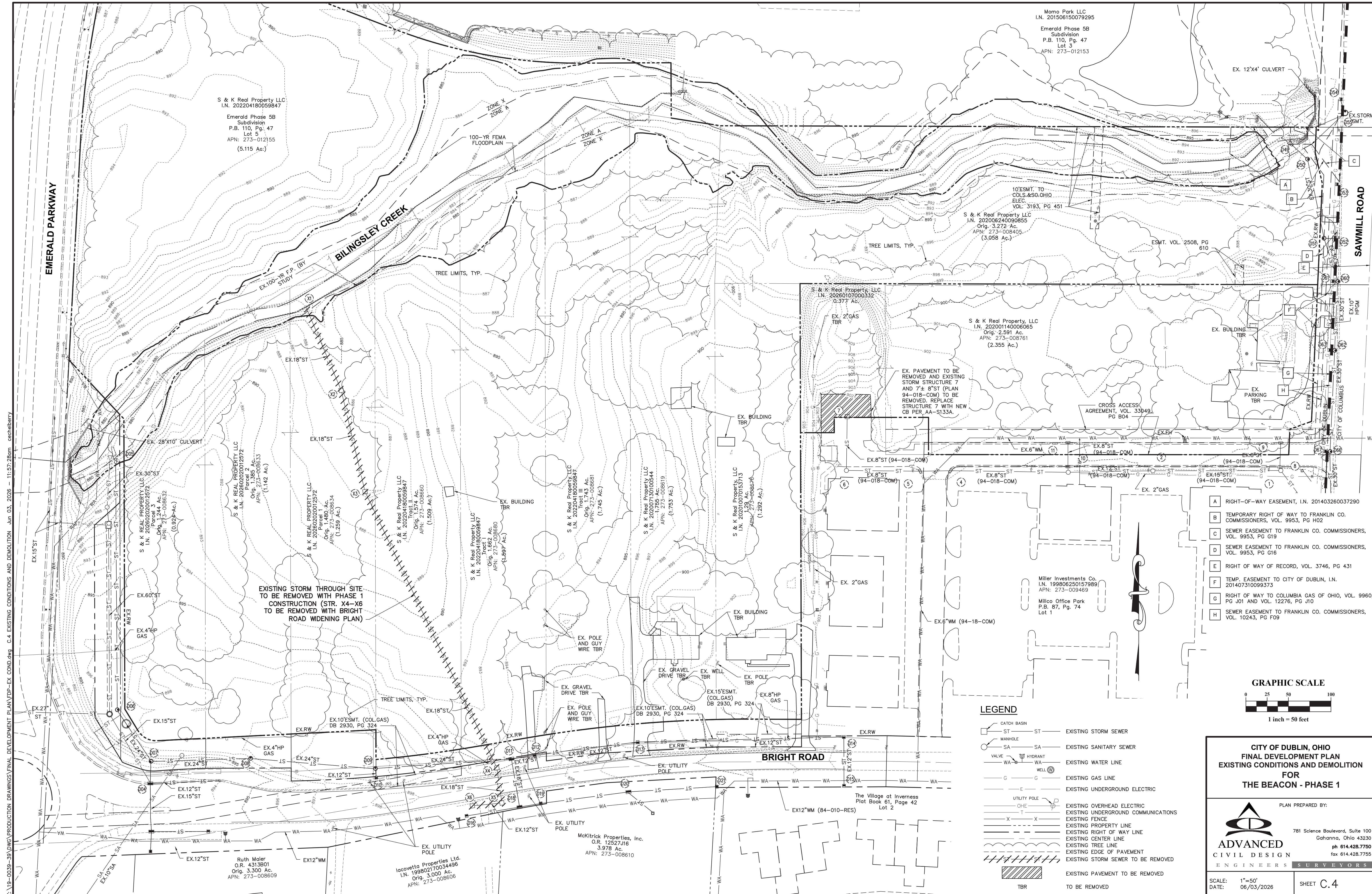
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PHASE 1 ACCESSIBLE PARKING DETAIL
NO SCALE

CITY OF DUBLIN, OHIO FINAL DEVELOPMENT PLAN DETAILS FOR THE BEACON - PHASE 1		
PLAN PREPARED BY: 		
ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS		781 Science Boulevard, Suite 100 Gahanna, Ohio 43230 ph 614.428.7750 fax 614.428.7755
SCALE: AS NOTED	DATE: 12/11/2025	SHEET C.3





21.18-003B-30 DWG PRODUCTION DRAWINGS/FINAL DEVELOPMENT PLAN/FDP-EX-COM.dwg C-4 EXISTING CONDITIONS AND DEMOLITION Jun 03, 2026 - 11:57:28am ceshibary

Momo Park LLC
I.N. 201506150079295
Emerald Phase 5B
Subdivision
P.B. 110, Pg. 47
Lot 3
APN: 273-012153

S & K Real Property LLC
I.N. 202204180059847
Emerald Phase 5B
Subdivision
P.B. 110, Pg. 47
Lot 5
APN: 273-012155
(5.115 Ac.)

S & K Real Property LLC
I.N. 202006240090855
Orig. 3.272 Ac.
APN: 273-008405
(3.058 Ac.)

S & K Real Property LLC
I.N. 20201140006065
Orig. 2.591 Ac.
APN: 273-008761
(2.355 Ac.)

S & K Real Property LLC
I.N. 20260107000332
0.377 Ac.

S & K Real Property LLC
I.N. 202007130100544
Orig. 1.755 Ac.
APN: 273-008619
(1.533 Ac.)

S & K Real Property LLC
I.N. 202010070153713
Orig. 1.293 Ac.
APN: 273-008326
(1.292 Ac.)

S & K Real Property LLC
I.N. 20260200125712
Orig. 1.574 Ac.
APN: 273-008680
(1.509 Ac.)

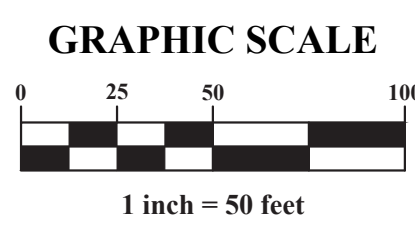
S & K Real Property LLC
I.N. 20260200125712
Orig. 1.480 Ac.
APN: 273-008633
(1.259 Ac.)

S & K Real Property LLC
I.N. 20260200125712
Orig. 1.244 Ac.
APN: 273-008632
(0.924 Ac.)

S & K Real Property LLC
I.N. 20260200125712
Orig. 1.380 Ac.
APN: 273-008633
(1.142 Ac.)

EXISTING STORM THROUGH SITE
TO BE REMOVED WITH PHASE 1
CONSTRUCTION (STR. X4-X6
TO BE REMOVED WITH BRIGHT
ROAD WIDENING PLAN)

- A RIGHT-OF-WAY EASEMENT, I.N. 201403260037290
- B TEMPORARY RIGHT OF WAY TO FRANKLIN CO. COMMISSIONERS, VOL. 9953, PG H02
- C SEWER EASEMENT TO FRANKLIN CO. COMMISSIONERS, VOL. 9953, PG G19
- D SEWER EASEMENT TO FRANKLIN CO. COMMISSIONERS, VOL. 9953, PG G16
- E RIGHT OF WAY OF RECORD, VOL. 3746, PG 431
- F TEMP. EASEMENT TO CITY OF DUBLIN, I.N. 201407310098373
- G RIGHT OF WAY TO COLUMBIA GAS OF OHIO, VOL. 9960, PG J01 AND VOL. 12276, PG J10
- H SEWER EASEMENT TO FRANKLIN CO. COMMISSIONERS, VOL. 10243, PG F09



LEGEND

	ST	EXISTING STORM SEWER
	SA	EXISTING SANITARY SEWER
	WA	EXISTING WATER LINE
	WG	EXISTING GAS LINE
	WE	EXISTING UNDERGROUND ELECTRIC
	OHE	EXISTING OVERHEAD ELECTRIC
	T	EXISTING UNDERGROUND COMMUNICATIONS
	X	EXISTING FENCE
	---	EXISTING PROPERTY LINE
	---	EXISTING RIGHT OF WAY LINE
	---	EXISTING CENTER LINE
	---	EXISTING TREE LINE
	---	EXISTING EDGE OF PAVEMENT
	---	EXISTING STORM SEWER TO BE REMOVED
	---	EXISTING PAVEMENT TO BE REMOVED
	TBR	TO BE REMOVED

CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
EXISTING CONDITIONS AND DEMOLITION
FOR
THE BEACON - PHASE 1

PLAN PREPARED BY:

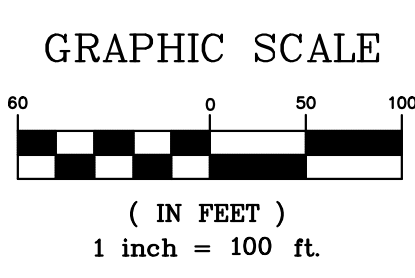
ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755

SCALE: 1"=50'
DATE: 06/03/2026

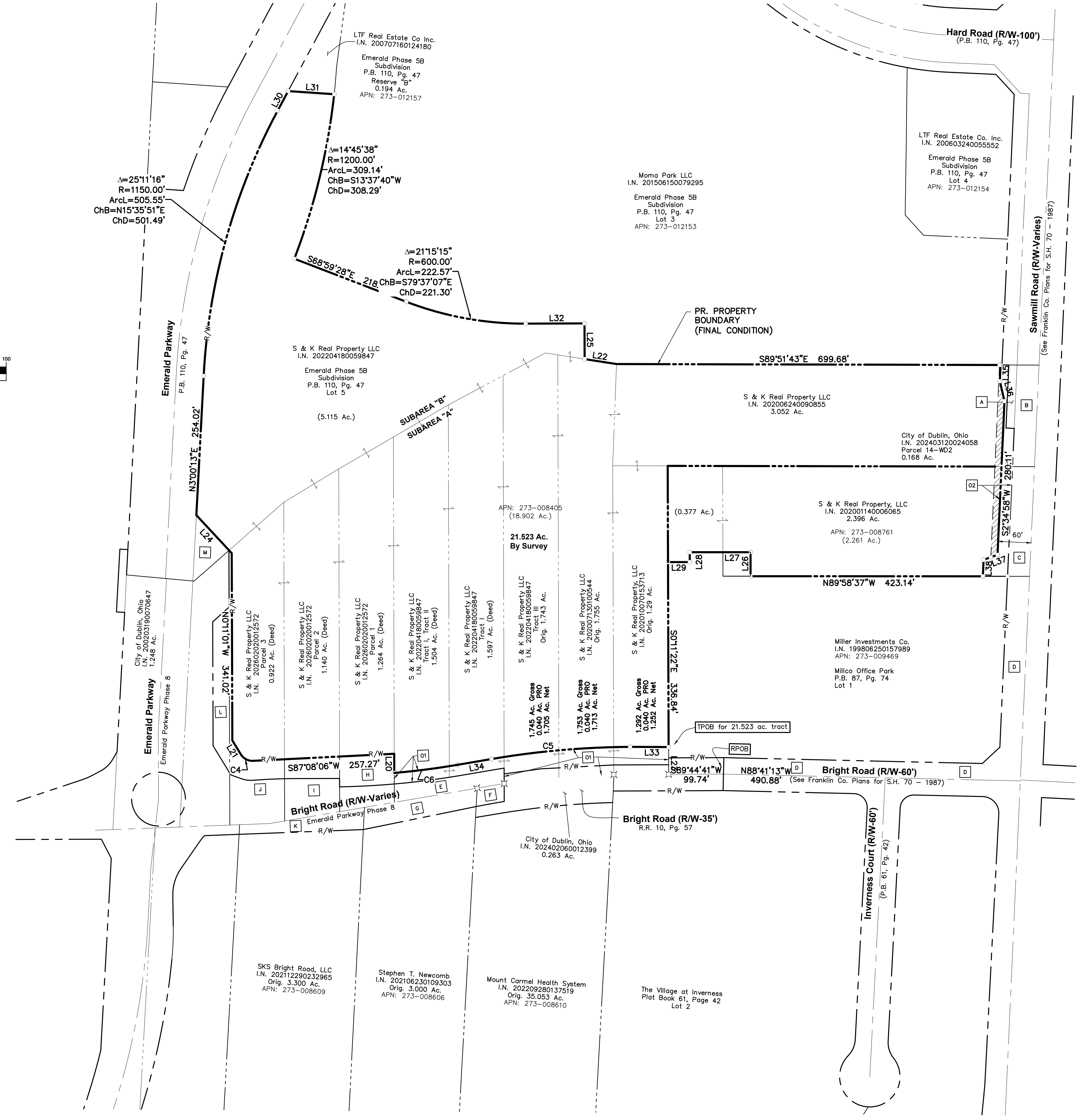
SHEET **C.4**

Z:\18-0039-39\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\FDP-PROPERTY SURVEY.dwg C.S. PROPERTY SURVEY Jun 03, 2026 - 12:20:17pm cecelberry



Legend

- Iron Rod Found
- Iron Pipe Found
- PK Nail Found
- ▲ RR Spike Found
- Iron Pin Set
- ⊗ PK Nail Set
- △ RR Spike Set



CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DIST.
C4	061°26'03"	25.00'	26.81'	N62°09'07"W	25.54'
C5	009°22'54"	1550.00'	253.80'	S84°59'18"W	253.52'
C6	004°35'42"	1450.00'	116.29'	S82°40'00"W	116.25'

LINE TABLE			LINE TABLE		
LINE	DISTANCE	BEARING	LINE	DISTANCE	BEARING
L20	34.91'	N00°09'46"W	L31	84.05'	S86°06'38"E
L21	29.56'	N31°26'21"W	L32	107.00'	N89°45'15"E
L22	58.78'	S81°08'03"E	L33	70.17'	N89°44'40"W
L23	49.68'	N00°11'22"W	L34	62.65'	S80°22'08"W
L24	94.53'	N42°58'11"W	L35	29.62'	S02°34'58"W
L25	65.00'	S00°14'45"E	L36	37.21'	S13°00'30"E
L26	43.72'	N00°02'00"E	L37	27.02'	S70°16'23"W
L27	110.78'	N90°00'00"W	L38	30.07'	S02°34'58"W
L28	18.00'	S00°00'00"E			
L29	39.62'	N90°00'00"W			
L30	40.45'	N28°11'29"E			

- A City of Dublin, Ohio I.N. 20140801009966 0.040 Ac. Parcel 3-WD
- B Franklin County Commissioners I.N. 20140501009966 0.180 Ac. Parcel 16WD
- C Franklin County Commissioners O.R. 10243F14 0.195 Ac. Parcel 14WD
- D Franklin County Commissioners O.R. 10522D02 0.720 Ac. Parcel 12WD
- E City of Dublin, Ohio I.N. 201302130026192 Parcel 23-WD 0.135 Ac.
- F City of Dublin, Ohio I.N. 201312170206128 Parcel 10-WD 0.038 Ac.
- G City of Dublin, Ohio I.N. 201209040129523 Parcel 13-WD 0.172 Ac.
- H City of Dublin, Ohio I.N. 201403260037288 Parcel 22-WD 0.216 Ac. APN: 273-012588
- I City of Dublin, Ohio I.N. 201403260037290 Parcel 22-WD 0.245 Ac. APN: 273-012590
- J City of Dublin, Ohio I.N. 201403260037290 Parcel 21-WD 0.322 Ac. APN: 273-012591
- K City of Dublin, Ohio I.N. 201105160062622 Parcel 12-WD 0.136 Ac.
- L The City of Dublin, Ohio I.N. 201212030184432 Parcel 1 0.841 Ac. APN: 273-008630
- M City of Dublin, Ohio I.N. 201302130026193 Parcel 23-WD 0.086 Ac. APN: 273-012155

- 01 City of Dublin, Ohio I.N. 202403120024058 Parcel 14-WD1 0.424 Ac.
- 02 City of Dublin, Ohio I.N. 202403120024058 Parcel 14-WD2 0.168 Ac.

NOTE: THIS SURVEY IS NOT TO BE USED FOR RECORDING PURPOSES.

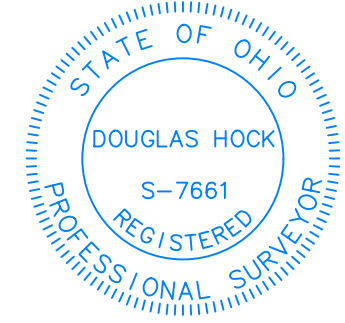
This drawing is based on existing Auditor's and Recorder's records and an actual field survey by Advanced Civil Design, Inc. in April of 2020.

All iron pins set are 5/8" diameter rebar, 30" long with a plastic cap inscribed "Advanced 7661".

Bearings are based on the bearing of N88°41'13"W for the centerline of Bright Road between Franklin County Geodetic Survey monuments 6656 and 7739 (Ohio State Plane Coordinate System, South Zone, NAD83, NSRS 2007) as established using a GPS survey.

ADVANCED CIVIL DESIGN, INC.

 Douglas R. Hock
 Professional Surveyor No. 8241
 Date: 06/03/2026



**CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
PROPERTY SURVEY
FOR
THE BEACON - PHASE 1**

PLAN PREPARED BY:

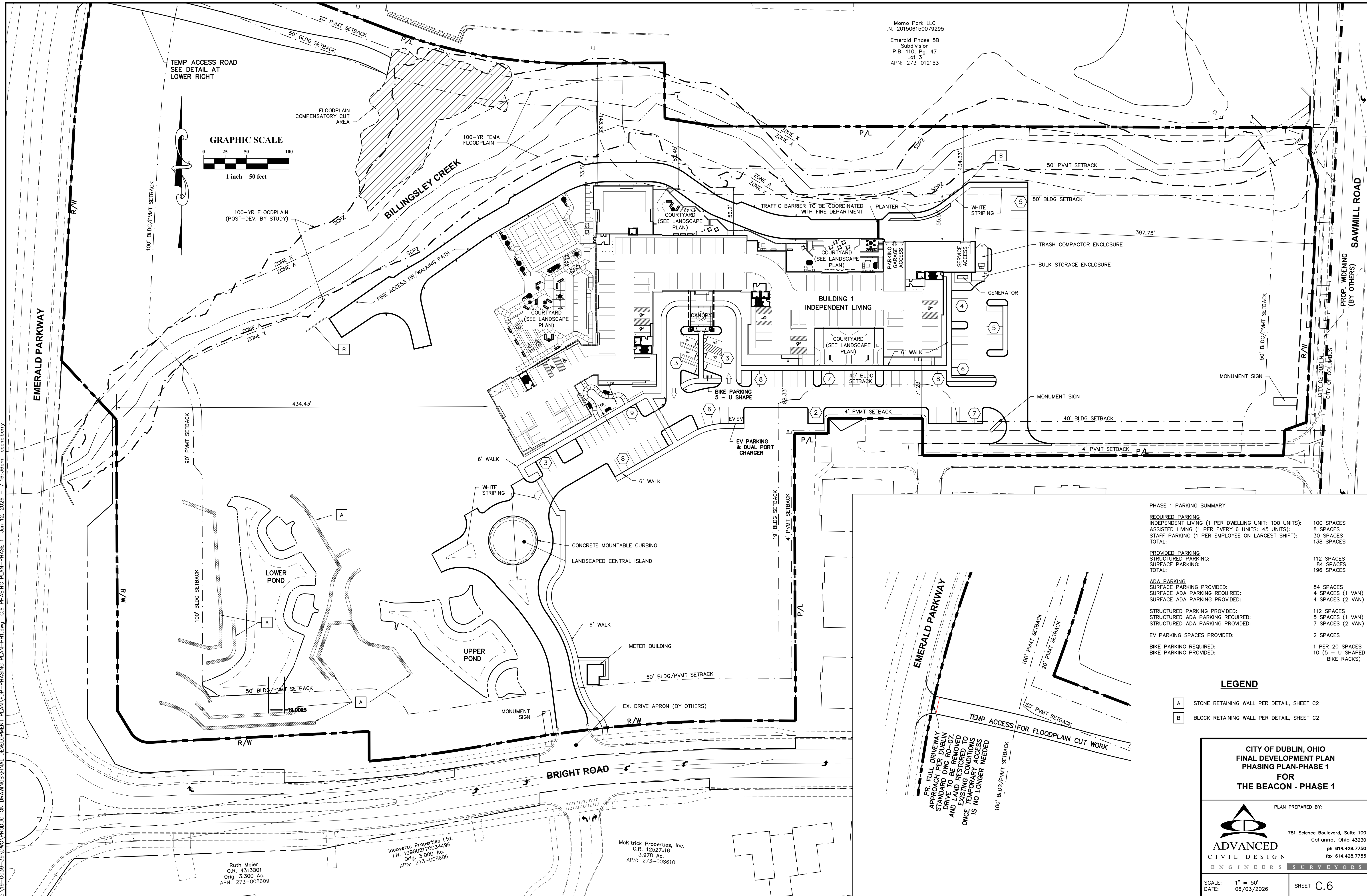
ADVANCED CIVIL DESIGN
 ENGINEERS SURVEYORS

781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755

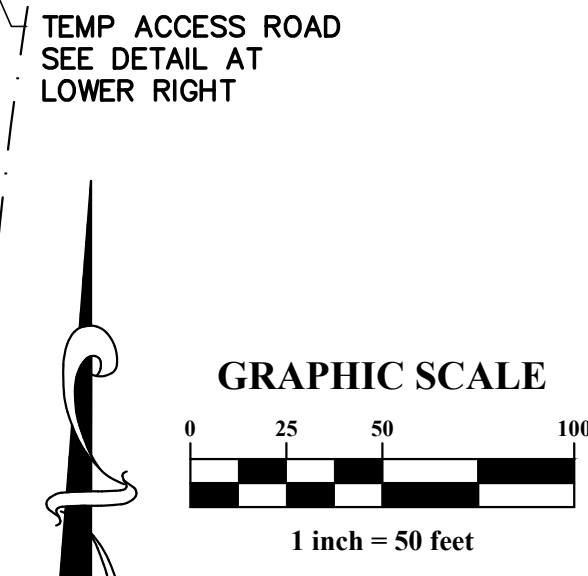
SCALE: 1" = 100'
DATE: 06/03/2026

SHEET C.5

Z:\19-0039-30\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\EDP-PH1.dwg C:\PHASING PLAN-PH1.dwg 6.6 PHASING PLAN-PH1.dwg Jun 12, 2026 - 7:16:35am ceshelberry



Momo Park LLC
I.N. 201506150079295
Emerald Phase 5B
Subdivision
P.B. 110 Pg. 47
Lot 3
APN: 273-012153




PHASE 1 PARKING SUMMARY

REQUIRED PARKING	
INDEPENDENT LIVING (1 PER DWELLING UNIT: 100 UNITS):	100 SPACES
ASSISTED LIVING (1 PER EVERY 6 UNITS: 45 UNITS):	8 SPACES
STAFF PARKING (1 PER EMPLOYEE ON LARGEST SHIFT):	30 SPACES
TOTAL:	138 SPACES
PROVIDED PARKING	
STRUCTURED PARKING:	112 SPACES
SURFACE PARKING:	84 SPACES
TOTAL:	196 SPACES
ADA PARKING	
SURFACE PARKING PROVIDED:	84 SPACES
SURFACE ADA PARKING REQUIRED:	4 SPACES (1 VAN)
SURFACE ADA PARKING PROVIDED:	4 SPACES (2 VAN)
STRUCTURED PARKING PROVIDED:	112 SPACES
STRUCTURED ADA PARKING REQUIRED:	5 SPACES (1 VAN)
STRUCTURED ADA PARKING PROVIDED:	7 SPACES (2 VAN)
EV PARKING SPACES PROVIDED:	2 SPACES
BIKE PARKING REQUIRED:	1 PER 20 SPACES
BIKE PARKING PROVIDED:	10 (5 - U SHAPED BIKE RACKS)

- LEGEND**
- A STONE RETAINING WALL PER DETAIL, SHEET C2
 - B BLOCK RETAINING WALL PER DETAIL, SHEET C2

CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
PHASING PLAN-PHASE 1
FOR
THE BEACON - PHASE 1

PLAN PREPARED BY:

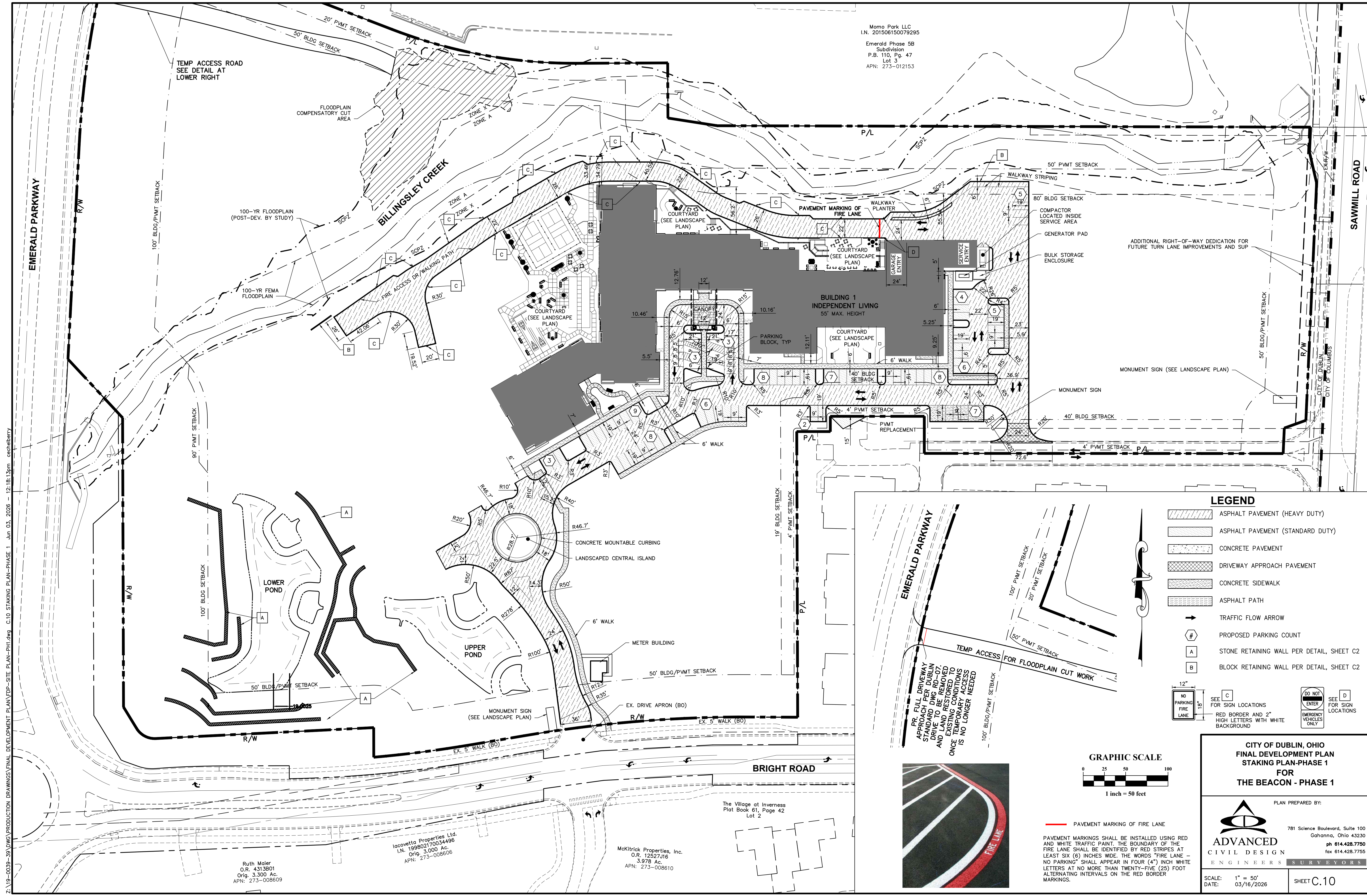


ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755

SCALE: 1" = 50'
DATE: 06/03/2026

SHEET C.6

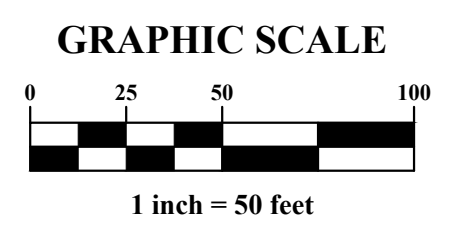


Momo Park LLC
 I.N. 201506150079295
 Emerald Phase 5B
 Subdivision
 P.B. 110, Pg. 47
 Lot 3
 APN: 273-012153

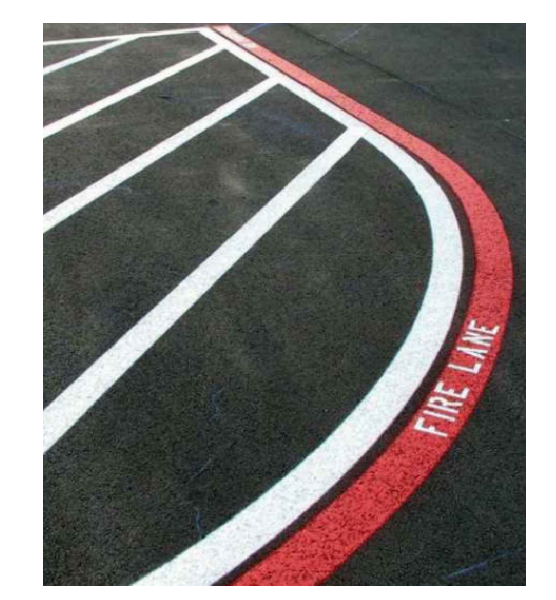
Z:\19-0039-39\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\FDP-SITE PLAN-PH1.dwg C:\10 STAKING PLAN-PHASE 1 Jun 03, 2026 - 12:18:13pm cecahberry

LEGEND

- ASPHALT PAVEMENT (HEAVY DUTY)
- ASPHALT PAVEMENT (STANDARD DUTY)
- CONCRETE PAVEMENT
- DRIVEWAY APPROACH PAVEMENT
- CONCRETE SIDEWALK
- ASPHALT PATH
- TRAFFIC FLOW ARROW
- PROPOSED PARKING COUNT
- STONE RETAINING WALL PER DETAIL, SHEET C2
- BLOCK RETAINING WALL PER DETAIL, SHEET C2
- SEE FOR SIGN LOCATIONS
- SEE FOR SIGN LOCATIONS
- NO PARKING FIRE LANE
- DO NOT ENTER EMERGENCY VEHICLES ONLY



PR. FULL DRIVEWAY APPROACH UNDER DUBLIN STANDARD FOR RD-07 AND LAND RESTORED TO EXISTING CONDITION. ONCE TEMPORARY ACCESS IS NO LONGER NEEDED



PAVEMENT MARKING OF FIRE LANE

PAVEMENT MARKINGS SHALL BE INSTALLED USING RED AND WHITE TRAFFIC PAINT. THE BOUNDARY OF THE FIRE LANE SHALL BE IDENTIFIED BY RED STRIPES AT LEAST SIX (6) INCHES WIDE. THE WORDS "FIRE LANE - NO PARKING" SHALL APPEAR IN FOUR (4") INCH WHITE LETTERS AT NO MORE THAN TWENTY-FIVE (25) FOOT ALTERNATING INTERVALS ON THE RED BORDER MARKINGS.

CITY OF DUBLIN, OHIO
 FINAL DEVELOPMENT PLAN
 STAKING PLAN-PHASE 1
 FOR
THE BEACON - PHASE 1

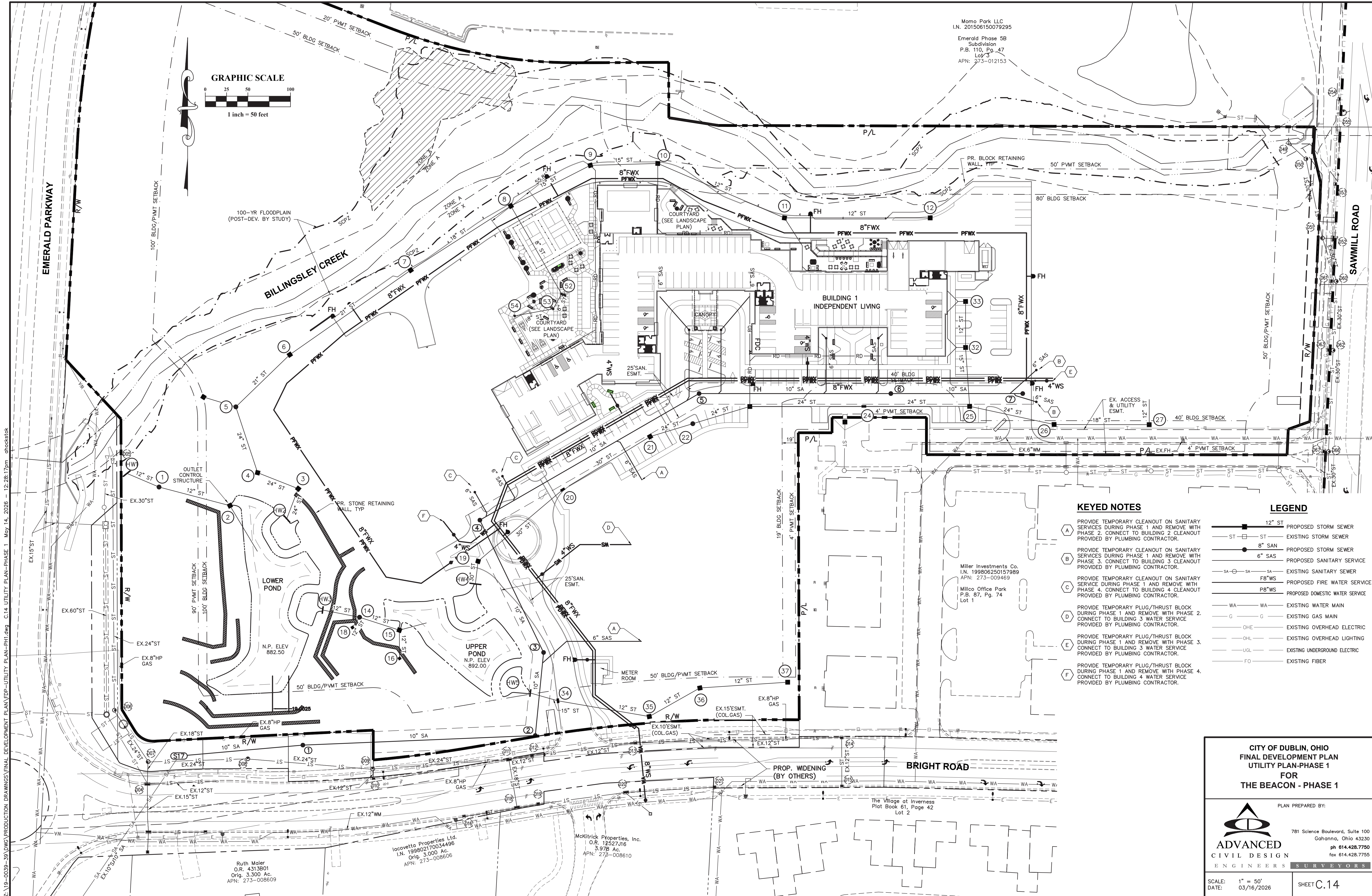
PLAN PREPARED BY:

ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS

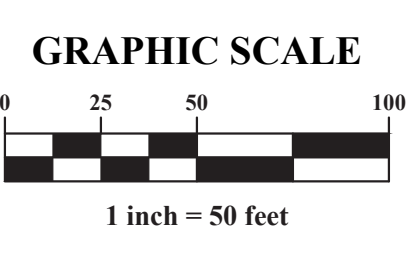
781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

SCALE: 1" = 50'
 DATE: 03/16/2026

SHEET C.10



Momo Park LLC
 I.N. 201506150079295
 Emerald Phase 5B
 Subdivision
 P.B. 110, Pg. 47
 Lot 3
 APN: 273-012153



KEYED NOTES

- (A) PROVIDE TEMPORARY CLEANOUT ON SANITARY SERVICES DURING PHASE 1 AND REMOVE WITH PHASE 2. CONNECT TO BUILDING 2 CLEANOUT PROVIDED BY PLUMBING CONTRACTOR.
- (B) PROVIDE TEMPORARY CLEANOUT ON SANITARY SERVICES DURING PHASE 1 AND REMOVE WITH PHASE 3. CONNECT TO BUILDING 3 CLEANOUT PROVIDED BY PLUMBING CONTRACTOR.
- (C) PROVIDE TEMPORARY CLEANOUT ON SANITARY SERVICE DURING PHASE 1 AND REMOVE WITH PHASE 4. CONNECT TO BUILDING 4 CLEANOUT PROVIDED BY PLUMBING CONTRACTOR.
- (D) PROVIDE TEMPORARY PLUG/THRUST BLOCK DURING PHASE 1 AND REMOVE WITH PHASE 2. CONNECT TO BUILDING 3 WATER SERVICE PROVIDED BY PLUMBING CONTRACTOR.
- (E) PROVIDE TEMPORARY PLUG/THRUST BLOCK DURING PHASE 1 AND REMOVE WITH PHASE 3. CONNECT TO BUILDING 3 WATER SERVICE PROVIDED BY PLUMBING CONTRACTOR.
- (F) PROVIDE TEMPORARY PLUG/THRUST BLOCK DURING PHASE 1 AND REMOVE WITH PHASE 4. CONNECT TO BUILDING 4 WATER SERVICE PROVIDED BY PLUMBING CONTRACTOR.

LEGEND

- 12" ST PROPOSED STORM SEWER
- ST EXISTING STORM SEWER
- 8" SAN PROPOSED STORM SEWER
- 6" SAS PROPOSED SANITARY SERVICE
- SA-SA EXISTING SANITARY SEWER
- F8"WS PROPOSED FIRE WATER SERVICE
- P8"WS PROPOSED DOMESTIC WATER SERVICE
- WA WA EXISTING WATER MAIN
- G G EXISTING GAS MAIN
- OHE EXISTING OVERHEAD ELECTRIC
- OHL EXISTING OVERHEAD LIGHTING
- UGL EXISTING UNDERGROUND ELECTRIC
- FO EXISTING FIBER

Miller Investments Co.
 I.N. 199806250157989
 APN: 273-009469
 Milico Office Park
 P.B. 87, Pg. 74
 Lot 1

Ruth Maier
 O.R. 4313801
 Orig. 3.300 Ac.
 APN: 273-008609

Iacovetto Properties Ltd.
 O.R. 199802170034496
 Orig. 3.000 Ac.
 APN: 273-008606

McKlirrick Properties, Inc.
 O.R. 12527J16
 3.978 Ac.
 APN: 273-008610

The Village at Inverness
 Plat Book 61, Page 42
 Lot 2

CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
UTILITY PLAN-PHASE 1
FOR
THE BEACON - PHASE 1

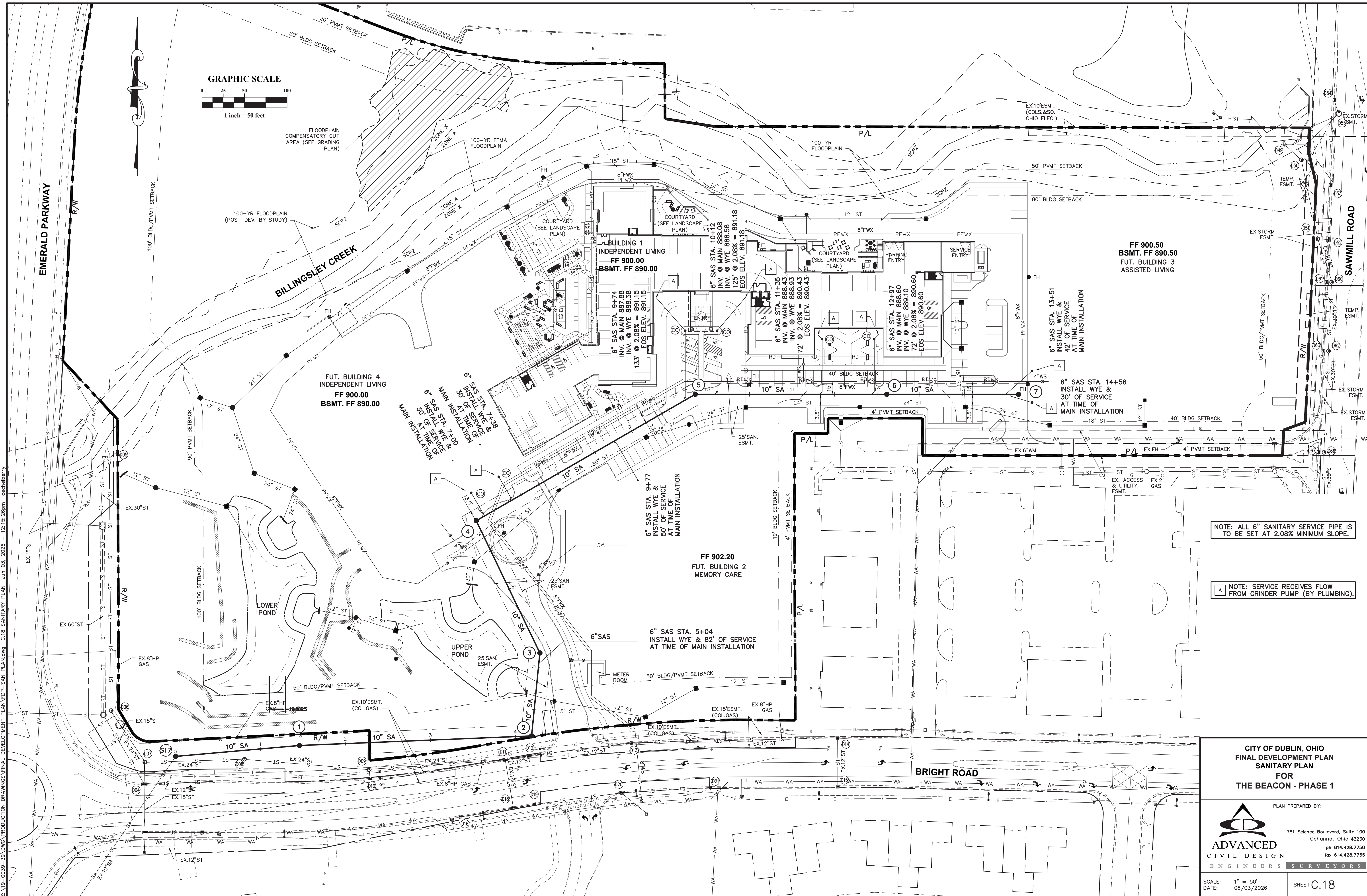
PLAN PREPARED BY:

ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

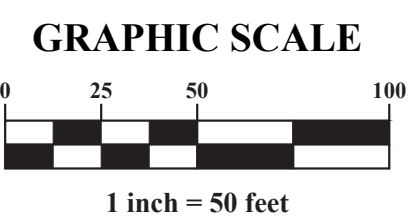
781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

SCALE: 1" = 50'
 DATE: 03/16/2026

SHEET C.14



21.18-0039-30 DWG PRODUCTION DRAWINGS FINAL DEVELOPMENT PLAN FDP-SAN PLAN.dwg C:18 SANITARY PLAN Jun 03 2026 12:15:26pm cecelberry



NOTE: ALL 6" SANITARY SERVICE PIPE IS TO BE SET AT 2.08% MINIMUM SLOPE.

A NOTE: SERVICE RECEIVES FLOW FROM GRINDER PUMP (BY PLUMBING).

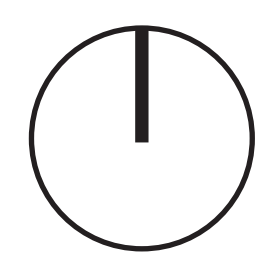
CITY OF DUBLIN, OHIO
 FINAL DEVELOPMENT PLAN
 SANITARY PLAN
 FOR
THE BEACON - PHASE 1

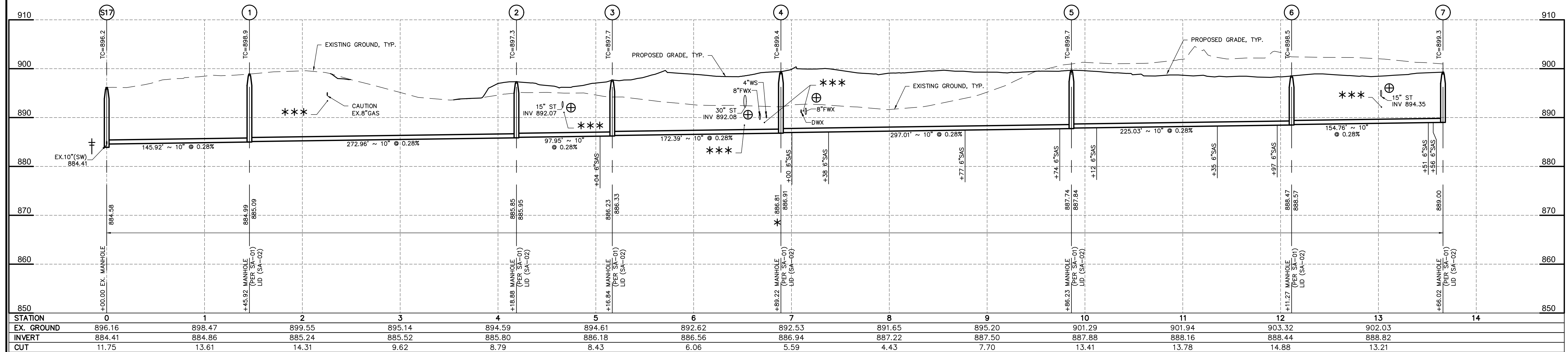
PLAN PREPARED BY:

ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS
 781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

SCALE: 1" = 50'
 DATE: 06/03/2026

SHEET C.18

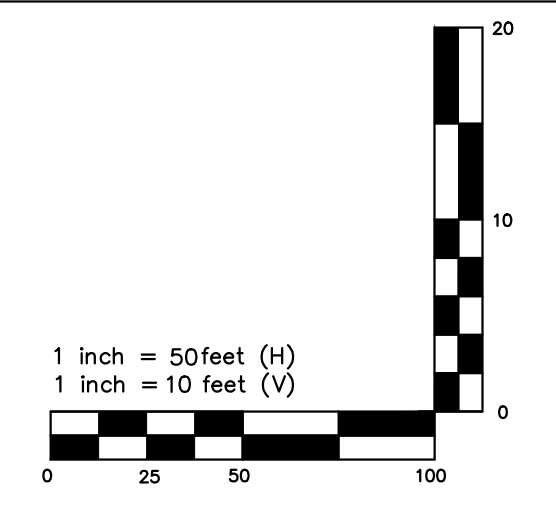




NOTE:
 † TAPS INTO EXISTING SANITARY MANHOLES SHALL BE CORE DRILLED AND INSPECTED BY THE CITY OF DUBLIN. CONTRACTOR SHALL FIELD VERIFY INVERT AND LOCATION OF EXISTING SANITARY MANHOLES.

NOTE:
 ALL 10" MAINLINE AND ALL 6" SERVICE LATERALS ARE INSTALLED WITH PHASE 1 CONSTRUCTION

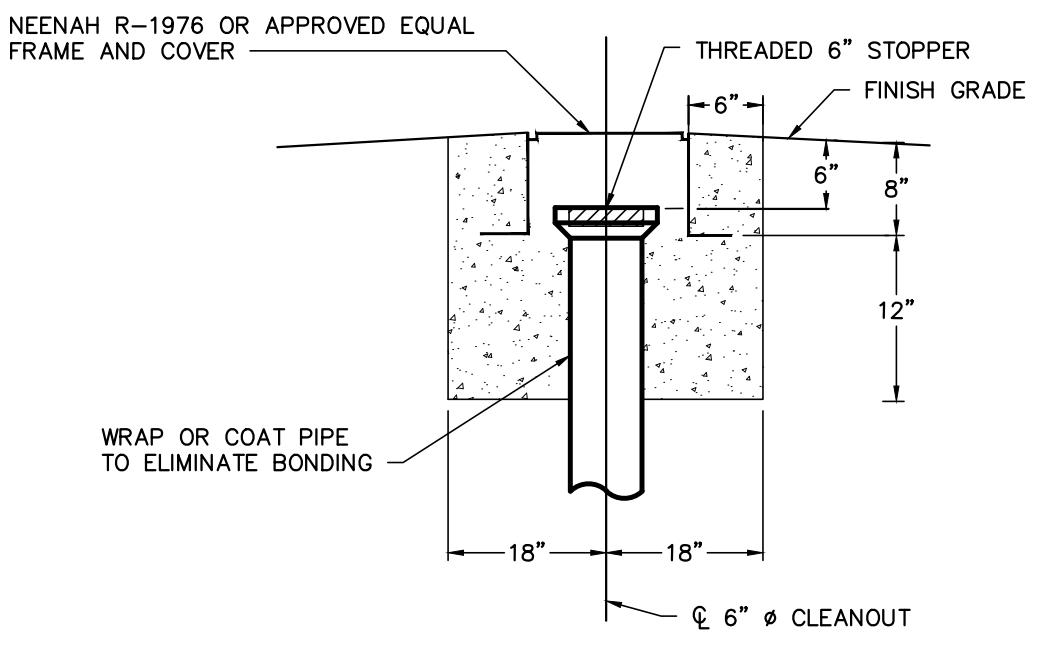
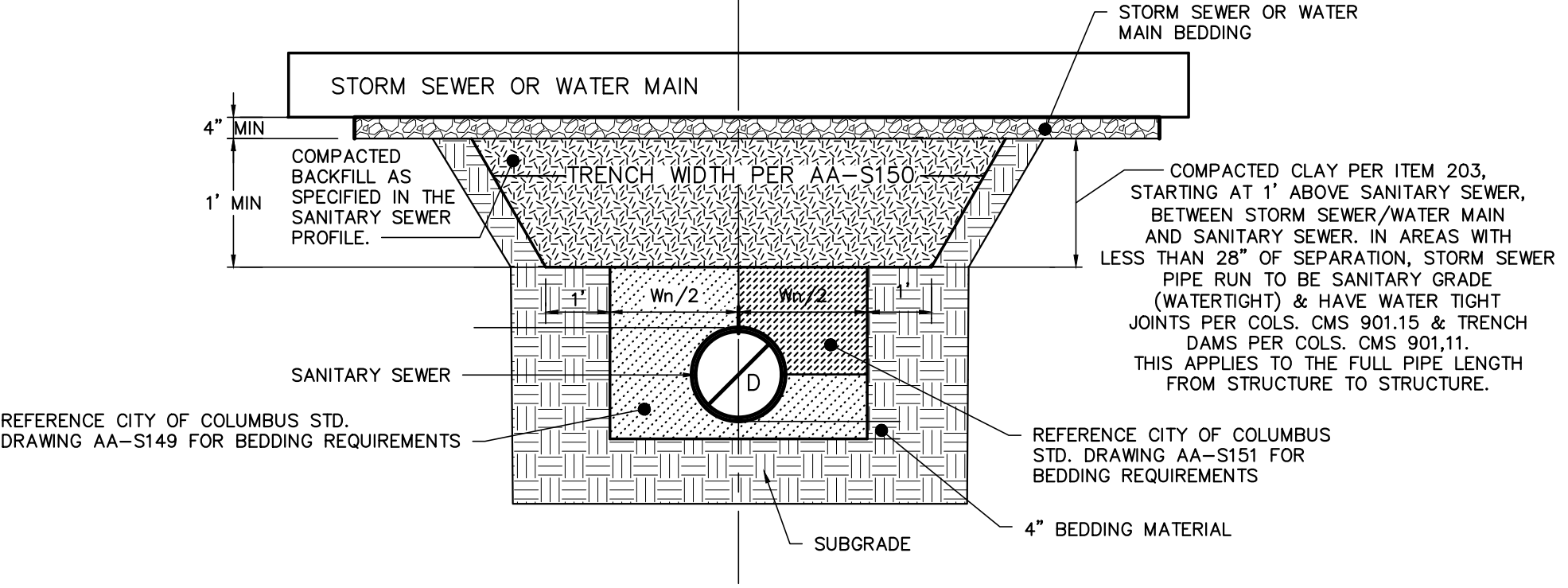
NOTE:
 STORM SEWERS, SANITARY SEWERS AND WATER MAINS CONSTRUCTED IN FILL AREAS SHALL NOT BE CONSTRUCTED UNTIL AFTER COMPACTED FILL HAS BEEN INSTALLED TO PROPOSED GRADE. THE STORM SEWERS, SANITARY SEWERS AND WATER MAINS SHALL BE INSTALLED PER SPECIFIED TRENCH INSTALLATION DETAILS.



CENTERLINE TRENCH

FLEXIBLE SEWER PIPE		RIGID SEWER PIPE	
D*	Wn*	D*	Wn*
6	30	6	24
8	30	8	27
10	30	10	30
12	32	12	32
15	36	15	36
18	40	18	40
21	44	21	44
24	48	24	48
27	52	27	52
30	57	30	57
33	61	33	61
36	64	36	64
42	71	42	71
48	78	48	78
54	87	54	87
60	96	60	96
66	105	66	105
72	116	72	116
78	123	78	123
84	130	84	130
90	136	90	136
96	143	96	143
102	151	102	151
108	160	108	160

* INCHES



THE ABOVE SHALL BE USED DURING THE CONSTRUCTION OF THE SANITARY SEWER & SANITARY SERVICE LATERALS AT EXISTING/PROPOSED STORM SEWER & ALL WATERLINE CROSSINGS. IF IT IS DISTURBED DURING CONSTRUCTION OF THE STORM SEWER OR THE WATERLINE, IT MUST BE RESTORED TO THE REQUIREMENTS OF THE DETAIL. LENGTH OF THE I/I BARRIER PROTECTION FOR SANITARY MAINS AND/OR LATERALS SHALL BE 10 FEET CENTERED ON STORM/WATERLINE PIPE CROSSING AND MEASURED ALONG THE SANITARY MAINLINE OR SERVICE LATERAL.

ALL TRENCH BACKFILL SHALL BE COMPACTED BACKFILL TO 95% OF MAXIMUM DRY WEIGHT AT OPTIMUM MOISTURE CONTENT (±2%) UNLESS NOTED AS:
 * : COMPACTED BACKFILL, ITEM 911
 ** : COMPACTED GRANULAR BACKFILL, ITEM 912

NOTE:
 PER CMS ITEM 911, WHERE NATURAL MATERIAL DOES NOT MEET THE REQUIREMENTS OF ITEM 911, THEN COMPACTED GRANULAR BACKFILL, ITEM 912, SHALL BE USED.
 ITEM 912 IS TO BE USED IN R/W PER 2179 STD. DWG.
 F.V. = ELEVATION AND LOCATION FIELD VERIFIED
 *** = MUST MAINTAIN A MIN. 18" CLEARANCE
 ⊕ = PROVIDE INFILTRATION BARRIER PER DETAIL THIS SHEET

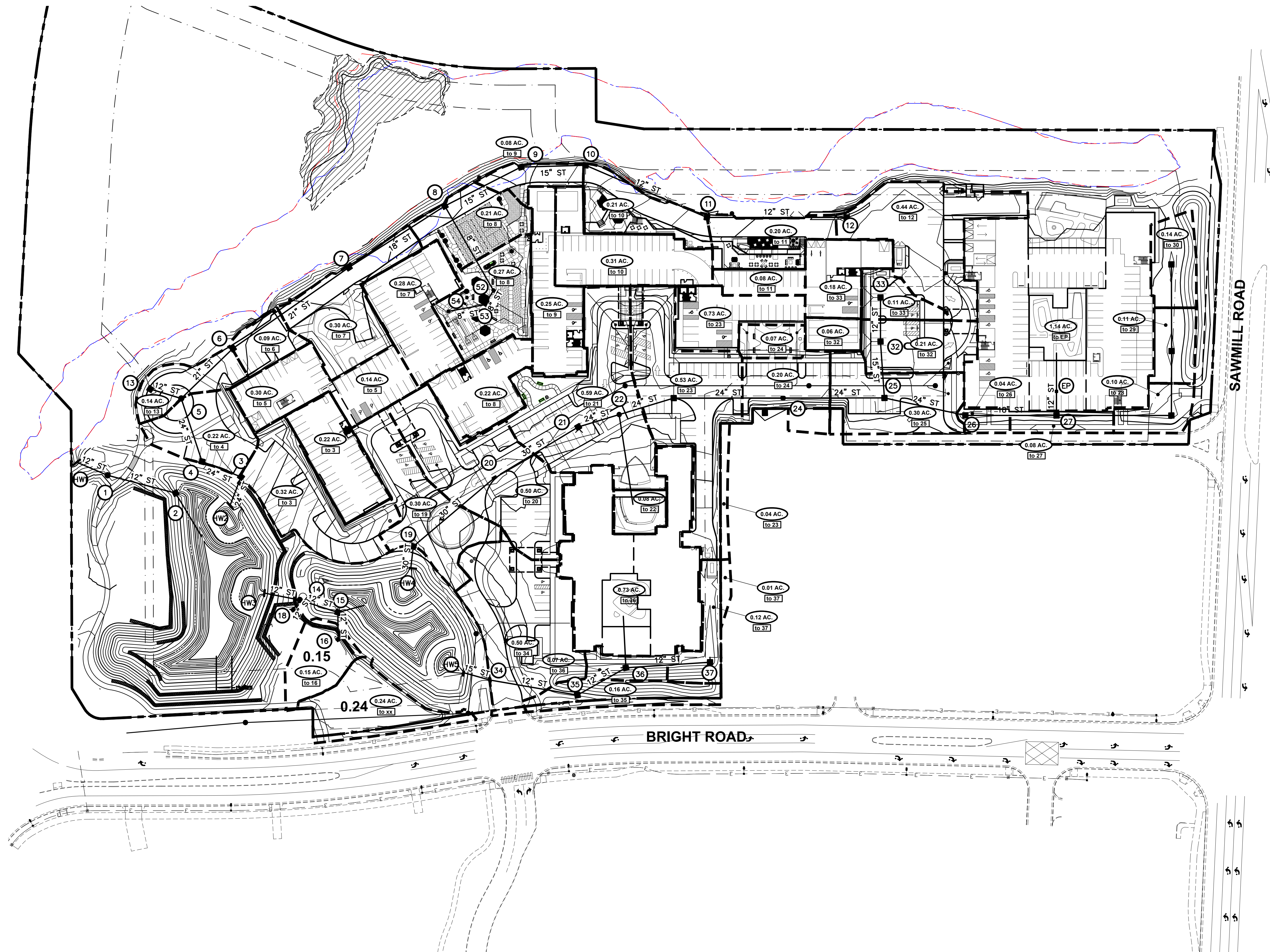
CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
SANITARY PROFILE
FOR
THE BEACON - PHASE 1

PLAN PREPARED BY:

 781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755


SCALE: 1"=60'(H), 1"=10'(V)
 DATE: 03/16/2026
 SHEET C.19

Z:\19-0039-39\DWG\PRODUCTION\DRAWINGS\FINAL DEVELOPMENT PLAN\FDP-STORM TRIBUTARY MAP May 14, 2026 - 12:47:47pm_ghs.dwg



CITY OF DUBLIN, OHIO
 FINAL DEVELOPMENT PLAN
 PROPOSED STORM TRIBUTARY AREAS
 FOR
 THE BEACON - PHASE 1

PLAN PREPARED BY:

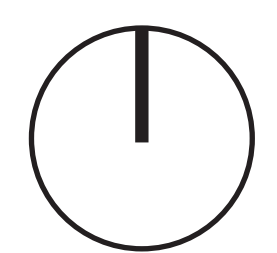


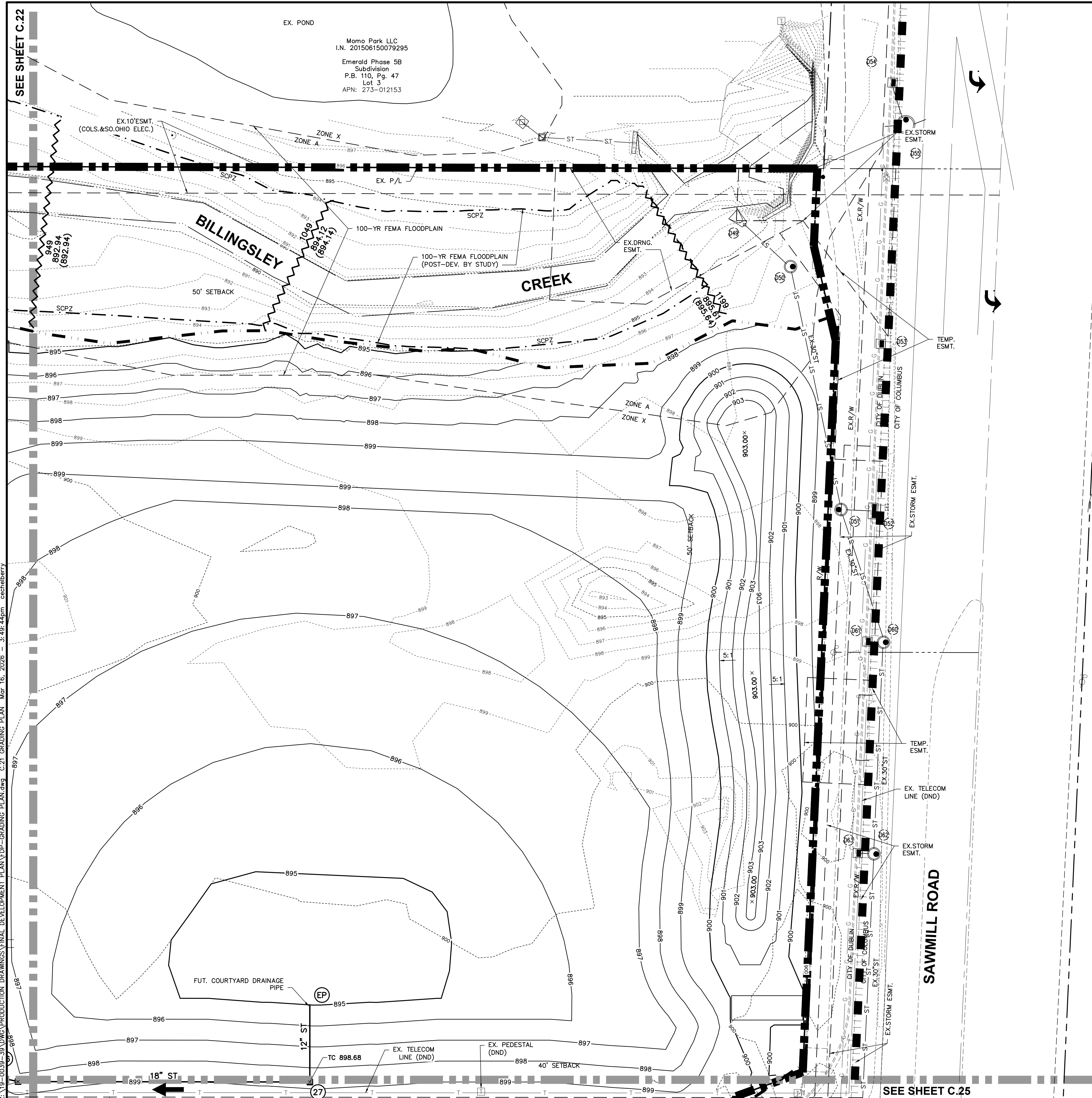
781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

ENGINEERS SURVEYORS

SCALE: 1" = 60'
 DATE: 03/16/2026

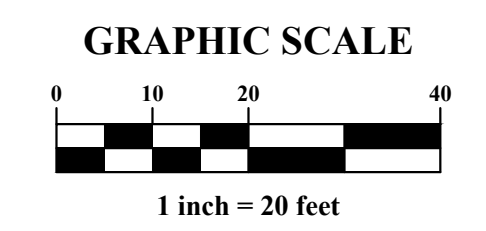
SHEET C.20



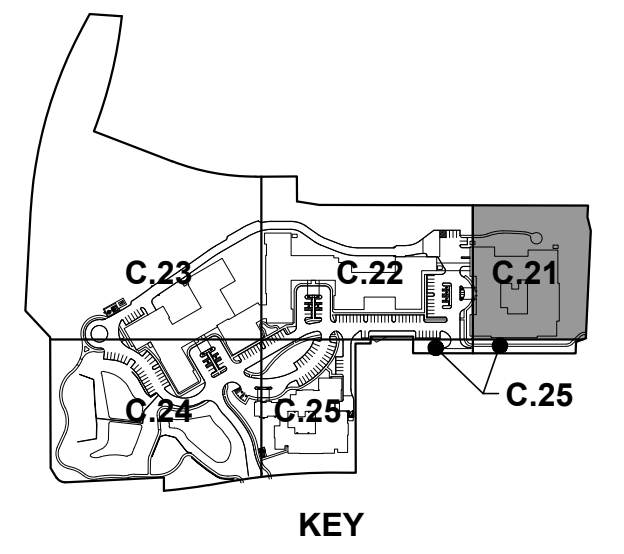


LEGEND

-----929-----	EXISTING 1' CONTOUR
-----930-----	EXISTING 5' CONTOUR
-----930-----	PROPOSED 1' CONTOUR
-----930-----	PROPOSED 5' CONTOUR
ST-□	EXISTING STORM SEWER
SA SA	EXISTING SANITARY SEWER
WA WA	EXISTING WATER
G G	EXISTING GAS
T T	EXISTING TELECOMM
E E	EXISTING ELECTRIC
---□---	PROPOSED STORM SEWER
SA SA	PROPOSED SANITARY SEWER
SAS	PROPOSED SANITARY SERVICE
WA WA	PROPOSED WATER
→	FLOOD ROUTE (>100-YR)
→	FLOW DIRECTION
899.43 x	FINISHED GRADE ELEVATION
TC 899.50 x	TOP OF CASTING ELEVATION
TW 899.50 x	TOP OF WALL ELEVATION
BW 899.50 x	BOTTOM OF WALL ELEVATION
SW 899.50 x	TOP OF SEAT WALL ELEVATION
FFE 902.20 x	TOP OF SLAB ELEVATION (FINISH FLOOR ELEVATION)
GA 899.50 x	GROUND AROUND ELEVATION
TS 899.50 x	TOP OF STEP ELEVATION
BS 899.50 x	BOTTOM OF STEP ELEVATION
□	100-YR PONDING ELEVATION
---	LIMITS OF DISTURBANCE
*	TAPER CURB FROM FULL HEIGHT TO FLUSH OVER 1'-0"
**	TAPER CURB FROM FULL HEIGHT TO FLUSH OVER LENGTH OF RADIUS
***	TAPER CURB FROM FULL HEIGHT TO FLUSH OVER DISTANCE GIVEN
****	FLUSH CURB



- NOTES:**
1. GRADING ELEVATIONS AND UTILITY ALIGNMENTS/LOCATIONS SHOWN ON THIS SHEET ARE PRELIMINARY IN NATURE AND SUBJECT TO MODIFICATION DURING FINAL DESIGN.
 2. SEDIMENT AND EROSION CONTROL MEASURES TO BE PROVIDED DURING FINAL DEVELOPMENT AND FINAL DESIGN.



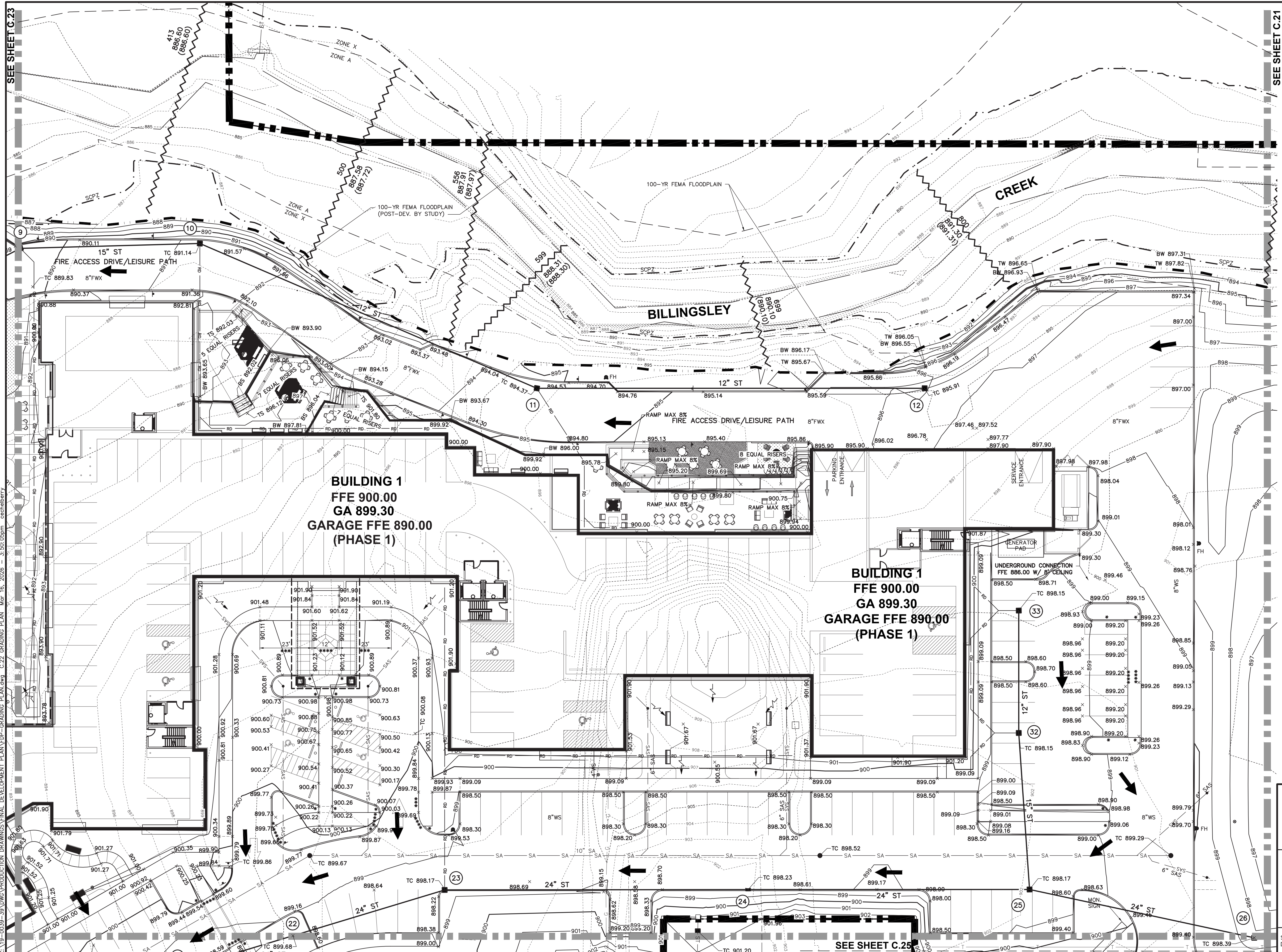
CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
GRADING PLAN
FOR
THE BEACON - PHASE 1

PLAN PREPARED BY:

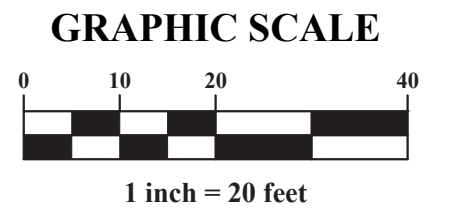
781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

SCALE: 1"=20'
 DATE: 03/16/2026

SHEET C.21

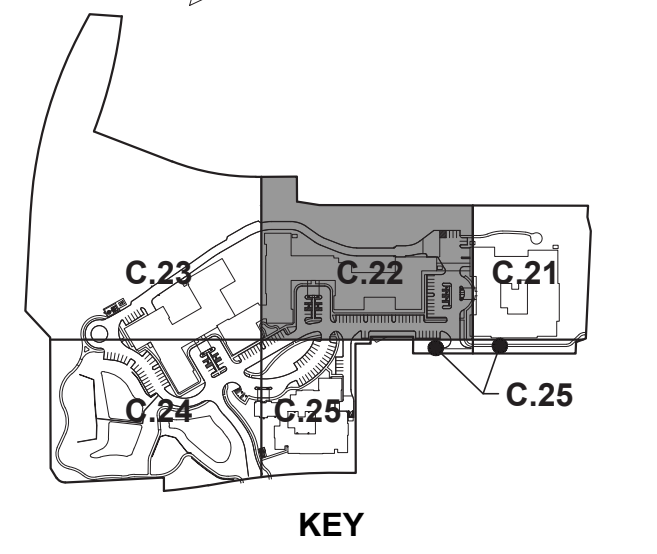


NOTES:
 1. GRADING ELEVATIONS AND UTILITY ALIGNMENTS/LOCATIONS SHOWN ON THIS SHEET ARE PRELIMINARY IN NATURE AND SUBJECT TO MODIFICATION DURING FINAL DESIGN. SEDIMENT AND EROSION CONTROL MEASURES TO BE PROVIDED DURING FINAL DEVELOPMENT AND FINAL DESIGN.



LEGEND

- 929 --- EXISTING 1" CONTOUR
- 930 --- EXISTING 5" CONTOUR
- 930 --- PROPOSED 1" CONTOUR
- 930 --- PROPOSED 5" CONTOUR
- S --- EXISTING STORM SEWER
- SA --- EXISTING SANITARY SEWER
- WA --- EXISTING WATER
- G --- EXISTING GAS
- T --- EXISTING TELECOMM
- E --- EXISTING ELECTRIC
- S --- PROPOSED STORM SEWER
- SA --- PROPOSED SANITARY SEWER
- SAS --- PROPOSED SANITARY SERVICE
- WA --- PROPOSED WATER
- FLOOD ROUTE (>100-YR)
- FLOW DIRECTION
- 899.43 × FINISHED GRADE ELEVATION
- TC 899.50 × TOP OF CASTING ELEVATION
- TW 899.50 × TOP OF WALL ELEVATION
- BW 899.50 × BOTTOM OF WALL ELEVATION
- SW 899.50 × TOP OF SEAT WALL ELEVATION
- FFE 902.20 × TOP OF SLAB ELEVATION (FINISH FLOOR ELEVATION)
- GA 899.50 × GROUND AROUND ELEVATION
- TS 899.50 × TOP OF STEP ELEVATION
- BS 899.50 × BOTTOM OF STEP ELEVATION
- 100-YR PONDING ELEVATION
- LIMITS OF DISTURBANCE
- * TAPER CURB FROM FULL HEIGHT TO FLUSH OVER 1'-0"
- ** TAPER CURB FROM FULL HEIGHT TO FLUSH OVER LENGTH OF RADIUS
- *** TAPER CURB FROM FULL HEIGHT TO FLUSH OVER DISTANCE GIVEN
- **** FLUSH CURB
- TRAFFIC FLOW DIRECTION

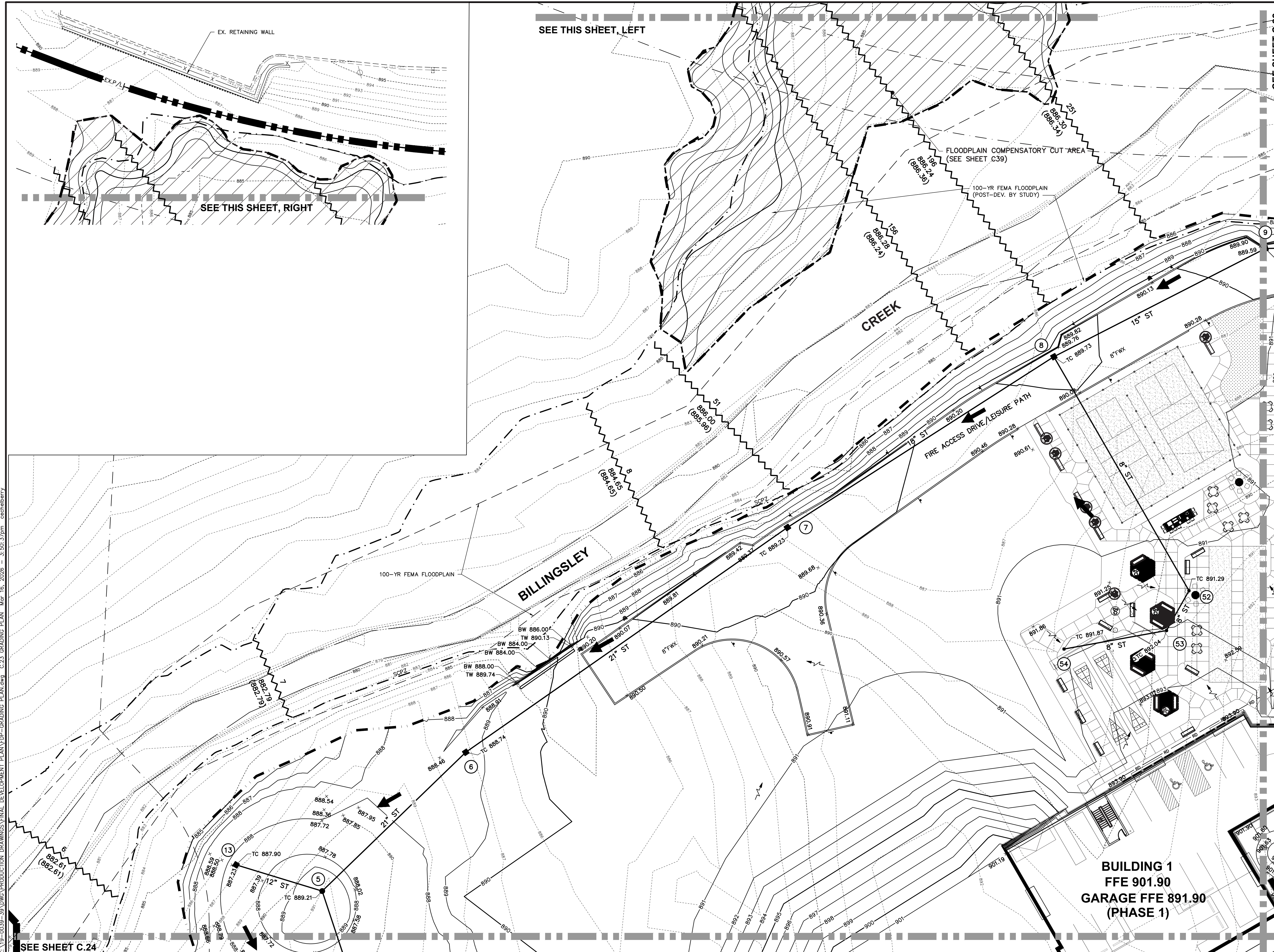


CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
GRADING PLAN
FOR
THE BEACON - PHASE 1

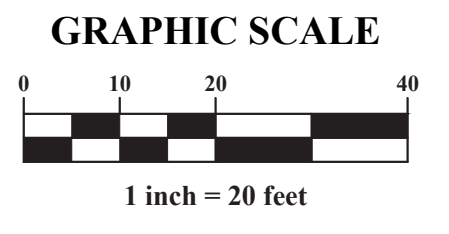
PLAN PREPARED BY:

ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS
 781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

SCALE: 1"=20'
 DATE: 03/16/2026
 SHEET C.22



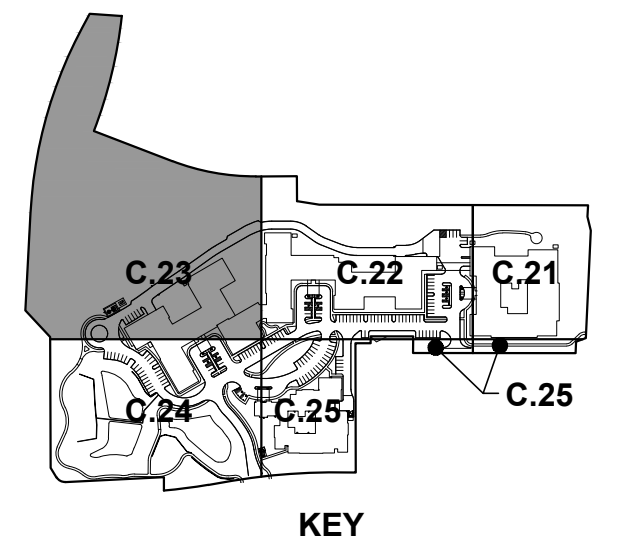
NOTES:
 1. GRADING ELEVATIONS AND UTILITY ALIGNMENTS/LOCATIONS SHOWN ON THIS SHEET ARE PRELIMINARY IN NATURE AND SUBJECT TO MODIFICATION DURING FINAL DESIGN.
 2. SEDIMENT AND EROSION CONTROL MEASURES TO BE PROVIDED DURING FINAL DEVELOPMENT AND FINAL DESIGN.



LEGEND

--- 925 ---	EXISTING 1' CONTOUR
--- 930 ---	EXISTING 5' CONTOUR
--- 930 ---	PROPOSED 1' CONTOUR
--- 930 ---	PROPOSED 5' CONTOUR
ST- []	EXISTING STORM SEWER
SA	EXISTING SANITARY SEWER
WA	EXISTING WATER
G	EXISTING GAS
T	EXISTING TELECOMM
E	EXISTING ELECTRIC
--- [] ---	PROPOSED STORM SEWER
SA	PROPOSED SANITARY SEWER
SAS	PROPOSED SANITARY SERVICE
WA	PROPOSED WATER
→	FLOOD ROUTE (>100-YR)
→	FLOW DIRECTION
899.43 x	FINISHED GRADE ELEVATION
TC 899.50 x	TOP OF CASTING ELEVATION
TW 899.50 x	TOP OF WALL ELEVATION
BW 899.50 x	BOTTOM OF WALL ELEVATION
SW 899.50 x	TOP OF SEAT WALL ELEVATION
FFE 902.20 x	TOP OF SLAB ELEVATION (FINISH FLOOR ELEVATION)
GA 899.50 x	GROUND AROUND ELEVATION
TS 899.50 x	TOP OF STEP ELEVATION
BS 899.50 x	BOTTOM OF STEP ELEVATION

- [---] 100-YR PONDING ELEVATION
- [---] LIMITS OF DISTURBANCE
- * TAPER CURB FROM FULL HEIGHT TO FLUSH OVER 1'-0"
- ** TAPER CURB FROM FULL HEIGHT TO FLUSH OVER LENGTH OF RADIUS
- *** TAPER CURB FROM FULL HEIGHT TO FLUSH OVER DISTANCE GIVEN
- **** FLUSH CURB



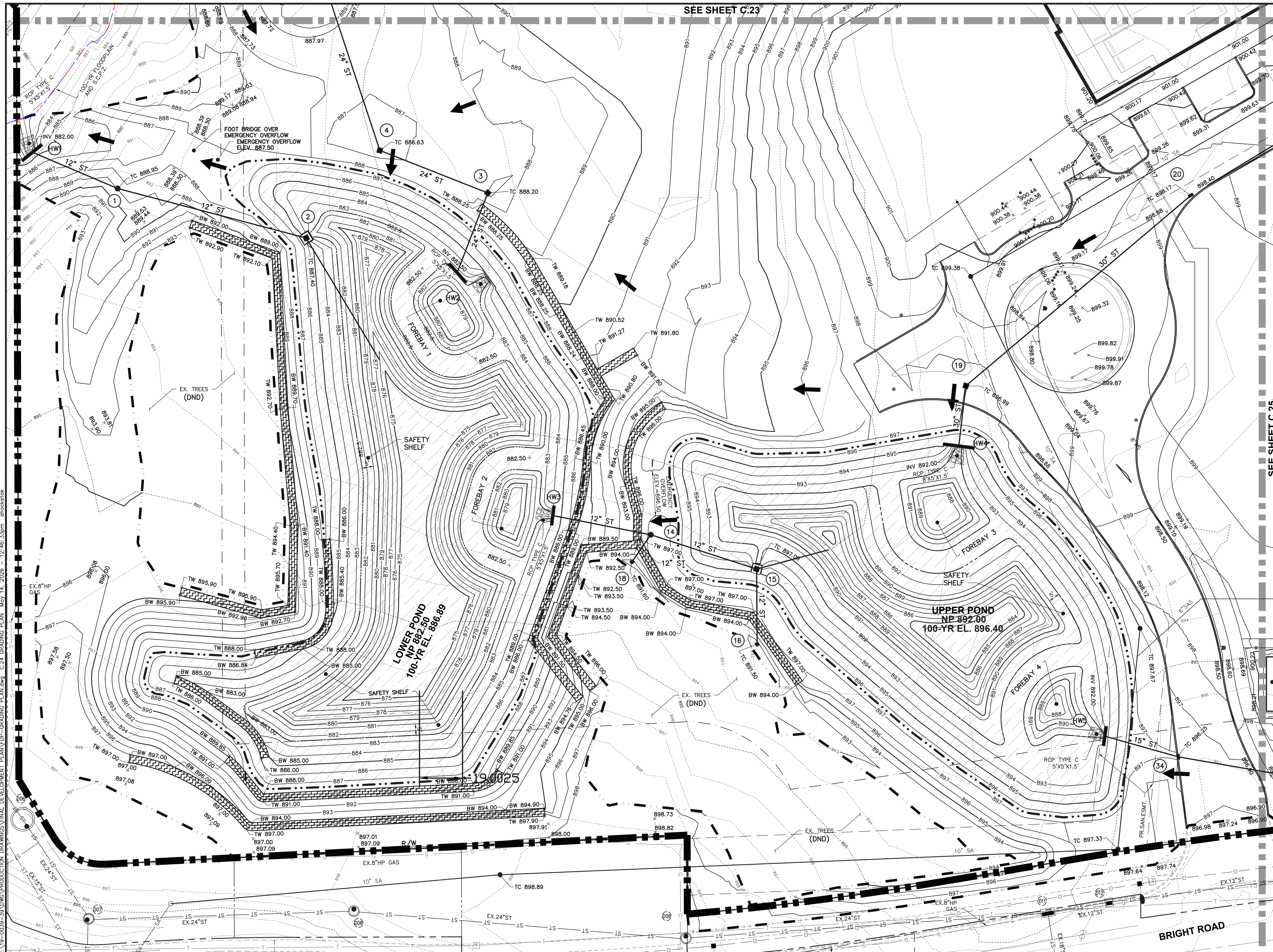
CITY OF DUBLIN, OHIO
 FINAL DEVELOPMENT PLAN
 GRADING PLAN
 FOR
THE BEACON - PHASE 1

PLAN PREPARED BY:

 781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

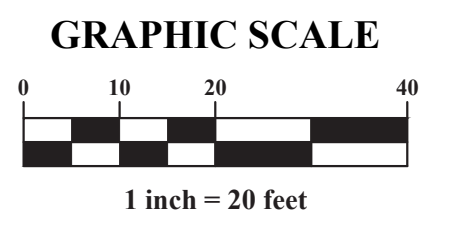
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 DATE: 03/16/2026
 SHEET C.23

Z:\19-0039-30\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\FDP-GRADING PLAN.dwg C.23 GRADING PLAN Mar 16, 2026 - 3:50:37pm csethberry



SEE SHEET C.23

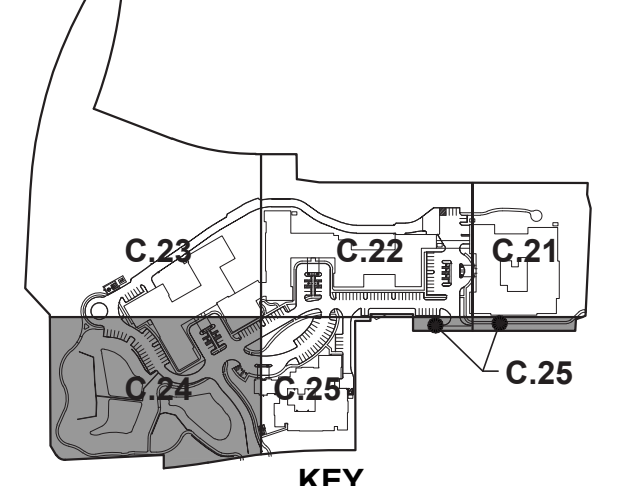
NOTES:
 1. GRADING ELEVATIONS AND UTILITY ALIGNMENTS/LOCATIONS SHOWN ON THIS SHEET ARE PRELIMINARY IN NATURE AND SUBJECT TO MODIFICATION DURING FINAL DESIGN.
 2. SEDIMENT AND EROSION CONTROL MEASURES TO BE PROVIDED DURING FINAL DEVELOPMENT AND FINAL DESIGN.



LEGEND

- 1' CONTOUR
- 5' CONTOUR
- 1' CONTOUR
- 5' CONTOUR
- EXISTING STORM SEWER
- SA --- EXISTING SANITARY SEWER
- WA --- EXISTING WATER
- G --- EXISTING GAS
- T --- EXISTING TELECOMM
- E --- EXISTING ELECTRIC
- PROPOSED STORM SEWER
- SA --- PROPOSED SANITARY SEWER
- SAS --- PROPOSED SANITARY SERVICE
- WA --- PROPOSED WATER
- ➔ FLOOD ROUTE (>100-YR)
- ➔ FLOW DIRECTION
- 899.43 x FINISHED GRADE ELEVATION
- TC 899.50 x TOP OF CASTING ELEVATION
- TW 899.50 x TOP OF WALL ELEVATION
- BW 899.50 x BOTTOM OF WALL ELEVATION
- SW 899.50 x TOP OF SEAT WALL ELEVATION
- FFE 902.20 x TOP OF SLAB ELEVATION (FINISH FLOOR ELEVATION)
- GA 899.50 x GROUND AROUND ELEVATION
- TS 899.50 x TOP OF STEP ELEVATION
- BS 899.50 x BOTTOM OF STEP ELEVATION
- 100-YR PONDING ELEVATION
- LIMITS OF DISTURBANCE
- PROPOSED WALL
- * TAPER CURB FROM FULL HEIGHT TO FLUSH OVER 1'-0"
- ** TAPER CURB FROM FULL HEIGHT TO FLUSH OVER LENGTH OF RADIUS
- *** TAPER CURB FROM FULL HEIGHT TO FLUSH OVER DISTANCE GIVEN
- **** FLUSH CURB

METER BLDG
FFE 901.10

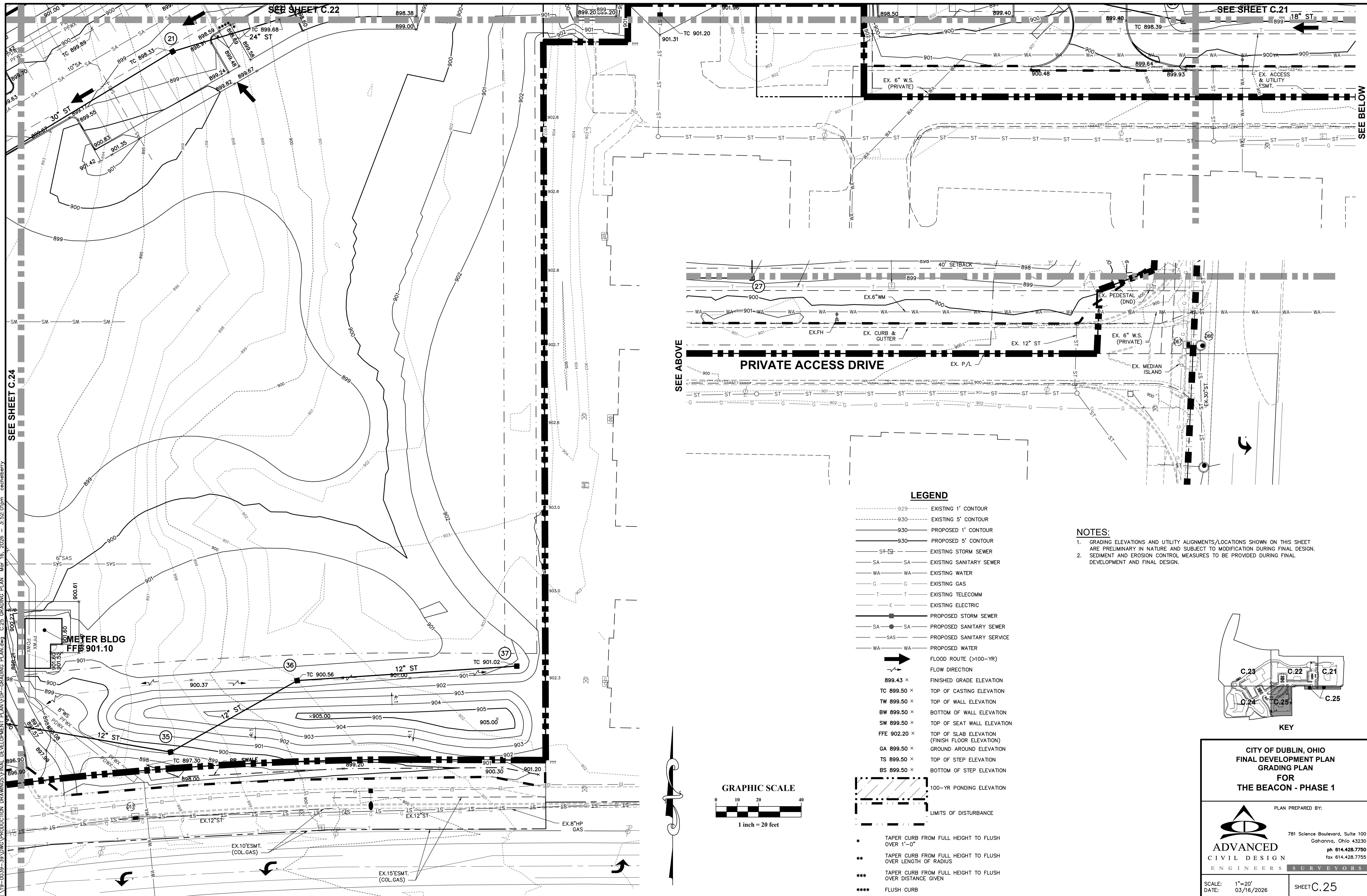


**CITY OF DUBLIN, OHIO
 FINAL DEVELOPMENT PLAN
 GRADING PLAN
 FOR
 THE BEACON - PHASE 1**

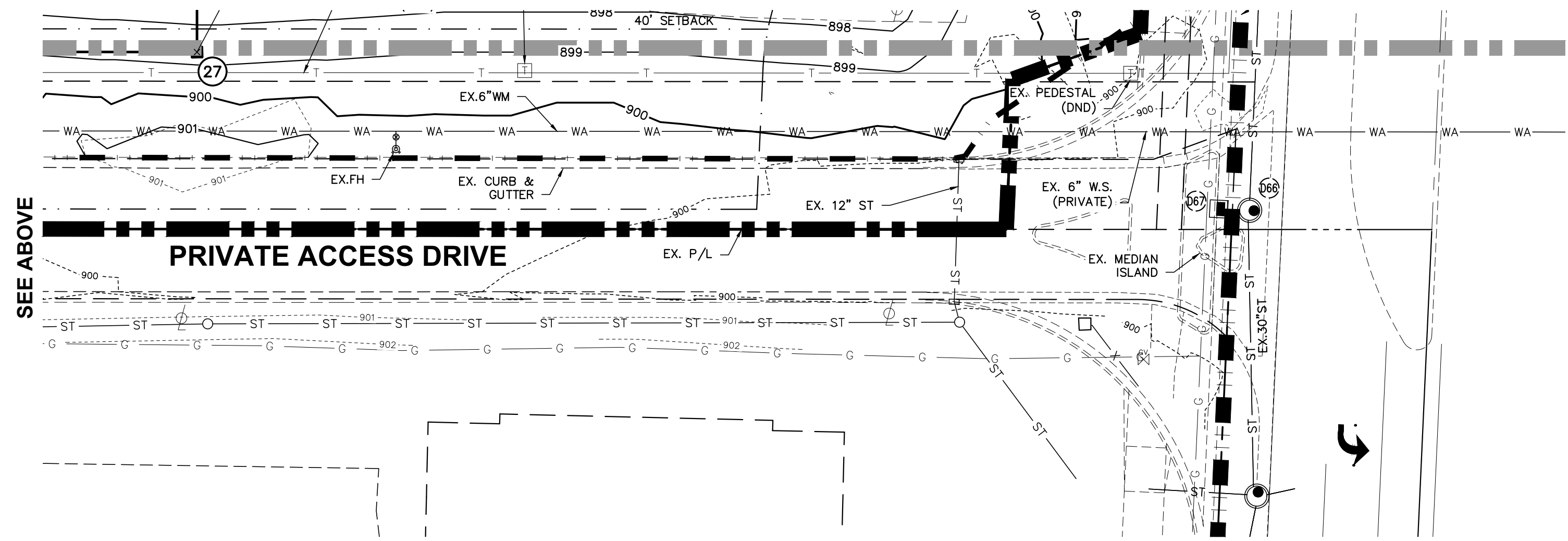
PLAN PREPARED BY:

 781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

SCALE: 1"=20'
 DATE: 03/16/2026
 SHEET C.24



Z:\19-0039-30\DWG\PRODUCTION\DRAWINGS\FINAL DEVELOPMENT PLAN\PDF-GRADING PLAN.dwg C:25 GRADING PLAN Mar 16 2026 11:52:01am cecaberry

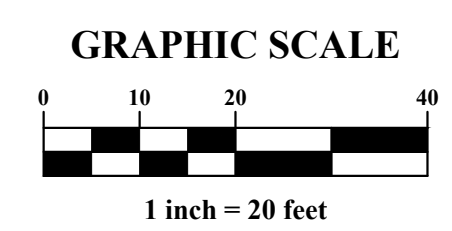
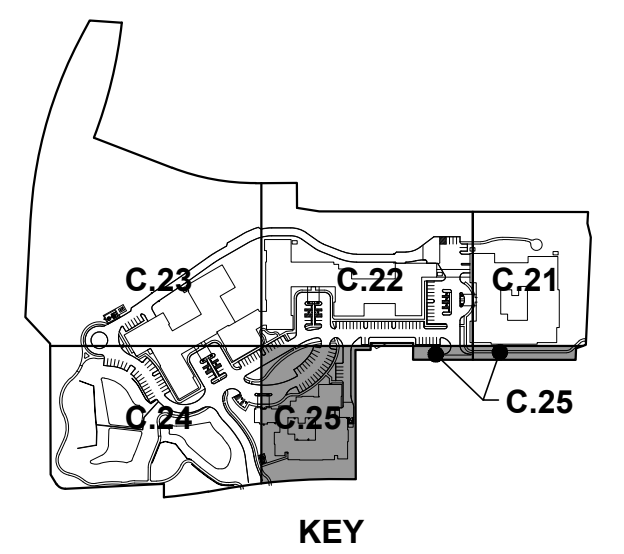


LEGEND

-----	EXISTING 1' CONTOUR
-----	EXISTING 5' CONTOUR
-----	PROPOSED 1' CONTOUR
-----	PROPOSED 5' CONTOUR
ST-	EXISTING STORM SEWER
SA-	EXISTING SANITARY SEWER
WA-	EXISTING WATER
G-	EXISTING GAS
T-	EXISTING TELECOMM
E-	EXISTING ELECTRIC
-----	PROPOSED STORM SEWER
SA-	PROPOSED SANITARY SEWER
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	FLOOD ROUTE (>100-YR)
	FLOW DIRECTION
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	LIMITS OF DISTURBANCE

* TAPER CURB FROM FULL HEIGHT TO FLUSH OVER 1'-0"
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 **** FLUSH CURB

- NOTES:**
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 - SEDIMENT AND EROSION CONTROL MEASURES TO BE PROVIDED DURING FINAL DEVELOPMENT AND FINAL DESIGN.

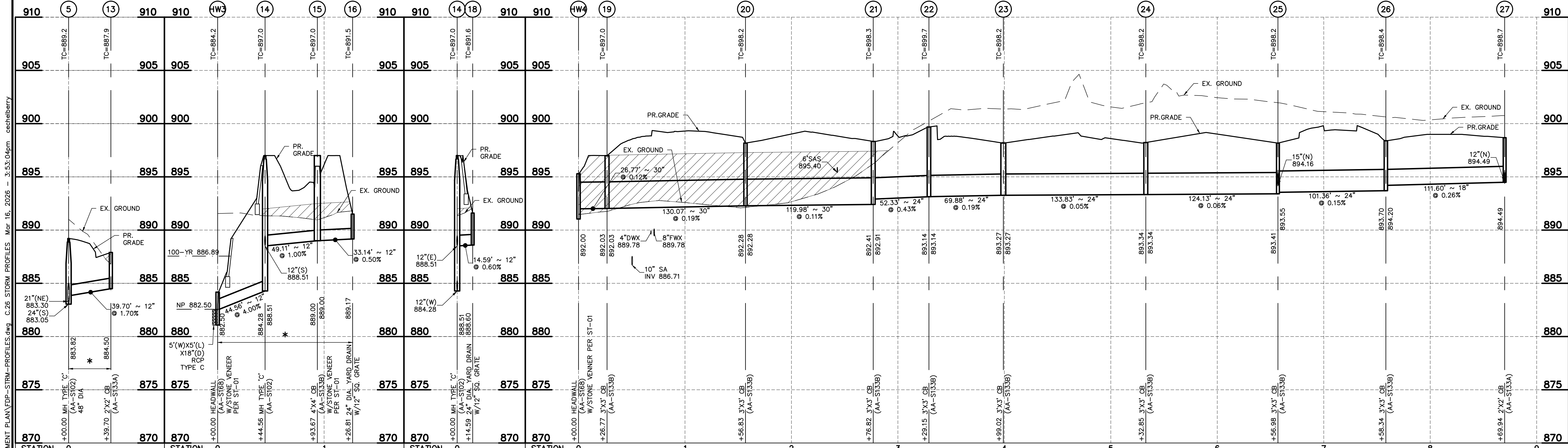
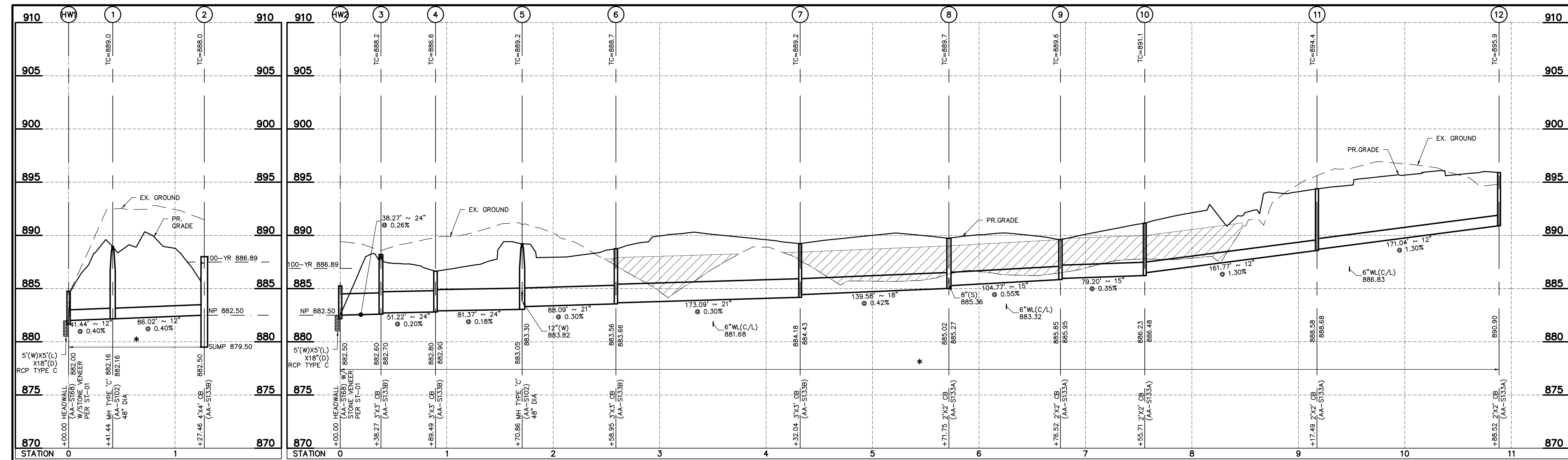


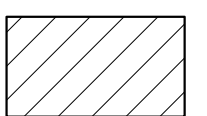
CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
GRADING PLAN
FOR
THE BEACON - PHASE 1

PLAN PREPARED BY:

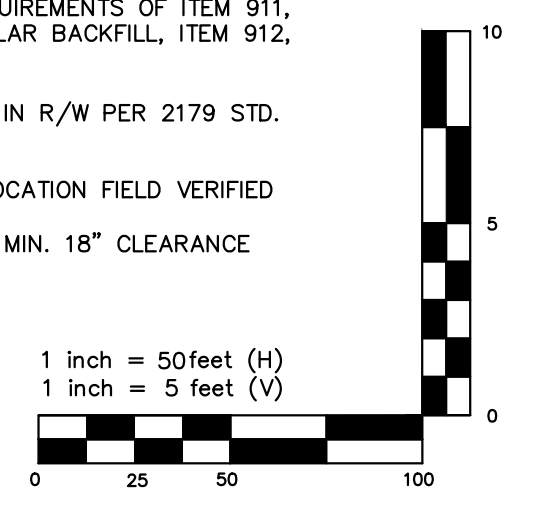
 781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

SCALE: 1"=20'
 DATE: 03/16/2026
 SHEET C.25




 PLACE FILL 30" MINIMUM ABOVE THE PROPOSED CROWN OF PIPE ELEVATION PRIOR TO PIPE PLACEMENT
 + : SANITARY GRADE PIPE W/ WATERTIGHT JOINT FOR 1/1 CROSSING
 ALL TRENCH BACKFILL SHALL BE COMPACTED BACKFILL TO 95% OF MAXIMUM DRY WEIGHT AT OPTIMUM MOISTURE CONTENT (±2%) UNLESS NOTED AS:
 * : COMPACTED BACKFILL, ITEM 911
 ** : COMPACTED GRANULAR BACKFILL, ITEM 912

NOTE:
 PER CMSC ITEM 911, WHERE NATURAL MATERIAL DOES NOT MEET THE REQUIREMENTS OF ITEM 911, THEN COMPACTED GRANULAR BACKFILL, ITEM 912, SHALL BE USED.
 ITEM 912 IS TO BE USED IN R/W PER 2179 STD. DWG.
 F.V. = ELEVATION AND LOCATION FIELD VERIFIED
 *** = MUST MAINTAIN A MIN. 18" CLEARANCE

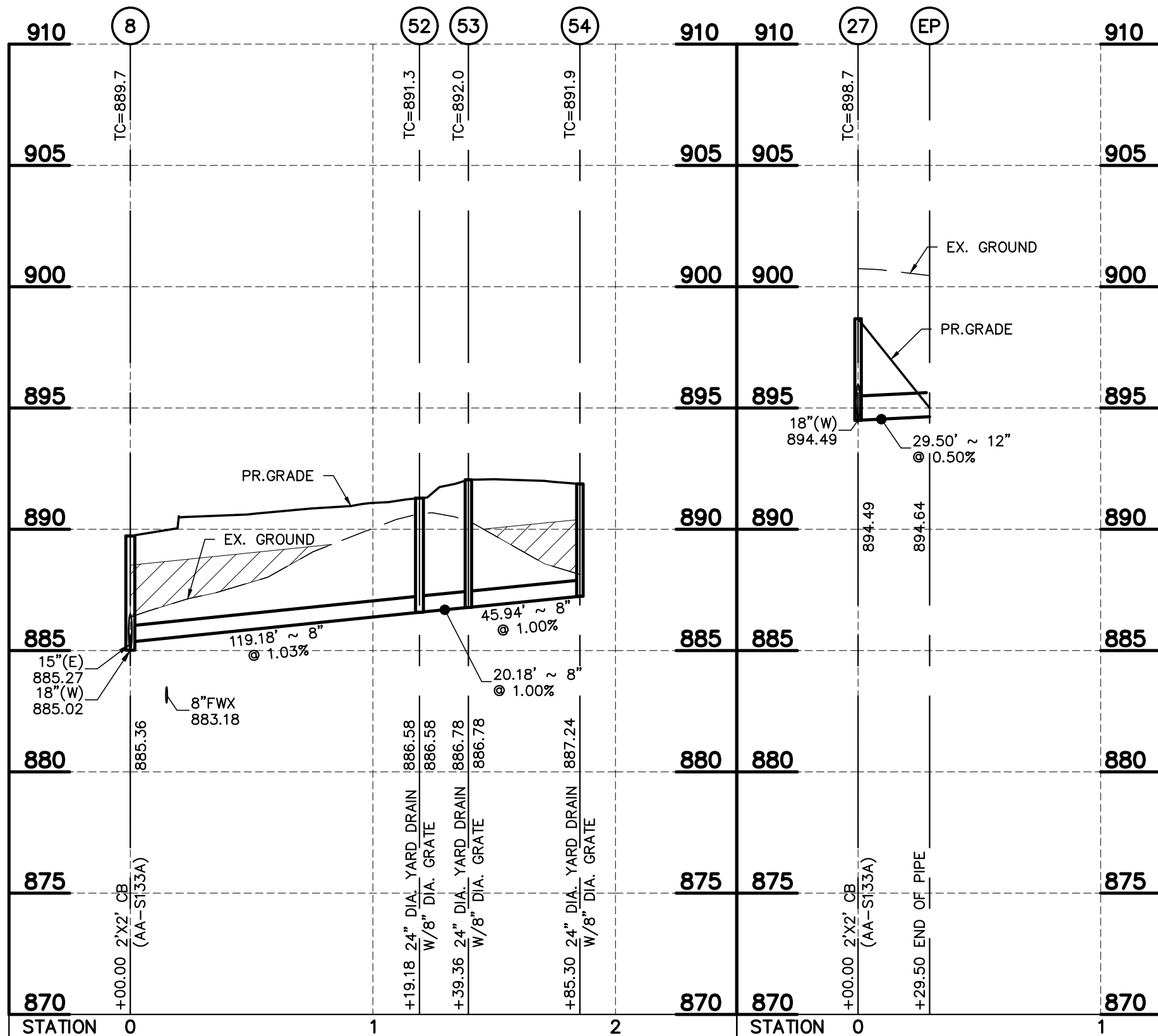
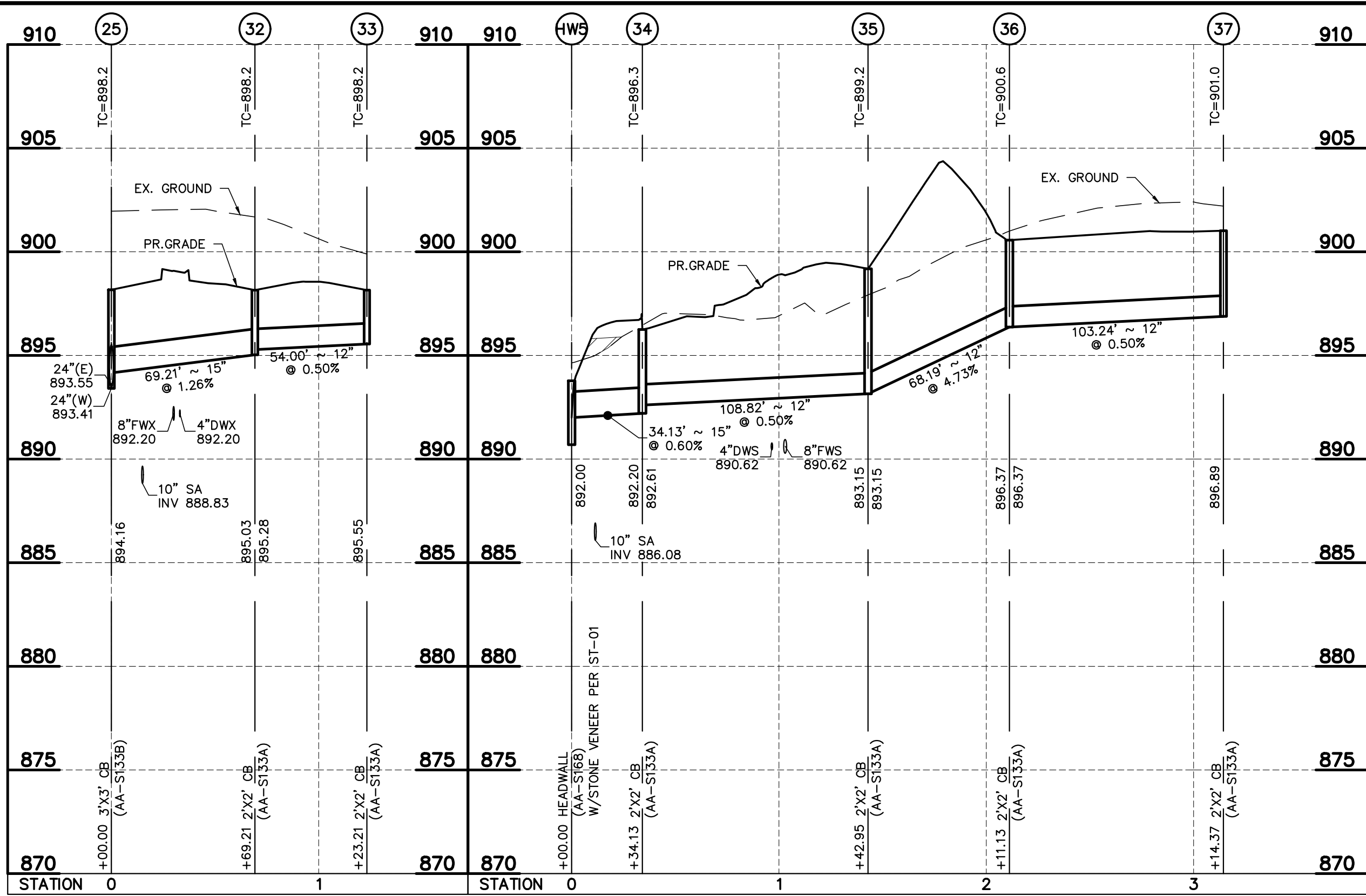


CITY OF DUBLIN, OHIO
 FINAL DEVELOPMENT PLAN
 STORM PROFILES
 FOR
THE BEACON - PHASE 1

PLAN PREPARED BY:

 781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

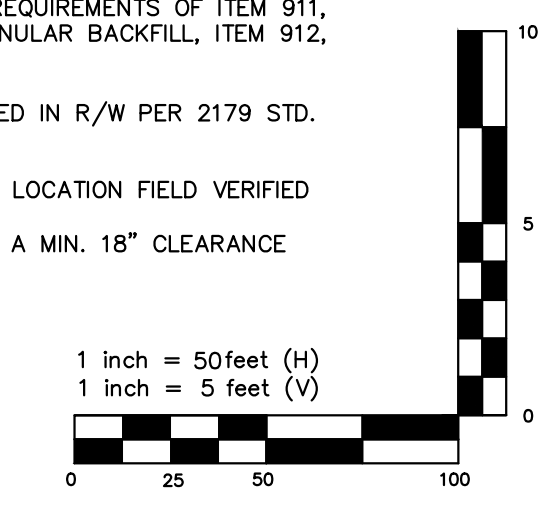
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 DATE: 03/16/2026
 SHEET C.26

Z:\19-0039-39\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\FDP-STRM-PROFILES.dwg C:27 STORM PROFILES Mar 16, 2026 - 3:53:35pm ecehelberry



- PLACE FILL 30" MINIMUM ABOVE THE PROPOSED CROWN OF PIPE ELEVATION PRIOR TO PIPE PLACEMENT
- +** : SANITARY GRADE PIPE W/ WATERTIGHT JOINT FOR 1/1 CROSSING
- ALL TRENCH BACKFILL SHALL BE COMPACTED BACKFILL TO 95% OF MAXIMUM DRY WEIGHT AT OPTIMUM MOISTURE CONTENT (±2%) UNLESS NOTED AS:
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NOTE:
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 F.V. = ELEVATION AND LOCATION FIELD VERIFIED
 *** = MUST MAINTAIN A MIN. 18" CLEARANCE

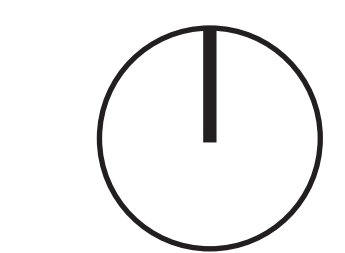


CITY OF DUBLIN, OHIO
 FINAL DEVELOPMENT PLAN
 STORM PROFILES
 FOR
THE BEACON - PHASE 1

PLAN PREPARED BY:

781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

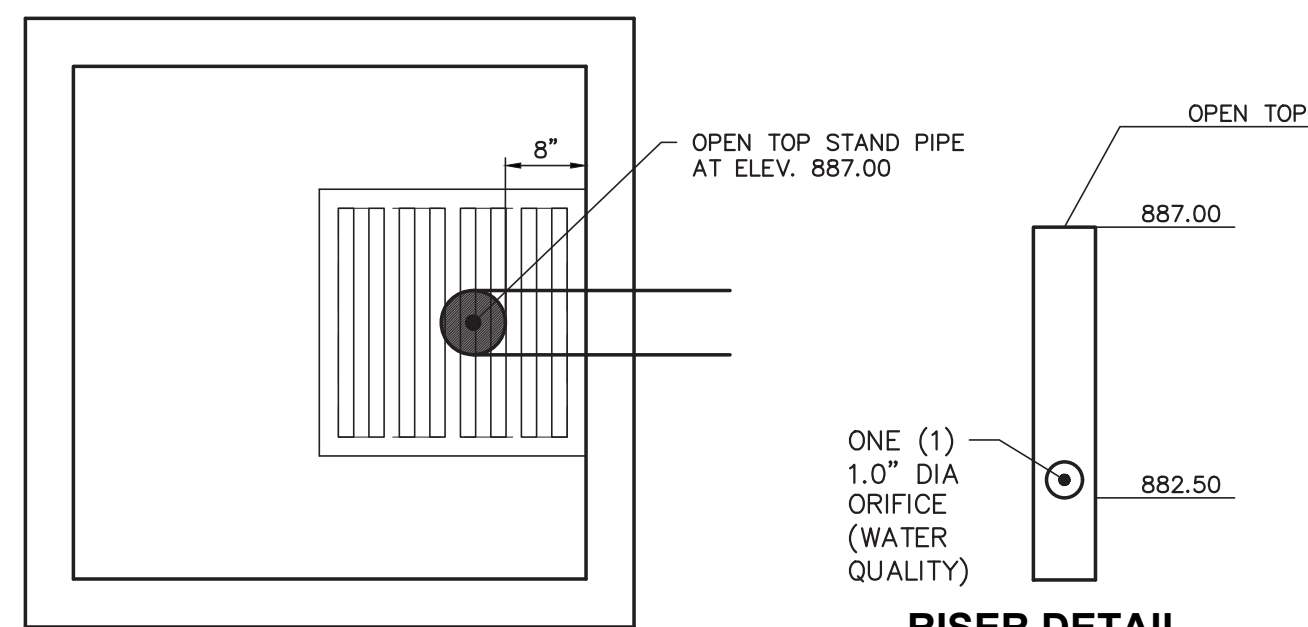
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 DATE: 03/16/2026 SHEET C.27



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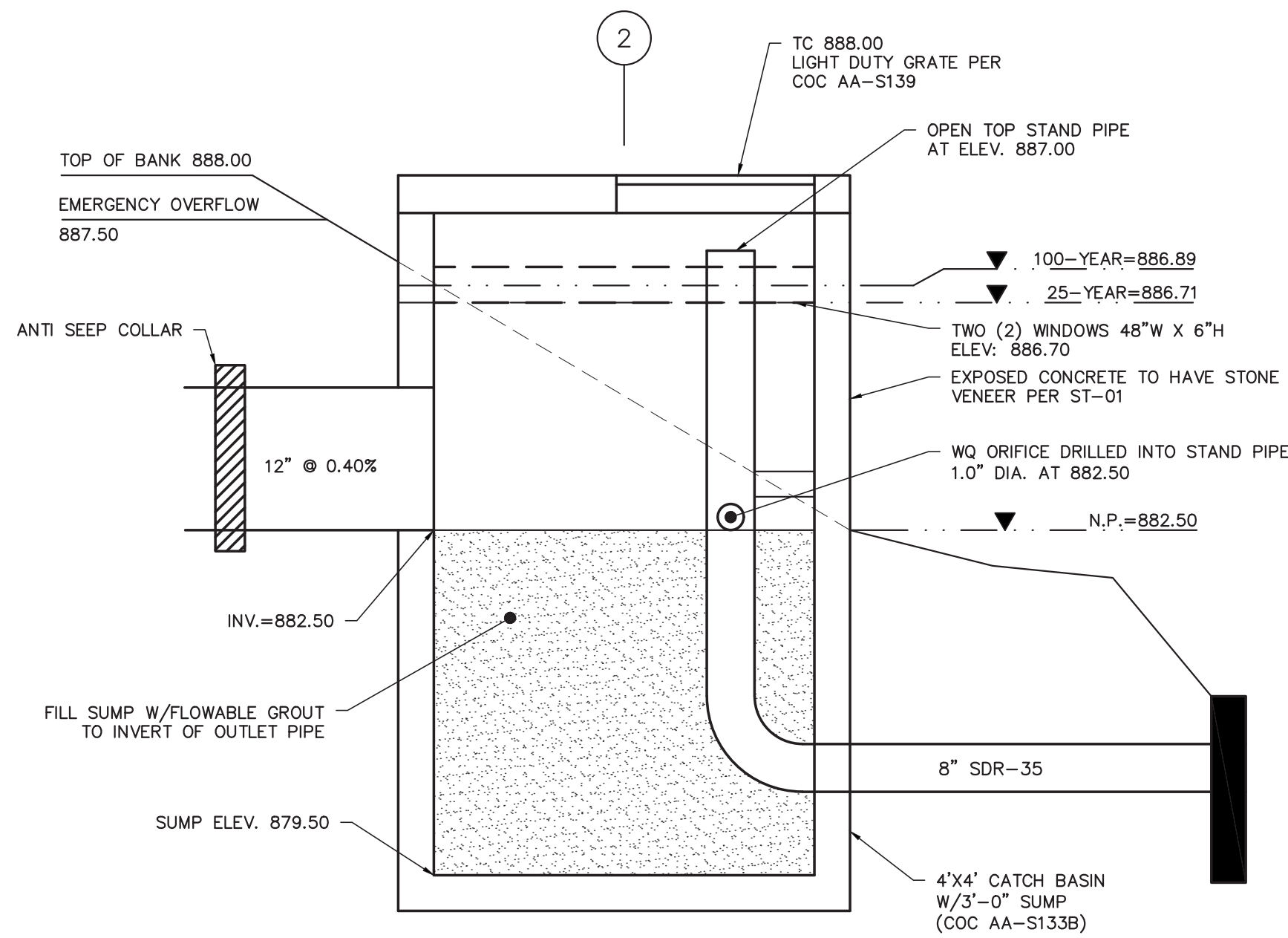
OUTLET TOP VIEW

NO SCALE



RISER DETAIL

NO SCALE

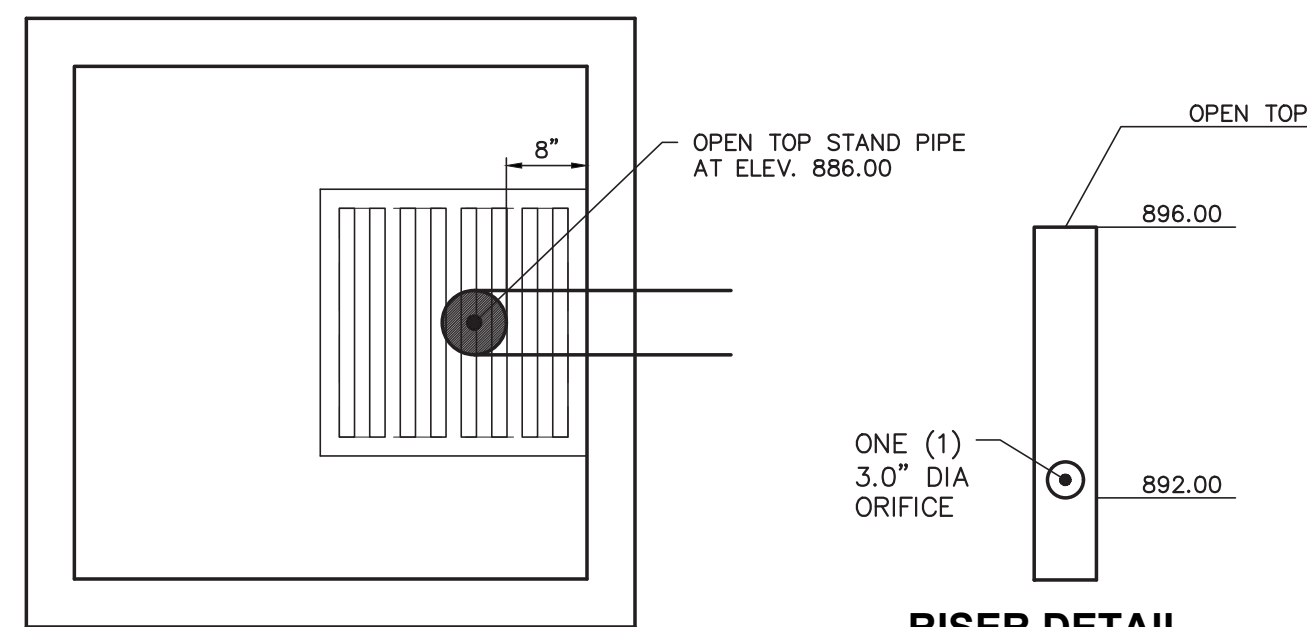


PERMANENT OUTLET STRUCTURE 2-LOWER POND

NO SCALE

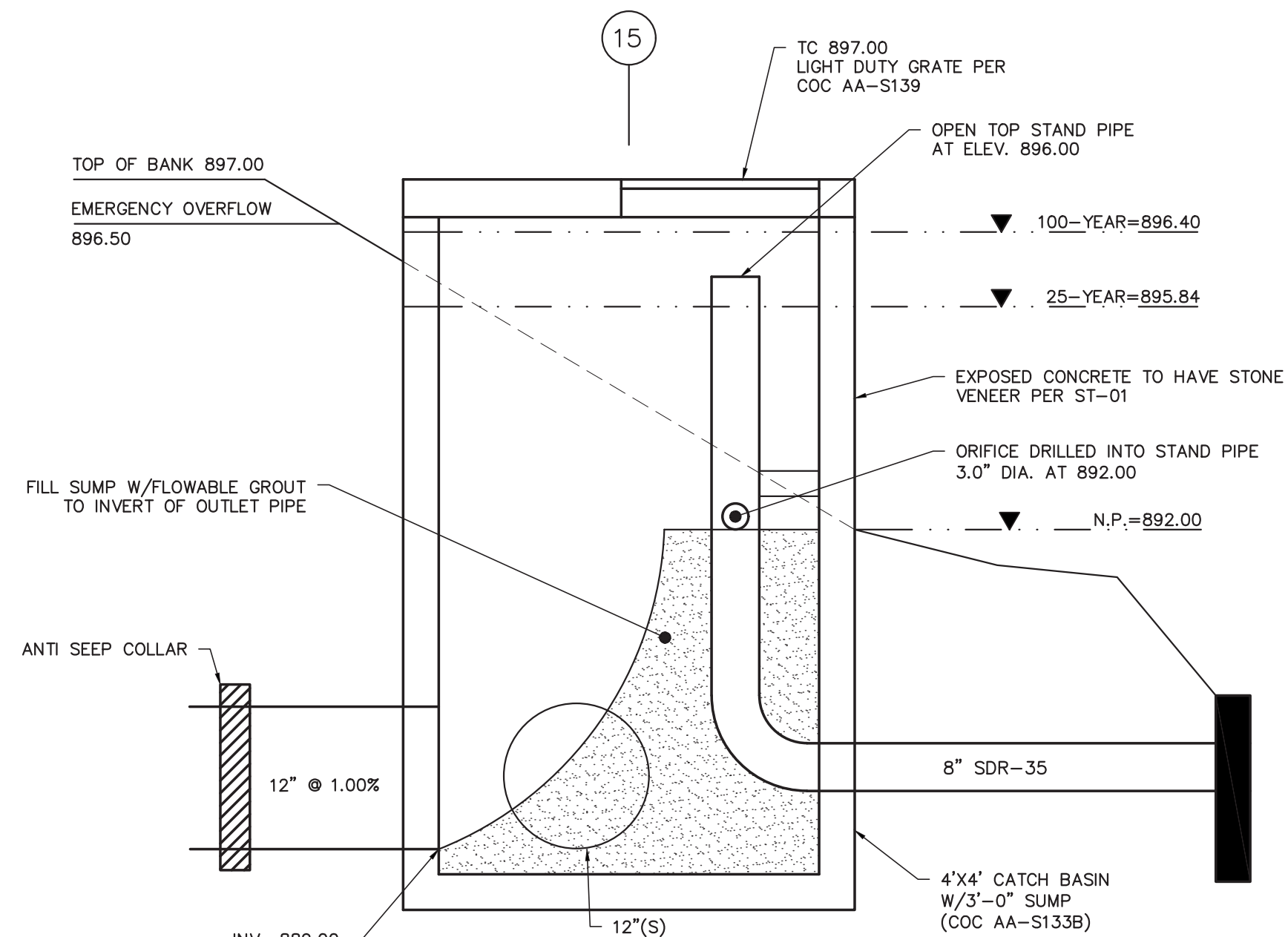
OUTLET TOP VIEW

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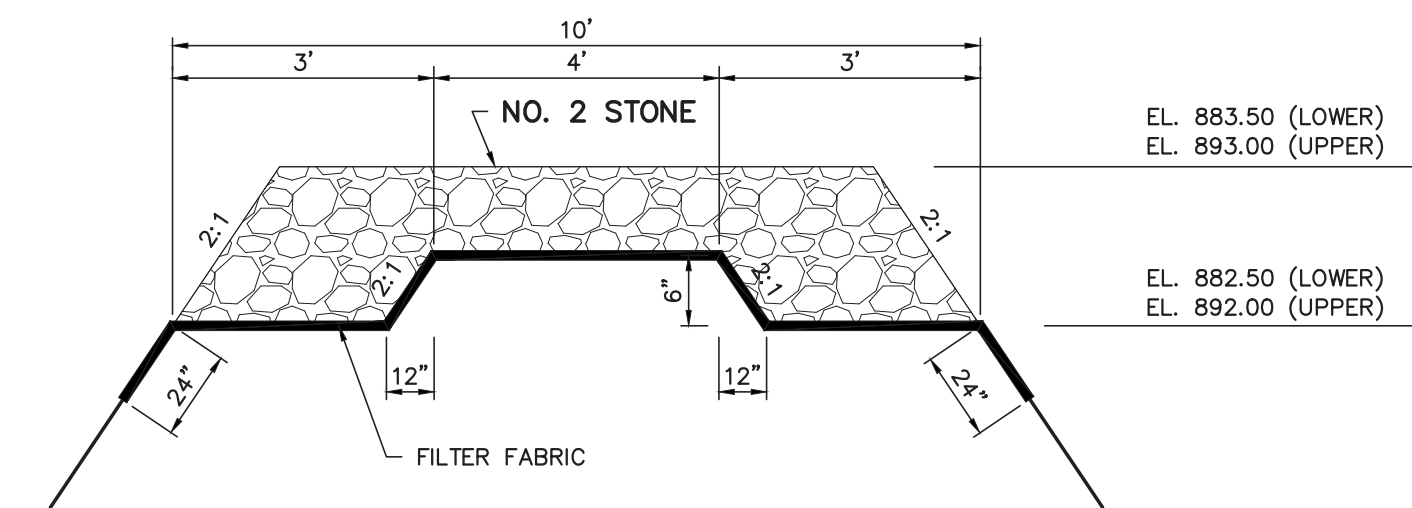
RISER DETAIL

NO SCALE



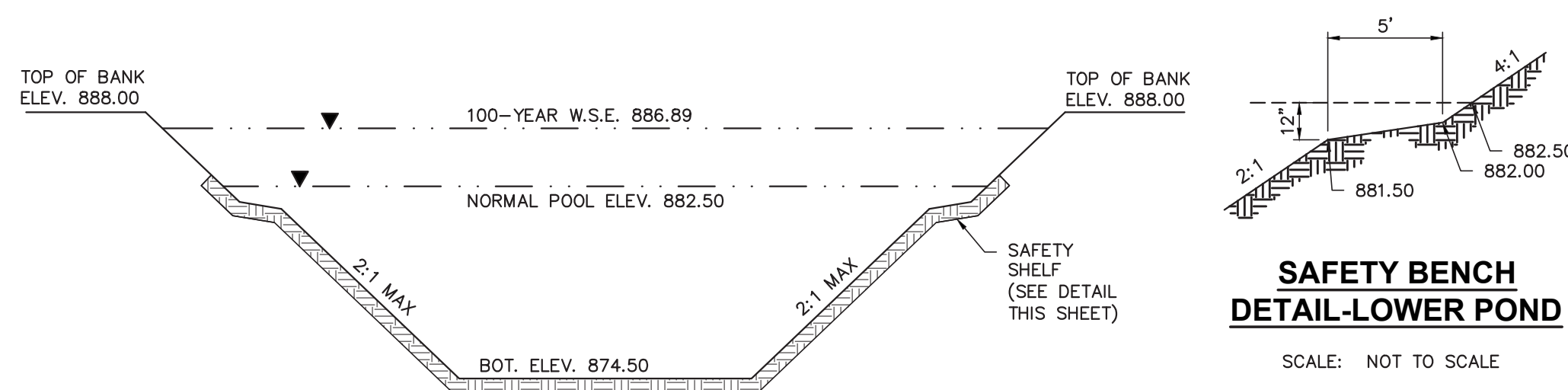
PERMANENT OUTLET STRUCTURE 15-UPPER POND

NO SCALE



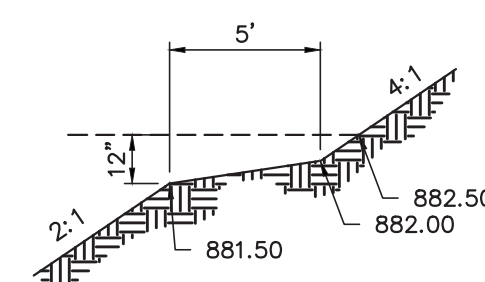
FOREBAY EMBANKMENT DETAIL

NO SCALE



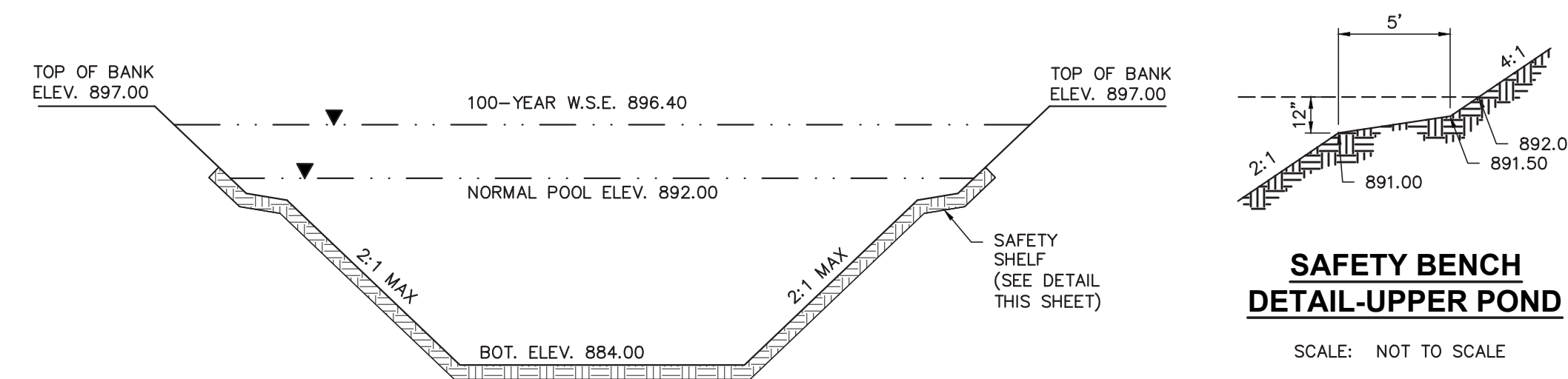
BASIN GRADING SECTION-LOWER POND

NO SCALE



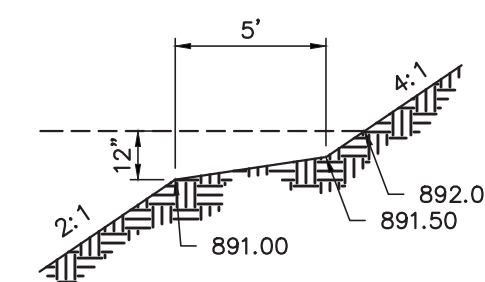
SAFETY BENCH DETAIL-LOWER POND

SCALE: NOT TO SCALE



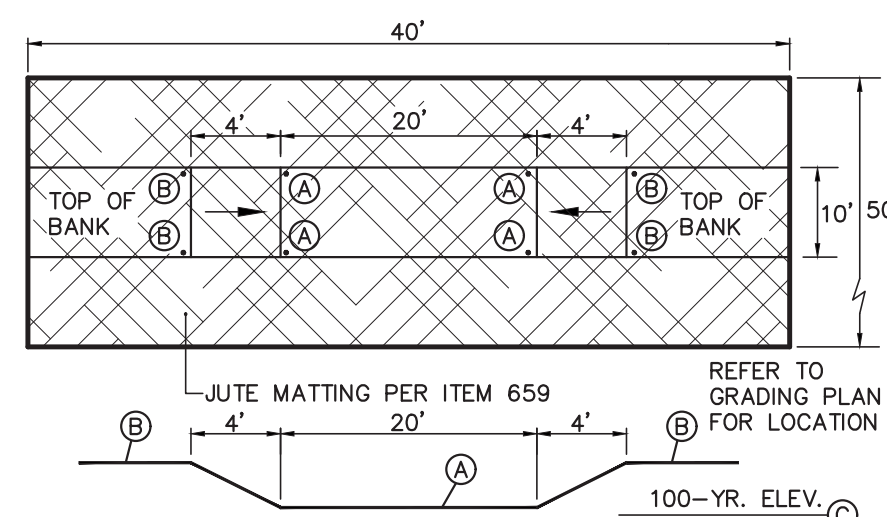
BASIN GRADING SECTION-UPPER POND

NO SCALE



SAFETY BENCH DETAIL-UPPER POND

SCALE: NOT TO SCALE



TYPICAL BASIN OVERFLOW WEIR DETAIL

EARTHEN OVERFLOW WEIR SCHEDULE			
BASIN LOCATION	WEIR ELEVATION (A)	TOP/BANK ELEVATION (B)	100-YR ELEVATION (C)
LOWER	887.50	888.00	886.89
UPPER	896.50	897.00	896.40

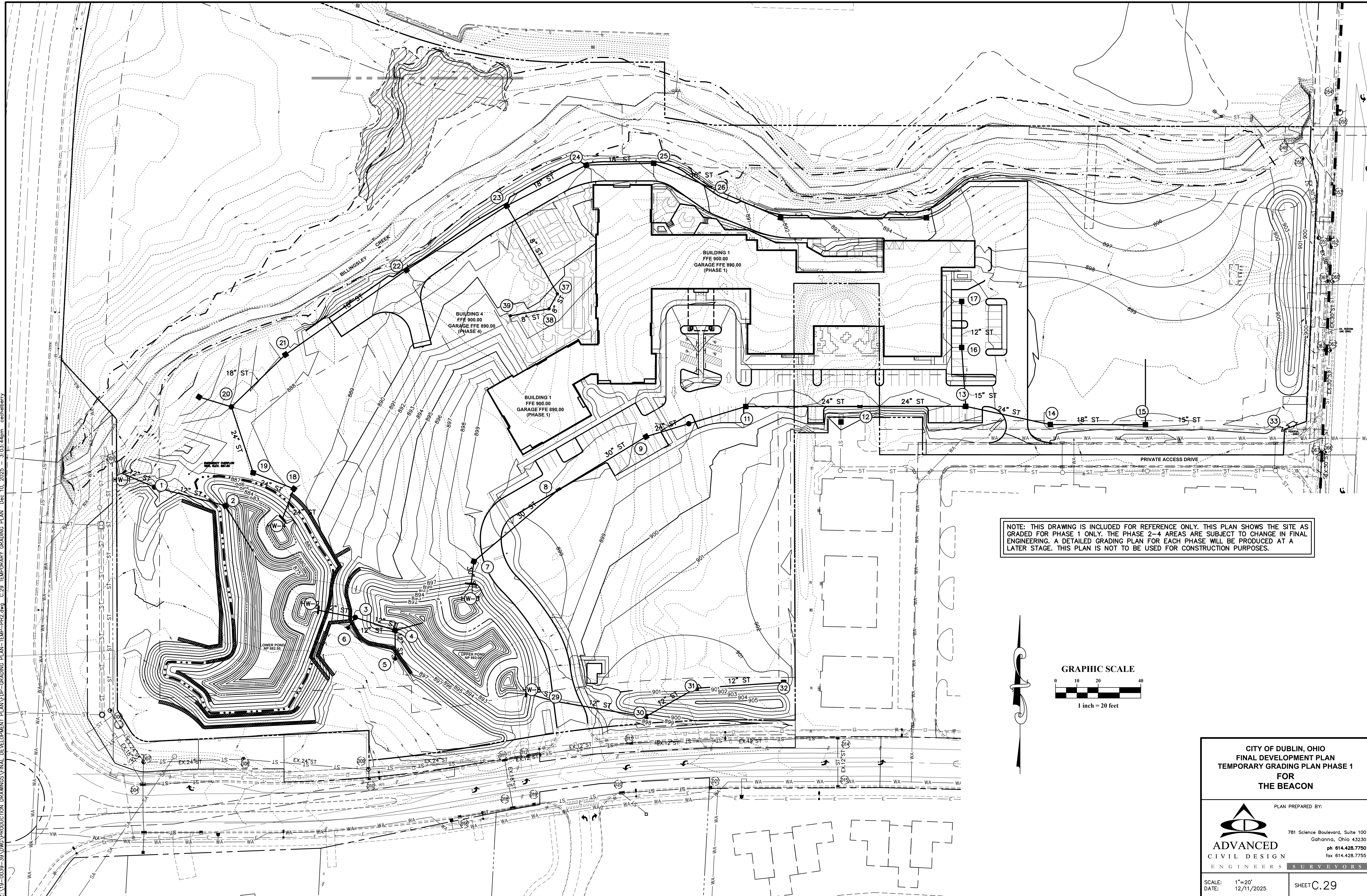
**CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
STORM DETAILS
FOR
THE BEACON - PHASE 1**

PLAN PREPARED BY:

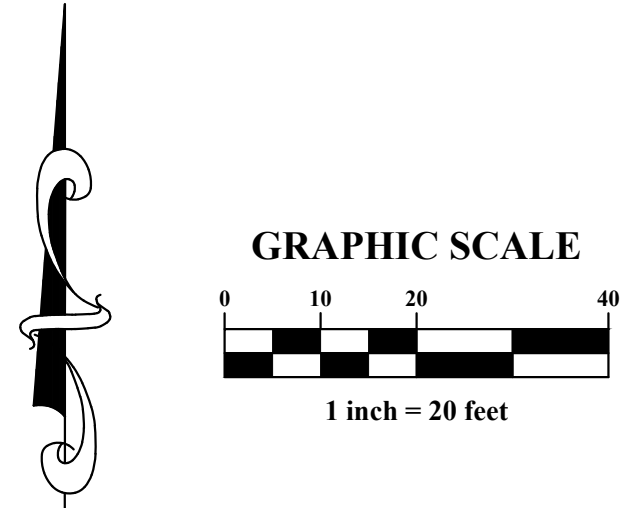
781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755


SCALE: 1"=50'(H), 1"=5'(V) SHEET C.28
DATE: 03/16/2026

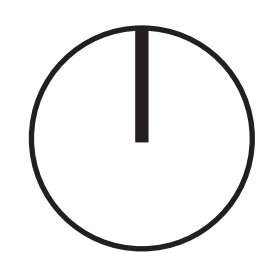
Z:\18-0039-39\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\FDP-GRADING PLAN-TEMP-Phase 1.dwg C:29 TEMPORARY GRADING PLAN Dec 10, 2025 - 3:03:44pm ceeheberry



NOTE: THIS DRAWING IS INCLUDED FOR REFERENCE ONLY. THIS PLAN SHOWS THE SITE AS GRADED FOR PHASE 1 ONLY. THE PHASE 2-4 AREAS ARE SUBJECT TO CHANGE IN FINAL ENGINEERING. A DETAILED GRADING PLAN FOR EACH PHASE WILL BE PRODUCED AT A LATER STAGE. THIS PLAN IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.



CITY OF DUBLIN, OHIO FINAL DEVELOPMENT PLAN TEMPORARY GRADING PLAN PHASE 1 FOR THE BEACON	
PLAN PREPARED BY:  ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS	
781 Science Boulevard, Suite 100 Gahanna, Ohio 43230 ph 614.428.7750 fax 614.428.7755	
SCALE: 1"=20' DATE: 12/11/2025	SHEET C.29



EROSION AND SEDIMENT CONTROL NARRATIVE

GENERAL EROSION AND SEDIMENT CONTROL NOTES

PLAN ENGINEERS: ADVANCED CIVIL DESIGN, INC. 781 SCIENCE BLVD, SUITE 100 GAHANNA, OH 43230... PROPERTY OWNER: S & K REAL PROPERTY LLC 169 S LIBERTY ST POWELL, OH 43065... EXISTING SITE DESCRIPTION: THE EXISTING SITE CONSISTS OF AN EXISTING BUILDINGS, GRAVEL DRIVES AND OPEN, PARTIALLY WOODED PROPERTY...

PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL PROPOSED GRADE IS REACHED ON ANY PORTION OF THE SITE... SHEET FLOW RUNOFF FROM DENUDED AREAS SHALL BE FILTERED OR DIVERTED TO A SETTLING FACILITY... SEDIMENT BARRIERS SUCH AS SEDIMENT FENCE OR DIVERSIONS TO SETTLING FACILITIES SHALL PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SEDIMENT TRANSPORTED BY SHEET FLOW...

THIS PLAN MUST BE POSTED ON-SITE. A COPY OF THE SWPPP PLAN AND THE APPROVED EPA STORMWATER PERMIT (WITH THE SITE-SPECIFIC NOI NUMBER) SHALL BE KEPT ON-SITE AT ALL TIMES... STREET CLEANING (ON AN AS-NEEDED BASIS) IS REQUIRED THROUGHOUT THE DURATION OF THIS CONSTRUCTION PROJECT... ANY EXISTING STORM INLETS IMPACTED BY THE NEW CONSTRUCTION ACTIVITY WILL NEED THE APPROPRIATE INLET PROTECTION FOR SEDIMENT CONTROL.

ADJACENT AREAS: THE SITE IS BOUNDED BY EXISTING RESIDENTIAL DEVELOPMENT TO THE NORTH, BRIGHT ROAD TO THE SOUTH, BILLINGSLEY RUN TO THE EAST AND VOLUNTEER-GROWTH WOODS THAT CONTAIN A DRAINAGE SWALE AND SINGLE FAMILY RESIDENCES TO THE WEST.

Table with 2 columns: AREA REQUIRING PERMANENT STABILIZATION, TIME FRAME TO APPLY EROSION CONTROLS. Rows include areas dormant for one year or more, areas within 50 feet of a stream, and other areas at final grade.

SEDIMENT BASIN THE SEDIMENT BASIN LOCATIONS SHOWN ON THIS PLAN ARE GENERALLY LOCATED WHERE PERMANENT STORMWATER BASINS WILL BE CONSTRUCTED... SEDIMENT CLEANOUT: SEDIMENT SHALL BE REMOVED AND THE SEDIMENT BASIN RESTORED TO ITS ORIGINAL DIMENSIONS... FINAL REMOVAL: THE SEDIMENT CONTROL STRUCTURE SHALL BE REMOVED ONLY AFTER THE UPSTREAM DRAINAGE AREA IS STABILIZED...

CRITICAL AREAS: A STREAM CORRIDOR PROTECTION ZONE IS PRESENT ALONG THE BILLINGSLEY RUN ON THE NORTHERN PORTION OF THE PROPERTY.

PERMANENT SEEDING SHALL BE DONE BETWEEN MARCH 16 AND OCTOBER 14. IF SEEDING IS DONE BETWEEN OCTOBER 15 AND MARCH 15, IT SHALL BE CLASSIFIED AS TEMPORARY SEEDING... RATES OF APPLICATION: MARCH 16 TO OCTOBER 14 SEED: 50% TALL FESCUE 150 LBS./ACRE...

INSPECTIONS THE CONTRACTOR SHALL PROVIDE QUALIFIED PERSONNEL TO CONDUCT SITE INSPECTIONS ENSURING PROPER FUNCTIONALITY OF THE EROSION AND SEDIMENTATION CONTROLS... MAINTENANCE IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE SEDIMENT CONTROL FEATURES USED ON THIS PROJECT...

EROSION & SEDIMENT CONTROL MEASURES: EROSION AND SEDIMENT RUNOFF WILL BE CONTROLLED BY THE USE OF SEDIMENT FENCE, INLET PROTECTION AND SEDIMENT BASINS W/ SEDIMENT RISERS AND SKIMMERS.

MAINTENANCE: MAINTENANCE OF THE EROSION & SEDIMENT CONTROL ITEMS SHALL BE IN ACCORDANCE WITH THE NOTES LISTED WITHIN THIS PLAN.

CONSTRUCTION SEQUENCE: 1. OBTAIN PROPER CITY, COUNTY, STATE, AND FEDERAL PERMITS. 2. PRIOR TO CONSTRUCTION THE OWNER/OPERATOR SHALL COORDINATE WITH ALL CONTRACTORS AND THE CITY OF DUBLIN ENGINEER AS REQUIRED.

Table with 2 columns: AREA REQUIRING PERMANENT STABILIZATION, TIME FRAME TO APPLY EROSION CONTROLS. Rows include disturbed areas within 50 feet of a stream, areas dormant for more than 21 days, and areas dormant for more than 30 days.

CONTRACTOR PROPERTY OWNER DESIGN ENGINEER CONTRACTOR S & K REAL PROPERTY LLC ADVANCED CIVIL DESIGN, INC. TO BE DETERMINED

12. INSTALL SANITARY SEWER.

13. INSTALL STORM SEWER AND NECESSARY INLET PROTECTION. ADJUSTING INLET PROTECTION AS NECESSARY AS GRADING IS PERFORMED.

14. AS EACH AREA IS DISTURBED AND MOUNDING TAKES PLACE IN ORDER TO PROVIDE COMPACTION AND PLACEMENT OF FILL ACROSS THE SITE, EROSION CONTROL MEASURES SHALL BE USED. STOCKPILES SHALL BE SURROUNDED BY SEDIMENT FENCE AND TEMPORARY SEEDING APPLIED.

15. INSTALL WATER MAIN.

16. FINE GRADE SITE.

17. SEED AND MULCH THE SITE ACCORDING TO THE TEMPORARY AND PERMANENT SEEDING REQUIREMENTS TO REESTABLISH ALL DENUDED AREAS.

18. PAVE ROADWAYS.

19. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR SEED/MULCHED.

CONTRACTOR RESPONSIBILITY

DETAILS HAVE BEEN PROVIDED ON THE PLANS IN AN EFFORT TO HELP THE CONTRACTOR PROVIDE EROSION AND SEDIMENTATION CONTROL. THE DETAILS SHOWN ON THE PLAN SHALL BE CONSIDERED A MINIMUM. ADDITIONAL OR ALTERNATE DETAILS MAY BE FOUND IN THE S.C.S. MANUAL "WATER MANAGEMENT AND SEDIMENT CONTROL FOR URBANIZING AREAS."

THE CONTRACTOR SHALL PROVIDE A SCHEDULE OF OPERATIONS TO THE OWNER. THE SCHEDULE SHOULD INCLUDE A SEQUENCE OF THE PLACEMENT OF THE SEDIMENTATION AND EROSION CONTROL MEASURES THAT PROVIDES FOR CONTINUAL PROTECTION OF THE SITE THROUGHOUT THE EARTH MOVING ACTIVITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT OFF-SITE TRACKING OF SEDIMENTS BY VEHICLES AND EQUIPMENT IS MINIMIZED. ALL SUCH OFF-SITE SEDIMENT SHALL BE CLEANED UP DAILY.

THIS PLAN MUST BE POSTED ON-SITE. A COPY OF THE APPROVED SWPPP PLAN AND THE APPROVED EPA STORMWATER PERMIT (WITH SITE SPECIFIC NOI NUMBER) SHALL BE KEPT ON-SITE AT ALL TIMES.

STREET CLEANING (ON AN AS NEEDED BASIS) IS REQUIRED THROUGHOUT THE DURATION OF THIS CONSTRUCTION PROJECT. THIS INCLUDES SWEEPING AND POWER CLEANING AND (IF NECESSARY) MANUAL REMOVAL OF DIRT AND MUD IN THE STREET GUTTERS.

DIRECT DISCHARGE OF SEDIMENT LADEN WATER TO THE CITY'S SEWER SYSTEM OR A RECEIVING STREAM IS A VIOLATION OF OHIO EPA AND CITY OF DUBLIN REGULATIONS. THE CONTRACTOR WILL BE HELD LIABLE FOR THE VIOLATION AND SUBSEQUENT FINES.

SEDIMENT FENCE NOTES 1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE).

- 1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE). 2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPliced TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM OF A 6 INCH OVERLAP, AND SECURELY SEALED. 3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET.

SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

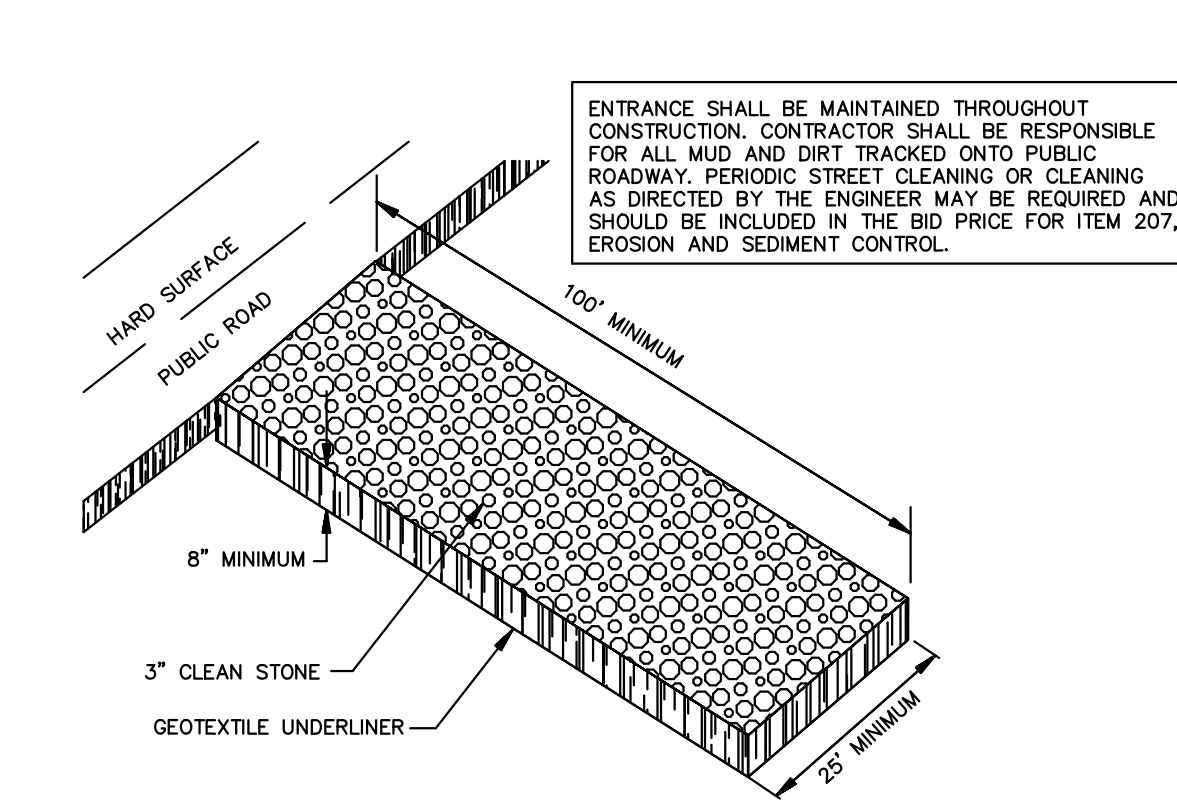
MAINTENANCE SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

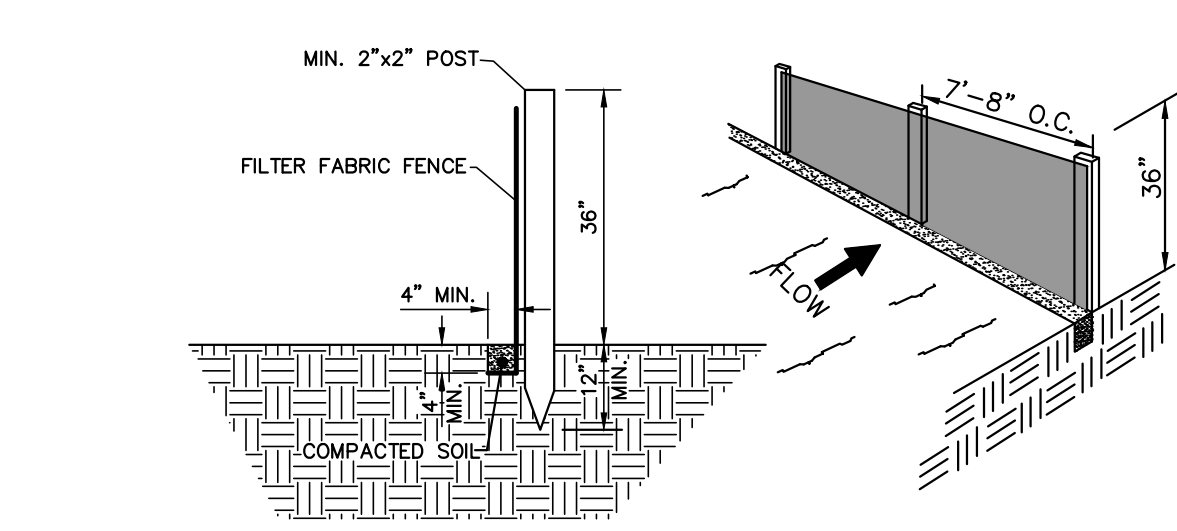
ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEED.

THE USE OF STRAW WATTLES HAS PROVEN TO BE A VERSATILE AND EFFECTIVE ESC BMP, ESPECIALLY IN RESIDENTIAL SETTINGS. STRAW WATTLES MAY BE SUBSTITUTED FOR SILT FENCE IN LINEAR INSTALLATIONS.

THE USE OF COMPOST FILTER SOCKS AND COMPOST BLANKETS ARE GAINING WIDER ACCEPTANCE NATIONWIDE. THEY ARE NOW APPROVED FOR USE ON CITY OF COLUMBUS SWP3 PLANS AND CONSTRUCTION SITES.



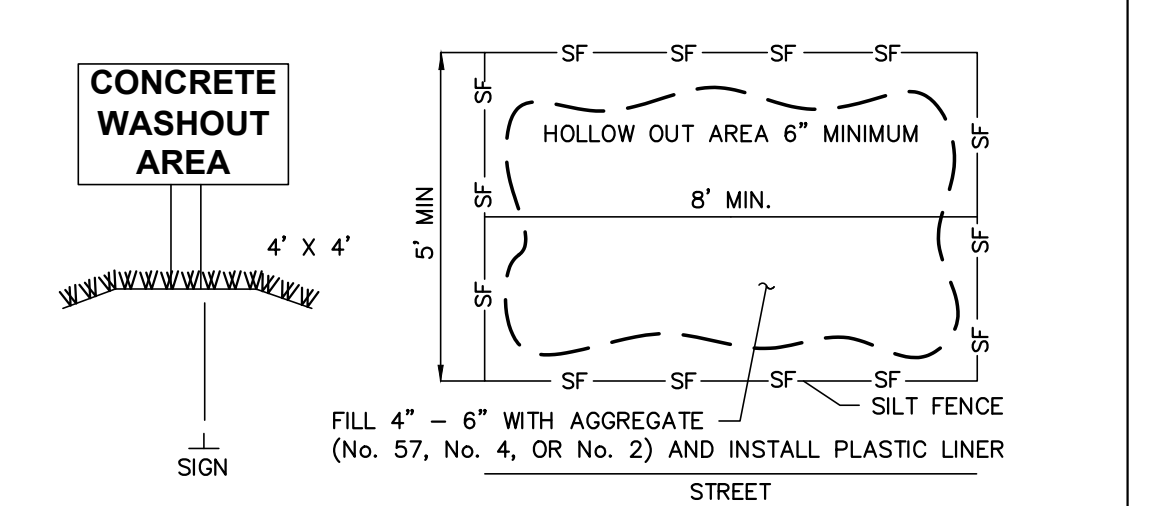
CONSTRUCTION ENTRANCE (NO SCALE)



SEDIMENT FENCE DETAIL (NO SCALE)

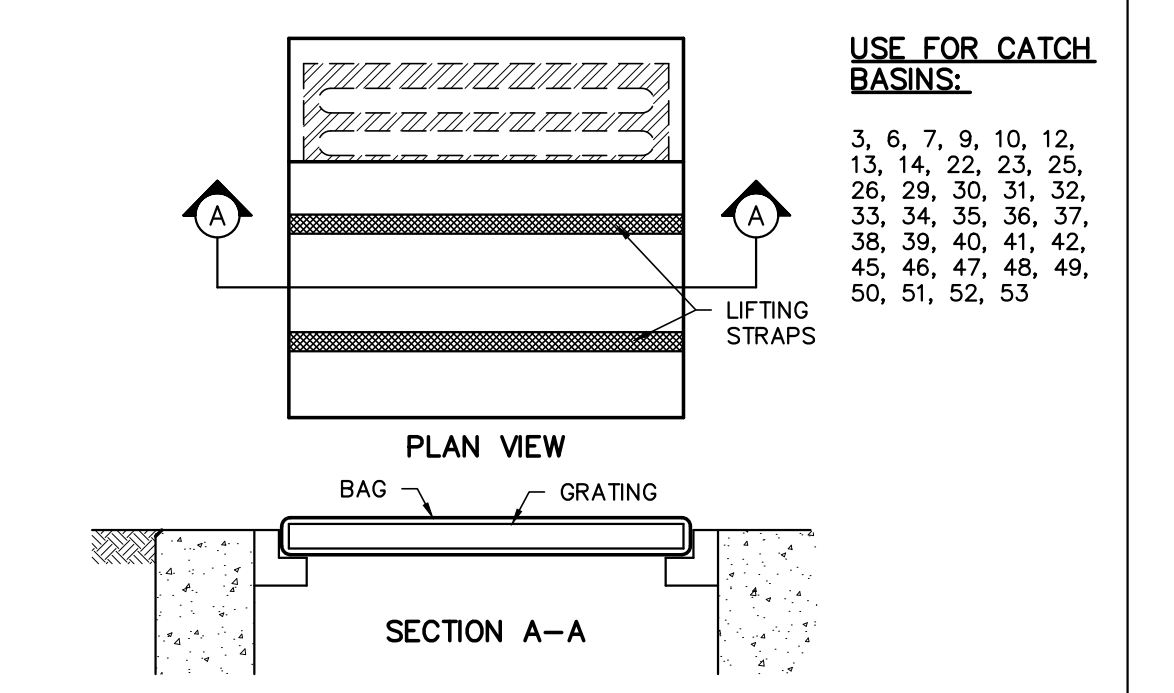
THE MAXIMUM DRAINAGE AREA TO SILT FENCE FOR A PARTICULAR SLOPE RANGE IS PROVIDED IN THE TABLE BELOW. DRAINAGE AREAS EXCEEDING THE ALLOWABLE RANGE MUST BE DIRECTED TO A BASIN OR SETTLEMENT FACILITY.

Table with 2 columns: MAXIMUM DRAINAGE AREA (N ACRES) TO 100 LINEAR FEET OF SILT FENCE, RANGE OF SLOPE FOR A PARTICULAR DRAINAGE AREA (IN PERCENT). Rows show 0.50 acres (< 2.0%), 0.25 acres (≥ 2.0% BUT < 20%), and 0.125 acres (≥ 20% BUT < 50%).



THE USE OF PORTABLE CONCRETE WASHOUT UNITS IS APPROVED (AND ENCOURAGED) FOR ALL CONSTRUCTION AREAS IN THE CITY OF DUBLIN.

CONCRETE WASHOUT AREA NO SCALE



INSTALLATION: STAND GRATE ON END. PLACE DANDY BAG OVER GRATE. ROLL GRATE OVER SO THAT OPEN END IS UP. PULL UP SLACK. TUCK FLAP IN. BE SURE END OF GRATE IS COMPLETELY COVERED BY FLAP OR DANDY BAG.

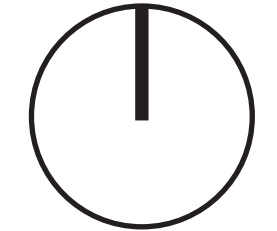
MAINTENANCE: WITH A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL REMOVE SILT & OTHER DEBRIS OFF SURFACE AFTER EACH EVENT.

CATCH BASIN PROTECTION NO SCALE

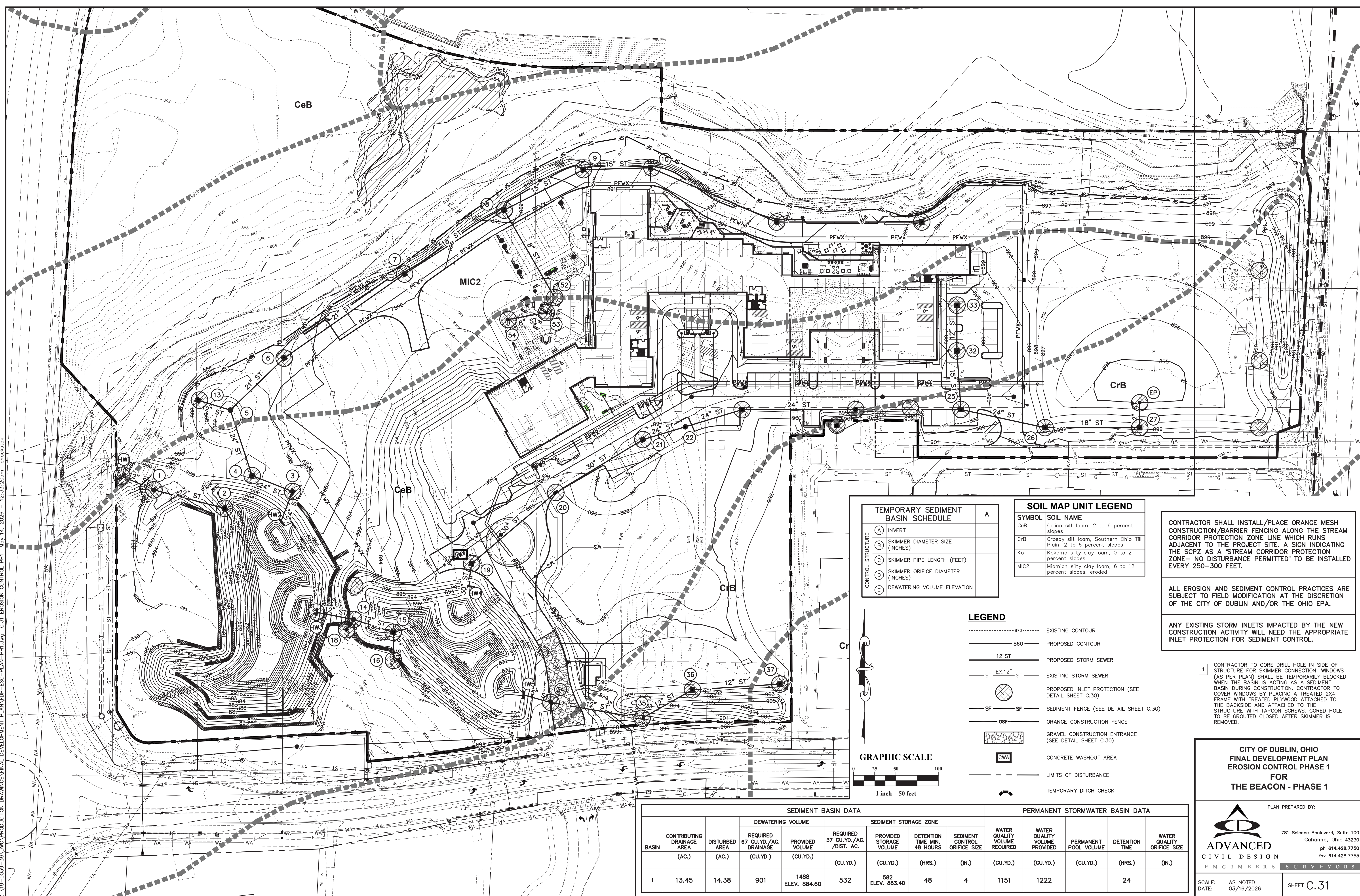
CITY OF DUBLIN, OHIO FINAL DEVELOPMENT PLAN EROSION & SEDIMENT CONTROL NOTES & DETAILS FOR THE BEACON - PHASE 1

ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS 781 Science Boulevard, Suite 100 Gahanna, Ohio 43230 ph 614.428.7750 fax 614.428.7755

SCALE: 1"=20' DATE: 03/16/2026 SHEET C.30



Z:\18-0039-39\DWG\PRODUCTION\DRAWINGS\FINAL DEVELOPMENT PLAN\FDP-ESC-PLAN-PH1.dwg C:\31 EROSION CONTROL PH1 May 14, 2026 - 12:33:20pm c:\caddok



TEMPORARY SEDIMENT BASIN SCHEDULE

CONTROL STRUCTURE	TEMPORARY SEDIMENT BASIN SCHEDULE	A
(A)	INVERT	
(B)	SKIMMER DIAMETER SIZE (INCHES)	
(C)	SKIMMER PIPE LENGTH (FEET)	
(D)	SKIMMER ORIFICE DIAMETER (INCHES)	
(E)	DEWATERING VOLUME ELEVATION	

SOIL MAP UNIT LEGEND

SYMBOL	SOIL NAME
CeB	Calina silt loam, 2 to 6 percent slopes
CrB	Crosby silt loam, Southern Ohio Till Plain, 2 to 6 percent slopes
Ko	Kokomo silty clay loam, 0 to 2 percent slopes
MIC2	Miamion silty clay loam, 6 to 12 percent slopes, eroded

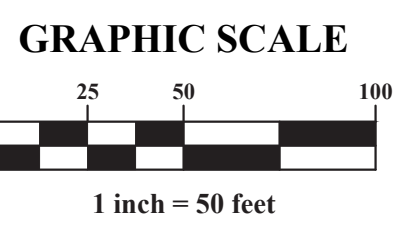
CONTRACTOR SHALL INSTALL/PLACE ORANGE MESH CONSTRUCTION/BARRIER FENCING ALONG THE STREAM CORRIDOR PROTECTION ZONE LINE WHICH RUNS ADJACENT TO THE PROJECT SITE. A SIGN INDICATING THE SCZ AS A 'STREAM CORRIDOR PROTECTION ZONE- NO DISTURBANCE PERMITTED' TO BE INSTALLED EVERY 250-300 FEET.

ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DISCRETION OF THE CITY OF DUBLIN AND/OR THE OHIO EPA.

ANY EXISTING STORM INLETS IMPACTED BY THE NEW CONSTRUCTION ACTIVITY WILL NEED THE APPROPRIATE INLET PROTECTION FOR SEDIMENT CONTROL.

LEGEND

- 870 --- EXISTING CONTOUR
- 860 --- PROPOSED CONTOUR
- 12" ST --- PROPOSED STORM SEWER
- EX.12" ST --- EXISTING STORM SEWER
- SF --- PROPOSED INLET PROTECTION (SEE DETAIL SHEET C.30)
- SF --- SEDIMENT FENCE (SEE DETAIL SHEET C.30)
- OSF --- ORANGE CONSTRUCTION FENCE
- --- GRAVEL CONSTRUCTION ENTRANCE (SEE DETAIL SHEET C.30)
- CWA --- CONCRETE WASHOUT AREA
- --- LIMITS OF DISTURBANCE
- --- TEMPORARY DITCH CHECK



1 CONTRACTOR TO CORE DRILL HOLE IN SIDE OF STRUCTURE FOR SKIMMER CONNECTION. WINDOWS (AS PER PLAN) SHALL BE TEMPORARILY BLOCKED WHEN THE BASIN IS ACTING AS A SEDIMENT BASIN DURING CONSTRUCTION. CONTRACTOR TO COVER WINDOWS BY PLACING A TREATED 2X4 FRAME WITH TREATED PLYWOOD ATTACHED TO THE BACKSIDE AND ATTACHED TO THE STRUCTURE WITH TAPCON SCREWS. CORED HOLE TO BE GROUTED CLOSED AFTER SKIMMER IS REMOVED.

BASIN	CONTRIBUTING DRAINAGE AREA (AC.)	DISTURBED AREA (AC.)	DEWATERING VOLUME				SEDIMENT STORAGE ZONE			PERMANENT STORMWATER BASIN DATA			
			REQUIRED 67 CU.YD./AC. DRAINAGE (CU.YD.)	PROVIDED VOLUME (CU.YD.)	REQUIRED 37 CU.YD./AC. /DIST. AC. (CU.YD.)	PROVIDED STORAGE VOLUME (CU.YD.)	DETENTION TIME MIN. 48 HOURS (HRS.)	SEDIMENT CONTROL ORIFICE SIZE (IN.)	WATER QUALITY VOLUME REQUIRED (CU.YD.)	WATER QUALITY VOLUME PROVIDED (CU.YD.)	PERMANENT POOL VOLUME (CU.YD.)	DETENTION TIME (HRS.)	WATER QUALITY ORIFICE SIZE (IN.)
1	13.45	14.38	901	1488 ELEV. 884.60	532	582 ELEV. 883.40	48	4	1151	1222		24	

**CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
EROSION CONTROL PHASE 1
FOR
THE BEACON - PHASE 1**

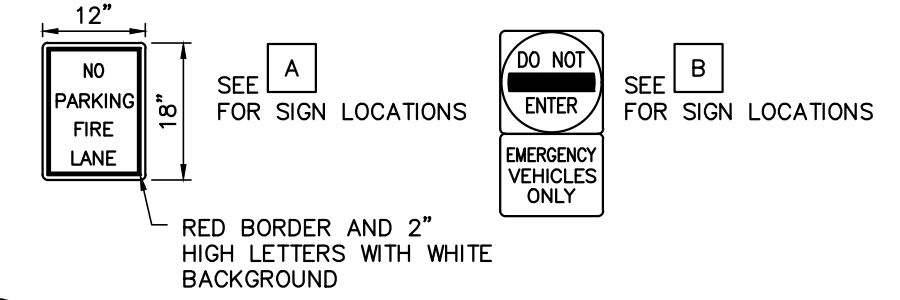
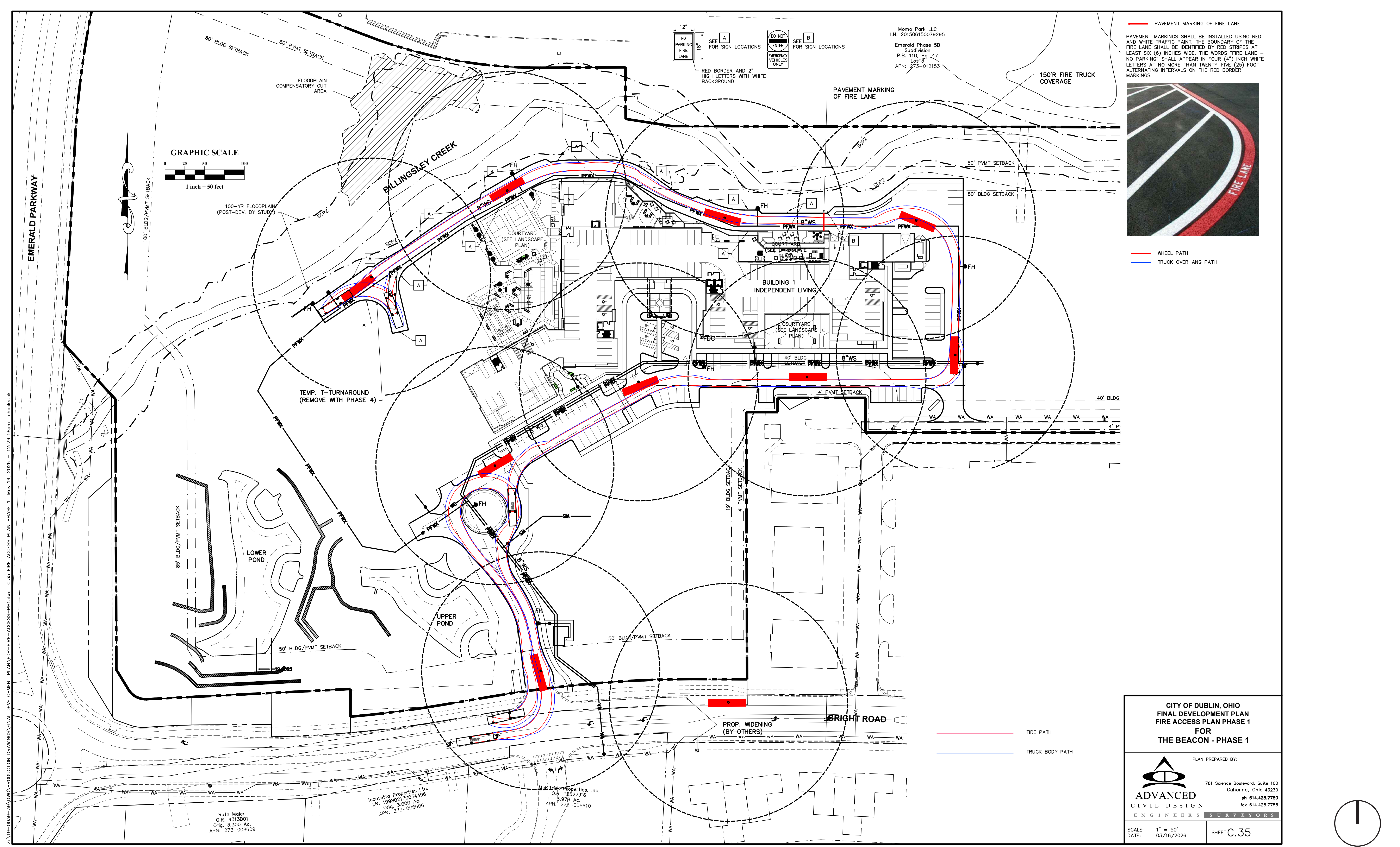
PLAN PREPARED BY:

**ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS**

781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755

SCALE: AS NOTED
DATE: 03/16/2026

SHEET C.31



Momo Park LLC
I.N. 201506150079295
Emerald Phase 5B
Subdivision
P.B. 110, Pg. 47
Lot 3
APN: 273-012153

PAVEMENT MARKING OF FIRE LANE
PAVEMENT MARKINGS SHALL BE INSTALLED USING RED AND WHITE TRAFFIC PAINT. THE BOUNDARY OF THE FIRE LANE SHALL BE IDENTIFIED BY RED STRIPES AT LEAST SIX (6) INCHES WIDE. THE WORDS "FIRE LANE - NO PARKING" SHALL APPEAR IN FOUR (4") INCH WHITE LETTERS AT NO MORE THAN TWENTY-FIVE (25) FOOT ALTERNATING INTERVALS ON THE RED BORDER MARKINGS.



— WHEEL PATH
— TRUCK OVERHANG PATH

Z:\18-0039-39\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\FDP-FIRE-ACCESS-FH1.dwg C:\35 FIRE ACCESS PLAN PHASE 1 May 14, 2026 - 12:29:58pm d:\stock

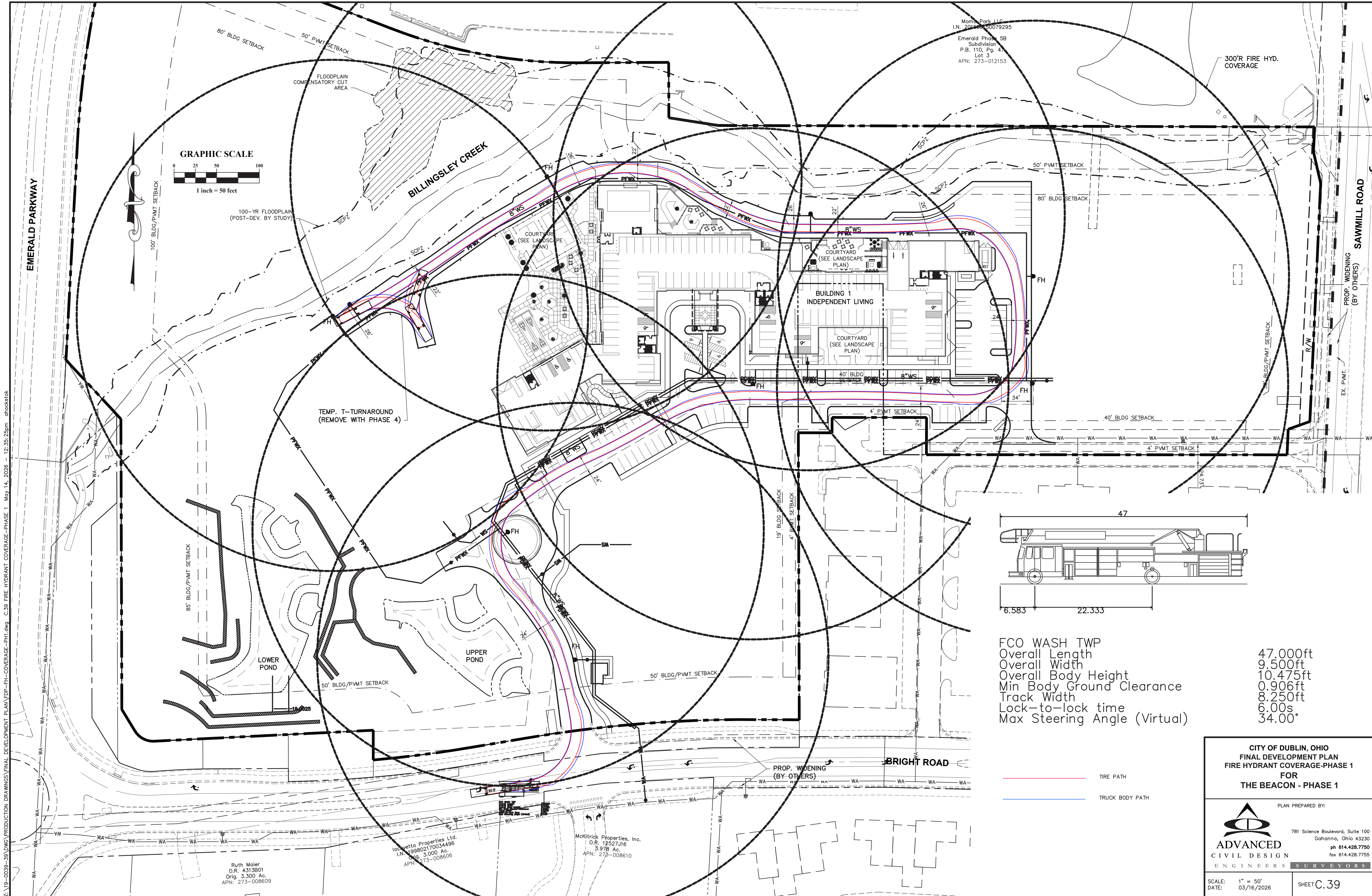
CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
FIRE ACCESS PLAN PHASE 1
FOR
THE BEACON - PHASE 1

PLAN PREPARED BY:

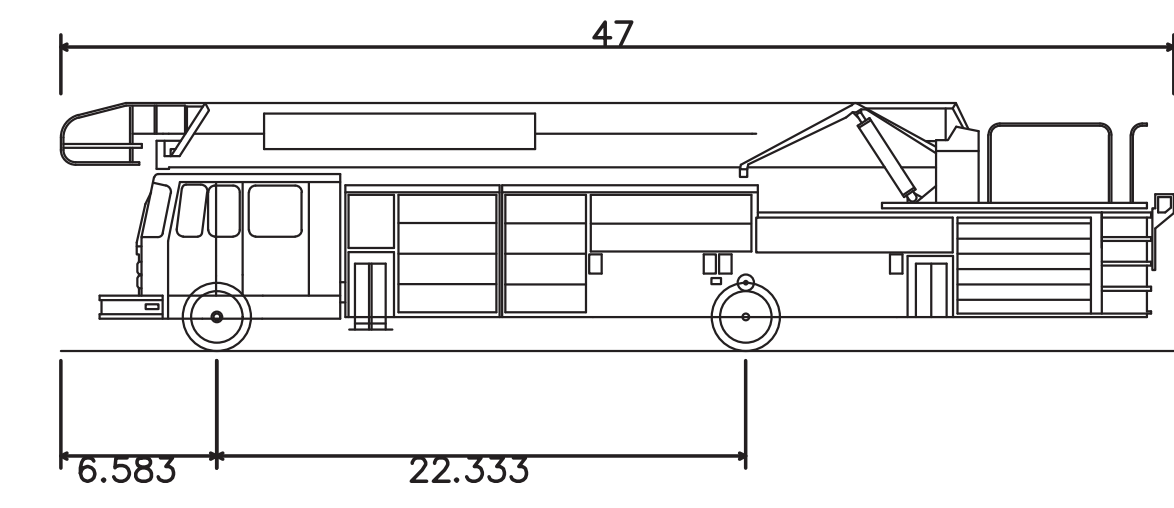
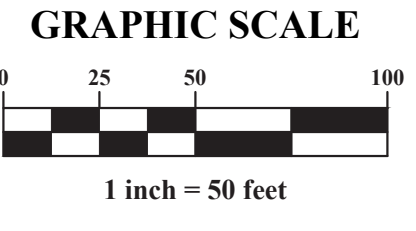
781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755

SCALE: 1" = 50'
DATE: 03/16/2026

SHEET C.35



Mom's Park LLC
 I.N. 2016-00079295
 Emerald Phase 5B
 Subdivision
 P.B. 110, Pg. 47
 Lot 3
 APN: 273-012153



FCO WASH TWP
 Overall Length 47.000ft
 Overall Width 9.500ft
 Overall Body Height 10.475ft
 Min Body Ground Clearance 0.906ft
 Track Width 8.250ft
 Lock-to-lock time 6.00s
 Max Steering Angle (Virtual) 34.00°

— TIRE PATH
 — TRUCK BODY PATH

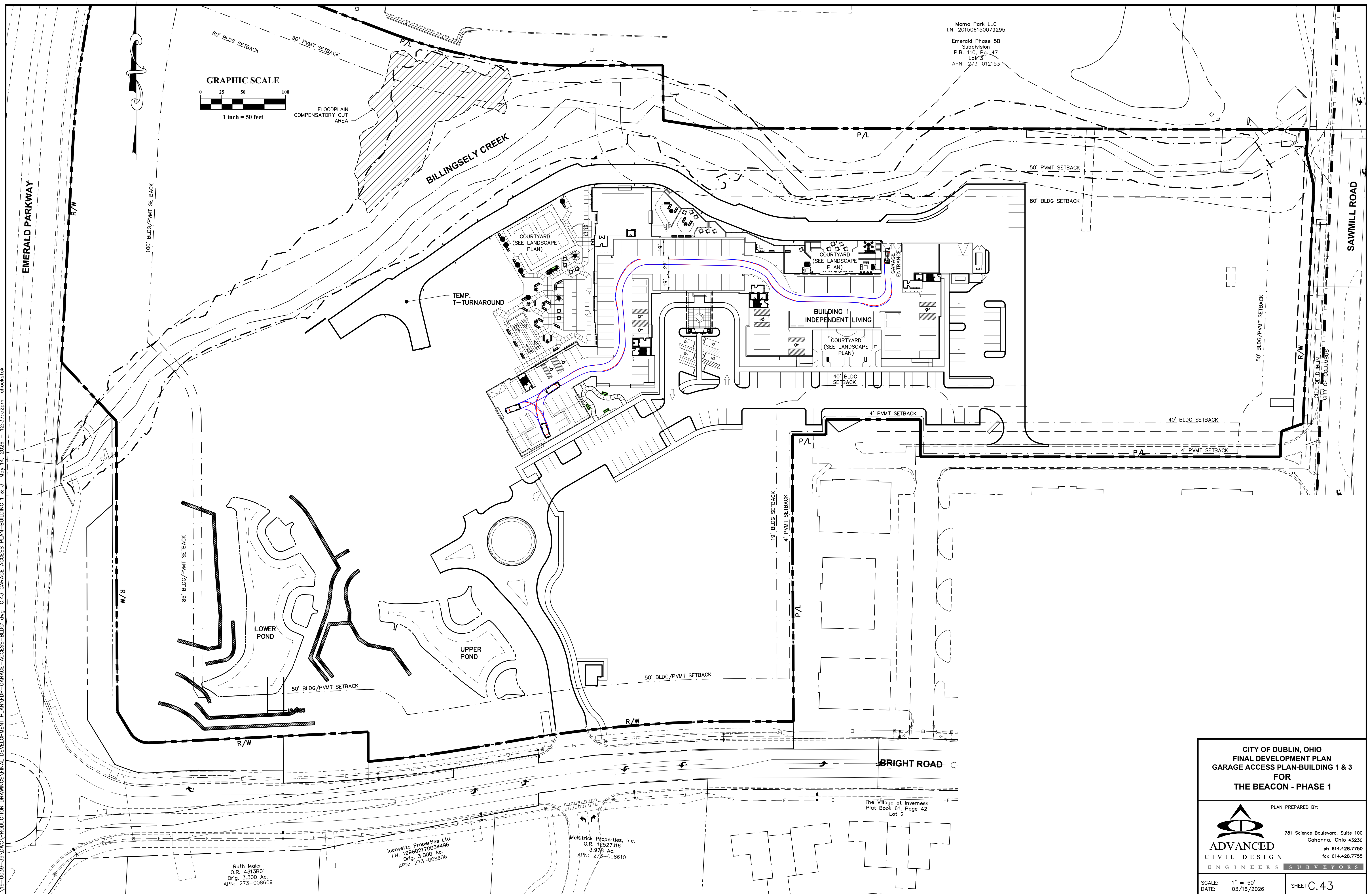
CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
FIRE HYDRANT COVERAGE-PHASE 1
FOR
THE BEACON - PHASE 1

PLAN PREPARED BY:

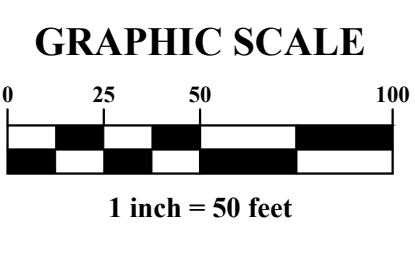
ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS
 781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

SCALE: 1" = 50'
 DATE: 03/16/2026
 SHEET C.39

19-0039-39.DWG PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\FDP--GARAGE--ACCESS--BLDG1.dwg C:\3 GARAGE ACCESS PLAN-BUILDING 1 & 3 May 14, 2026 - 12:37:52pm checked



Momo Park LLC
I.N. 201506150079295
Emerald Phase 5B
Subdivision
P.B. 110, Pg. 47
Lot 3
APN: 273-012153



FLOODPLAIN
COMPENSATORY CUT
AREA

BILLINGSLEY CREEK

COURTYARD
(SEE LANDSCAPE
PLAN)

TEMP.
T-TURNAROUND

BUILDING 1
INDEPENDENT LIVING

COURTYARD
(SEE LANDSCAPE
PLAN)

LOWER
POND

UPPER
POND

BRIGHT ROAD

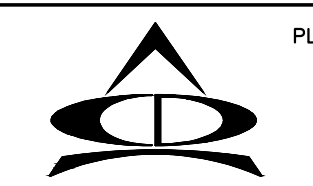
The Village at Inverness
Plat Book 61, Page 42
Lot 2

Ruth Maier
O.R. 4313801
Orig. 3,300 Ac.
APN: 273-008609

Iacovetta Properties Ltd
I.N. 199802170034496
Orig. 3,000 Ac.
APN: 273-008606

McKittrick Properties, Inc.
O.R. 12527116
5,978 Ac.
APN: 273-008610

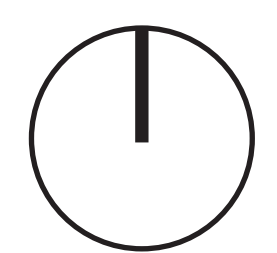
CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
GARAGE ACCESS PLAN-BUILDING 1 & 3
FOR
THE BEACON - PHASE 1



PLAN PREPARED BY:
781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755

SCALE: 1" = 50'
DATE: 03/16/2026

SHEET C.43



THE BEACON
DUBLIN, OHIO



Orange frog Design Group, LLC

FINAL DEVELOPMENT PLAN : **PHASE 01**
MAY 15, 2026


CIVIL DRAWINGS - GARAGE ACCESS PLAN - BUILDING 1 & 3

F:\19-0039-30\DWG PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\FLOODPLAIN-EX-COND.dwg C:\45 FLOODPLAIN MAP-EXISTING CONDITIONS Mar 16, 2026 4:02:38pm cecsherry



CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
FLOODPLAIN MAP-EXISTING CONDITIONS
FOR
THE BEACON - PHASE 1

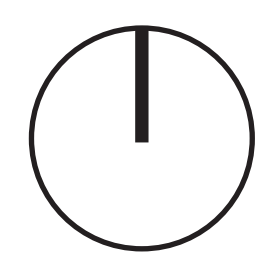
PLAN PREPARED BY:



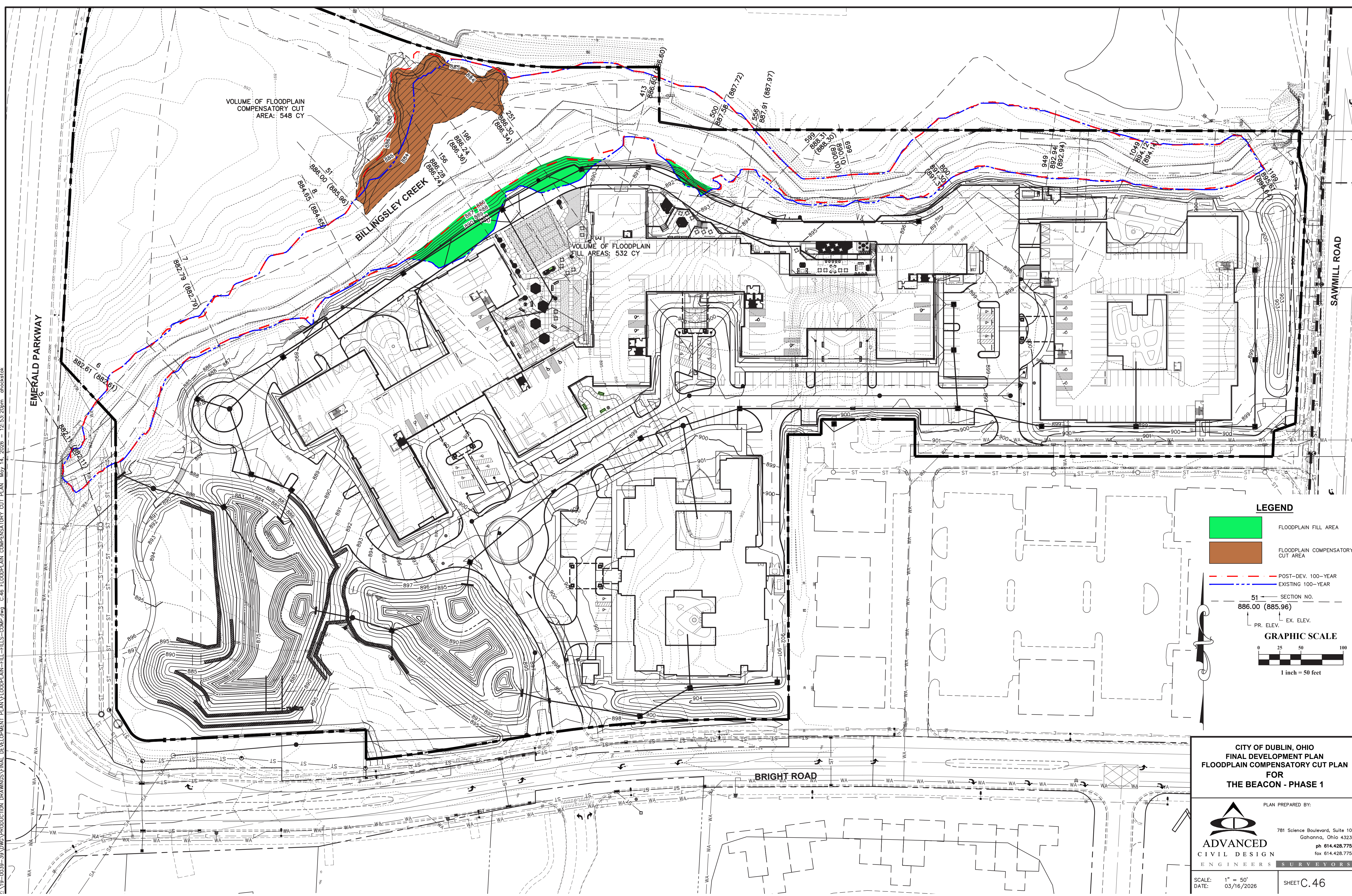
781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

SCALE: 1" = 50'
 DATE: 03/16/2026

SHEET C.45



P:\19-0039-30\DWG PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\FLOODPLAIN-FILL-FILLS-COMP.dwg C:\46 FLOODPLAIN COMPENSATORY CUT PLAN May 14, 2026 12:53:20pm ahsdskt



VOLUME OF FLOODPLAIN COMPENSATORY CUT AREA: 548 CY

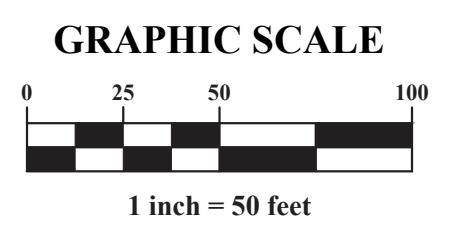
VOLUME OF FLOODPLAIN FILL AREAS: 532 CY

LEGEND

- FLOODPLAIN FILL AREA
- FLOODPLAIN COMPENSATORY CUT AREA

- POST-DEV. 100-YEAR
- EXISTING 100-YEAR

51 SECTION NO.
886.00 (885.96)
PR. ELEV. EX. ELEV.

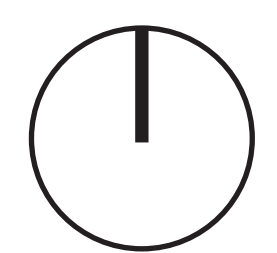


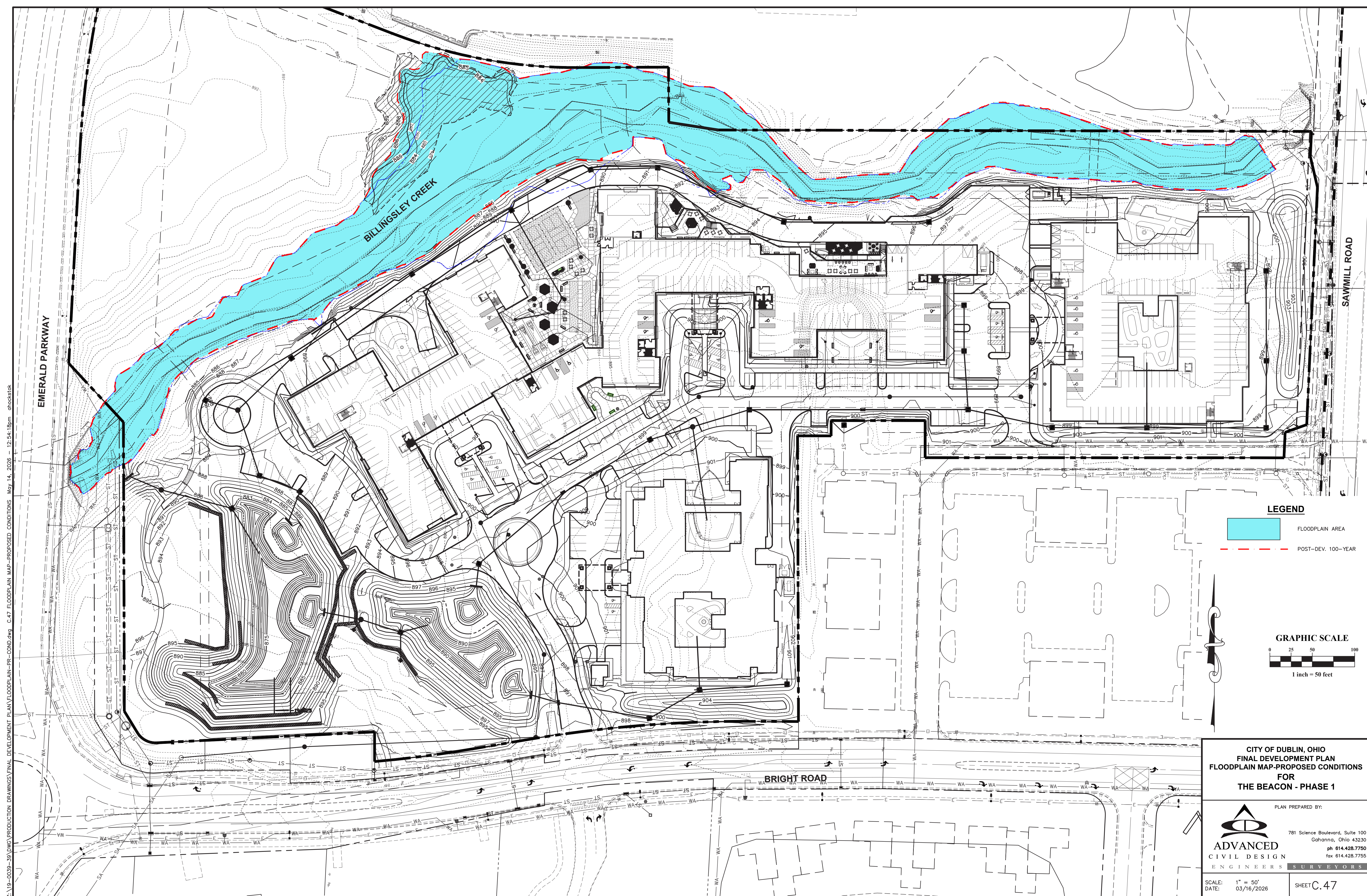
**CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
FLOODPLAIN COMPENSATORY CUT PLAN
FOR
THE BEACON - PHASE 1**

PLAN PREPARED BY:

**ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS**
781 Science Boulevard, Suite 100
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7755

SCALE: 1" = 50'
DATE: 03/16/2026 SHEET C.46





Z:\18-0039-18\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\FLOODPLAIN-PR-COND.dwg C:\7 FLOODPLAIN MAP-PROPOSED CONDITIONS May 14, 2026 12:54:18pm abroderick

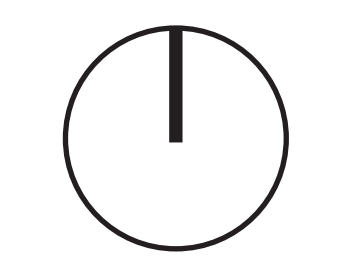
CITY OF DUBLIN, OHIO
FINAL DEVELOPMENT PLAN
FLOODPLAIN MAP-PROPOSED CONDITIONS
FOR
THE BEACON - PHASE 1

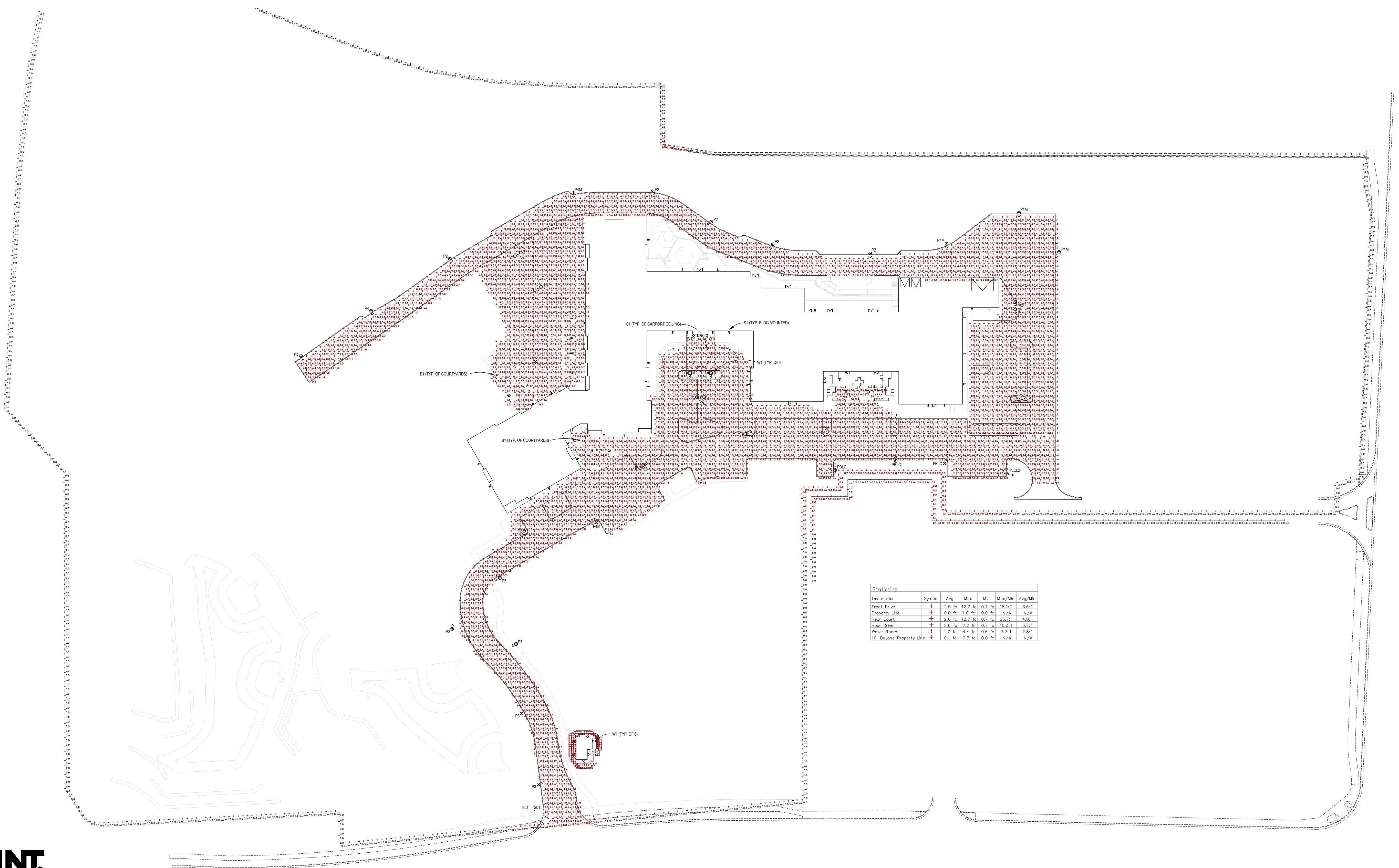
PLAN PREPARED BY:

781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755

SCALE: 1" = 50'
 DATE: 03/16/2026

SHEET C.47





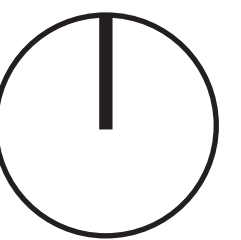
**POINT.
ONE** Design LTD.
Consulting Engineers

Columbus, OH | Cleveland, OH
P: 614-540-3500 | P: 440-230-1800
pointonedesign.com



SITE PHOTOMETRIC PLAN - PHASE I

SCALE: 1" = 40'-0"



THE BEACON
DUBLIN, OHIO



Orange frog Design Group, LLC

FINAL DEVELOPMENT PLAN : **PHASE 01**
MAY 15, 2026

PHOTOMETRIC SITE PLAN

C 102

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
⊗	C1		4	LIGHTOLIER BY SIGNIFY	CE_D115940M_LCL	CALCULITE 6IN ROUND CYL DOWNLIGHT	1	1530	1	12.7
⊙	P2		6	SIGNIFY CANADA LTD	P20-P-A06-740-12M	PureForm LED area small precision P20, 401 LED's, 4000K CCT, TYPE T5W OPTIC, 70CRI	1	12054	1	69.4669
⊙	P3		5	SIGNIFY CANADA LTD	P20-P-A06-740-13M	PureForm LED area small precision P20, 401 LED's, 4000K CCT, TYPE T5W OPTIC, 70CRI	1	12073	1	69.4669
⊙	P4		2	SIGNIFY CANADA LTD	P20-P-A06-740-14M	PureForm LED area small precision P20, 401 LED's, 4000K CCT, TYPE T5W OPTIC, 70CRI	1	12044	1	69.4669
⊙	P5		3	SIGNIFY CANADA LTD	P20-P-A06-740-15M	PureForm LED area small precision P20, 401 LED's, 4000K CCT, TYPE T5W OPTIC, 70CRI	1	11604	1	69.4669
⊙	P52		6	SIGNIFY CANADA LTD	P20-P-A06-740-15M	PureForm LED area small precision P20, 401 LED's, 4000K CCT, TYPE T5W OPTIC, 70CRI	1	11604	1	138.9338
⊙	B1		17	SIGNIFY GARDCO	PBL-14L-350-NB-G2 UNV	Bareform Gen2 - PBL Bollard	1	1608	1	17.7
⊙	SL1		2	Lithonia Lighting	OLB 85Degree ALD 61000LM 5Wx2 04K	OLB LED Bullet Floodlight 5x5 Distribution, 1000LM, 9W, 4000K	1	1069	1	8.41
⊙	S1		40	SIGNIFY Gardco LTD	GCS-B03-840-RAW	GeoForm Wall Sconce - Cylinder, 1 LED's, 4000K CCT, TYPE WAW OPTIC, Light Effects, 80CRI	1	2567	1	29.94
⊙	W1		14	WAC LIGHTING	WS-W48625	Surface-mounted Luminaire	1	605	1	22.1889
⊙	P4M		5	SIGNIFY CANADA LTD	P20-P-A06-740-14M	PureForm LED area small precision P20, 401 LED's, 4000K CCT, TYPE T5W OPTIC, 70CRI	1	11920	1	69.4669
⊙	PBLCL		3	SIGNIFY CANADA LTD	P20-P-A06-740-BLC	PureForm LED area small precision P20, 401 LED's, 4000K CCT, TYPE BLC OPTIC, 70CRI	1	8288	1	69.4669
⊙	PLCL 2		1	SIGNIFY CANADA LTD	P20-P-A06-740-LCL	PureForm LED area small precision P20, 401 LED's, 4000K CCT, TYPE LCL OPTIC, 70CRI	1	6538	1	138.9338
⊙				SIGNIFY CANADA LTD	P20-P-A06-740-LCL	PureForm LED area small precision P20, 401 LED's, 4000K CCT, TYPE LCL OPTIC, 70CRI	1	6538	1	69.4669

Site and Area

GARDCO PureForm
PBL LED bollard

B1 TO BE BLACK

Project: _____
Location: _____
Cat No: _____
Type: _____
Lamp: _____ City: _____
Notes: _____

Gardco PureForm LED bollard PBL integrates a sleek, low profile design, extraordinary light output, and energy savings into an innovative pedestrian scale luminaire. PureForm bollard features a high performance optical system designed to achieve wide spacings and full cutoff performance. Three heights available for a customized look. IP66 optics ensure dust or moisture will never interfere with performance.

Ordering guide example: PBL-42-14L-350-NB-G2-B-UNV

Luminaire	Mounting	Number of LEDs	Drive Current	LED Color - generation	Distribution	Voltage
PBL	Standard Street 30"	41	300mA	WW White	Type 3	120/277V
PBL	Standard Street 42"	40	300mA	WW White	Type 3	120/277V
PBL	Standard Street 60"	40	300mA	WW White	Type 3	120/277V

Options

Quantity Control	Mounting	Photo-voltaic	Electrical	Finish
QC	QC	PCB	FC	FC

Accessories

Service	Part Number	Description
For alignment with the bollard (order per bollard)	8240358601	KIT: PBL ANCHOR BOLTS & TEMPL

Declare:

Downlighting

LIGHTOLIER
Calculte LED 6" gen 3

C1 TO BE BLACK

Project: _____
Location: _____
Cat No: _____
Type: _____
Lamp: _____ City: _____
Notes: _____

Calculte LED 4" generation 3 provides an excellent coupling of lighting performance, quality of light, and visual aesthetic. Industry leading visual comfort and uniform illumination make it an ideal choice for office, institution, healthcare, public, and retail applications. Tunable white technology provides dynamic flexibility to fully capture application emotion and enhance behaviour by supporting biolythmics.

Standard luminaire: Order without BAC option code.

Figure

Series	Mounting	Styles	Lumens	CRCC	BET	Beam	Cleaning	Voltage	Reflector Finish	Cylinder Finish
CA	CA	DL	10 1000	967	967	N Narrow	DL	120/277V	DL	White (matte)

Pendant accessories (field adjustable) example: C543K30M

Dimensions

Surface mount: 94mm x 94mm x 127mm
Pendant mount: 127mm x 127mm x 127mm

Declare:

Site & Area

GARDCO PureForm
P20 small round area light

P20 SERIES TO BE BLACK

Project: _____
Location: _____
Cat No: _____
Type: _____
Lumens: _____ City: _____
Notes: _____

Gardco PureForm LED area small round features a sleek, low profile design and is available with two light engines. ComfortEdge optics provide a unique and lower glare lighting solution designed to enhance visual comfort for pedestrian applications, while precision optics maximize efficiency and spacing. PureForm P20 is available with multiple optical distributions with output up to 17,000 lumens. A full range of control options provides additional energy savings.

Ordering guide Example: P20-P-A06-740-13M-HB-AR1-UNV-DAL1-WAW-FC-W5

Series	Mounting	Styles	Lumens	CRCC	BET	Beam	Cleaning	Voltage	Reflector Finish	Cylinder Finish
P20	P20	DL	10 1000	967	967	N Narrow	DL	120/277V	DL	White (matte)

Options

Quantity Control	Mounting	Photo-voltaic	Electrical	Finish
QC	QC	PCB	FC	FC

Accessories

Service	Part Number	Description
For alignment with the bollard (order per bollard)	8240358601	KIT: PBL ANCHOR BOLTS & TEMPL

Declare:

Wall Mount

GARDCO GeoForm
GCM LED wall sconce

S1 SERIES TO BE BLACK

Project: _____
Location: _____
Cat No: _____
Type: _____
Lamp: _____ City: _____
Notes: _____

Gardco GeoForm cylinder medium LED wall sconce features a sleek cylindrical shape that will complement or enhance a range of architectural styles. GeoForm Cylinder is available with two light engines: precision optics which feature type 2, 3, and 4 distributions, as well as light effects optics which offer wall wash, spot, and pencil beam distributions. GeoForm with light effects can be used in up, down, or up and down configurations. Emergency battery backup option provides path-of-egress illumination. Multiple control options, including wireless interact Pro outdoor, further enhance energy savings.

Ordering guide example: GCM-B01-830-WAW-U-SFT-UNV-S2

Luminaire	Configuration Down	Color Temperature	Distribution Down	Configuration Up	Voltage
GCM	Standard Street 30"	3000K	T5W Type 2 down only	None	120/277V
GCM	Standard Street 42"	3000K	T5W Type 3 down only	None	120/277V
GCM	Standard Street 60"	3000K	T5W Type 4 down only	None	120/277V

Options

Quantity Control	Mounting	Photo-voltaic	Electrical	Finish
QC	QC	PCB	FC	FC

Accessories

Service	Part Number	Description
For alignment with the bollard (order per bollard)	8240358601	KIT: PBL ANCHOR BOLTS & TEMPL

Declare:

Contractor Select™

OLB LED Bullet Floodlight

S1 SERIES TO BE BLACK

Project: _____
Location: _____
Cat No: _____
Type: _____
Lamp: _____ City: _____
Notes: _____

Contractor Select™ OLB LED Bullet Floodlight comes ready to handle all recent lighting applications. Eliminate globe complexity with this single S1 solution that delivers dependable, adaptable illumination.

FEATURES:

- Dual lamped lens: 3x5 (SPT) or 3x2 (SPT)
- Switchable CCT
- Adjustable Lumens Output
- Selectable On/Off Dark to Dawn Protocol
- Multiple Mountings Included

Specifications

Catalog Number	CRCC	SPC	Lumens	Wattage	Height	CCT	Finish	Adjust by %	Fixture Quantity
OLB-85D-3000-3000-3000	967	967	1000/3000/3000	1	120/277V	3000K/4000K/5000K	108	20%	200

Declare:

WAC LIGHTING Chamber

Outdoor Wall Sconce 3000K

W1 SERIES TO BE BLACK

Project: _____
Location: _____

Example: WS-W48625-FK
*For 277V special order, add an "F" before the finish: WS-W48625-FZ

For custom requests please contact customers@wacighting.com

DESCRIPTION
Bold Mid-Century Modern look with intersecting aluminum frames and cutting-edge LED light.

FEATURES

- Minimal mounting hardware for easy installation
- Light engine is factory sealed for maximum protection from the elements
- Weather resistant powder coated finish
- ACLED driverless technology
- 5 year warranty

SPECIFICATIONS

Color Temp: 3000K
Input: 120VAC, 50/60Hz
CRI: 90
Dimming: ELV, 100-10%
Rated Life: 50,000 Hours
Mounting: Can be mounted on wall vertically or upside down
Standards: ETL, cETL, Title 24 JAB Compliant, Wet Location Listed, Dark Sky

FINISHES: Black, Bronze

LINE DRAWING

WS-W48625

Declare: