

LEGEND

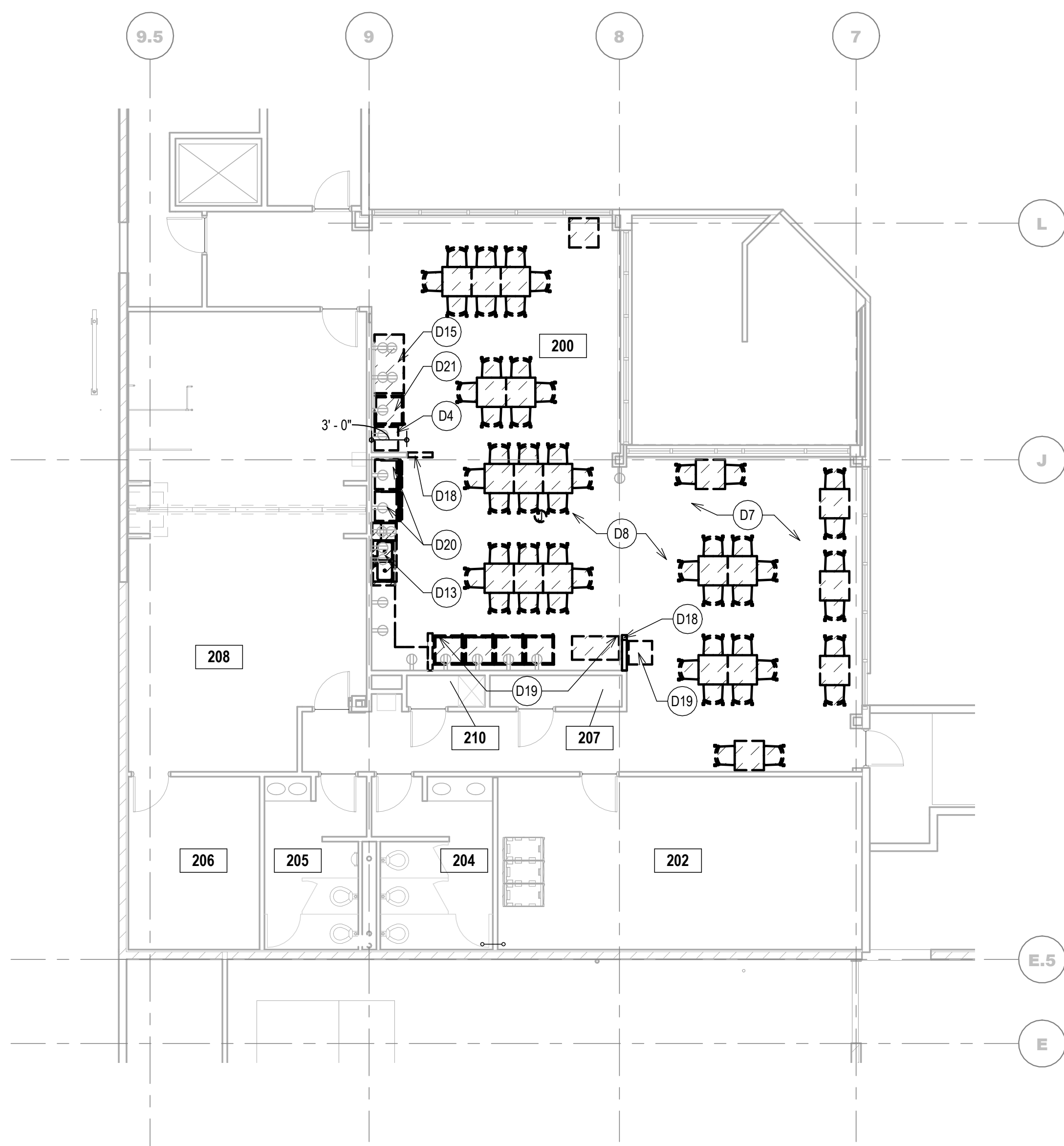
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- GENERAL DEMOLITION - DEMOLISH EXISTING BUILDING ELEMENTS WITHIN INDICATED AREA. REFERENCE KEYNOTES FOR SCOPE OF WORK.

DRAWING NOTES

- A. PROVIDE TEMPORARY PROTECTION AS REQUIRED TO MAINTAIN WEATHER PROOF ENCLOSURE.
- B. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF SEPARATION AS REQUIRED TO PROTECT PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK.
- C. PROVIDE TEMPORARY DUST-PROOF PARTITION AS REQUIRED TO PREVENT SPREAD OF DUST OF FUMES TO OCCUPIED PORTIONS OF THE BUILDING.
- D. PROVIDE UTILITY BY-PASS CONNECTIONS AS REQUIRED TO MAINTAIN CONTINUITY OF SERVICE TO OCCUPIED AREA OF BUILDING.
- E. REMOVE FINISHES AS REQUIRED FOR THE APPLICATION OF NEW FINISHES. REFERENCE ROOM FINISH SCHEDULE AND FINISH PLANS FOR ADDITIONAL INFORMATION.
- F. PROTECT EXISTING FINISHES TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
- G. ALL WALLS TO BE PARTIALLY DEMOLISHED SHALL BE TEMPORARILY SHORED AND BRACED PRIOR TO DEMOLITION TO PROVIDE ADEQUATE SUPPORT OF WALLS TO REMAIN.
- H. REMOVE CONSTRUCTION AS REQUIRED FOR NEW WORK, INCLUDING WALLS, CEILING, ETC.
- I. CONTRACTOR TO WALK BUILDING WITH OWNER OR ARCHITECT PRIOR TO DEMOLITION. OWNER WILL IDENTIFY ITEMS TO BE SALVAGED.
- J. REFERENCE 'C', 'S', 'P', 'M', AND 'E' DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.
- K. REFERENCE SPECIFICATION SECTIONS:  
01726 - EXISTING CONDITIONS  
01735 - CUTTING AND PATCHING  
02113 - SELECTIVE DEMOLITION  
AND RELATED SECTIONS FOR ADDITIONAL DETAILS AND REQUIREMENTS.
- L. REFERENCE ROOF DRAWINGS FOR ROOF RELATED DEMOLITION SCOPE.

DEMOLITION NOTES

- D1. PROVIDE TEMPORARY PARTITION DURING CONSTRUCTION TO CLOSE OFF AREA IN SCOPE OF WORK.
- D2. PROVIDE TEMPORARY PROTECTION FOR INTERIOR / CAVITY SPACE DURING CONSTRUCTION.
- D3. EXISTING WALLCOVERING AT GYPSUM BOARD COLUMN TO REMAIN. PROTECT REMAINING WALLCOVERING DURING ALL PHASES OF CONSTRUCTION.
- D4. REMOVE EXISTING COFFEE MACHINE. COORDINATE WITH OWNER.
- D5. REMOVE EXISTING GYPSUM BOARD SOFFIT.
- D6. REMOVE EXISTING ACOUSTICAL TILES AND CEILING GRID. SUSPENSION SYSTEM. NEW CEILING GRID TO BE INSTALLED IN SAME LOCATION AND HEIGHT.
- D7. REMOVE EXISTING VCT FLOORING AND WALL BASE. PREP FLOOR TO RECEIVE NEW FINISH.
- D8. OWNER TO REMOVE AND SALVAGE EXISTING FURNITURE.
- D9. REMOVE EXISTING CEILING AND CANOPY CLADDING AS REQUIRED BY STRUCTURAL REINFORCEMENT OF EXISTING ROOF FRAMING.
- D10. REMOVE EXISTING WALL AND STOREFRONT. REFERENCE 'S' DRAWINGS FOR ADDITIONAL INFORMATION.
- D11. REMOVE SECONDARY ROOF DRAIN (ABOVE).
- D12. REMOVE EXISTING EIFS AND CAST STONE CLADDING AND ASSOCIATED INSULATION DOWN TO EXTERIOR SHEATHING BOARD.
- D13. REMOVE EXISTING MILLWORK, INCLUDING SINK AND DISHWASHER. REMOVE PICTURES AND APPLIANCES. CAP, PROTECT, AND MAINTAIN ALL EXISTING PLUMBING, ELECTRICAL AND UTILITIES FOR FUTURE REUSE. REFER TO 'E' AND 'P' DRAWINGS FOR ADDITIONAL INFORMATION.
- D14. REMOVE EXISTING ACOUSTICAL TILES AND CEILING GRID SUSPENSION SYSTEM.
- D15. REMOVE EXISTING MICROWAVES AND MICROWAVE STAND. COORDINATE WITH OWNER.
- D16. EXISTING WALL TO REMAIN.
- D17. REMOVE THIS SIDE OF CANOPY CLADDING AS REQUIRED BY NEW CONSTRUCTION. REFERENCE AR802 FOR ADDITIONAL INFORMATION.
- D18. REMOVE PORTION OF WALL ONLY.
- D19. OWNER / OWNER'S VENDOR TO RELOCATE VENDING EQUIPMENT.
- D20. REMOVE EXISTING REFRIGERATORS. COORDINATE WITH OWNER.
- D21. REMOVE EXISTING GLASS MERCHANDISER. COORDINATE WITH OWNER.



DRAWING NOTES

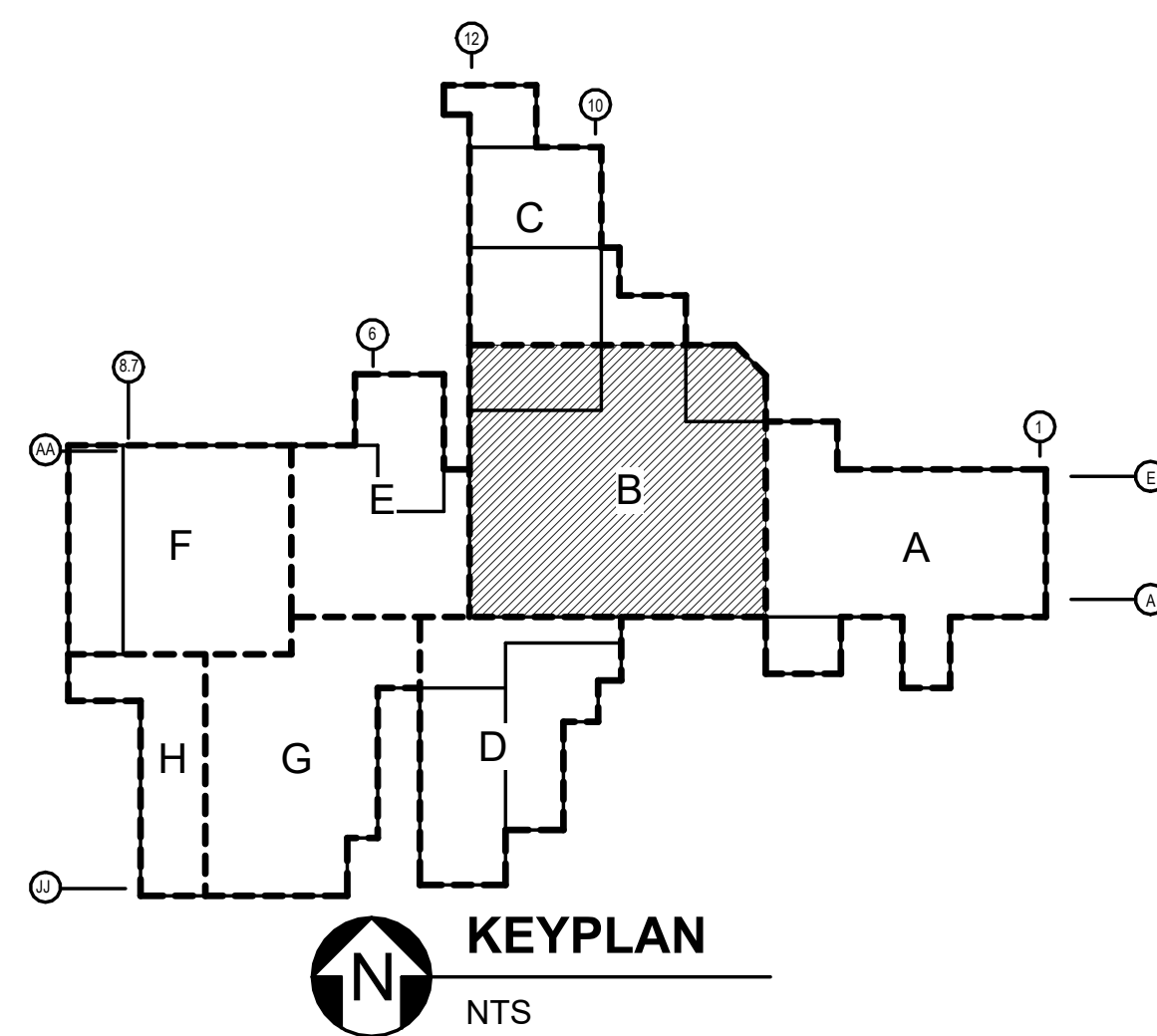
- A. REFERENCE ROOM FINISH SCHEDULE ON DRAWING AE001 FOR ALL INTERIOR FINISHES.
- B. REFERENCE DRAWING AE300 FOR ALL INTERIOR WALL TYPES.
- C. PATCH AND REPAIR WALLS AND FINISHES AS REQUIRED FROM DEMOLITION AND NEW CONSTRUCTION WORK. PREP EXISTING AND NEW SURFACES AS REQUIRED TO RECEIVE NEW WALL, FLOOR, AND CEILING FINISHES. REF. 2" W. AND 2" DWGS FOR ABANDONED WALL PENETRATIONS TO BE INFILLED.
- D. AT AREAS OF EXISTING FLOOR SLABS TO RECEIVE NEW FLOOR FINISH, PREP EXISTING FLOOR PER MANUFACTURER'S INSTALLATION REQUIREMENTS TO PROVIDE WARRANTED FLOOR SYSTEM.
- E. VERIFY FIELD CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF DISCREPANCIES THAT MAY AFFECT NEW WORK.
- F. VERIFY WITH OWNER'S REPRESENTATIVE ANY WALL MOUNTED FURNITURE OR OTHER WALL MOUNTED OWNER PROVIDED ITEMS REQUIRING BLOCKING. PROVIDE BLOCKING PER OWNER REQUIREMENTS.

KEYNOTES

1. SINK, REFERENCE 1" DRAWINGS.
2. COFFEE MACHINE FURNISHED BY OWNER, INSTALLED BY GENERAL CONTRACTOR.
3. EXISTING FIRE EXTINGUISHER CABINET TO REMAIN.
4. EXISTING MONITOR TO REMAIN.
5. WALL MOUNTED MONITOR PROVIDED BY OWNER. INSTALL FIRE RETARDANT TREATED WOOD BLOCKING IN EXISTING WALL CONTINUOUSLY FROM 48" TO 84" AFF. COORDINATE REQUIREMENTS AND FINAL LOCATION WITH OWNER AND AV VENDOR.

LEGEND

EXISTING CONSTRUCTION TO REMAIN



PARTIAL SECOND FLOOR PLAN  
1/4" = 1'-0"

| NO.                                | DATE     | BY | CHKD | APPD | REMARKS        |
|------------------------------------|----------|----|------|------|----------------|
| 1                                  | 06/15/26 | SZ | SZ   | SZ   | ADDENDUM 1     |
| 2                                  | 05/15/26 | SZ | SZ   | SZ   | ORIGINAL ISSUE |
| DUBLIN, OHIO                       |          |    |      |      |                |
| NOAC - BUILDING ADDITIONS          |          |    |      |      |                |
| ARCHITECTURAL                      |          |    |      |      |                |
| PARTIAL SECOND FLOOR PLAN - AREA B |          |    |      |      |                |
| NOAC                               |          |    |      |      |                |
| Nestle Quality Assurance Center    |          |    |      |      |                |
| PROJECT NO. 0000-00                |          |    |      |      |                |
| DRAWN BY: DATE: 01/30/26           |          |    |      |      |                |
| CHECKED BY: DATE: 06/15/26         |          |    |      |      |                |
| PROJECT NO. 0000-00                |          |    |      |      |                |
| SHEET NO. 1                        |          |    |      |      |                |
| SHEET SIZE: SCALE: AS NOTED        |          |    |      |      |                |
| SHEET NO. AE106                    |          |    |      |      |                |

LEGEND

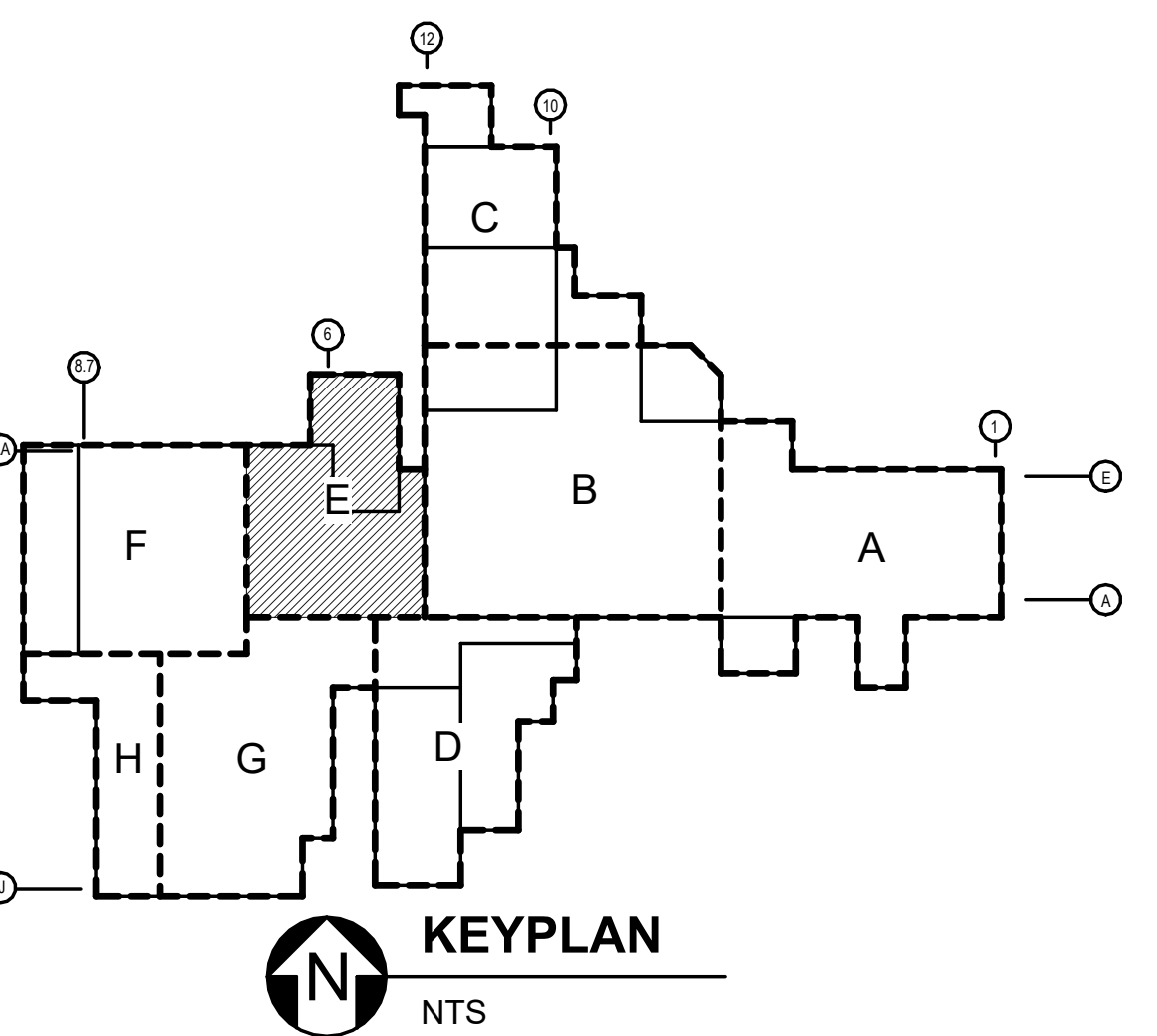
- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- CROSS HATCH INDICATES AREA TO REMAIN - NO SCOPE OF WORK THIS PROJECT

DRAWING NOTES

- A. DIMENSIONS ARE TO FINISHED FACE OF WALL, UNLESS NOTED OTHERWISE.
- B. REFERENCE ROOM FINISH SCHEDULE ON DRAWING AE001 FOR ALL INTERIOR FINISHES.
- C. REFERENCE DRAWING AE300 FOR ALL INTERIOR WALL TYPES.
- D. PROVIDE PIPE AND/OR CONDUIT PENETRATIONS THROUGH NEW AND/OR EXISTING WALLS. REF. P, M, AND E DRAWINGS FOR ADDITIONAL INFORMATION. PROVIDE RATED UL DESIGN FIRESTOPPING SEALANT ASSEMBLIES FOR ALL PENETRATIONS THROUGH RATED WALLS EQUAL TO THE RATING OF THE WALL. REF. PLANS FOR RATED WALLS. REFERENCE AE001 FOR INFORMATION ON CLOSING AND SEALING PENETRATIONS.
- E. PATCH AND REPAIR WALLS, CEILINGS, AND FINISHES AS REQUIRED FROM DEMOLITION AND NEW CONSTRUCTION WORK. PREP EXISTING AND NEW SURFACES AS REQUIRED TO RECEIVE NEW WALL, FLOOR, AND CEILING FINISHES. REFERENCE P, M, AND E DRAWINGS FOR ABANDONED WALL PENETRATIONS TO BE INFILLED.
- F. AT AREAS OF EXISTING FLOOR SLABS TO RECEIVE NEW FLOOR FINISH. PREP EXISTING FLOOR PER MANUFACTURER'S INSTALLATION REQUIREMENTS TO PROVIDE WARRANTED FLOOR SYSTEM.
- G. VERIFY FIELD CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF DISCREPANCIES THAT MAY AFFECT NEW WORK.
- H. TYPICAL DOOR CENTERLINE DIMENSION, TO A PERPENDICULAR WALL ADJACENT TO HINGE SIDE, = 1/2 DOOR WIDTH PLUS 6 INCHES, UNO.
- I. REFERENCE AE201 FOR STOREFRONT SYSTEM INFORMATION.
- J. COORDINATE DIMENSIONS INDICATED WITH AN ASTERISK (\*) WITH FINAL EQUIPMENT AND / OR FURNITURE SELECTIONS.
- K. REFERENCE SLAB PLAN, DRAWING AE103, FOR EXTENT OF NEW CONCRETE SLABS, HUB DRAIN LOCATIONS, FLOOR DRAIN LOCATIONS, ETC.
- L. REFERENCE 'E' DRAWINGS FOR CARD READERS, PUSH TO EXIT DEVICES, AND OTHER INFORMATION ON ELECTRONIC HARDWARE ITEMS.
- M. VERIFY WITH OWNER'S REPRESENTATIVE ANY WALL MOUNTED FURNITURE OR OTHER WALL MOUNTED OWNER PROVIDED ITEMS REQUIRING BLOCKING. PROVIDE BLOCKING PER OWNER REQUIREMENTS.

KEYNOTES

1. ELECTRICAL PANEL. REFERENCE 'E' DRAWINGS FOR ADDITIONAL INFORMATION.
2. WALL MOUNTED MONITOR PROVIDED BY OWNER. INSTALL FIRE RETARDANT TREATED WOOD BLOCKING IN WALL CONTINUOUSLY FROM 48" TO 72" AFF. COORDINATE REQUIREMENTS AND FINAL LOCATION WITH OWNER AND AV VENDOR.
3. TRANSFORMER. REFERENCE 'E' DRAWINGS FOR ADDITIONAL INFORMATION.
4. HOLD METAL STUD WALL TIGHT TO COLUMN. WALL TO BE TYPE 3/8" METAL STUDS WITH ONE LAYER 5/8" GYPSUM BOARD, EXTENDS TO UNDERSIDE OF ROOF DECK.
5. COLUMN TO BE PAINTED PER AE001.
6. FULLY RECESSED FIRE EXTINGUISHER. REFERENCE SPECIFICATION 104413 FOR ADDITIONAL INFORMATION.
7. COFFEE MACHINE FURNISHED BY OWNER. INSTALLED BY GENERAL CONTRACTOR.
8. HOLD METAL STUD WALL TIGHT TO EXISTING STOREFRONT.
9. SINK. REFERENCE 'P' DRAWINGS.
10. DOWNSPOUTS. REFERENCE AR802 FOR ADDITIONAL INFORMATION.
11. REFERENCE CEILING PLAN FOR PARTITION WALL LOCATION.
12. SIDE BY SIDE REFRIGERATOR FREEZER COMBO FURNISHED BY OWNER. INSTALLED BY GENERAL CONTRACTOR.
13. GLASS VENDING MERCHANDISER. NOT IN CONTRACT.
14. GLASS EMPLOYEE MERCHANDISER FURNISHED BY OWNER. INSTALLED BY GENERAL CONTRACTOR.
15. VENDING MERCHANDISING SHELF. NOT IN CONTRACT.
16. VENDING KIOSK. NOT IN CONTRACT.
17. PROVIDE A LEVEL 5 GYPSUM BOARD FINISH AT THIS WALL DUE TO PROJECTION REQUIREMENTS. WALL TO BE PAINTED WP1 FLAT FINISH.
18. CORNER GUARD. REFERENCE FINISH MATERIAL CODE FOR ADDITIONAL INFORMATION. CONFIRM FINAL CORNER GUARD LOCATIONS AND HEIGHT WITH OWNER.
19. ALIGN FACE OF STUD WITH FACE OF COLUMN. APPLY ONE LAYER OF GYPSUM BOARD OVER COLUMN AND STUD. GYPSUM BOARD TO SPAN FROM FLOOR TO BOTTOM OF BULKHEAD ABOVE.
20. COUNTERTOP ICE MACHINE FURNISHED BY OWNER. INSTALLED BY GENERAL CONTRACTOR.
21. CLEANOUT. REFERENCE 'P' DRAWINGS FOR ADDITIONAL INFORMATION.



| NO.                               |  | DATE                  | BY | CHKD                                   | APPD | REMARKS        |
|-----------------------------------|--|-----------------------|----|----------------------------------------|------|----------------|
| 1                                 |  | 09/15/26              | SZ | SZ                                     | SZ   | BULLETIN 1     |
| 2                                 |  | 09/15/26              | SZ | SZ                                     | SZ   | ADDENDUM 1     |
| 3                                 |  | 05/15/26              | SZ | SZ                                     | SZ   | ORIGINAL ISSUE |
| DUBLIN, OHIO                      |  |                       |    |                                        |      |                |
| NOAC - BUILDING ADDITIONS         |  |                       |    |                                        |      |                |
| ARCHITECTURAL                     |  |                       |    |                                        |      |                |
| PARTIAL FIRST FLOOR PLAN - AREA E |  |                       |    |                                        |      |                |
| PROJECT NO.                       |  | NOAC                  |    | NESTLE QUALITY ASSURANCE CENTER (NOAC) |      |                |
| DRAWN BY                          |  | DATE                  |    | ADDRESS                                |      |                |
| CHECKED BY                        |  | DATE                  |    | CITY/STATE                             |      |                |
| PROJECT NO.                       |  | DATE                  |    | TEL NO/FAX                             |      |                |
| REV NO.                           |  | DATE                  |    | E-MAIL                                 |      |                |
| SHEET NO.                         |  | SHEET SIZE            |    | SCALE                                  |      |                |
| 0000-00                           |  | 24" x 36"             |    | 1/4" = 1'-0"                           |      |                |
| MATTHEW A. SPANGLER               |  | ARC: 1/17/09          |    | EXP. DATE                              |      |                |
| 12/31/2027                        |  | 0433-0000-00 AE108-26 |    | AE108                                  |      |                |

PARTIAL FIRST FLOOR PLAN

1/4" = 1'-0"

A. REFER TO CIVIL DRAWINGS FOR FINAL GRADE ELEVATIONS.

B. REFERENCE SHEET AE602 FOR EXTERIOR ALUMINUM STOREFRONT WINDOW ELEVATIONS.

C. REFER TO 'AE300' SERIES DRAWINGS FOR ADDITIONAL EXTERIOR WALL INFORMATION.

1. LIGHTING - REFERENCE 'E' DRAWINGS.
2. CUSTOMIZED ALUMINUM STOREFRONT MULLION TO MATCH CONSTRUCTION AND FINISH OF ADJACENT ALUMINUM STOREFRONT SYSTEM. REFERENCE 11AE401 AND SPECIFICATION 061010 FOR ADDITIONAL INFORMATION.
3. EXISTING ADJACENT BUILDING CONSTRUCTION.
4. LINE OF ROOF BEHIND.
5. EXTERIOR STOREFRONT TYPE 'B'. REFERENCE SHEET AE602 FOR ADDITIONAL INFORMATION.
6. EXTERIOR STOREFRONT TYPE 'D'. REFERENCE SHEET AE602 FOR ADDITIONAL INFORMATION.
7. EXTERIOR STOREFRONT TYPE 'C'. REFERENCE SHEET AE602 FOR ADDITIONAL INFORMATION.
8. DOWNSPOUT TIE-IN TO UNDERGROUND STORM LINE. REFERENCE 'A' SERIES DRAWINGS AND 'C' DRAWINGS FOR ADDITIONAL INFORMATION.
9. EXISTING CANOPY TO REMAIN.
10. EXISTING CANOPY DRAIN TO REMAIN.
11. 1' x 4' x 8" SECONDARY DRAIN. REFERENCE AR800 SERIES DRAWINGS FOR ADDITIONAL INFORMATION.
12. EXISTING VESTIBULE TO REMAIN.
13. ALIGN VERTICAL E/F'S REVEAL WITH STOREFRONT MULLION.
14. HORIZONTAL REVEALS IN E/F'S TO MATCH EXISTING ADJACENT CONSTRUCTION.

|          |                                                                                                                   |
|----------|-------------------------------------------------------------------------------------------------------------------|
| 042100 A | UNIT MASONRY - 4" NOMINAL<br>PRODUCT: BURNISHED CMU<br>COLOR: NIAGRA<br>SEALER: PHYTON ACRYLIC                    |
| 072400 A | EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)<br>(DRYBILT #104 DOVER SKY, LYMESTONE PWR FINISH)                    |
| E        | CUSTOMIZED EIFS EXTRUSION<br>(MATCH COLOR, TEXTURE AND PROFILE OF EXISTING<br>ADJACENT CONSTRUCTION, REF 1/AE300) |
| 075400 B | PARAPET COPING<br>(MATCH EXISTING BUILDING<br>MFG: IMETCO,<br>COLOR: PREWEATHERED GALVALUME)                      |



**DELETED**

| HIXSON                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |  | NO                                                                                                                                                                                                                                       | DATE     | BY                                         | CHKD | APPRO                                          | REMARKS        |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|--------------------------------------------|------|------------------------------------------------|----------------|
| 859 Van Meter Street<br>Cincinnati, OH 45220-1568<br>1513.241.1230<br>www.hixson-inc.com                                                                                                                                                                                                                                                                                                                                                                                                                                                      |  | Δ                                                                                                                                                                                                                                        | 01/16/06 | SZ                                         | SZ   | SZ                                             | BULLETIN 1     |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |  | Δ                                                                                                                                                                                                                                        | 01/16/06 | SZ                                         | SZ   | SZ                                             | ADDENDUM 1     |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |  | Δ                                                                                                                                                                                                                                        | 01/16/06 | SZ                                         | SZ   | SZ                                             | ORIGINAL ISSUE |
| <b>DUBLIN, OHIO</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |  |                                                                                                                                                                                                                                          |          |                                            |      |                                                |                |
| <b>NQAC - BUILDING ADDITIONS</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |                                                                                                                                                                                                                                          |          |                                            |      |                                                |                |
| <b>ARCHITECTURAL</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |  |                                                                                                                                                                                                                                          |          |                                            |      |                                                |                |
| <b>PARTIAL BUILDING ELEVATIONS</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |  |                                                                                                                                                                                                                                          |          |                                            |      |                                                |                |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                          |  | <b>ORIGINATOR:</b><br><b>NESTLE QUALITY ASSURANCE CENTER (NQAC)</b><br><b>ADDRESS:</b> 6000 ETTERMAN ROAD<br><b>CITY:</b> DUBLIN, OHIO 43017-6936<br><b>PHONE:</b> 614.740.0000<br><b>FAX:</b> 614.740.0000<br><b>WWW:</b> www.nqaac.com |          |                                            |      |                                                |                |
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| DRAWN BY: DATA<br>DCH<br>DATE: 01/16/06                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |  | CHECKED BY: DATA<br>DCH<br>DATE: 01/16/06                                                                                                                                                                                                |          | APPROVED BY: DATA<br>DCH<br>DATE: 01/16/06 |      | DATE ISSUED:<br>01/16/06<br>SHEET SIZE: SCALE: |                |
| DWG. FILE:<br>043-0000-00                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |  | 2                                                                                                                                                                                                                                        |          | 2                                          |      | SHEET NO:<br>SHEET NO:                         |                |
| <b>2</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |  |                                                                                                                                                                                                                                          |          |                                            |      |                                                |                |
| <b>AE201</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |  |                                                                                                                                                                                                                                          |          |                                            |      |                                                |                |

WALL TYPE MATERIAL

A AND B = METAL STUD AND GYP BD

F = METAL CHANNEL AND/OR STUD AND GYP BD

M = MASONRY

HA HEAD CONDITION: (H)  
HA = EXTEND ABOVE CEILING (HEIGHT AS INDICATED)  
HS = EXTEND TO UNDERSIDE OF STRUCTURE ABOVE

00  
A  
H  
F

ANCILLARY DESIGNATION: (A)  
A1 = SOUND ATTENUATION BLANKET  
A3 = BATT/INSULATION  
REF SPEC 09216

FLOOR CONDITION: (F)  
FS = EXTEND FROM TOP OF SLAB  
FF = EXTEND FROM TOP OF FOOTING

METAL CHANNEL, METAL STUD, MASONRY  
AND/OR COLD STORAGE WALL PANEL SIZE

00 = 7/8"  
0 = 1 1/2"  
1 = 1 5/8"  
2 = 2 1/2"  
3 = 3 5/8"  
4 = 4"  
5 = 5"  
6 = 6"  
8 = 8"  
10 = 10"  
12 = 12"

HA  
A3  
FS  
A1

EXAMPLE OF A 3 5/8" METAL STUD AND  
GYP BD WALL WITH SOUND  
ATTENUATION INSULATION THAT  
EXTENDS FROM TOP OF SLAB  
TO ABOVE CEILING.

A. REFERENCE INTERIOR METAL STUD BRACING SCHEDULE

B. REFERENCE ROOM FINISH SCHEDULE AND/OR REFLECTED CEILING PLANS FOR CEILING HEIGHTS, SOFFIT HEIGHTS, MATERIALS, AND LOCATIONS.

C. ALL HANGING LOADS SUPPORTED BY ANY WALL MUST BE VERIFIED WITH THE FURNITURE, SHELVING, ETC. MANUFACTURER PRIOR TO CONSTRUCTION. PROVIDE ADDITIONAL SUPPORT AS REQUIRED.

D. REFERENCE FLOOR PLANS FOR LOCATIONS OF FIRE RATED WALLS.

E. FOR WALLS WITH SOUND ATTENUATION INSULATION NOT EXTENDING TO THE STRUCTURE ABOVE, PROVIDE SOUND ATTENUATION INSULATION ABOVE CEILING 4" THICK HORIZONTALLY EACH SIDE OF THE PARTITION. DO NOT EXTEND INSULATION OVER LIGHT FIXTURES AND DIFFUSERS.

|       |   |                                              |
|-------|---|----------------------------------------------|
| 03020 | A | CAST-IN-PLACE CONCRETE SLABS                 |
| 04210 | A | UNIT MASONRY - 4" NOMINAL                    |
|       | B | UNIT MASONRY - 8" NOMINAL                    |
|       | C | FLASHING                                     |
| 07240 | E | CUSTOMIZED EIFS EXTRUSION                    |
| 05310 | A | STEEL DECK                                   |
| 05420 | A | COLD FORMED METAL FRAMING                    |
| 07210 | A | BUILDING INSULATION                          |
|       | B | SAFING INSULATION                            |
|       | C | EXPOSED-IN-PLACE INSULATION                  |
| 07240 | A | EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) |
|       | B | FLUID APPLIED AIR BARRIER                    |
|       | C | BUILDING INSULATION                          |
|       | D | FLASHING                                     |
| 07540 | A | ROOFING SYSTEM                               |
| 08110 | A | HOLLOW METAL DOORS AND FRAMES                |
| 08410 | A | ALUMINUM STOREFRONT                          |
|       | B | CUSTOMIZED ALUMINUM MULLION                  |
| 09216 | A | GYPSUM BOARD                                 |
|       | B | 5/8" TYPE X GYPSUM BOARD                     |
|       | C | 1/2" EXTERIOR GYPSUM SHEATHING               |
| 09226 | B | NON-LOAD BEARING METAL FRAMING               |
| 09500 | A | ACOUSTICAL CEILINGS                          |

The image contains two technical drawings of a roof curb detail, labeled 'SECTION' and 'SIDE ELEVATION'.

**SECTION:** This drawing shows a cross-section of the roof curb. The roof deck is shown with a corrugated metal profile. Above the deck, there is a layer of 'FILL FLUTE VOIDS W/ SAFING INSULATION (072100)'. Below the deck, there is a '3" x 3", 25 GA CONT ANGLE' supported by a 'C-H STUD'. A 'SMOKE SEAL CAULK (072100)' is applied to the joint between the curb and the roof deck. The curb itself is a '5/8" TYPE X GYP BD, CUT GYP BD TO MATCH METAL DECK FLUTE PROFILE FOR WALLS PERPENDICULAR TO DECKING'.

**SIDE ELEVATION:** This drawing shows the side view of the curb. It shows the '3" x 3", 25 GA CONT ANGLE' and the 'SMOKE SEAL CAULK (072100)' applied to the joint between the curb and the roof deck.

**NOTE:** DO NOT ATTACH STUDS TO RUNNER

**NOTE:** AT FIRE RATED WALLS REFER SAE300

Figure 1: Detail of a wall and floor assembly. The diagram shows a cross-section of a wall and floor. The wall is composed of a brick masonry unit (hatched pattern) and a concrete block (stippled pattern). The floor is composed of a concrete slab (stippled pattern) and a brick masonry unit (hatched pattern). A 1/2 inch gap is shown between the wall and the floor. Labels 042100 A and 042100 C point to the wall and floor components respectively.

Technical drawing of a roof cross-section. The drawing shows a series of vertical lines representing insulation or structural layers. Key dimensions and labels include:

- Top horizontal dimension: 0' - 3"
- Vertical dimension on the right: 3' 3 3/4"
- Vertical dimension on the right: 15' 0"
- Vertical dimension on the right: 7' 9 1/16"
- Vertical dimension on the right: 1' 2"
- Labels on the right: 072400 and 042100

|  |                                               | <b>VERTICAL STUDS EXTEND FROM FLOOR TO STRUCTURE ABOVE.<br/>(BASED ON NON-COMPOSITE DESIGN)</b>                                                                                                                                                                                                                                                                          |                              |                                               |                                          |        |       |        |   |        |        |   |        |     |  |
|-------------------------------------------------------------------------------------|-----------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------|-----------------------------------------------|------------------------------------------|--------|-------|--------|---|--------|--------|---|--------|-----|--|
|  |                                               | <table border="1"> <thead> <tr> <th>VERTICAL STUD DEPTH (INCHES)</th><th>25 GA UNBRACED WALL AT 16" OC MAX HEIGHT</th><th>25 GA UNBRACED WALL AT 24" OC MAX HEIGHT</th></tr> </thead> <tbody> <tr> <td>3-5/8</td><td>7'-2"</td><td>10'-2"</td></tr> <tr> <td>4</td><td>13'-2"</td><td>10'-9"</td></tr> <tr> <td>6</td><td>18'-0"</td><td>---</td></tr> </tbody> </table> | VERTICAL STUD DEPTH (INCHES) | 25 GA UNBRACED WALL AT 16" OC MAX HEIGHT      | 25 GA UNBRACED WALL AT 24" OC MAX HEIGHT | 3-5/8  | 7'-2" | 10'-2" | 4 | 13'-2" | 10'-9" | 6 | 18'-0" | --- |  |
| VERTICAL STUD DEPTH (INCHES)                                                        | 25 GA UNBRACED WALL AT 16" OC MAX HEIGHT      | 25 GA UNBRACED WALL AT 24" OC MAX HEIGHT                                                                                                                                                                                                                                                                                                                                 |                              |                                               |                                          |        |       |        |   |        |        |   |        |     |  |
| 3-5/8                                                                               | 7'-2"                                         | 10'-2"                                                                                                                                                                                                                                                                                                                                                                   |                              |                                               |                                          |        |       |        |   |        |        |   |        |     |  |
| 4                                                                                   | 13'-2"                                        | 10'-9"                                                                                                                                                                                                                                                                                                                                                                   |                              |                                               |                                          |        |       |        |   |        |        |   |        |     |  |
| 6                                                                                   | 18'-0"                                        | ---                                                                                                                                                                                                                                                                                                                                                                      |                              |                                               |                                          |        |       |        |   |        |        |   |        |     |  |
|  |                                               | <b>PARTIAL HEIGHT WALL WITH TOP TRACK WALL CAP.<br/>TRACK DEPTH MATCHES VERTICAL STUD DEPTH.<br/>DIAGONAL MEMBERS BRACE TOP TRACK TO STRUCTURE ABOVE.<br/>SCHEDULE DIAGONAL BRACING AS INDICATED IN SCHEDULE.<br/>TOP TRACK IS EITHER 25 GAGE WITH 1" LEG OR 22 GAGE WITH 1 1/4" LEG.<br/>REF ABOVE FOR MAXIMUM UNBRACED WALL HEIGHT.</b>                                |                              |                                               |                                          |        |       |        |   |        |        |   |        |     |  |
|  |                                               | <table border="1"> <thead> <tr> <th>VERTICAL STUD DEPTH (INCHES)</th><th>DIAGONAL BRACE SPACING (MAX)<br/>25 GAGE TRACK</th></tr> </thead> <tbody> <tr> <td>3-5/8</td><td>5'-6"</td></tr> <tr> <td>4</td><td>5'-4"</td></tr> <tr> <td>6</td><td>6'-6"</td></tr> </tbody> </table>                                                                                        | VERTICAL STUD DEPTH (INCHES) | DIAGONAL BRACE SPACING (MAX)<br>25 GAGE TRACK | 3-5/8                                    | 5'-6"  | 4     | 5'-4"  | 6 | 6'-6"  |        |   |        |     |  |
| VERTICAL STUD DEPTH (INCHES)                                                        | DIAGONAL BRACE SPACING (MAX)<br>25 GAGE TRACK |                                                                                                                                                                                                                                                                                                                                                                          |                              |                                               |                                          |        |       |        |   |        |        |   |        |     |  |
| 3-5/8                                                                               | 5'-6"                                         |                                                                                                                                                                                                                                                                                                                                                                          |                              |                                               |                                          |        |       |        |   |        |        |   |        |     |  |
| 4                                                                                   | 5'-4"                                         |                                                                                                                                                                                                                                                                                                                                                                          |                              |                                               |                                          |        |       |        |   |        |        |   |        |     |  |
| 6                                                                                   | 6'-6"                                         |                                                                                                                                                                                                                                                                                                                                                                          |                              |                                               |                                          |        |       |        |   |        |        |   |        |     |  |
|  |                                               | <b>CONTINUOUS SIDE GIRT IS USED TO BRACE FULL HEIGHT VERTICAL STUD.<br/>REF MAX UN-BRACED WALL HEIGHT ABOVE FOR MAX DISTANCE<br/>BETWEEN GIRT AND STRUCTURE ABOVE OR BELOW.<br/>SIDE GIRT TO BE 3" SP STUD, 25 GAGE.</b>                                                                                                                                                 |                              |                                               |                                          |        |       |        |   |        |        |   |        |     |  |
|  |                                               | <table border="1"> <thead> <tr> <th>DIAGONAL BRACE SPACE (MAX)</th><th>TOTAL HEIGHT OF VERTICAL STUD (MAX)</th></tr> </thead> <tbody> <tr> <td>4'-4"</td><td>26'-9"</td></tr> <tr> <td>5'-0"</td><td>17'-2"</td></tr> </tbody> </table>                                                                                                                                  | DIAGONAL BRACE SPACE (MAX)   | TOTAL HEIGHT OF VERTICAL STUD (MAX)           | 4'-4"                                    | 26'-9" | 5'-0" | 17'-2" |   |        |        |   |        |     |  |
| DIAGONAL BRACE SPACE (MAX)                                                          | TOTAL HEIGHT OF VERTICAL STUD (MAX)           |                                                                                                                                                                                                                                                                                                                                                                          |                              |                                               |                                          |        |       |        |   |        |        |   |        |     |  |
| 4'-4"                                                                               | 26'-9"                                        |                                                                                                                                                                                                                                                                                                                                                                          |                              |                                               |                                          |        |       |        |   |        |        |   |        |     |  |
| 5'-0"                                                                               | 17'-2"                                        |                                                                                                                                                                                                                                                                                                                                                                          |                              |                                               |                                          |        |       |        |   |        |        |   |        |     |  |

A. WALLS ARE BASED ON 1/4" D24 DEFLECTION, AND SHEATHING BOTH SIDES OR BRIDGING OR STRAPPING AT 4" OC MAX (DESIGN LOAD IS 5 PSF).

B. DIAGONAL BRACES TO BE 3" X 8" STUD, 20 GADE, 10" MAX LENGTH WITH STRAPPING AT 4" OC BOTH SIDES. RANGE OF DIAGONAL BRACING TO BE 30 TO 45 DEGREES FROM VERTICAL.

C. WHERE NON-LOAD BEARING WALLS EXTEND TO UNDERSIDE OF FLOOR OR CEILING, BRACING SHALL BE IN THE FORM OF APPLIED LOAD BY NESTED TRUCK METHOD OR MANUFACTURED PROPRIETARY SYSTEM. REFERENCE SECTION SLIP JOINT AND SECTION SLIP JOINT (DEEP) THIS DWG.

D. WHEN BRACING IS PARALLEL TO A STEEL BEAM OR FRAMING MEMBER, ATTACH BRACING TO BOTTOM FLANGE OF BEAM OR FRAMING MEMBER. WHEN BRACING IS PERPENDICULAR TO A STEEL BEAM OR FRAMING MEMBER, ATTACH BRACING TO TOP FLANGE OF BEAM OR FRAMING MEMBER. DO NOT ATTACH BRACING TO ROOF DECK.

E. WHERE GYPSUM BOARD IS INDICATED ON ONE SIDE OF MILL STUD ONLY, OR NEITHER SIDE AT PORTION OF WALL ABOVE CEILING, PROVIDE WALL BRACING AT 4" OC @ 4' EXPOSED STUD FACE.

F. ALL WALL BRACING SHALL BE ABOVE CEILING WHERE A CEILING IS PROVIDED WITH ANY ROOM AREA OR.

[illegible]

LINEAR DIFFUSER, REFERENCE 'M' DRAWINGS

GYPSUM BOARD/METAL STUD POCKET FOR ROLLER SHADES. CONFIRM POCKET DIMENSIONS WITH ROLLER SHADE MANUFACTURER

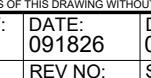
MOTORIZED SINGLE ROLLER SHADES WITH REGULAR SHADE AND BLACKOUT SHADE, REFERENCE SPECIFICATION 122413

5"

5"

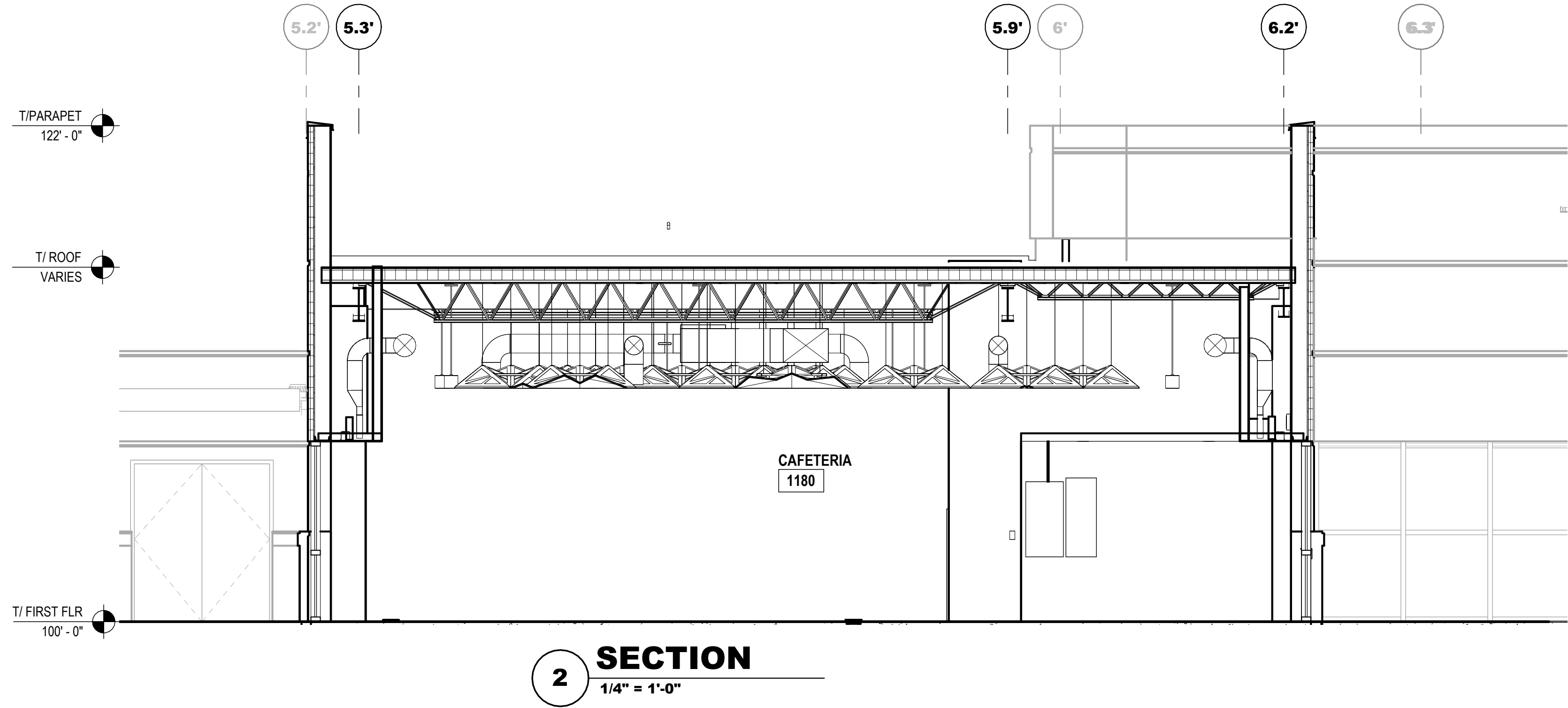
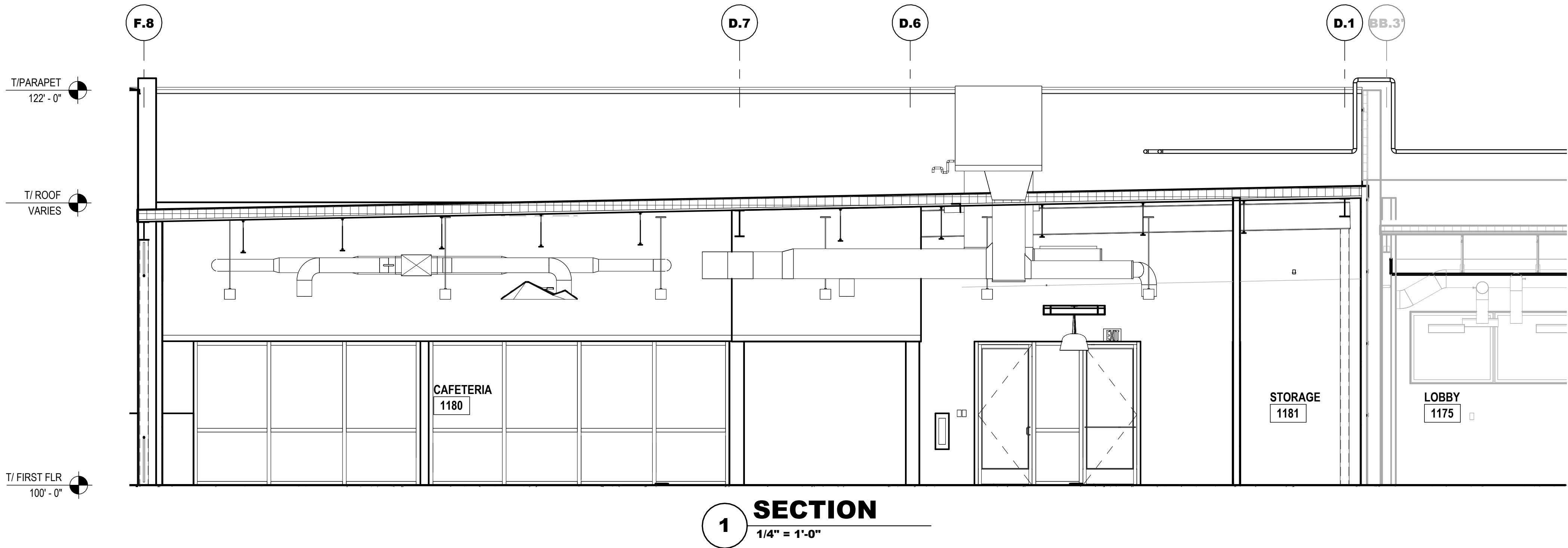
5"

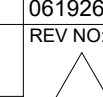
2

| HIXSON                                                                                                                                                                                                                                      |        | NO                                                                                                                                                          | DATE | BY | CHKD | APPRO                                                                          | REMARKS |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|------|----|------|--------------------------------------------------------------------------------|---------|
| △                                                                                                                                                                                                                                           | 191826 | SZ                                                                                                                                                          | SZ   | SZ | SZ   | BUCKET 1                                                                       |         |
| △                                                                                                                                                                                                                                           | 181626 | SZ                                                                                                                                                          | SZ   | SZ | SZ   | ADDENDUM 1                                                                     |         |
| △                                                                                                                                                                                                                                           | 191526 | SZ                                                                                                                                                          | SZ   | SZ | SZ   | ORIGINAL ISSUE                                                                 |         |
| DUBLIN, OHIO                                                                                                                                                                                                                                |        |                                                                                                                                                             |      |    |      |                                                                                |         |
| NQAC - BUILDING ADDITIONS                                                                                                                                                                                                                   |        |                                                                                                                                                             |      |    |      |                                                                                |         |
| ARCHITECTURAL                                                                                                                                                                                                                               |        |                                                                                                                                                             |      |    |      |                                                                                |         |
| GENERAL WALL INFORMATION                                                                                                                                                                                                                    |        |                                                                                                                                                             |      |    |      |                                                                                |         |
|  <b>NQAC</b><br>Nestle Quality Assurance Center                                                                                                        |        | ORIGINATOR: NESTLE QUALITY ASSURANCE CENTER (NQAC)<br>ADDRESS: 4500 ETTORIAN ROAD<br>CITY/STATE: DUBLIN, OHIO 43017-6598<br>FAX NO: 614-290-1000<br>E-MAIL: |      |    |      |                                                                                |         |
| <small>           DRAWN BY: [DATE] [TIME] CHECKED BY: [DATE] [TIME] APPROVED BY: [DATE] [TIME]<br/>           PROJECT NO: 00000-00<br/>           QAC DWG NO: 043-0000-00 AE300-77-002<br/>           EXP. DATE 12/31/2027         </small> |        |                                                                                                                                                             |      |    |      |                                                                                |         |
|                                                                                                                                                        |        |                                                                                                                                                             |      |    |      | DATE ISSUED: 09/05/08<br>SHEET SIZE: SCALE: 1"=4'-0"<br>SHEET NO: AE300-77-002 |         |

DRAWING NOTES

A. BUILDING SECTIONS SHOWN FOR GENERAL OVERALL REFERENCE ONLY. REFERENCE PLANS, SECTIONS, ELEVATIONS, AND DETAILS FOR SPECIFIC CONSTRUCTION AND DIMENSIONAL INFORMATION.



|                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                  |                         |                         |                             |    |                                                                                                          |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|-------------------------|-----------------------------|----|----------------------------------------------------------------------------------------------------------|
| <br>659 Van Meter Street<br>Cincinnati, OH 45202-1568<br>1.513.241.1230<br>www.hikson-inc.com | NO. DATE BY CHKD APPD                                                                                                                                                                                                                                                                                                                            |                         |                         |                             |    | REMARKS                                                                                                  |
|                                                                                                                                                                                    | 1                                                                                                                                                                                                                                                                                                                                                | 01/15/20                | SZ                      | SZ                          | SZ | ADDENDUM 1                                                                                               |
|                                                                                                                                                                                    | 2                                                                                                                                                                                                                                                                                                                                                | 01/15/20                | SZ                      | SZ                          | SZ | ORIGINAL ISSUE                                                                                           |
|                                                                                                                                                                                    | 3                                                                                                                                                                                                                                                                                                                                                | 01/15/20                | SZ                      | SZ                          | SZ |                                                                                                          |
| <br>HIKSON JOB NO. 11559.00                                                                   | DUBLIN, OHIO                                                                                                                                                                                                                                                                                                                                     |                         |                         |                             |    |                                                                                                          |
|                                                                                                                                                                                    | NOAC - BUILDING ADDITIONS                                                                                                                                                                                                                                                                                                                        |                         |                         |                             |    |                                                                                                          |
|                                                                                                                                                                                    | ARCHITECTURAL                                                                                                                                                                                                                                                                                                                                    |                         |                         |                             |    |                                                                                                          |
|                                                                                                                                                                                    | BUILDING SECTIONS                                                                                                                                                                                                                                                                                                                                |                         |                         |                             |    |                                                                                                          |
| <br><b>NOAC</b><br>Nestle Quality Assurance Center                                            | ORIGINATOR: NESTLE QUALITY ASSURANCE CENTER (NOAC)<br>ADDRESS: 880 ETERNAN ROAD<br>CITY/STATE: DUBLIN, OHIO 43017-6916<br>TEL NO: 614.437.6916<br>FAX NO: 614.437.6916<br>E-MAIL: NOAC@HIKSON.COM                                                                                                                                                |                         |                         |                             |    |                                                                                                          |
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|                                                                                                                                                                                    | DRAWN BY: DATE: 01/15/20                                                                                                                                                                                                                                                                                                                         | CHKD BY: DATE: 01/15/20 | APPR BY: DATE: 01/15/20 | DATE ISSUED: 06/06/20       |    |                                                                                                          |
|                                                                                                                                                                                    | PROJECT NO: 0000-00                                                                                                                                                                                                                                                                                                                              | SHEET NO: 1             |                         | SHEET SIZE: SCALE: 1"=1'-0" |    |                                                                                                          |
| MATTHEW A. SPANGLER<br>ARC: 1117052<br>EXP. DATE 12/31/2027                                                                                                                        | DWG FILE: 0433-0000-00 AE301-26                                                                                                                                                                                                                                                                                                                  |                         |                         |                             |    | <br>SHEET NO: AE301 |

DRAWING NOTES

- A. NOTES INDICATED ON FIRST DETAIL ARE TYPICAL FOR THIS SHEET. UNIQUE NOTES AND INFORMATION ARE INDICATED ON SUBSEQUENT SECTIONS AND DETAILS.
- B. REFERENCE ROOF PLAN AND DETAILS (AR SERIES) FOR ADDITIONAL INFORMATION.
- C. RETURN AIR AND WATER-RESISTIVE BARRIER INTO OPENINGS AND SEAL PER MANUFACTURER'S RECOMMENDATIONS. SEAL JOINTS AND GAPS BETWEEN THE FLOOR, EXTERIOR WALLS AND ROOF TO MAINTAIN A BUILDING ENVELOPE AIR BARRIER SYSTEM COMPLAINT WITH THE AIR LEAKAGE TEST REQUIREMENTS OF ASTM E773. LAP FLASHING AND ADHERE PER MANUFACTURER'S RECOMMENDATIONS FOR A RIGHT SEAL AT EXTERIOR WALL CONSTRUCTION. SEAL ALL PENETRATIONS THROUGH THE BUILDING ENVELOPE AIR AND WATER-RESISTIVE BARRIER PER MANUFACTURER'S RECOMMENDATIONS TO MAINTAIN AN AIRTIGHT SYSTEM. HOLD INTERIOR PERIMETER GYPSUM BOARD 1/2" ABOVE FLOOR SLAB AND PROVIDE SEALANT AT FACE OF WALL FRAMING TRACK TO RESIST AIR PENETRATION.

KEYNOTES

1. REFERENCE 'S' DRAWINGS FOR ADDITIONAL INFORMATION.
2. REMOVE PORTION OF EXISTING EIFS CONSTRUCTION AND EXTEND ROOFING MEMBRANE UNDERNEATH PATCH AND REPAIR EIFS ONCE COMPLETED.
3. EXISTING CONSTRUCTION.
4. AIR SPACE.
5. EXTEND PERIMETER INSULATION 2' - 0" MINIMUM BELOW SLAB.
6. EXTEND ROOF MEMBRANE UP WALL AND WARP CONTINUOUSLY OVER TOP OF WALL UNDER COPING ASSEMBLY. LAP OVER EXTERIOR FACE OF WALL TO BOTTOM OF COPING AND TRIM. INSTALL COPING OVER ROOF MEMBRANE.
7. REFERENCE 'M' DRAWINGS FOR ADDITIONAL INFORMATION.
8. DIAGONAL BRACE TO BE 4" STUD.
9. FILL STUD CAVITY SOLID WITH CLOSED-CELL SPRAY-FOAM INSULATION (072100) APPROXIMATELY 6" HIGH AT ROOF LINE.
10. REFERENCE 'C' DRAWINGS FOR ADDITIONAL INFORMATION.
11. TYPICAL COPING HEIGHT (MAX) AT BUILDING PERIMETER.

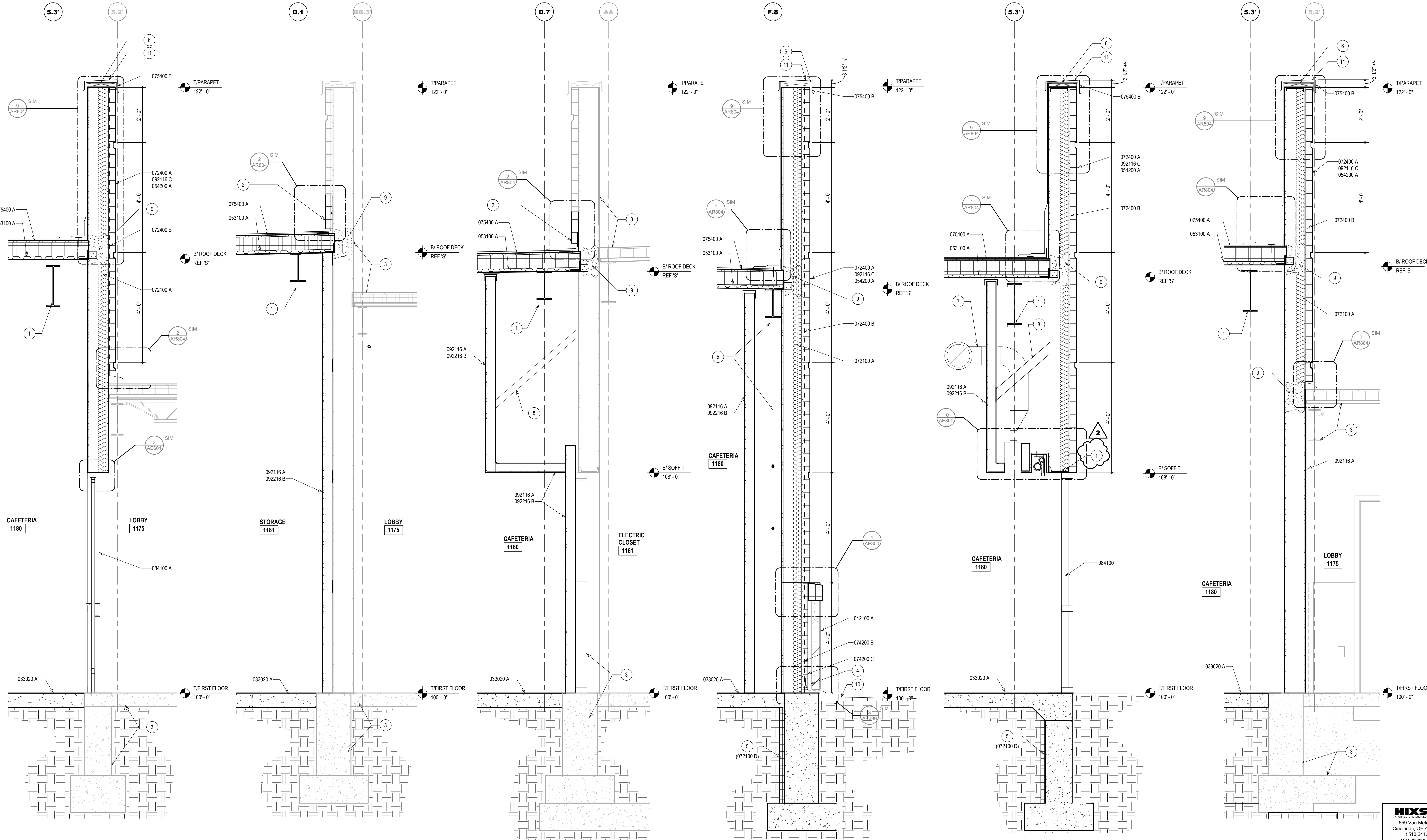
LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION

MATERIAL NOTES

- 033020 A CAST-IN-PLACE CONCRETE SLABS
- 042100 A UNIT MASONRY - 4" NOMINAL  
B UNIT MASONRY - 8" NOMINAL  
C FLASHING
- 053100 A STEEL DECK
- 054200 A COLD FORMED METAL FRAMING
- 072100 A BUILDING INSULATION  
B SAFING INSULATION  
C FOAMED-IN-PLACE INSULATION  
D BOARD INSULATION
- 072400 A EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)  
B FLUID APPLIED AIR BARRIER  
C BUILDING INSULATION  
D FLASHING  
E CUSTOMIZED EIFS EXTRUSION
- 075400 A ROOFING SYSTEM  
B PARAPET COPING
- 084100 A ALUMINUM STOREFRONT
- 092116 A GYPSUM BOARD  
B 5/8" TYPE X GYPSUM BOARD  
C 5/8" EXTERIOR GYPSUM SHEATHING
- 092216 B NON-LOAD BEARING METAL FRAMING
- 095100 A ACOUSTICAL CEILINGS

|                                                                                           |  |  |  |  |  |  |  |  |  |                                                                                       |  |  |  |  |  |  |  |  |  |                             |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |  |  |  |  |  |  |  |  |  |                                                |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                       |  |  |  |  |  |  |  |  |  |         |  |  |  |  |  |  |  |  |  |    |  |  |  |  |  |  |  |  |  |                |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
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|                                                                                           |  |  |  |  |  |  |  |  |  |                                                                                       |  |  |  |  |  |  |  |  |  |                             |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |  |  |  |  |  |  |  |  |  | 01/30/26                                       |  |  |  |  |  |  |  |  |  | SZ                                                                                                                                                                                                                    |  |  |  |  |  |  |  |  |  | SZ      |  |  |  |  |  |  |  |  |  | SZ |  |  |  |  |  |  |  |  |  | ADDENDUM 1     |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
|                                                                                           |  |  |  |  |  |  |  |  |  |                                                                                       |  |  |  |  |  |  |  |  |  |                             |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |  |  |  |  |  |  |  |  |  | 05/16/26                                       |  |  |  |  |  |  |  |  |  | SZ                                                                                                                                                                                                                    |  |  |  |  |  |  |  |  |  | SZ      |  |  |  |  |  |  |  |  |  | SZ |  |  |  |  |  |  |  |  |  | ORIGINAL ISSUE |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
|                                                                                           |  |  |  |  |  |  |  |  |  |                                                                                       |  |  |  |  |  |  |  |  |  |                             |  |  |  |  |  |  |  |  |  | <b>DUBLIN, OHIO</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |  |  |  |  |  |  |  |  |  |                                                |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                       |  |  |  |  |  |  |  |  |  |         |  |  |  |  |  |  |  |  |  |    |  |  |  |  |  |  |  |  |  |                |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
|                                                                                           |  |  |  |  |  |  |  |  |  |                                                                                       |  |  |  |  |  |  |  |  |  |                             |  |  |  |  |  |  |  |  |  | <b>NQAC - BUILDING ADDITIONS</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |  |  |  |  |  |  |  |  |  |                                                |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                       |  |  |  |  |  |  |  |  |  |         |  |  |  |  |  |  |  |  |  |    |  |  |  |  |  |  |  |  |  |                |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
|                                                                                           |  |  |  |  |  |  |  |  |  |                                                                                       |  |  |  |  |  |  |  |  |  |                             |  |  |  |  |  |  |  |  |  | <b>ARCHITECTURAL</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |  |  |  |  |  |  |  |  |  |                                                |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                       |  |  |  |  |  |  |  |  |  |         |  |  |  |  |  |  |  |  |  |    |  |  |  |  |  |  |  |  |  |                |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
|                                                                                           |  |  |  |  |  |  |  |  |  |                                                                                       |  |  |  |  |  |  |  |  |  |                             |  |  |  |  |  |  |  |  |  | <b>WALL SECTIONS</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |  |  |  |  |  |  |  |  |  |                                                |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                       |  |  |  |  |  |  |  |  |  |         |  |  |  |  |  |  |  |  |  |    |  |  |  |  |  |  |  |  |  |                |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
|                                                                                           |  |  |  |  |  |  |  |  |  |                                                                                       |  |  |  |  |  |  |  |  |  |                             |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |  |  |  |  |  |  |  |  |  | <b>NQAC</b><br>Nestlé Quality Assurance Center |  |  |  |  |  |  |  |  |  | ORIGINATOR:<br>NESTLE QUALITY ASSURANCE CENTER (NQAC)<br>ADDRESS: ROSETERMAN ROAD<br>CITY/STATE: DUBLIN, OHIO 43017-6916<br>COUNTRY: USA<br>TEL NO.: 614.299.1230<br>FAX NO.: 614.299.1231<br>E-MAIL: nqac@hixson.com |  |  |  |  |  |  |  |  |  |         |  |  |  |  |  |  |  |  |  |    |  |  |  |  |  |  |  |  |  |                |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
|                                                                                           |  |  |  |  |  |  |  |  |  |                                                                                       |  |  |  |  |  |  |  |  |  |                             |  |  |  |  |  |  |  |  |  | This drawing is the property of Hixson Incorporated. It is to be used for the project and location specified on the title block only. It is not to be reproduced, copied, or used for any other project without the written consent of Hixson Incorporated. The user of this drawing is responsible for obtaining all necessary permits and approvals for the project. Hixson Incorporated is not responsible for any errors or omissions on this drawing. The user of this drawing is responsible for obtaining all necessary permits and approvals for the project. Hixson Incorporated is not responsible for any errors or omissions on this drawing. |  |  |  |  |  |  |  |  |  |                                                |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                       |  |  |  |  |  |  |  |  |  |         |  |  |  |  |  |  |  |  |  |    |  |  |  |  |  |  |  |  |  |                |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
| DRAWN BY: DATE: 01/30/26                                                                  |  |  |  |  |  |  |  |  |  | CHECKED BY: DATE: 01/30/26                                                            |  |  |  |  |  |  |  |  |  | APPROVED BY: DATE: 01/30/26 |  |  |  |  |  |  |  |  |  | DATE ISSUED: 01/30/26                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |  |  |  |  |  |  |  |  |  |                                                |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                       |  |  |  |  |  |  |  |  |  |         |  |  |  |  |  |  |  |  |  |    |  |  |  |  |  |  |  |  |  |                |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
| PROJECT NO: 0000-00                                                                       |  |  |  |  |  |  |  |  |  | SHEET NO: 0433-00                                                                     |  |  |  |  |  |  |  |  |  | SHEET SIZE: 36" x 48"       |  |  |  |  |  |  |  |  |  | SCALE: 1/8" = 1'-0"                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |  |  |  |  |  |  |  |  |  |                                                |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                       |  |  |  |  |  |  |  |  |  |         |  |  |  |  |  |  |  |  |  |    |  |  |  |  |  |  |  |  |  |                |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
| DWG FILE: 0433-0000-00 AE302-26                                                           |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  | SHEET NO: 2                 |  |  |  |  |  |  |  |  |  | SHEET NO: 2                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |  |  |  |  |  |  |  |  |  |                                                |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                       |  |  |  |  |  |  |  |  |  |         |  |  |  |  |  |  |  |  |  |    |  |  |  |  |  |  |  |  |  |                |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
| <b>AE302</b>                                                                              |  |  |  |  |  |  |  |  |  |                                                                                       |  |  |  |  |  |  |  |  |  |                             |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |  |  |  |  |  |  |  |  |  |                                                |  |  |  |  |  |  |  |  |  |                                                                                                                                                                                                                       |  |  |  |  |  |  |  |  |  |         |  |  |  |  |  |  |  |  |  |    |  |  |  |  |  |  |  |  |  |                |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |



6 SECTION  
3/4" = 1'-0"

5 SECTION  
3/4" = 1'-0"

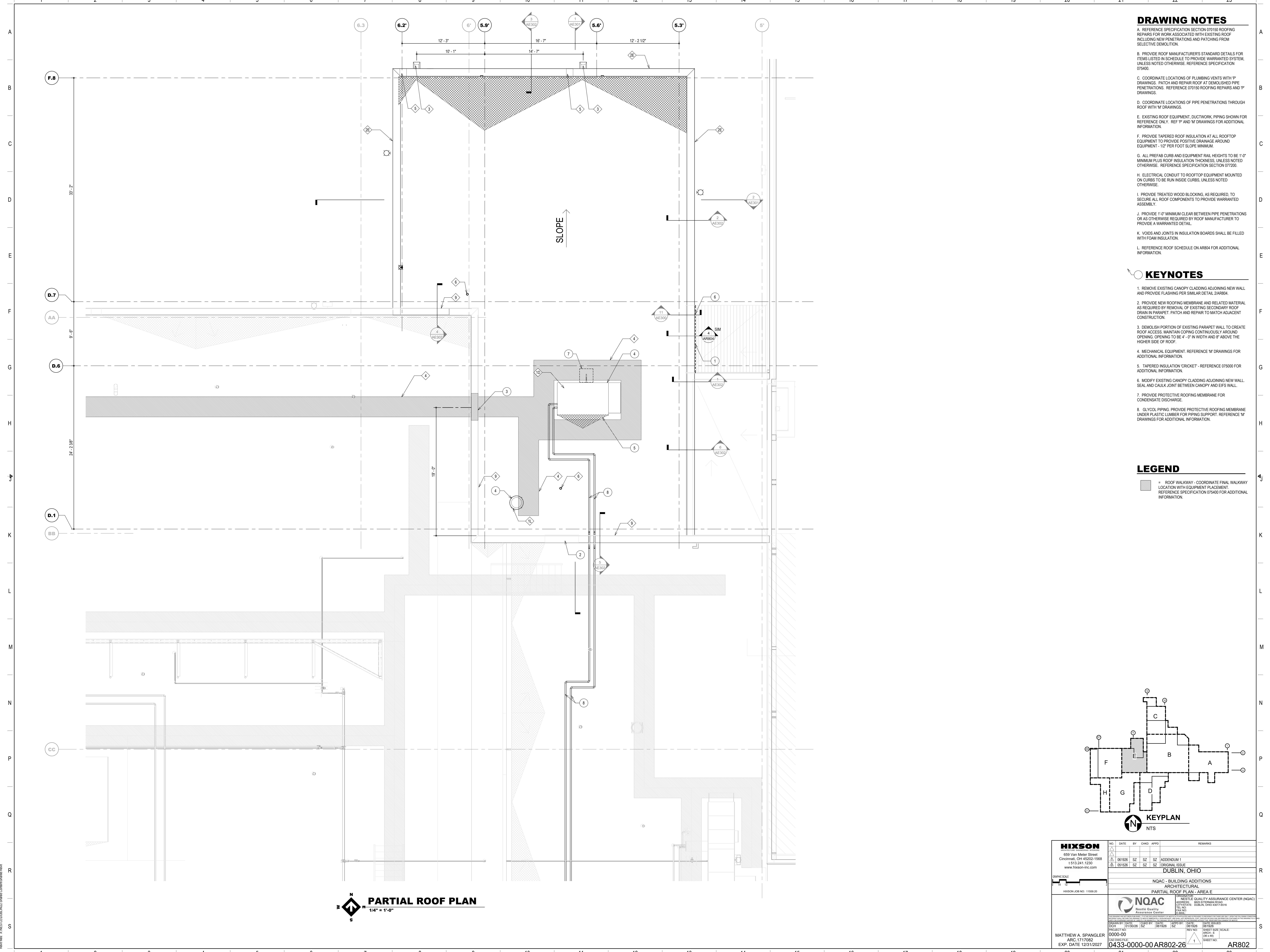
4 SECTION  
3/4" = 1'-0"

3 SECTION  
3/4" = 1'-0"

2 SECTION  
3/4" = 1'-0"

1 SECTION  
3/4" = 1'-0"

Rev. Desc. X:\NESTLE\BUNZ\BUNZ Shared Content\Shared Root



**PARTIAL ROOF PLAN**  
1/4" = 1'-0"

**DRAWING NOTES**

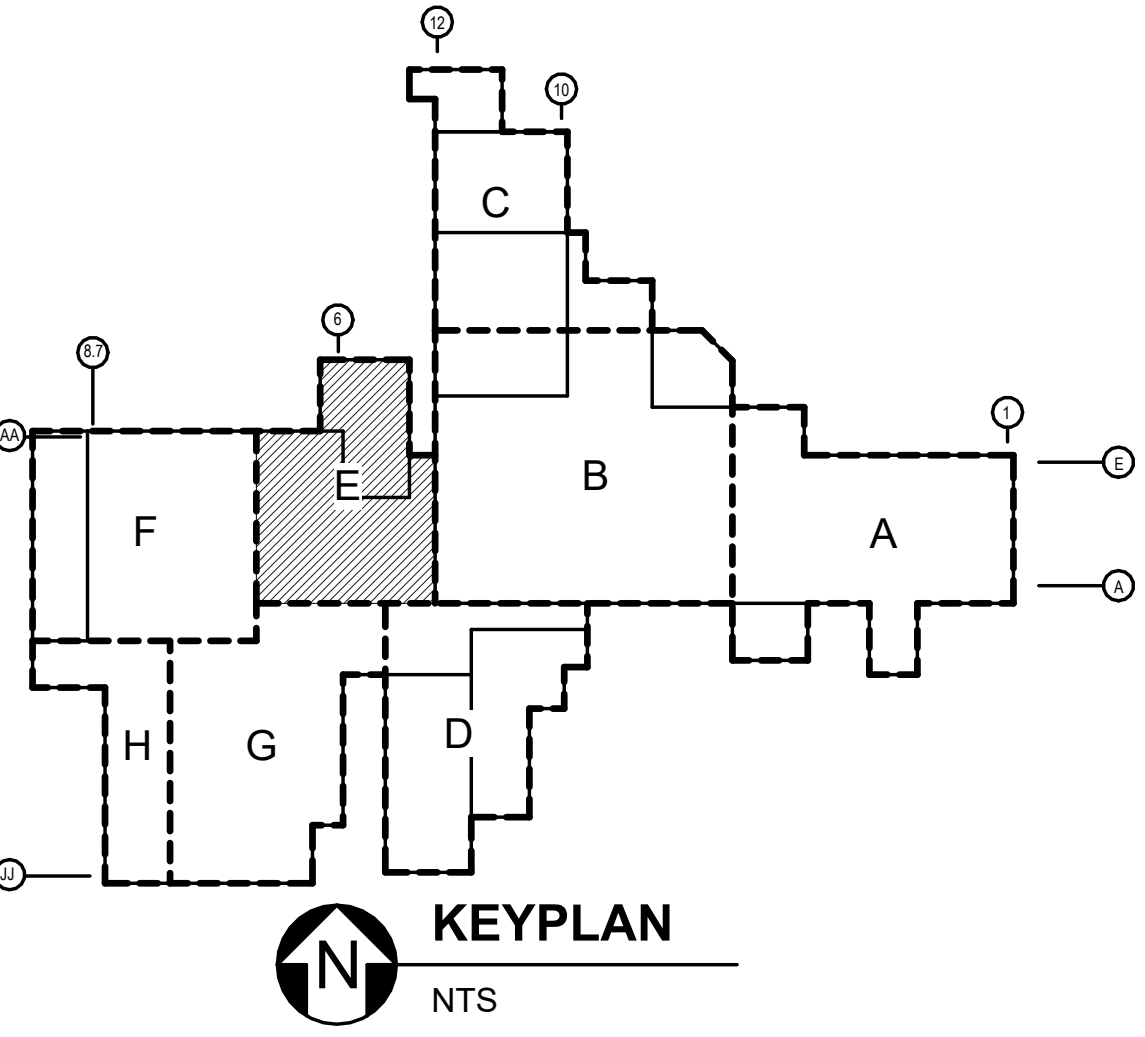
- A. REFERENCE SPECIFICATION SECTION 070150 ROOFING REPAIRS FOR WORK ASSOCIATED WITH EXISTING ROOF INCLUDING NEW PENETRATIONS AND PATCHING FROM SELECTIVE DEMOLITION.
- B. PROVIDE ROOF MANUFACTURER'S STANDARD DETAILS FOR ITEMS LISTED IN SCHEDULE TO PROVIDE WARRANTED SYSTEM, UNLESS NOTED OTHERWISE. REFERENCE SPECIFICATION 075400.
- C. COORDINATE LOCATIONS OF PLUMBING VENTS WITH 'P' DRAWINGS. PATCH AND REPAIR ROOF AT DEMOLISHED PIPE PENETRATIONS. REFERENCE 070150 ROOFING REPAIRS AND 'P' DRAWINGS.
- D. COORDINATE LOCATIONS OF PIPE PENETRATIONS THROUGH ROOF WITH 'M' DRAWINGS.
- E. EXISTING ROOF EQUIPMENT, DUCTWORK, PIPING SHOWN FOR REFERENCE ONLY. REF 'P' AND 'M' DRAWINGS FOR ADDITIONAL INFORMATION.
- F. PROVIDE TAPERED ROOF INSULATION AT ALL ROOFTOP EQUIPMENT TO PROVIDE POSITIVE DRAINAGE AROUND EQUIPMENT - 1/2" PER FOOT SLOPE MINIMUM.
- G. ALL PREFAB CURB AND EQUIPMENT RAIL HEIGHTS TO BE 1'-0" MINIMUM PLUS ROOF INSULATION THICKNESS, UNLESS NOTED OTHERWISE. REFERENCE SPECIFICATION SECTION 072200.
- H. ELECTRICAL CONDUIT TO ROOFTOP EQUIPMENT MOUNTED ON CURBS TO BE RUN INSIDE CURBS, UNLESS NOTED OTHERWISE.
- I. PROVIDE TREATED WOOD BLOCKING, AS REQUIRED, TO SECURE ALL ROOF COMPONENTS TO PROVIDE WARRANTED ASSEMBLY.
- J. PROVIDE 1'-0" MINIMUM CLEAR BETWEEN PIPE PENETRATIONS OR AS OTHERWISE REQUIRED BY ROOF MANUFACTURER TO PROVIDE A WARRANTED DETAIL.
- K. VOIDS AND JOINTS IN INSULATION BOARDS SHALL BE FILLED WITH FOAM INSULATION.
- L. REFERENCE ROOF SCHEDULE ON AR804 FOR ADDITIONAL INFORMATION.

**KEYNOTES**

1. REMOVE EXISTING CANOPY CLADDING ADJOINING NEW WALL AND PROVIDE FLASHING PER SIMILAR DETAIL 2/AR804.
2. PROVIDE NEW ROOFING MEMBRANE, AND RELATED MATERIAL AS REQUIRED BY REMOVAL OF EXISTING SECONDARY ROOF DRAIN IN PARAPET. PATCH AND REPAIR TO MATCH ADJACENT CONSTRUCTION.
3. DEMOLISH PORTION OF EXISTING PARAPET WALL TO CREATE ROOF ACCESS. MAINTAIN COPING CONTINUOUSLY AROUND OPENING. OPENING TO BE 4'-0" IN WIDTH AND 1' ABOVE THE HIGHER SIDE OF ROOF.
4. MECHANICAL EQUIPMENT. REFERENCE 'M' DRAWINGS FOR ADDITIONAL INFORMATION.
5. TAPERED INSULATION 'CRICKET'. REFERENCE 075000 FOR ADDITIONAL INFORMATION.
6. MODIFY EXISTING CANOPY CLADDING ADJOINING NEW WALL. SEAL AND CAULK JOINT BETWEEN CANOPY AND EIFS WALL.
7. PROVIDE PROTECTIVE ROOFING MEMBRANE FOR CONDENSATE DISCHARGE.
8. GLYCOL PIPING. PROVIDE PROTECTIVE ROOFING MEMBRANE UNDER PLASTIC LUMBER FOR PIPING SUPPORT. REFERENCE 'M' DRAWINGS FOR ADDITIONAL INFORMATION.

**LEGEND**

- = ROOF WALKWAY - COORDINATE FINAL WALKWAY LOCATION WITH EQUIPMENT PLACEMENT. REFERENCE SPECIFICATION 075400 FOR ADDITIONAL INFORMATION.



| NO.                                    | DATE     | BY | CHKD | APPD | REMARKS        |
|----------------------------------------|----------|----|------|------|----------------|
| 1                                      | 06/15/26 | SZ | SZ   | SZ   | ADDENDUM 1     |
| 2                                      | 05/15/26 | SZ | SZ   | SZ   | ORIGINAL ISSUE |
| DUBLIN, OHIO                           |          |    |      |      |                |
| NOAC - BUILDING ADDITIONS              |          |    |      |      |                |
| ARCHITECTURAL                          |          |    |      |      |                |
| PARTIAL ROOF PLAN - AREA E             |          |    |      |      |                |
| NOAC                                   |          |    |      |      |                |
| Nestle Quality Assurance Center        |          |    |      |      |                |
| NESTLE QUALITY ASSURANCE CENTER (NOAC) |          |    |      |      |                |
| ADDRESS: 180 E. ETERNITY ROAD          |          |    |      |      |                |
| CITY/STATE: DUBLIN, OHIO 43017-6916    |          |    |      |      |                |
| TEL NO: (614) 433-1100                 |          |    |      |      |                |
| FAX NO: (614) 433-1101                 |          |    |      |      |                |
| E-MAIL: NOAC@NESTLE.COM                |          |    |      |      |                |
| DRAWN BY: DATE: 01/30/26               |          |    |      |      |                |
| CHECKED BY: DATE: 06/15/26             |          |    |      |      |                |
| DESIGNED BY: DATE: 06/15/26            |          |    |      |      |                |
| PROJECT NO: 0000-00                    |          |    |      |      |                |
| REV NO: 1                              |          |    |      |      |                |
| SHEET SIZE: SCALE: 1/4" = 1'-0"        |          |    |      |      |                |
| SHEET NO: 1                            |          |    |      |      |                |
| MATTHEW A. SPANGLER                    |          |    |      |      |                |
| ARC: 1717062                           |          |    |      |      |                |
| EXP. DATE: 12/31/2027                  |          |    |      |      |                |
| 0433-0000-00 AR802-26                  |          |    |      |      |                |
| AR802                                  |          |    |      |      |                |

Nestlé

QUALITY ASSURANCE CENTER (NQAC)

BUILDING ADDITION

DUBLIN, OHIO

GENERAL PROJECT INFORMATION:

PROPERTY INFORMATION:

PARCEL ADDRESS:  
6825 EITERMAN ROAD  
DUBLIN, OHIO 43016

PROJECT OWNER:  
NAME/ADDRESS:  
NESTLE QUALITY ASSURANCE CENTER (NQAC)  
6825 EITERMAN ROAD  
DUBLIN, OHIO 43016

CONTACT:  
RICHARD LETIZIA  
FACILITY ENGINEERING AND MAINTENANCE MANAGER  
PHONE: 614-526-5317  
EMAIL: Richard.Letizia@us.nestle.com

ARCHITECT / ENGINEERS OF RECORD:

NAME/ADDRESS:  
HIXSON AEI  
689 VAN METER STREET  
CINCINNATI, OH 45202

CONTACT:  
MARTIN HARDIBICK  
PROJECT MANAGER  
mhardibick@hixson-inc.com  
(513) 241-1230

SITE PLAN:

BUILDING CODE SUMMARY

GENERAL CODE INFORMATION

CODE AUTHORITY HAVING JURISDICTION:  
CITY OF DUBLIN, BUILDING STANDARDS  
BRAD FAGGELL, P.E. DIRECTOR OF BUILDING STANDARDS,  
CHIEF BUILDING OFFICIAL  
PHONE NUMBER: 1-614-410-4670

PROJECT SCOPE OF WORK STATEMENT:  
THE PROPOSED PROJECT INCLUDES A ONE STORY CAFETERIA  
BUILDING ADDITION OF 2635 SF, AND INTERIOR FINISH UPGRADE TO  
EXISTING SECOND FLOOR COFFEE BAR.

APPLICABLE CODES:  
2024 OHIO DOB CODE (2021 IBC)  
2024 OHIO EXISTING BUILDING CODE (2021 IBC/C)  
2019 ASHRAE 90.1 ENERGY STANDARD  
2024 OHIO MECHANICAL CODE (2021 IMC)  
2024 OHIO PLUMBING CODE (2021 IPC)  
2021 INTERNATIONAL FIRE CODE  
2023 NATIONAL ELECTRICAL CODE (NFPA70)  
REFERENCE STANDARDS:  
2022 NFPA 13 AND 13R (INSTALLATION OF SPRINKLER SYSTEMS)  
2022 NFPA 72 (NATIONAL FIRE ALARM AND SIGNALING CODE)  
2016 ASCESSE18 MINIMUM DESIGN LOADS FOR BUILDINGS AND  
OTHER STRUCTURES  
2017 ICC/ANSI 117.1 ACCESSIBILITY CODE

BUILDING HEIGHT AND AREA

PROPOSED BUILDING HEIGHT AND AREAS BASED ON FULLY SPRINKLED  
BUILDING WITH TYPE I-B CONSTRUCTION.

| ITEM    | ALLOWABLE       | PROPOSED ACTUAL                                                    |
|---------|-----------------|--------------------------------------------------------------------|
| HEIGHT  | 75' (SEC 504.3) | 22'                                                                |
| STOREYS | 4 (SEC 504.4)   | 1                                                                  |
| AREA    | 103,500 SF      | 71,955 sq' (EXISTING)<br>2635 sq' (ADDITION)<br>74,589 sq' (TOTAL) |

BUILDING CLASSIFICATION

PROPOSED CONSTRUCTION TYPE (TABLE 601):  

| FIRE-RESISTANCE RATING REQUIREMENTS (TABLE 601): | STRUCTURAL MEMBERS (601, 602, 704) | EXTERIOR BEARING WALLS | INTERIOR BEARING WALLS | EXTERIOR NON-BEARING WALLS / PTNS | INTERIOR NON-BEARING WALLS / PTNS | FLOOR CONSTRUCTION (INCL BMS & JSTS) | ROOF CONSTRUCTION (INCL BMS & JSTS) |
|--------------------------------------------------|------------------------------------|------------------------|------------------------|-----------------------------------|-----------------------------------|--------------------------------------|-------------------------------------|
|                                                  | 0 HR                               | 0 HR                   | 0 HR                   | 0 HR                              | 0 HR                              | 0 HR                                 | 0 HR                                |

MEANS OF EGRESS  
TABULATED OCCUPANT LOAD CALCULATION (TABLE 1004.5). SEE LIFE SAFETY PLANS ON SHEET GL-1 FOR EGRESS EXITS, PATHS, AND TRAVEL DISTANCES.  

| NEW BUILDING ADJUSTIONS         | FUNCTION | R <sup>2</sup> /OCC  | SPACE R <sup>2</sup> | # OCC |
|---------------------------------|----------|----------------------|----------------------|-------|
| UNCONCENTRATED (TABLE & CHAIRS) | 15       | 2,245 R <sup>2</sup> | 150                  |       |
| STORAGE                         | 300      | 208 R <sup>2</sup>   | 1                    |       |

STRUCTURAL DESIGN DATA

CIMATE ZONE: 4A (FRANKLIN COUNTY, OH)

FIXTURES: EXISTING/REMOVED PER SECTION 906 AND 3309

|                                                                                                                  |                                                                                                 |                               |            |
|------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|-------------------------------|------------|
| 2. ROOF LOADS                                                                                                    | ITEM                                                                                            | REQUIREMENT                   | PROVIDED   |
| 0. LIVE LOAD = 20 PSF                                                                                            | ITEM                                                                                            | REQUIREMENT                   | PROVIDED   |
| 0. DEAD LOAD = 20 PSF                                                                                            | DOORS                                                                                           | REQ'D 15' x 151               | 22.68'     |
| 3. ROOF SNOW LOAD                                                                                                |                                                                                                 | 32°C (20 MINIMUM)             | 264'       |
| GROUND SNOW = 20 PSF                                                                                             | NUMBER OF REQUIRED EXITS (TABLE 1006 3.2)                                                       |                               |            |
| FLAT ROOF SNOW = 20 PSF                                                                                          | STORY                                                                                           | 100 LOAD                      |            |
| EXPOSURE FACTOR (Ce) = 1.0                                                                                       | FIRST FLOOR                                                                                     | REQ'D 2                       | PROVIDED 3 |
| THERMAL FACTOR (Ti) = 1.0                                                                                        |                                                                                                 |                               |            |
| IMPORTANCE FACTOR (I) = 1.0                                                                                      |                                                                                                 |                               |            |
| 4. WIND LOAD                                                                                                     | <b>PLUMBING FIXTURES</b>                                                                        |                               |            |
| BASIC WIND SPEED = 108 MPH                                                                                       | EXISTING PLUMBING FIXTURES WITH 500 FT MEET THE REQUIRED COUNTS FOR EXISTING AND NEW OCCUPANTS. |                               |            |
| IMPORTANCE FACTOR (I) = 1.0                                                                                      |                                                                                                 |                               |            |
| EXPOSURE CATEGORY = C                                                                                            | ENTIRE FACILITY MINIMUM PLUMBING FIXTURES (TABLE 2002.1)                                        |                               |            |
| WALL MWFRS                                                                                                       | USE GROUP CLASSIFICATION                                                                        | A-2                           |            |
| DESIGN PRESSURE (P) = 19' PSF (MAX)                                                                              | OCCUPANTS                                                                                       | 241 (16 EXISTING AND 159 NEW) |            |
| WALL COMPONENTS AND CLADDING                                                                                     | MEN:                                                                                            | 121                           |            |
| DESIGN PRESSURE IN ZONE 4 P(Z) = 22.6 PSF                                                                        | WOMEN:                                                                                          | 121                           |            |
| DESIGN PRESSURE IN ZONE 5 CORNER (P) = 22.6 PSF                                                                  |                                                                                                 |                               |            |
| WIDTH OF PRESSURE COEFFICIENT ZONE # = 22.6 PSF                                                                  | USE GROUP CLASSIFICATION                                                                        | B                             |            |
| ROOF COMPONENTS AND CLADDING                                                                                     | OCCUPANTS:                                                                                      | 365 (81 EXISTING)             |            |
| DESIGN PRESSURE FOR ROOF DECK                                                                                    | MEN:                                                                                            | 171                           |            |
| NET UPLIFT (P) = -51.9 PSF MAX.                                                                                  | WOMEN:                                                                                          | 171                           |            |
| 5. EARTHQUAKE LOAD                                                                                               | USE GROUP CLASSIFICATION                                                                        | S-2                           |            |
| SEISMIC DESIGN CATEGORY = B                                                                                      | OCCUPANTS:                                                                                      | 103 (102 EXISTING AND 1 NEW)  |            |
| OCCUPANCY CATEGORY = II                                                                                          | MEN:                                                                                            | 52                            |            |
| IMPORTANCE FACTOR (I) = 1.0                                                                                      | WOMEN:                                                                                          | 52                            |            |
| SITE CLASS = D                                                                                                   | MINIMUM PLUMBING FIXTURES FOR ENTIRE FACILITY (TABLE 2002.1)                                    |                               |            |
| MAPPED SHORT SPECTRAL ACCELERATION (Sa) = 0.123                                                                  |                                                                                                 |                               |            |
| MAPPED 1 SECOND SPECTRAL ACCELERATION (S1) = 0.06                                                                |                                                                                                 |                               |            |
| DESIGN SHORT SPECTRAL RESPONSE (SDS) = 0.131                                                                     |                                                                                                 |                               |            |
| DESIGN 1 SECOND SPECTRAL RESPONSE (SD1) = 0.098                                                                  |                                                                                                 |                               |            |
| ANALYSIS METHOD = EQUIVALENT LATERAL FORCE                                                                       |                                                                                                 |                               |            |
| PROCEDURE                                                                                                        |                                                                                                 |                               |            |
| BASIC STRUCTURAL SYSTEM = STEEL SYSTEM IS NOT SPECIFICALLY DETAILED FOR SEISMIC RESISTING SYSTEM                 |                                                                                                 |                               |            |
| SEISMIC RESISTING SYSTEM = STEEL SYSTEM IS NOT SPECIFICALLY DETAILED FOR SEISMIC RESISTING SYSTEM                |                                                                                                 |                               |            |
| RESPONSE MODIFICATION FACTOR (R) = 3.0                                                                           |                                                                                                 |                               |            |
| SEISMIC RESPONSE COEFFICIENT (Cs) = 0.043                                                                        |                                                                                                 |                               |            |
| <b>USE AND OCCUPANCY CLASSIFICATION</b>                                                                          |                                                                                                 |                               |            |
| PROPOSED BUILDING IS CLASSIFIED AS MIXED-USE, NON-SEPARATED (SECTION 506). SEE USE GROUP DIAGRAM ON SHEET G11.1. |                                                                                                 |                               |            |
| <b>PRIMARY USES:</b>                                                                                             |                                                                                                 |                               |            |
| A-2 2245 SF                                                                                                      |                                                                                                 |                               |            |
| ACCESSORY USES (LESS THAN 10%):                                                                                  |                                                                                                 |                               |            |
| S-2 LOW-HAZARD STORAGE (311.3)                                                                                   |                                                                                                 |                               |            |



PRIVATE DEVELOPMENT GENERAL NOTES  
(ISSUED NOVEMBER 13, 2024)

1. THE REGULATIONS AND CONSTRUCTION STANDARDS OF THE CITY OF DUBLIN, TOGETHER WITH CITY OF COLUMBUS AND OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS, CURRENT EDITIONS, AND ANY SUPPLEMENTS THERETO (HEREINAFTER REFERRED TO AS STANDARD SPECIFICATIONS), SHALL GOVERN ALL MATERIALS AND WORKMANSHIP INVOLVED IN THE IMPROVEMENTS OF THESE PLANS UNLESS OTHERWISE NOTED. IF A CONFLICT BETWEEN SPECIFICATIONS IS FOUND, THE MORE STRICT SPECIFICATION WILL APPLY, AS DECIDED BY THE CITY ENGINEER.

2. STANDARD DRAWINGS AND DESIGN STANDARDS SHALL FIRST FOLLOW REGULATIONS SET FORTH BY CITY OF DUBLIN, FOLLOWED BY CITY OF COLUMBUS, FOLLOWED BY ODOT, FOLLOWED BY DESIGN ENGINEER "PER PLAN" NOTE. ITEM NUMBERS LISTED IN THESE PLANS SHALL REFER TO CITY OF COLUMBUS ITEM NUMBERS.

3. ANY MODIFICATIONS TO THE APPROVED PLANS MUST BE SUBMITTED BY THE ENGINEER OF RECORD TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. MODIFICATIONS SHALL FOLLOW THE PLAN REVISION PROCESS AS SET FORTH BY THE CITY ENGINEER.

4. THE CONTRACTOR/DEVELOPER SHALL BE RESPONSIBLE FOR MEANS, METHODS, PROCEDURES, TECHNIQUES, AND SEQUENCE OF CONSTRUCTION. THE CITY ENGINEER WILL NOT BE RESPONSIBLE FOR SAFETY ON THE WORK SITE, OR FOR FAILURE BY THE CONTRACTOR/DEVELOPER TO PERFORM WORK ACCORDING TO THE APPROVED PLANS.

5. THE CONTRACTOR AND ANY SUBCONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970. THE CONTRACTOR SHALL EXERCISE PRECAUTIONS ALWAYS FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT SHALL ALSO BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK, INCLUDING THE REQUIREMENTS FOR CONFINED SPACES PER OSHA 29 CFR 1910.146.

6. THE DESIGN ENGINEER, DEVELOPER, OR CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS, FEES, LICENSES, AND INSPECTION REQUIRED FOR THE PROPER EXECUTION OF THE IMPROVEMENTS SHOWN ON THE APPROVED PLANS, INCLUDING BUT NOT LIMITED TO OHIO EPA PERMITS TO INSTALL (PTI) AND NOTICES OF INTENT (NOI), BUILDING PERMITS, ETC.

7. PRIOR TO CONSTRUCTION, AND AFTER PLANS AND EASEMENTS HAVE BEEN APPROVED, THE CONTRACTOR SHALL CONTACT THE CITY OF DUBLIN DIVISION OF ENGINEERING AT 614-410-4740 TO SET UP A PRECONSTRUCTION MEETING. THE CONTRACTOR SHALL PROVIDE A DETAILED CONSTRUCTION SCHEDULE AND CONTACT INFORMATION FOR ALL CONTRACTORS AND SUBCONTRACTORS. ONCE THE PRECONSTRUCTION MEETING HAS BEEN HELD, THE CONTRACTOR SHALL CONTACT THE DIVISION OF ENGINEERING IN WRITING 14 CALENDAR DAYS PRIOR TO THE START OF CONSTRUCTION.

8. ALL PRECAST CONCRETE PRODUCTS SHALL BE INSPECTED AT THE LOCATION OF MANUFACTURE. APPROVED PRECAST CONCRETE PRODUCTS WILL BE STAMPED OR HAVE SUCH IDENTIFICATION NOTING THAT INSPECTION HAS BEEN CONDUCTED BY THE CITY OF COLUMBUS. PRECAST CONCRETE PRODUCTS WITHOUT PROOF OF INSPECTION SHALL NOT BE APPROVED FOR INSTALLATION.

9. THE CONTRACTOR SHALL SUBMIT A COPY OF THE APPROVED PLANS AND A LIST OF PROPOSED PRECAST CONCRETE PRODUCT MANUFACTURERS TO THE CITY OF COLUMBUS CONSTRUCTION INSPECTION DIVISION BEFORE COMMENCING CONSTRUCTION.

SEND INFORMATION TO THE FOLLOWING ADDRESS:  
CONSTRUCTION INSPECTION DIVISION  
CITY OF COLUMBUS  
1800 EAST 17TH AVENUE  
COLUMBUS, OHIO 43219

SEND COPY OF TRANSMITTAL LETTER TO THE FOLLOWING ADDRESS:  
DIVISION OF ENGINEERING-UTILITIES  
CITY OF DUBLIN  
6555 SHIER RINGS ROAD  
DUBLIN, OHIO 43016

10. WITHIN 30 DAYS OF COMPLETION OF CONSTRUCTION, AND BEFORE REQUESTING OCCUPANCY, AN AS-BUILT SURVEY SHALL BE PROVIDED TO THE DIVISION OF BUILDING STANDARDS UNDER THE APPROVED SITE PERMIT, THAT DOCUMENTS AS-BUILT ELEVATIONS, DIMENSIONS, SLOPES, AND ALIGNMENTS OF ALL ELEMENTS OF THE PROJECT. THE AS-BUILT SURVEY SHALL BE PREPARED, SIGNED, AND SUBMITTED BY THE PROFESSIONAL ENGINEER WHO SEALED THE CONSTRUCTION PLANS. SEE DIVISION OF ENGINEERING ADMINISTRATIVE POLICY 08-030 FOR COMPLETE REQUIREMENTS.

11. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, PROPERTY CORNERS, REFERENCE POINTS, STAKES, AND OTHER SURVEY REFERENCE MONUMENTS OR MARKERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATIONS OF SURVEY MARKERS DISTURBED DURING CONSTRUCTION, AT THE CONTRACTOR'S EXPENSE. RESETTling OF MARKERS SHALL BE PERFORMED BY AN OHIO PROFESSIONAL SURVEYOR AND APPROVED BY THE CITY ENGINEER.

12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE AND VERIFY THE EXTENT OF WORK TO BE PERFORMED, TO IDENTIFY THE NECESSARY CONSTRUCTION MEANS AND METHODS TO ACCOMPLISH ALL WORK ITEMS AS PART OF THE APPROVED PLANS, AND TO NOTIFY THE ENGINEER OF RECORD AND CITY ENGINEER OF ANY IDENTIFIED CONFLICTS, ERRORS, OR OMISSIONS FROM THE APPROVED PLANS.

13. THE CONTRACTOR SHALL RESTRICT CONSTRUCTION ACTIVITY TO THE CONSTRUCTION LIMITS AS SHOWN ON THE APPROVED PLANS, AND AREAS DEFINED AS PERMANENT AND/OR TEMPORARY CONSTRUCTION EASEMENTS, UNLESS OTHERWISE AUTHORIZED BY THE CITY ENGINEER. ALL WORK PERFORMED IN THE RIGHT-OF-WAY OR CONNECTING TO ANY PUBLIC INFRASTRUCTURE SHALL BE COORDINATED WITH AND INSPECTED BY THE CITY OF DUBLIN INSPECTOR.

14. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY PROPERTY, UTILITY, STRUCTURE, SIGNS, LANDSCAPING, OR OTHER INFRASTRUCTURE AT THEIR EXPENSE THAT HAS BEEN DAMAGED DURING CONSTRUCTION TO AN EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO THE DAMAGE. ALL WORK IS TO BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE CITY ENGINEER.

15. THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED BEFORE CONSTRUCTION PER ITEM 659. DRAINAGE DITCHES OR WATERCOURSES THAT ARE DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO THE GRADE AND CROSS SECTIONS THAT EXISTED BEFORE CONSTRUCTION UNLESS OTHERWISE NOTED ON THE APPROVED PLANS.

16. THE CONTRACTOR SHALL ABIDE BY CONSTRUCTION HOURS AND REQUIREMENTS AS DEFINED IN SECTION 150.160 OF THE CITY CODE.

17. NON-RUBBER TIRED VEHICLES SHALL NOT BE MOVED ON OR ACROSS PUBLIC STREETS OR HIGHWAYS WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.

PRIVATE DEVELOPMENT GENERAL NOTES  
(CONTINUED)

18. TRACKING OR SPILLING MUD, DIRT, OR DEBRIS UPON STREETS, RESIDENTIAL OR COMMERCIAL DRIVES, SIDEWALKS, OR SHARED-USE PATHS IS PROHIBITED ACCORDING TO SECTION 97.38 OF THE CITY CODE. ANY SUCH OCCURRENCE SHALL BE CLEANED UP IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE CITY. IF THE CONTRACTOR FAILS TO REMOVE SAID MUD, DIRT, DEBRIS, OR SPILLAGE, THE CITY RESERVES THE RIGHT TO REMOVE THESE MATERIALS AND CLEAN AFFECTED AREAS, THE COST OF WHICH SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

19. DISPOSAL OF EXCESS EXCAVATION WITHIN SPECIAL FLOOD HAZARD AREAS (100-YEAR FLOODPLAIN) IS NOT PERMITTED.

20. ALL FIELD TILES BROKEN DURING EXCAVATION SHALL BE REPLACED OR REPAIRED AND CONNECTED TO THE PUBLIC STORM SEWER SYSTEM AS DIRECTED BY THE CITY ENGINEER. THE COST OF THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

21. ALL TREES WITHIN THE PROJECT LIMITS NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED, WHETHER SHOWN OR NOT SHOWN ON THE APPROVED PLANS, UNLESS APPROVED BY THE CITY ENGINEER. TREES TO BE PRESERVED SHALL BE PROTECTED WITH HIGH VISIBILITY FENCING PLACED A MINIMUM OF 15 FEET FROM THE TREE TRUNK. TREES 6 INCHES OR GREATER AT DBH (DIAMETER BREST HEIGHT) MUST BE PROTECTED WITH FENCING PLACED AT THE CRITICAL ROOT ZONE OR 15 FEET, WHICHEVER IS GREATER. TREE TRIMMING WITHIN THE RIGHT-OF-WAY IS TO BE COMPLETED BY A CERTIFIED ARBORIST.

22. UTILITY TRENCH BACKFILL WITHIN A 1:1 INFLUENCE OF PUBLIC OR PRIVATE INFRASTRUCTURE (PAVEMENT, CURBS, SIDEWALKS, SHARED-USE PATHS, ETC.) OR EXISTING STRUCTURES (HOUSES, GARAGES, ETC.) SHALL BE COMPACTED GRANULAR BACKFILL PER ITEM 912 OF THE STANDARD SPECIFICATIONS, OR LOW STRENGTH MORTAR BACKFILL, TYPE II, PER ITEM 613. ITEM 911 OF THE STANDARD SPECIFICATIONS SHALL BE USED ELSEWHERE.

23. ALL STORM SEWERS, SANITARY SEWERS AND WATER LINES SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE. ALL UTILITIES SHALL HAVE A MINIMUM OF 18 INCH OF VERTICAL CLEARANCE.

24. STORM SEWERS, SANITARY SEWERS, AND WATER LINES, LOCATED IN FILL AREAS SHALL NOT BE CONSTRUCTED UNTIL AFTER COMPACTED FILL HAS BEEN INSTALLED TO PROPOSED GRADE.

25. ALL MANHOLE LIDS IN PAVEMENT SHALL HAVE A CONCRETE COLLAR PER CITY OF DUBLIN STANDARD DRAWING.

26. ALL TRENCHES WITHIN PUBLIC RIGHT-OF-WAY SHALL BE BACKFILLED ACCORDING TO THE APPROVED PLANS OR SECURELY PLATED DURING NON-WORKING HOURS. TRENCHES OUTSIDE THESE AREAS SHALL BE BACKFILLED OR PROTECTED BY APPROVED TEMPORARY FENCING OR BARRICADES DURING NON-WORKING HOURS. CLEAN UP SHALL IMMEDIATELY FOLLOW THE TRENCHING OPERATION.

27. ANY UTILITY MUST BE DIRECTIONALLY BORED ACROSS STREET INSTEAD OF OPEN CUT, UNLESS SPECIFICALLY APPROVED BY THE CITY ENGINEER. USE OF PNEUMATIC AIR RAM DEVICES IS NOT PERMITTED. SHOULD OPEN CUTTING OF EXISTING PAVEMENT BE PERMITTED, LOW STRENGTH MORTAR BACKFILL, TYPE II PER ITEM 613 SHALL BE USED IN PLACE OF COMPACTED GRANULAR BACKFILL. PERMITS TO CONSTRUCT IN THE RIGHT-OF-WAY MUST BE OBTAINED FROM THE DIVISION OF ENGINEERING BEFORE COMMENCING CONSTRUCTION.

28. PAVEMENT SHALL BE CUT IN NEAT, STRAIGHT LINES THE FULL DEPTH OF THE EXISTING PAVEMENT, OR AS REQUIRED BY THE CITY ENGINEER. PAVEMENT REPLACEMENT SHALL BE CONDUCTED ACCORDING TO CITY OF COLUMBUS STANDARD DRAWING 1441, AND APPLICABLE CITY OF DUBLIN STANDARD DRAWINGS. THE REPLACEMENT OF DRIVEWAYS, ADA RAMPS, SIDEWALKS, SHARED-USE PATHS, PARKING LOT PAVEMENT, ETC. SHALL BE INSTALLED ACCORDING TO THE APPROVED PLANS AND CITY OF DUBLIN STANDARD DRAWINGS.

29. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDITION OF TRENCHES WITHIN THE RIGHT-OF-WAY AND PUBLIC EASEMENTS FOR A PERIOD OF ONE YEAR FROM THE FINAL ACCEPTANCE OF THE WORK AND SHALL MAKE ANY NECESSARY REPAIRS AT NO COST TO THE CITY.

30. THE CONTRACTOR IS NOT PERMITTED TO USE ANY RECLAIMED OR RECYCLED MATERIALS IN ITEM 304, AGGREGATE BASE UNLESS APPROVED BY THE CITY ENGINEER.

31. PARK AREAS SHALL BE FINE-GRADED AND SEEDED WITH THE FOLLOWING MIXTURE:

IMPROVED KENTUCKY BLUEGRASS: 40% OF WEIGHT (2 VARIETIES IN EQUAL PARTS)

IMPROVED PERENNIAL RYE: 60% OF WEIGHT (2 VARIETIES IN EQUAL PARTS)

GERMINATION RATE: 85%

APPLICATION RATE: 7 POUNDS PER 1000 SQUARE FEET OR AS DIRECTED BY THE DIVISION OF PARKS AND RECREATION

UTILITIES NOTES

32. THE CONTRACTOR SHALL GIVE NOTICE TO CONSTRUCT TO OHIO UTILITIES PROTECTION SERVICE (800-362-2764 OR 8-1-1), AND TO OWNERS OF UNDERGROUND UTILITIES THAT ARE NOT MEMBERS OF A REGISTERED UNDERGROUND PROTECTION SERVICE. NOTICE SHALL BE GIVEN AT LEAST 2 WORKING DAYS BEFORE THE START OF CONSTRUCTION.

33. THE IDENTITY AND LOCATIONS OF EXISTING UNDERGROUND UTILITIES IN THE CONSTRUCTION AREA HAVE BEEN SHOWN ON THE APPROVED PLANS AS ACCURATELY AS PROVIDED BY THE OWNER OF THE UTILITY. THE CITY OF DUBLIN AND CITY ENGINEER ASSUME NO RESPONSIBILITY FOR THE ACCURACY OF UNDERGROUND FACILITIES SHOWN ON THE APPROVED PLANS. IF DAMAGE IS CAUSED TO UNDERGROUND UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF THE SAME AND FOR ANY RESULTING CONTINGENT DAMAGE.

34. LOCATION, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES, WHETHER SHOWN OR NOT SHOWN ON THE APPROVED PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

35. WHEN UNKNOWN OR INCORRECTLY LOCATED UNDERGROUND UTILITIES ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, OWNER, AND THE CITY ENGINEER.

36. PUBLIC STREET LIGHTING MAY BE IN THE VICINITY OF THIS PROJECT. CONTACT THE DIVISION OF ENGINEERING AT 614-410-4740, 14 CALENDAR DAYS PRIOR TO BEGINNING WORK.

TRAFFIC CONTROL

37. TRAFFIC CONTROL FOR VEHICULAR, PEDESTRIAN, AND SHARED-USE PATH TRAFFIC SHALL BE FURNISHED, ERECTED, MAINTAINED, AND REMOVED BY THE CONTRACTOR ACCORDING TO THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCD), CURRENT EDITION.

38. ALL TRAFFIC LANES OF PUBLIC ROADWAYS SHALL BE FULLY OPEN TO TRAFFIC FROM 7:00 AM TO 9:00 AM AND FROM 4:00 PM TO 6:00 PM UNLESS APPROVED BY THE CITY ENGINEER. AT ALL OTHER HOURS, THE CONTRACTOR SHALL FOLLOW THE MAINTENANCE OF TRAFFIC IN THE APPROVED PLANS. UNIFORMED, OFF-DUTY POLICE OFFICERS SHALL REPLACE FLAGMEN DESIGNATED BY THE OMUTCD, AND SHALL BE PRESENT WHENEVER ONE-LANE, TWO-WAY TRAFFIC CONTROL IS IN EFFECT. POLICE CRUISERS MAY BE REQUIRED AS DIRECTED BY THE CITY ENGINEER.

39. IF THE CITY ENGINEER DETERMINES THAT THE CONTRACTOR IS NOT PROVIDING PROPER PROVISIONS FOR TRAFFIC CONTROL, THE CITY ENGINEER SHALL ASSIGN UNIFORMED, OFF-DUTY POLICE OFFICERS AT THE CONTRACTOR'S EXPENSE.

40. STEADY-BURNING, TYPE "C" LIGHTS PER THE OMUTCD SHALL BE REQUIRED ON ALL BARRICADES, DRUMS, AND SIMILAR TRAFFIC CONTROL DEVICES IN USE AT NIGHT.

41. ACCESS FROM PUBLIC ROADWAYS TO ALL ADJOINING PROPERTIES FOR EXISTING RESIDENTS AND BUSINESSES SHALL BE MAINTAINED AT ALL TIMES FOR MAIL, PUBLIC WATER AND SANITARY SEWER SERVICE, AND EMERGENCY VEHICLES. THE CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN DETAILING THE PROPOSED MAINTENANCE OF TRAFFIC PROCEDURES FOR ROADWAYS, SIDEWALKS, AND SHARED-USE PATHS. THE TRAFFIC CONTROL PLAN MUST INCORPORATE TRAFFIC CONTROL DETAILS AS SHOWN ON THE APPROVED PLANS. THE TRAFFIC CONTROL PLAN PROPOSED BY THE CONTRACTOR MUST BE SUBMITTED, REVIEWED, AND APPROVED BY THE CITY ENGINEER PRIOR TO THE START OF CONSTRUCTION.

42. TRAFFIC CONTROL AND OTHER REGULATORY SIGNS SHALL BE TYPE S WITH A SQUARE POST ANCHOR BASE INSTALLATION AND MEET ALL REQUIREMENTS OF ODOT TC-41.20 AND APPLICABLE CITY OF DUBLIN SPECIFICATIONS.

43. STREET SIGNS SHALL MEET ALL CITY OF DUBIN SPECIFICATIONS WITH LETTERING COLORED IN WHITE DISPLAYED OVER A BROWN BACKGROUND. SIGN TUBING SHALL BE BROWN IN COLOR AND CONFORM WITH TYPE S SQUARE POST ANCHOR BASE INSTALLATION REQUIREMENTS OF ODOT TC-41.20.

EROSION AND SEDIMENT CONTROL NOTES

44. THE CONTRACTOR SHALL ADHERE TO ALL REQUIREMENTS AND CONDITIONS AS SET FORTH BY THE OHIO EPA GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY. A COPY OF THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWP3), NPDES PERMIT, AND THE OHIO EPA NOI MUST BE KEPT ON SITE AND CLEARLY DISPLAYED AT ALL TIMES. WHEN A SWP3 IS REQUIRED, THIS PLAN SET SHALL NOT BE APPROVED UNTIL THE SWP3 HAS BEEN REVIEWED AND APPROVED BY THE CITY OF DUBLIN.

45. ALL LAND DISTURBING ACTIVITIES SHALL BE SUBJECT TO INSPECTION AND SITE INVESTIGATION BY THE CITY OF DUBLIN AND/OR THE OHIO EPA.

46. THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL AT ALL POINTS WHERE STORM WATER RUNOFF LEAVES THE SITE, INCLUDING WATERWAYS, OVERLAND SHEET FLOW, AND STORM SEWERS. EROSION AND SEDIMENT CONTROL SHALL BE PROVIDED PER THE REQUIREMENTS OF THE "RAINWATER AND LAND DEVELOPMENT" MANUAL PROVIDED BY THE OHIO EPA.

47. ACCEPTED METHODS OF PROVIDING EROSION/SEDIMENT CONTROL INCLUDE BUT ARE NOT LIMITED TO SEDIMENT BASINS, SEDIMENT TRAPS, SILT FILTER FENCE, AGGREGATE CHECK DAMS, AND TEMPORARY GROUND COVER. HAY OR STRAW BALES ARE NOT PERMITTED.

48. THE CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE OF THE SITE AREA AT ALL TIMES CONSISTENT WITH APPROPRIATE EROSION CONTROL PRACTICES.

49. STABILIZATION OF DISTURBED AREAS SHALL AT A MINIMUM BE INITIATED IN ACCORDANCE WITH THE TIME FRAME SPECIFIED IN THE FOLLOWING TABLES:

TABLE 1: PERMANENT STABILIZATION

| AREA REQUIRING PERMANENT STABILIZATION                         | TIME FRAME TO APPLY EROSION CONTROLS                       |
|----------------------------------------------------------------|------------------------------------------------------------|
| ANY AREAS THAT WILL BE DORMANT FOR ONE YEAR OR MORE            | WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE           |
| ANY AREAS WITHIN 50 FEET OF A SURFACE WATER AND AT FINAL GRADE | WITHIN TWO DAYS OF REACHING FINAL GRADE                    |
| OTHER AREAS AT FINAL GRADE                                     | WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN THAT AREA |

TABLE 2: TEMPORARY STABILIZATION

| AREA REQUIRING PERMANENT STABILIZATION                                                                                           | TIME FRAME TO APPLY EROSION CONTROLS                                                                                                                                                                                 |
|----------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ANY DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER AND NOT AT FINAL GRADE                                                     | WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN IDLE FOR MORE THAN 14 DAYS                                                                                                                    |
| ANY DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FEET OF A SURFACE WATER | WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS MUST BE STABILIZED AT LEAST SEVEN DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL LOT(S) |
| DISTURBED AREAS THAT WILL BE IDLE OVER WINTER                                                                                    | PRIOR TO THE ONSET OF WINTER WEATHER                                                                                                                                                                                 |

WHERE VEGETATIVE STABILIZATION TECHNIQUES MAY CAUSE STRUCTURAL INSTABILITY OR ARE OTHERWISE UNOBTAINABLE, ALTERNATIVE STABILIZATION TECHNIQUES MUST BE EMPLOYED.

SANITARY SEWER NOTES

50. EXTENSIONS AND/OR MODIFICATION TO THE PUBLIC SANITARY SEWER SYSTEM WILL REQUIRE AN OEPA PTI (PERMIT TO INSTALL) UNDER A SEPARATE PLAN SET. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL REQUIRED OHIO EPA APPROVALS AND PAYING REVIEW FEES. SANITARY SERVICE CONNECTIONS OR MODIFICATIONS TO THE PUBLIC SANITARY SEWER SYSTEM REQUIRE INSPECTION BY THE CITY OF DUBLIN DIVISION OF ENGINEERING.

51. SANITARY SEWERAGE COLLECTION SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES, REGULATIONS, STANDARDS, AND SPECIFICATIONS OF THE CITY OF COLUMBUS, CITY OF DUBLIN, OHIO EPA, OHIO DEPARTMENT OF HEALTH, AND THE CURRENT EDITION OF THE GREAT LAKES-UPPER MISSISSIPPI RIVER BOARD (TEN STATES) – RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES.

52. ROOF DRAINS, FOUNDATION DRAINS, FIELD TILE OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE STRICTLY PROHIBITED ACCORDING TO SECTION 51.23 OF THE CITY CODE.

53. MINIMUM REQUIREMENTS FOR SANITARY SEWER PIPE:

6 INCH SERVICE LATERAL: PVC, ASTM D3034, SDR35

8 INCH - 10 INCH: PVC, ASTM D3034, SDR35

12 INCH - 30 INCH: PVC, ASTM D3034, SDR 35 OR SANITITE HP, ASTM F2736

30 INCH - 60 INCH: PVC, ASTM D3034, SDR 35 OR SANITITE HP, ASTM F2764

PIPE DEPTHS BETWEEN 20 FEET TO 28 FEET DEEP SHALL BE SDR 26. PVC PIPE SHALL NOT BE USED AT DEPTHS GREATER THAN 28 FEET. ALL PIPE MATERIALS AND RELATED STRUCTURES SHALL BE SHOP TESTED IN ACCORDANCE WITH CITY OF COLUMBUS CONSTRUCTION INSPECTION DIVISION QUALITY CONTROL REQUIREMENTS.

MINIMUM PIPE SLOPE FOR SERVICE LATERALS SHALL BE 2.08%. MAIN LINE PIPES SHALL MEET THE REQUIREMENTS OF THE CITY OF COLUMBUS SANITARY SEWER DESIGN MANUAL.

54. TRENCH DAMS SHALL BE INSTALLED ALONG SANITARY SEWERS PER ITEM 901.11 AND SHALL BE SHOWN ON THE SANITARY SEWER PROFILE.

55. ALL IN-LINE WYE AND TEE CONNECTIONS IN CONCRETE SEWERS, 18 INCH AND LARGER, SHALL BE EITHER KOR-N-TEE OR KOR-N-SEAL CONNECTIONS CONFORMING TO THE MANUFACTURER'S RECOMMENDATIONS.

56. GRANULAR BACKFILL SHALL BE COMPACTED GRANULAR MATERIAL PER ITEM 912 OR LOW STRENGTH MORTAR BACKFILL PER ITEM 613, TYPE II.

57. ALL MANHOLE LIDS SHALL BE PROVIDED WITH CONTINUOUS SELF-SEALING GASKETS. BOLT DOWN LIDS SHALL BE INSTALLED PER CITY OF DUBLIN STANDARD DRAWING OR AS REQUIRED BY THE CITY ENGINEER. SANITARY SEWER MANHOLES SHALL BE PRECAST CONCRETE OR AS APPROVED BY THE CITY ENGINEER AND CONFORM TO THE CITY OF DUBLIN STANDARD MANHOLE DRAWING. MANHOLE LIDS SHALL INCLUDE CITY OF DUBLIN LOGO PER CITY STANDARD DRAWINGS.

58. ALL FLEXIBLE SEWER PIPES SHALL BE DEFLECTION TESTED NO LESS THAN 30 DAYS AFTER COMPLETION OF BACKFILLING OPERATIONS. ALL OTHER REQUIREMENTS SHALL BE ACCORDING TO ITEM 901.21.

59. ALL SANITARY SEWERS INCLUDING SERVICE LINES SHALL BE SUBJECT TO AND PASS INFILTRATION AND EXFILTRATION TESTS ACCORDING TO ITEM 901 AND MUST BE INSPECTED AND APPROVED FOR USE BY THE CITY ENGINEER BEFORE ANY SERVICE CONNECTIONS ARE TAPPED INTO SEWERS.

60. FOR SANITARY SEWER INFILTRATION, LEAKAGE THROUGH JOINTS SHALL NOT EXCEED 100 GALLONS PER INCH OF TRIBUTARY SEWER DIAMETER PER 24 HOURS PER MILE OF LENGTH OR THE COMPUTED EQUIVALENT. ALL SANITARY SEWERS SHALL BE TESTED AND INSPECTED BY CITY OF DUBLIN DIVISION OF ENGINEERING.

61. UNLESS OTHERWISE DETERMINED BY THE CITY ENGINEER, THE CONTRACTOR SHALL PERFORM A CCTV INSPECTION OF THE SANITARY SEWER LATERAL PRIOR TO THE FINAL APPROVAL BY THE CITY. CCTV SHALL CONFORM TO CURRENT PACP STANDARDS. THIS WORK SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE.

VISIBLE LEAKS OR OTHER DEFECTS OBSERVED OR DISCOVERED DURING TV INSPECTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE CITY ENGINEER.

62. TEMPORARY BULKHEADS SHALL REMAIN IN PLACE UNTIL THE PTI HAS BEEN ISSUED BY THE OEPA AND THE SEWERS HAVE BEEN APPROVED FOR USE BY THE CITY ENGINEER. THE COST FOR FURNISHING, INSTALLING, MAINTAINING, AND REMOVING BULKHEADS SHALL BE AT THE CONTRACTOR'S EXPENSE.

63. WHERE SANITARY SEWERS CROSS WATER MAIN OR OTHER UTILITIES, COMPACTED GRANULAR MATERIAL PER ITEM 912 SHALL BE PLACED BETWEEN THE CROSSING PIPES. IN THE EVENT A WATER LINE MUST VERTICALLY CROSS A SANITARY SEWER WITH LESS THAN 18 INCHES OF SEPARATION FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE, THE SANITARY SEWER SHALL BE CONCRETE ENCASED OR CONSIST OF DUCTILE IRON PIPE MATERIAL.

64. SERVICE RISERS SHALL BE INSTALLED WHERE THE DEPTH FROM WYES TO PROPOSED GROUND ELEVATION EXCEEDS 10 FEET. RISERS SHALL CONFORM TO STANDARD DRAWING SA-03.

65. BACKWATER VALVES SHALL BE INSTALLED ON SANITARY SERVICES WITH LESS THAN 2 FEET OF RISER PIPE WITHIN THE FOOTPRINT OF THE BUILDING AS REQUIRED BY THE CITY ENGINEER. BACKWATER VALVES SHALL BE INSTALLED AT THE TIME THE HOUSE/STRUCTURE IS CONSTRUCTED.

66. A MINIMUM 5-FOOT LENGTH OF SANITARY SEWER SERVICE PIPE SHALL BE INSTALLED AT THE TIME OF THE INSTALLATION OF THE WYE.

67. THE CONTRACTOR SHALL FURNISH AND PLACE 4 INCH X 4 INCH X 10 FEET LONG PRESSURE TREATED WOOD WYE POLES AT ALL WYE LOCATIONS, ENDS OF EXTENDED SERVICES, OR AT THE END OF EACH RISER WHERE RISERS ARE REQUIRED. WYE POLES SHALL BE VISIBLE BEFORE ACCEPTANCE BY THE CITY.

68. SANITARY WYES SHALL BE PLACED A MINIMUM OF 10 FEET FROM MANHOLES UNLESS APPROVED BY THE CITY ENGINEER.

69. EXISTING SANITARY SEWER FLOWS SHALL BE MAINTAINED AT ALL TIMES. PUMPING AND BYPASSING SANITARY SEWER FLOW SHALL BE AT THE CONTRACTOR'S EXPENSE. A PLAN FOR PUMPING SHALL BE SUBMITTED AND APPROVED BY THE CITY ENGINEER.

| REVISION RECORD      |      |        |     |  |  |  |  |
|----------------------|------|--------|-----|--|--|--|--|
| REVISION DESCRIPTION |      | ENG    | DUB |  |  |  |  |
|                      |      | MPZ    |     |  |  |  |  |
| ISSUED FOR REVIEW    |      |        |     |  |  |  |  |
| NO.                  | DATE | 091126 |     |  |  |  |  |
| *                    |      |        |     |  |  |  |  |

HIXSON

ARCHITECTURE ENGINEERING INTERIORS

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PRIVATE SITE IMPROVEMENT PLAN

NQAC-BUILDING ADDITIONS

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

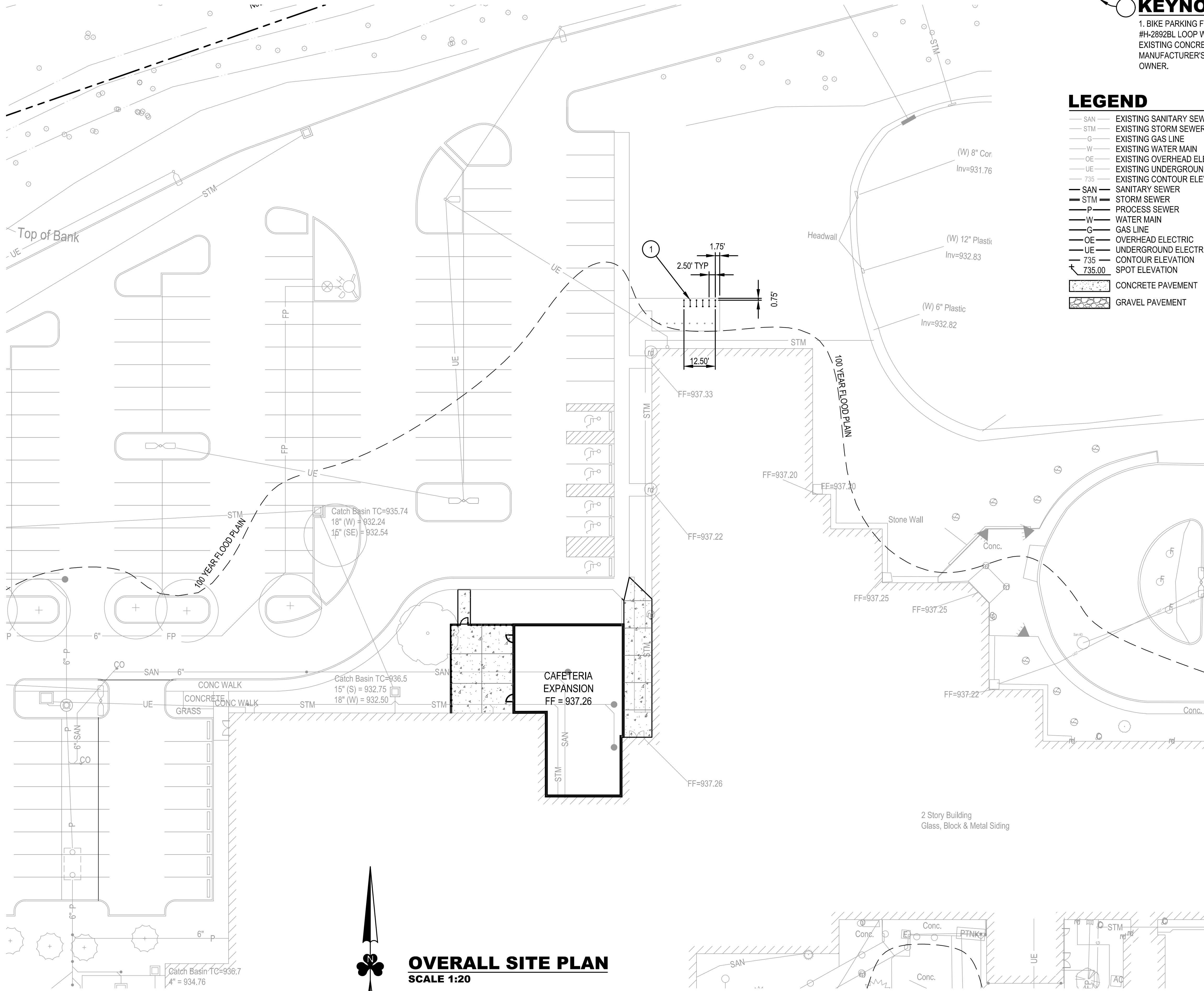
GENERAL NOTES

SEPTEMBER 2026

CITY OF DUBLIN  
PROJECT NUMBER  
24-XXX-COM

DRAWING NUMBER  
C002

SHEET NUMBER  
2 OF 9



## KEYNOTES

1. BIKE PARKING FOR (10) BIKE SPACES. PROVIDE (6) MODEL #H-2892BL LOOP WAVE STYLE BLACK BIKE RACKS. INSTALL ON EXISTING CONCRETE PAVEMENT. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE WITH OWNER.

## LEGEND

- SAN EXISTING SANITARY SEWER
- STM EXISTING STORM SEWER
- G EXISTING GAS LINE
- W EXISTING WATER MAIN
- OE EXISTING OVERHEAD ELECTRIC
- UE EXISTING UNDERGROUND ELECTRIC
- 735 EXISTING CONTOUR ELEVATION
- SAN SANITARY SEWER
- STM STORM SEWER
- P PROCESS SEWER
- W WATER MAIN
- G GAS LINE
- OE OVERHEAD ELECTRIC
- UE UNDERGROUND ELECTRIC
- 735 CONTOUR ELEVATION
- 735.00 SPOT ELEVATION
- CONCRETE PAVEMENT
- GRAVEL PAVEMENT

## GENERAL NOTES

A. DRAWING (TOPOGRAPHIC) INFORMATION BASED ON EM&T SURVEY #20120730, DATED 10/18/2012 AND PREVIOUS DESIGN BY HIXSON PROJECT 8174.20, DATED 3/18/2014. FIELD VERIFY EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE STARTING WORK AND NOTIFY OWNER OF ANY DISCREPANCIES FROM INFORMATION SHOWN.

B. MAINTAIN AND PROTECT EXISTING UTILITIES DURING CONSTRUCTION. DO NOT INTERRUPT ANY EXISTING UTILITY SERVICE WITHOUT PRIOR APPROVAL FROM OWNER. RESTORE AND REPAIR ANY DAMAGED UTILITIES TO ORIGINAL CONDITION. RESTORE AND REPAIR OTHER EXISTING IMPROVEMENTS (PAVING, SLABS, LAWN AREAS ETC.) WHERE DAMAGED OR REMOVED WITH SIMILAR MATERIALS (SIZE, TYPE, STRENGTH) TO EFFECT A SERVICEABLE INSTALLATION ACCEPTABLE TO THE OWNER. COORDINATE INDICATED WORK WITH OTHER NEW AND EXISTING UTILITIES. PROVIDE ALL BENDS, OFFSETS AND ETC. REQUIRED DUE TO COORDINATION WHETHER SHOWN ON DRAWINGS OR NOT.

C. DO NOT DEMOLISH EXISTING UTILITIES UNTIL TEMPORARY OR PERMANENT MEASURES ARE IN PLACE TO PROVIDE THE SITE WITH PROPER STORMWATER DRAINAGE, SANITARY SEWER SERVICE, WATER SERVICE, ETC.

D. PROVIDE TEMPORARY OR PERMANENT MEASURES TO ENSURE SITE ACCESS AND CIRCULATION PATHS ARE MAINTAINED, COORDINATE WITH OWNER.

E. MAINTAIN FACILITY SECURITY AS DIRECTED BY OWNER. SCHEDULE AND COORDINATE WORK WITH OWNER TO MINIMIZE INTERFERENCE WITH OWNERS OPERATIONS.

F. VISIT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS. FIELD VERIFY EXISTING CONDITIONS, PRIOR TO START OF CONSTRUCTION.

G. PRIOR TO PLACEMENT OF STRUCTURES, SLABS, ETC., VERIFY SURROUNDING ELEVATIONS, ADJUST PROPOSED STRUCTURE/SLAB ELEVATIONS TO PROVIDE POSITIVE DRAINAGE CONDITIONS.

H. LEGALLY DISPOSE OF ALL EXCAVATED MATERIAL, WASTE AND OTHER DEBRIS, OFF OWNER'S PROPERTY.

I. BACKFILL ALL UNDERGROUND STRUCTURES WITH COMPACTED GRANULAR BACKFILL MATERIAL.

J. PIPE BEDDING AND BACKFILL PER 1/C1500.

K. PREVENT MUD AND DEBRIS FROM BEING DEPOSITED ON PUBLIC STREETS.

L. PERFORM ALL WORK IN CONFORMANCE WITH APPLICABLE PROVISIONS OF BUILDING CODE, OSHA AND LOCAL CODES AND ORDINANCES. COMPLY WITH ALL REQUIREMENTS FOR PERMITS LICENSES, FEES AND CODES, AND PAY ALL ASSOCIATED COST.

M. COMPLY WITH LOCAL UTILITY, ENVIRONMENTAL AND EROSION CONTROL REGULATIONS.

N. NEATLY SAWCUT AND REMOVE EXISTING PAVEMENT FOR UTILITY RELOCATION AND INSTALLATION. PAVEMENT RESTORATION PER 2/C1500.

O. NOTIFY AND SECURE APPROVAL FROM GOVERNING AUTHORITIES PRIOR TO PERFORMING ANY WORK IN THE PUBLIC RIGHT OF WAY.

P. DIMENSIONAL LAYOUTS AS SHOWN ARE FROM OUTSIDE FACE OF FOUNDATION WALL, FACE OF CURB, FACE OF WALL, CENTERLINE/EDGE OF PARKING, EDGE OF PAVEMENT OR OTHER FIXED POINT.

Q. BUILDING DIMENSIONS SHOWN ARE FOR ROUGH GRADING, LAYOUT AND COORDINATION ONLY. REFER TO ARCHITECTURAL SERIES DRAWINGS FOR FINAL BUILDING DIMENSIONS.

R. COORDINATE LOCATION OF ALL PIPE GUARDS AND GUARDRAIL POSTS WITH ALL EXISTING AND PROPOSED UNDERGROUND UTILITIES. VERIFY PRIOR TO CONSTRUCTION.

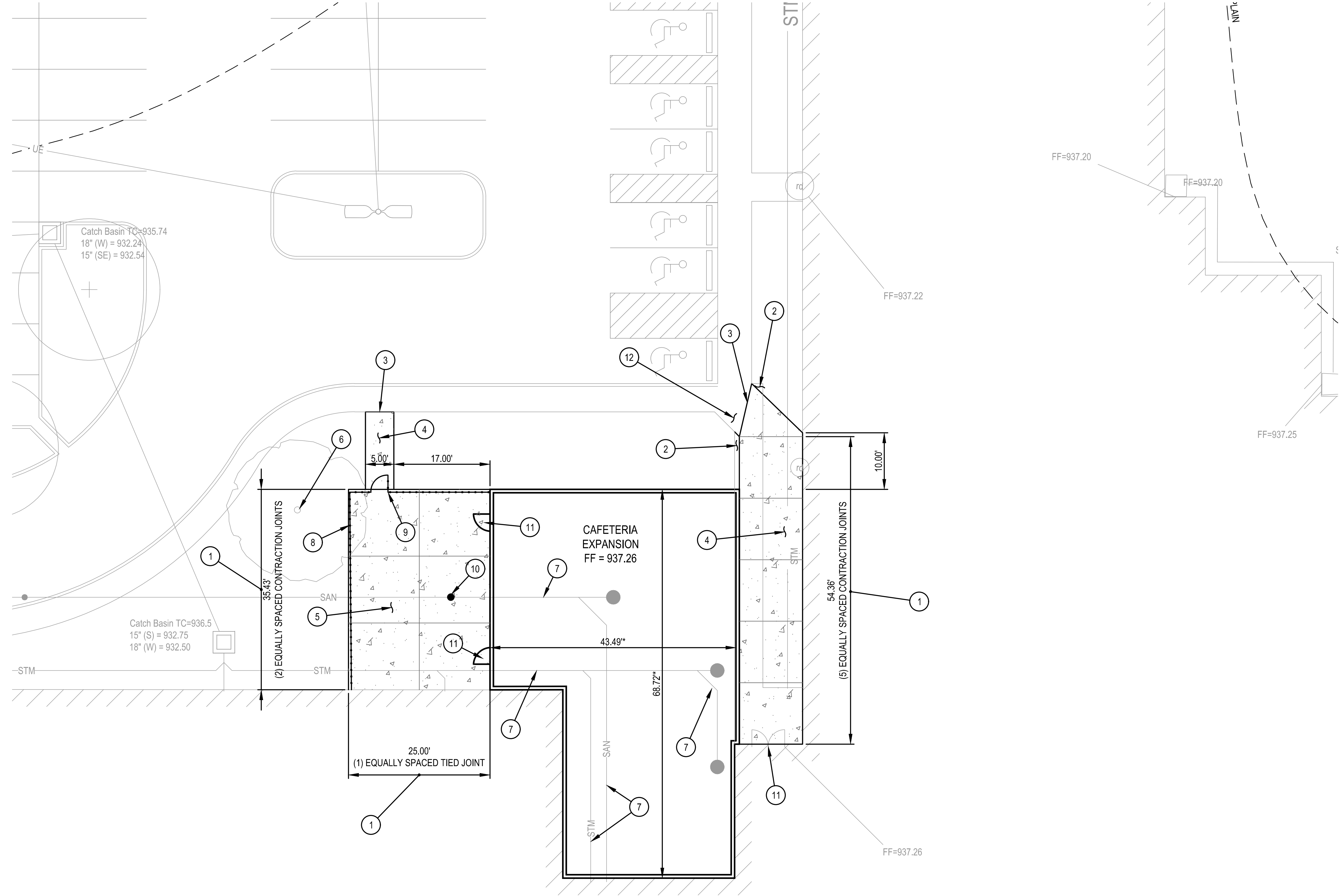
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PRIVATE SITE IMPROVEMENT PLAN  
**NQAC-BUILDING ADDITIONS**  
6625 EITERMAN ROAD  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

OVERALL SITE PLAN  
SEPTEMBER 2026

CITY OF DUBLIN  
PROJECT NUMBER  
**24-XXX-COM**  
DRAWING NUMBER  
**C003**  
SHEET NUMBER  
**3** OF **9**

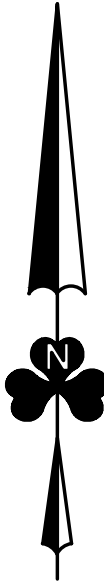


### UTILITY NOTES

- A. COORDINATE WORK SHOWN WITH OTHER UTILITIES. PROVIDE ALL BENDS, OFFSETS ETC. REQUIRED DUE TO COORDINATION WHETHER INDICATED ON DRAWINGS OR NOT.
- B. PROVIDE ALL FITTINGS, MATERIALS, AND TRANSITIONS REQUIRED BETWEEN SITE UTILITIES AND BUILDING UTILITIES. REFER TO MECHANICAL DRAWINGS FOR UTILITIES ENTERING AND EXITING THE BUILDING.
- C. DO NOT INTERRUPT ANY ACTIVE UTILITY EXCEPT AS PERMITTED BY OWNER.
- D. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND TIE - INS PRIOR TO REMOVAL AND REPLACEMENT.

### KEYNOTES

1. CONCRETE JOINTS PER 9/CI500 INCLUDING ISOLATION JOINTS.
2. DEMOLISH AND REMOVE EXISTING PAVEMENT AND GRAVEL. RESTORE TO GRASS.
3. PROVIDE CLEAN EDGE AND ISOLATION JOINT PER 9/CI500 AT NEW CONCRETE AND EXISTING CONCRETE INTERFACE. SAWCUT EXISTING AS NEEDED TO ENSURE A STRAIGHT JOINT.
4. CONCRETE SIDEWALK PER 3/CI500.
5. CONCRETE PAVEMENT PER 4/CI500.
6. TREE TO REMAIN.
7. EXISTING SEWER WITHIN EXPANSION FOOTPRINT. REFER TO PLUMBING DRAWINGS MODIFICATIONS AND OR DEMOLITION.
8. 4' HIGH MONTAGE PLUS ORNAMENTAL STEEL FENCE BY AMERISTAR. COORDINATE STYLE AND COLOR WITH OWNER.
9. 3' WIDE MANUAL SWING GATE. MATCH STYLE AND HEIGHT OF FENCE.
10. SANITARY CLEANOUT INSTALLED ON EXISTING SEWER PER DETAIL 5/CI500.
11. DOWELED CONNECTION AT PERSONNEL DOOR PER 6/CI500.
12. PAVEMENT TO REMAIN. RESTORE DISTURBED AREA TO ORIGINAL CONDITION.



**SITE PLAN**  
SCALE 1:10

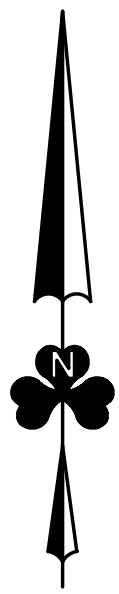
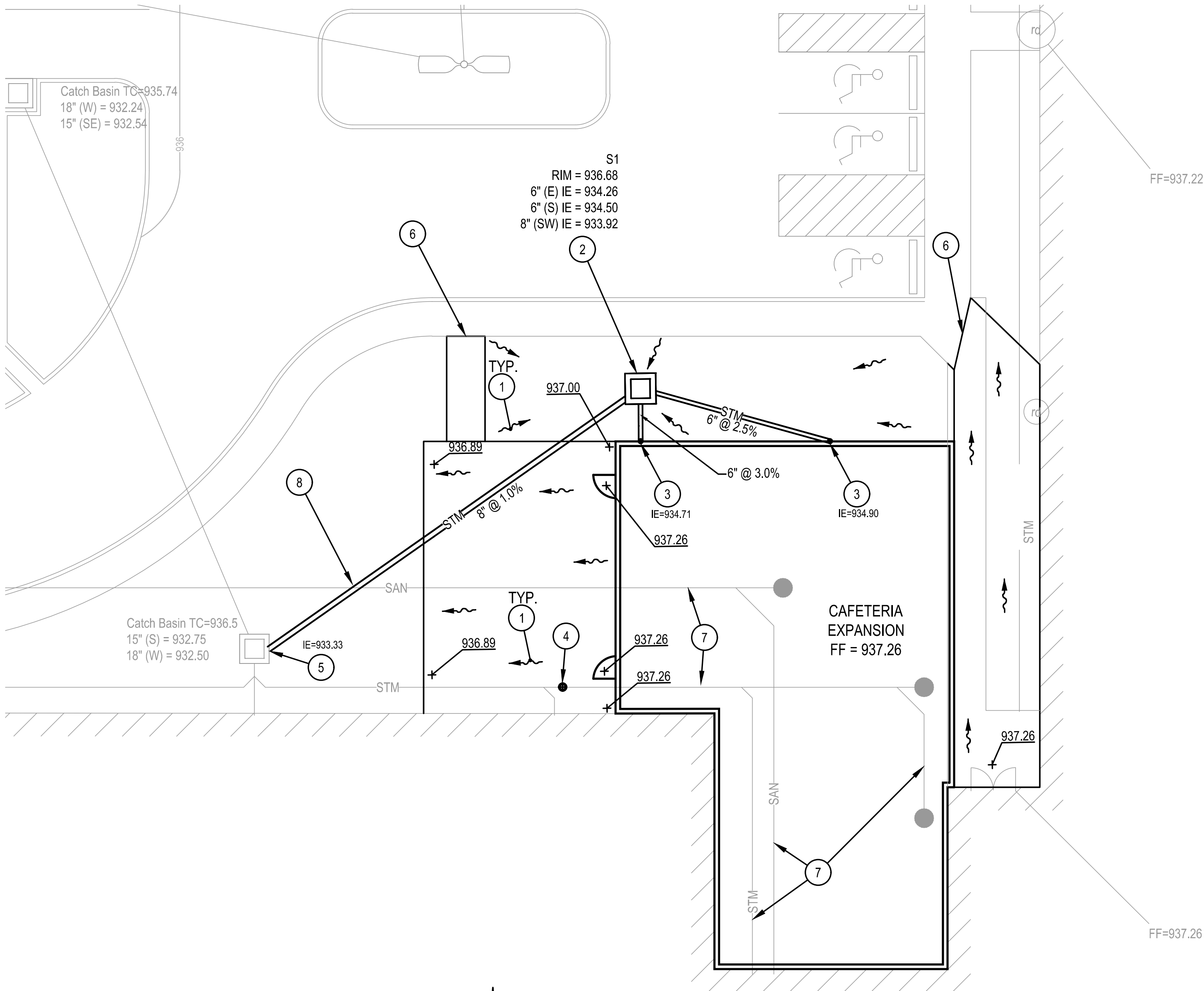
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PRIVATE SITE IMPROVEMENT PLAN  
**NQAC-BUILDING ADDITIONS**  
6625 EITERMAN ROAD  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

|           |                |
|-----------|----------------|
| SITE PLAN | SEPTEMBER 2026 |
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|                                                |
|------------------------------------------------|
| CITY OF DUBLIN<br>PROJECT NUMBER<br>24-XXX-COM |
| DRAWING NUMBER<br>C004                         |
| SHEET NUMBER<br>4 OF 9                         |



**GRADING PLAN**  
SCALE 1:10

**GRADING NOTES**

- A. 100.00 DATUM ELEVATION USED ON ARCHITECTURAL, STRUCTURAL, PLUMBING, ETC. = SEA LEVEL ELEVATION 937.26 ON CIVIL DRAWINGS. DATUM ELEVATION MATCHES EXISTING FINISHED FLOOR.
- B. ELEVATIONS INDICATED ON THIS PLAN REPRESENT FINISH GRADE. DURING ROUGH GRADING, GRADE IMPROVED AREAS TO VARIOUS BUILDING AND PAVEMENT SUBGRADE ELEVATIONS AS INDICATED ON DETAILS. GRADE ALL NON-IMPROVED AREAS TO ALLOW FOR LATER PLACEMENT OF 6" OF TOPSOIL.
- C. MAINTAIN DRAINAGE THROUGH AND ACROSS SITE AT ALL TIMES DURING CONSTRUCTION.
- D. REFER TO SITE DEVELOPMENT PLANS FOR COMPLETE DIMENSIONAL LAYOUT.
- E. COORDINATE STORM SEWER INSTALLATION WITH EXISTING AND PROPOSED UTILITIES ON SITE. REFER TO SITE UTILITY PLANS.
- F. LEGALLY DISPOSE OF ALL EXCAVATED MATERIAL, WASTE AND OTHER DEBRIS OFF OWNER'S PROPERTY.
- G. ALL STORM SEWERS 15" AND SMALLER TO BE PVC UNLESS NOTED OTHERWISE, REFER TO SPECIFICATIONS.

**KEYNOTES**

1. GRADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND TO PREVENT PONDING OF WATER.
2. SHALLOW CATCH BASIN PER 7/CI500.
3. DOWNSPOUT CONNECTION PER 8/CI500. COORDINATE LOCATION WITH ARCHITECTURAL DRAWINGS.
4. INSTALL CLEANOUT PER 5/CI500 ON EXISTING LINE.
5. CORE HOLE IN EXISTING DRAINAGE STRUCTURE FOR INFLUENT 6" PIPE. GROUT SEAL AROUND PIPE TO PROVIDE WATERTIGHT CONNECTION.
6. MATCH EXISTING PAVEMENT ELEVATION.
7. EXISTING SEWER WITHIN EXPANSION FOOTPRINT. REFER TO PLUMBING DRAWINGS MODIFICATIONS AND OR DEMOLITION.
8. STORM SEWER, I.E. = 933.47. CROSSING OVER EXISTING SANITARY. FIELD VERIFY EXISTING SANITARY ELEVATION AND LOCATION PRIOR TO CONSTRUCTION.

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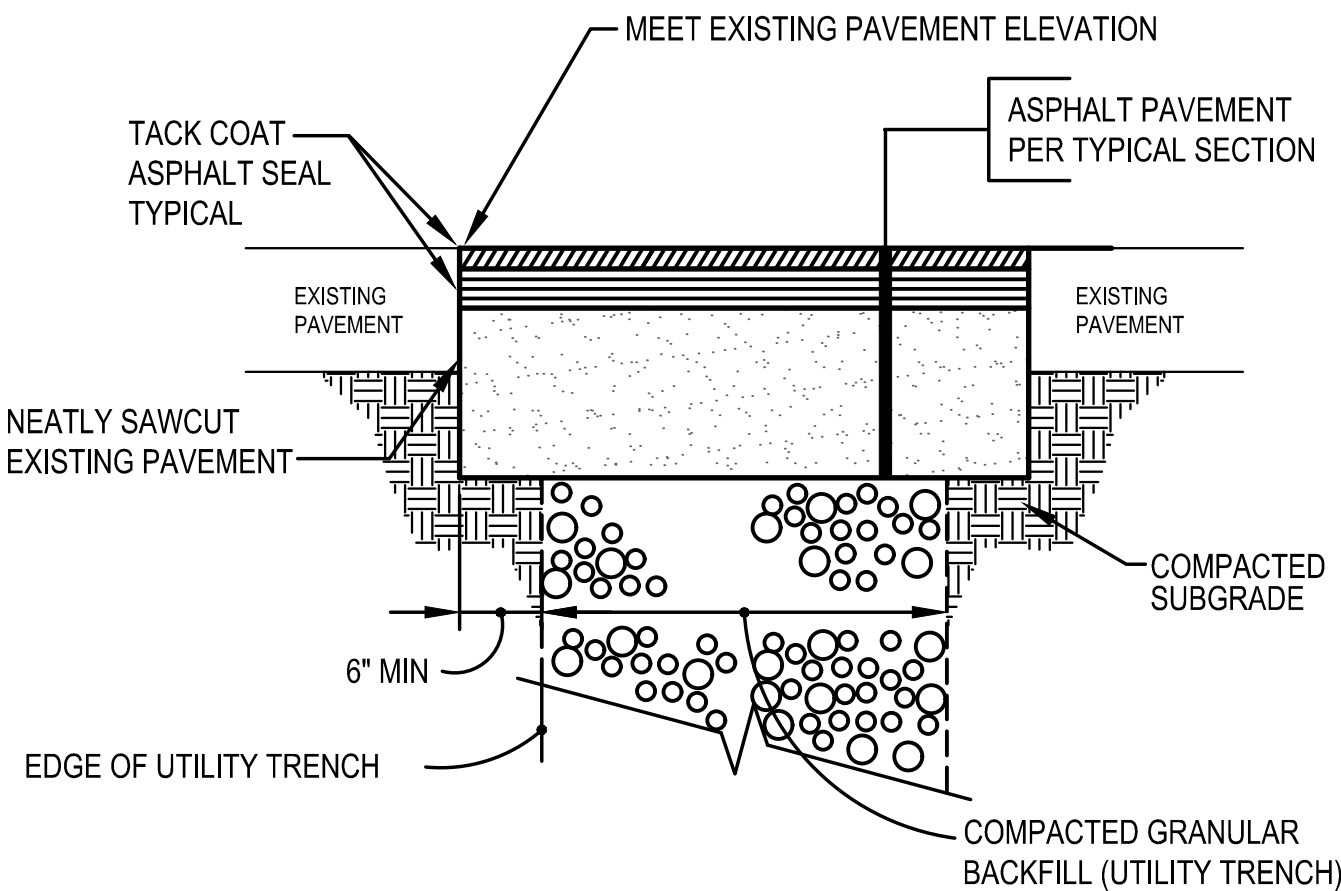
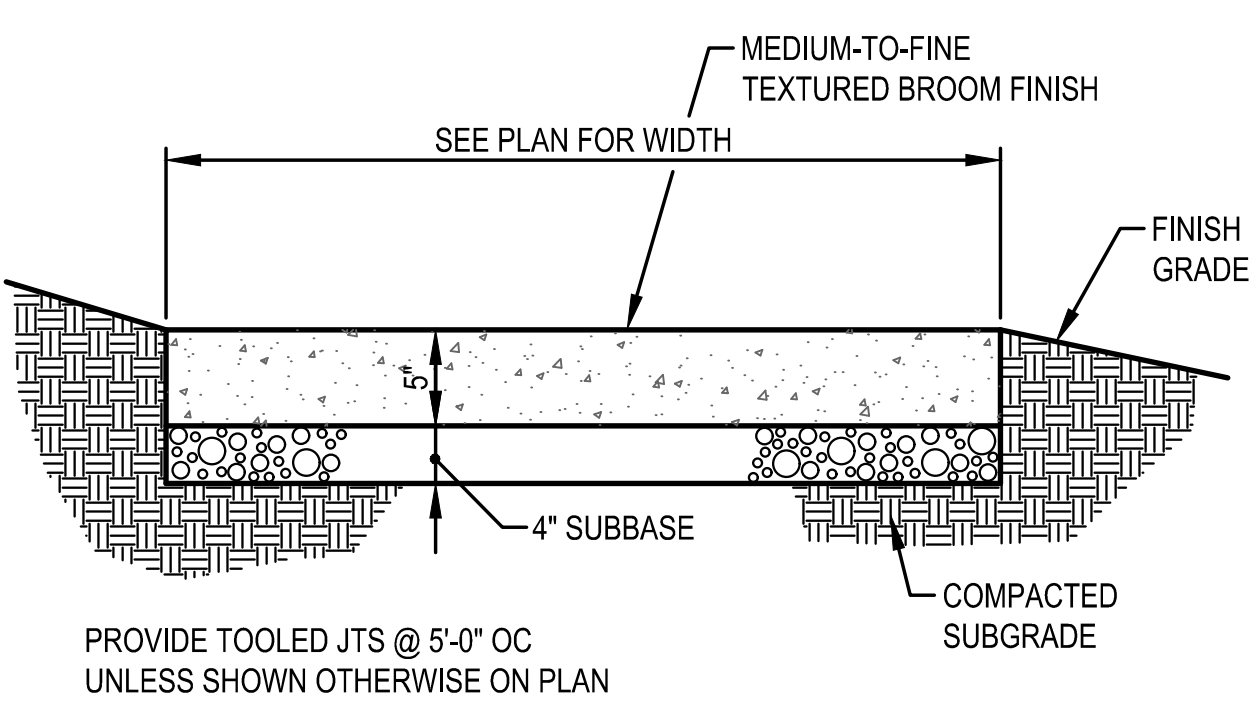
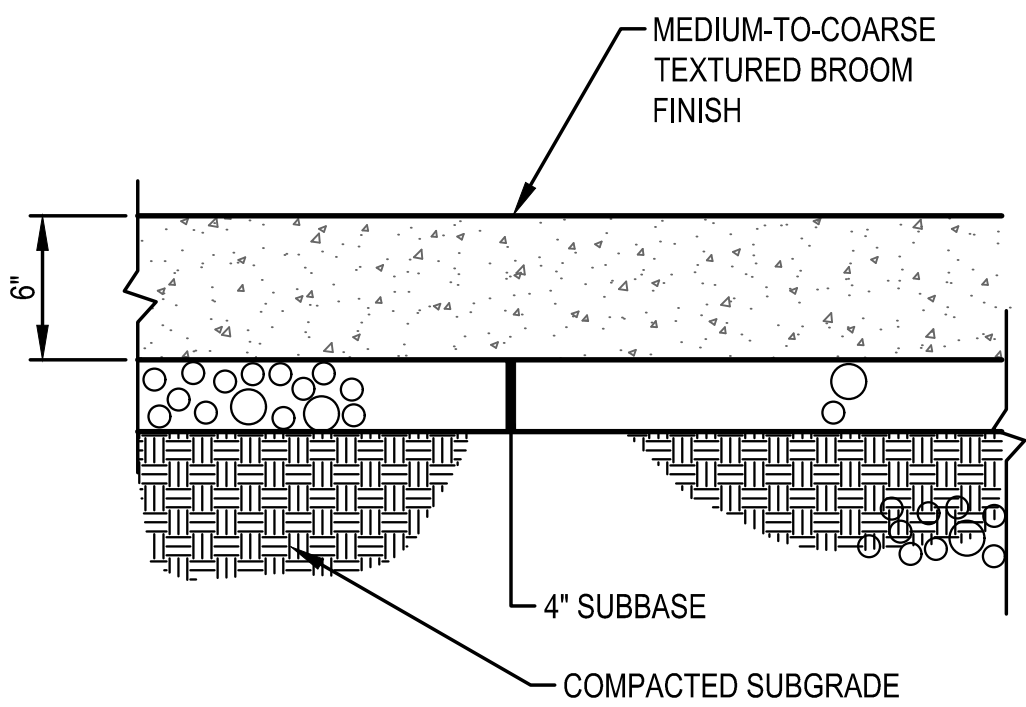
PRIVATE SITE IMPROVEMENT PLAN

**NQAC-BUILDING ADDITIONS**

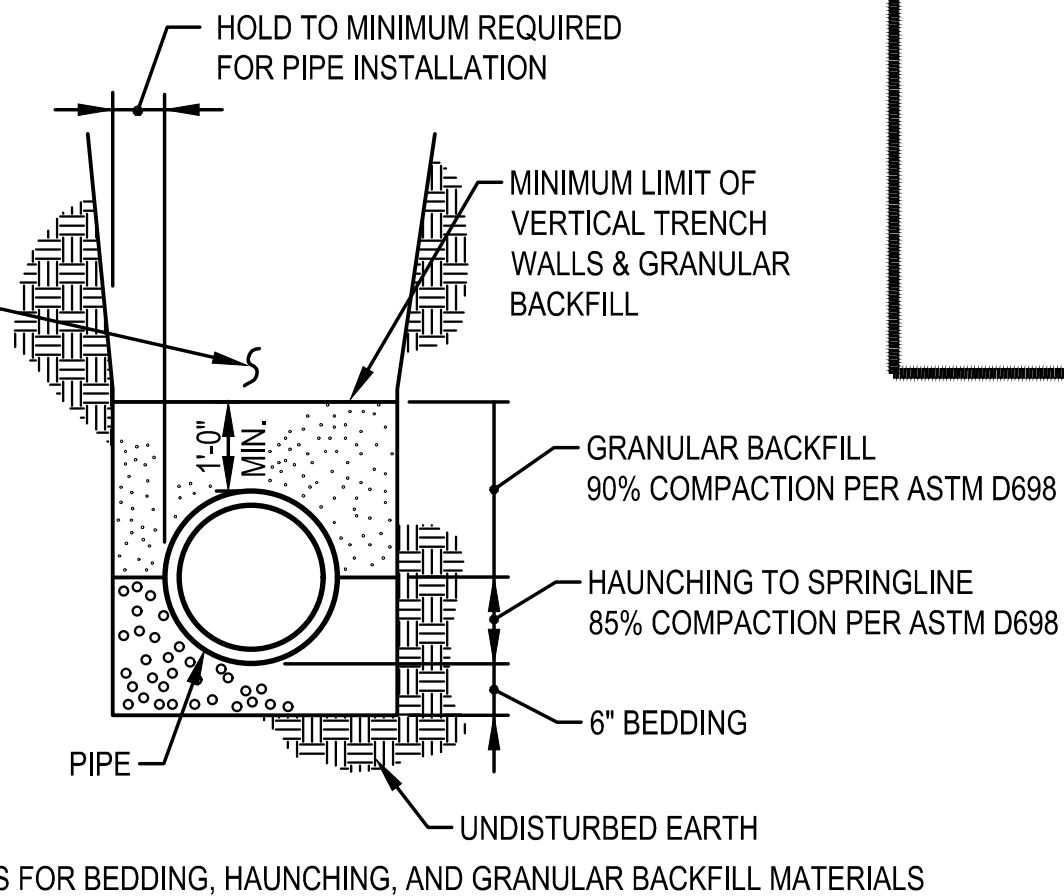
6625 EITERMAN ROAD  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

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| GRADING PLAN | SEPTEMBER 2026 |
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|                                  |
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| CITY OF DUBLIN<br>PROJECT NUMBER |
| 24-XXX-COM                       |
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| SHEET NUMBER                     |
| 5 OF 9                           |



COMPACTED GRANULAR BACKFILL TO SUBGRADE BENEATH PAVED AREAS. COMPACTED EARTHEN MATERIAL ALL OTHER AREAS. REFER TO SPECS FOR COMPACTION.

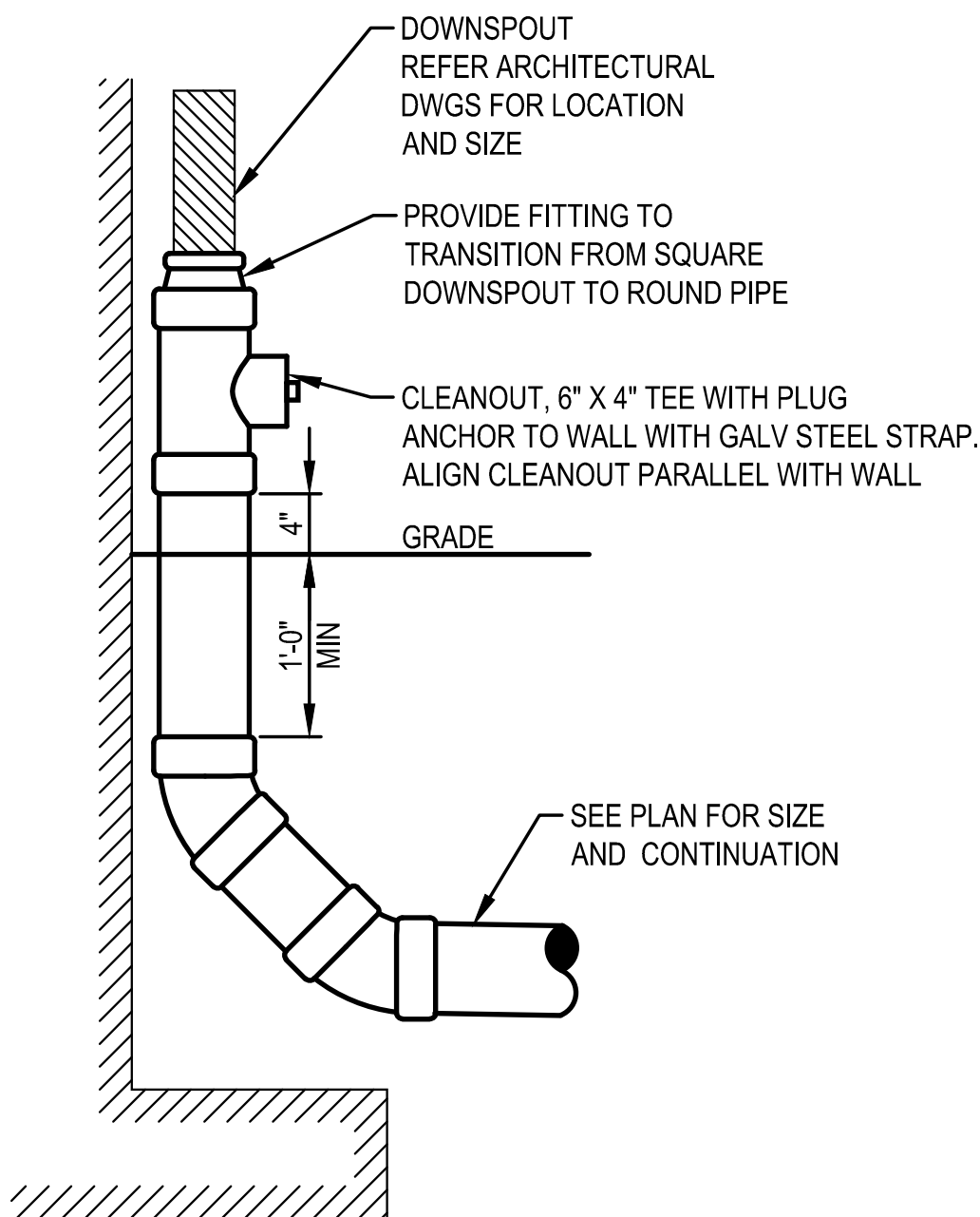


4 SECTION  
CONCRETE PAVEMENT

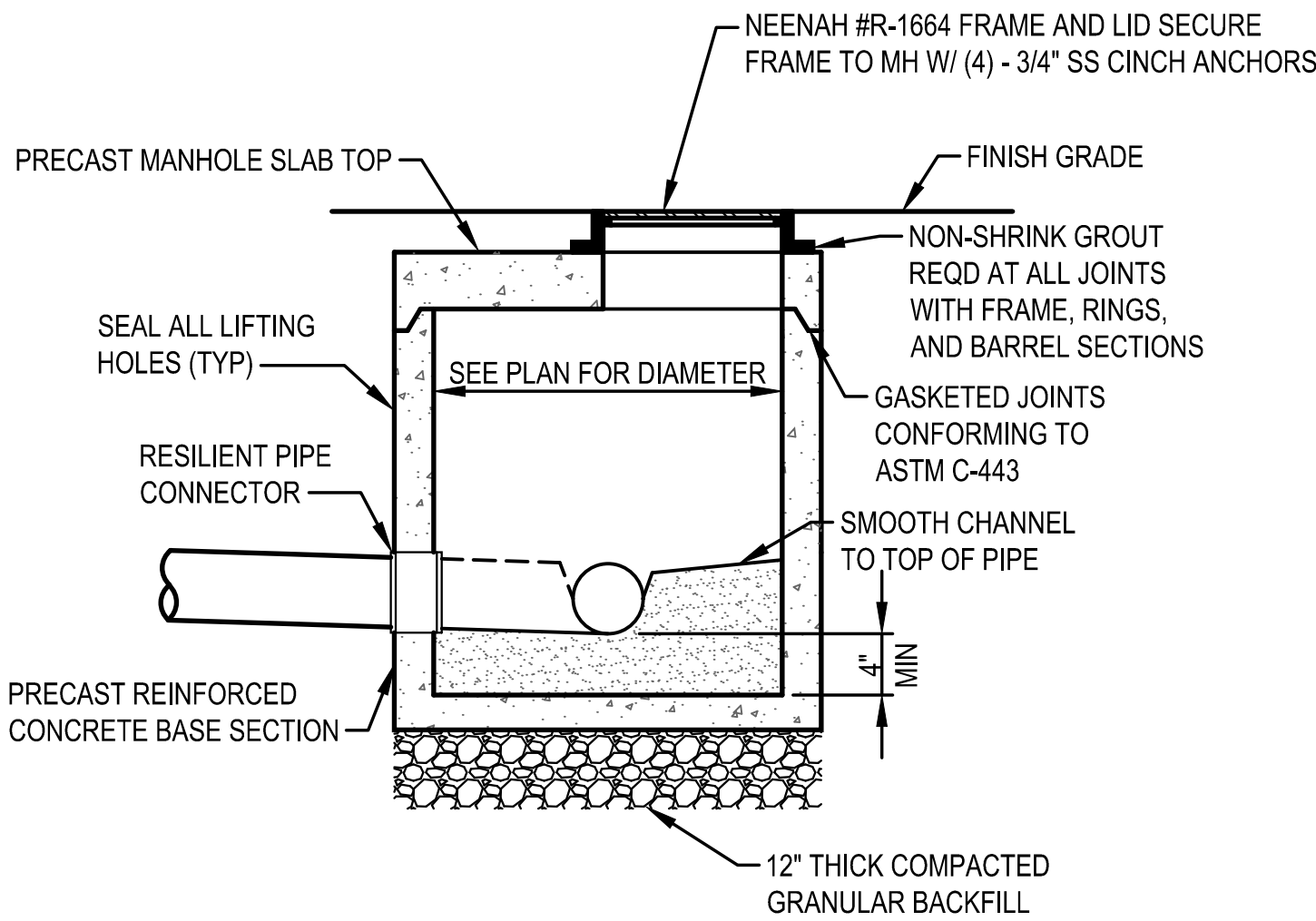
3 SECTION  
CONCRETE WALK

2 SECTION  
ASPHALT PAVEMENT RESTORATION

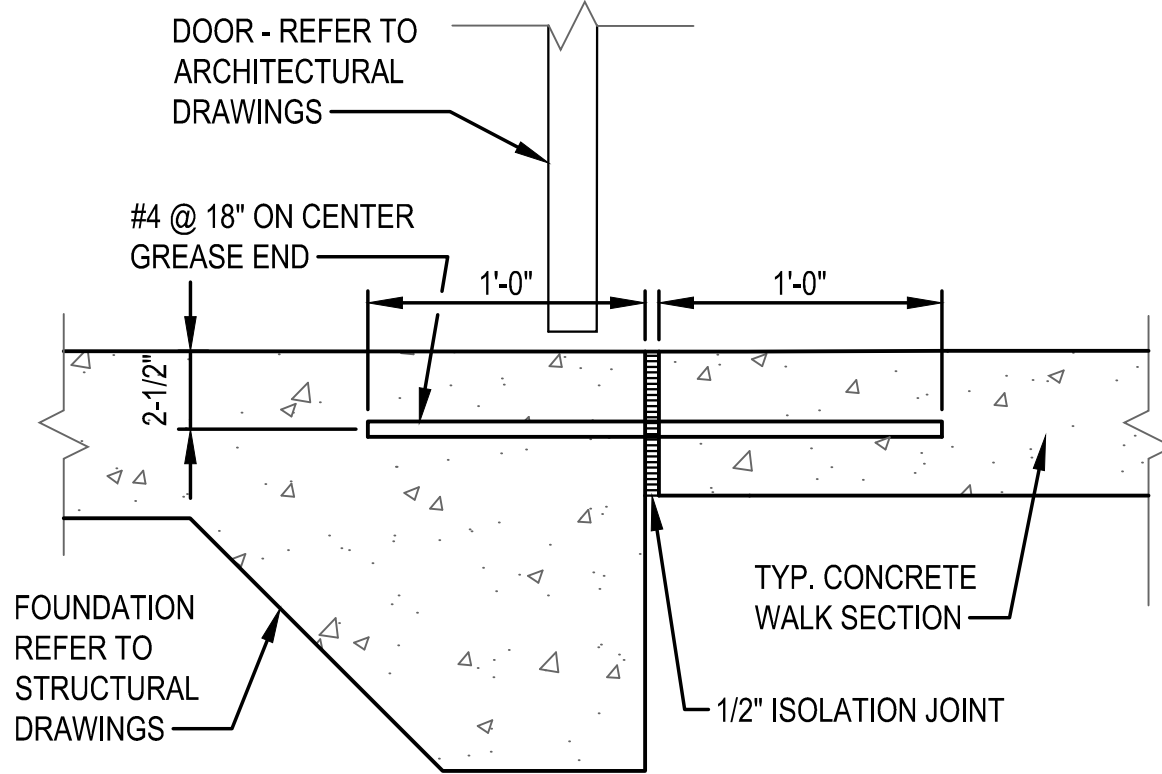
1 SECTION  
PIPE BEDDING & BACKFILL



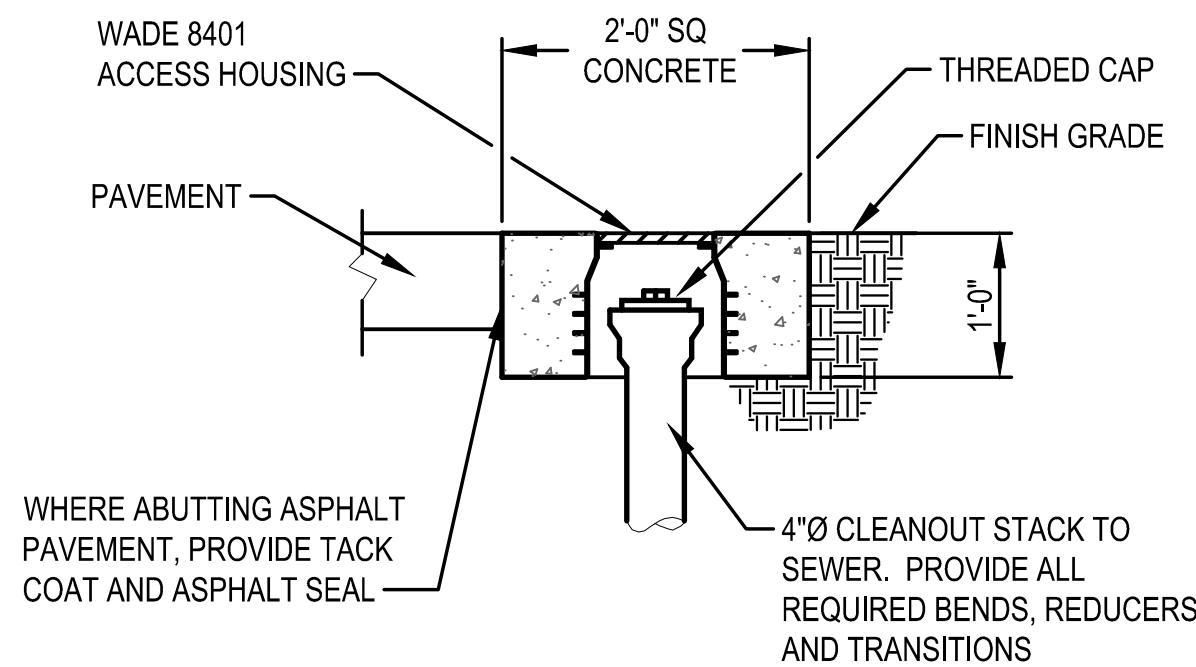
8 DETAIL  
DOWNSPOUT CONNECTION



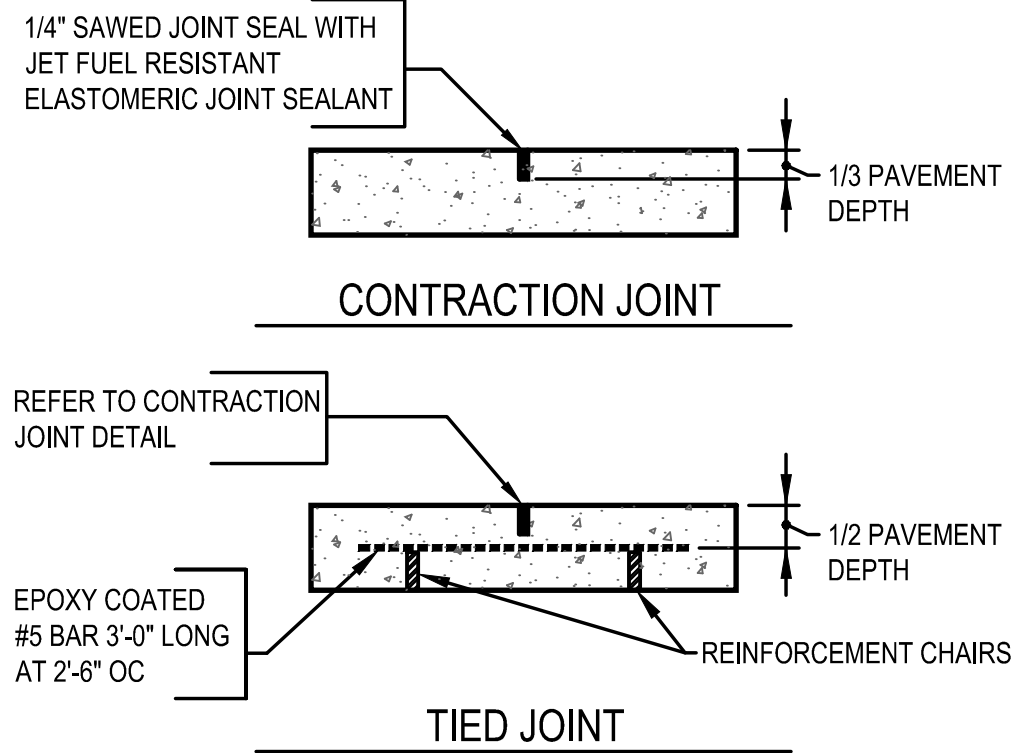
7 DETAIL  
SHALLOW DRAINAGE STRUCTURE



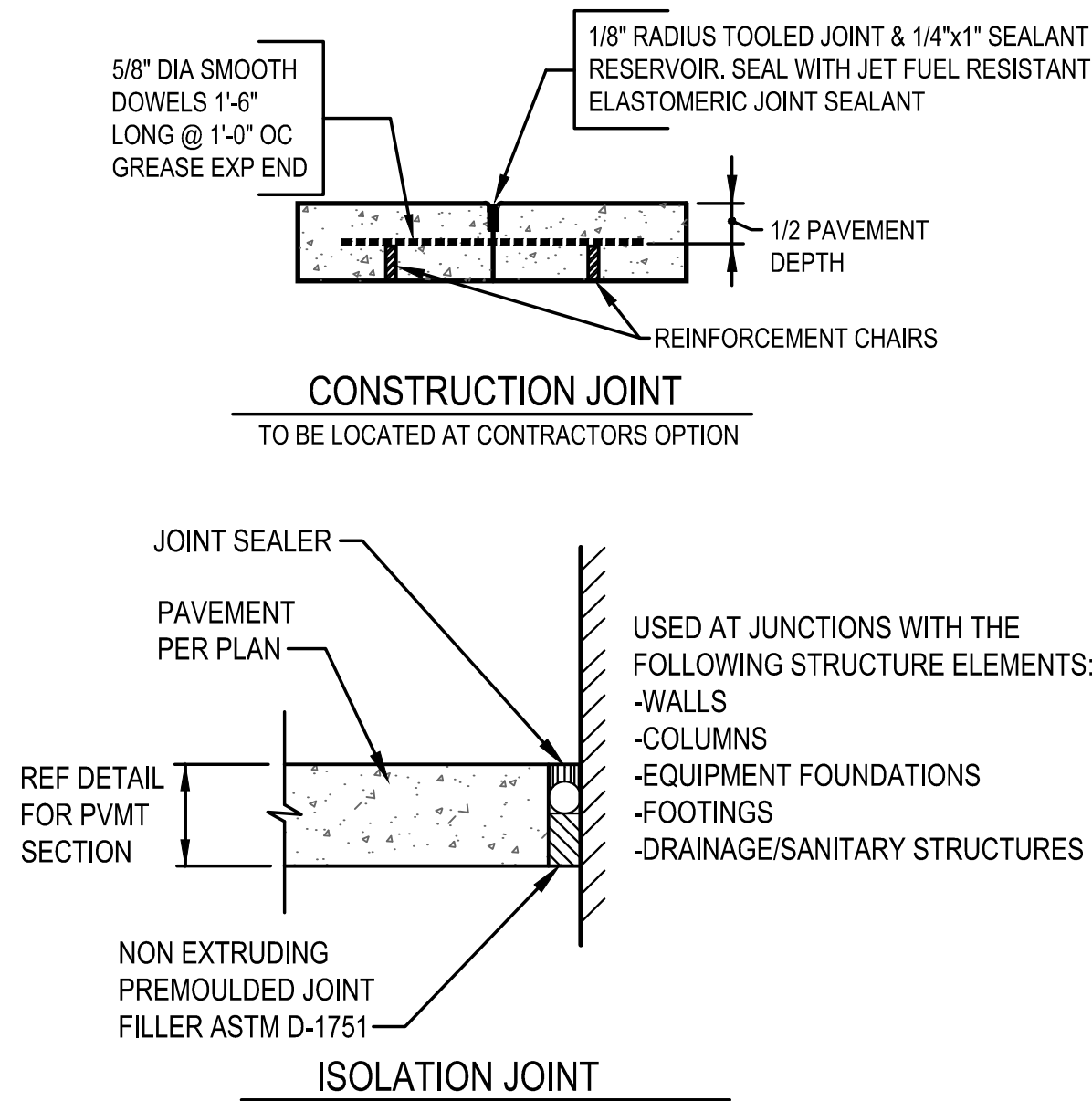
6 DETAIL  
DOWELED CONNECTION AT PERSONNEL DOOR



5 DETAIL  
CLEANOUT



9 DETAIL  
JOINTING DETAILS



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PRIVATE SITE IMPROVEMENT PLAN  
**NQAC-BUILDING ADDITIONS**  
6625 EITERMAN ROAD  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

DETAILS  
SEPTEMBER 2026

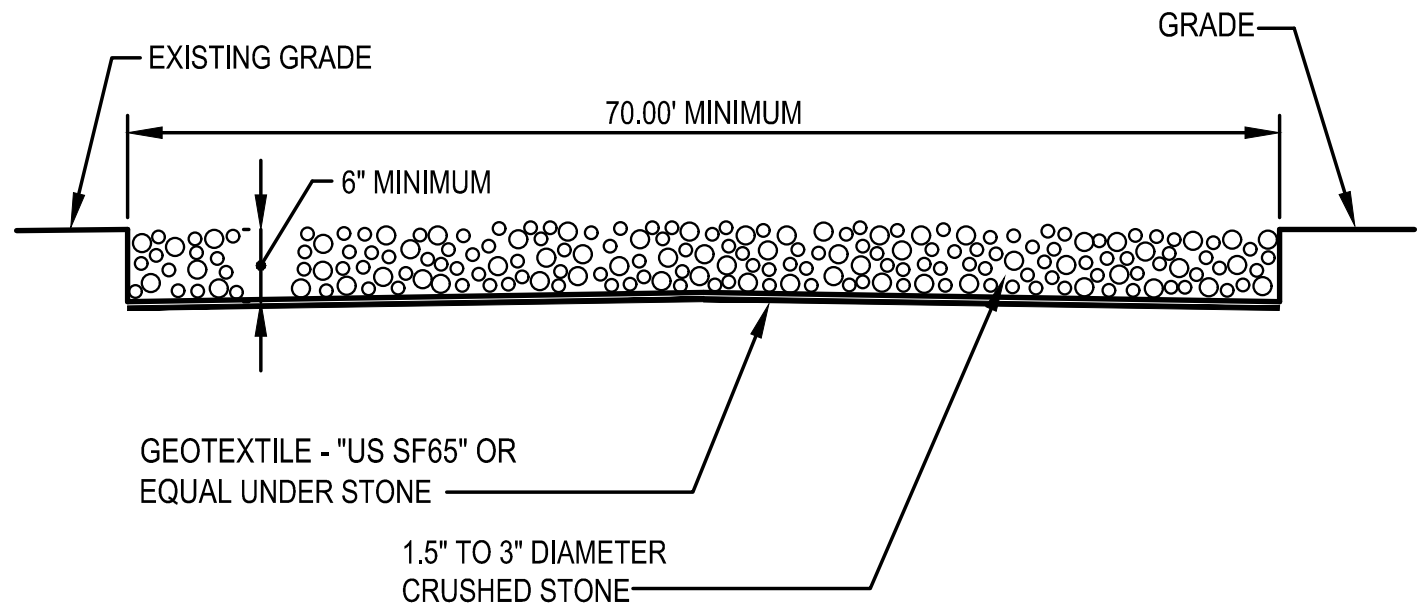
CITY OF DUBLIN  
PROJECT NUMBER  
**24-XXX-COM**

DRAWING NUMBER  
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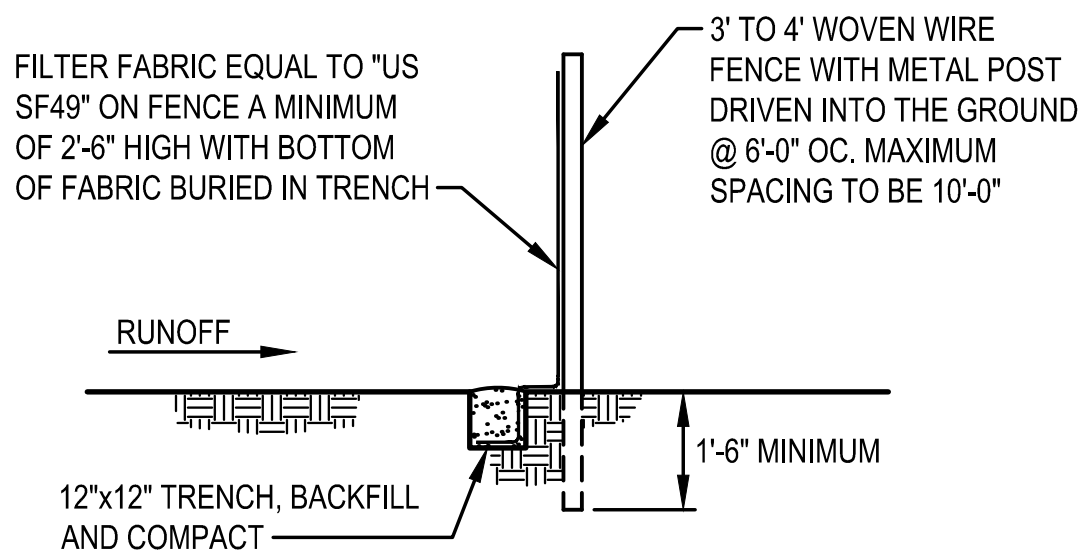
SHEET NUMBER  
**6 OF 9**

NOTES:

1. MINIMUM WIDTH = 20.00'
2. FLARE ENTRANCE AT PUBLIC ROAD TO PROVIDE TURNING RADIUS.
3. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS OR EXISTING PAVEMENT. INCLUDING PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS REQUIRED.
4. ANY SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC STREETS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
5. WHEN REQUIRED, WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET. WASHING SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS IN TO AN APPROVED SEDIMENT BASIN.
6. INSTALL PER OHIO EPA'S RAINWATER AND LAND DEVELOPMENT MANUAL, CHAPTER 5

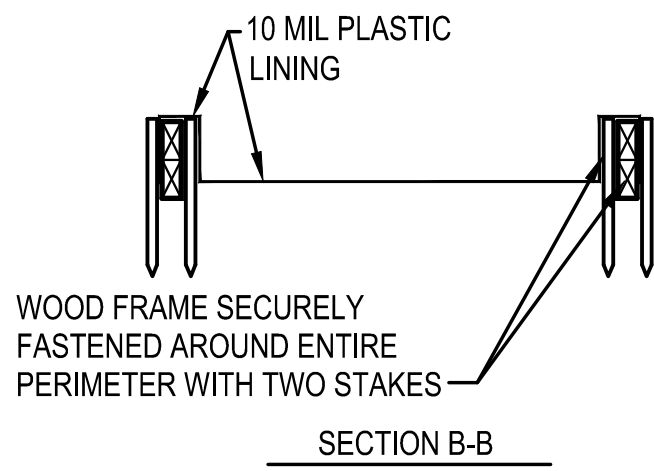
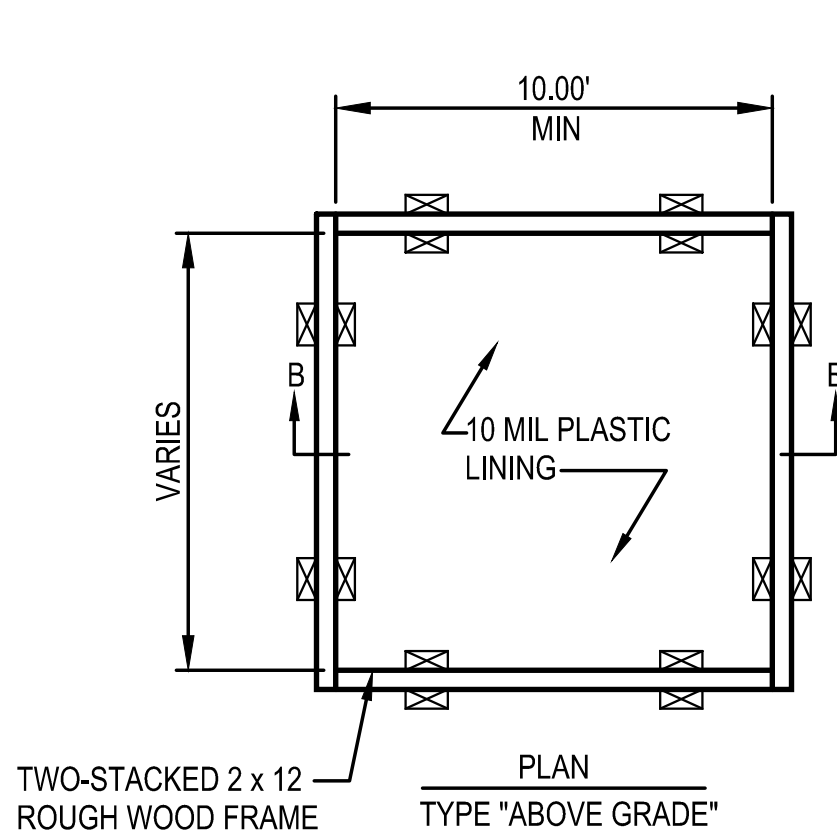


3 SECTION  
CONSTRUCTION ENTRANCE



SILT FENCE PER OHIO EPA'S RAINWATER AND LAND DEVELOPMENT MANUAL, CHAPTER 6 FOR SILT FENCE SPECIFICATIONS

2 DETAIL  
SILT FENCE



- NOTES:
1. ACTUAL LAYOUT DETERMINED IN FIELD
  2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT OF THE TEMPORARY CONCRETE WASHOUT FACILITY
  3. ENSURE LOCATION IS A MINIMUM OF 50' FROM STORM DRAIN INLETS, OPEN CHANNEL FACILITIES AND WATERCOURSES

1 DETAIL  
CONCRETE WASHOUT

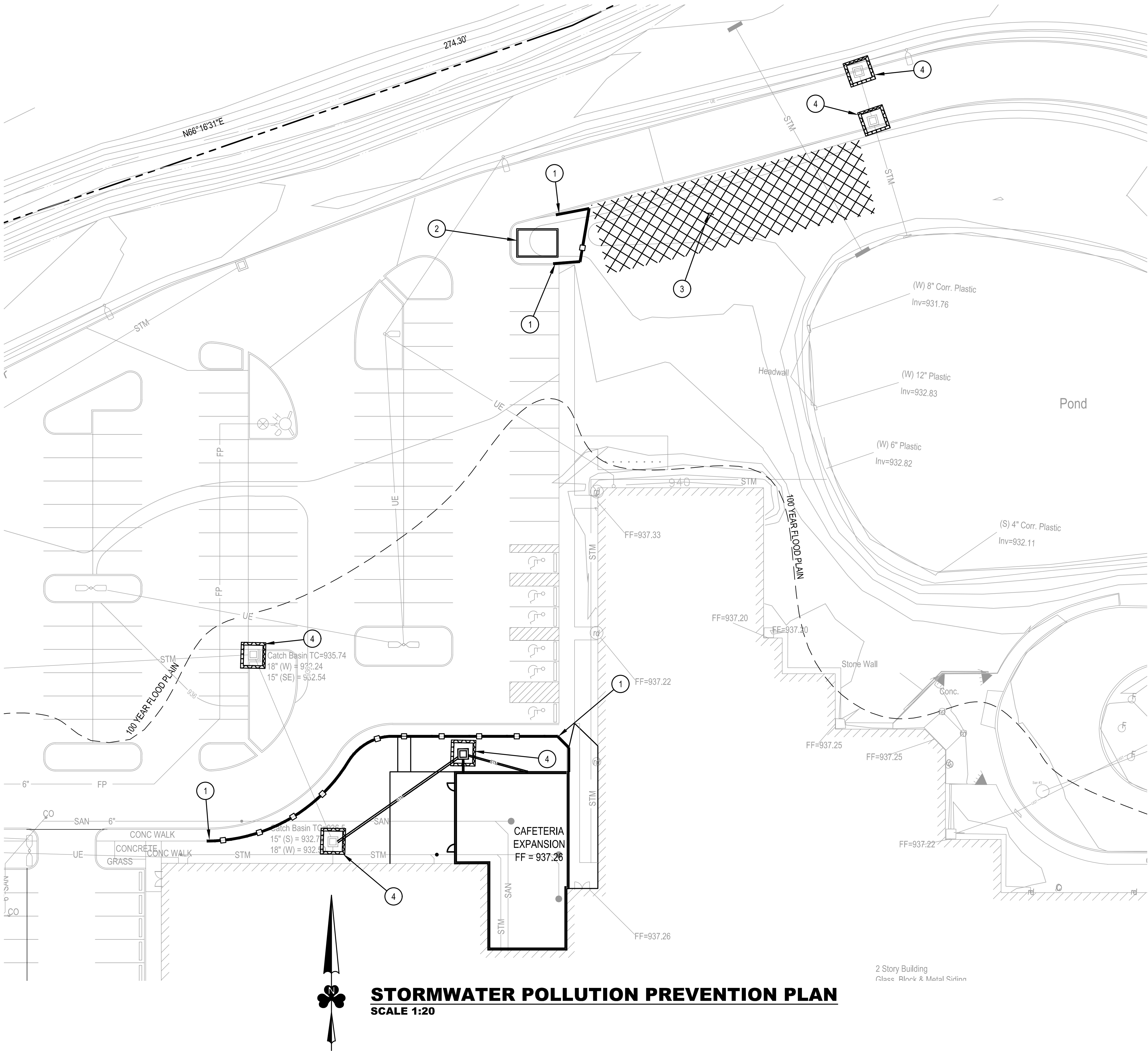
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PRIVATE SITE IMPROVEMENT PLAN  
**NQAC-BUILDING ADDITIONS**  
6625 EITERMAN ROAD  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

STORMWATER  
POLLUTION  
PREVENTION DETAILS  
SEPTEMBER 2026

CITY OF DUBLIN  
PROJECT NUMBER  
24-XXX-COM  
DRAWING NUMBER  
**C007**  
SHEET NUMBER  
7 OF 9



LEGEND

- SILT FENCE
- INLET PROTECTION
- CONSTRUCTION ENTRANCE

CONSTRUCTION SEQUENCE

- INSTALL PERIMETER FENCE EROSION PROTECTION
- INSTALL INLET PROTECTION ON ALL EXISTING INLET
- INSTALL CONSTRUCTION ENTRANCE
- CLEAR TREES AND BRUSH IN AREAS OF CONSTRUCTION
- BEGIN GRADING OPERATION
- LAY GRAVEL DOWN IN AREAS OF CONTRACTOR PARKING AND LAYDOWN AREAS
- INSTALL TEMPORARY SEEDING AND OTHER EROSION CONTROL MEASURES AS WARRANTED DURING GRADING OPERATIONS

EROSION CONTROL NOTES

- A. ONCE EROSION AND SEDIMENTATION CONTROL PERMIT IS ISSUED, CONTRACTOR SHALL CALL BUTLER COUNTY ENGINEER'S OFFICE TO SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO ANY EARTH - DISTURBING ACTIVITIES.
- B. AT ONSET OF CONSTRUCTION INSTALL STAKED STRAW BALE OR FABRIC SILT FENCE SEDIMENT TRAPS AROUND AREAS OF EARTHWORK OPERATIONS. ALSO CONSTRUCT SEDIMENT TRAPS ACROSS DITCHES/DRAINAGE SWALES AND AROUND INLETS/PIPES ADJACENT TO CONSTRUCTION AREA(S).
- C. PREVENT DEPOSIT OF MUD AND DEBRIS ON PUBLIC STREETS. ANY SOIL TRACKED ONTO A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED BEFORE THE END OF EACH WORK DAY.
- D. ALL EROSION AND SEDIMENT CONTROL MEASURES ON SITE SHALL BE INSPECTED WEEKLY OR AFTER ONE-HALF INCH OR GREATER RAINFALL EVENT AND ANY REPAIRS SHALL BE MADE TO KEEP MEASURES FUNCTIONAL AS DESIGNED.
- E. AMENDMENTS TO THE EROSION CONTROL PLAN MAY BE MADE BY THE BUTLER COUNTY ENGINEER'S OFFICE INSPECTOR WHEN DEEMED NECESSARY.
- F. USE OHIO EPA'S RAINWATER AND LAND DEVELOPMENT MANUAL, CHAPTER 7 FOR SEEDING SPECIFICATIONS

KEYNOTES

- SILT FENCE PER PER STORMWATER POLLUTION PREVENTION DETAILS 2.
- CONCRETE WASHOUT STORMWATER POLLUTION PREVENTION DETAILS 1.
- CONSTRUCTION ENTRANCE PER STORMWATER POLLUTION PREVENTION DETAILS 3.
- SILTSACK INLET PROTECTION PER FERGUSON WATERWORKS OR APPROVED EQUAL.

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PRIVATE SITE IMPROVEMENT PLAN  
**NQAC-BUILDING ADDITIONS**  
6625 EITERMAN ROAD  
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

STORMWATER  
POLLUTION  
PREVENTION PLAN  
SEPTEMBER 2026

CITY OF DUBLIN  
PROJECT NUMBER  
24-XXX-COM

DRAWING NUMBER  
C008

SHEET NUMBER  
8 OF 9

Proposed cafeteria building - match existing building height and construction

## MATERIAL NOTES

- 042100 A UNIT MASONRY - 4" NOMINAL PRODUCT, BURNISHED CMU COLOR: MAGRA SEALER: PHYTON ACRYLIC
- 047313 A CAST STONE MASONRY SILL COLOR: MAGNOLIA
- 072400 A EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) (DRYVIT #104 DOVER SKY, LYMESTONE PWR FINISH)
- 074200 A METAL WALL PANEL (MFG: IMETCO, COLOR: WEATHERED COPPER)
- B METAL COPING (MFG: IMETCO, COLOR: PREWEATHERED GALVALUME)

## KEYNOTES

1. FINISH GRADE - REF 'C' DRAWINGS.
2. HOLLOW METAL DOOR AND FRAME TO BE PAINTED TO MATCH PRIMARY MATERIALS OF STRUCTURE (SHERWIN WILLIAMS SW6073 PERFECT GREIGE). REF 099100.
3. LIGHTING - REF 'E' DRAWING.
4. LINE OF ROOF BEHIND.
5. PIPING - REF 'M' DWGS.
6. EXTERIOR WINDOW (REF 084100) WITH INSULATED GLAZING TYPE 'A'.
7. STOREFRONT (REF 084100) WITH TYPE 'B' GLAZING (TEMPERED).
8. NOT USED.
9. REF SHEET AE501 FOR DOCK INFORMATION.
10. FREEZE PROOF WALL HYDRANT - REF 'P' DWGS.
11. ANGLE AROUND COMPACTOR ENCLOSURE BY COMPACTOR MANUFACTURER. REF 25AE601.
12. TERMINATE EXISTING DOWNSPOUT AT GRADE. CAP AS REQUIRED. MODIFY EXISTING DOWNSPOUT TO DRAIN TO NEW ROOF. COORDINATE WITH ROOFING CONTRACTOR.

## 1 NORTH ELEVATION

0' 4' 8' 16' 32'

## 2 WEST ELEVATION

0' 4' 8' 16' 32'

## 5 ELEVATION

0' 4' 8' 16' 32'

## 4 ELEVATION

0' 4' 8' 16' 32'

## 3 SOUTH ELEVATION

0' 4' 8' 16' 32'

## 6 ELEVATION

0' 4' 8' 16' 32'

## 8 ELEVATION

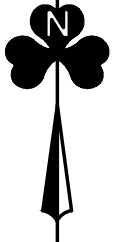
0' 4' 8' 16' 32'

## 7 DETAIL

0' 4' 8' 16' 32'

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| NO. | DATE     | BY  | CHKD | APPR           | REMARKS        |
| 1   | 05/28/13 | KAM | KAM  | BOS            | RECORD DRAWING |
| 2   | 12/20/13 | KAM | BOS  | BULLETIN NO. 8 |                |
| 3   | 12/20/13 | KAM | KAM  | BOS            | BULLETIN NO. 7 |

|                                                                                                                         |                |                                                                                                                             |                |
|-------------------------------------------------------------------------------------------------------------------------|----------------|-----------------------------------------------------------------------------------------------------------------------------|----------------|
| THOMAS J. HELLMANN, #9498<br>EXP. DATE 12/31/15                                                                         |                | DUBLIN, OHIO<br>ALTERNATION<br>ARCHITECTURAL<br>PARTIAL BUILDING ELEVATIONS                                                 |                |
| HIXSON<br>659 Van Meter Street<br>Cincinnati, Ohio 45202-1568<br>F 513 241 1230<br>F 513 241 1287<br>www.hixson-inc.com |                | UNIVERSITY OF NESTLE<br>DUBLIN, OHIO 43017-0001<br>Nestle Quality Assurance Center<br>DATE: 05/28/13<br>PROJECT NO: 8174.20 |                |
| DRAWN BY: KAM                                                                                                           | DATE: 05/28/13 | CHKD BY: BOS                                                                                                                | DATE: 05/28/13 |
| APPROVED BY: KAM                                                                                                        | DATE: 05/28/13 | DATE: 05/28/13                                                                                                              | DATE: 05/28/13 |
| SHEET NO: AE201                                                                                                         |                | SHEET NAME: 0433-4005-13-AE201-13                                                                                           |                |



**SCALE 1:50**

A. ALL EXISTING LIGHTING ALONG PROPERTY LINE IS EXISTING TO REMAIN AND CALCULATION POINTS ALONG PROPERTY LINE ARE SHOWN FOR REFERENCE. AREA FOR SCOPE OF WORK IS INDICATED ON DRAWING.

MODEL NUMBER FOR EGRESS LIGHTS BEING ADDED ARE LITHONIA #WPX0 LED AL0 SWW2 MVOLT PE DDXB AND FOR (2) BUILDING MOUNTED GENERAL LIGHTS, LITHONIA #DSXW2 LED P4 40K 80 CRI T3M MVOLT SRM PE DDXB.

1. BUILDING MOUNTED GENERAL LIGHT.
2. EGRESS LIGHT ABOVE DOOR.

[illegible]

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PRIVATE SITE IMPROVEMENT PLAN

**NQAC-BUILDING ADDITIONS**

6625 EITERMAN ROAD

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO

SEPTEMBER 2026

LIGHTING AND  
 PHOTOMETRIC PLAN  
 SEPTEMBER 2026  
 CITY OF DUBLIN  
 PROJECT NUMBER  
 24-XXX-COM

SHEET NUMBER  
9 OF 9