



January 10, 2017

Mr. Randy Loebig
Highland Real Estate Group, LLC
720 E. Broad Street
Suite 200
Columbus OH 43215

Dear Mr. Loebig,

The City of Dublin has assigned final addresses for the Village at Coffman Park Phase III as illustrated on the attached exhibit. Please note this replaces any previously assigned addresses for this phase of the Village at Coffman Park.

If you would have any questions please feel free to contact our office at 614-410-4600.

Sincerely,

Michael Hendershot, P.E.
Civil Engineer

Attachments

Cc: Email Distribution List

Ryan Reese, Office Assistant II

The Village at Coffman Park Phase III

FINAL ADDRESSES

43017

Address	Bldg No.	Corner Bldg. Alternate Address
6216 Kenzie Lane	1	
6208 Kenzie Lane	2	
6200 Kenzie Lane	3	
6785 Kenzie Court	4	
6777 Kenzie Court	5	6180 Kenzie Lane
6784 Kenzie Court	6	
6776 Kenzie Court	7	6150 Kenzie Lane
6779 Carson Court	8	
6771 Carson Court	9	6130 Kenzie Lane
6782 Carson Court	10	
6774 Carson Court	11	
6766 Carson Court	12	
6758 Carson Court	13	6100 Kenzie Lane
6781 Lloyd Lane	14	
6773 Lloyd Lane	15	
6765 Lloyd Lane	16	
6757 Lloyd Lane	17	6080 Kenzie Lane
6780 Lloyd Lane	18	
6772 Lloyd Lane	19	
6764 Lloyd Lane	20	
6756 Lloyd Lane	21	6050 Kenzie Lane
6769 Winston Way	22	6173 Kenzie Lane
6761 Winston Way	23	
6753 Winston Way	24	
6768 Winston Way	25	6153 Kenzie Lane
6760 Winston Way	26	
6752 Winston Way	27	
6744 Winston Way	28	
6763 Carson Way	29	6133 Kenzie Lane
6755 Carson Way	30	
6747 Carson Way	31	
6739 Carson Way	32	
6113 Kenzie Lane	33	6750 Carson Way
6105 Kenzie Lane	34	
6097 Kenzie Lane	35	
6089 Kenzie Lane	36	
6081 Kenzie Lane	37	
6073 Kenzie Lane	38	
6065 Kenzie Lane	39	
6057 Kenzie Lane	40	
6049 Kenzie Lane	41	



FINAL ADDRESS ASSIGNMENT

POST ROAD (60')

P.B. 85, PG. 51

THE CITY OF DUBLIN, OHIO
2542-2999 POST ROAD
PID 273-012192-00
ZONING PUD
INST. #200707030116048
1.902 ACRES

LEGEND

EX.XX'R/W	RIGHT-OF-WAY
EX.C/L	ROADWAY CENTERLINE
CURB LINE	PAVEMENT LINE
C/L	STREET CENTERLINE
CURB LINE	PAVEMENT LINE
XX'B/L	BUILDING SETBACK LINE
FENCE	FENCE
WALL	WALL W/ COLUMNS
TREE PROTECTION FENCE	TREE PROTECTION FENCE
MAILBOXES	MAILBOXES
EX. PAVEMENT REMOVAL	EX. PAVEMENT REMOVAL
PROP. CONCRETE DRIVEWAY	PROP. CONCRETE DRIVEWAY

NOTES:

- DIMENSIONS ILLUSTRATED WITHIN DRIVEWAYS ARE THE SHORTEST DISTANCE BETWEEN FACE OF GARAGE AND EDGE OF PAVEMENT.
- ALL DRIVEWAYS ARE 16.33' WIDE UNLESS OTHERWISE NOTED.
- ALL DRIVEWAYS HAVE 5' RADIUS UNLESS OTHERWISE NOTED.
- FOR CLARITY, SOME DIMENSIONS ENDING W/.00' HAVE BEEN ROUNDED TO THE WHOLE NUMBER WITHOUT A DECIMAL.
- ALL STRUCTURES SHALL HAVE 12 FOOT MINIMUM SEPARATION.
- BUILDING FOOTPRINTS SHOWN ARE REPRESENTATIONAL ONLY, ACTUAL BUILDING FOOTPRINTS WILL VARY.
- EACH HOME SITE SHALL HAVE ONE POST LIGHT LOCATED IN THE FRONT OF THE UNIT.
- SIDEWALKS LEADING UP TO EACH UNIT SHALL BE ADJUSTED AS NECESSARY TO TERMINATE WALK AT DOORWAY.
- DRIVEWAY LOCATIONS ARE FLEXIBLE.
- FOR CENTERLINE CURVE DATA, SEE TABLE SHEET 4.
- SHUTTERS AND WINDOW BOXES WILL BE PROVIDED ON THE FACADE OF PUBLIC AND PRIVATE STREET FRONT ELEVATIONS WITHIN THE COMPLEX. SEE APPROVED WINDOW BOX LOCATIONS ON APPROVED MODEL ELEVATIONS.

CERTIFIED ADDRESSES

ISSUED BY *Michael J. Smith* 11/10/17
DATE
CITY OF DUBLIN-PUBLIC SERVICE

PERVIOUS AND IMPERVIOUS

PAVEMENT	93,207 SQ.FT.
SITE SIDEWALK	18,816 SQ.FT.
BUILDING	101,321 SQ.FT.
PRIVATE DRIVEWAY, BUILDING	
SIDEWALK, & PATIO	21,290 SQ.FT.
GREEN SPACE	157,614 SQ.FT.
TOTAL	392,248 SQ.FT.
(9.005 AC)	

EXISTING PROPERTY PIN	NORTHING	EASTING
PIN #1	767855.14	1786988.08
PIN #2	767940.78	1787883.46
PIN #3	767912.92	1787868.03
PIN #4	767718.57	1787878.85
PIN #5	767673.95	1787056.45

6' PATIO EXTENSION	36'X80' BUILDING BOUNDARY BUILDING TYPE "A/B"
12' PATIO EXTENSION	BENEVENTO MONITOLA
12' PATIO EXTENSION	PALISTRINA SALANDRA
	VITTRINO ADRIANO
	36.5'X75' BUILDING BOUNDARY BUILDING TYPE "A"
	MONITOLA
	36'X72' BUILDING BOUNDARY BUILDING TYPE "A"
	BENEVENTO

CURVE #	RADIUS	Δ	LENGTH	TANGENT	START NORTHING	START EASTING	END NORTHING	END EASTING
C1	100.00'	5°50'15"	10.19'	5.10'	767909.46	1786960.90	767910.53	1786971.03
C2	100.00'	5°50'15"	10.19'	5.10'	767919.91	1787033.52	767918.83	1787023.40
C3	45.00'	45°00'00"	35.34'	18.64'	767925.27	1787368.91	767936.67	1787336.41
C4	45.00'	45°00'00"	35.34'	18.64'	767862.41	1787439.12	767851.01	1787471.62
C5	25.00'	90°00'00"	39.27'	25.00'	768028.86	1786780.52	768002.51	1786756.94
C6	25.00'	90°00'00"	39.27'	25.00'	768013.48	1786955.14	768037.06	1786928.80
C7	36.50'	87°15'43"	55.59'	34.80'	767747.12	1787017.48	767714.43	1787055.80
C8	36.50'	90°00'00"	57.33'	36.50'	767716.95	1787101.42	767755.42	1787135.85
C9	20.00'	180°00'00"	62.83'	INFINITY	768004.63	1787122.06	768002.42	1787082.12
C10	36.00'	45°00'00"	28.27'	14.91'	767858.32	1787389.98	767832.32	1787380.86
C11	36.00'	45°00'00"	28.27'	14.91'	767907.22	1787433.75	767933.22	1787442.87
C12	34.50'	180°00'00"	108.38'	INFINITY	768008.88	1787438.69	768005.07	1787369.80
C13	36.50'	90°00'00"	57.33'	36.50'	768100.95	1787761.85	768062.49	1787727.42
C14	36.50'	90°00'00"	57.33'	36.50'	768069.47	1787853.56	768103.90	1787815.10

R=1030.00
Δ=2°44'17"
L=49.22'
CB=S85°27'49"W
(CB=S86°45'12"W ~ DEED)
CD=49.22'

REALTY INCOME PROPERTIES LLC.
PID 273-004083
ZONING PCD
13.456 ACRES

REGISTERED PROFESSIONAL ENGINEER NO. DATE

06-003.1-RES

GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

CHANGE ORDER SCHEDULE

#	DATE	DESCRIPTION OF CHANGE

TerrainEvolution
Your bridge between Vision and Success

720 East Broad Street | Suite 203 | Columbus, OH 43215
P: 614.385.1090 | F: 614.385.1085 | E: info@terrainevolution.com

CITY OF DUBLIN, OHIO

THE VILLAGE AT COFFMAN PARK

PHASE III

STAKING PLAN

DRAWING SET STATUS:

- ☐ PRELIMINARY ENGINEERING SET
- ☐ AGENCY REVIEW SET
- ☒ CONSTRUCTION DOCUMENT SET
- ☐ AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
MSW	CMK	TRR

PROJECT NO.: 13-009

DATE: NOVEMBER, 2016

SCALE: HORIZONTAL: 1" = 30'
VERTICAL: N/A

SHEET NO.: 4/28

P.B. 85, PG. 51

THE CITY OF DUBLIN, OHIO
2542-2999 POST ROAD
PID 273-012192-00
ZONING PUD
INST. #200707030116048
1.902 ACRES

PROPOSED T
PROTECTION
FENCE TYP.

POST ROAD HOLDINGS, LLC
6017 POST ROAD
PID 273-000296-00
ZONING SO
1.714 ACRES

N86°06'20"E 332.49'

NOTE:
CONTRACTOR SHALL MATCH PROPOSE
PAVEMENT TO EXISTING PAVEMENT TH
IS CURRENTLY UNDER CONSTRUCTION.
EXACT FINAL PAVEMENT ELEVATIONS

APPROXIMATE C OF EX. UNDERGROUND
ELECTRIC PER EASEMENT DOCUMENT
THE PARAGON BUILDING GROUP, LTD.
INST. #2014082901113848 2.399
ACRES 50

CERTIFIED ADDRESSES
Michael J. [Signature] 11/10/17
ISSUED BY **DATE**
CITY OF DUBLIN-PUBLIC SERVICE

PERVIOUS AND IMPERVIOUS

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6' PATIO EXTENSION

36'X80' BUILDING BOUNDARY
BUILDING TYPE "A/B"
BENEVENTO MONITOLA
PALISTRINA SALANDRA
VITTOINO ADRIANO

12' PATIO EXTENSION

36.5'X75' BUILDING BOUNDARY
BUILDING TYPE "A"
MONITOLA

12' PATIO EXTENSION

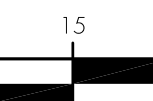
36'X72' BUILDING BOUNDARY
BUILDING TYPE "A"
BENEVENTO

CABIN IN THE WOODS, LLC.
5815 WALL STREET
PID 273-005070-00
ZONING PCD
4.265 ACRES

PEACE HADSON, LLC
5555 WALL STREET
PID 273-010195-00
ZONING PCD
3.455 ACRES

REGISTERED PROFESSIONAL ENGINEER	NO.	DATE
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06-003.1-RES

 GRAPHIC SCALE  (IN FEET) 1 inch = 30 ft.		
CHANGE ORDER SCHEDULE	DATE	
	BY	
	DESCRIPTION OF CHANGE	
#		
 <i>Your bridge between Vision and Success</i> 720 East Broad Street Suite 203 Columbus, OH 43215 P: 614.385.1090 F: 614.385.1085 E: info@terrainevolution.com		
CITY OF DUBLIN, OHIO THE VILLAGE AT COFFMAN PARK PHASE III STAKING PLAN		
DRAWING SET STATUS: ☐ PRELIMINARY ENGINEERING SET ☐ AGENCY REVIEW SET ☒ CONSTRUCTION DOCUMENT SET ☐ ASBUILT DOCUMENT SET		
DESIGN	DRAFT	CHECK
MSW	CMK	TRR
PROJECT NO.: 13-009		
DATE: NOVEMBER, 2016		
SCALE: HORIZONTAL: 1" = 30' VERTICAL: N/A		
SHEET NO.: 5/28		