



City of Dublin

**Office of the City Manager**

5200 Emerald Parkway • Dublin, OH 43017-1090

Phone: 614-410-4400 • Fax: 614-410-4490

# Memo

**To:** Members of Dublin City Council  
**From:** Dana L. McDaniel, City Manager */mgl/dm*  
**Date:** March 16, 2017  
**Initiated By:** Vincent A. Papsidero, FAICP, Planning Director  
Jennifer M. Rauch, AICP, Planning Manager  
**Re:** Basic Plan – Parking Garage – (Case#17-003ARB-BPR)

## Summary

This is a request for review and approval of a Basic Plan Review for a new 549 parking space parking garage with associated site improvements. The site is located on the north side of North Street, between future Franklin Street extension and future Rock Cress. City Council Members are asked to review and make determinations on the Basic Plan applications in accordance with the amendments to the Bridge Street District (BSD) zoning regulations. Under these provisions, all projects involving development agreements require Basic Plan Review by City Council, who will then direct the review of the final Development Plan and Site Plan applications to City Council, the Planning and Zoning Commission, Architectural Review Board, or Administrative Review Team (as appropriate). This proposal for the Basic Plan Review includes eight Conditions and 11 Waivers.

## Background

The Architectural Review Board informally reviewed the proposal on January 25, 2017. Some members expressed concerns that the proposed contemporary design of the buildings did not fit the character of the District and requested modifications be made to the proposal to be more sensitive to the character of the District in design, scale, and materials. Another member stated the proposal provided contrast to the District in its design and use of materials, which appropriately set the proposal apart from the historic structures. The Board discussed the reduction in the size and scale of the garage, as well as improvements to the north and west elevations to address the school and the Grounds of Remembrance. The Board encouraged an increased connection, physically and visually, to the Grounds of Remembrance. The members supported the plaza and open spaces as an opportunity for community engagement in the District.

City Council held a work session on March 6, 2017 to review and discuss the proposed library, parking garage, and Grounds of Remembrance sites. Consensus among a majority of the Council members was understood to be supportive of the project; however, direction to the design teams was to incorporate the use of stone in lieu of the brick on the proposed buildings.

City Council provided an opportunity for additional public comment on the March 13, 2017 agenda. Speakers provided a variety of commentary in support of the construction of the new library with the proposed design, while other expressed concerns about the appropriateness of the location and the design within the Historic District.

The application was formally reviewed by the ART on March 9, 2017 who recommended approval of the Basic Plan.

### **Application Overview**

This is a request for the construction of a new parking garage and associated site improvements. The proposed site has frontage on North Street, future Franklin Street extension and future Rock Cress Parkway. The development agreement allocated 200 parking spaces within the garage for specific use by the library, with the remaining spaces to be public spaces.

*Basic Plan Review.* The purpose of the application for Basic Plan Review is to conduct a conceptual analysis of the arrangement of proposed uses, buildings, and open spaces and provide direction on the proposed architectural concepts. The Basic Plan Review applications are not intended to provide a determination on all project details; further details will be determined at the (final) Development Plan Review, and (final) Site Plan Review.

### **City Council Actions: Parking Garage**

Council is required to take action (approve/approve with conditions/disapprove) on the Basic Plan. ART has recommended approval of this application with eight conditions, and 11 Waivers. As a third motion, Council must determine the required reviewing body for future applications. Below is a summary of the required City Council actions:

- 1) Basic Plan Review with conditions
- 2) Waivers
- 3) Required reviewing body determination for future Development Plan Review and Site Plan Review applications (CC, ARB, or ART).

### **Recommendation**

The Administrative Review Team has reviewed the Basic Plan and recommends City Council take the following actions:

- 1) Approve the Basic Plan with 8 Conditions:
  1. That the applicant file a Demolition request prior to the approval of the Site Plan;
  2. That the applicant investigate the use of stone in lieu of brick on the lower portions of the building and at the tower elements;
  3. That staff should continue to work with the applicant on the provision of additional entrances;
  4. That the applicant continue to refine the architectural details and Building Type requirements, as part of the Site Plan;
  5. That the applicant provide the final details regarding landscaping, lighting, utilities, and stormwater with the Site Plan;

6. That the design not require the construction of Darby Street between North Street and Rock Cress Parkway as reflected on the Street Network Map and for staff to update the Street Network Map accordingly;
7. That the applicant continue to work with Engineering to refine the geometry of the book drop exit onto Rock Cress Parkway; and
8. That the applicant continue to work with staff on the internal circulation and dimensions within the garage.

2) Approve the 11 Waivers:

1. §153.060(C)(2)(a): Maximum Block Size – Permitted Maximum Block Length: 300 feet. North Street: 379 feet (requested); Permitted Maximum Block Perimeter: 1,000 feet; 1,308 feet (requested).
2. §153.060(C)(5)(a): Block Access Limitations – No vehicular access permitted on Principal Frontage Street (Rock Cress Parkway) required; Vehicular access provided at northwest corner for service area (requested)
3. §153.061(D)(2): Vehicular Access – No vehicular access permitted on Principal Frontage Street (Rock Cress Parkway) required; Vehicular access provided at northwest corner for service area (requested).
4. §153.063(D)(4)(b): Building Height – Building height limited to 2.5 stories adjacent to the Historic Core District (required); 3 stories at the north, east, and south elevations (requested).
5. §153.062(O)(12)(b): Story Height – Ground Story minimum and minimum clearance is 12 feet (required): 11 feet (requested).
6. §153.065(B)(5)(c): Story Height – Minimum clearance is 12 feet (required): 11 feet (requested).
7. §153.062(D)(4): One tower permitted per building (required); 3 (requested).
8. §153.062(O)(12)(d)(6): One tower permitted per building (required); 3 (requested).
9. §153.062(O)(12)(c): Use and Occupancy Requirements – Commercial uses required; No commercial uses is provided (requested).
10. §153.062(O)(12)(c): Use and Occupancy Requirements – Occupied space (required); No occupied space is provided (requested).
11. §153.062(O)(12)(c): Use and Occupancy Requirements – Parking is not permitted in an area of the structure with frontage on a PFS and a greenway (required); Parking is

provided in an area of the structure with frontage on a PFS and a greenway (requested).

- 3) Determine the required reviewing body determination for future Development Plan Review and Site Plan Review applications (CC, ARB, or ART).



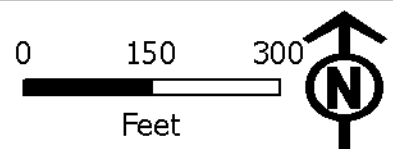


Woolpert, Inc.

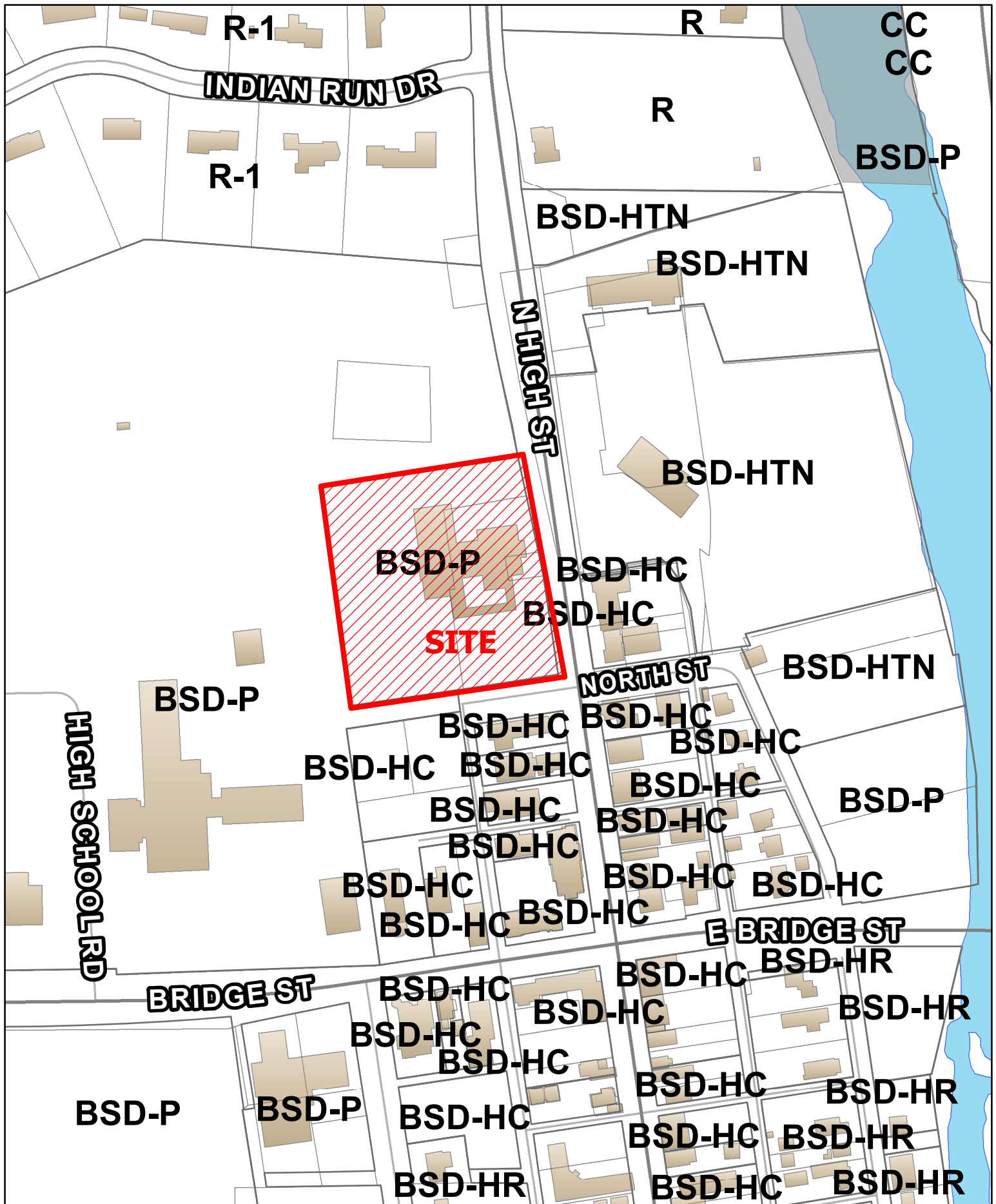


City of Dublin

17-003ARB/BPR  
Basic Plan Review  
Columbus Metropolitan Library - Garage  
75 N. High Street







## APPLICATION FOR DEVELOPMENT

### PLEASE CHECK THE TYPE OF REVIEW

- ☐ West Innovation Districts  
(Zoning Code Sections 153.037 - 153.043)
- ☐ Bridge Street Corridor Districts  
(Zoning Code Sections 153.057- 153.066)
- ☐ Wireless Communication Facility (Chapter 99)

### PLEASE CHECK THE APPLICATION TYPE

- ☐ Basic Plan Review
- ☐ Development Plan Review
- ☐ Waiver Review
- ☐ Open Space Fee-in-Lieu
- ☐ City Council Appeal
- ☐ Minor Project
- ☐ Site Plan Review
- ☐ Master Sign Plan
- ☐ Parking Plan
- ☐ Administrative Departure

#### Wireless Applications

- ☐ New Tower
- ☐ Alternative Structure
- ☐ Co-Location
- ☐ Temporary

The following applications require review and decision by the **Planning and Zoning Commission, Board of Zoning Appeals, or Architectural Review Board**, but may be submitted concurrently with another application.

Check any that apply:

- ☐ Conditional Use
- ☐ Administrative Appeal
- ☐ Project involving modifications to property within the Architectural Review District
- ☐ Other: \_\_\_\_\_
- ☐ Rezoning

### SUBMISSION REQUIREMENTS

- ☐ **Fee** (refer to the approved fees list)
- ☐ **Electronic Copies** of all application materials (PDF, JPEG, Word, etc. as appropriate)
- ☐ **Submission Requirements** for each type of application (refer to checklists)
- ☐ **Legal Description and/or Property Survey** for the subject property

**I. PROPERTY INFORMATION:** Provide information to identify properties and the proposed development. Attach additional sheets if necessary.

Property Address(es): 75 N. High Street	
Tax ID/Parcel Number(s): 273004507	Parcel Size(s) in Acres: 1.25
Existing Land Use/Development: Institutional	Zoning District: BSD Public District

- ☐ Check this box if any **Administrative Departures** are requested and attach an Administrative Departure request form.
- ☐ Check this box if any **Waivers** are requested as part of the application for development and attach a Waiver Request form.

**II. PROPERTY OWNER INFORMATION:** Indicate the person(s) or organization(s) who own the property proposed for development. Attach additional pages if there are multiple property owners.

Name (Individual or Organization): Columbus Metropolitan Library Board of Trustess	
Mailing Address: 96 S. Grant Street, Columbus, Ohio 43215	
Daytime Telephone: 614-849-1087	Fax: 614-849-1187
Email or Alternate Contact Information: wtressler@columbuslibrary.org	

### FOR OFFICE USE ONLY: DIRECTOR'S ACCEPTANCE

Date of Acceptance:	Next Decision Due Date:
Final Date of Decision:	Determination:
Director's (or Designee's) Signature:	

**III. APPLICANT(S):** Indicate person(s) submitting the application if different than the property owner(s).

Name: <b>City of Dublin - Dana McDaniel, City Manager</b> (Individual or Organization)	
Mailing Address: <b>5200 Emerald Parkway, Dublin, Ohio 43017</b>	
Daytime Telephone: <b>614-410-4400</b>	Fax:
Email or Alternate Contact Information: <b>dmcdaniel@dublin.oh.us</b>	

**IV. AUTHORIZED REPRESENTATIVE(S):** Indicate the person(s) authorized to represent the property owner and/or applicants.

Name: <b>Teri Umbarger, Moody Nolan</b> (Individual or Organization)	
Mailing Address: <b>300 Spruce Street, Suite 300, Columbus, Ohio 43215</b>	
Daytime Telephone: <b>614-461-4664</b>	Fax:
Email or Alternate Contact Information: <b>tumbarger@moodynolan.com</b>	

**V. AUTHORIZATION FOR OWNER'S APPLICANT(S)/REPRESENTATIVE(S):** Complete if applicable.

I, <b>Paula Miller, CFO, on behalf of Board Trustees</b> , the <b>owner</b> , hereby authorize <b>Dana McDaniel</b> to act as a <b>representative(s)</b> in all matters pertaining to the processing and approval of this application, including modifying the application. I agree to be bound by all representations and agreements made by the designated representative.	
Signature of Current Property Owner:	Date:

☐ Check this box if the original Authorization for Owner's Applicant(s)/Representative(s) is attached as a separate document.

**VI. AUTHORIZATION TO VISIT THE PROPERTY:** Site visits to the property by City representatives are essential to process this application. The Owner/Applicant, as noted below, hereby authorizes City representatives to enter, photograph and post a notice on the property described in this application. This is optional, but recommended.

I, <b>Paula Miller, CFO, on behalf of Board Trustees</b> , the <b>owner</b> or <b>authorized representative</b> , hereby authorize City representatives to enter, photograph and/or post a notice on the property described in this application.	
Signature of Owner or Authorized Representative:	Date:

**VII. APPLICANT'S AFFIDAVIT:** This section must be completed and notarized.

I, <b>Paula Miller, CFO, on behalf of Board Trustees</b> , the <b>owner</b> or <b>authorized representative</b> , have read and understand the contents of this application. The information contained in this application, attached exhibits and other information submitted, is complete and in all respects true and correct, to the best of my knowledge and belief.	
Signature of Current Property Owner or Authorized Representative:	Date:

☐ Check this box if the Applicant's Affidavit and Acknowledgement is attached as a separate document.

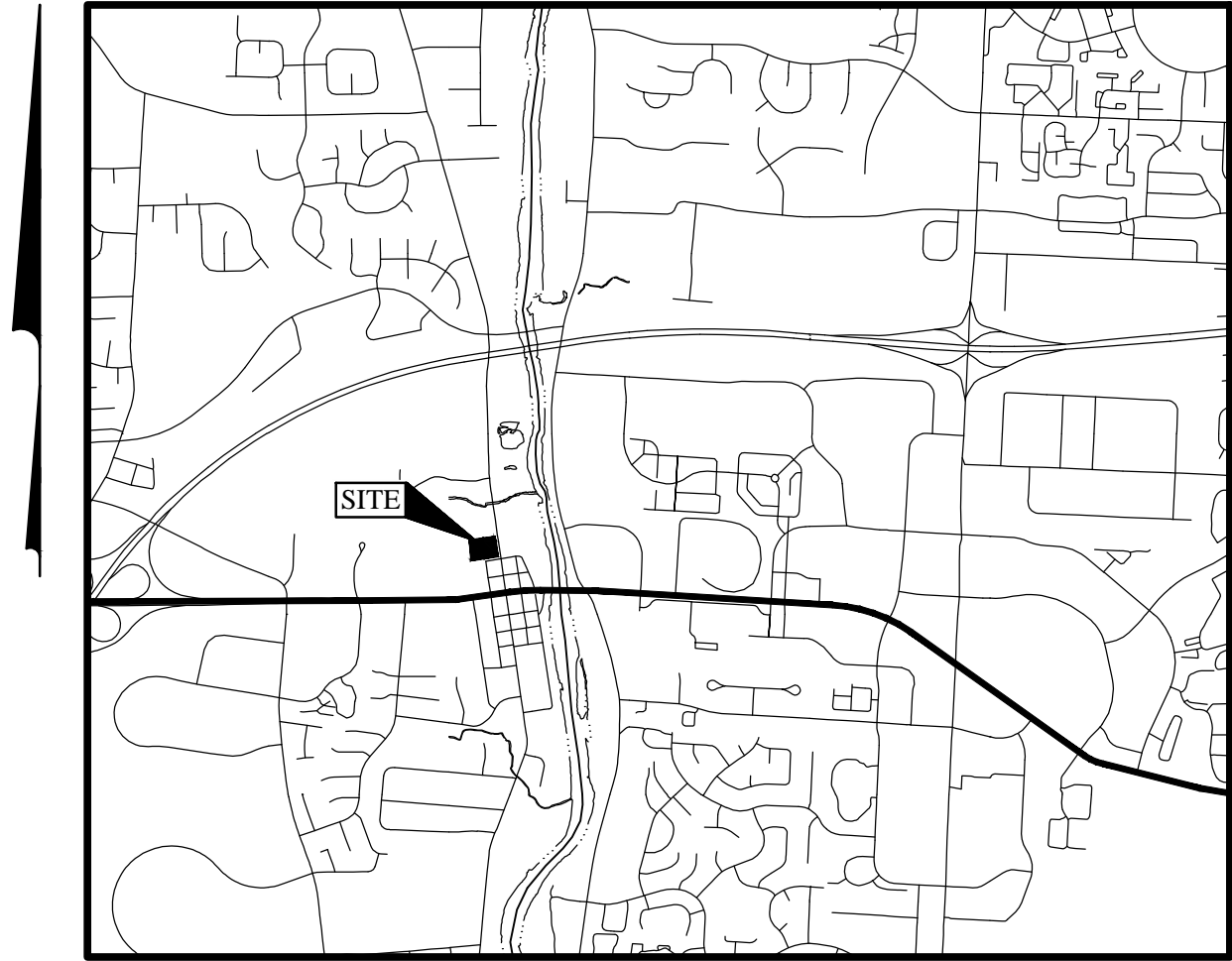
Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_

State of \_\_\_\_\_

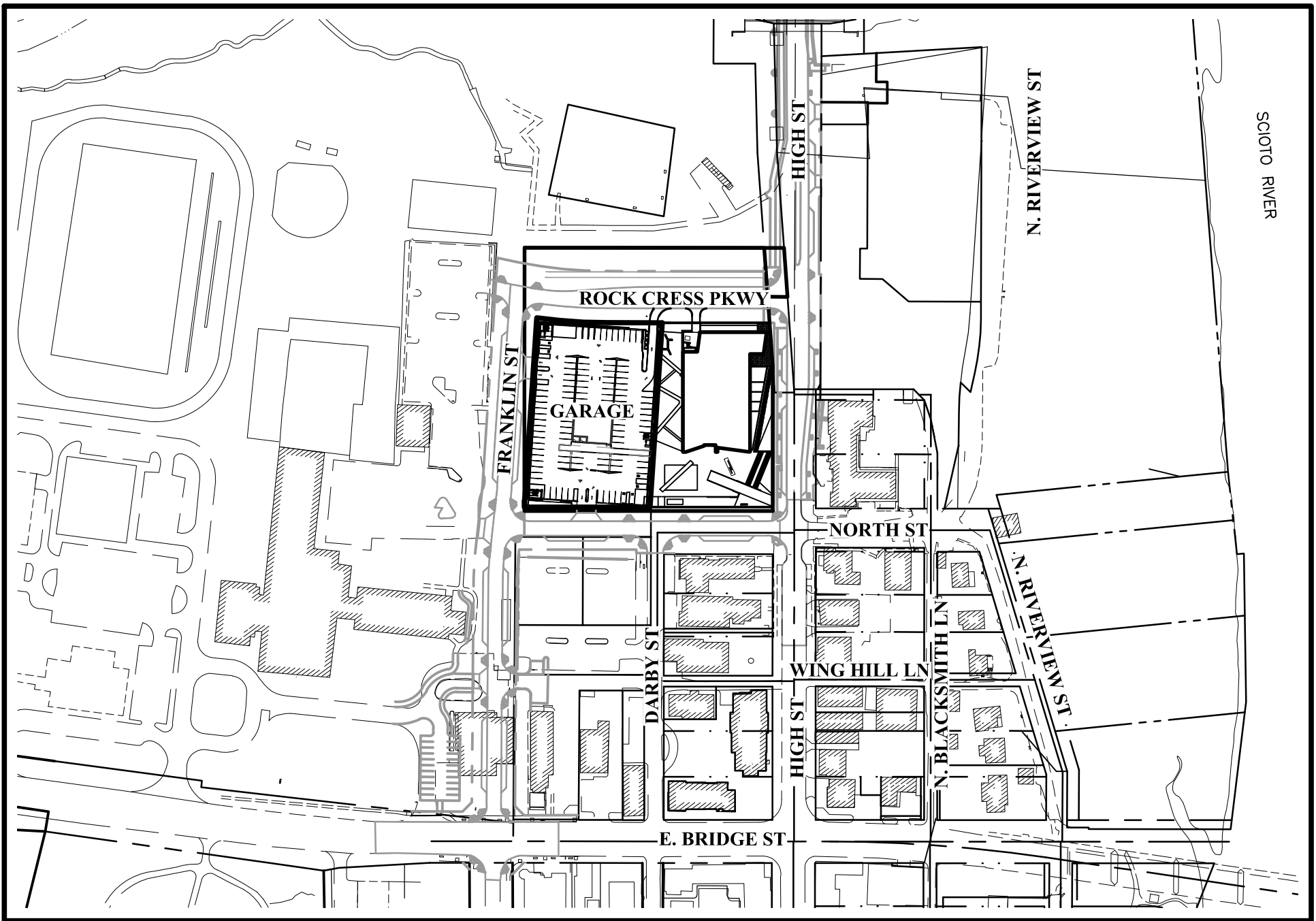
{Notary Public Seal}

County of \_\_\_\_\_

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO  
BASIC SITE PLAN  
FOR  
CITY OF DUBLIN  
PARKING GARAGE  
2017

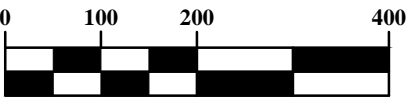


LOCATION MAP  
Not to Scale



INDEX MAP  
Scale: 1" = 200'

GRAPHIC SCALE



1 inch = 200 feet

SHEET INDEX

Title Sheet	BSP1
Existing Conditions & Demolition Plan	BSP2
Overall Site Plan	BSP4
Site Plan	BSP5
Grading & Utility Plan	BSP6

SITE DATA

Zoned:	BSC-P: BSC Public
Proposed Zoning:	Historic Transition
Site Area:	1.25± Acres
Proposed Building:	4 Story Parking Garage
	527 Standard Spaces
	11 ADA Spaces
	538 Total Spaces
	(200 Spaces to be dedicated to the Public Library)
No Required Public Open Space	

FRONT PROPERTY LINE COVERAGE

Parking Garage	100%
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DEVELOPER/OWNER

City of Dublin  
5800 Shier Rings Road  
Dublin, Ohio 43016  
Tel: (614) 410-4600  
Fax: (614) 410-4747

ENGINEER

EMH&T Inc.  
5500 New Albany Road  
Columbus, Ohio 43054  
Tel: (614) 775-4500  
Fax: (614) 775-4800  
Brian Quackenbush

ARCHITECT

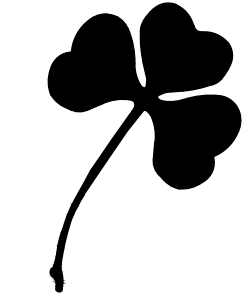
Moody Nolan  
300 Spruce Street, Suite 300  
Columbus, Ohio 43215  
Tel: (614) 461-4664  
Tel: (614) 280-8881  
Teri Umbarger  
(Primary Project Contact)

PROJECT DESCRIPTION

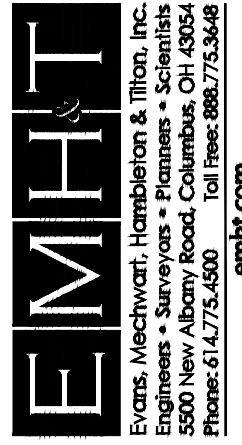
This project is a proposal for development on approximately 1.25 Acres, for a 4-Story Parking Garage located on west side of High Street and the proposed Columbus Metropolitan Library - Dublin Branch, south of proposed Rock Cress Parkway, east of proposed Franklin Street, and north of North Street.

REVISIONS

MARK	DATE	DESCRIPTION



CITY OF DUBLIN, FRANKLIN COUNTY, OHIO  
FOR  
CITY OF DUBLIN  
PARKING GARAGE  
TITLE SHEET



DATE

February 24, 2017

SCALE

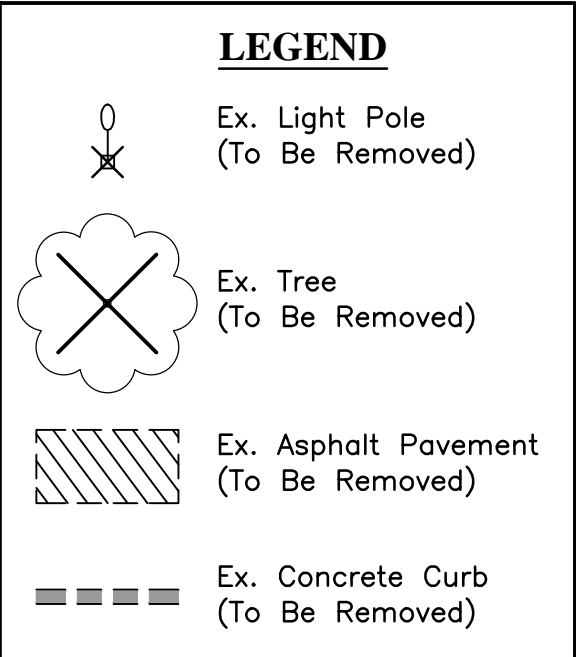
JOB NO.

2016-1060

SHEET

BSP1



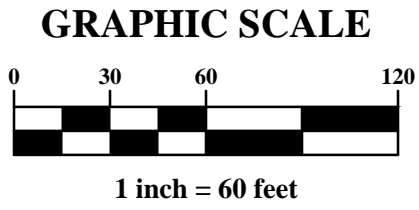
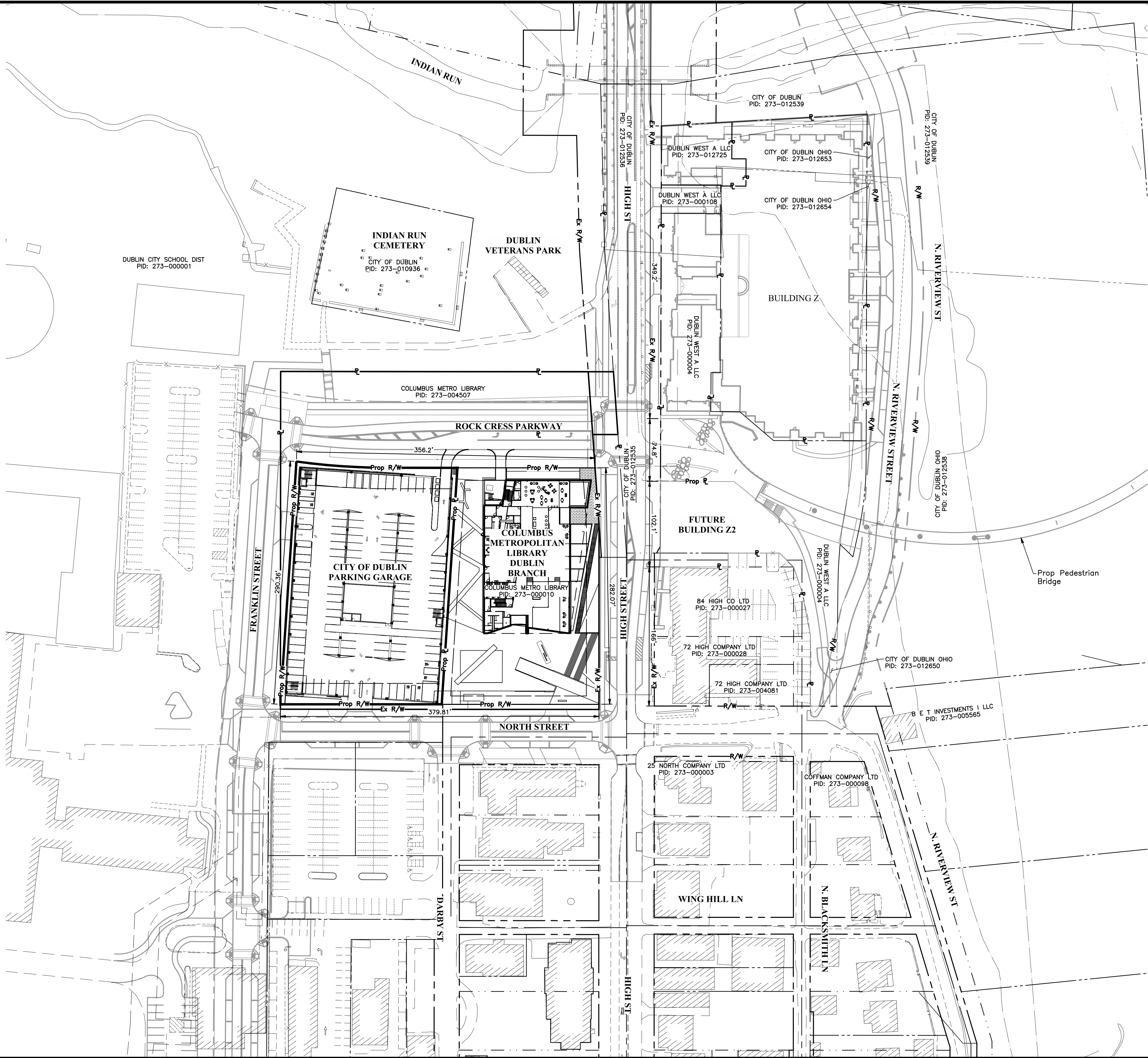


**BSP2**



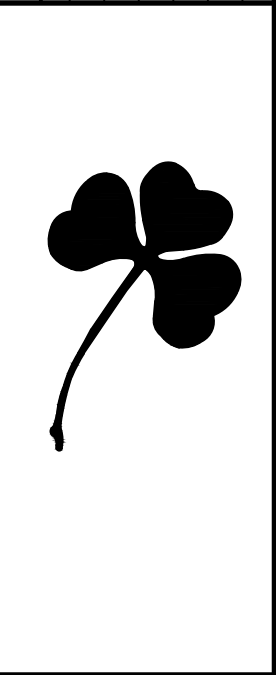


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STREET FAMILIES	
N. High Street	Corridor Connector Street
North Street	Neighborhood Streets
Franklin Street	Neighborhood Street
Rock Cress Parkway	District Connector Street

REVISIONS	
MARK	DATE



CITY OF DUBLIN, FRANKLIN COUNTY, OHIO  
BASIC SITE PLAN  
FOR  
**CITY OF DUBLIN  
PARKING GARAGE  
OVERALL SITE PLAN**

**EMH.T**  
Evans, Mechwart, Hamblen & Tilton, Inc.  
5900 New Albany Road, Columbus, OH 43254  
Phone: 614.775.4500 Toll Free: 888.775.3448  
emht.com

DATE  
February 24, 2017

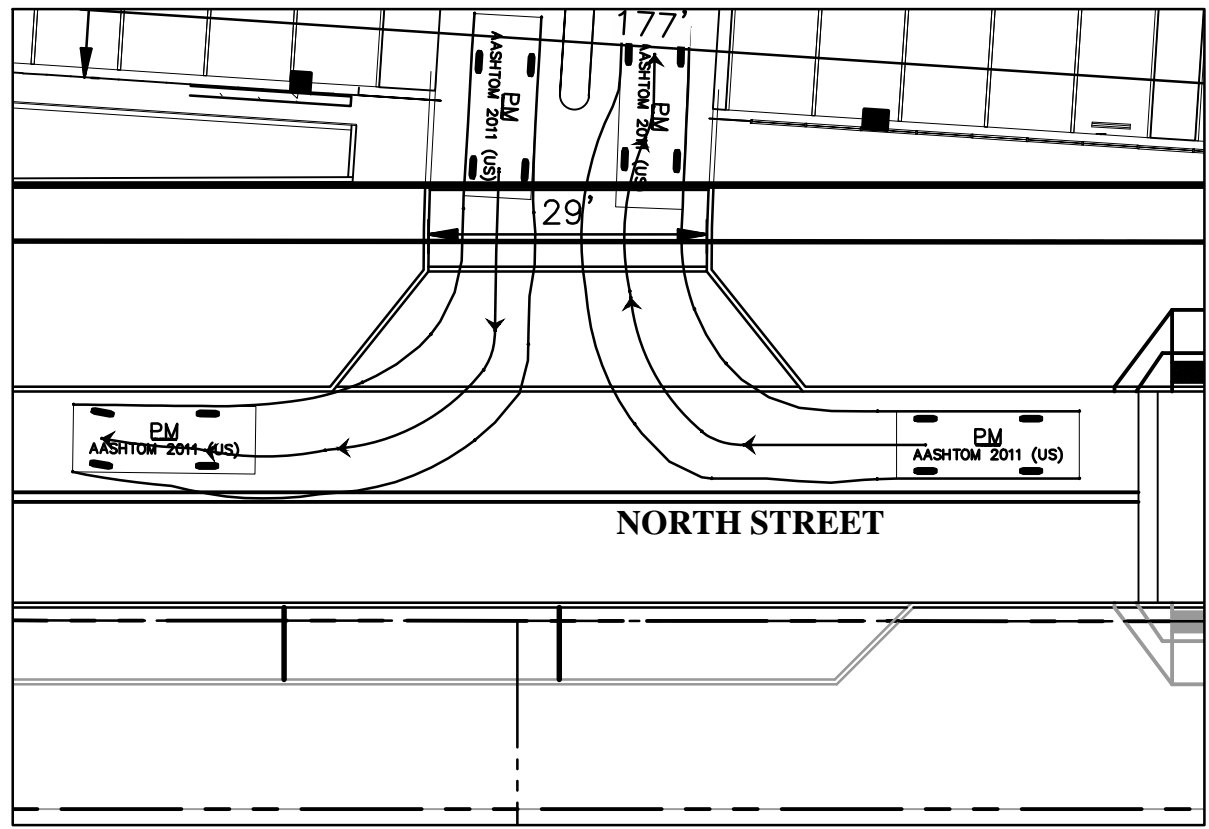
SCALE  
1" = 60'

JOB NO.  
2016-1060

SHEET  
**BSP4**



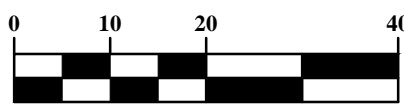
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Xrefs: 20161060-CMLP-SITE-TLB, 20161060-CS-BEER-F, 20161060-CS-BEER-N, 20161060-CIL-BEER-F, 20161060-CIL-BEER-N, 20161060-CIL-BEER-F, 20161060-CIL-BEER-N



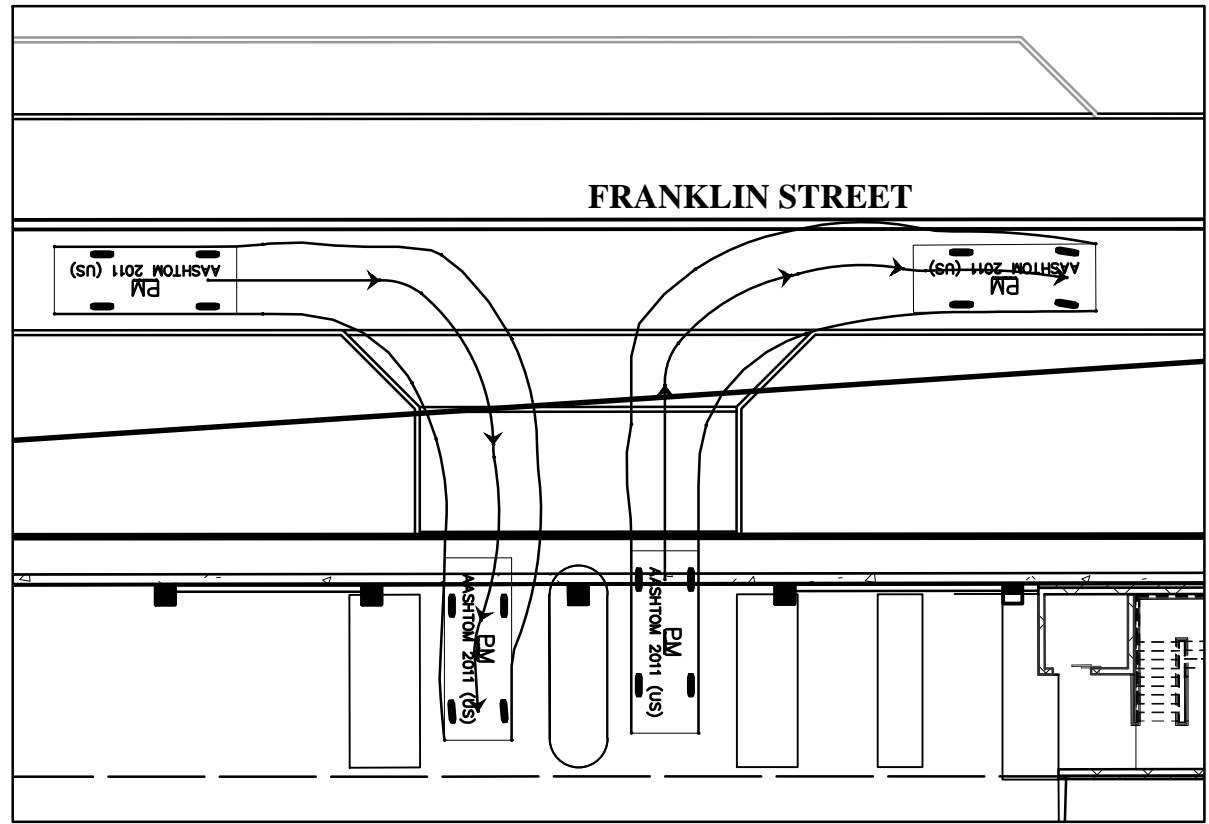
GARAGE ENTRANCE / EXIT OFF OF NORTH STREET

Scale: 1"=20'

GRAPHIC SCALE



1 inch = 20 feet



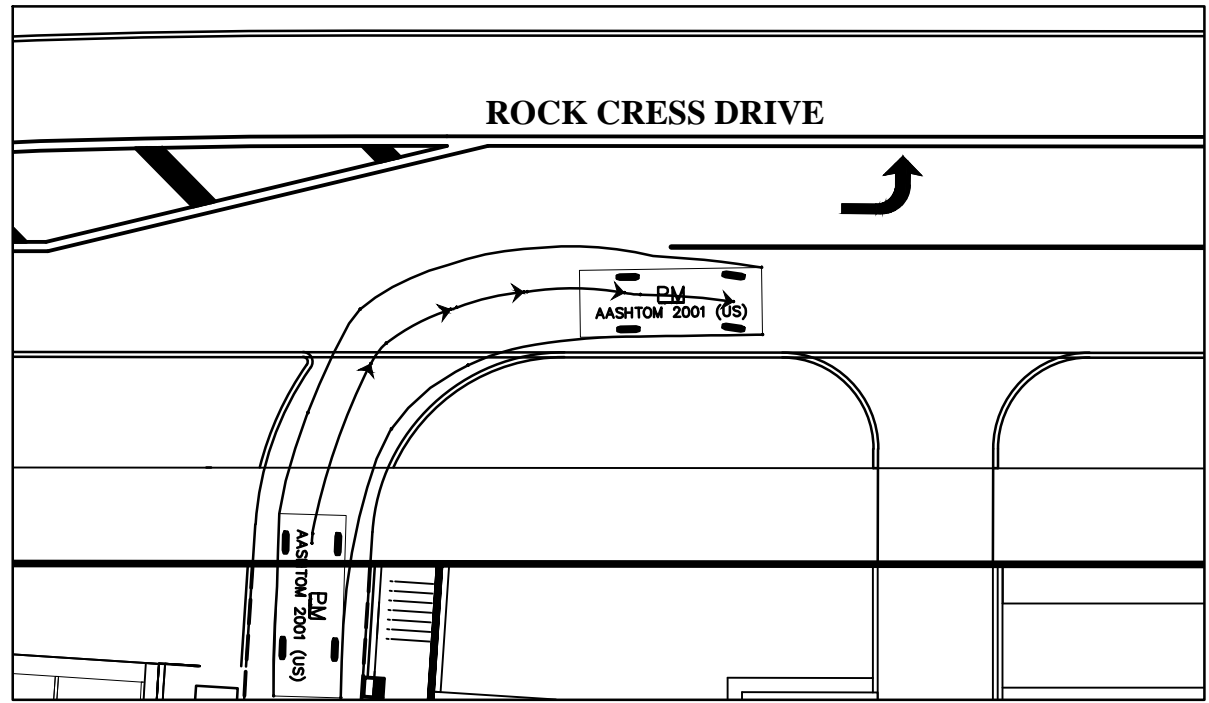
GARAGE ENTRANCE / EXIT OFF OF FRANKLIN STREET

Scale: 1"=20'

GRAPHIC SCALE



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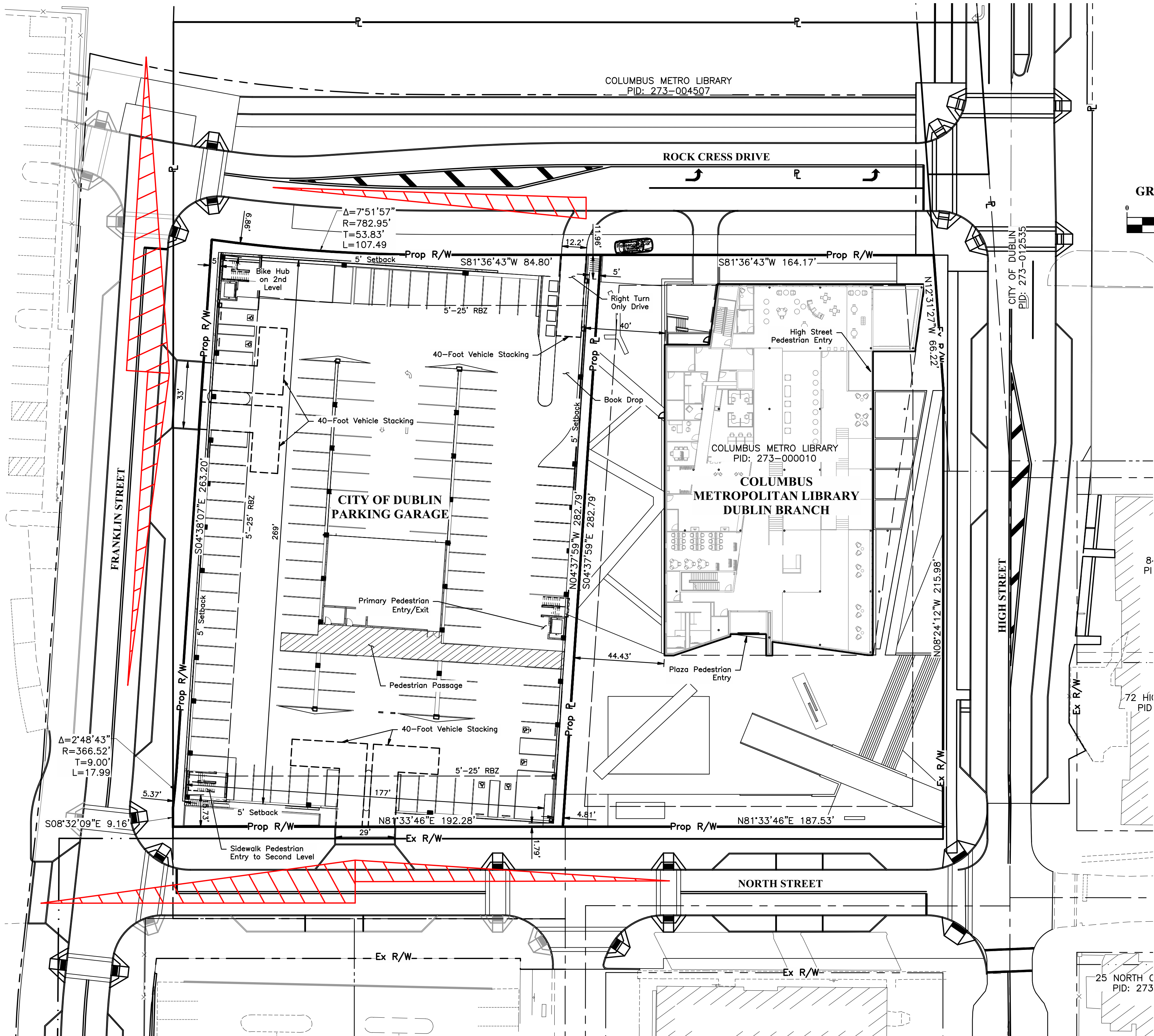
RIGHT-OUT GARAGE EXIT ONTO ROCK CRESS DRIVE

Scale: 1"=20'

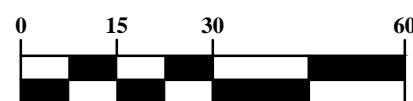
GRAPHIC SCALE



1 inch = 20 feet



GRAPHIC SCALE



1 inch = 30 feet

- STOPPING SIGHT DISTANCE NOTES:**
- Posted speed limit 25 mph
  - SSD = 155 ft
  - (Major road driver's eye to front of minor road driver's car)

REVISIONS

MARK DATE DESCRIPTION

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO  
FOR  
BASIC SITE PLAN

CITY OF DUBLIN  
PARKING GARAGE  
SITE PLAN

**EMHT**  
Evans, Mechwart, Hamblen & Tilton, Inc.  
5900 New Albany Road, Columbus, OH 43254  
Phone: 614.775.6500 Toll Free: 888.775.3448  
emht.com

DATE

February 24, 2017

SCALE

1" = 30'

JOB NO.

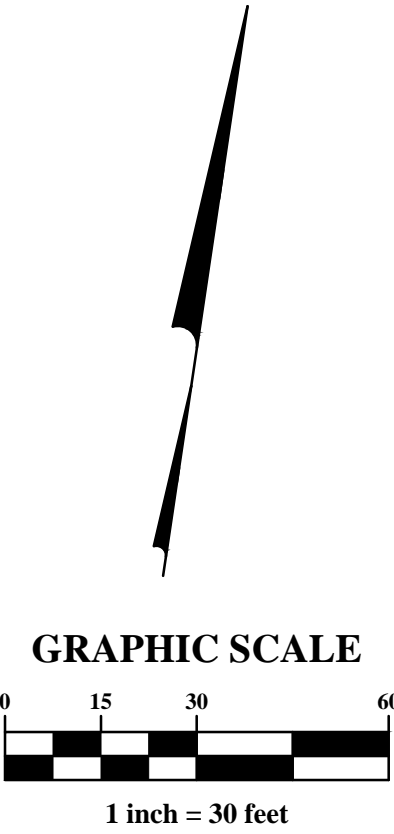
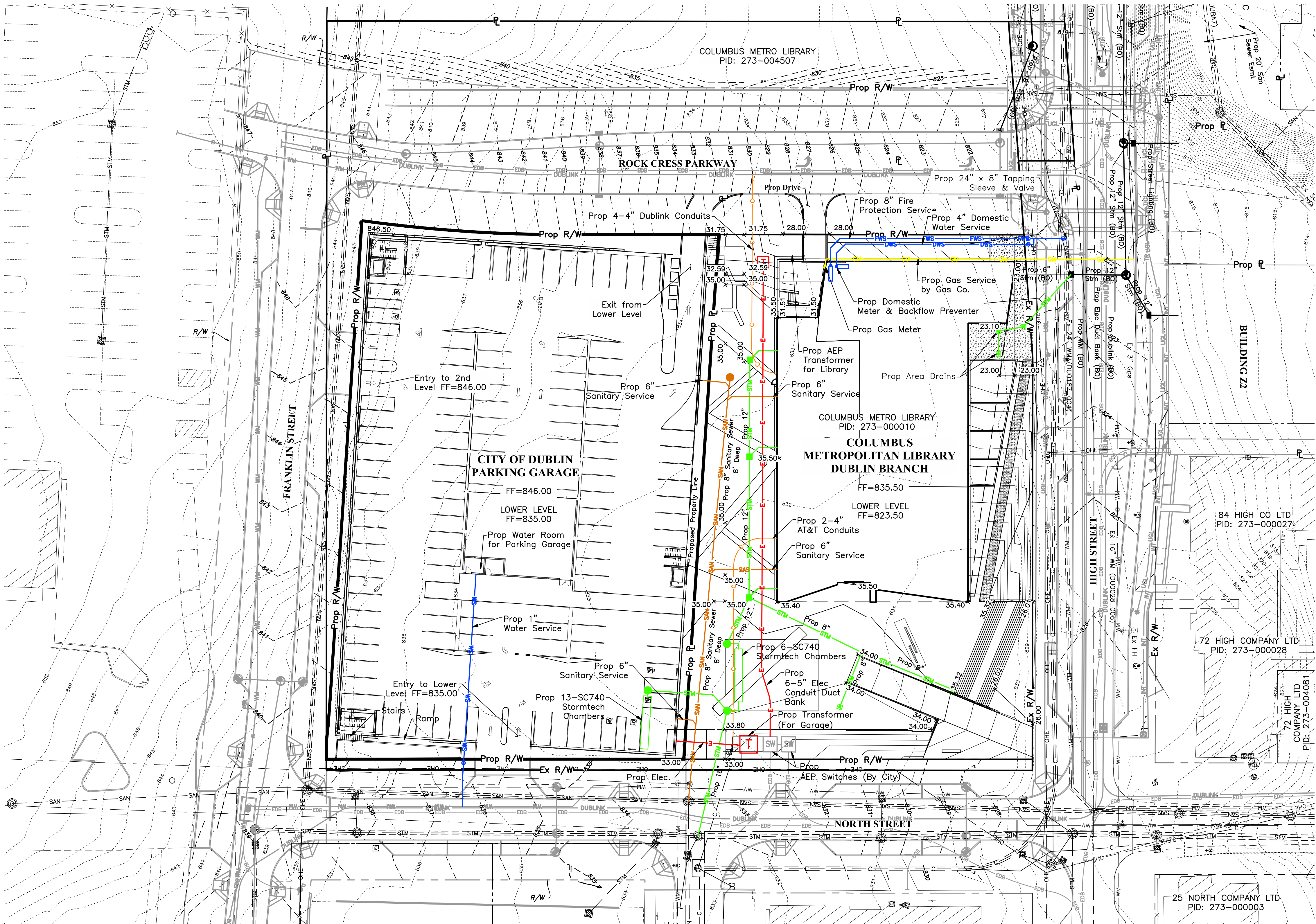
2016-1060

SHEET

**BSP5**



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#### STORMWATER NARRATIVE:

As per the City of Dublin Stormwater Management Design Manual, stormwater detention is not required. Stormwater quality control is required per the OEPA NPDES Permit. In order to meet the OEPA requirements, the project will utilize proposed Stormtech Chambers within the Garage. The water quality volumes have been determined using the OEPA redevelopment standards.

#### Garage

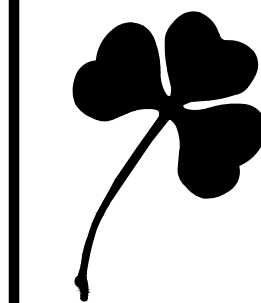
Treat 20% of existing impervious= 0.85 Ac. \* 0.2= 0.17 Ac.  
Treat 100% of new impervious= 1.17 Ac. - 0.85 Ac. = 0.32 Ac.  
Total acreage to treat= 0.49 Ac. of impervious area  
This generates a WQv of 1,066 Cu. Ft.  
Stormtech Chambers required= 13 SC-740 (Total volume generated is 1,191 Cu. Ft.)

#### LEGEND

STM	STM	Existing Storm Sewer	Proposed Storm Sewer (By Others)
SAN	SAN	Existing Sanitary Sewer	Proposed Water Main (By Others)
WM	WM	Existing Watermain	Proposed Dublink (By Others)
GAS	GAS	Existing Gas Main	Proposed AEP Duct Bank (By Others)
OHE	OHE	Existing Overhead Electric	Proposed Underground Lighting (By Others)
E	E	Existing Underground Electric	Proposed Traffic Conduit (By Others)
C	C	Existing Communication	Proposed Roof Drain
RD	RD		Proposed Sanitary Sewer Service
SAS	SAS		Proposed Domestic Water Service
DWS	DWS		Proposed Fire Water Service
FWS	FWS		Proposed Electric Duct Bank
EDB	EDB		Proposed Gas
GAS	GAS		

#### REVISIONS

MARK	DATE	DESCRIPTION
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#### CITY OF DUBLIN, FRANKLIN COUNTY, OHIO FOR BASIC SITE PLAN CITY OF DUBLIN PARKING GARAGE GRADING & UTILITY PLAN



#### DATE

February 24, 2017

#### SCALE

1" = 30'

#### JOB NO.

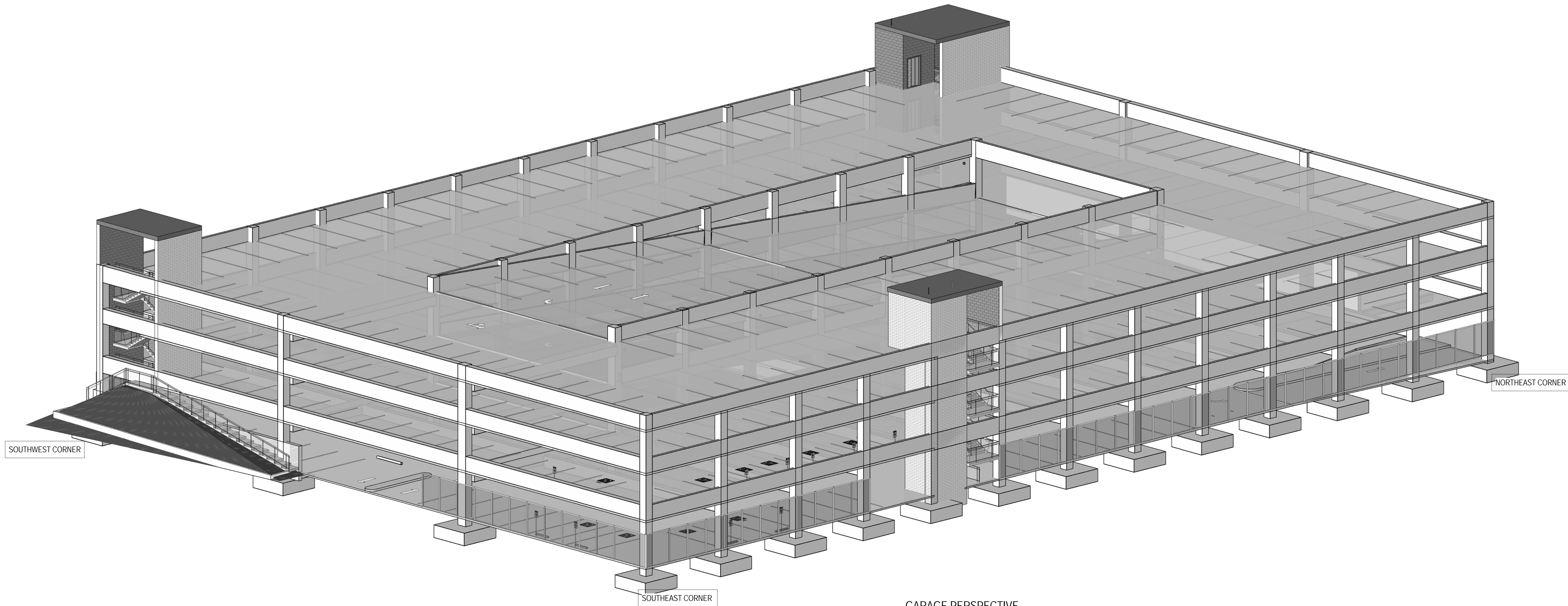
2016-1060

#### SHEET

BSP6



PROGRESS REVIEW ONLY  
NOT FOR CONSTRUCTION



GARAGE PERSPECTIVE

**DUBLIN  
GARAGE -  
OPTION 3**

75 N. HIGH ST., DUBLIN, OH  
43017

FOR  
**CITY OF DUBLIN**

DESIGNED BY: DSG Designer  
DRAWN BY: DRW Author  
CHECKED BY: CHK Checker

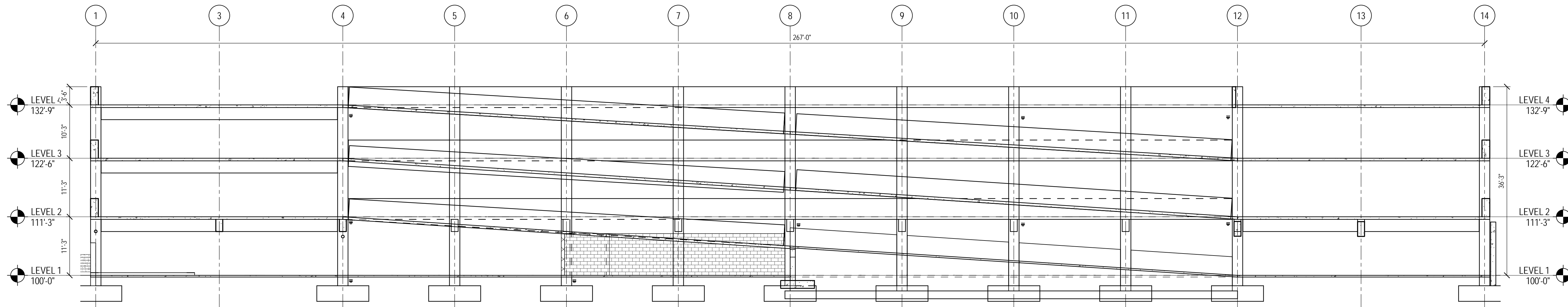
ISSUE/REVISION/SUBMISSION  
NO DATE DESCRIPTION

PROJECT NUMBER:  
**1623.07**

SHEET NAME:  
**3D VIEW**

DATE:  
**02-27-2017**

SHEET:  
**ST001**



BUILDING SECTION  
3/32" = 1'-0"

**DUBLIN GARAGE -  
OPTION 3**

75 N. HIGH ST. DUBLIN, OH  
43017

FOR  
**CITY OF DUBLIN**

DESIGNED BY: DSG  
DRAWN BY: DRW  
CHECKED BY: CHK

ISSUE/REVISION/SUBMISSION  
NO DATE DESCRIPTION

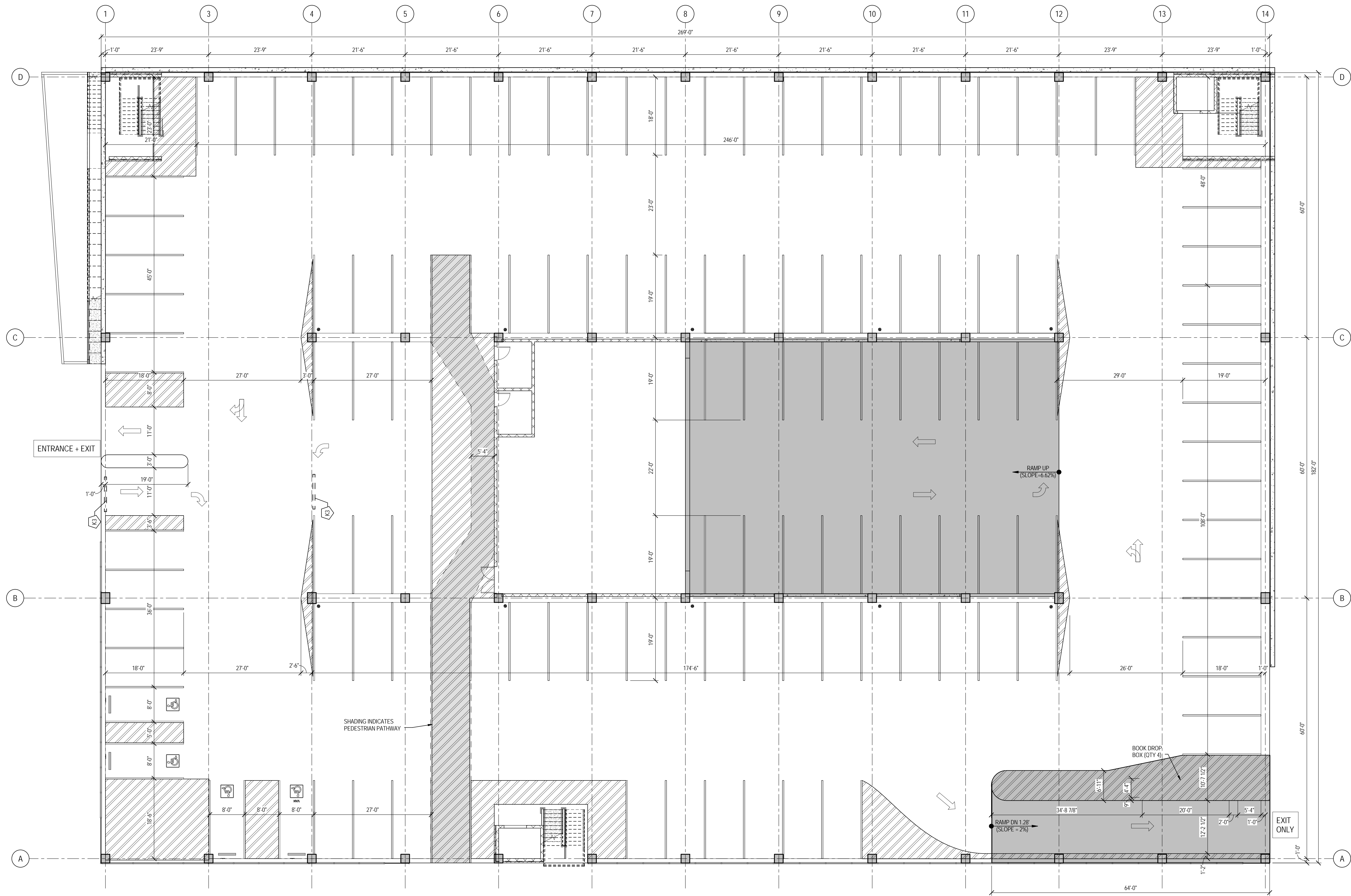
PROJECT NUMBER:  
**1623.07**

SHEET NAME:  
**LEVEL 1 STRIPING PLAN**

DATE:  
**02-27-2017**

SHEET:

**ST110**



**LEVEL 1 STRIPING PLAN**  
3/32" = 1'-0"

**STRIPING PLAN NOTES:**

1. THE STRIPING PLANS ARE FOR STRIPING AND PARKING PURPOSES ONLY. PAINTING CONTRACTOR SHALL FIELD VERIFY ALL COMPLETED CONSTRUCTION CONDITIONS PRIOR TO COMMENCING WITH THE WORK.
2. ALL PARKING STRIPS SHALL BE SINGLE STRIPED. DIMENSIONS GIVEN ON THIS PLAN ARE TO CENTERLINE OR END OF STRIPE UNLESS NOTED OTHERWISE.
3. REFER TO ARCHITECTURAL DRAWINGS FOR WALL AND DOOR INFORMATION NOT INDICATED ON STRIPING DRAWINGS.
4. REFER TO SHEET ST200 FOR TYPICAL PARKING AND STRIPING DETAILS.

**STRIPING KEYNOTES:**

1. 4" PAINTED-ON WHITE STRIPE
2. PAINTED-ON WHITE ACCESSIBLE STALL WITH SYMBOL AND SIGNAGE. SEE TYPICAL ACCESSIBLE STALL DETAILS ON SHEET ST201
3. CLEARANCE BAR SUSPENDED FROM STRUCTURE ABOVE. AT 7'-0" ABOVE SLAB BELOW. PAINTED YELLOW. SEE TYPICAL DETAIL ON SHEET ST200
4. CLEARANCE BAR SUSPENDED FROM STRUCTURE ABOVE. AT 8'-2" ABOVE SLAB BELOW. PAINTED YELLOW. SEE TYPICAL DETAIL ON SHEET ST200
5. PAINTED-ON WHITE DIRECTIONAL ARROW. SEE TYPICAL ARROW DETAILS ON SHEET ST200
6. PAINTED-ON WHITE STRIPE NO-PARKING ZONE. SEE TYPICAL NO-PARKING STRIPING DIAGRAM ON SHEET ST200
7. CONCRETE-FILLED STEEL PIPE BOLLARD. PAINTED YELLOW. SEE TYPICAL BOLLARD DETAILS ON SHEET ST200

PARKING SPACE SCHEDULE (THEORETICAL)		
LEVEL	TYPE	TOTAL
LEVEL 1	ADA VAN w/ SIGNPOST	1
LEVEL 1	ADA w/ SIGNPOST	3
LEVEL 1	SPACES AT PED WALKWAY	5
LEVEL 1	SPACES FOR BOOK DROP	8
LEVEL 1	SPACES FOR ELEVATOR	4
LEVEL 1	STD 9'-0"x18'-0"	119
LEVEL 2	ADA VAN w/ SIGNPOST	1
LEVEL 2	ADA w/ SIGNPOST	7
LEVEL 2	SPACES FOR BKE HUB	4
LEVEL 2	SPACES FOR ELEVATOR	3
LEVEL 2	STD 9'-0"x18'-0"	134
LEVEL 3	SPACES FOR ELEVATOR	3
LEVEL 3	STD 9'-0"x18'-0"	152
LEVEL 4	SPACES FOR ELEVATOR	3
LEVEL 4	STD 9'-0"x18'-0"	132
LEVEL 5	SPACES FOR ELEVATOR	3
LEVEL 5	STD 9'-0"x18'-0"	132
Grand total: 579		

PARKING SPACE SCHEDULE (ACTUAL)		
LEVEL	TYPE	TOTAL
LEVEL 1	ADA VAN w/ SIGNPOST	1
LEVEL 1	ADA w/ SIGNPOST	3
LEVEL 1	STD 9'-0"x18'-0"	119
LEVEL 2	ADA VAN w/ SIGNPOST	1
LEVEL 2	ADA w/ SIGNPOST	7
LEVEL 2	STD 9'-0"x18'-0"	134
LEVEL 3	STD 9'-0"x18'-0"	152
LEVEL 4	STD 9'-0"x18'-0"	132
LEVEL 5	STD 9'-0"x18'-0"	132
Grand total: 549		

**ACTUAL GARAGE EFFICIENCY (GROSS SF  
PER SPACE) = 347.2**  
**THEORETICAL EFFICIENCY = 329.2**

**DUBLIN GARAGE -  
OPTION 3**

75 N. HIGH ST. DUBLIN, OH  
43017

FOR  
**CITY OF DUBLIN**

DESIGNED BY: DSG  
DRAWN BY: DRW  
CHECKED BY: CHK

ISSUE/REVISION/SUBMISSION  
NO DATE DESCRIPTION

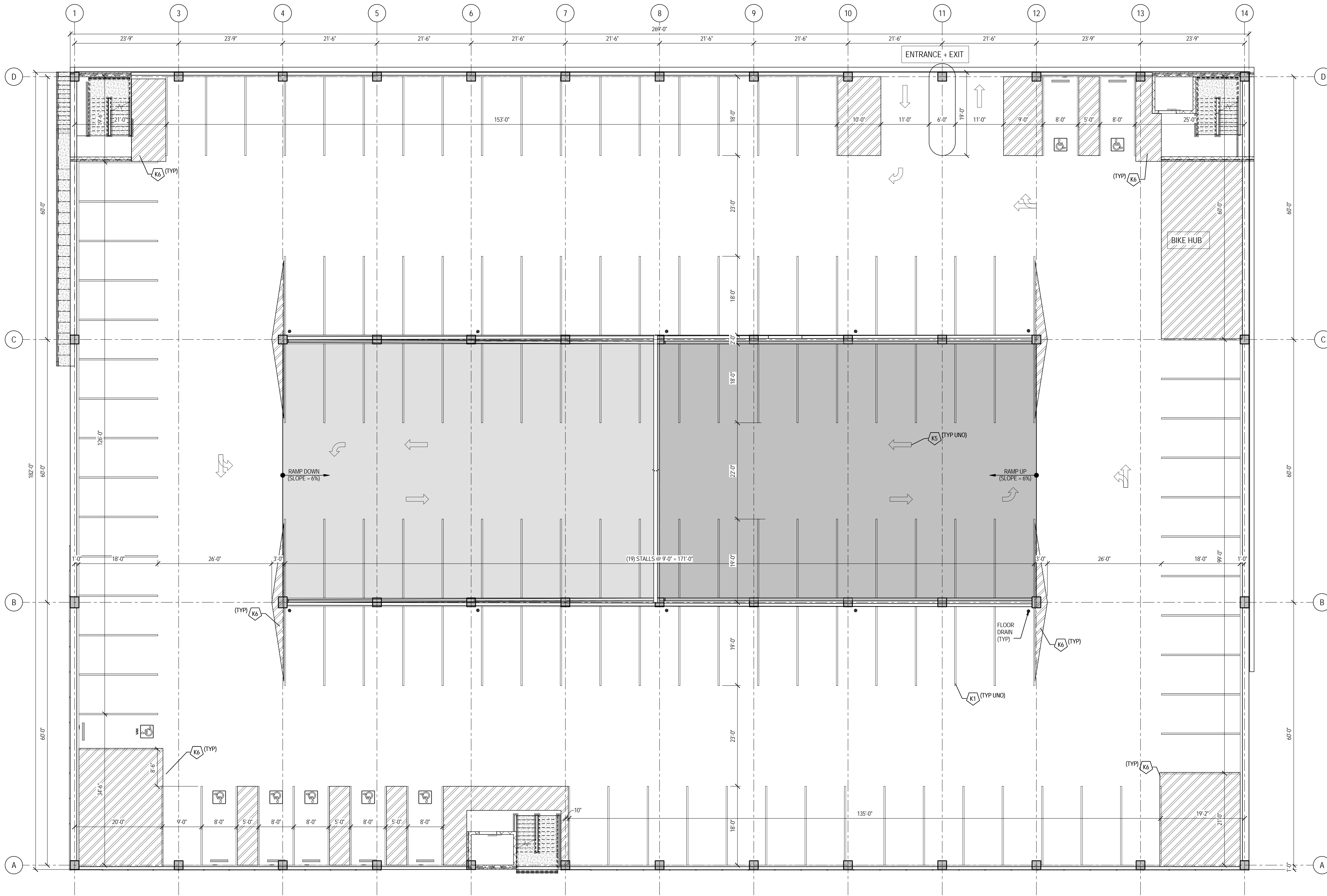
PROJECT NUMBER:  
**1623.07**

SHEET NAME:  
**LEVEL 2 STRIPING PLAN**

DATE:  
**02-27-2017**

SHEET:

**ST120**



**LEVEL 2 STRIPING PLAN**  
3/32" = 1'-0"

- STRIPING PLAN NOTES:**
1. THE STRIPING PLANS ARE FOR STRIPING AND PARKING PURPOSES ONLY. PAINTING CONTRACTOR SHALL FIELD VERIFY ALL COMPLETED CONSTRUCTION CONDITIONS PRIOR TO COMMENCING WITH THE WORK.
  2. ALL PARKING STRIPS SHALL BE SINGLE STRIPED. DIMENSIONS GIVEN ON THIS PLAN ARE TO CENTERLINE OR END OF STRIPE UNLESS NOTED OTHERWISE.
  3. REFER TO ARCHITECTURAL DRAWINGS FOR WALL AND DOOR INFORMATION NOT INDICATED ON STRIPING DRAWINGS.
  4. REFER TO SHEET ST200 FOR TYPICAL PARKING AND STRIPING DETAILS.

- STRIPING KEYNOTES:**
1. 4" PAINTED ON WHITE STRIPE
  2. PAINTED ON WHITE ACCESSIBLE STALL WITH SYMBOL AND SIGNAGE. SEE TYPICAL ACCESSIBLE STALL DETAILS ON SHEET ST201
  3. CLEARANCE BAR SUSPENDED FROM STRUCTURE ABOVE. AT 7'-0" ABOVE SLAB BELOW. PAINTED YELLOW. SEE TYPICAL DETAIL ON SHEET ST200
  4. CLEARANCE BAR SUSPENDED FROM STRUCTURE ABOVE. AT 8'-2" ABOVE SLAB BELOW. PAINTED YELLOW. SEE TYPICAL DETAIL ON SHEET ST200
  5. PAINTED ON WHITE DIRECTIONAL ARROW. SEE TYPICAL ARROW DETAILS ON SHEET ST200
  6. PAINTED ON WHITE STRIPE NO-PARKING ZONE. SEE TYPICAL NO-PARKING STRIPING DIAGRAM ON SHEET ST200
  7. CONCRETE-FILLED STEEL PIPE BOLLARD, PAINTED YELLOW. SEE TYPICAL BOLLARD DETAILS ON SHEET ST200

PARKING SPACE SCHEDULE (THEORETICAL)		
LEVEL	TYPE	TOTAL
LEVEL 1	ADA VAN w/ SIGNPOST	1
LEVEL 1	ADA w/ SIGNPOST	3
LEVEL 1	SPACES AT PED WALKWAY	5
LEVEL 1	SPACES FOR BOOK DROP	8
LEVEL 1	SPACES FOR ELEVATOR	4
LEVEL 1	STD 9'-0"x18'-0"	119
LEVEL 2	ADA VAN w/ SIGNPOST	1
LEVEL 2	ADA w/ SIGNPOST	7
LEVEL 2	SPACES FOR BIKE HUB	4
LEVEL 2	SPACES FOR ELEVATOR	3
LEVEL 2	STD 9'-0"x18'-0"	134
LEVEL 3	SPACES FOR ELEVATOR	3
LEVEL 3	STD 9'-0"x18'-0"	152
LEVEL 4	SPACES FOR ELEVATOR	3
LEVEL 4	STD 9'-0"x18'-0"	132
Grand total:		579

PARKING SPACE SCHEDULE (ACTUAL)		
LEVEL	TYPE	TOTAL
LEVEL 1	ADA VAN w/ SIGNPOST	1
LEVEL 1	ADA w/ SIGNPOST	3
LEVEL 1	STD 9'-0"x18'-0"	119
LEVEL 2	ADA VAN w/ SIGNPOST	1
LEVEL 2	ADA w/ SIGNPOST	7
LEVEL 2	STD 9'-0"x18'-0"	134
LEVEL 3	STD 9'-0"x18'-0"	152
LEVEL 4	STD 9'-0"x18'-0"	132
Grand total:		549

**ACTUAL GARAGE EFFICIENCY (GROSS SF  
PER SPACE) = 347.2**  
**THEORETICAL EFFICIENCY = 329.2**



### DUBLIN GARAGE - OPTION 3

75 N. HIGH ST. DUBLIN, OH  
43017

FOR  
**CITY OF DUBLIN**

DESIGNED BY: DSG	Designer
DRAWN BY: DRW	Author
CHECKED BY: CHK	Checker

ISSUE/REVISION/SUBMISSION		
NO	DATE	DESCRIPTION

PROJECT NUMBER:  
**1623.07**

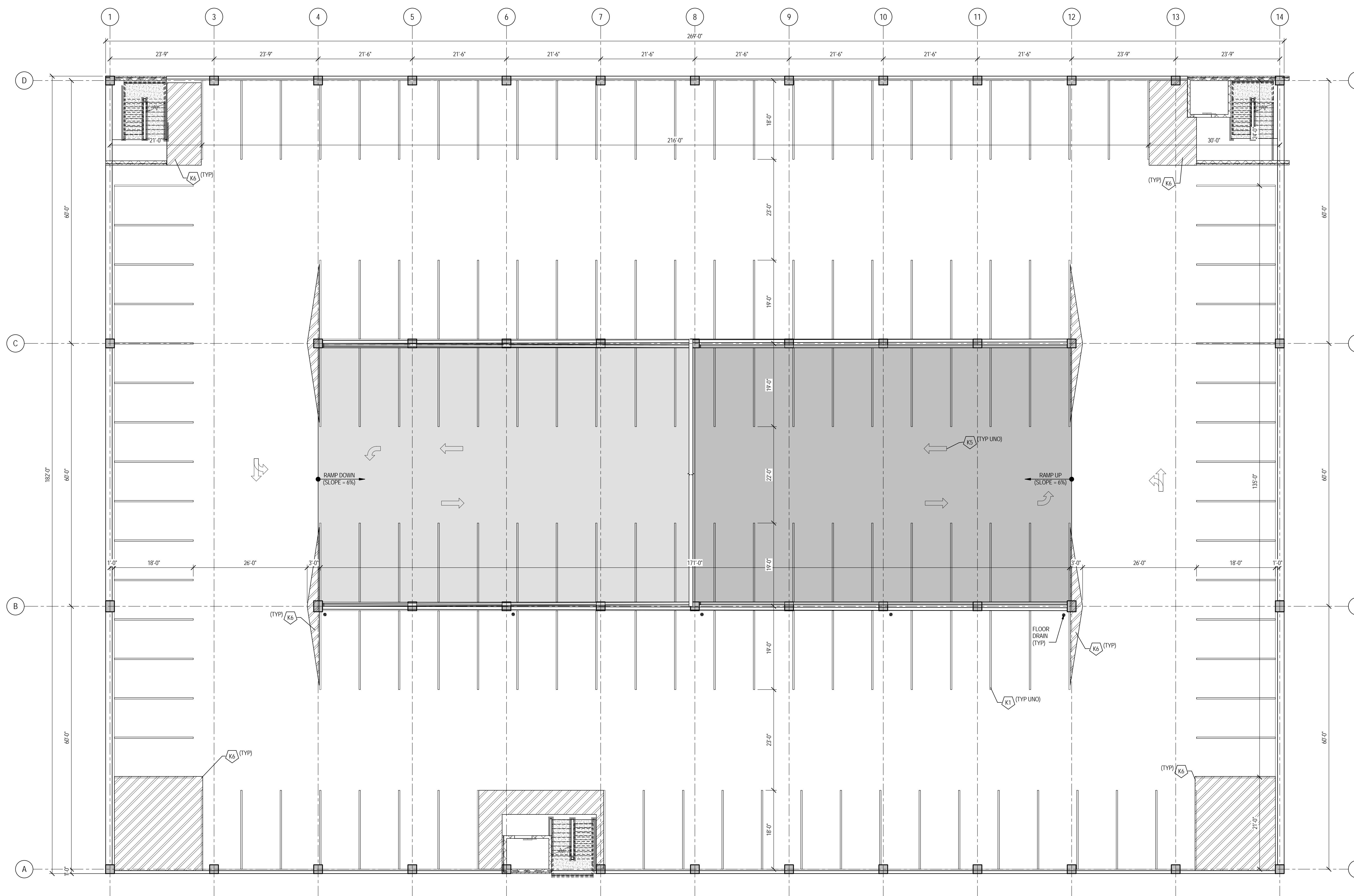
SHEET NAME:


### LEVEL 3 STRIPING PLAN

DATE:  
**02-27-2017**

SHEET:

# ST130



**LEVEL 3 STRIPING PLAN**  
3/32" = 1'-0" 

## STRIPING PLAN NOTES

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4. REFER TO SHEET ST200 FOR TYPICAL PARKING AND STRIPING DETAILS.

STRIPING KEYNOTES: 

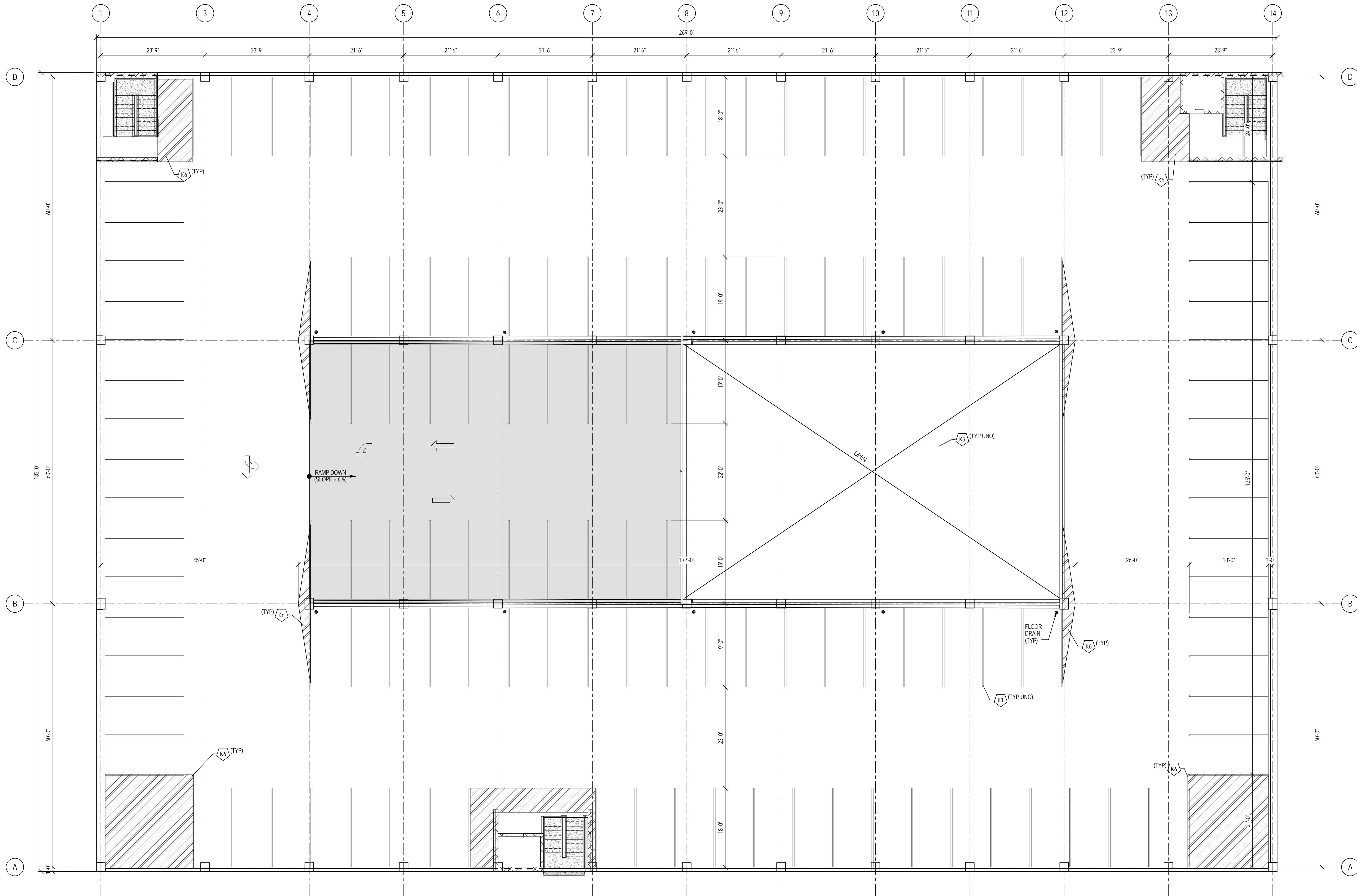
1. 4" PAINTED ON WHITE STRIPE
2. PAINTED ON WHITE ACCESSIBLE SLAB WITH SYMBOL AND SIGNAGE, SEE TYPICAL ACCESSIBLE SLAB DETAIL ON SHEET S17.01
3. CLEARANCE BAR SPENDING FROM STRUCTURE ABOVE, AT 7'-0" ABOVE SLAB BELOW, PAINTED YELLOW, SEE TYPICAL DETAIL ON SHEET S1200
4. CLEARANCE BAR SPENDING FROM STRUCTURE ABOVE, AT 8'-2" ABOVE SLAB BELOW, PAINTED YELLOW, SEE TYPICAL DETAIL ON SHEET S1200
5. PAINTED ON WHITE DIRECTIONAL ARROW, SEE TYPICAL ARROW DETAILS ON SHEET S1200
6. PAINTED ON WHITE STRIPE NO-PARKING ZONE, SEE TYPICAL NO-PARKING STRIPING DIAGRAM ON SHEET S1200
7. CONCRETE FILLED 12" PIPE BOLLARD, PAINTED YELLOW, SEE TYPICAL BOLLARD DETAILS ON SHEET S1200

PARKING SPACE SCHEDULE (THEORETICAL)			
LEVEL	TYPE	TOT	
LEVEL 1	ADA VAN w/ SIGNPOST	3	
LEVEL 1	ADA w/ SIGNPOST	3	
LEVEL 1	SPACES AT PED WALKWAY	3	
LEVEL 1	SPACES FOR BOOK DROP	8	
LEVEL 1	SPACES FOR ELEVATOR	4	
LEVEL 1	STD 9' x 18' 0"	11	
169			
LEVEL 2	ADA VAN w/ SIGNPOST	1	
LEVEL 2	ADA w/ SIGNPOST	7	
LEVEL 2	SPACES FOR BIKE HUB	4	
LEVEL 2	SPACES FOR ELEVATOR	3	
LEVEL 2	STD 9' x 18' 0"	13	
170			
LEVEL 3	SPACES FOR ELEVATOR	3	
LEVEL 3	STD 9' x 18' 0"	15	
175			
LEVEL 4	SPACES FOR ELEVATOR	3	
LEVEL 4	STD 9' x 18' 0"	13	
175			

PARKING SPACE SCHEDULE (ACTUAL)			
LEVEL	TYPE	TOT	
LEVEL 1	ADA VAN w/ SIGNPOST		
LEVEL 1	ADA w/ SIGNPOST		
LEVEL 1	STD 9'-0"x18'-0"		
123			
LEVEL 2	ADA VAN w/ SIGNPOST		
LEVEL 2	ADA w/ SIGNPOST		
LEVEL 2	STD 9'-0"x18'-0"		
142			
LEVEL 3	STD 9'-0"x18'-0"		
152			
LEVEL 4	STD 9'-0"x18'-0"		
132			

ACTUAL GARAGE EFFICIENCY (GROSS SF  
PER SPACE) = 347.2  
THEORETICAL EFFICIENCY = 329.2

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LEVEL 4 STRIPING PLAN  
3/32" = 1'-0"

STRIPING PLAN NOTES:

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STRIPING KEYNOTES:

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4. CLEARANCE BAR SUSPENDED FROM STRUCTURE ABOVE. AT 8'-0" ABOVE SLAB BELOW. PAINTED YELLOW. SEE TYPICAL DETAIL ON SHEET ST200
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6. PAINTED-ON WHITE STRIPE NO-PARKING ZONE. SEE TYPICAL NO-PARKING STRIPING DIAGRAM ON SHEET ST200
7. CONCRETE-FILLED STEEL PIPE BOLLARD. PAINTED YELLOW. SEE TYPICAL BOLLARD DETAILS ON SHEET ST200

PARKING SPACE SCHEDULE (THEORETICAL)		
LEVEL	TYPE	TOTAL
LEVEL 1	ADA VAN w/ SIGNPOST	1
LEVEL 1	ADA w/ SIGNPOST	3
LEVEL 1	SPACES AT PED WALKWAY	5
LEVEL 1	SPACES FOR BOOK DROP	8
LEVEL 1	SPACES FOR ELEVATOR	4
LEVEL 1	STD 9'-0"x18'-0"	119
LEVEL 1	Grand total: 140	
LEVEL 2	ADA VAN w/ SIGNPOST	1
LEVEL 2	ADA w/ SIGNPOST	7
LEVEL 2	SPACES FOR BIKE RACK	4
LEVEL 2	SPACES FOR ELEVATOR	3
LEVEL 2	STD 9'-0"x18'-0"	134
LEVEL 2	Grand total: 149	
LEVEL 3	SPACES FOR ELEVATOR	3
LEVEL 3	STD 9'-0"x18'-0"	152
LEVEL 3	Grand total: 155	
LEVEL 4	SPACES FOR ELEVATOR	3
LEVEL 4	STD 9'-0"x18'-0"	132
LEVEL 4	Grand total: 135	
Grand total: 579		

PARKING SPACE SCHEDULE (ACTUAL)		
LEVEL	TYPE	TOTAL
LEVEL 1	ADA VAN w/ SIGNPOST	1
LEVEL 1	ADA w/ SIGNPOST	3
LEVEL 1	STD 9'-0"x18'-0"	119
LEVEL 1	Grand total: 123	
LEVEL 2	ADA VAN w/ SIGNPOST	1
LEVEL 2	ADA w/ SIGNPOST	7
LEVEL 2	STD 9'-0"x18'-0"	134
LEVEL 2	Grand total: 142	
LEVEL 3	STD 9'-0"x18'-0"	152
LEVEL 3	Grand total: 155	
LEVEL 4	STD 9'-0"x18'-0"	132
LEVEL 4	Grand total: 135	
Grand total: 549		

ACTUAL GARAGE EFFICIENCY (GROSS SF PER SPACE) = 347.2  
THEORETICAL EFFICIENCY = 329.2

**DUBLIN GARAGE - OPTION 3**

75 N. HIGH ST. DUBLIN, OH 43017

FOR  
**CITY OF DUBLIN**

DESIGNED BY: DSG Designer  
DRAWN BY: DRW Author  
CHECKED BY: CHK Checker

ISSUE/REVISION/SUBMISSION  
NO DATE DESCRIPTION

PROJECT NUMBER:  
**1623.07**

SHEET NAME:  
**LEVEL 4 STRIPING PLAN**

DATE:  
**02-27-2017**

SHEET:  
**ST140**

MARCH 20, 2017

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# DUBLIN GARAGE



MOODY•NOLAN

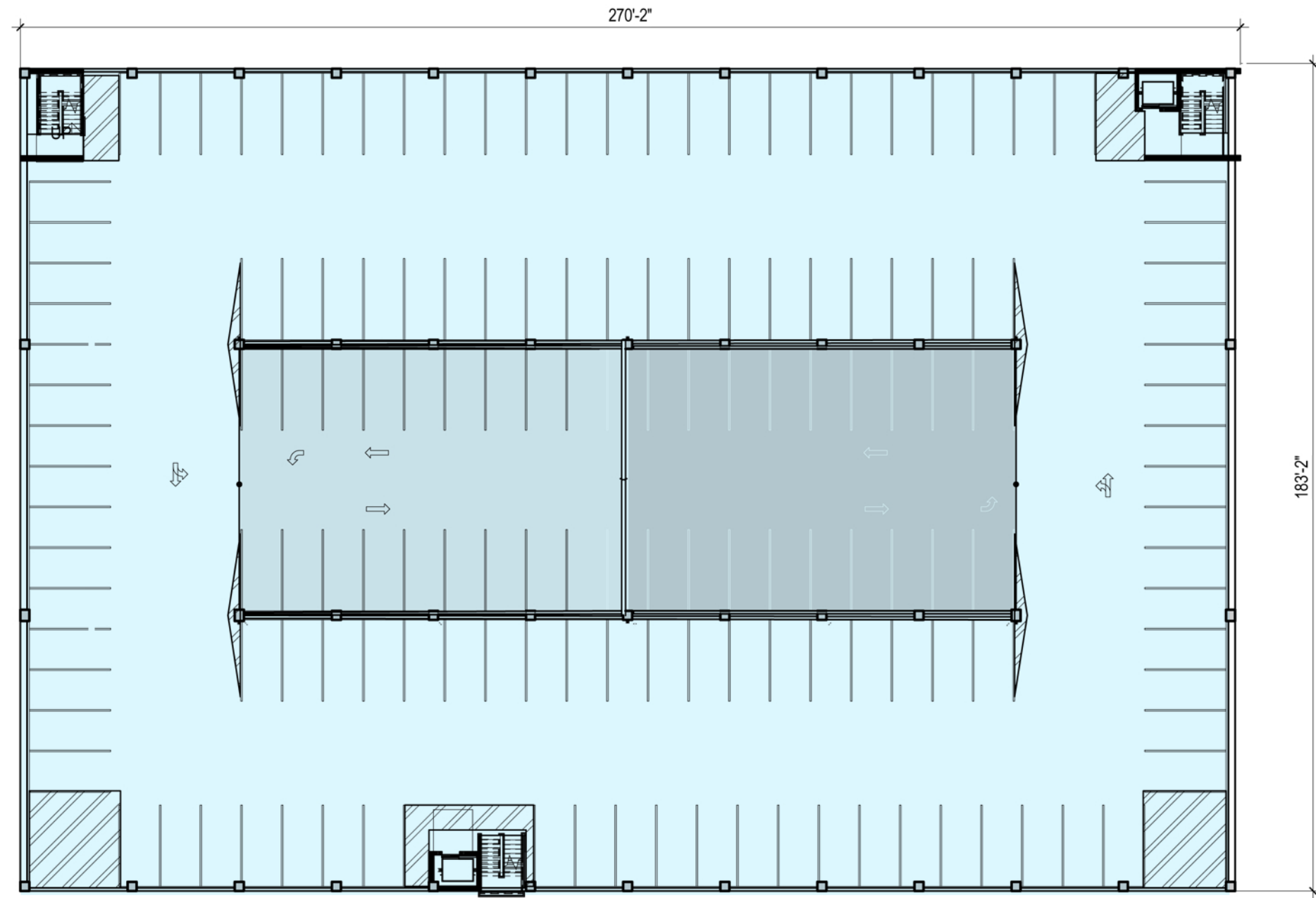




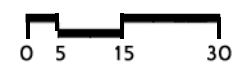


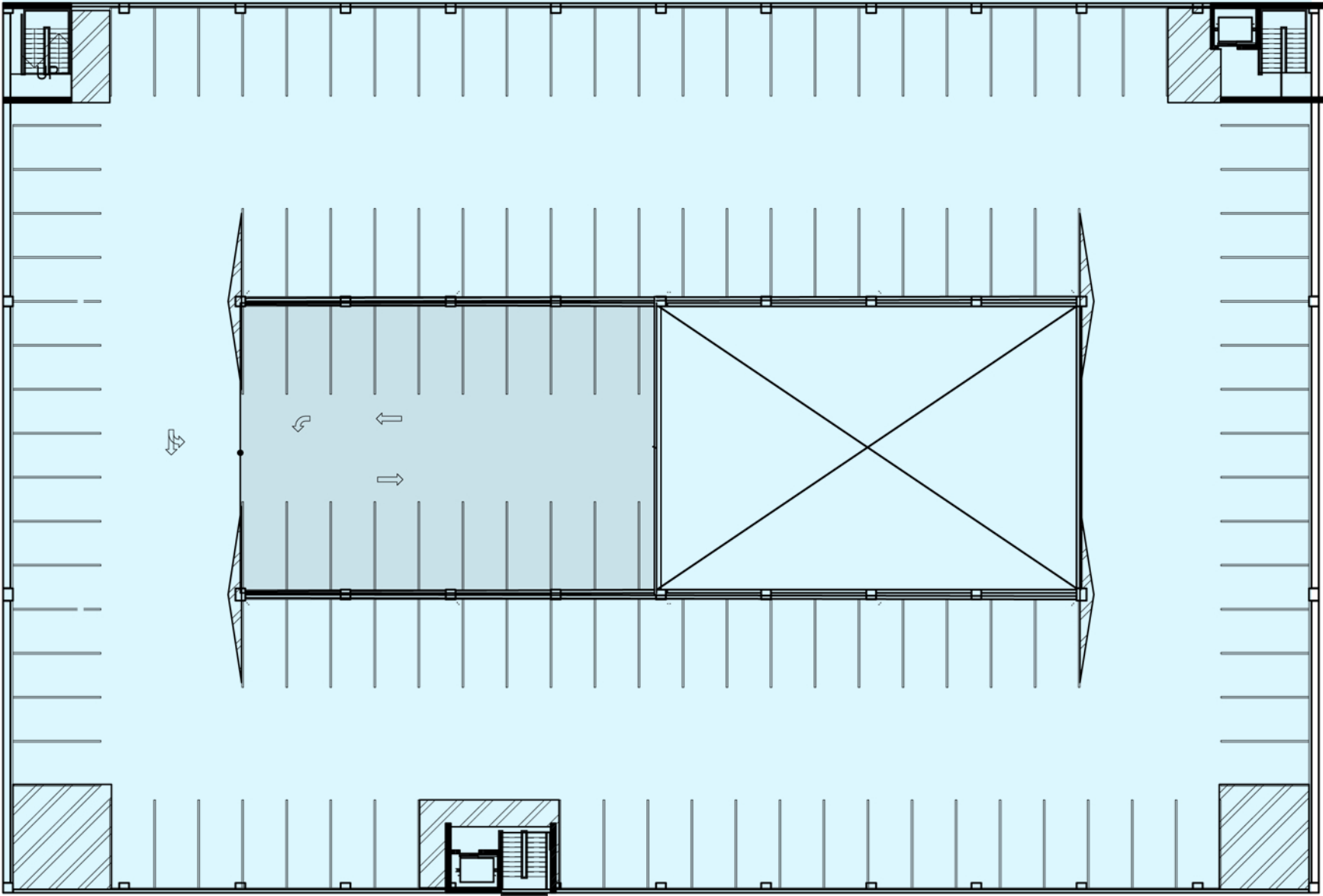






THIRD FLOOR





FOURTH FLOOR









*Patinated Roof*



*Textured Facades*



*Glazing*



*Wild Green*



*Dry Laid Stone Wall*





*Metal Fin System*

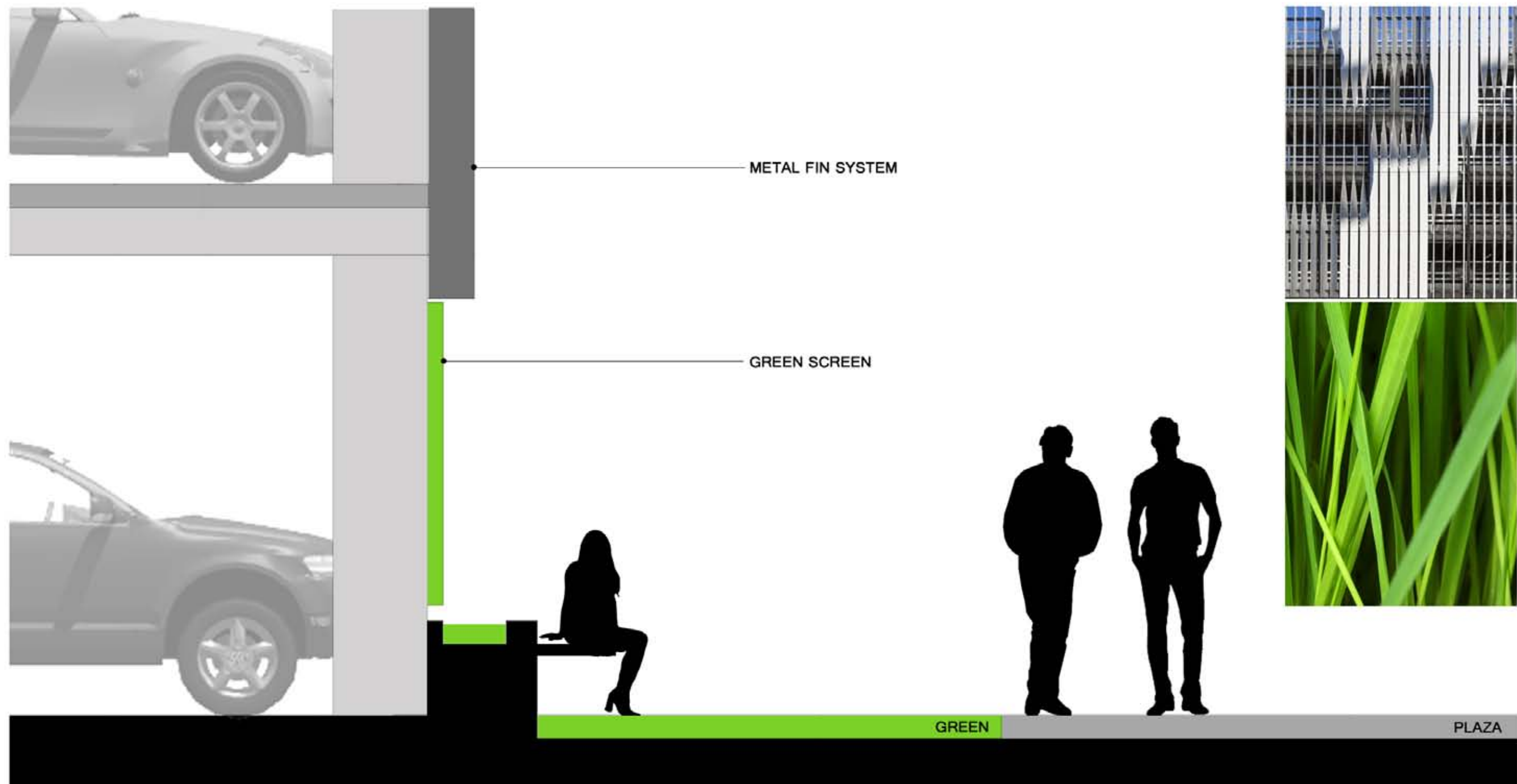


*Green Screen*



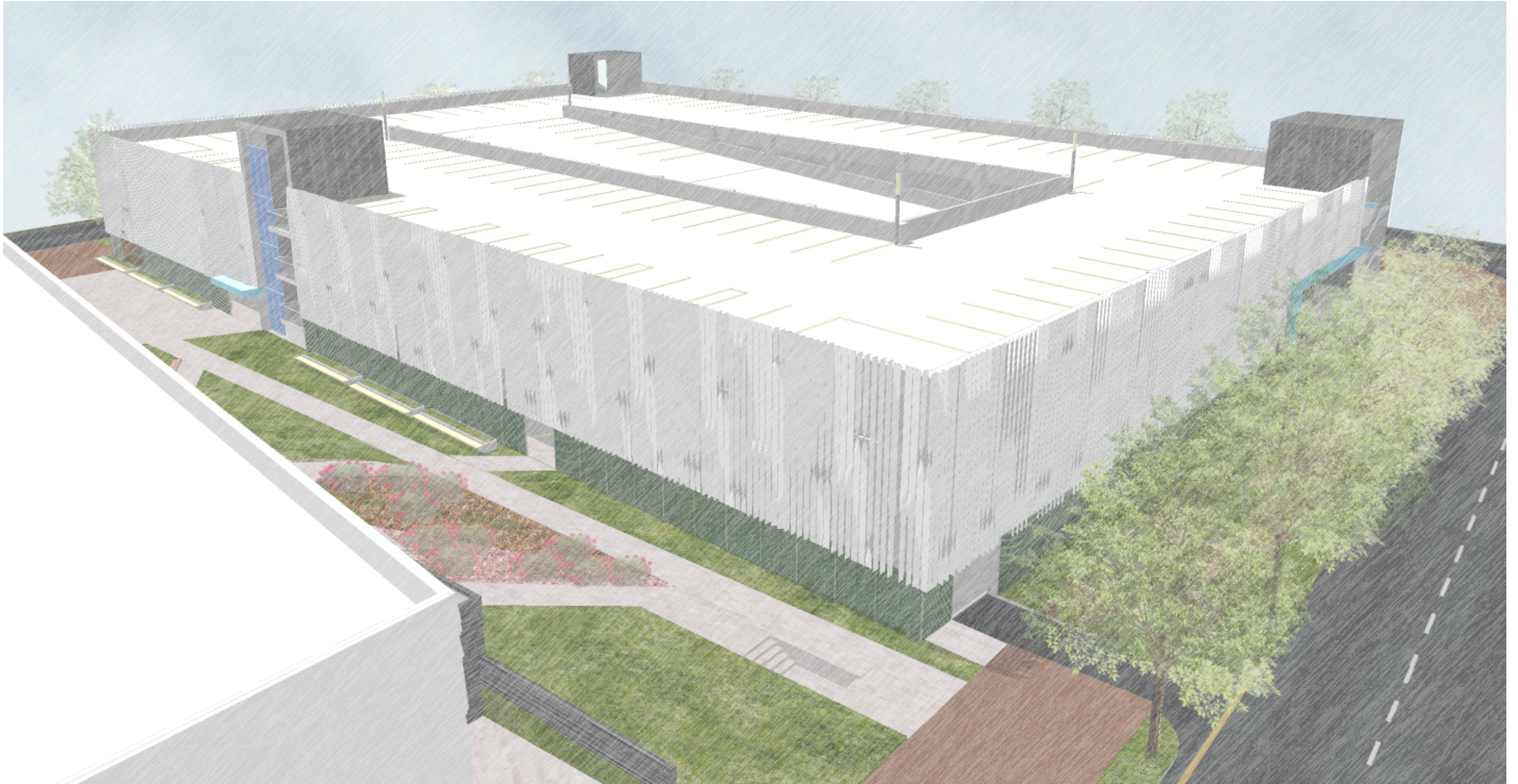
*Grey Roman Brick*





**CONCEPTUAL WALL SECTION**  
NOT TO SCALE





**NORTHEAST CORNER VIEW**  
**North High Street**





**EAST VIEW**  
**North High Street**





**SOUTHEAST CORNER**  
**North Street**





SKIN PRECEDENT



IVY TYPES  
 CLEMATIS PINK CHAMPAGNE  
 HUMULUS LUPULUS 'CENTENNIAL'  
 PARTHENOCISSUS QUINQUEFOLIA  
 HEDERA HELIX

## SOUTHEAST VIEW OF GARDEN North Street





BRICK PRECEDENT

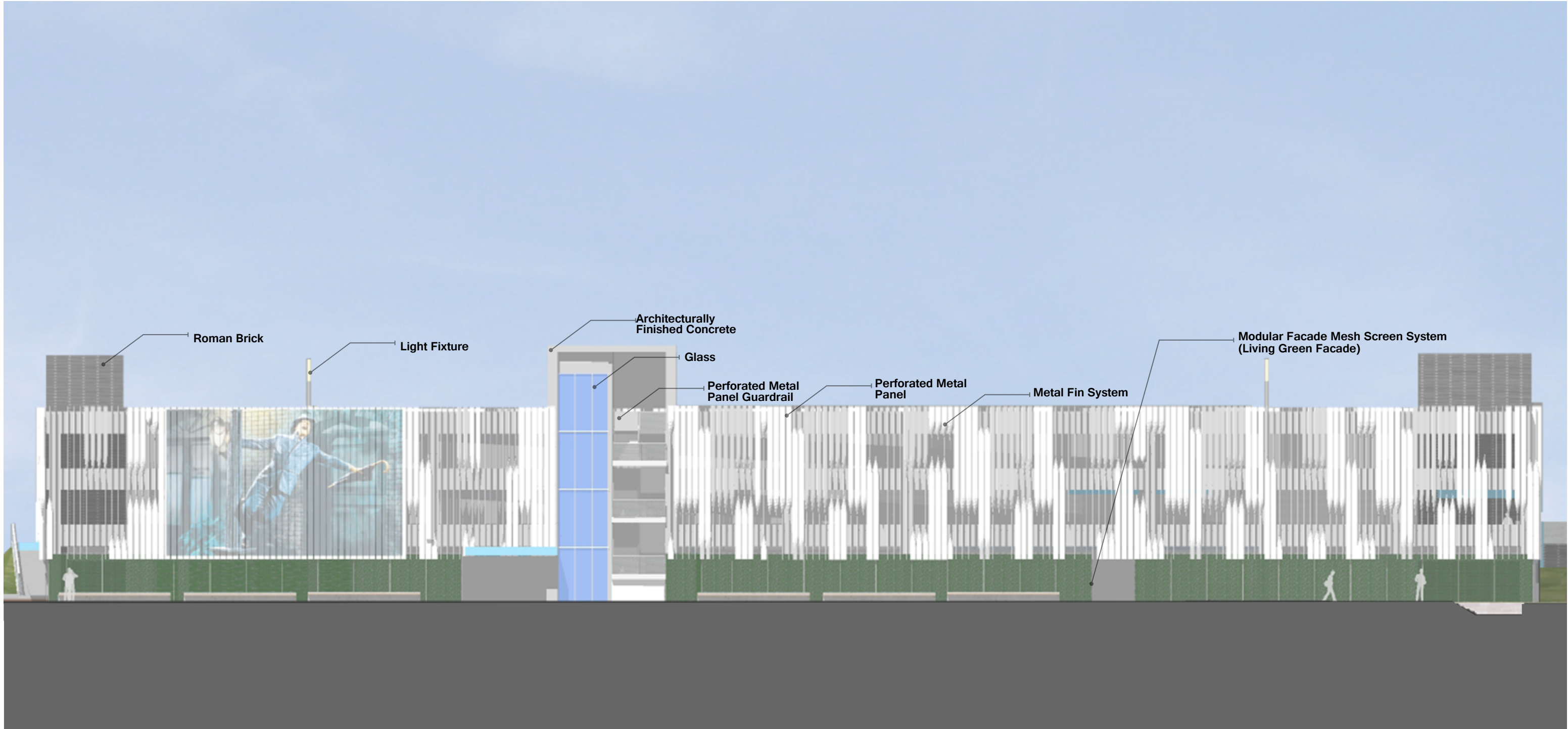
**SOUTHWEST CORNER VIEW**  
**Future Franklin Street**





**NORTHWEST CORNER**  
**Future Rock Cross Parkway**

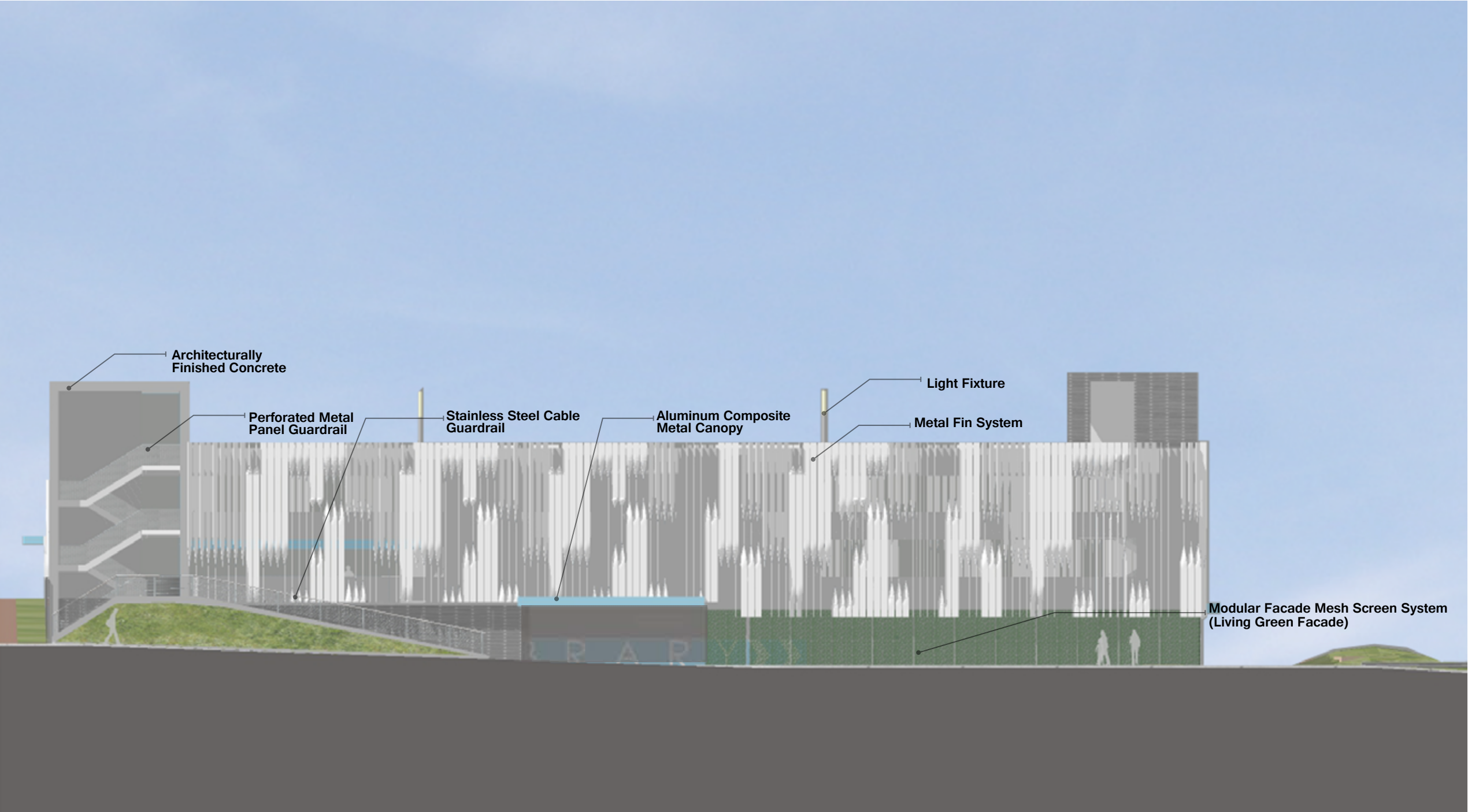




**EAST ELEVATION**  
**North High Street**

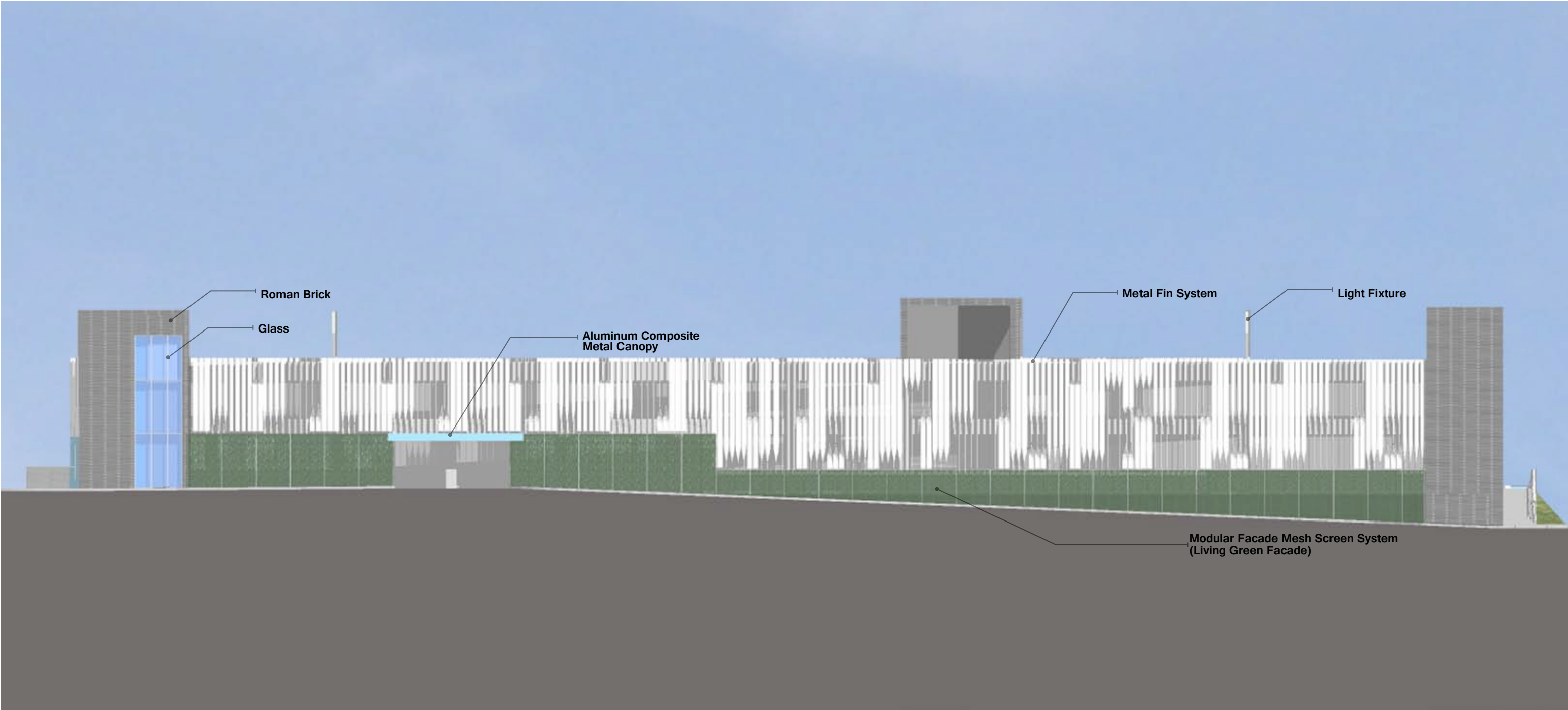






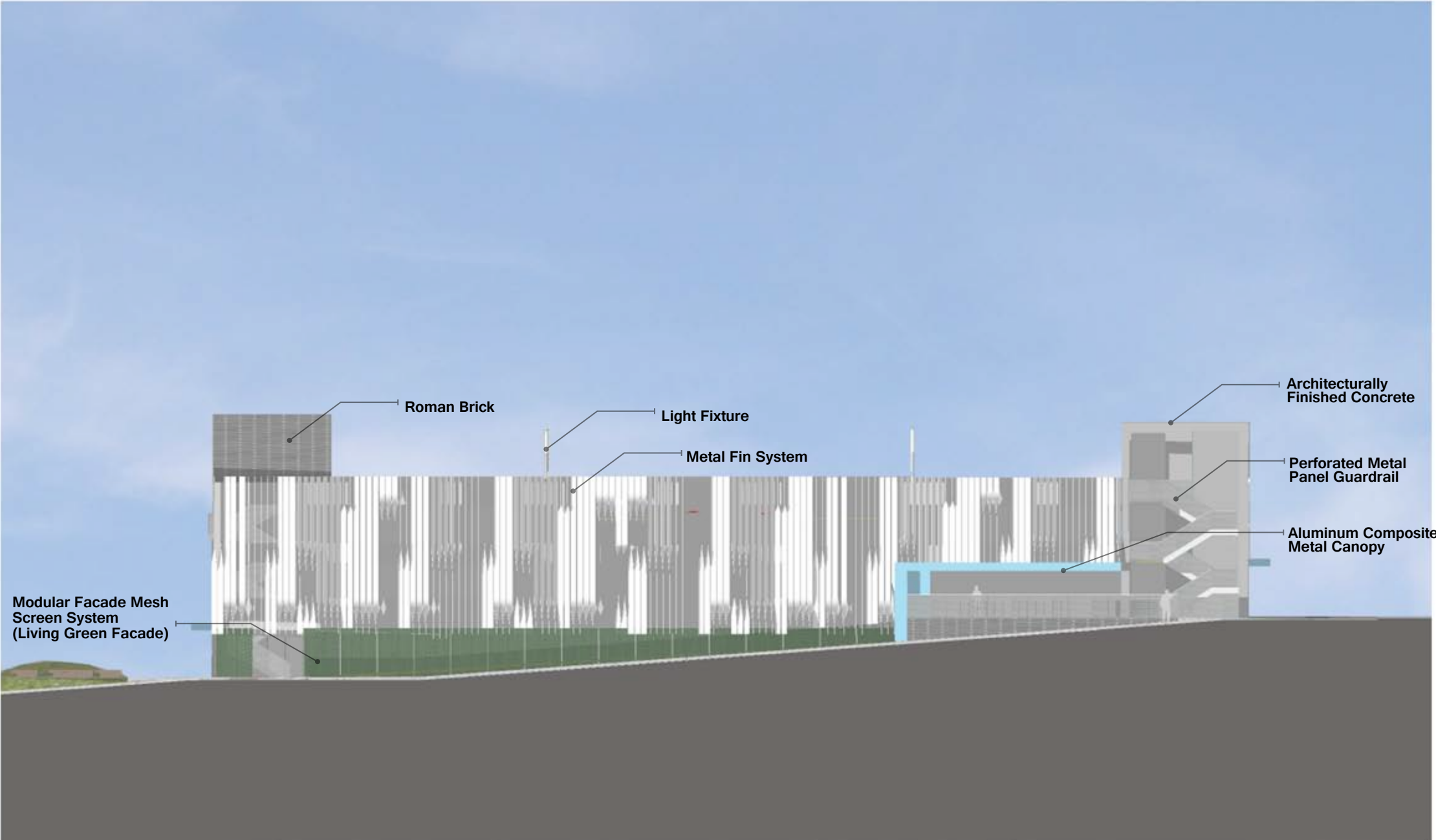
**SOUTH ELEVATION**  
**North Street**





**WEST ELEVATION**  
**Future Franklin Street**





**NORTH ELEVATION  
Future Rock Cross Park-  
way**







## RECORD OF DETERMINATION

# Administrative Review Team

Thursday, March 9, 2017

The Administrative Review Team made the following determinations at this meeting:

**2. BSD P – Library Parking Garage  
17-003ARB-BPR**

**75 N. High Street  
Basic Plan Review**

Proposal: Construction of a new parking garage with associated site improvements located at the northwest corner of the intersection of North High Street and North Street.

Request: Review and recommendation of approval to City Council for a Basic Plan Review under the provisions of Zoning Code §153.066 and §153.070.

Applicant: Dana McDaniel, City of Dublin; represented by Teri Umbarger, Moody Nolan.

Planning Contact: Jennifer M. Rauch, AICP, Planning Manager; (614) 410-4690, jrauch@dublin.oh.us

### REQUEST 1: BASIC PLAN WAIVERS

Request for an approval recommendation to City Council for 11 Basic Plan Waivers:

1. §153.060(C)(2)(a): Maximum Block Size – Permitted Maximum Block Length: 300 feet. North Street: 379 feet (requested); Permitted Maximum Block Perimeter: 1,000 feet; 1,308 feet (requested).
2. §153.060(C)(5)(a): Block Access Limitations – No vehicular access permitted on Principal Frontage Street (Rock Cress Parkway) required; Vehicular access provided at northwest corner for service area (requested)
3. §153.061(D)(2): Vehicular Access – No vehicular access permitted on Principal Frontage Street (Rock Cress Parkway) required; Vehicular access provided at northwest corner for service area (requested).
4. §153.063(D)(4)(b): Building Height – Building height limited to 2.5 stories adjacent to the Historic Core District (required); 3 stories at the north, east, and south elevations (requested).
5. §153.062(O)(12)(b): Story Height – Ground Story minimum and minimum clearance is 12 feet (required): 11 feet (requested).
6. §153.065(B)(5)(c): Story Height – Minimum clearance is 12 feet (required): 11 feet (requested).
7. §153.062(D)(4): One tower permitted per building (required); 3 (requested).
8. §153.062(O)(12)(d)(6): One tower permitted per building (required); 3 (requested).
9. §153.062(O)(12)(c): Use and Occupancy Requirements – Commercial uses required; No commercial uses is provided (requested).



10. §153.062(O)(12)(c): Use and Occupancy Requirements – Occupied space (required); No occupied space is provided (requested).
11. §153.062(O)(12)(c): Use and Occupancy Requirements – Parking is not permitted in an area of the structure with frontage on a PFS and a greenway (required); Parking is provided in an area of the structure with frontage on a PFS and a greenway (requested).

**Determination:** The 11 Basic Plan Waivers were recommended for approval to City Council as part of the Basic Plan Review.

**REQUEST 2: BASIC PLAN REVIEW**

Request for a recommendation of approval to City Council for a Basic Plan Review with 8 conditions:

- 1) That the applicant file a Demolition request prior to the approval of the Site Plan;
- 2) That the applicant investigate the use of stone in lieu of brick on the lower portions of the building and at the tower elements;
- 3) That staff should continue to work with the applicant on the provision of additional entrances;
- 4) That the applicant continue to refine the architectural details and Building Type requirements, as part of the Site Plan;
- 5) That the applicant provide the final details regarding landscaping, lighting, utilities, and stormwater with the Site Plan;
- 6) That the design not require the construction of Darby Street between North Street and Rock Cress Parkway as reflected on the Street Network Map and for staff to update the Street Network Map accordingly;
- 7) That the applicant continue to work with Engineering to refine the geometry of the book drop exit onto Rock Cress Parkway; and
- 8) That the applicant continue to work with staff on the internal circulation and dimensions within the garage.

**Determination:** The Basic Plan was recommended for approval to City Council with 8 conditions.

**STAFF CERTIFICATION**

---

Vince Papsidero, FAICP  
Planning Director





## MEETING MINUTES

# Administrative Review Team

Thursday, March 9, 2017 | 2:00 pm

**ART Members and Designees:** Vince Papsidero, Planning Director; Jeff Tyler, Building Standards Director; Donna Goss, Director of Development; Matt Earman, Director of Parks and Recreation; Kyle Kridler, Economic Development Administrator; Aaron Stanford, Senior Civil Engineer; Shawn Krawetzki, Landscape Architect; and Mike Altomare, Fire Marshal.

**Other Staff:** Claudia Husak, Senior Planner; Logan Stang, Planner I; Jennifer Rauch, Planning Manager; Lori Burchett, Planner II; and Laurie Wright, Administrative Support II.

**Applicants:** Tracy Perry, NBBJ (Case 1); Earl Lee, Moody Nolan and Matt Starr, Crawford Hoying Development Partners (Case 3); and Matt Earman, City of Dublin (Case 4).

Vince Papsidero called the meeting to order at 2:03 pm. He asked if there were any amendments to the March 2nd meeting minutes. The minutes were accepted into the record as presented.

### DETERMINATIONS

#### 2. BSD P –Library Parking Garage 17-003ARB-BPR

#### 75 N. High Street Basic Plan Review

Jennifer Rauch said this is a request for the construction of a new parking garage with associated site improvements located at the northwest corner of the intersection of North High Street and North Street. She said this is a request for a review and recommendation of approval to City Council for a Basic Plan Review under the provisions of Zoning Code §153.066 and §153.070.

Ms. Rauch stated only two motions are required for this application.

Ms. Rauch said a recommendation of approval to City Council is recommended for 11 Waivers and explained the Waivers as follows:

1. Block Length and Perimeter
2. Block Access and Vehicular Access (2)
3. Building Stories
4. Ground Story Height (2)
5. Number of Towers (2)
6. Uses and Occupancy (3)

Ms. Rauch presented the elevations to demonstrate the request for Waivers. She stated the library has frontage on three rights-of-way: Rock Cress Parkway (front), Franklin Street extension (corner side), and North Street (corner side). No additional street connections are provided between the library and garage buildings she noted, which require Waivers to the block length and perimeter requirements.

Ms. Rauch said the Code requires a street entrance along each street facing façade and a specified number of entrances: Rock Cress Parkway: 3, 1 provided; Franklin Street: 4, 0 provided; and North Street: 3, 1 provided. A Waiver is needed she said to reduce the number of building entrances; however, staff would like to continue to work with the applicant on the provision of additional entrances with subsequent submissions.



Ms. Rauch stated vehicular access to the site is provided at the proposed garage entrances on North Street and (future) Franklin Street. She pointed out a library book drop lane located within the proposed garage in the northeast corner, which exits onto Rock Cress Parkway, as a right-in, right-out only circulation, which requires Waivers.

Ms. Rauch said the proposal incorporates a Parking Structure for the garage. She explained that Code permits the building height for a Parking Structure at a maximum of 5 stories. However, the Historic Transition Neighborhood District, which the site is located, permits a maximum building height of 2.5 stories when adjacent to Historic Core properties. She said a Waiver is required because the proposed parking garage is three stories with parking on the roof of the upper level.

Ms. Rauch added the proposal requires a Waiver for the ground story height at Rock Cress Parkway because the Code requires 12 feet and the proposal indicates 11 feet. The proposal meets story height requirements on the remaining elevations she said.

Ms. Rauch indicated that Code outlines a series of requirements for parking structure elevations along a Principal Front Street (PFS). These elevations she explained are required to include commercial uses and occupied space, which are not provided in the proposed garage. Additionally, parking is shown in area of the structure with frontage on a PFS and a greenway, which is not permitted; therefore, Waivers are required to address these deviations.

Ms. Rauch said the Code permits one tower element per building; three towers are proposed to accommodate the elevators and staircases, requiring Waivers.

Ms. Rauch noted a few more changes from the previous plans. She pointed out where the zig zag stairs were eliminated for more cohesiveness in the design. She said changes were made to the design of the garage to provide two way circulation and 90 degree parking spaces in the eastern portion of the garage, which resulted in more parking spaces. She highlighted the elevation and stair locations on the garage. The west elevation was presented and she noted the color for canopies will be chosen later in this process.

Ms. Rauch pointed out the bike hub and book drop on the north elevation. Aaron Stanford asked for a condition of approval to be added regarding tightening the turning radius from the book drop exit to limit the movement to right out only.

Mr. Papsidero also suggested duplicating the condition from the library application about the elimination of the street connection.

Ms. Rauch concluded the proposed garage indicates 549 parking spaces and the Code requires 151 parking spaces for the library. However, she explained as part of the Development Agreement, the library will be allocated 200 spaces and the remaining spaces will be for public parking. She pointed out the ADA parking spaces are located at key locations on the first two levels, including at the northwest corner of the garage to accommodate visitors to the Grounds of Remembrance.

Matt Earman asked if more ADA spaces could be added because now there are only two and suggested a possible location by the bike hub.

Aaron Stanford questioned the difficulty in maneuverability for the spaces directly across the entrance on North Street by the pedestrian passage. He also asked about the width of the drive by the book drop as it appears to be only 20.8 feet across and 22 or so is required. Ms. Rauch suggested that possibly the size of the island could be decreased to provide more width for that drive aisle. She also suggested another look at the parking spaces at the entrance with the subsequent elevations.



Ms. Rauch said a recommendation of approval to City Council is recommended for the Basic Plan Review with eight conditions:

- 1) That the applicant file a Demolition request prior to the approval of the Site Plan;
- 2) That the applicant investigate the use of stone in lieu of brick on the lower portions of the building and at the tower elements;
- 3) That staff should continue to work with the applicant on the provision of additional entrances;
- 4) That the applicant continue to refine the architectural details and Building Type requirements, as part of the Site Plan;
- 5) That the applicant provide the final details regarding landscaping, lighting, utilities, and stormwater with the Site Plan;
- 6) That the design not require the construction of Darby Street between North Street and Rock Cress Parkway as reflected on the Street Network Map and for staff to update the Street Network Map accordingly;
- 7) That the applicant continue to work with Engineering to refine the geometry of the book drop exit onto Rock Cress Parkway; and
- 8) That the applicant continue to work with staff on the internal circulation and dimensions within the garage.

Vince Papsidero asked if there were any further questions or concerns regarding this application. [There were none.] He confirmed the ART recommended approval to City Council for 11 Waivers and 8 Conditions as part of the approval for a Basic Plan Review.



## PLANNING REPORT

# Administrative Review Team

Thursday, March 9, 2017

### Case Summary

Agenda Items	2
Title	Parking Garage
Case Number	17-003ARB-BPR
Proposal	A 549 parking space parking garage with associated site improvements.
Request	Basic Plan Review under the provisions of Zoning Code Section 153.066.
Site Location	75 N. High Street West of N. High Street, North of the intersection with North Street.
Applicant	City of Dublin; represented by Teri Umbarger, Moody Nolan.
Case Managers	Jennifer M. Rauch, Planning Manager   (614) 410-4690   jrauch@dublin.oh.us
Planning Recommendation	Recommendation of approval to City Council with the following actions:

#### *Waivers*

- 1) Block Length and Perimeter
- 2) Block Access and Vehicular Access (2)
- 3) Building Stories
- 4) Ground Story Height (2)
- 5) No. of Towers (2)
- 6) Uses and Occupancy (3)

#### *Conditions*

- 1) The applicant file a demolition request prior to the approval of the Site Plan.
- 2) The applicant investigate the use of stone in lieu of brick on the lower portions of the building and at the tower elements.
- 3) The staff should continue to work with the applicant on the provision of additional entrances.



- 4) The applicant continue to refine the architectural details and Building Type requirements, as part of the Site Plan.
- 5) Final details regarding landscaping, lighting, utilities and stormwater will be required with the Site Plan.

Facts	
Site Area	1.25 acres (garage)
Zoning	BSD-P, Public District
Surrounding Zoning	<p>North and West: BSD-P, Public District (Dublin City Schools and Grounds of Remembrance)</p> <p>East: BSD-HTN, Historic Transition Neighborhood District (Mixed use development and public plaza)</p> <p>South: BSD-HC, Historic Core District (Commercial uses)</p>
Site Features	<ul style="list-style-type: none"> <li>• Significant grade change across the site, with the largest change from west to east along the northern boundary.</li> <li>• Existing library building located in the northeastern portion of the site.</li> <li>• Off-street parking located to the south and west of the existing building.</li> </ul>
Future Improvements	<ul style="list-style-type: none"> <li>• Creation of two new parcels for the library and garage, respectively.</li> <li>• Street network improvements: Future Rock Cress along the north, Future Franklin Street extension along the west, and modifications to existing North Street to the south and North High Street to the east.</li> </ul>
Case Background	<p><b>City Council</b>          December 5, 2016          City Council approved the development agreement with Dublin City School District to facilitate the development of the library, parking garage and adjacent streets.</p> <p>January 10, 2017          A project preview for the CML Dublin Branch Library and the public parking garage were provided to City Council at the January 10, 2017 meeting. A majority of City Council expressed support for the proposed library and the contemporary design of the building. Council members confirmed the proposal meets and exceeds the vision and expectations they previously identified for this area. They were also supportive of the parking garage, as it fulfills a long-term goal of Council to address parking in the Historic District. Council members stressed the importance of the design for the garage as it is further refined. Members stated they were interested in hearing the input from the public and ARB regarding the library and the garage as it moves through the process.</p>

## Facts

February 27, 2017

City Council approved the development agreement with Columbus Metropolitan Library (CML) to facilitate the development of the library, parking garage and adjacent streets.

March 6, 2017

City Council held a work session to review and discussion the proposed library, parking garage and ground of remembrance sites.

### **Architectural Review Board**

January 25, 2017

The Board informally reviewed the Basic Plan applications for the proposed library and parking garage. Some members expressed concerns that the proposed contemporary design of the buildings did not fit the character of the District and requested modifications be made to the proposal to be more sensitive to the character of the District in design, scale, and materials. Another member stated the proposal provided contrast to the District in its design and use of materials, which appropriately set the proposal apart from the historic structures. The Board discussed the reduction in the size and scale of the garage, as well as improvements to the north and west elevations to address the school and the Grounds of Remembrance. The Board encouraged an increased connection, physically and visually, to the Grounds of Remembrance. The members supported the plaza and open spaces as an opportunity for community engagement in the District.

## Review Process

Code requires Basic Plan approval by City Council for applications involving a development agreement. The applicant has submitted a Basic Plan for review by City Council on January 13, 2017. The review of the Basic Plan is scheduled for City Council on March 20, 2017.

The following outlines the review and approval procedures and the sequence of required applications following the Informal Review:

1. Basic Plan Review: Reviewed by ART with recommendations forwarded to City Council for determinations within 28 days.
2. Rezoning: Reviewed with a recommendation from the Planning and Zoning Commission to City Council.
3. Demolition: Review and approval by the Architectural Review Board.
4. Development Plan/Site Plan Application: Reviewed by the ART with a recommendation forwarded to the final determining body as designated by City Council for a determination within 42 days.
5. Conditional Use: Review and approval by Planning and Zoning Commission
6. Preliminary Plat/Final Plat: Reviewed with a recommendation from the Planning and Zoning Commission to City Council.
7. Building Permits through Building Standards.



Details	Basic Plan Review
Proposal	This is a request for review and approval of a 549 parking space garage. The proposed site has frontage along three rights-of-way: future Rock Cress, North Street, and future Franklin Street extension.
Use	The Bridge Street District – Public District permits institutional use, such as libraries, schools, and parks. Stand-alone parking structures require a conditional use, which would be required a future application. A future application to rezone the property from BSD-P, Public to BSD-HT, Historic Transition will be pursued following approval of the Basic Plan.
Layout	The parking garage is located on the west side of the proposed library building and plaza, and extends west toward the future Franklin Street extension.
Lots and Blocks	The library has frontage on three rights-of-way: Rock Cress Parkway (front), Franklin Street extension (corner side), and North Street (corner side). No additional street connections are provided between the library and garage buildings, which require waivers to the block length and perimeter requirements. Vehicular access to the site is provided at the proposed garage entrances on North Street and Franklin Street (future). A library book drop lane is located within the proposed garage in the northeast corner and exits onto Rock Cress, which requires waivers.
Building Setbacks and Lot Coverage	Additional information is required with the Site Plan to determine if the requirements are met and the extent waivers or administrative departures are needed.
Building Stories and Story Heights	<p>The proposal incorporates a Parking Structure for the garage. Code permits the building height for a Parking Structure at a maximum of 5 stories. The Historic Transition Neighborhood District, which the site is located permits a maximum building height of 2.5 stories when adjacent to Historic Core properties. The proposed parking garage is three stories, with parking on the roof of the upper level, which requires a waiver.</p> <p>Code permits one tower element per building, three are proposed to accommodate the elevators and staircases requiring waivers.</p> <p>The proposal requires a waiver for the ground story height at Rock Cress. Code requires 12 feet and the proposal indicates 11 feet. The proposal meets story height requirements on the remaining elevations.</p>
Use and Occupancy Requirements	Code outlines a series of requirements for parking structure elevations along a Principal Front Street (PFS). These elevations are required to include commercial uses and occupied space, which are not provided in the proposed garage. Additionally, parking is shown in area of the structure with frontage on a PFS and a greenway, which is not permitted. Waivers are required to address these deviations.
Architectural Details	Staff will continue to work with the applicant on the blank wall requirements, transparency and façade articulations and façade transparency. Additional

Details		Basic Plan Review
		<p>information is required with the Site Plan to determine if the requirements are met and the extent waivers or administrative departures are needed.</p> <p>Code requires a street entrance along each street facing façade and specified number of entrances: Rock Cress: 3, 1 provided; Franklin Street: 4, 0 provided; and North Street: 3, 1 provided. A waiver is needed to reduce the number of building entrances; however, staff would like to continue to work with the applicant on the provision of additional entrances with subsequent submissions.</p>
Architecture and Materials		<p>For Parking Structure Buildings, Code permits stone, brick, and glass as primary building materials. Permitted secondary materials include glass, reinforced gypsum, wood siding, fiber cement siding, metal, and architectural metal panels and cladding. The proposed garage utilizes brick and metal panels for the primary materials. Additional information is required with the Site Plan to determine if the requirements are met and the extent waivers or administrative departures are needed. Additionally, City Council directed the applicant to use stone in lieu of the proposed brick to reflect the materials within the existing Historic District.</p>
Circulation and Parking		<p>The proposed parking garage includes two entrances at North Street on level one and at future Franklin Street on level two. An internal book drop is proposed in the northeast corner of the garage, with a right-in, right-out onto Rock Cress. The proposed garage indicates 549 parking spaces. Code requires 151 parking spaces for the library. However, as part of the development agreement the library will be allocated 200 spaces. The remaining spaces will be public parking. ADA parking space are located at key locations on the first two levels, including at the northwest corner of the garage to accommodate users of the Grounds of Remembrance.</p>
Open Space		<p>No dedication of open space is required with the proposal.</p>
Roads, Utilities & Stormwater Management		<p>As noted, addition to the street network will occur in conjunction with the proposed library and parking garage applications. Utilities and stormwater management will to be addressed as the proposal moves forward.</p>

Analysis		Basic Plan Review
Site Plan Waiver Review		
Review Criteria		<p>The designated reviewing body is required to review the proposed Waivers based on the following review criteria:</p> <p>(a) The need for the Waiver is caused by unique site conditions, the use of or conditions on the property or surrounding properties, or other circumstances outside the control of the owner/lessee, including easements and rights-of-way;</p>



Analysis	Basic Plan Review
	<p>(b) The Waiver, if approved, will generally meet the spirit and intent of the Bridge Street District Plan and supports the commonly accepted principles of walkable urbanism;</p> <p>(c) The Waiver is not being requested solely to reduce cost or as a matter of general convenience;</p> <p>(d) The Waiver, if approved, will ensure that the development is of equal or greater development quality with respect to design, materials and other similar development features than without the Waiver;</p> <p>(e) The requested Waiver would better be addressed through the Waiver rather than an amendment to the requirements of this Chapter;</p> <p>(f) For Development Plans, the other Development Plan elements not affected by the Waiver will be generally consistent with Code Section 153.060(A) and Code Section 153.061(A); and</p> <p>(g) For Site Plan Reviews and Minor Project Reviews, the Waiver does not have the effect of authorizing any use or open space type that is not otherwise permitted in that BSD zoning district.</p>
Block Length and Perimeter	<p>Maximum Block Size – Section 153.060(C)(2)(a) - Permitted Maximum Block Length: 300 feet. North Street: 379 feet provided; Permitted Maximum Block Perimeter: 1,000 feet. Proposal: 1,308 feet provided.</p> <p><i>Criteria Met.</i> Due to the comprehensive design of the site for the library and garage, a strong pedestrian area and public plaza were identified between the library and garage in lieu of an additional vehicular connection.</p>
Block Access and Vehicular Access (2)	<p>Block Access Limitations and Vehicular Access – Sections 153.060(C)(5)(a) and 153.061(D)(2): No vehicular access permitted on Principal Frontage Street (Rock Cress Parkway). Proposal: Vehicular access provided at northwest corner for service area.</p> <p><i>Criteria Met.</i> The lack of additional vehicular connection between the proposed structures limits the location of the service area to the north side of the building.</p>
Building Stories	<p>Building Height – Sections 153.063(D)(4)(b): Building Height Limited to 2.5 stories adjacent to Historic Core. Proposal: 3 stories is provided at the north, east, and south elevations of the building.</p> <p><i>Criteria Met.</i> The increased height of the building is due to the significant change in grade across the site.</p>
Ground Story Height	<p>Story Height – Sections 153.062(O)(12)(b) and 153.065(B)(5)(c): Ground Story minimum and minimum clearance requirement is 12 feet. Proposal: 11 feet is provided.</p> <p><i>Criteria Met.</i> The decreased story height is provided to reduce the overall height of the building.</p>
Towers	<p>Building Towers – Sections 153.062(D)(4) and 153.062(O)(12)(d)(6): One tower permitted per building. Proposal: 3 shown.</p>

Analysis		Basic Plan Review
		<i>Criteria Met.</i> The increased number of towers is provided for stairway access and elevator overruns.
Use and Occupancy		<p>Use and Occupancy Requirements–Section 153.062(O)(12)(c) –Commercial uses and occupied space required, and parking is not permitted in an area of the structure with frontage on a PFS and a greenway. Proposal: No commercial uses or occupied space is provided, and parking is provided in an area of the structure with frontage on a PFS and a greenway.</p> <p><i>Criteria Met.</i> The required location for occupied space is adjacent to the Grounds of Remembrance along Rock Cress and directly opposite of the Historic Core making the addition of commercial uses inappropriate. Additionally, the bike hub is shown along the northern elevation providing activity and visually buffering a portion of the garage.</p>

Recommendation		Basic Plan Review
Waiver Summary		Recommendation of approval of 11 Waivers to City Council.
Waiver Requests		<p><i>Waivers</i></p> <ol style="list-style-type: none"> <li>1) Block Length and Perimeter</li> <li>2) Block Access and Vehicular Access (2)</li> <li>3) Building Stories</li> <li>4) Ground Story Height (2)</li> <li>5) No. of Towers (2)</li> <li>6) Uses and Occupancy (3)</li> </ol>
Basic Plan Review		Recommendation of approval of the Basic Plan Review to City Council with the following conditions:
<i>Conditions</i>		<ol style="list-style-type: none"> <li>1) The applicant file a demolition request prior to the approval of the Site Plan.</li> <li>2) The applicant investigate the use of stone in lieu of brick on the lower portions of the building and at the tower elements.</li> <li>3) The staff should continue to work with the applicant on the provision of additional entrances.</li> <li>4) The applicant continue to refine the architectural details and Building Type requirements, as part of the Site Plan.</li> <li>5) Final details regarding landscaping, lighting, utilities and stormwater will be required with the Site Plan.</li> </ol>
Required Reviewing Body		City Council is required to designate a required reviewing body for future applications including Development Plan, Site Plan and Master Sign Plan (if applicable).



## ANALYSIS & DETERMINATIONS – DEVELOPMENT PLAN

### Applicable Development Plan Review Criteria

Includes §153.060 – Lots & Blocks, §153.061 – Street Types, §153.063 – Neighborhood Standards

#### 153.060 – Lots & Blocks

Code Section	Requirement	Notes	Met, N/A, Adm. Dep., Waiver, Other
<b>(B) Applicability</b>		<p>A Development Plan Application is required by the following proposed conditions under §153.066(E)(1)(b):</p> <ol style="list-style-type: none"> <li><i>The applicant MAY include more than 5 gross acres of land. Land area totals should be provided with Development Plan Application for all land involved—public or private—in the creation of all rights-of-way, open space and development parcels. Portions of Franklin Street are cropped from the exhibits submitted.</i></li> <li><i>The application includes the construction of two new streets (Franklin Street and Rock Cress Parkway), and improvements to North High Street and West North Street.</i></li> <li><i>Subdivision of land is proposed as part of this application.</i></li> </ol>	<b>Development Plan Application Required</b>
<b>(C) General Block and Lot Layout</b>			
(1)(a)-(f)	Interconnected Street Pattern	The network of streets within the Bridge Street District is intended to form an interconnected pattern with multiple intersections and resulting block sizes as designated in 153.060(C)(2)	<b>Not Met (See Below)</b>
(2)(a)	Maximum Block Size—Required Subdivision (Hist. Transition Neighborhood)	<p>Permitted Maximum Block Length: 300 ft.</p> <ul style="list-style-type: none"> <li><i>Proposed Maximum Block Length: 379.81 ft.</i></li> </ul> <p>Permitted Maximum Block Perimeter: 1,000 ft.</p> <ul style="list-style-type: none"> <li><i>Proposed Maximum Block Perimeter: 1,308.82 ft.</i></li> </ul>	<b>Waivers Required</b>
(3)	Block Configuration	<p>(a) Blocks shall be generally rectangular</p> <ul style="list-style-type: none"> <li><i>Proposed block is rectangular</i></li> </ul>	<b>Met</b>
		<p>(b) Blocks shall be arranged with front property lines on at least two sides.</p> <ul style="list-style-type: none"> <li><i>For the lot associated with this application, Rock Cress Parkway is the front property line, and Franklin Street is a corner side property line, based on 153.060(C)(9)—Street Frontage</i></li> </ul>	<b>Met</b>

### 153.060 – Lots & Blocks

		<ul style="list-style-type: none"> <li>For the remaining lot, North High Street is the front property line and Rock Cress Parkway and North Street are corner side property lines.</li> </ul>	
(5)(a)	Block Access Configurations	<p>Access for alleys, service streets and driveways shall not be permitted from a Principal Frontage Street, unless City Engineer determines that access from any other street is impractical.</p> <ul style="list-style-type: none"> <li>An exit only lane from the book drop area within the parking structure is proposed at Rock Cress Parkway, a Principal Frontage Street.</li> </ul>	<b>Waiver (City Engineer Access Determination)</b>
(6)	Mid-Block Pedestrianways	Refer to 153.065(1)(2)(a) for mid-block pedestrianways	<b>See Site Development Standards</b>

### 153.061 – Street Types

Code Section	Requirement	Notes	Met, N/A, Adm. Dep., Waiver, Other
<b>(C) Street Network</b>			
(3)	Existing Streets	<p>Where existing streets are planned to be realigned, relocated or removed, the City shall reserve the right to maintain those rights-of-way and incorporate them into the street network, with a designation of street family and street type and required improvements.</p> <ul style="list-style-type: none"> <li>Existing North High Street and North Street are both proposed to remain in place with minor realignments and improvements proposed.</li> </ul>	<b>DPR</b>
(4)(a)-(g)	Street Network Map	<p>In addition to the Thoroughfare Plan, the Street Network Map shall be used as a guide in determining appropriate locations and alignments of new streets. Street families are designated based on the functional needs of the street, adjacent land use context and desired character of the range of street types.</p> <ul style="list-style-type: none"> <li>The proposed street network is generally consistent with the Street Network Map, except for the absence of the extension of Darby Street subdividing the block.</li> <li>The proposed street network defining the block has the following street family hierarchy:               <ul style="list-style-type: none"> <li>North High Street is a Corridor Connector and Principal Frontage Street</li> <li>Rock Cress Parkway is a District Connector and Principal Frontage Street</li> </ul> </li> </ul>	<b>Met with Condition</b>



153.061 – Street Types			
		<ul style="list-style-type: none"> <li><i>Franklin Street and North Street are Neighborhood Streets</i></li> </ul>	
<b>(D) Principal Frontage Streets</b>			
(2)	Vehicular Access	<p>Vehicular access shall not be permitted from a Principal Frontage Street, unless the City Engineer determines that access from any other street is impractical</p> <ul style="list-style-type: none"> <li><i>An exit only lane from the book drop area within the parking structure is proposed at Rock Cress Parkway, a Principal Frontage Street.</i></li> </ul>	<b>Waiver</b>
<b>(E) Typical Street Elements</b>			
(1)	Bicycle Facilities	<p>A variety of bicycle accommodations are permitted within the street right-of-way</p> <ul style="list-style-type: none"> <li><i>No bicycle accommodations have been depicted within the street right-of-way at this time</i></li> </ul>	<b>DPR</b>
(2)	Vehicular On-Street Parking	<p>The appropriate configuration and dimensions of on-street parking shall be determined by the City Engineer</p> <ul style="list-style-type: none"> <li><i>Vehicular on-street parking is proposed along the North High Street, North Street, and Franklin Street frontage.</i></li> </ul>	<b>DPR</b>
<b>(F) Curb Radii at Intersections</b>			
(2)	Permitted Radii	<p>Curb radii at intersections shall be minimized to the greatest extent practicable to shorten the pedestrian crossing distances, reduce vehicle turning speeds and improve sight distances. Radii may range between 15 and 25 feet, as approved by the City Engineer</p> <ul style="list-style-type: none"> <li><i>Curb radii at Rock Cress Parkway and Franklin Street and High Street are 25 feet radii</i></li> <li><i>Curb radii at North Street and Franklin Street and High Street are 30 feet radii</i></li> </ul>	<b>DPR</b>
<b>(G) Fire Access</b>			
(2)	Building Access Zone	<p>A building access zone within the right-of-way of 40 feet in length shall be provided for buildings with a height of 30 feet or greater and shall be located as close as practicable to the structure's principal entrance.</p> <ul style="list-style-type: none"> <li><i>No Building Access Zones have been designated on the Site Plan</i></li> </ul>	<b>DPR</b>

### 153.063(D) – Neighborhood Standards, Historic Transition Neighborhood District

Code Section	Requirement	Notes	Met, N/A, Adm. Dep., Waiver, Other
(3)(a)	Blocks	<p>2. Developable lots are not permitted between greenways and the street adjacent to the Indian Run west of North High Street.</p> <ul style="list-style-type: none"> <li><i>No developable lots are proposed on the north side of Rock Cress Parkway adjacent to the Indian Run.</i></li> </ul>	<b>Met</b>
(4)(b)	Building Height	<p>Buildings located across the street from or adjacent to the BSD Historic Core District shall be limited to two and a half stories.</p> <ul style="list-style-type: none"> <li><i>Proposed building height is 2 stories at the northwest corner of the building, and transitions to a maximum height of 3 stories at the north and east elevations of the building due to the change in grade across the site. The east and south elevations are consistently 3 stories in height.</i></li> </ul>	<b>Waiver Required</b>
(5) Place-making Elements	(a) Historic Sites and Structures	<p>Historic Sites and Structures listed on the National Register and/or the Ohio Historic Inventory shall be preserved to the extent practicable</p> <ul style="list-style-type: none"> <li><i>The site is located within the Architectural Review District, but the existing library and site are not included on the NRHP or OHI.</i></li> </ul>	<b>N/A</b>
	(c) Gateways	<p>Gateways shall be provided in the approximate locations shown (in the Neighborhood Standards Illustration). Gateway designs shall be approved with the Site Plan Review, but locations shall be identified with the Development Plan Review.</p> <ul style="list-style-type: none"> <li><i>At the lot to the east, the intersection of Rock Cress Parkway and North High Street coincides with the gateway location shown in the Illustration.</i></li> </ul>	<b>DPR (Gateway Location) SPR (Gateway Design)</b>
(6) Open Spaces	(d) Open Space Network	<p>1. Open Spaces are intended to be organized as a series of interconnected nodes and corridors appropriate to the scale and character of surrounding streets, buildings and land uses.</p> <ul style="list-style-type: none"> <li><i>No provision of Open Space is required as there is no commercial space proposed within the Parking Structure.</i></li> </ul>	<b>N/A</b>



## ANALYSIS & DETERMINATIONS – SITE PLAN

### Applicable Development Plan Review Criteria

Includes §153.059 – Uses, §153.062 – Building Types, §153.064 – Open Space Types, and §153.065 – Site Development Standards

### 153.059 – Uses

Code Section	Requirement	Notes	Met, N/A, Adm. Dep., Waiver, Other
Table 153.059-A	Permitted Uses	<i>Principal Use: Parking Structure</i> <i>Accessory Use: None proposed</i>	<b>Met</b>
(C)(3)	Use Specific Standards	(g) Parking, Structure.	
		1. Parking structures with non-occupied space along public or private street frontages are conditional uses. <ul style="list-style-type: none"> <li><i>The proposed parking structure does not include occupied space along any street frontage.</i></li> </ul>	<b>Conditional Use Approval Required</b>
		2. When constructed as a principal use, either as a public or private parking structure, no more than 75% of the parking spaces shall be used to provide the required accessory parking for other principal uses located within 600 feet of the structure, unless otherwise approved with a parking plan. <ul style="list-style-type: none"> <li><i>200 spaces out of the 538 spaces within the Parking Structure are proposed to be dedicated to meet the parking requirement for the Library located approximately 100 feet to the east.</i></li> </ul>	<b>Met</b>

### 153.062 – Building Types

Code Section	Requirement	Notes	Met, N/A, Adm. Dep., Waiver, Other
<b>(B) General Building Type Requirements</b>			
(B)(1)	Applicability	(b) This section applies to all new development within the BSD.	<b>Met</b>
(B)(2)	Existing Structures	<i>The existing Library partially located on the lot to be created for the Parking Structure is proposed to be demolished.</i>	<b>ARB Demolition Approval Required</b>
		(a) Zoning Districts:	<b>Met</b>

## 153.062 – Building Types

(B)(3)(a)-(e)	General Requirements	<ul style="list-style-type: none"><li><i>The proposed structure is a Parking Structure, and is permitted within the Historic Transition Neighborhood District</i></li></ul>	
		(b) Uses: <ul style="list-style-type: none"><li><i>The proposed use is permitted within the proposed Parking Structure.</i></li></ul>	Met
		(c) No Other Building Types: <ul style="list-style-type: none"><li><i>The proposed Parking Structure is permitted within the Historic Transition Neighborhood District.</i></li></ul>	Met
		(d) Permanent Structures: <ul style="list-style-type: none"><li><i>The proposed building is a permanent structure</i></li></ul>	Met
		(e) Accessory Structures: <ul style="list-style-type: none"><li><i>No accessory structures are proposed</i></li></ul>	N/A
(C) General Building Type Layout and Relationships			
(1)	Incompatible Building Types	Incompatible building types are not permitted directly across the street from one another or on the same block face, unless otherwise permitted by the required reviewing body. <ul style="list-style-type: none"><li><i>Proposed Parking Structure is compatible with Existing Civic Building Types.</i></li></ul>	Met
(D) Roof Type Requirements			
Roof Type		<i>No roof type is proposed on the Parking Structure, except for Tower elements proposed at perimeter of the structure. Parking occupies the roof level of structure, as permitted by the building type.</i>	N/A
(4)	Towers	(a) Quantity. Only one tower is allowed per building unless otherwise approved by the required reviewing body. <ul style="list-style-type: none"><li><i>Three towers are proposed—one at the northwest corner, one at the southwest corner, and one along the lower third of the east façade. Each tower location coordinates with vertical pedestrian circulation internal to the parking structure.</i></li></ul>	Waiver Required
		(b) Tower Height. Towers may exceed the maximum building height and do not count as an additional story. Tower height shall not be greater than the height of one additional upper floor of the building. Tower width shall not exceed tower height. <ul style="list-style-type: none"><li><i>Insufficient information is submitted to determine the tower heights. Building sections with vertical elevation datum are needed.</i></li></ul>	SPR
		(d) Tower Roof Type. Towers may be capped by any permitted roof type.	SPR



## 153.062 – Building Types

- Proposed tower roof type appears to be a flat roof.  
Additional information is needed as noted above.

### (E) Materials

(1)	Façade Materials	(a) Percentage of Primary Materials Required: <i>Please refer to 153.062(O) - Building Type Analysis.</i> (c) Permitted Primary Materials: <i>Please refer to 153.062(O) - Building Type Analysis</i> (d) Permitted Secondary Materials: <i>Please refer to 153.062(O) - Building Type Analysis.</i> (e) EIFS is permitted for trim only (h) Other high quality synthetic materials may be approved as permitted primary or secondary materials by the required reviewing body.	See Table Below See Table Below See Table Below SPR SPR
(2)	Façade Material Transitions	(a) Vertical transitions shall occur at inside corners (b) Multiple Materials Proposed Vertically: Where proposed, the 'heavier' material in appearance shall be incorporated below the 'lighter' material. <ul style="list-style-type: none"> <li>A combination of Roman Brick and Modular Mesh Green Screen System is proposed at the base of the building, with Textured Precast Concrete Panels and a Metal Fin System above.</li> </ul> (c) Transitions between different colors of same material: Shall occur at locations deemed architecturally appropriate by the required reviewing body. <ul style="list-style-type: none"> <li>There are no transitions in materials of the same type but different colors.</li> </ul>	SPR SPR N/A
(3)	Roof Materials	(b) Flat roofs are permitted to use any roof material appropriate to maintain proper drainage. <ul style="list-style-type: none"> <li>No roof material specifications have been submitted for the tower roofs.</li> </ul>	SPR
(4)	Color	Colors for all building materials shall be selected from appropriate historic color palettes, from any major paint manufacturer, or as determined appropriate by the required reviewing body. <ul style="list-style-type: none"> <li>No specific manufacturers, product names, or color specifications have been submitted, only general material specifications.</li> </ul>	SPR

### (F) Entrances & Pedestrianways

(1)	Entrances & Pedestrianways	See Building Type Requirements Table
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## 153.062 – Building Types

	– Quantities and Locations		
(2)	Recessed Entrances	Entry doors shall be recessed a minimum of three feet from property lines	<b>Met</b>
(3)	Entrance Design	<p>All principal entrances are to be at a pedestrian scale, effectively address the street and be given prominence on the façade through the use of architectural features.</p> <ul style="list-style-type: none"> <li><i>Three principal entrances are provided. Additional details are needed to determine if pedestrian scale has been achieved, how effectively each addresses the street, and the degree of prominence each provides along the façade.</i></li> </ul>	<b>SPR</b>
<b>(G) Articulation of Stories on Street Facades</b>			
(G)	Articulation of Stories on Street Façades	<p>Façades shall be designed to follow the stories of the building with fenestration organized along and occupying each floor. Story heights are set to limit areas of the façade without fenestration.</p> <ul style="list-style-type: none"> <li><i>At the north and west facades, and the ground story of the south and east facades, the façade articulation follows the stories of the building. Where the Metal Fin System is proposed, the articulation of the stories is obscured.</i></li> </ul>	<b>SPR</b>
<b>(H) Windows, Shutters, Awnings and Canopies</b>			
(1)	Windows	<p>(a) Transparency/Blank Wall limitations are required according to building type.</p> <p><i>Please refer to Building Type Requirements</i></p>	<b>See Table Below</b>
(3)(a)	Awnings and Canopies	<p>1. Awnings and canopies may be used if they function as suitable protection from the elements.</p> <ul style="list-style-type: none"> <li><i>Canopies are proposed at the pedestrian entrances on the north and east elevations, and at the vehicular entrances on the west and south elevations. The canopies extend from the building façade approximately 18 inches.</i></li> </ul>	<b>SPR</b>
<b>(J) Treatments at Terminal Vistas</b>			
		<p>When a street terminates at a parcel, the parcel shall be occupied by either an open space with a vertical element to terminate the view or by the front or corner side of a building.</p> <ul style="list-style-type: none"> <li><i>A terminal vista will be created at the termination of the Darby Street with North High Street generally at the east property line shared with the proposed library. On the adjacent parcel, a Pocket Park open space type is proposed in the area of the terminal vista.</i></li> </ul>	<b>SPR</b>



## 153.062 – Building Types

### (K) Building Variety

(K)	Building Variety	Building design shall vary from adjacent buildings by the type of dominant material or color, scale, or orientation of that material. <ul style="list-style-type: none"> <li><i>The proposed building varies from all adjacent existing and approved buildings currently under construction in all aspects.</i></li> </ul>	Met
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### (M) Signs

		<i>No sign details have been submitted.</i>	SPR
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### (N) Individual Building Type Requirements

<i>Refer to following section for detailed analysis of the building.</i>			
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## 153.062(O) – Individual Building Requirements Analysis

### 153.062(O)(12) – Parking Structure

Building Type Requirements	Code Requirement	Provided	Met, N/A, Adm. Dep., Waiver, Other
<b>(a) Building Siting</b>			
Number of Principal Buildings Permitted (per Lot)	Multiple Not Permitted	<i>1</i>	Met
Minimum Front Property Line Coverage	90%	<i>100%</i>	Met
Occupation of Corner Required (Yes/No)	Yes	<i>Franklin Street &amp; North Street: Met Franklin Street &amp; Rock Cress Parkway: Met</i>	Met
Front Required Building Zone	5 feet to 25 feet	<i>6.86 ft. min./11.94 ft. max. provided at Rock Cress Parkway. Staking Plan does not depict or dimension to a wall extending beyond façade of building providing access to Bike Hub.</i>	SPR, Waiver Required
Corner Side Required Building Zone	5 feet to 25 feet	<i>5.00 ft. min./5.37 ft. max. provided at Franklin Street 1.79 ft. min./15.73 ft. max. provided at North Street</i>	Met  SPR, Waiver Required
RBZ Treatment	Landscape, Patio or Streetscape.	<i>Based on illustrative Site Plan, appears to be Landscape</i>	SPR

153.062(O)(12) – Parking Structure			
Building Type Requirements	Code Requirement	Provided	Met, N/A, Adm. Dep., Waiver, Other
		<i>treatment. No detailed landscape plans submitted.</i>	
Right-of-Way Encroachments	None Permitted	<i>None</i>	<b>Met</b>
Minimum Side Yard Setback Required	5 ft.	<i>4.81 ft. min./5.35 ft. max. provided to the east property line</i>	<b>SPR, Admin. Departure Required</b>
Minimum Rear Yard Setback Required	5 ft.	<i>1.79 ft. minimum setback provided at North Street</i>	<b>SPR, Waiver Required</b>
Minimum Lot Width Required	80 ft.	<i>±192 ft.</i>	<b>Met</b>
Maximum Lot Width Required	None	<i>N/A</i>	<b>N/A</b>
Maximum Building Length	300 feet	<i>269 ft. max length proposed</i>	<b>Met</b>
Maximum Impervious Lot Coverage	80%	<i>Cannot be determined. Landscape plans needed.</i>	<b>SPR</b>
Additional Semi-Pervious Lot Coverage Permitted (Beyond Max. 80% Impervious Coverage)	10%	<i>Cannot be determined. Landscape plans needed.</i>	<b>SPR</b>
Parking Location	Within Building Only	<i>Parking is located within</i>	<b>Met</b>
Entry for Parking within Building (relative to principal structure)	Rear, side, corner side facades on non-principal frontage streets	<i>Entries are provided on corner side façade and rear of building.</i>	<b>Met</b>
Access	153.062 (N)(1)(c)	<i>Access is provided from streets not identified as principal frontage streets</i>	<b>Met</b>
<b>(b) Height</b>			
Minimum Building Height Permitted (ft.)	2 stories	<i>2 Story Minimum Height Proposed</i>	<b>Met</b>
Maximum Building Height Permitted (ft.)	5 stories* *Height may not exceed overall height in feet of any adjacent building or any conforming building immediately across the street	<i>3 Story Maximum Height Proposed *Overall height proposed of parking structure is 39.57', overall proposed height of library is 31.00' as measured from established grade at North Street. Max. overall height of parking structure is 50.30', max. overall height of</i>	<b>Waiver Required</b>



## 153.062(O)(12) – Parking Structure

Building Type Requirements	Code Requirement	Provided	Met, N/A, Adm. Dep., Waiver, Other
		<i>library is 51.50' as measured to the tallest portion of the structure from lowest established grade adjacent to structure.</i>	
Ground Story Height	8 ft./12 ft. Minimum* 18 ft. Maximum (*Requirements of 153.065(B)(5) Parking Structure Design shall be met)	<i>±8.33 feet provided (12 feet minimum clearance at Principal Frontage Street façades, met at all other facades)</i>	<b>Waiver Required</b>  <b>Met</b>
Upper Story Height	8.5 ft. Minimum* 12 ft. Maximum (*Requirements of 153.065(B)(5) Parking Structure Design shall be met)	<i>10.25 feet minimum provided 11.25 feet maximum provided</i>	<b>Met</b>
<b>(c) Uses &amp; Occupancy Requirements</b>			
Ground Story Use Requirements	Commercial Uses are required only when fronting a principal frontage street, shopping corridor or a greenway	<i>Parking Structure fronts Rock Cress Parkway, a principal frontage street with a greenway along the north side of the street. No Commercial Uses are incorporated into the design of the building.</i>	<b>Waiver Required</b>
Upper Story Use Requirements	No Additional Requirements	<i>N/A</i>	<b>N/A</b>
Parking within Building	Rear of a ground story with frontage on a principal frontage street, shopping corridor or greenway; all floors above ground floor.	<i>Parking is proposed in an area of the structure with frontage on a principal frontage street and a greenway.</i>	<b>Waiver Required</b>
Occupied Space Required	Min. 20' depth where ground story with frontage on a principal frontage street, shopping corridor or greenway	<i>No occupied space provided on the ground story fronting a principal frontage street and a greenway, <u>but there is sufficient depth provided to meet this requirement in the future (Reduce 26 ft. wide</u></i>	<b>Waiver Required</b>

## 153.062(O)(12) – Parking Structure

Building Type Requirements	Code Requirement	Provided	Met, N/A, Adm. Dep., Waiver, Other
		<i>drive aisle by two feet to meet the 20 ft. min. depth requirement)</i>	
<b>(d) Façade Requirements</b>			
1. Ground Story Street Façade Transparency (%) (This section applies only to parking structures fronting streets)	Storefront with a Minimum 65% on principal frontage streets, shopping corridors, or greenways; otherwise refer to Blank Wall Limitations	<u>North--Rock Cress Parkway (PFS):</u> <i>No storefront provided at ground story on principal frontage street. Refer to Blank Wall Limitations below.</i>	N/A
Street Façade Blank Wall Limitations	No open area greater than 30% of a story façade, as measured from floor to floor, shall be windowless on the ground story and solid on the upper stories	<u>North--Rock Cress Parkway (PFS):</u> <u>West (Franklin Street):</u> <u>South (North Street):</u> <i>Cannot be Determined Insufficient information is submitted to determine blank wall limitations. Building sections with vertical elevation datum, material specifications, and higher resolution building elevations are needed.</i>	SPR
Garage Openings	Parked cars shall be screened from the street	<i>All parked cars within the structure are screened from the street.</i>	Met
2. Non-Street Façade Transparency (%)	No greater area greater than 30% of a story façade, as measured from floor to floor, shall be solid.	<u>East (Viewing Garden):</u> <i>Cannot be Determined. Insufficient information is submitted to determine blank wall limitations. Building sections with vertical elevation datum, material specifications, and higher resolution building elevations are needed.</i>	SPR
3. Building Entrance (This section only applies to parking structures fronting streets) Principal Pedestrian Entrance Location	All Street Façades of Building	<i>Principal Entrances are provided on Rock Cress Parkway and North Street. No entrances are provided on Franklin Street.</i>	SPR, Waiver Required



## 153.062(O)(12) – Parking Structure

Building Type Requirements	Code Requirement	Provided	Met, N/A, Adm. Dep., Waiver, Other
Street Facades: Number of Entrances Required	1 per 75 ft. of façade minimum	Rock Cress Parkway: <i>3 Required, 1 Provided</i> Franklin Street: <i>4 Required, 0 Provided</i> North Street: <i>3 Required, 1 Provided</i>	<b>SPR, Waivers Required</b>
Parking Lot Façade: Number of Entrances Required	Not Applicable	<i>N/A</i>	<b>N/A</b>
Mid-Building Pedestrianway	Not Required	<i>N/A</i>	<b>N/A</b>
4. Façade Divisions (This section applies only to parking structures fronting streets)  Vertical Increments Required	No greater than 30 ft.	<i>None Provided</i>	<b>SPR, Waiver Required</b>
Horizontal Façade Divisions	Required within 3 feet of the top of the ground story	<i>Cannot be Determined. Insufficient information is submitted to determine horizontal façade divisions. Building sections with vertical elevation datum are needed.</i>	<b>SPR</b>
Required Change in Roof Plane or Type	None	<i>N/A</i>	<b>N/A</b>
Garage Floors	Garage Floors shall be horizontal along all street facades	<i>All garage floors are horizontal along the street facades.</i>	<b>Met</b>
5. Façade Materials  Permitted Primary Materials (types)	Brick, Stone, Glass	<i>Brick, Metal</i>	<b>SPR, Waiver Required</b>
Minimum Primary Façade Materials	80%	<i>Cannot be determined without additional information.</i>	<b>SPR</b>
Permitted Secondary Materials	Glass fiber reinforced gypsum, wood siding, fiber cement siding, metal and exterior architectural metal panels and cladding	<i>Modular Mesh Screen System (Green Screen) Proposed</i>	<b>SPR, Waiver Required</b>

153.062(O)(12) – Parking Structure			
Building Type Requirements	Code Requirement	Provided	Met, N/A, Adm. Dep., Waiver, Other
6. Roof Type(s) Permitted (types)	Parapet, Pitched roof, flat roof; other types permitted with approval	<i>Parking proposed on Roof</i>	<b>Met</b>
Tower (Locations Permitted)	Permitted on facades only at terminal vistas, corners at two principal frontage streets, and/or adjacent to an open space type.	<i>Only the tower proposed on the east elevation is in a permitted location—adjacent to an open space type proposed on the parcel to the east.</i>	<b>Waivers Required</b>
Tower (Number Permitted)	One tower is permitted unless otherwise approved by required reviewing body.	<i>Three towers are proposed.</i>	<b>Waivers Required</b>

153.064 – Open Space Types			
Code Section	Requirement	Notes	Met
(C)(4)	Provision of Open Space	There shall be a minimum of one square foot of publicly accessible open space for every 50 square feet of commercial space or fraction thereof. <ul style="list-style-type: none"> <li><i>No commercial space is proposed within the Parking Structure.</i></li> </ul>	<b>Met</b>

153.065 – Site Development Standards			
Code Section	Requirement	Met/Notes	
(B) Parking and Loading			
(2)	Required Vehicle Parking	(a) Minimum Parking Required. <ul style="list-style-type: none"><li>No commercial uses are proposed within the Parking Structure.</li></ul>	N/A
(2)	(c) Accessible Parking Spaces	Within the total number of off-street spaces provided, a minimum number of accessible parking spaces shall be provided consistent with Ohio Building Code.	Met



## 153.065 – Site Development Standards

Code Section	Requirement	Met/Notes	
		<ul style="list-style-type: none"> <li>Based on the proposed provision of 538 spaces within the garage 11 accessible parking spaces are required, of which 2 must be van-accessible spaces.</li> <li>12 ADA Spaces are proposed, 4 of which are van-accessible</li> </ul>	
(5)(a)	Parking Structure Design— Entrance/Exit Lanes	1. One entrance lane shall be required for each 300 spaces or part thereof. One exit lane shall be provided for each 200 spaces or part thereof. <ul style="list-style-type: none"> <li>Based on 538 spaces provided, 2 entrance lanes are required and 3 exit lanes are required.</li> </ul>	Met
		2. Single entrance and exit lanes shall be no wider than 16 feet. Double entrance and exit lanes shall be no wider than 24 feet at the street right-of-way <ul style="list-style-type: none"> <li>The single exit lane provided is 12.2 feet wide, and the double entrance/exit lanes are 33 feet wide and 29 feet wide at Franklin Street and North Street, respectively.</li> </ul>	Met  SPR, Waivers Required
		3. No entrance lanes or exit lanes shall be permitted on a principal frontage street, except as may be permitted by City Engineer. <ul style="list-style-type: none"> <li>An exit only lane is proposed on Rock Cress Parkway.</li> </ul>	SPR
		4. On other street frontages, only one entrance and one exit lane shall be permitted for each 200 feet of frontage <ul style="list-style-type: none"> <li>290.35 feet of frontage on Franklin Street, one entrance and one exit lane provided.</li> <li>192.28 feet of frontage on North Street, one entrance and one exit lane provided.</li> </ul>	Met
(5)(b)	Stacking Spaces	Two vehicle lengths of stacking space, each measuring 20 feet long shall be provided between the street and the garage entry gate. Stacking area shall not be located across a sidewalk or in the public right-of-way. <ul style="list-style-type: none"> <li>IF gated entries are proposed, there is insufficient space to provide the required stacking space without encroaching the public right-of-way.</li> </ul>	SPR
(5)(c)	Interior Circulation	3. A minimum ceiling clearance height of 12 feet is required where the parking structure has street frontage, excluding the driveway opening, and the parking structure shall be designed and constructed to allow potential occupancy of the first 20 feet of building by a commercial or a civic/public/institutional use permitted by §153.059(B). <ul style="list-style-type: none"> <li>Based on Finished Floor information provided on the Staking Plan, the floor to floor height between the ground story and second story of the garage is 11 feet in height.</li> </ul>	Waiver Required

153.065 – Site Development Standards			
Code Section	Requirement	Met/Notes	
		<i>Additional information is needed to determine if other aspects of the requirement are met.</i>	
		4. Design of all other parking structures and upper levels of shall include a minimum ceiling clearance height of 8.5 feet. • <i>Cannot be determined. Dimension needed from floor of garage story to underside of structure (beam) of story above.</i>	SPR
		5. Below-grade parking structure levels shall provide the minimum clear heights as required by Ohio Building Code. • <i>Cannot be determined. A portion of the parking structure is below grade.</i>	SPR
(5)(d)	Pedestrian Safety	1. Stairways on the parking structures perimeter shall be visible from outside of the structure. The maximum distance between parking spaces and the nearest exit stairwell shall be 200 feet. • <i>Stairways provided at the perimeter of the structure are visible from outside of the structure. The maximum distance from parking spaces and an exit stairwell is approximately 150 feet.</i>	Met
		2. At least one elevator shall be provided to serve a parking structure. The maximum distance between any parking space and an elevator shall be 350 feet. • <i>Two elevators are proposed and the maximum distance from any space to an elevator is approximately 220 feet.</i>	Met
		3. Pedestrian flow shall be channeled through openings to permit surveillance, either by a booth cashier or by cameras being monitored from a remote location. • <i>Additional information is needed regarding the proposed means of surveillance.</i>	SPR
(C) Stormwater Management			
		<i>A stormwater management narrative has been provided and will be reviewed by Engineering as part of the Site Plan review.</i>	SPR
(D) Landscaping and Tree Preservation			
(2)	General	(b) Each application for development shall include a landscape plan, and the siting of buildings shall avoid the removal of desirable trees in good or fair condition, where alternate building siting is available.	SPR

## 153.065 – Site Development Standards

Code Section	Requirement	Met/Notes	
		<ul style="list-style-type: none"> <li><i>An Existing Conditions Plan has been provided, but no Tree Survey or Replacement Plan has been provided.</i></li> </ul>	
		(c) Protected trees shall be replaced in accordance with §153.146 <ul style="list-style-type: none"> <li><i>No Tree Survey or Tree Replacement Plan has been provided</i></li> </ul>	SPR
		(e) Landscape Plans shall exhibit diversity in tree selection, as determined by City Forester and Director of Parks & Open Space <ul style="list-style-type: none"> <li><i>No Landscape Plan has been provided</i></li> </ul>	SPR
		(f) In all areas where landscaping is required, the surface area of the bed shall be predominantly covered within four years after installation by living materials, rather than by bark, mulch, gravel or non-living materials. <ul style="list-style-type: none"> <li><i>No Landscape Plan has been provided</i></li> </ul>	SPR
(7)	Foundation Planting	(a) Building foundation landscaping is required along all sides of a building not otherwise occupied by entrances, sidewalk, parking or loading areas, or similar areas. <ul style="list-style-type: none"> <li><i>No Landscape Plan has been provided</i></li> </ul>	SPR
		(b) Where foundation planting is required, at least one shrub shall be provided per each 10 linear feet of building façade or fraction thereof. <ul style="list-style-type: none"> <li><i>No Landscape Plan has been provided</i></li> </ul>	SPR
(9)	2. Tree Preservation Plan Required	A. Applicants shall submit a Tree Preservation Plan for approval by the required reviewing body. <ul style="list-style-type: none"> <li><i>No Tree Preservation Plans have been submitted.</i></li> </ul>	DPR
<b>(E) Fences, Walls and Screening</b>			
(1)	Fence and Wall Standards	Notwithstanding the provisions of this section, the provisions of 153.064(G)(4)(h) shall be met with respect to fencing and walls for open spaces. <ul style="list-style-type: none"> <li><i>Two walls are proposed that function as retaining walls and as elements of proposed ramps and stairs/access at the entrances on North Street and Rock Cress Parkway. No</i></li> </ul>	SPR
		(b) Fence and Wall Height and Opacity. No fence or wall located between the principal structure on a lot and the front property line shall exceed four feet in height. These provisions apply to all street frontages on multiple frontage lots.	SPR



## 153.065 – Site Development Standards

Code Section	Requirement	Met/Notes	
		<ul style="list-style-type: none"> <li>A variable height wall is proposed between the Parking Structure and Rock Cress Parkway. No top of wall/bottom of wall spot elevations have been provided.</li> </ul>	
<b>(F) Exterior Lighting</b>			
(F)(1)-(12)	Exterior Lighting	No exterior light fixture specifications or photometric site plan has been submitted.	SPR
<b>(G) Utility Undergrounding</b>			
(G)(1)-(3)	Utility Undergrounding		SPR
<b>(H) Signs</b>			
(H)	Signs	No signs have been submitted.	SPR
<b>(I) Walkability Standards</b>			
(I)(1)	Intent and Purpose	Enhance connectivity, improve pedestrian safety, and promote comfortable walking and sitting environments.	SPR
(I)(2)	Walkability Objective: Connectivity	(a) Mid-block Pedestrianways. Are required on all blocks exceeding 400 feet in length. <ul style="list-style-type: none"> <li>Block is 379.81 feet in length.</li> </ul>	N/A
		(b) Mid-building Pedestrianways. <ul style="list-style-type: none"> <li>Not required on Civic Building Types.</li> </ul>	N/A
(I)(4)	Walkability Objective: Comfort and Convenience	(a) RBZ Treatment: All areas between the front and corner side property lines and the back of the RBZ or setback not occupied by a building shall be treated with either a landscape, patio or streetscape treatment as required by building type. <ol style="list-style-type: none"> <li>Where necessary to provide adequate sidewalk width in areas expected to have high volumes of pedestrian activity, a streetscape RBZ treatment may be required by the required reviewing body.               <ul style="list-style-type: none"> <li>To be determined.</li> </ul> </li> </ol>	SPR
		2. Building Entrances: A principal building entrance shall be on any principal frontage street or the front façade of the building. <ul style="list-style-type: none"> <li>A Principal Entrance is provided on the north elevation of the building—the front façade.</li> </ul>	Met

City Council Meeting – March 20, 2017

Basic Plan – Parking Garage – (Case#17-003ARB-BPR)

*Please refer to the packet for the Basic Plan for the library for history, design review and correspondence*