


**Office of the City Manager**

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Memo

To: Members of Dublin City Council

From: Dana L. McDaniel, City Manager 

Initiated By: Vince A. Papsidero, FAICP, Planning Director
Logan M. Stang, Planner I

Date: March 9, 2017

Re: Ordinance 06-17 – Rezoning approximately 13 Acres from PLR, Planned Low Density Residential District (Perimeter Center, Subarea G1 - Craughwell Village) to PUD, Planned Unit Development District (Perimeter Center, Subarea G1 - Craughwell Village) for an Amendment to the Approved Development Text to Revise Permitted Building Materials and Architectural Elevations to Permit the Replacement of Roofing and Building Materials for an Existing Condominium Development (Case 16-084Z/PDP/FDP)

Summary

This is a request for an amendment to the approved development text of a Planned District to revise permitted building materials and architectural elevations and the replacement of roofing and building materials for an existing condominium development.

Background

The property was zoned PLR, Planned Low Density Residential District in 1996 as part of the original Perimeter Center plan. A year later, a final development plan for 199 residential units was approved. The Planning and Zoning Commission approved an amended final development plan that included the addition of three garage buildings and associated parking lot modifications for the development in 2006.

Planning and the applicant have worked over the last 18 months with the applicants to determine the best approach to address the on-going maintenance issues for this condominium complex. Site visits with staff from the Division of Building Standards have highlighted and verified the deterioration of many of the buildings due to age, improper installation and backing materials. Moisture intrusion, mold and insect infestation are the most pressing issues the condominium owners and the maintenance company are facing and are attempting to address with this proposal. Due to the magnitude and extent of the damage, the proposal is for a complete overhaul of the exterior of the buildings. The application includes many letters of support from current condominium owners who voted to have their dues increased to cover the expenses of this renovations and who support the proposed plans.

Proposal

The applicant is proposing to renovate the six residential buildings in phases to address significant maintenance and material life cycle issues, water infiltration and lack of installation details when the structures were originally built. The renovation will consist of replacing the existing wood shake shingle roof and the underlayment down to the sheathing to thoroughly

inspect and replace and upgrade where necessary. New metal work, drains, flashing and underlayment will be installed. The proposed new roofing material is a lifetime, heavy duty asphalt shingle with dimensions and colorations closely resembling the existing shake.

As for the building façades, the applicant is proposing to repair or replace all sub surfaces. Stone façades on the interior will be replaced with stucco to match the stone and to match the same stucco as existing on the street facing façades. The applicant has revised the plans to replace all stone on the street facing facades with the same amount of stone. Several existing stucco elevations will remain. The plans indicate replacement and repair of each elevation of each building.

Development Text

The development text is proposed to be revised in the Subarea summary paragraph to address a requirement for architecture to be consistent with the Perimeter Shopping Center. The applicant has indicated in their submitted materials that Subarea G-1 (Craughwell Village) is the only Subarea within Perimeter Center that requires wood shakes as the shingle material. The Commission has previously approved a dimensional asphalt shake designed to have the appearance of wood shake for Key Bank in Subarea E. The Perimeter Lakes apartments were approved with asphalt shingles as well. The architecture section of the text was revised to permit a high-quality asphalt shingle in addition to wood shake and to permit architectural style and detailing to match what is proposed as part of this application. Brick, stucco, wood and manufactured stone are currently permitted in the text and no changes are proposed.

Architecture and Building Materials

The proposed development text requires architecture as it was shown on plans in 1997. Planning has not been able to locate the final approved elevations, however, the buildings as they exist today are assumed to be as approved. The proposed renovations will not change the architectural style, windows, doors, chimneys or wood detailing. The architectural style will remain as it is today. The proposed development text modifications are limited to permitting dimensional asphalt shingles as a permitted building material. All other proposed materials, manufactured stone, brick, stucco and wood are currently permitted.

Recommendation of the Planning and Zoning Commission

The Commission reviewed and recommended approval to City Council of this rezoning at their February 16, 2017 meeting. The Commission simultaneously approved a final development plan for all building materials details and specification, which the applicant will be able to implement if Council passes this Ordinance.

Staff Recommendation

Planning recommends City Council approval of Ordinance 06-17 at the second reading/public hearing on April 10, 2017.

RECORD OF ORDINANCES

Dayton Legal Blank, Inc.

Form No. 30043

Ordinance No. 06-17

Passed , 20

AN ORDINANCE REZONING APPROXIMATELY 13 ACRES FROM PLR, PLANNED LOW DENSITY RESIDENTIAL DISTRICT (PERIMETER CENTER, SUBAREA G1 - CRAUGHWELL VILLAGE) TO PUD, PLANNED UNIT DEVELOPMENT DISTRICT (PERIMETER CENTER, SUBAREA G1 - CRAUGHWELL VILLAGE) FOR AN AMENDMENT TO THE APPROVED DEVELOPMENT TEXT TO REVISE PERMITTED BUILDING MATERIALS AND ARCHITECTURAL ELEVATIONS TO PERMIT THE REPLACEMENT OF ROOFING AND BUILDING MATERIALS FOR AN EXISTING CONDOMINIUM DEVELOPMENT (CASE 16-084Z/PDP/FDP)

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Dublin, State of Ohio, of its elected members concurring, that:

Section 1. The following described real estate, (see attached legal description), situated in the City of Dublin, State of Ohio, is hereby rezoned PUD, Planned Unit Development District, and shall be subject to regulations and procedures contained in Ordinance No. 21-70 (Chapter 153 of the Codified Ordinances), the City of Dublin Zoning Code and amendments thereto as well as the approved development text.

Section 2. The application, including the list of contiguous and affected property owners, and the recommendations of the Planning and Zoning Commission, are all incorporated into and made an official part of this Ordinance and said real estate shall be developed and used in accordance there within.

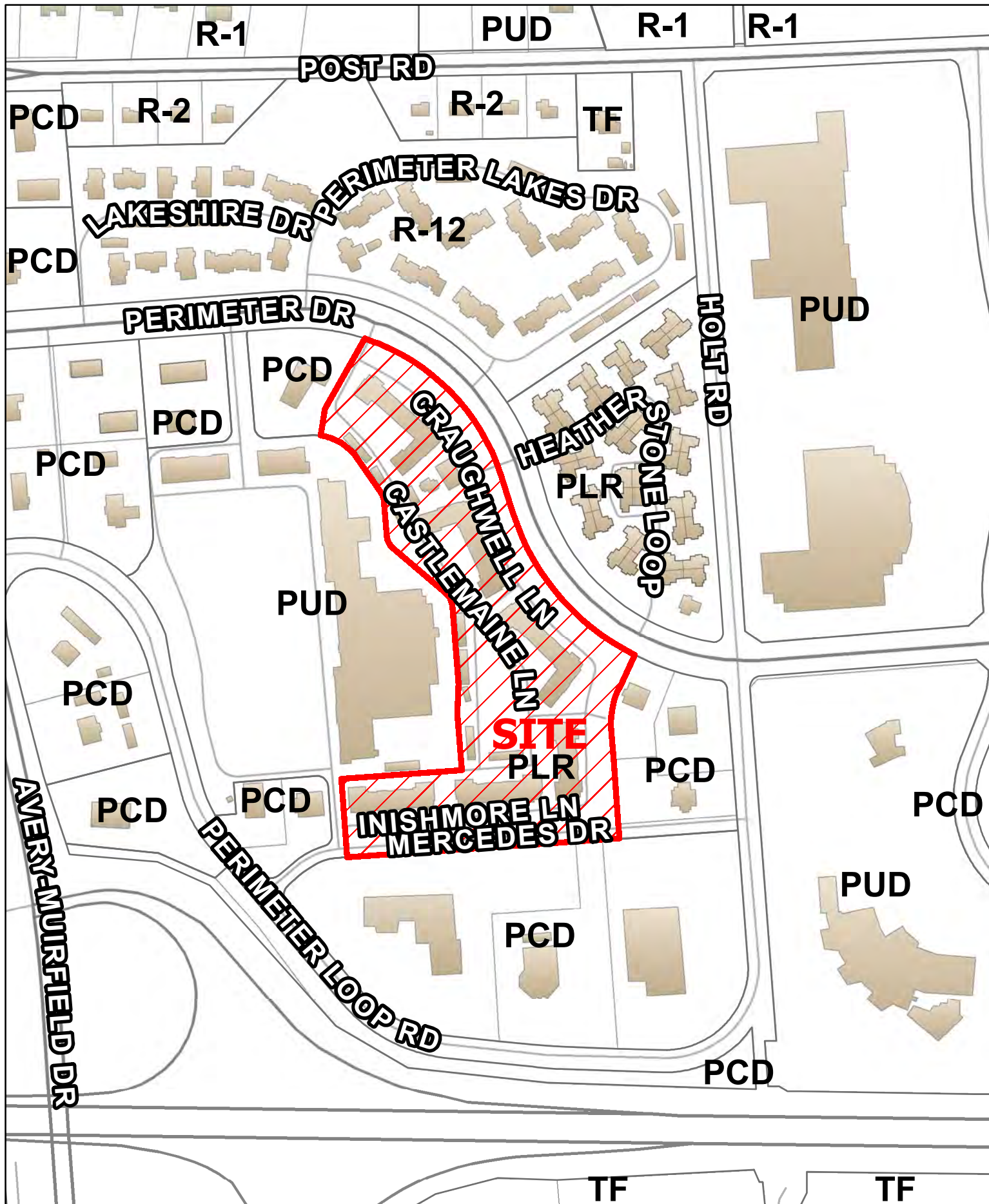
Section 3. This Ordinance shall take effect upon the earliest date permitted by Law.

Passed this day of , 2017.

Mayor - Presiding Officer

ATTEST:

Clerk of Council



City of Dublin

16-084Z/PDP/FDP
Rezoning/Prelim. Dev. Plan/Final Dev. Plan
Craughwell Village PLR
6185 Craughwell Lane

0 150 300
Feet





CITY OF DUBLIN

Land Use and
Long Range Planning
5800 Shier-Rings Road
Dublin, Ohio 43016-1236

Phone/ TDD: 614-410-4600
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Web Site: www.dublin.oh.us

16-0842/PDP/February 2009
PLANNING AND ZONING COMMISSION APPLICATION

(Code Section 153.232)

I. PLEASE CHECK THE TYPE OF APPLICATION:

- | | |
|---|--|
| <input type="checkbox"/> Informal Review | <input type="checkbox"/> Final Plat
(Section 152.085) |
| <input type="checkbox"/> Concept Plan
(Section 153.056(A)(1)) | <input type="checkbox"/> Conditional Use
(Section 153.236) |
| <input type="checkbox"/> Preliminary Development Plan / Rezoning
(Section 153.053) | <input type="checkbox"/> Corridor Development District (CDD)
(Section 153.115) |
| <input checked="" type="checkbox"/> Final Development Plan
(Section 153.053(E)) | <input type="checkbox"/> Corridor Development District (CDD) Sign
(Section 153.115) |
| <input type="checkbox"/> Amended Final Development Plan
(Section 153.053(E)) | <input type="checkbox"/> Minor Subdivision |
| <input type="checkbox"/> Standard District Rezoning
(Section 153.018) | <input type="checkbox"/> Right-of-Way Encroachment |
| <input type="checkbox"/> Preliminary Plat
(Section 152.015) | <input type="checkbox"/> Other (Please Specify): _____ |

Please utilize the applicable *Supplemental Application Requirements* sheet for additional submittal requirements that will need to accompany this application form.

II. PROPERTY INFORMATION: This section must be completed.

Property Address(es): 6185 Craughwell Lane, Dublin, Ohio and others	
Tax ID/Parcel Number(s): 20-3761940	Parcel Size(s) (Acres): 13.04 acres
Existing Land Use/Development: six apartment buildings converted to condominiums	

IF APPLICABLE, PLEASE COMPLETE THE FOLLOWING:

Proposed Land Use/Development: No change to land use - building upgrades
Total acres affected by application: 13.04 acres

III. CURRENT PROPERTY OWNER(S): Please attach additional sheets if needed.

Name (Individual or Organization):	
Mailing Address: (Street, City, State, Zip Code)	
Daytime Telephone:	Fax:
Email or Alternate Contact Information:	



FILE COPY

IV. APPLICANT(S): This is the person(s) who is submitting the application if different than the property owner(s) listed in part III. Please complete if applicable.

Name: Lisa Pearson	Applicant is also property owner: yes <input type="checkbox"/> no <input checked="" type="checkbox"/>
Organization (Owner, Developer, Contractor, etc.): Case Bowen Company	
Mailing Address: 6255 Corporate Center Drive, Dublin, Ohio 43016 (Street, City, State, Zip Code)	
Daytime Telephone: 614-799-9800	Fax: N/A
Email or Alternate Contact Information: lpearson@casebowen.com	

V. REPRESENTATIVE(S) OF APPLICANT / PROPERTY OWNER: This is the person(s) who is submitting the application on behalf of the applicant listed in part IV or property owner listed in part III. Please complete if applicable.

Name: Jim Bender, AIA, NCARB, President	
Organization (Owner, Developer, Contractor, etc.): JL Bender, Inc., Architects and Planners	
Mailing Address: 3040 Riverside Drive, Suite 132 (Street, City, State, Zip Code)	
Daytime Telephone: 614-488-8814	Fax: 614-488-7224
Email or Alternate Contact Information: jlbender@jlbender.com	

VI. AUTHORIZATION FOR OWNER'S APPLICANT or REPRESENTATIVE(S): If the applicant is not the property owner, this section must be completed and notarized.

I, <u>Lori Sprockett, Board member & Secretary of the MAC condo h</u> , the owner, hereby authorize <u>Lisa Pearson, Property Manager</u> to act as my applicant or representative(s) in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all representations and agreements made by the designated representative.	
Signature of Current Property Owner: <u>Lori Sprockett, Secretary</u>	Date: <u>9/26/11</u>

☐ Check this box if the Authorization for Owner's Applicant or Representative(s) is attached as a separate document

Subscribed and sworn before me this 26th day of Sept.

State of Ohio

County of Franklin

Notary Public Susan A. Rasmussen



Susan A. Rasmussen
Notary Public, State of Ohio
My Commission Expires 05-11-2013

VII. AUTHORIZATION TO VISIT THE PROPERTY: Site visits to the property by City representatives are essential to process this application. The Owner/Applicant, as noted below, hereby authorizes City representatives to visit, photograph and post a notice on the property described in this application.

I, <u>Lisa Pearson of Case Bowen Co.</u> , the owner or authorized representative, hereby authorize City representatives to visit, photograph and post a notice on the property described in this application.	
Signature of applicant or authorized representative: <u>Lisa Pearson</u>	Date: <u>9/26/11</u>

VIII. UTILITY DISCLAIMER: The Owner/Applicant acknowledges the approval of this request for review by the Dublin Planning and Zoning Commission and/or Dublin City Council does not constitute a guarantee or binding commitment that the City of Dublin will be able to provide essential services such as water and sewer facilities when needed by said Owner/Applicant.

I, <u>Jim Bender, AIA, President</u> , the owner or authorized representative, acknowledge that approval of this request does not constitute a guarantee or binding commitment that the City of Dublin will be able to provide essential services such as water and sewer facilities when needed by said Owner/Applicant.	
Signature of applicant or authorized representative:	Date:


IX. APPLICANT'S AFFIDAVIT: This section must be completed and notarized.

I, <u>Lisa Pearson of Case Bowen Company</u> , the owner or authorized representative, have read and understand the contents of this application. The information contained in this application, attached exhibits and other information submitted is complete and in all respects true and correct, to the best of my knowledge and belief.	
Signature of applicant or authorized representative: <u>Lisa M. Pearson</u>	Date: <u>9/26/16</u>

Subscribed and sworn to before me this 26th day of Sept, 20 16

State of Ohio

County of Franklin

Notary Public Susan A. Rasmussen

 Susan A. Rasmussen
 Notary Public, State of Ohio
 My Commission Expires 05-11-2019

FOR OFFICE USE ONLY			
Amount Received: <u>\$3,210</u>	Application No: <u>16-084</u>	P&Z Date(s): <u>11/10/16, 2/16/17</u>	P&Z Action: <u>Approval to Council</u>
Receipt No:	Map Zone: <u>E-3</u>	Date Received: <u>10-03-16</u>	Received By:
City Council (First Reading): <u>3-13-17</u>		City Council (Second Reading): <u>4-10-17</u>	
City Council Action:		Ordinance Number: <u>06-17</u>	
Type of Request: <u>Rezoning, Preliminary Development Plan, Final Development Plan</u>			
N, <u>S</u> , E, W (Circle) Side of: <u>Perimeter Drive</u>			
N, S, E, W (Circle) Side of Nearest Intersection: <u>Craughwell Lane</u>			
Distance from Nearest Intersection: <u>N/A</u>			
Existing Zoning District: <u>PLR, Planned Low Density Residential District</u>		Requested Zoning District: <u>PUD, Planned Unit Development</u>	

**16-084Z/PDP/FDP
Craughwell Village**

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Dublin, OH 43016

Yuwei Zhao
4839 Vista Ridge Dr.
Dublin, OH 43017

Xiao Qiang Zheng
6222 Inishmore Ln.
Dublin, OH 43017

PERIMETER CENTER DEVELOPMENT TEXT

CITY OF DUBLIN, OHIO

As Passed by Council September 6, 1988

Revised December 21, 1989

Revised February 5, 1990

Revised November 19, 1990

Revised January 3, 1994

Revised November 7, 1994

Revised February 6, 1995

Revised January 15, 1997

Revised September 5, 2000

Revised December 11, 2000

Revised June 21, 2001

Revised January 29, 2002

Revised February 8, 2010

Revised April 10, 2017

~~Approved~~ Proposed Development Text

Perimeter Center – Subarea G-1

As recommend by the Planning and Zoning Commission to City Council on February 16, 2017

As Submitted to City Council

PERIMETER CENTER SUBAREA STANDARDS (Revised 1/3/94, 11/7/94, 01/29/02, 02/08/10, 11/01/10)

The following Subarea Descriptions and Development Standards by subarea shall be made part of the Concept Plan and are further discussed and illustrated in the Subarea Plan.

SUBAREA DESCRIPTIONS

Subarea B Post Road Related: (1.4 acres)

This area is characterized by its relationship with residential uses on the north side of Post Road and the need for a reasonable landscaped setback buffer between the residential uses and the proposed development.

Subarea C Internal Orientation: (35.0 acres)

Uses within this subarea shall include a mix of commercial, office research and light industrial uses or uses that exhibit a degree of clean, quiet unobjectionable processing activities within an enclosed structure. These uses are more appropriate to Subarea C because of its internal relationship within the site.

Subarea C-1 WD Partners: (24.6 acres)

Uses within this subarea include office, research and laboratory, packaging and assembly, wholesaling, and light manufacturing. These uses are appropriate to this subarea due to the sizes and nature of existing building found therein.

Subarea D State Route 161 Related Uses:

Because of extensive State Route 161 frontage, uses within Subarea D are primarily freeway oriented, general office, corporate headquarters office and institutional uses, hotels and motels.

Subarea E Services Zone: (12.8 acres)

Typically found between a major interchange and the first arterial intersections, this subarea contains freestanding uses on individual lots that require a highly visible orientation and immediate access. Architecture, signage and site planing/traffic elements are coordinated through various controls to assure a unified development appearance.

Subareas F, F-1, F-2, F-3 and F-4 Retail Center: (33.0 acres)

This area contains a mix of retail/commercial uses in an integrated shopping environment typical in size to a community center. This self-contained area also has access on all sides creating an

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Perimeter Center – Subarea G-1

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even distribution of traffic. (Revised 2/6/95)

Subarea G Multi-Family: (16.2 acres)

As a buffer or a transition zone to the single-family area to the north (Post Road frontage), the multi-family area will have a unified, residential scale appearance with a limited density.

Subarea G-1 Multi-Family: (13.1 acres)

This area contains high density multi-family development which serves as a transition zone between a retail/commercial community center to the west and lower density multi-family development to the north and east. Architecture of the buildings is to be ~~consistent~~ substantially similar with the Perimeter Shopping Center (Subarea F) in its design, materials, architecture, detailing and overall quality.

Subarea H Condominium: (8.0 acres)

This subarea may be used for multifamily condominium housing at a density of less than 7 units per acre. (Revised 11/7/94)

Subarea I Transitional Area:

This zone will function as a transition zone between the retail uses of Subarea E (the service zone along Avery Road), and F, F-1, F-2, and F-3 (the retail mall) and the freeway oriented office area - Subarea D to the east.

Subarea K Gordon Flesch Co., Inc.: (4.37 acres)

Due to Subarea K's high visibility from state Route 161/US 33, it is essential to maintain a high level of quality development. All the qualitative aspects of "Subarea D" as originally established shall be incorporated in this Subarea K, but the use definition shall be expanded so that Gordon Flesch may operate within the new subarea.

Subarea L Services Zone: (1.959 acres)

Typically found between a major interchange and the first arterial intersections, this subarea contains freestanding uses on individual lots that require a highly visible orientation and immediate access. Architecture, signage and site planning/traffic elements are coordinated through various controls to assure a unified development appearance.

Subarea M Children's Hospital:

Due to Subarea M's high visibility from State Route 161/US 33, it is essential to maintain a high level of quality development. All the qualitative aspects of "Subarea D" as originally

~~Approved~~ Proposed Development Text

Perimeter Center – Subarea G-1

As recommend by the Planning and Zoning Commission to City Council on February 16, 2017

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established shall be incorporated in this Subarea M, except for the parking requirements which shall be modified due to the unique nature of Children's Close to Home Facility.

Subarea G-1 - Multi-Family(Revised November 21, 1996)

Permitted Uses:

The following uses shall be permitted within Subarea G-1: Multi-family units at an overall density of fifteen (15) units per acre.

Yard and Setback Requirements:

1. Along Perimeter Drive pavement setbacks shall be 35' and building setback 75'.
2. Total ground covered by all buildings, excluding parking garages, shall not exceed 25% of the total lot area. However, parking garages and buildings shall cover no more than 75% of the total lot area.

Height Requirements:

1. Maximum height for buildings in Subarea G-1 shall be 45' as measured per Dublin Zoning Code.

Parking and Loading:

1. The appropriate parking ratio shall be determined at final development plan.

Circulation:

1. Perimeter Drive shall have a 100' right-of-way and a 56' pavement width.
2. All other local public access streets shall have a 60' right-of-way and a 32' pavement width.
3. Opposing curb cuts on Perimeter Drive shall be offset no less than 100' (as measured from the driveways centerline) or directly aligned wherever possible consistent with prudent traffic engineering principles and practices, subject to the approval of the City Engineer.

Waste and Refuse:

1. All waste and a refuse shall be containerized and fully screened from view solid wall or

~~Approved~~ Proposed Development Text

Perimeter Center – Subarea G-1

As recommend by the Planning and Zoning Commission to City Council on February 16, 2017

As Submitted to City Council

fence.

Storage and Equipment:

1. No materials, supplies, equipment or products shall be stored or permitted to remain on any portion of a parcel outside a permitted structure. Mechanical equipment or other utility hardware on roof, ground, or buildings shall be screened from public view with materials harmonious with the building.

Landscaping:

1. All landscaping shall conform to the Dublin Landscaping Code Chapter 1187.
2. In addition, landscaping within the Perimeter Drive and Mercedes Drive setback shall include a continuous three foot hedge with stone pilaster fifty (50) feet on center with street trees planted fifty (50) feet on center within the R.O.W. and planted + 1 from R.O.W.

Signage & Lighting:

1. All signage and site lighting shall comply with Dublin code (but not the design guidelines), subject to staff approval.

Architecture:

The architectural design of the buildings shall be compatible with the Perimeter Shopping Center (Subarea F) and as ~~illustrated on plans dated October 30, 1996, and elevations dated September 17, 1996, prepared by David Benjamin Meleca revised based on the approved~~ revisions to the buildings as part of Case 16-084Z/PDP/FDP dated xx/xx/xxxx .

Apartment Buildings & Clubhouse

All buildings will be finished with brick, wood, manufactured stone, and stucco, and roofs shall have a pitch no flatter than 6:12 and shall use wood shingles or high-quality dimensional asphalt shingles to ensure compatibility with the Perimeter Shopping Center (Subarea F).

Detached Garages

All detached garage buildings backing onto the service corridor of Perimeter Center will be finished with a dimensional asphalt shingle to match, as close as possible, the wooden shingles in color and texture, a clay colored vinyl siding to match the dryvit portions of the main buildings, and dark green garage doors.

Reversion:

~~Approved~~Proposed Development Text

Perimeter Center – Subarea G-1

As recommend by the Planning and Zoning Commission to City Council on February 16, 2017

As Submitted to City Council

If construction activity has not commenced one year after zoning takes effect, then the parcel shall revert back to its previous zoning, as described within the Perimeter Center Development Text, revised February 6, 1995.

~~Approved~~Proposed Development Text

Perimeter Center – Subarea G-1

As recommend by the Planning and Zoning Commission to City Council on February 16, 2017

As Submitted to City Council

THE MANOR AT CRAUGHWELL VILLAGE CONDOMINIUMS

ADDRESS

6185 CRAUGHWELL LANE, DUBLIN, OHIO 43017

Prepared For

Case Bowen Company

Property Manager

6255 CORPORATE CENTER DRIVE, DUBLIN, OHIO 43016

Phone (614) 289-1403

Prepared By



JL Bender, Inc., Architects and Planners

3040 Riverside Drive, Suite 132 Columbus, Ohio 43221

(614) 488-8814 FAX (614) 488-7224, jbender@jlbender.com/email

Final Development Plan

For the

City of Dublin, Ohio 43016

Planning and Zoning Commission

5800 Shier Rings Road

Dublin, Ohio 43016

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KEY PLAN



RENOVATIONS AND UPGRADES FOR
THE MANOR AT CRAUGHWELL VILLAGE
CONDOMINIUMS
DUBLIN, OHIO 43017

MANAGED BY CASE BOWEN COMPANY
6255 CORPORATE CENTER DR.
DUBLIN, OHIO 43016

13 DECEMBER 2016



JLB #: 15037

TITLE SHEET

PRELIMINARY AND FINAL DEVELOPMENT PLAN STATEMENT:

THE PHASED PLAN RENOVATION TO CRAUGHWELL MANOR HOUSING COMPLEX CONSISTS OF A MAJOR SERIES OF FACADE UPGRADES AND A REPLACEMENT TO THE VARIOUS ROOFS AND THEIR RELATED CAPS, FASCIAS, METAL WORK AND DRAINAGE SYSTEMS. THE PROJECT IS SCHEDULED TO BE BROKEN INTO TWO PHASES BUT SUBMITTED FOR PRELIMINARY AND FINAL DESIGN APPROVAL AS A FINAL SINGLE SUBMITTAL.

A. EXISTING DESCRIPTION: CRAUGHWELL MANOR IS AN EXISTING RESIDENTIAL COMPLEX OF SIX (6) LARGE, THREE STORY RESIDENTIAL BUILDINGS CONSTRUCTED APPROXIMATELY EIGHTEEN YEARS AGO AS A RENTAL COMMUNITY. THE BUILDINGS HAVE SINCE BEEN CONVERTED TO INDIVIDUALLY OWNED CONDOMINIUMS THAT ARE MANAGED BY A CONDOMINIUM ASSOCIATION. THE COMPLEX ALSO INCLUDES A SINGLE STORY COMMUNITY BUILDING AND SEVERAL SINGLE STORY SEPARATE GARAGE STRUCTURES AND AN AREA OF OPEN SURFACE PARKING. THE COMMUNITY BUILDING AND THE COVERED GARAGES ARE NOT BEING CONSIDERED PART OF THIS UPGRADE PROJECT.

THE ARCHITECTURAL STYLE IS A COMPOSITE ENGLISH TUDOR AND COTSWOLD RECREATION, THE MAJOR MATERIALS OF WHICH ARE BRICK (PRIMARILY), SYNTHETIC STONE (COMPLEMENTARILY) AND STUCCO (SPARINGLY). THE FACADES ALSO HAVE AN ABUNDANCE OF WINDOWS OF A TRADITIONAL APPEARANCE, SYNTHETIC TRIM, WOODEN PAINTED SHUTTERS AND METAL FASCIA AND DRAINAGE SYSTEMS. THE WINDOWS DIFFER FROM BUILDING TO BUILDING AS MANY HAVE BEEN REPLACED. PORTIONS OF THE BUILDINGS CONTAIN GARAGES AND HAVE OVERHEAD DOORS THAT APPEAR TO BE FRAME AND PANEL CONSTRUCTION. IN THESE SAME AREAS ARE SOME OUTDOOR DECKS AND WALKWAYS THAT, AGAIN, HAVE MODERATELY ORNATE TRIM.

THE ROOF SYSTEM IS UNIQUE IN THAT APPROXIMATELY HALF OF EACH BUILDING HAS A STEEP PITCHED ROOF WITH WOOD SHAKE SHINGLES AND THE REMAINDER IS A VERY LOW SLOPE WITH AN EPDM MEMBRANE THAT IS FLANKED BY THE PITCHED AREAS. THE LOW SLOPE AREAS HOUSE MANY ROOFTOP UNITS AND OTHER VENTS AND OUTLETS.

ACCESS STAIRS ARE EXTERNAL AND ARE IN PARTIALLY ENCLOSED AREAS.

THE SITE AND GROUNDS ARE LANDSCAPED WITH MATURING VEGETATION, TREES AND LAWN, ALL OF WHICH ARE NOT IN CONSIDERATION FOR UPGRADE OF THIS PROJECT.

B. THE UPGRADE PROGRAM: AS NOTED EARLIER, THE PROGRAM WILL BE DIVIDED INTO TWO PHASES FOR THE ACTUAL CONSTRUCTION AND THEY ARE SCHEDULED TO BE COMPLETED CONSECUTIVELY.

1. THE ROOF REPLACEMENT PHASE A. BOTH THE STEEP PITCHED ROOF AND THE LOW SLOPE MEMBRANE HAVE APPROACHED THE END OF THEIR CYCLE AND ARE ALLOWING MOISTURE TO ENTER THE BUILDING BOTH THROUGH THE ROOF AREAS AND ALONG THE PERIMETER WHERE FLASHING IS PROBLEMATIC. B. ADDITIONALLY, THE WOOD SHAKE SHINGLES HAVE BECOME COVERED WITH ALGAE AND GREEN MOLD (ESPECIALLY ON THE NORTH SIDES) WHICH HAS BROUGHT INSECT INFESTATION TO THE BUILDING AND THEY HAVE ENTERED THE BUILDING INTERIOR. THIS IS A COMMON PROBLEM IN HUMID, MIDWESTERN LOCATIONS. C. THE PROPOSED SOLUTION FOR THE STEEP PITCHED ROOFS IS TO REMOVE THE EXISTING WOOD SHAKES AND UNDERLAYMENT DOWN TO THE ROOF SHEATHING. PROVIDE A THOROUGH INSPECTION OF ALL SHEATHING AND MAKE REPLACEMENTS TO ANY SECTIONS THAT HAVE WATER DAMAGE AND ALSO EXAMINE AND UPGRADE ANY BASIC STRUCTURE PIECES THAT MAY HAVE ALSO BEEN DAMAGED. REMOVE ALL EXISTING FLASHING, DRAINS AND GUTTERS. ONCE THE WOOD SHAKES ARE REMOVED AND ANY CORRECTIVE MEASURES IMPLEMENTED TO THE SUBSURFACE, NEW METAL WORK, DRAINS, FLASHING AND UNDERLAYMENT WILL BE INSTALLED INCLUDING A DOUBLE LAYER OF SNOW AND ICE GUARD AT THE PERIMETER. THE NEW STEEP SLOPE ROOF IS PROPOSED TO BE COVERED WITH A NEW LIFETIME, HEAVY DUTY ASPHALT SHINGLE ROOF THAT HAS A DIMENSION AND COLORATION SIMILAR TO THE SHAKES THAT WERE REMOVED. THE SELECTED MATERIAL IS THE CHAPARRAL CEDAR COLOR OF THE PRESIDENTIAL SHAKE SERIES BY CERTAINTED, WHICH WILL GIVE A BETTER APPEARANCE AND HAS A LIFETIME WARRANTY. A SAMPLE OF THE PROPOSED MATERIAL IS SHOWN AND INCLUDED IN THE SUBMITTAL.

THE LOW SLOPE ROOF AREA WILL FOLLOW A SIMILAR FORMAT AS THE STEEP AREAS IN THAT THE EXISTING MEMBRANE WILL BE REMOVED ALONG WITH THE RELATED DRAINS AND METAL WORK. AFTER A SHEATHING AND SUBSURFACE INSPECTION AND POSSIBLE UPGRADE, A NEW ROOF CONSISTING OF A 45 MIL REINFORCED EPDM MEMBRANE AND AN R-30 EQUIVALENT RIGID INSULATION UNDERLAYMENT WILL BE INSTALLED. NEW METAL WILL ALSO BE INSTALLED AND ANY EXISTING INTERNAL DRAINS WILL BE SNAKED AND A RETROFIT KIT INSTALLED WHERE NECESSARY. THE SCOPE OF WORK DOES NOT INCLUDE ANY TRAFFIC BEARING DECKS OR WALKWAYS AT THIS TIME.

2. THE FACADE UPGRADE PROGRAM - THE PROGRAM FOR THE EXTERIOR UPGRADES HAS RESULTED FROM SOME EXPLORATION TO DETERMINE THE AREAS AND CAUSES OF NUMEROUS WATER LEAKS THAT HAVE LED TO INTERIOR PROBLEMS. INITIAL ANALYSIS HAS DETERMINED THAT THE SYNTHETIC STONE VENEER HAS EXTENSIVE WATER INTRUSION PROBLEMS MOSTLY DUE TO INCORRECT DETAILS, ABSENT FLASHING AND IMPROPER BACK UP MATERIALS. WITH THE EXCEPTION OF SOME LIMITED AREAS OF STONE THAT IS PART OF THE CHIMNEYS, IT IS THE INTENT TO REMOVE ALL STONE IN ALL AREAS OF THE SIX RESIDENTIAL BUILDINGS AND INSPECT AND REPLACE ALL SHEATHING AND FRAMING THAT IS EITHER MOLDED OR WATER SATURATED. ONCE THE SUBSURFACE IS CORRECTED THE PROPOSED DESIGN WILL BE TO CREATE A FIRST LEVEL OF REPLACEMENT STONE, PROPERLY DETAILED AND SURFACE THE UPPER TWO LEVELS WITH STUCCO THAT MATCHES THE EXISTING MATERIAL BUT WILL HAVE A MORE DURABLE SYNTHETIC FINISH IN A NEW "DAUB" TEXTURE. THIS WILL ALLOW THE BRICK (WHICH HAS BEEN PREDETERMINED TO NEED NO UPGRADES AT THIS TIME) TO BECOME THE FOCUS MATERIAL AND WILL GIVE A FRESH, NEW, LIGHTER APPEARANCE TO THE OVERALL WALL. THE AREAS OF EXISTING STUCCO ARE ALSO NOT A PART OF THIS PHASED FACADE UPGRADE. ILLUSTRATIVE EXAMPLES OF THE PROPOSED NEW MATERIALS ARE SHOWN IN THIS SUMMARY AND ACTUAL EXAMPLES ARE INCLUDED IN THE OVERALL SUBMISSION. ALL TRIM PIECES THAT ARE CONNECTED TO THE EXISTING INSTALLATION WILL BE RE-FLASHED AND RESEALED AND ALL NEW STONework SHALL HAVE GALVANIZED LATH INSTALLED PRIOR TO THE INSTALLATION OF THE UNDERCOAT AND FINAL STONE PIECES. REPLACEMENT STUCCO WILL ALSO PICK UP THE AESTHETIC THEME OF ELIMINATING SOME OF THE Ponderous LOOK OF BRICK FIGHTING STONE AND NOW BEING COMPLEMENTED BY THE FRESH LOOK OF "DAUB" TEXTURED STUCCO. ALSO A PART OF THE FACADE UPGRADE WILL BE REPLACEMENT METAL WORK WHICH WILL MATCH THAT WHICH IS EXISTING AND REMAINS IN PLACE. TYPICAL EXAMPLES ARE ROOF EAVE FLASHING, SNOW AND ICE PROTECTION, FLASHING AT ALL APPROPRIATE LOCATIONS OF STONE AND STUCCO INSTALLATIONS, NEW DOWNSPOUTS, WALL CAP FLASHINGS, FLASHING AROUND ALL WINDOWS AND DOORS, STONE TRIM FLASHING AND AT THE INTERSECTIONS OF ALL MATERIALS. THE WINDOWS AND DOORS (INCLUDING ENTRY TYPE AND OVERHEAD GARAGE UNITS) ARE SEPARATE LEGALLY AND WILL NOT BE A PART OF THE OVERALL FACADE UPGRADE. THE MATERIAL SELECTIONS ARE TO KEEP THE COLORS IN THE EXISTING BEIGE/GRAY RANGE OF EARTH TONES THAT ENRICH THE STYLE OF THE BUILDINGS BUT ALSO GIVE THEM A MORE UP-TO-DATE APPEARANCE THAT WILL ENHANCE THEIR VALUE AS REAL ESTATE AND ALSO FIT COMFORTABLY IN THE NEIGHBORHOOD ENVIRONMENT.


CASE BOWEN
ARCHITECTS AND PLANNERS, LLC
10000 W. 15th Street, Suite 100
Dublin, Ohio 43017

RENOVATIONS AND UPGRADES FOR BUILDING 1
THE MANOR AT CRAUGHWELL VILLAGE
CONDOMINIUMS
DUBLIN, OHIO 43017

MANAGED BY CASE BOWEN COMPANY
6255 CORPORATE CENTER DR.
DUBLIN, OHIO 43016

13 DECEMBER 2016

DEVELOP-
MENT
STATEMENT

JLB #: 15037

DESCRIPTION OF COMBINED 13.14 ACRES

SITUATED IN THE STATE OF OHIO, COUNTY OF FRANKLIN, CITY OF DUBLIN, IN VIRGINIA MILITARY SURVEY NO. 2993, BEING A PORTION OF RESERVE "A" IN PERIMETER CENTER, AS SHOWN OF RECORD IN FLAT BOOK 12, PAGES 47 AND 48, RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO, AND BEING ALL OF THE FOLLOWING TWO (2) TRACTS OF LAND CONVEYED TO DUBLIN COMMUNITIES, LLC:

1) AN 11520 ACRE TRACT CONVEYED TO DUBLIN COMMUNITIES, LLC BY DEED OF RECORD IN INSTRUMENT 19910080115212 RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO, AND

2) A 1594 ACRE TRACT CONVEYED TO DUBLIN COMMUNITIES, LLC BY DEED OF RECORD IN INSTRUMENT 19910080115213 RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO,

ALL BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING FOR REFERENCE, AT A POINT AT THE EAST END OF A CURVE CONNECTING THE SOUTH LINE OF PERIMETER DRIVE (100 FEET WIDE) WITH THE EAST LINE OF AVERY-MUIRFIELD DRIVE (FORMERLY AVERY ROAD) (VARIABLE WIDTH) AND IN THE NORTH LINE OF SAID RESERVE "A":

THENCE N 85° 22' 22" E ALONG THE SOUTH LINE OF PERIMETER DRIVE AND ALONG THE NORTH LINE OF SAID RESERVE "A" A DISTANCE OF 793.84 FEET TO A 3/4-INCH I.D. IRON PIPE SET AT A POINT OF CURVATURE;

THENCE SOUTHEASTERLY ALONG A PORTION OF A CURVED SOUTHWEST LINE OF PERIMETER DRIVE, ALONG A PORTION OF A CURVED NORTHEAST LINE OF SAID RESERVE "A" AND WITH A CURVE TO THE RIGHT, DATA OF WHICH IS: RADIUS = 570.00 FEET AND SUB-DELTA = 22° 45' 58", A SUB-CHORD DISTANCE OF 225.00 FEET BEARING S 83° 14' 33" E TO A 3/4-INCH I.D. IRON PIPE SET AT THE NORTHWEST CORNER OF SAID 11520 ACRE TRACT AND AT THE TRUE PLACE OF BEGINNING OF THE TRACT HEREIN INTENDED TO BE DESCRIBED;

THENCE CONTINUING SOUTHEASTERLY ALONG A PORTION OF A CURVED SOUTHWEST LINE OF PERIMETER DRIVE, ALONG A PORTION OF A CURVED NORTHEAST LINE OF SAID RESERVE "A", ALONG A CURVED NORTHEAST LINE OF SAID 11520 ACRE TRACT AND WITH A CURVE TO THE RIGHT, DATA OF WHICH IS: RADIUS = 570.00 FEET AND SUB-DELTA = 23° 51' 58", A SUB-CHORD DISTANCE OF 516.26 FEET BEARING S 44° 55' 41" E TO A 3/4-INCH I.D. IRON PIPE SET AT THE POINT OF TANGENCY;

THENCE S 17° 59' 42" E ALONG THE SOUTHWEST LINE OF PERIMETER DRIVE, ALONG THE NORTHEAST LINE OF SAID RESERVE "A" AND ALONG THE NORTHEAST LINE OF SAID 11520 ACRE TRACT A DISTANCE OF 1013.34 FEET TO A 3/4-INCH I.D. IRON PIPE SET AT A POINT OF CURVATURE;

THENCE SOUTHEASTERLY ALONG A PORTION OF A CURVED SOUTHWEST LINE OF PERIMETER DRIVE, ALONG A PORTION OF A CURVED NORTHEAST LINE OF SAID RESERVE "A", ALONG A CURVED NORTHEAST LINE OF SAID 11520 ACRE TRACT AND WITH A CURVE TO THE LEFT, DATA OF WHICH IS: RADIUS = 670.00 FEET AND SUB-DELTA = 45° 46' 20", A SUB-CHORD DISTANCE OF 521.3 FEET BEARING S 40° 52' 52" E TO A 3/4-INCH I.D. IRON PIPE SET AT THE NORTHEAST CORNER OF SAID 11520 ACRE TRACT AND AT THE NORTHWEST CORNER OF A 0.1071 ACRE TRACT OF LAND CONVEYED OUT OF SAID RESERVE "A" TO SHERRIE G. RIDENOUR, AKA SHERRIE R. SMITH, BY DEED OF RECORD IN OFFICIAL RECORD 15725, PAGE 12, RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO, AND BY AFFIDAVIT OF RECORD IN OFFICIAL RECORD 19049, PAGE 6 IT, RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO;

THENCE S 27° 41' 13" W ALONG AN EAST LINE OF SAID 11520 ACRE TRACT AND ALONG A WEST LINE OF SAID 0.1071 ACRE TRACT A DISTANCE OF 83.61 FEET TO A 3/4-INCH I.D. IRON PIPE SET AT A POINT OF CURVATURE;

THENCE SOUTHERLY ALONG THE CURVED EAST LINE OF SAID 11520 ACRE TRACT, ALONG THE CURVED WEST LINE OF SAID 0.1071 ACRE TRACT AND WITH A CURVE TO THE LEFT, DATA OF WHICH IS: RADIUS = 233.00 FEET AND DELTA = 31° 54' 33", A CHORD DISTANCE OF 120.09 FEET BEARING S 11° 43' 56" W TO A 3/4-INCH I.D. IRON PIPE SET AT THE POINT OF TANGENCY;

THENCE S 4° 13' 22" E ALONG AN EAST LINE OF SAID 11520 ACRE TRACT, ALONG A WEST LINE OF SAID 0.1071 ACRE TRACT, ALONG A WEST LINE OF A 1.003 ACRE TRACT OF LAND CONVEYED OUT OF SAID RESERVE "A" TO RANDOLPH AND BRENDA GIBBS BY DEED OF RECORD IN OFFICIAL RECORD 18233, PAGE 13, RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO, AND CROSSING MERCEDES DRIVE (PRIVATE) ALONG THE WEST LINE OF A RESIDUAL TRACT OF LAND BEING WITHIN AN ORIGINAL 44.482 ACRE TRACT OF LAND CONVEYED TO MUIRFIELD DRIVE PARTNERS BY DEED OF RECORD IN OFFICIAL RECORD 19322, PAGE 603, RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO, A DISTANCE OF 281.46 FEET TO A 3/4-INCH I.D. IRON PIPE SET AT THE SOUTHWEST CORNER OF SAID 11520 ACRE TRACT (PASSING A POINT AT THE SOUTHWEST CORNER OF SAID 0.1071 ACRE TRACT AND AT THE NORTHWEST CORNER OF SAID 1.003 ACRE TRACT AT 250.46 FEET);

THENCE S 85° 46' 38" W ALONG THE SOUTH LINE OF SAID 11520 ACRE TRACT, ALONG THE SOUTH LINE OF SAID 1594 ACRE TRACT, ALONG THE NORTH LINE EXTENDED EASTERLY AND ALONG THE NORTH LINE OF A 0.268 ACRE TRACT OF LAND CONVEYED OUT OF SAID RESERVE "A" TO DWAYNE HAWKINS TRUSTEE, AND PEGGY J. HAWKINS, TRUSTEE, BY DEED OF RECORD IN OFFICIAL RECORD 28733, PAGE F 07, RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO, ALONG THE NORTH LINE OF A 2.850 ACRE TRACT OF LAND CONVEYED OUT OF SAID RESERVE "A" TO DWAYNE HAWKINS, TRUSTEE, BY DEED OF RECORD IN OFFICIAL RECORD 26647, PAGE 118, RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO, AND ALONG A PORTION OF A NORTH LINE OF AN ORIGINAL 5.000 ACRE TRACT OF LAND CONVEYED OUT OF SAID RESERVE "A" TO DWAYNE AND PEGGY HAWKINS BY DEED OF RECORD IN OFFICIAL RECORD 19915, PAGE 601, RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO, A DISTANCE OF 146.26 FEET TO A 3/4-INCH I.D. IRON PIPE SET AT THE SOUTHWEST CORNER OF SAID 1594 ACRE TRACT (PASSING A 3/4-INCH I.D. IRON PIPE SET AT THE SOUTHWEST CORNER OF SAID 11520 ACRE TRACT AND AT THE SOUTHEAST CORNER OF SAID 1594 ACRE TRACT AT 413.26 FEET);

THENCE N 4° 13' 22" W ALONG THE WEST LINE OF SAID 1594 ACRE TRACT AND PERPENDICULAR TO A NORTH LINE OF SAID ORIGINAL 5.000 ACRE TRACT A DISTANCE OF 211.70 FEET TO A 3/4-INCH I.D. IRON PIPE SET AT THE NORTHWEST CORNER OF SAID 1594 ACRE TRACT;

THENCE N 85° 22' 22" E ALONG THE NORTH LINE OF SAID 1594 ACRE TRACT A DISTANCE OF 325.50 FEET TO A 3/4-INCH I.D. IRON PIPE SET AT THE NORTHEAST CORNER OF SAID 1594 ACRE TRACT AND IN A WEST LINE OF SAID 11520 ACRE TRACT;

THENCE N 4° 31' 38" W ALONG A PORTION OF A WEST LINE OF SAID 11520 ACRE TRACT A DISTANCE OF 148.12 FEET TO A 3/4-INCH I.D. IRON PIPE SET AT A CORNER OF SAID 11520 ACRE TRACT.

THENCE NORTHERLY AND WESTERLY ALONG LINES OF SAID 11520 ACRE TRACT THE FOLLOWING ELEVEN (11) COURSES:

1. N 2° 29' 52" E A DISTANCE OF 80.62 FEET TO A 3/4-INCH I.D. IRON PIPE SET AT A CORNER OF SAID 11520 ACRE TRACT.
2. N 4° 31' 38" W A DISTANCE OF 211.72 FEET TO A 3/4-INCH I.D. IRON PIPE SET AT A POINT OF CURVATURE.
3. NORTHWESTERLY ALONG A CURVE TO THE LEFT, DATA OF WHICH IS: RADIUS = 500.00 FEET AND DELTA = 45° 00' 00", A CHORD DISTANCE OF 38.21 FEET BEARING N 27° 07' 38" W TO A 3/4-INCH I.D. IRON PIPE SET AT THE POINT OF TANGENCY.
4. N 45° 31' 38" W A DISTANCE OF 165.90 FEET TO A 3/4-INCH I.D. IRON PIPE SET AT A POINT OF CURVATURE.
5. NORTHWESTERLY ALONG A CURVE TO THE RIGHT, DATA OF WHICH IS: RADIUS = 500.00 FEET AND DELTA = 45° 00' 00", A CHORD DISTANCE OF 38.21 FEET BEARING N 27° 07' 38" W TO A 3/4-INCH I.D. IRON PIPE SET AT THE POINT OF TANGENCY.
6. N 4° 31' 38" W A DISTANCE OF 93.42 FEET TO A 3/4-INCH I.D. IRON PIPE SET AT A POINT OF CURVATURE.
7. NORTHERLY ALONG A CURVE TO THE LEFT, DATA OF WHICH IS: RADIUS = 500.00 FEET AND DELTA = 30° 00' 00", A CHORD DISTANCE OF 25.88 FEET BEARING N 19° 31' 38" W TO A 3/4-INCH I.D. IRON PIPE SET AT THE POINT OF TANGENCY.
8. N 34° 31' 38" W A DISTANCE OF 107.61 FEET TO A 3/4-INCH I.D. IRON PIPE SET AT A POINT OF CURVATURE.
9. NORTHWESTERLY ALONG A CURVE TO THE LEFT, DATA OF WHICH IS: RADIUS = 190.50 FEET AND SUB-DELTA = 46° 00' 00", A SUB-CHORD DISTANCE OF 117.61 FEET BEARING N 57° 31' 38" W TO A 3/4-INCH I.D. IRON PIPE SET AT A CORNER OF SAID 11520 ACRE TRACT.
10. N 9° 22' 22" E RADIAL TO SAID CURVE A DISTANCE OF 100.00 FEET TO A 3/4-INCH I.D. IRON PIPE SET AT A CORNER OF SAID 11520 ACRE TRACT AND
11. N 29° 24' 55" E A DISTANCE OF 222.63 FEET TO THE TRUE PLACE OF BEGINNING.

CONTAINING 13.14 ACRES OF LAND MORE OR LESS AND BEING SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

THE ABOVE DESCRIPTION WAS PREPARED BY KEVIN L. BAXTER, OHIO SURVEYOR NO. 7697, OF CF. BIRD & R.J. BULL, INC., CONSULTING ENGINEERS & SURVEYORS, COLUMBUS, OHIO, FROM ACTUAL FIELD SURVEYS PERFORMED UNDER HIS SUPERVISION IN OCTOBER, 1986. BEARS OF BEARINGS IS THE SOUTH LINE OF PERIMETER DRIVE, BEING N 85° 22' 22" E, AS SHOWN OF RECORD IN FLAT BOOK 12, PAGES 47 AND 48, RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO.

TOGETHER WITH THAT AFFURTEMENT EASEMENT RECORDED IN INSTRUMENT NUMBER 19910080115213, RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO.
TOGETHER WITH THAT AFFURTEMENT EASEMENT RECORDED IN OFFICIAL RECORD VOLUME 15918, PAGE C18, RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO.
TOGETHER WITH THAT AFFURTEMENT EASEMENT RECORDED IN OFFICIAL RECORD VOLUME 28161, PAGE E08, RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO.
OHIO SURVEYOR #7697

Kevin L. Baxter
Kevin L. Baxter
Ohio Surveyor #7697



RENOVATIONS AND UPGRADES FOR BUILDING 1
THE MANOR AT CRAUGHWELL VILLAGE
CONDOMINIUMS
DUBLIN, OHIO 43017

MANAGED BY CASE BOWEN COMPANY
8555 CORPORATE CENTER DR.
DUBLIN, OHIO 43016

DESCRIPTION OF COMBINED
13.114
ACRES

JUL 8, 1987

20 SEPTEMBER 2016



Map

Google

500 ft



RENOVATIONS AND UPGRADES FOR THE MANOR AT CRAUGHWELL VILLAGE CONDOMINIUMS DUBLIN, OHIO 43017

MANAGED BY CASE BOWEN COMPANY
6255 CORPORATE CENTER DR.
DUBLIN, OHIO 43016

13 DECEMBER 2016

REGIONAL
CONTEXT MAP

Handwritten signature
J. BROWN INC. ARCHITECTS AND PLANNERS, A.L.A.
10000 W. 12TH AVE., SUITE 200
DENVER, CO 80202

JLB #: 15037



VICINITY MAP

MANAGED BY CASE BOWEN COMPANY
6255 CORPORATE CENTER DR.
DUBLIN, OHIO 43016

13 DECEMBER 2016

RENOVATIONS AND UPGRADES FOR
THE MANOR AT CRAUGHWELL VILLAGE
CONDOMINIUMS
DUBLIN, OHIO 43017

#askeyinc.
J. BRUNCE MAC ARCHITECTS AND PLANNERS, A.P.A.
PROFESSIONAL LANDSCAPE ARCHITECTS
PHOTOGRAPH BY STEVE GILBERT © 2016

JLB # 15037

LIST OF PROPERTY OWNERS WITHIN 300'-0" OF PROPERTY

PARCEL 1:

273-011784-00
6125-6225 PERIMETER DRIVE
O: PERIMETER/EMERALD LLC
6221 RIVERSIDE DRIVE
DUBLIN, OH 43017

PARCEL 2:

273-005467-00
6051 PERIMETER DRIVE
O: SHERIE RIDENOUR
6051 PERIMETER DRIVE
DUBLIN, OH 43017
614-791-9191

PARCEL 3:

273-005764-00
6033 PERIMETER DRIVE
O: FIRST PLACE BANK
185 E MARKET STREET
WARREN, OH 44481
330-373-1221 EXT. 2374

PARCEL 4:

273-005780-00
6320 PERIMETER LOOP DRIVE
O: IL 6329 PERIMETER LLC
5112 HARLEM ROAD
GALENA, OH 43021

PARCEL 5:

273-010210-00
6350 PERIMETER LOOP ROAD
O: HAWKINS FAMILY/
PARTNERSHIP LTD
6001 34TH ST. N
SAINT PETERSBURG, FL 33714

PARCEL 6:

273-007004-00
6400 PERIMETER LOOP DRIVE
O: HAWKINS FAMILY/
PARTNERSHIP LTD
6001 34TH ST. N
SAINT PETERSBURG, FL 33714

PARCEL 7:

273-005562-00
6500 PERIMETER LOOP ROAD
O: HAWKINS FAMILY/
PARTNERSHIP LTD
6001 34TH ST. N
SAINT PETERSBURG, FL 33714
LOCAL: 614-761-2360
FL: 727-527-5731

PARCEL 8:

273-008182-00
6600 PERIMETER LOOP
O: TIRELESS L P
AAA OHIO AUTO CLUB
C/O COMMERCIAL ONE REALTORS
1515 BETHEL ROAD
COLUMBUS, OH 43220
614-451-5100

PARCEL 9:

273-007004-00
6644-6748 PERIMETER LOOP ROAD
O: DDR CONTINENTAL L P
DEVELOPERS DIVERSIFIED
C/O PROPERTY TAX
3300 ENTERPRISE PKWY
BEACHWOOD, OH 44122
216-755-6550

PARCEL 10:

273-005749-00
6146 PERIMETER DR
O: AERC PERIMETER LAKES INC.
5025 SWETLAND CT
RICHMOND HEIGHTS, OH 44143

PARCEL 11:

THE VILLAGE AT HEATHERSTONE
CONDO ASSOCIATION
6600 HEATHERSTONE LOOP
DUBLIN OH, 43017



#pdpinc
P.D.P. Inc. Architects and Planners AIA
Professional Seal of P.D.P. Inc. No. 15037
P.D.P. Inc. 15037

RENOVATIONS AND UPGRADES FOR
**THE MANOR AT CRAUGHWELL VILLAGE
CONDOMINIUMS**
DUBLIN, OHIO 43017

MANAGED BY CASE BOWEN COMPANY
6255 CORPORATE CENTER DR.
DUBLIN, OHIO 43016
13 DECEMBER 2016

ADJACENT
PROPERTY



PARCEL 2



PARCEL 1



CRAUGHWELL VILLAGE GARAGE



PARCEL 4



PARCEL 9



GIANT EAGLE ROOF

#hardyinc
 HARDY INC. ARCHITECTURE AND PLANNING A.A.A.
 3000 HUNTER CREEK WAY SUITE 100 COLUMBUS, OHIO 43234
 PH: 614.471.1000 FAX: 614.471.1001 EMAIL: INFO@HARDYINC.COM

JLB #: 15037

RENOVATIONS AND UPGRADES FOR
THE MANOR AT CRAUGHWELL VILLAGE
CONDOMINIUMS
 DUBLIN, OHIO 43017

MANAGED BY CASE BOWEN COMPANY
 6255 CORPORATE CENTER DR.
 DUBLIN, OHIO 43016

13 DECEMBER 2016

ADJACENT
 PROPERTY
 PHOTOS



CODED NOTES

1. REMOVE EXISTING SHAKES, INSPECT SUBSTRUCTURE AND REPLACE WITH CERTAINTED PRESIDENTIAL SHAKE SERIES SHINGLES

2. ALL EXISTING STUCCO AND STONE CHIMNEYS TO REMAIN IN EXISTING CONDITION

3. ALL EXISTING STONE IS BEING REMOVED, SUBSURFACE INSPECTED, NEW METALWORK INSTALLED AND EXTERIOR IS REPLACED WITH A BLEND OF STONE AND STUCCO

4. ALL BRICK (THE PRINCIPAL FACADE MATERIAL) IS TO REMAIN IN PLACE

5. NEW METALWORK SUCH AS FLASHING, GUTTERS, DOWNSPOUTS AND TRIM TO BE REPLACED WITH MATCHING MATERIAL

6. ALL WINDOWS IN AREA TO BE REDONE, WILL REMAIN AS EXISTING

7. ALL AREAS OF EXISTING STUCCO WILL REMAIN IN PLACE

8. ALL EXISTING DOORS AND GARAGE DOORS SHALL REMAIN AS EXISTING



EXISTING
DAMAGE

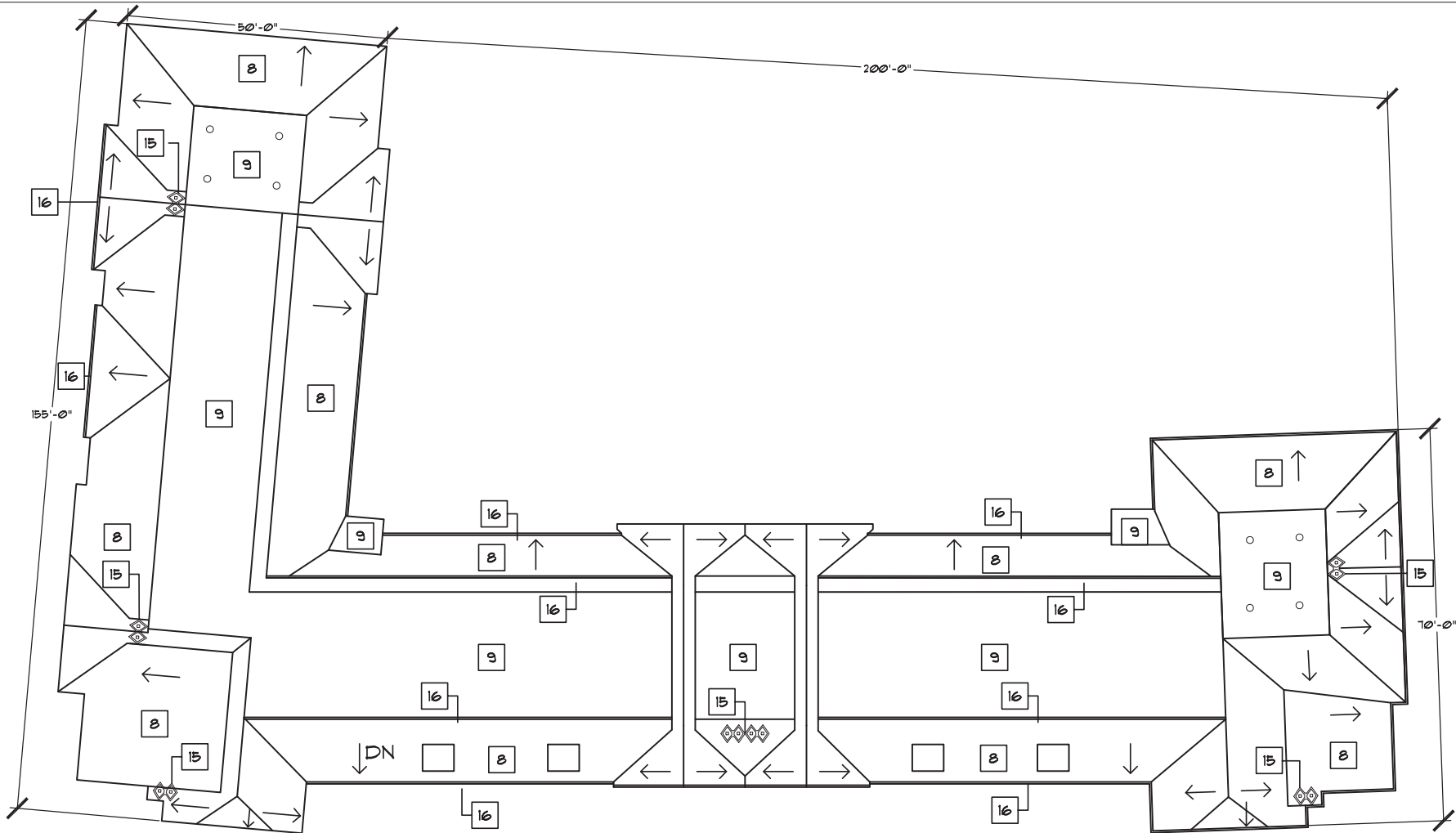
MANAGED BY CASE BOWEN COMPANY
6255 CORPORATE CENTER DR.
DUBLIN, OHIO 43016

RENOVATIONS AND UPGRADES FOR
THE MANOR AT CRAUGHWELL VILLAGE
CONDOMINIUMS
DUBLIN, OHIO 43017

#puckeyinc
P. BROWN INC. ARCHITECTS AND PLANNERS, A.L.A.
10000 W. 12TH AVE., SUITE 100
DENVER, COLORADO 80231
PH: 303.733.8800 FAX: 303.733.8801
WWW.PUCKEYINC.COM

JLB #: 15037

13 DECEMBER 2016



ROOF REPLACEMENT PLAN-BLDG 1
 SCALE: 1" = 20'-0"



CODED NOTES

1. EXISTING BRICK	5. NEW SYNTHETIC TRIM	8. NEW CHAPPARAL CEDAR ASPHALT SHINGLES	13. PROVIDE NEW FLASHING/ METALWORK UNLESS DAMAGED BEYOND REPAIR
2. NEW SYNTHETIC STONE	6. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	9. NEW EPDM ROOF	14. EXISTING GARAGE DOOR
3. NEW BEIGE STUCCO	7. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	10. NEW METAL FLASHING	15. EXISTING CHIMNEY
4. EXISTING STONE TO REMAIN		11. EXISTING CHIMNEY STONE TO REMAIN	16. NEW GUTTERS, METAL WORK
		12. EXISTING WINDOWS (TYP.)	

Handley Inc.
 1000 W. 10th St., Suite 100
 Des Moines, IA 50319
 Phone: 515.281.1111
 Fax: 515.281.1112

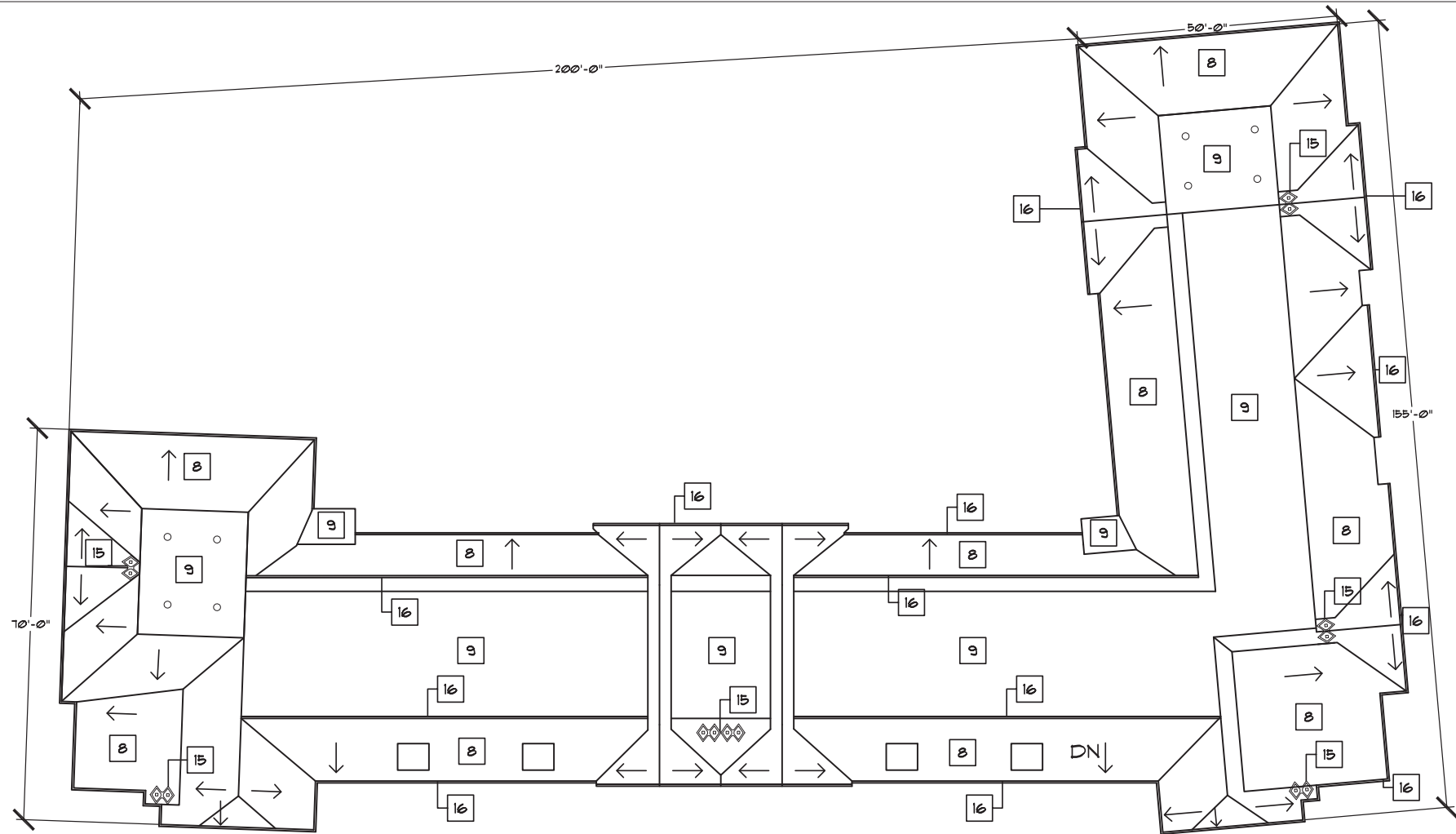
RENOVATIONS AND UPGRADES FOR BUILDING 1
THE MANOR AT CRAUGHWELL VILLAGE
 CONDOMINIUMS
 DUBLIN, OHIO 43017

MANAGED BY CASE BOWEN COMPANY
 6255 CORPORATE CENTER DR.
 DUBLIN, OHIO 43016

ROOF PLAN
 PHASE ONE
 BLDG 1

JLB #: 15037

13 DECEMBER 2016



ROOF REPLACEMENT PLAN-BLDG 2
 SCALE: 1" = 20'-0"



BLDG 2



CODED NOTES

- | | | | |
|-----------------------------|---|---|---|
| 1. EXISTING BRICK | 5. NEW SYNTHETIC TRIM | 8. NEW CHAPPARAL CEDAR ASPHALT SHINGLES | 13. PROVIDE NEW FLASHING/METALWORK UNLESS DAMAGED BEYOND REPAIR |
| 2. NEW SYNTHETIC STONE | 6. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR | 9. NEW EPDM ROOF | 14. EXISTING GARAGE DOOR |
| 3. NEW BEIGE STUCCO | 7. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR | 10. NEW METAL FLASHING | 15. EXISTING CHIMNEY |
| 4. EXISTING STONE TO REMAIN | | 11. EXISTING CHIMNEY STONE TO REMAIN | 16. NEW GUTTERS, METAL WORK |
| | | 12. EXISTING WINDOWS (TYP.) | |

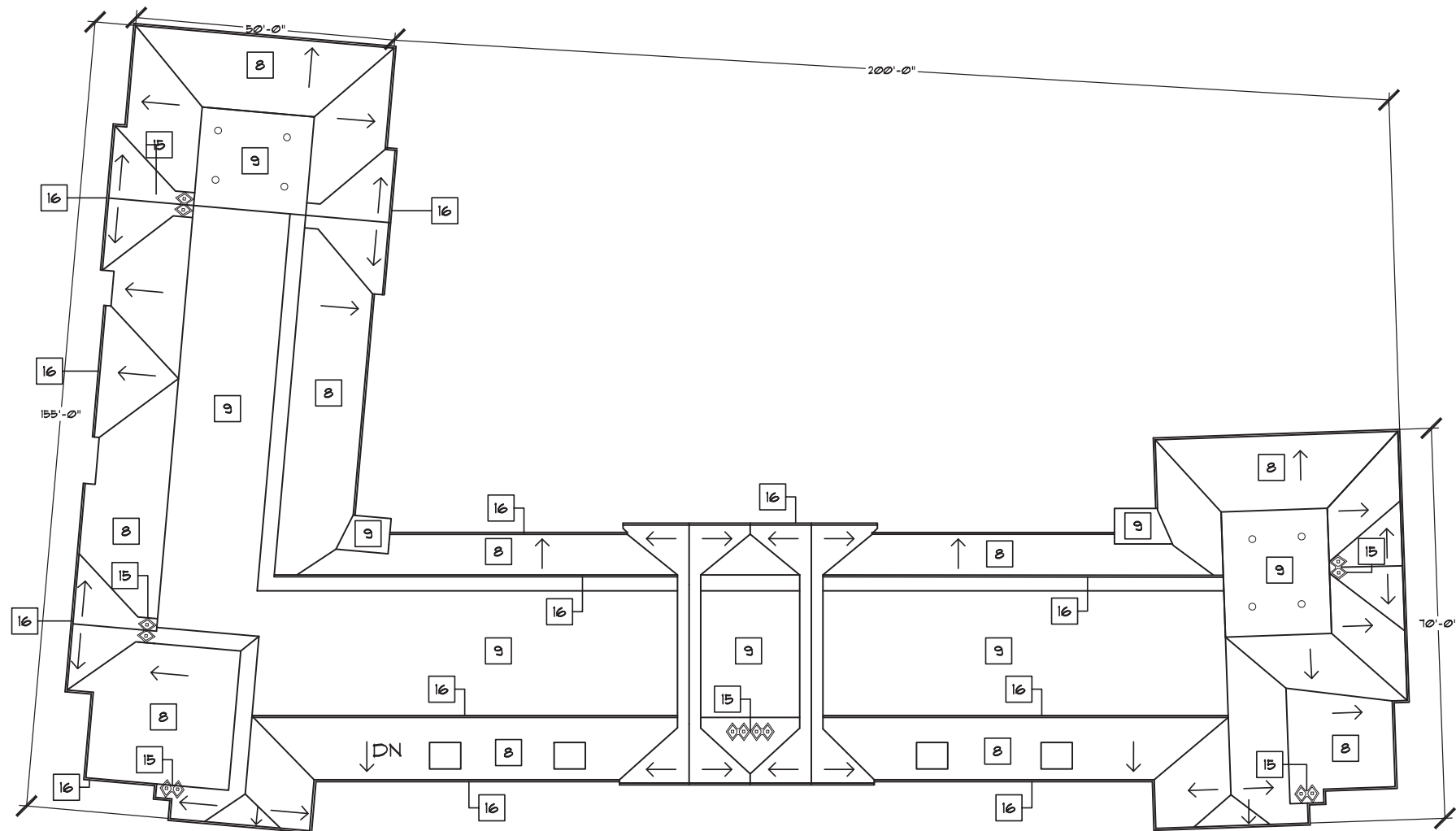
MANAGED BY CASE BOWEN COMPANY
 6255 CORPORATE CENTER DR.
 DUBLIN, OHIO 43016

RENOVATIONS AND UPGRADES FOR BUILDING 2
THE MANOR AT CRAUGHWELL VILLAGE
 CONDOMINIUMS
 DUBLIN, OHIO 43017

Handey Inc.
 10000 W. 12th Ave., Suite 100
 Overland Park, KS 66211
 Phone: 913.241.1100
 Fax: 913.241.1101
 Email: info@handeyinc.com
 JLB #: 15037

13 DECEMBER 2016

ROOF PLAN
 PHASE ONE
 BLDG 2



ROOF REPLACEMENT PLAN-BLDG 3
 SCALE: 1" = 20'-0"



BLDG 3

CODED NOTES

- | | | | |
|-----------------------------|---|---|---|
| 1. EXISTING BRICK | 5. NEW SYNTHETIC TRIM | 8. NEW CHAPPARAL CEDAR ASPHALT SHINGLES | 13. PROVIDE NEW FLASHING/METALWORK UNLESS DAMAGED BEYOND REPAIR |
| 2. NEW SYNTHETIC STONE | 6. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR | 9. NEW EPDM ROOF | 14. EXISTING GARAGE DOOR |
| 3. NEW BEIGE STUCCO | 7. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR | 10. NEW METAL FLASHING | 15. EXISTING CHIMNEY |
| 4. EXISTING STONE TO REMAIN | | 11. EXISTING CHIMNEY STONE TO REMAIN | 16. NEW GUTTERS, METAL WORK |
| | | 12. EXISTING WINDOWS (TYP.) | |

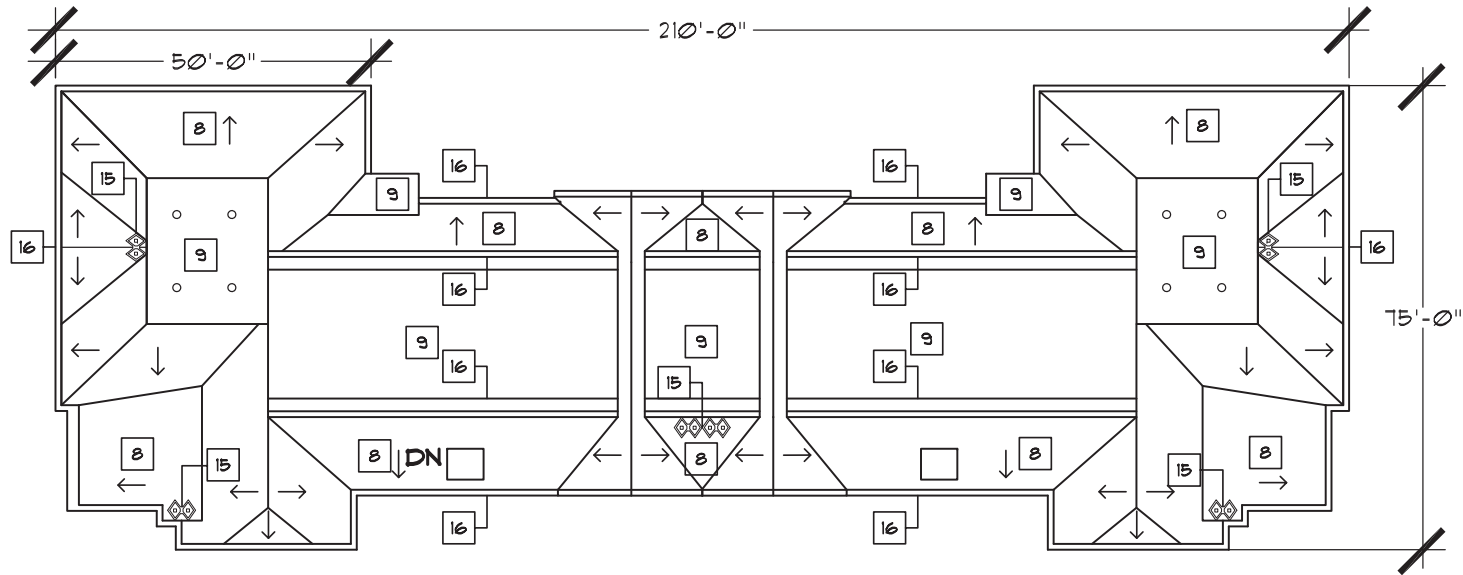
MANAGED BY CASE BOWEN COMPANY
 6255 CORPORATE CENTER DR.
 DUBLIN, OHIO 43016

RENOVATIONS AND UPGRADES FOR BUILDING 3
THE MANOR AT CRAUGHWELL VILLAGE
 CONDOMINIUMS
 DUBLIN, OHIO 43017

ROOF PLAN
 PHASE ONE
 BLDG 3

Haselberg inc.
 10000 Haselberg Ave., Suite 100
 Columbus, OH 43240
 614.291.1111
 JLB #: 15037

13 DECEMBER 2016

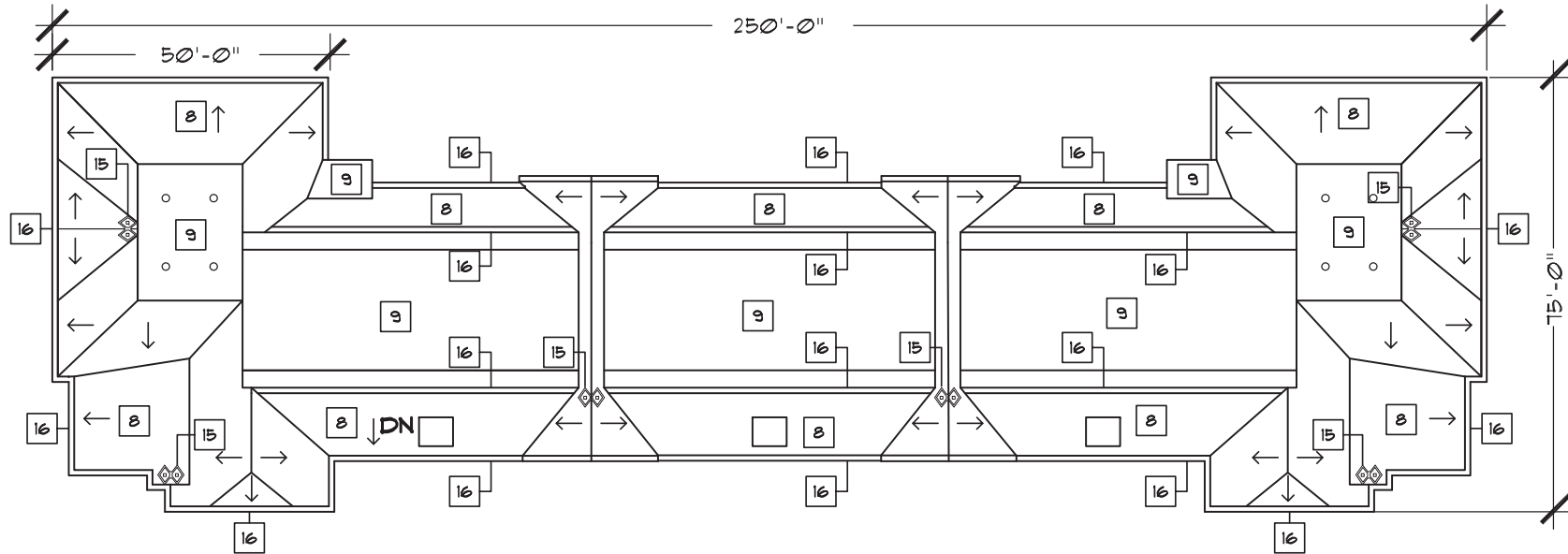


ROOF REPLACEMENT PLAN-BLDG 4
 SCALE: 1" = 20'-0"



CODED NOTES

1. EXISTING BRICK	5. NEW SYNTHETIC TRIM	8. NEW CHAPPARAL CEDAR ASPHALT SHINGLES	13. PROVIDE NEW FLASHING/ METALWORK UNLESS DAMAGED BEYOND REPAIR
2. NEW SYNTHETIC STONE	6. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	9. NEW EPDM ROOF	14. EXISTING GARAGE DOOR
3. NEW BEIGE STUCCO	7. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	10. NEW METAL FLASHING	15. EXISTING CHIMNEY
4. EXISTING STONE TO REMAIN		11. EXISTING CHIMNEY STONE TO REMAIN	16. NEW GUTTERS, METAL WORK
		12. EXISTING WINDOWS (TYP.)	



ROOF REPLACEMENT PLAN-BLDG 5
 SCALE: 1" = 20'-0"



CODED NOTES

- | | | | |
|-----------------------------|---|---|---|
| 1. EXISTING BRICK | 5. NEW SYNTHETIC TRIM | 8. NEW CHAPPARAL CEDAR ASPHALT SHINGLES | 13. PROVIDE NEW FLASHING/METALWORK UNLESS DAMAGED BEYOND REPAIR |
| 2. NEW SYNTHETIC STONE | 6. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR | 9. NEW EPDM ROOF | 14. EXISTING GARAGE DOOR |
| 3. NEW BEIGE STUCCO | 7. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR | 10. NEW METAL FLASHING | 15. EXISTING CHIMNEY |
| 4. EXISTING STONE TO REMAIN | | 11. EXISTING CHIMNEY STONE TO REMAIN | 16. NEW GUTTERS, METAL WORK |
| | | 12. EXISTING WINDOWS (TYP.) | |

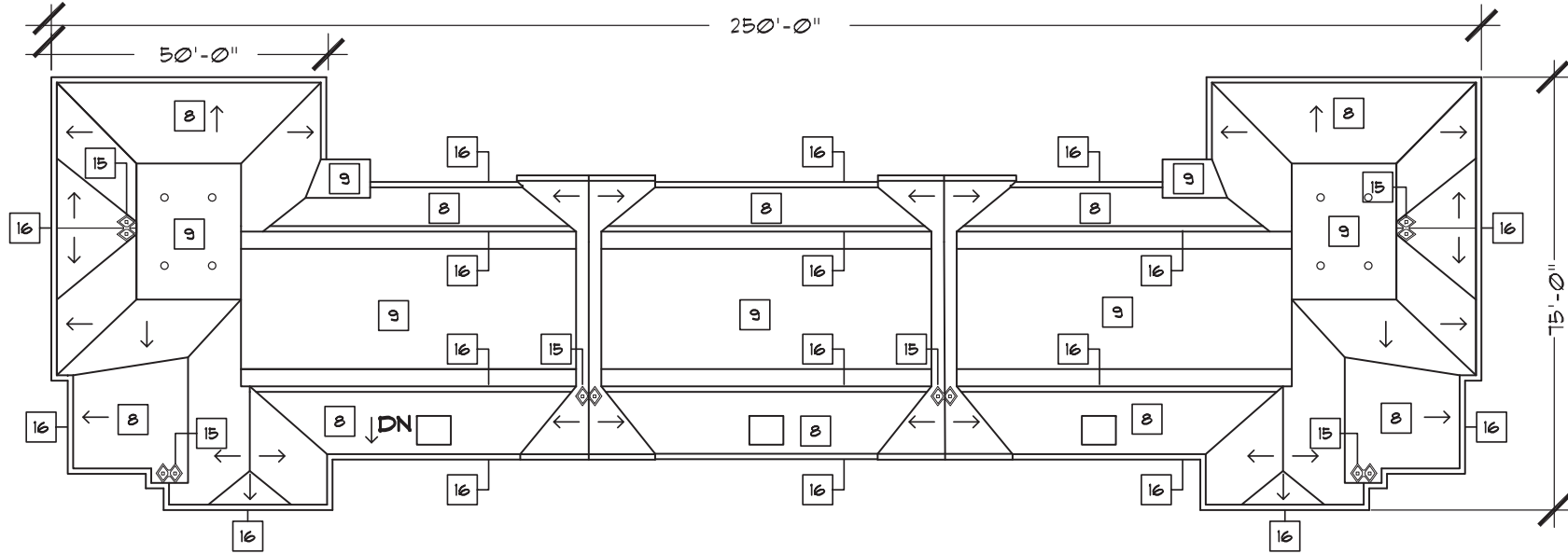
RENOVATIONS AND UPGRADES FOR BUILDING 5
THE MANOR AT CRAUGHWELL VILLAGE
 CONDOMINIUMS
 DUBLIN, OHIO 43017

MANAGED BY CASE BOWEN COMPANY
 6255 CORPORATE CENTER DR.
 DUBLIN, OHIO 43016

ROOF PLAN
 PHASE ONE
 BLDG 5

13 DECEMBER 2016

#parkerinc.
 PARKER INC. ARCHITECTS AND PLANNERS, A.P.A.
 3001 HUNTER DRIVE, SUITE 202, COLUMBUS, OHIO 43221
 PROJECT NO. 16037-01
 JLB #: 16037

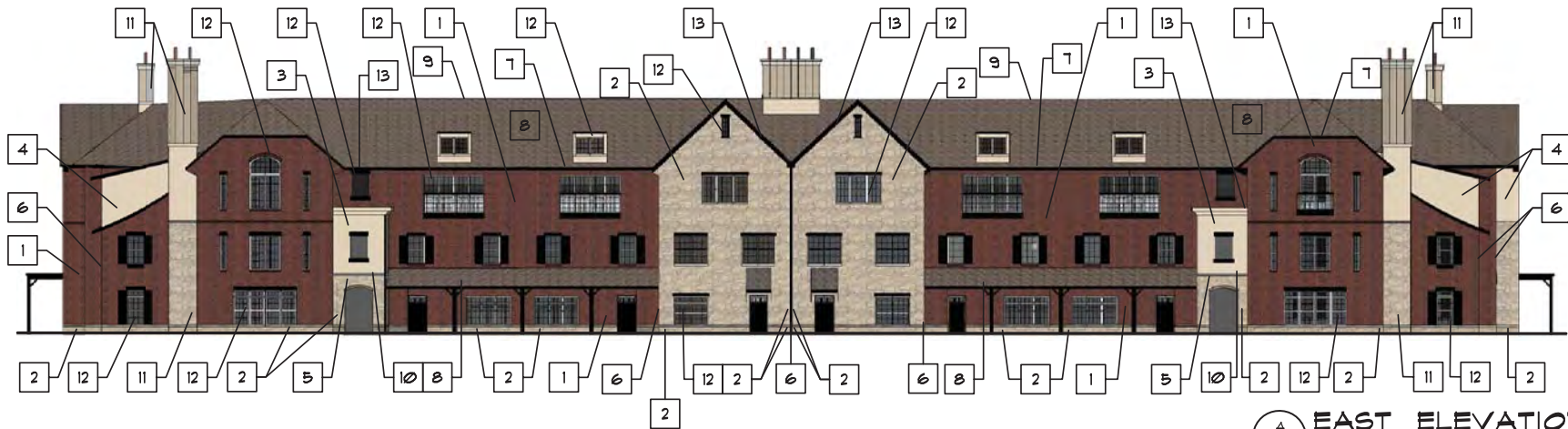


ROOF REPLACEMENT PLAN-BLDG 6
 SCALE: 1" = 20'-0"



CODED NOTES

- | | | | |
|-----------------------------|---|---|---|
| 1. EXISTING BRICK | 5. NEW SYNTHETIC TRIM | 8. NEW CHAPARRAL CEDAR ASPHALT SHINGLES | 13. PROVIDE NEW FLASHING/METALWORK UNLESS DAMAGED BEYOND REPAIR |
| 2. NEW SYNTHETIC STONE | 6. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR | 9. NEW EPDM ROOF | 14. EXISTING GARAGE DOOR |
| 3. NEW BEIGE STUCCO | 7. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR | 10. NEW METAL FLASHING | 15. EXISTING CHIMNEY |
| 4. EXISTING STONE TO REMAIN | | 11. EXISTING CHIMNEY STONE TO REMAIN | 16. NEW GUTTERS, METAL WORK |
| | | 12. EXISTING WINDOWS (TYP.) | |



A EAST ELEVATION
AI-1 SCALE: 1" = 20'-0"



B WEST ELEVATION
AI-1 SCALE: 1" = 20'-0"



BLDG 1

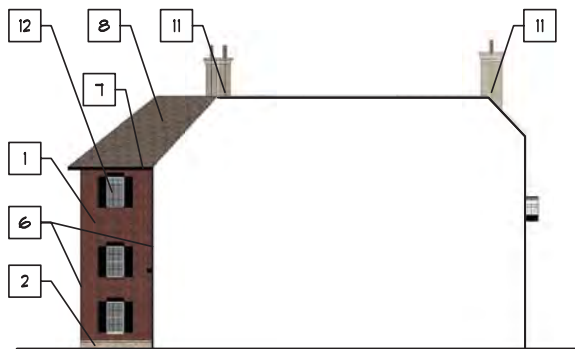
CODED NOTES

1. EXISTING BRICK	5. NEW SYNTHETIC TRIM	8. NEW CHAPARRAL CEDAR SHINGLES	12. EXISTING WINDOWS (TYP.)
2. NEW SYNTHETIC STONE	6. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	9. NEW EPDM ROOF	13. PROVIDE NEW FLASHING/METALWORK UNLESS DAMAGED BEYOND REPAIR
3. NEW BEIGE STUCCO	7. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	10. NEW METAL FLASHING	14. EXISTING GARAGE DOOR
4. EXISTING STUCCO TO REMAIN		11. EXISTING CHIMNEY STONE TO REMAIN	



A NORTH ELEVATION

AI-1 SCALE: 1" = 20'-0"



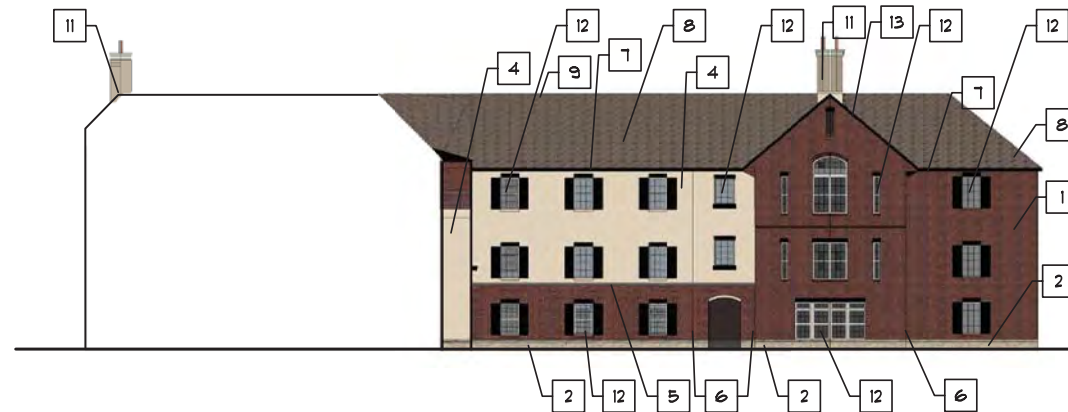
C INSIDE ELEVATION

AI-1 SCALE: 1" = 20'-0"



B SOUTH ELEVATION

AI-1 SCALE: 1" = 20'-0"



D INSIDE ELEVATION

AI-1 SCALE: 1" = 20'-0"



BLDG 1

CODED NOTES

1. EXISTING BRICK	5. NEW SYNTHETIC TRIM	8. NEW CHAPARRAL CEDAR SHINGLES	12. EXISTING WINDOWS (TYP.)
2. NEW SYNTHETIC STONE	6. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	9. NEW EPDM ROOF	13. PROVIDE NEW FLASHING/ METALWORK UNLESS DAMAGED BEYOND REPAIR
3. NEW BEIGE STUCCO	7. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	10. NEW METAL FLASHING	14. EXISTING GARAGE DOOR
4. EXISTING STUCCO TO REMAIN		11. EXISTING CHIMNEY STONE TO REMAIN	



A EAST ELEVATION
 A1-1 SCALE: 1" = 20'-0"



B WEST ELEVATION
 A1-1 SCALE: 1" = 20'-0"



BLDG 2

CODED NOTES

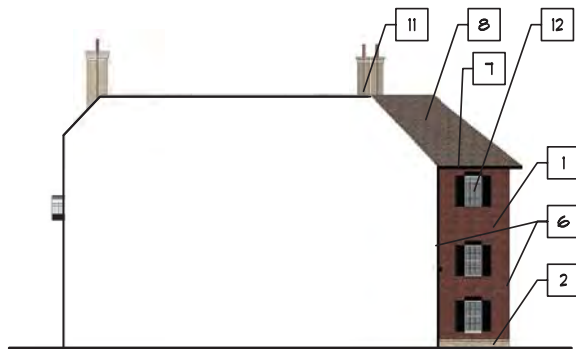
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2. NEW SYNTHETIC STONE	6. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	9. NEW EPDM ROOF	13. PROVIDE NEW FLASHING/ METALWORK UNLESS DAMAGED BEYOND REPAIR
3. NEW BEIGE STUCCO	7. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	10. NEW METAL FLASHING	14. EXISTING GARAGE DOOR
4. EXISTING STUCCO TO REMAIN		11. EXISTING CHIMNEY STONE TO REMAIN	



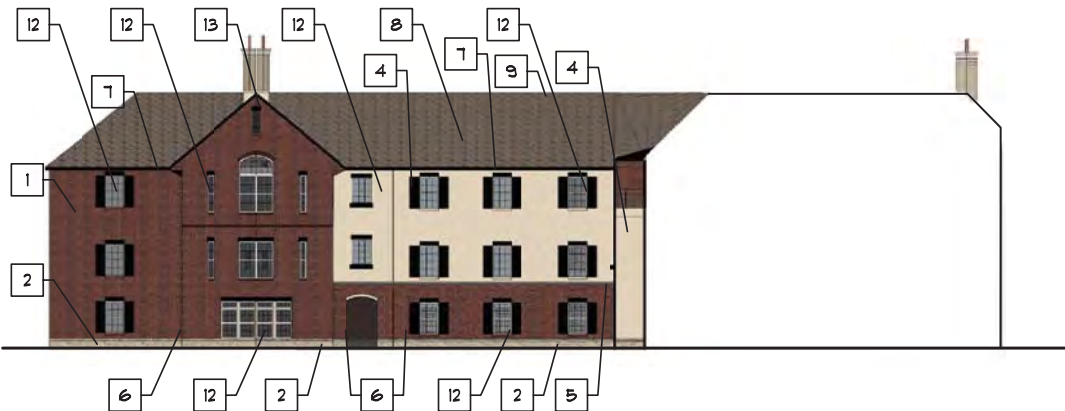
A SOUTH ELEVATION
AI-1 SCALE: 1" = 20'-0"



B NORTH ELEVATION
AI-1 SCALE: 1" = 20'-0"



C INSIDE ELEVATION
AI-1 SCALE: 1" = 20'-0"



D INSIDE ELEVATION
AI-1 SCALE: 1" = 20'-0"



BLDG 2



CODED NOTES

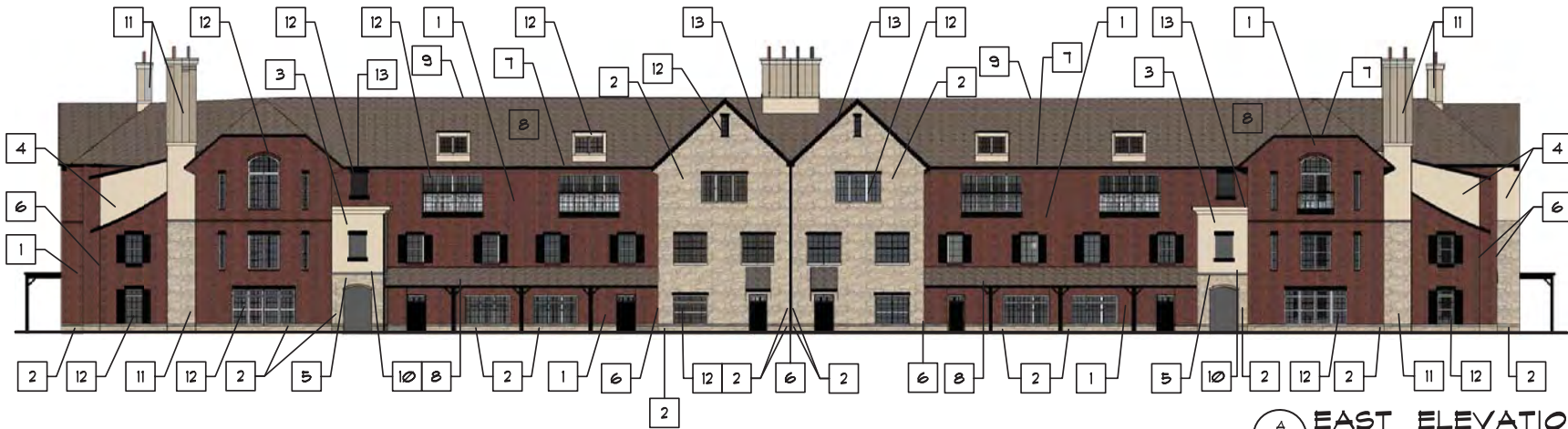
1. EXISTING BRICK	5. NEW SYNTHETIC TRIM	8. NEW CHAPARRAL CEDAR SHINGLES	12. EXISTING WINDOWS (TYP.)
2. NEW SYNTHETIC STONE	6. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	9. NEW EPDM ROOF	13. PROVIDE NEW FLASHING/METALWORK UNLESS DAMAGED BEYOND REPAIR
3. NEW BEIGE STUCCO	7. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	10. NEW METAL FLASHING	14. EXISTING GARAGE DOOR
4. EXISTING STUCCO TO REMAIN		11. EXISTING CHIMNEY STONE TO REMAIN	

RENOVATIONS AND UPGRADES FOR BUILDING 2
THE MANOR AT CRAUGHWELL VILLAGE
CONDOMINIUMS
DUBLIN, OHIO 43017

MANAGED BY CASE BOWEN COMPANY
6255 CORPORATE CENTER DR.
DUBLIN, OHIO 43016
13 DECEMBER 2016

SIDE
ELEVATIONS
BLDG 2

#pdxinc
A. Drexler Inc. Architects and Planners AIA
10000 W. 12th Ave., Suite 200
Denver, CO 80202
P: 303.751.1000 F: 303.751.1002
JLB #: 15037



A EAST ELEVATION
AI-1 SCALE: 1" = 20'-0"



B WEST ELEVATION
AI-1 SCALE: 1" = 20'-0"



BLDG 3



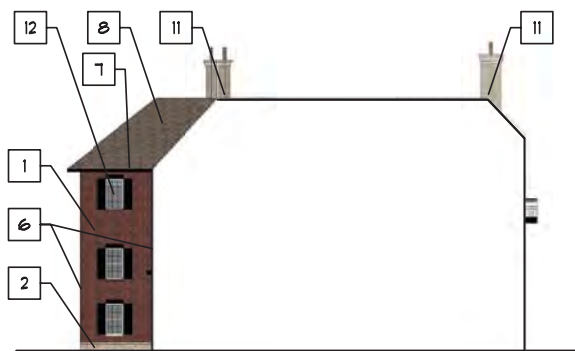
CODED NOTES

1. EXISTING BRICK	5. NEW SYNTHETIC TRIM	8. NEW CHAPARRAL CEDAR SHINGLES	12. EXISTING WINDOWS (TYP.)
2. NEW SYNTHETIC STONE	6. EXISTING DOWNSPOUTS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	9. NEW EPDM ROOF	13. PROVIDE NEW FLASHING/ METALWORK UNLESS DAMAGED BEYOND REPAIR
3. NEW BEIGE STUCCO	7. EXISTING GUTTERS TO REMAIN UNLESS DAMAGED BEYOND REPAIR	10. NEW METAL FLASHING	14. EXISTING GARAGE DOOR
4. EXISTING STUCCO TO REMAIN		11. EXISTING CHIMNEY STONE TO REMAIN	



A NORTH ELEVATION

AI-1 SCALE: 1" = 20'-0"



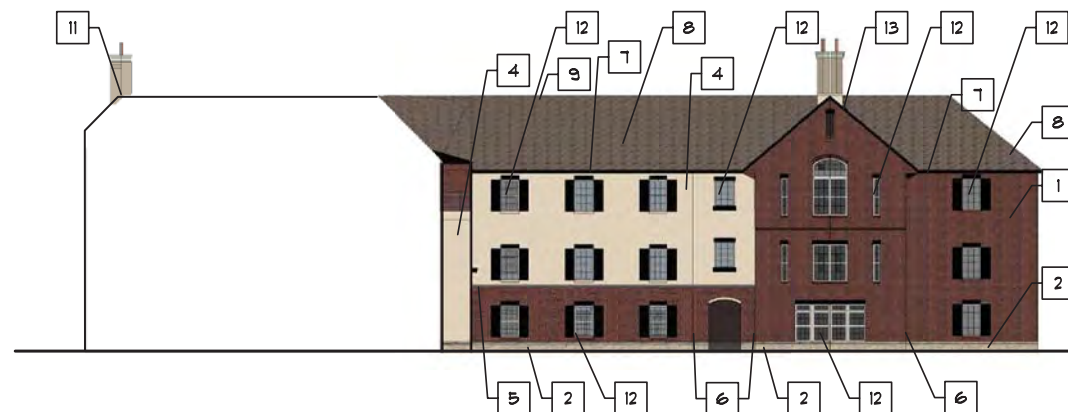
C INSIDE ELEVATION

AI-1 SCALE: 1" = 20'-0"



B SOUTH ELEVATION

AI-1 SCALE: 1" = 20'-0"



D INSIDE ELEVATION

AI-1 SCALE: 1" = 20'-0"



BLDG 3



CODED NOTES

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4. EXISTING STUCCO TO REMAIN		11. EXISTING CHIMNEY STONE TO REMAIN	

RENOVATIONS AND UPGRADES FOR BUILDING 3
THE MANOR AT CRAUGHWELL VILLAGE
CONDOMINIUMS
DUBLIN, OHIO 43017

MANAGED BY CASE BOWEN COMPANY
6255 CORPORATE CENTER DR.
DUBLIN, OHIO 43016

13 DECEMBER 2016

SIDE
ELEVATIONS
BLDG 3

#makepic
A. J. JENSEN INC. ARCHITECTS AND PLANNERS, LLC
10000 RIVERSIDE DRIVE, SUITE 112, COLUMBUS, OHIO 43240
PH: 614.881.1111 FAX: 614.881.1112 WWW.AJJAARCHITECTS.COM

JLB #: 15037



A EAST ELEVATION
AI-1 SCALE: 1" = 20'-0"

B WEST ELEVATION
AI-1 SCALE: 1" = 20'-0"

CODED NOTES

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| 4. EXISTING STUCCO TO REMAIN | | 11. EXISTING CHIMNEY STONE TO REMAIN | |

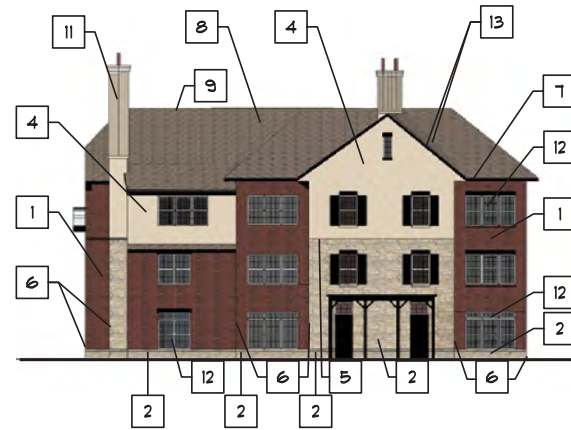


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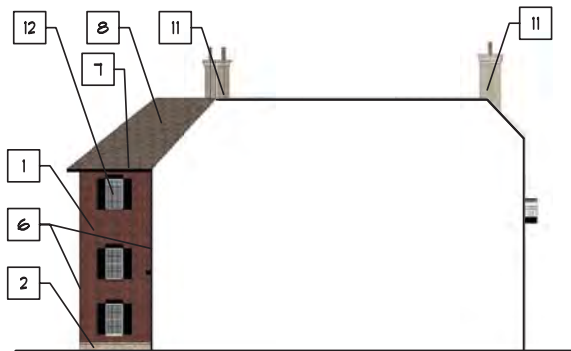




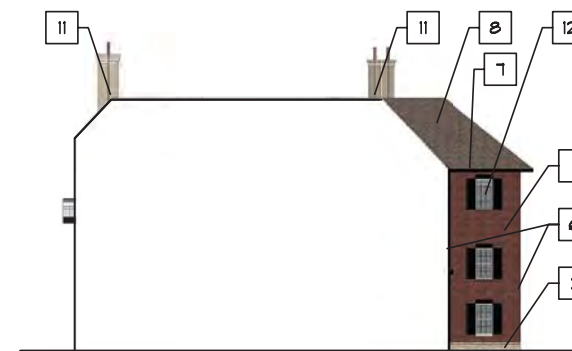
A SOUTH ELEVATION
AI-1 SCALE: 1" = 20'-0"



B NORTH ELEVATION
AI-1 SCALE: 1" = 20'-0"



C INSIDE ELEVATION
AI-1 SCALE: 1" = 20'-0"



D INSIDE ELEVATION
AI-1 SCALE: 1" = 20'-0"

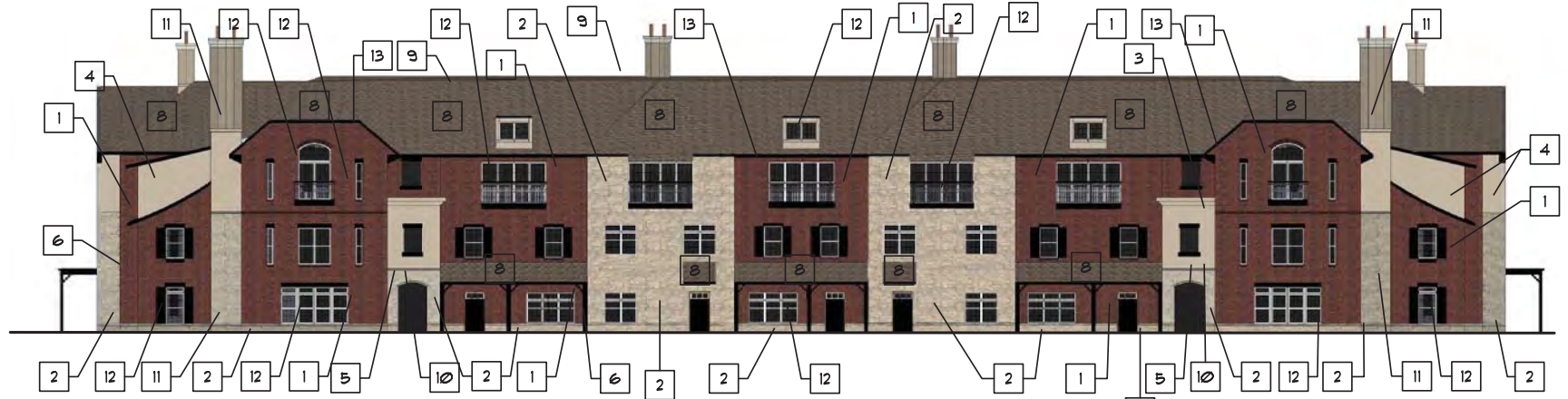


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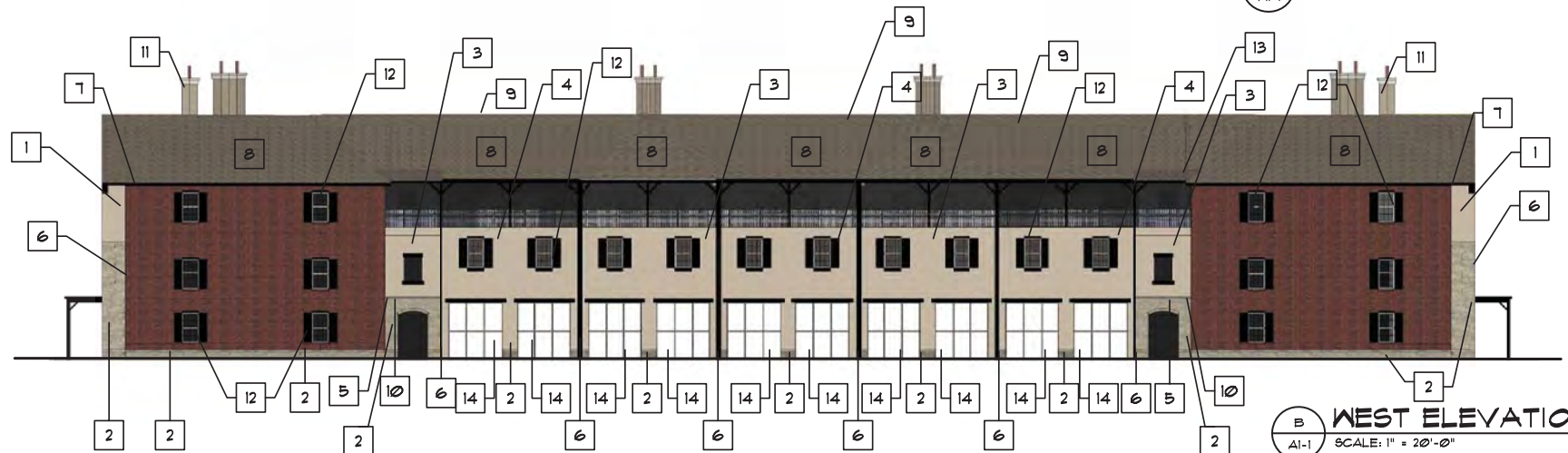


CODED NOTES

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A EAST ELEVATION
AI-1 SCALE: 1" = 20'-0"



B WEST ELEVATION
AI-1 SCALE: 1" = 20'-0"



BLDG 5



CODED NOTES

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Handy Inc.
ARCHITECTURAL
6255 CORPORATE CENTER DR.,
DUBLIN, OHIO 43016
PH: 614.291.1234 FAX: 614.291.1235
WWW.HANDYINC.COM

JLB #: 15037

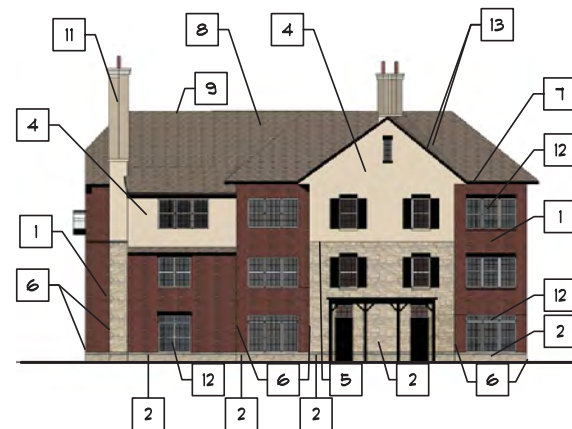
RENOVATIONS AND UPGRADES FOR BUILDING 5
THE MANOR AT CRAUGHWELL VILLAGE
CONDOMINIUMS
DUBLIN, OHIO 43017

MANAGED BY CASE BOWEN COMPANY
6255 CORPORATE CENTER DR.,
DUBLIN, OHIO 43016
13 DECEMBER 2016

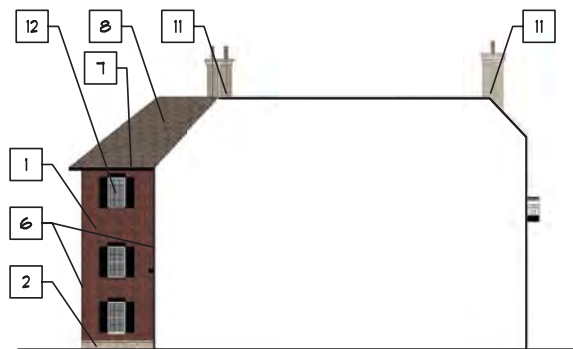
FRONT & REAR
ELEVATIONS
BLDG 5



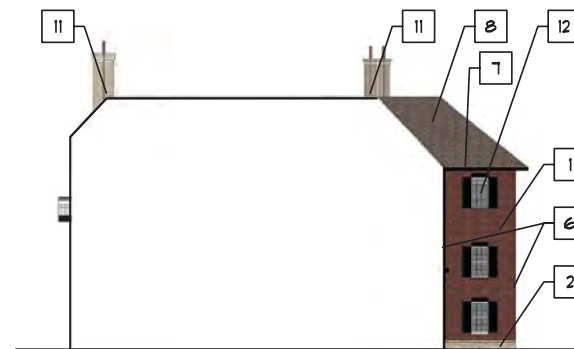
A WEST ELEVATION
AI-1 SCALE: 1" = 20'-0"



B EAST ELEVATION
AI-1 SCALE: 1" = 20'-0"



C INSIDE ELEVATION
AI-1 SCALE: 1" = 20'-0"



D INSIDE ELEVATION
AI-1 SCALE: 1" = 20'-0"



BLDG 5



CODED NOTES

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Case Bowen
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DUBLIN, OHIO 43016

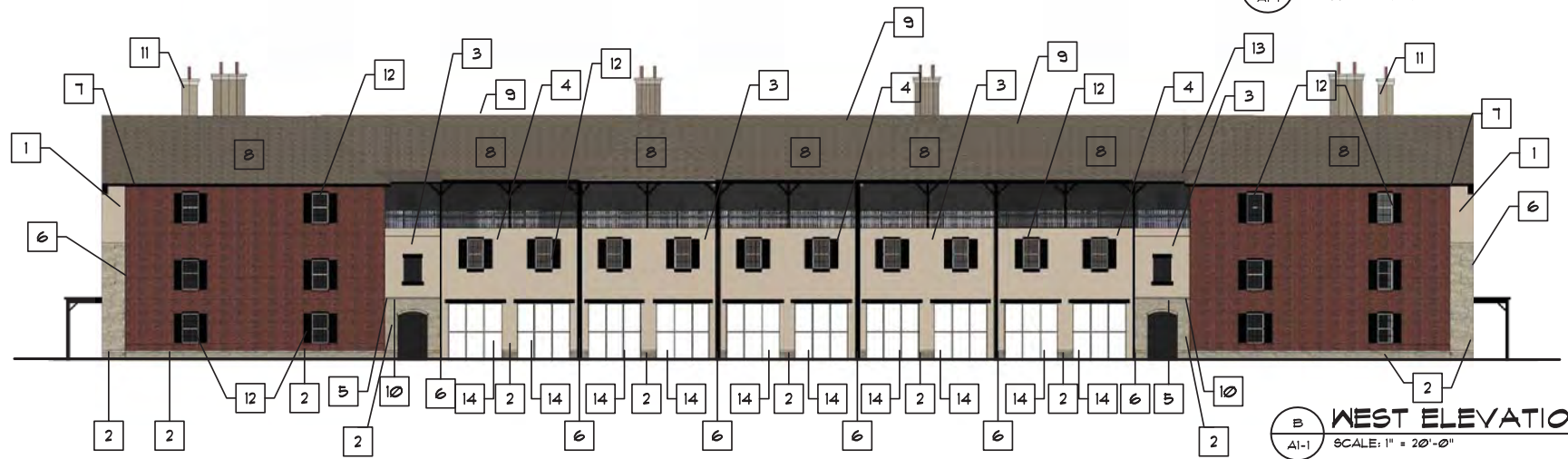
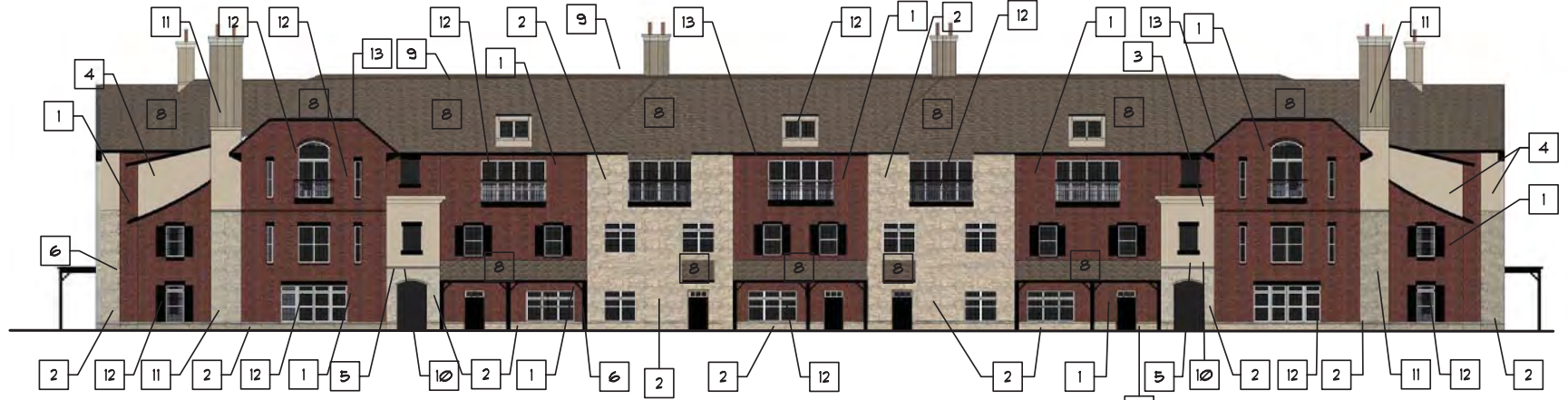
RENOVATIONS AND UPGRADES FOR BUILDING 5
THE MANOR AT CRAUGHWELL VILLAGE
CONDOMINIUMS
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DUBLIN, OHIO 43016

SIDE
ELEVATIONS
BLDG 5

13 DECEMBER 2016

JLB #: 15037



BLDG 6



CODED NOTES

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4. EXISTING STUCCO TO REMAIN		11. EXISTING CHIMNEY STONE TO REMAIN	

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DUBLIN, OHIO 43016

RENOVATIONS AND UPGRADES FOR BUILDING 6
THE MANOR AT CRAUGHWELL VILLAGE
CONDOMINIUMS
DUBLIN, OHIO 43017

13 DECEMBER 2016

FRONT & REAR
ELEVATIONS
BLDG 6

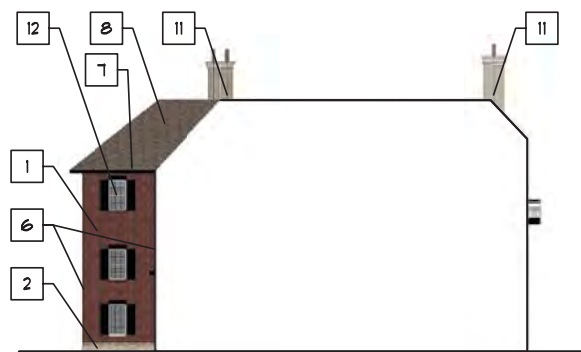
JLB #: 15037



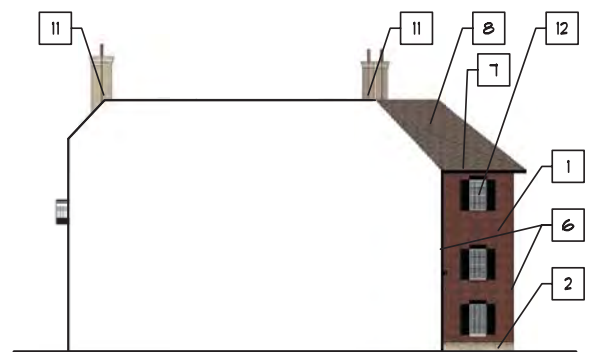
A WEST ELEVATION
AI-1 SCALE: 1" = 20'-0"



B EAST ELEVATION
AI-1 SCALE: 1" = 20'-0"



C INSIDE ELEVATION
AI-1 SCALE: 1" = 20'-0"



D INSIDE ELEVATION
AI-1 SCALE: 1" = 20'-0"



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4. EXISTING STUCCO TO REMAIN		11. EXISTING CHIMNEY STONE TO REMAIN	



BLDG 1



SOUTH EAST PERSPECTIVE

SCALE: NTS



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10000 HARKNESS DRIVE, SUITE 100
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PH: 614.885.1111 FAX: 614.885.1112
WWW.HARKNESSINC.COM JLB #: 15037

RENOVATIONS AND UPGRADES FOR BUILDING 1
THE MANOR AT CRAUGHWELL VILLAGE
CONDOMINIUMS
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13 DECEMBER 2016

RENDERING -
BLDG 1 FRONT



BLDG 1



SOUTH WEST PERSPECTIVE

SCALE: NT9



JLB #: 15037

RENOVATIONS AND UPGRADES FOR BUILDING 1
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RENDERING -
 BLDG 1 FRONT



BLDG 1



NORTH EAST PERSPECTIVE

SCALE: NT9

JLB #15037

RENOVATIONS AND UPGRADES FOR BUILDING 1

THE MANOR AT CRAUGHWELL VILLAGE

CONDOMINIUMS

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DUBLIN, OHIO 43016

13 DECEMBER 2016

RENDERING -

BLDG 1 BACK



BLDG 5



SOUTH PERSPECTIVE

SCALE: NTS

#Haskerinc
 Hasker Inc. Architects & Planners, LLC
 10000 Riverchase Dr., Suite 100, Columbus, Ohio 43240
 614.491.1111 | www.haskerinc.com

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RENOVATIONS AND UPGRADES FOR BUILDING 5
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RENDERING -
 BLDG 5 FRONT



BLDG 5



SOUTH EAST PERSPECTIVE

SCALE: NTS

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RENOVATIONS AND UPGRADES FOR BUILDING 5
THE MANOR AT CRAUGHWELL VILLAGE
CONDOMINIUMS
DUBLIN, OHIO 43017

#HendryInc
H. HENDRY INC. ARCHITECTS AND PLANNERS, A.L.A.
PRACTICE ADDRESS: 10000 E. 10TH AVE., SUITE 100
DENVER, CO 80231

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RENDERING -
BLDG 5 FRONT



BLDG 5



NORTH PERSPECTIVE
SCALE: NT5

#Hardscape
A Hardscape Inc. Architects & Planners, LLC
10000 Riverchase Drive, Suite 100, Columbus, Ohio 43240
PHOTOGRAPHY BY JEFFREY J. COOK PHOTOGRAPHY

JLB #: 15037

RENOVATIONS AND UPGRADES FOR BUILDING 5
THE MANOR AT CRAUGHWELL VILLAGE
CONDOMINIUMS
DUBLIN, OHIO 43017

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RENDERING -
BLDG 5 BACK



EXISTING MATERIALS



PROPOSED MATERIALS

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DUBLIN, OHIO 43016

13 DECEMBER 2016

RENOVATIONS AND UPGRADES FOR
THE MANOR AT CRAUGHWELL VILLAGE
CONDOMINIUMS
DUBLIN, OHIO 43017

Handwritten signature
J. BROWN, INC. ARCHITECTS AND PLANNERS, A.L.A.
10000 W. 12TH AVE., SUITE 100
DENVER, COLORADO 80231
PH: 303.733.1111 FAX: 303.733.1112

JLB #: 15037

EXISTING VS.
PROPOSED
MATERIALS



CHAPARRAL CEDAR (ALL BUILDINGS)

SHINGLES ARE FROM THE PRESIDENTIAL SHAKE SERIES BY THE CERTAINTEED ROOF SHINGLE COMPANY INSTALLED WITH NEW 30 UNDERLAYMENT AND CONTINUOUS PERIMETER SNOW AND ICE GUARD PROTECTION.

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13 DECEMBER 2016

RENOVATIONS AND UPGRADES FOR
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CONDOMINIUMS
DUBLIN, OHIO 43017

#hardyinc.
A. HARDY INC. ARCHITECTS AND PLANNERS, A.L.A.
3000 N. HIGHWAY 100, SUITE 100, DUBLIN, OHIO 43017
PHOTOGRAPH BY JAMES LEE, LEE & BOWEN

JLB #: 15037

ROOF
SHINGLE
SAMPLES

Planning Report

Thursday, February 16, 2012

Perimeter Center PCD – Key Bank

Case Summary

Agenda Item	3
Case Number	12-006AFDP
Proposal	A change in roofing material from cedar shake shingles to asphalt shingles for an existing retail building within Subarea E of the Perimeter Center Planned Commerce District located on the north side of Perimeter Loop Road, approximately 250 feet east of the intersection with Avery-Muirfield Drive.
Request	Amended Final Development Plan. Review and approval of an amended final development plan under the Planned District provisions of Zoning Code Section 153.050.
Site Location	6820 Perimeter Loop Road.
Property Owner	Valerie Swiatek, Rennob Inc.
Applicant	Key Bank, represented by Scott D. Wallenhorst, Vocor.
Case Managers	Claudia D. Husak, AICP, Planner II (614) 410-4675 chusak@dublin.oh.us Rachel Beck, Planning Assistant (614) 410-4663 rbeck@dublin.oh.us
Planning Recommendation	Approval with Condition In Planning's analysis, this proposal complies with the development text, the amended final development plan criteria and existing development in the area. Planning recommends approval with one condition. 1) That cedar shingles no longer be required at 6820 Perimeter Loop Road.



City of Dublin
Land Use and
Long Range Planning

12-006AFDP
Amended Final Development Plan
Perimeter Center, Subarea E
Key Bank Roof Materials
6820 Perimeter Loop Road



Facts

Site Area	1.68 acres, overall parcel
Zoning	PCD, Planned Commerce District (Perimeter center)
Surrounding Zoning and Uses	All immediately adjacent sites to the north, west and south are zoned PCD within Perimeter Center, Subarea E and include Swan Cleaners, Chase Bank, McDonald's, the BP Gas Station, and Donato's Pizza. To the east is the Giant Eagle Shopping Center which is within Perimeter Center, Subarea F4
Site Features	<ul style="list-style-type: none"> An existing 3,800 square-foot bank with a drive-thru teller window and ATM located on the east elevation. An existing cedar shake shingle roof Access from Perimeter Loop Road
Case Background	<p>1988 The site was rezoned as part of the Perimeter Center PCD, Subarea E which permits offices, gas stations, restaurants, and banks.</p> <p>1998 The Planning and Zoning Commission approved the final development plan for Delaware County Bank and Donato's Pizza with the condition that the building be modified to include a cedar shingle roof.</p>
Perimeter Center, Subarea E History	<p><i>Planning and Zoning Commission</i></p> <p>1990: Approved asphalt shingles as part of the Development Plans for McDonald's and Bank One (now Chase).</p> <p>1991: Approved asphalt shingles for the 5/3 Bank Development Plan.</p> <p>1994: Approved cedar shake shingles for the Revised Development Plan for BP Oil.</p> <p>1996: Approved asphalt shingles for the Swan Cleaners and adjacent Medical Office Building Development Plan.</p> <p>1999: Approved cedar shake shingles for the Shell Gas Station Development Plan.</p> <p>2003: Approved asphalt shingles for the Revised Development Plan for 5/3 Bank.</p>

Details

Amended Final Development Plan

Plan Overview	The amended final development plan for this application requests a change in roof materials from cedar shake shingles to asphalt shingles
---------------	---

Details

Amended Final Development Plan

Building and Site Modifications	<p>The existing building has a cedar shake shingle roof which matches the roof materials on Donato's Pizza located on the same parcel. The cedar shingles were required as a condition of approval for the final development plan in 1998 because the Commission wanted the buildings to be consistent with those in Subarea F of Perimeter Center (including the shopping center), which requires cedar shingle roofs. The development text for Subarea E, however, permits either cedar shingles or asphalt shingles, and of the 8 buildings in Subarea E, 4 have cedar shingles and 4 have asphalt shingles.</p> <p>Due to maintenance issues, the applicant is proposing to replace the existing cedar shingles with a cedar-colored GAF, Grand Sequoia Shingle, which is an asphalt shingle designed to look like cedar shingles. The shingle design uses over-sized tabs to create a wood-shake look which will make the roof materials look similar to the adjacent buildings in Perimeter Center. The shingle exceeds the 325 pound weight requirement specified in the development text.</p>
---------------------------------	---

Analysis

Amended Final Development Plan

Process	Section 153.050 of the Zoning Code identifies criteria for the review and approval for an amended final development plan (full text of criteria attached). Following is an analysis by Planning based on those criteria.
1) Consistency with the approved preliminary development plan.	<i>Criterion met:</i> The proposed roofing material meets the requirements of the development text for Subarea E which permits either cedar shingles or asphalt shingles. The applicant is proposing an asphalt shingle that closely resembles cedar shingles in appearance to make the roof materials compatible with adjacent buildings in Perimeter Center.
2) Traffic & pedestrian safety	Not Applicable.
3) Adequate public services & open space	Not Applicable.
4) Protection of natural features & resources	Not Applicable.
5) Adequacy of lighting	Not Applicable.
6) Signs consistent with preliminary development plan	Not Applicable.
7) Appropriate landscaping to enhance, buffer, & soften the building and site	Not Applicable.

RENOVATIONS AND UPGRADES FOR
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DUBLIN, OHIO 43016

PRECEDENT
STUDY
PRIOR CASE
KEY BANK

Analysis

Amended Final Development Plan	
8) <i>Compliant stormwater management</i>	Not Applicable.
9) <i>All phases comply with the previous criteria.</i>	Not Applicable.
10) <i>Compliance with other laws & regulations.</i>	Not Applicable.

Recommendation

Amended Final Development Plan	
Approval	In Planning's analysis, this proposal complies with the development text, the amended final development plan criteria and existing development in the area. Planning recommends approval of this request with one condition.
Conditions	1) That cedar shingles no longer be required at 6820 Perimeter Loop Road.



AMENDED FINAL DEVELOPMENT PLAN

The purpose of the Planned Unit Development process is to encourage imaginative architectural design and proper site planning in a coordinated and comprehensive manner, consistent with accepted land planning, landscape architecture, and engineering principles. The PUD process consists of up to three stages:

- 1) Concept Plan (Staff, Commission, and/or City Council review and comment);
- 2) Zoning Amendment Request (Preliminary Development Plan; Commission recommends and City Council approves/denies); and
- 3) **Amended/Final Development Plan (Commission approves/denies).**

The intent of the final development plan is to show conformance with and provide a detailed refinement of the total aspects of the approved preliminary development plan (rezoning). The final development plan includes all of the final details of the proposed development and is the final stage of the PUD process. The Commission may approve as submitted, approve with modifications agreed to by the applicant, or disapprove and terminate the process. If the application is disapproved, the applicant may respond to Planning and Zoning Commission's concerns and resubmit the plan. This action will be considered a new application for review in all respects, including payment of the application fee. Appeal of any action taken by the Commission shall be to the Court of Common Pleas in the appropriate jurisdiction. Following approval by the Commission, the applicant may proceed with the building permit process. In the event that updated citywide standards are applicable, all subsequently approved final development plans shall comply with the updated standards if the Planning and Zoning Commission determines that the updated standards would not cause undue hardship.

Review Criteria

In accordance with Section 153.053(B) *Plan Approval Criteria*, the Code sets out the following criteria of approval for a final development plan:

- 1) The plan conforms in all pertinent respects to the approved preliminary development plan provided, however, that the Planning and Zoning Commission may authorize plans as specified in §153.053(E)(4);
- 2) Adequate provision is made for safe and efficient pedestrian and vehicular circulation within the site and to adjacent property;
- 3) The development has adequate public services and open spaces;
- 4) The development preserves and is sensitive to the natural characteristics of the site in a manner that complies with the applicable regulations set forth in this Code;
- 5) The development provides adequate lighting for safe and convenient use of the streets, walkways, driveways, and parking areas without unnecessarily spilling or emitting light onto adjacent properties or the general vicinity;
- 6) The proposed signs, as indicated on the submitted sign plan, will be coordinated within the Planned Unit Development and with adjacent development; are of an appropriate size, scale, and design in relationship with the principal building, site, and surroundings; and are located so as to maintain safe and orderly pedestrian and vehicular circulation;
- 7) The landscape plan will adequately enhance the principal building and site; maintain existing trees to the extent possible; buffer adjacent incompatible uses; break up large expanses of pavement with natural material; and provide appropriate plant materials for the buildings, site, and climate;
- 8) Adequate provision is made for storm drainage within and through the site which complies with the applicable regulations in this Code and any other design criteria established by the City or any other governmental entity which may have jurisdiction over such matters;
- 9) If the project is to be carried out in progressive stages, each stage shall be so planned that the foregoing conditions are complied with at the completion of each stage; and
- 10) The Commission believes the project to be in compliance with all other local, state, and federal laws and regulations.

Handwritten signature
JLB # 15037

RENOVATIONS AND UPGRADES FOR
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MANAGED BY CASE BOWEN COMPANY
6255 CORPORATE CENTER DR.
DUBLIN, OHIO 43016

13 DECEMBER 2016

PRECEDENT
STUDY
PRIOR CASE
KEY BANK



GIANT EAGLE ROOF



SIMILAR SHINGLE SHAKE - KEY BANK BLDG



CHAPARRAL CEDAR SAMPLE



#Hardscaping
A. Bowen Inc. Acquires and Replaces A.A.
3000 River View Dr. 102, Columbus, OH 43215
PH: 614.291.1111 FAX: 614.291.1112 Email: info@ahardscaping.com

JLB #: 15037

RENOVATIONS AND UPGRADES FOR
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13 DECEMBER 2016

ROOF
SHINGLE
COMPARISON



CHAPARRAL CEDAR SHAKES - EARLINGTON PARK BUILDING, DUBLIN OHIO

#Hardscaping
 A Hard Hat Architecture & Design LLC
 13000 Arroyo Drive, Suite 100, Dublin, Ohio 43016
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RENOVATIONS AND UPGRADES FOR
THE MANOR AT CRAUGHWELL VILLAGE
CONDOMINIUMS
 DUBLIN, OHIO 43017

MANAGED BY CASE BOWEN COMPANY
 6255 CORPORATE CENTER DR.
 DUBLIN, OHIO 43016
 13 DECEMBER 2016

ROOF
 MATERIAL
 EXAMPLE

JLB #15037



SYNTHETIC STONE

SYNTHETIC STONE SHALL BE SUPPLIED BY STONE CRAFT INDUSTRIES AND INSTALLED BY THE REITTER STUCCO COMPANY. SECTION OF THE MATERIAL IS "HERITAGE OHIO" AND VERY CLOSELY MATCHES THE ORIGINAL MATERIAL IN BOTH COLOR AND TEXTURE.



JLB #: 15037

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REPLACEMENT
SYNTHETIC
STONE
SAMPLE



BEIGE STUCCO (LIMESTONE FOR ALL)

STUCCO SELECTIONS

STUCCO MATERIAL IS A HYBRID NEWLY DEVELOPED PRODUCT FOR THIS INSTALLATION BY THE MULTI:TEX PAREX CORP AS INSTALLED BY REITTER STUCCO CO. MATERIAL IS A 3-COAT INSTALLATION OVER GALVANIZED STEEL LATH AND THE OUT COAT IS A SYNTHETIC LAYER WITH A "DAUB" TEXTURE WHICH CLOSELY MATCHES EXISTING MATERIAL



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STUCCO
SAMPLE



Lisa Pearson <lpearson@casebowen.com>

Cedar Shingle

1 message

Judith Bode <heyjudebo@gmail.com>
To: lpearson@casebowen.com

Fri, Dec 2, 2016 at 7:53 PM

My husband and I feel it would be a big mistake to use cedar shingles again on the Craughwell Manor condos. In the two years we have lived here, it has looked quite shabby, with missing and twisted shingles on the roofs. The cedar also is conducive to the growth of moss, lichens, and fungus, which really is an eyesore, an example of deferred maintenance. I have picked up many shingles on the lawn that have fallen off the roof. That is unacceptable to have that happening. So why repeat the same mistake of another cedar shingle roof?? Asphalt shingles would have a much better appearance, especially if the "architectural" style of asphalt shingles were used, as they resemble slate, which is definitely "high end". And of course, they are warranted for 30 to 50 years.

Typical Dublin summers include a long drought period. Cedar shingles, always a fire hazard, would be especially vulnerable than from fireplace embers, fireworks, careless smokers, etc.

Because Western Red Cedar is becoming more rare, it is becoming cost prohibitive. As owners, we feel that our HOA dollars should go to provide the best value for our homes. And that definitely means NO MORE CEDAR SHINGLES!!!!

Thank you for letting us share our opinions.

Sincerely, Judith and William Bode

6225 Craughwell Lane, Dublin, Ohio 43017



Lisa Pearson <lpearson@casebowen.com>

Re: Manor @ Craughwell Village Condominium Association - Important Notice

Garth Kerr <garthkerr@gmail.com>

Tue, Nov 29, 2016 at 11:22 AM

To: "Manor @ Craughwell Village Condominium Association - Lisa Pearson" <lpearson@casebowen.com>

Lisa, please let me know if I can be of further assistance. Parse as needed:

Zoning Commission:

I am disappointed you have decided not to support our application for our beautification initiative. I have a few reasons why you should reconsider supporting this measure:

1. Our association engineers have thoughtfully come up with a detailed plan and outstanding materials for the project. This is not a short-sighted initiative.
2. The building materials have absolutely no negative to the overall visual appeal of our properties.
3. The building materials will last longer, and are a more **environmentally conscious choice**; in-line with Dublin's self-proclaimed green initiatives.
4. The existing shingles can be potentially hazardous in high-wind, and are far less resilient than their replacements.
5. The entire community is excited about this revitalization effort, improved curb appeal, and potential increases to property values.

I appreciate the strong zoning standards in Dublin, and this request in concert with those standards. We are surrounded by other residential properties that have similar materials to the ones that we are proposing. That said, Craughwell will continue to retain it's own distinct character with these updates, and be in a better position to maintain and provide property improvements in the future.

Garth R. Kerr

#parkerinc.
P. PARKER INC. ARCHITECTS AND PLANNERS, AIA
PROFESSIONAL FIRM
10000 PARKER DRIVE, SUITE 100
DUBLIN, OHIO 43017
JLB # 15037

RENOVATIONS AND UPGRADES FOR
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TESTIMONIALS



Lisa Pearson <lpearson@casebowen.com>

Craughwell Manor

Andy Trux <andrewtrux@cs.com>
To: lpearson@casebowen.com

Thu, Dec 1, 2016 at 3:53 PM

I was one of the owners in attendance at the Dublin Planning and Zoning Commission meeting at which the Craughwell Manor face lift was discussed and subsequently tabled.

I walked out of that meeting in stunned disbelief.

First - what is the purpose of having the staff review and make recommendations when the Board opts to totally ignore the staff's recommendation for passage by acclamation? Why have a staff make recommendations when they are arbitrarily ignored.

Second, and most important, I am totally dismayed by the Commission's cavalier attitude that the cost of building materials has no impact on their decision, that the financial component is irrelevant.

As an owner, I believe that the Commission works FOR the people of this community, that the financial impact MUST be taken into account - especially when the assessment to mitigate the damages can be 15% - 20% or higher of the appraised value of the units.

This is not an inconsequential cost to any of the owners.

I can understand the desire to have shake shingles where they are very obvious - for example, on the club house. But they are not required on the existing garages where they are out of view, and they should not be required on the main roof, three stories up, where the difference between shake and asphalt shingles are not readily apparent to the naked eye.

As a Dublin voter and tax payer, my desire is to have the commission take into account the financial burdens that their actions entail. The application presented by Craughwell does not detract from the quality appearance of the buildings.

Andy Trux

Owner
6211 Craughwell Lane
Dublin, OH 43017
614.791.9203



Lisa Pearson <lpearson@casebowen.com>

Reasons for my "yes" vote to the Craughwell Amendment

Linda Bollie <lindabollie@hotmail.com>
To: Lisa Pearson <lpearson@casebowen.com>

Mon, Dec 5, 2016 at 10:12 PM

I have lived at Craughwell since 2005. I want the character and "look" to remain at Craughwell. I believe it will remain and look better with the proposed amendment. The asphalt shingles that are on all of our garages still look great after all these years. They far outlast the shake singles. I don't believe a reduction of stone will hurt the character we want to keep at Craughwell. A new look, a better look, with the proposed Amendment will help our community retain the character of Craughwell with the least financial burden. We are still recovering from the down fall of the real estate market. The assessment we will have to pay for the Amendment will be a strain on many of the owners. A higher assessment that will result from using shake shingles and replacing the same about of stone will break some owners financially! Linda Bollie 6111 Craughwell Lane



Lisa Pearson <lpearson@casebowen.com>

RE: Manor @ Craughwell Village Condominium Association - Important Notice

Alice Weiland <aewanwolf@aol.com>
To: lpearson@casebowen.com

Sun, Dec 4, 2016 at 8:52 PM

Hi Lisa,

Please feel free to share my feedback with the Planning and Zoning Board of Dublin concerning our cost savings restoration proposal.

Thank you for all your efforts!

To the City of Dublin:

When I purchased my "Condo" which was originally an apartment ten years ago, I never imagined the city of Dublin would dictate what type of shingles would need to be used in a roof replacement, not to mention the most costly and less practical for this climate. Through the years we (property owners) have been plagued with significant association fee increases due to the lack of proper construction and materials when this complex was constructed. To this day, I struggle to understand how this structure ever passed inspection by the city of Dublin and now we are all asked to come up with an average of \$15K over and above the increased association fees.

I have had my property up for sale for over a year now and have had many interested parties until the \$15K assessment is disclosed and everyone runs the other way. Soon, like many others I'm going to be forced to either rent my property out and hope to break even or walk away from it.

I look across the street and see beautiful condos with asphalt roofs and on the other side, businesses with asphalt roofs. Do you really believe anyone is going to notice whether we have asphalt or shake shingles on our roof or if we use more expensive material or less expensive material on our siding? But, I'm sure they will notice that Craughwell Village has become another rental complex with residents constantly moving in and out and properties being foreclosed on because the property owners' association fees have become greater than their mortgage payments.

Please consider our proposal and support our efforts to properly maintain our properties and avoid unnecessary costs that would financially devastate us all.

Sincerely,

Alice Weiland



Lisa Pearson <lpearson@casebowen.com>

RE: Manor @ Craughwell Village Condominium Association - Important Notice

Feeney, Jeremy P CIV DLA LAND AND MARITIME (US) <Jeremy.Feeney@dlm.mil>
To: "Lisa Pearson (lpearson@casebowen.com)" <lpearson@casebowen.com>

Fri, Dec 2, 2016 at 2:56 PM

Lisa,

Regarding your request to send back communication stating the reasons for our "Yes" vote to the Amendment, I hope you've been receiving many replies.

As far as our household goes, it all boils down to resale value and how this can be marketed to real estate agents and the community. We are a simple community asking for a simple fix. We hope the new pictures which will be presented show just like the clubhouse that the board liked so much.

We are not a luxury condo complex and the people living here are not high income families. These factors all tie in together.

Voting "Yes" to the Amendment and allowing the high-quality asphalt shingles will ensure its longevity and also stop whatever downward trend has happened, or WILL happen if this community cannot afford the assessment.

An argument could also be made that it was the city's lack of oversight originally which caused us to be in this predicament in the first place.

Also, I think we only need to win over a few more people if I remember correctly, and hopefully that still remains the case. I suggest having the younger guy who was there at the last meeting speaking as well as our architect. He seemed a little quicker on his feet with possible rebuttals.

Thank again for all of your help.

Fingers crossed,

- Jeremy

#parkerinc.
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760.444.1000

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JLB # 10037

TESTIMONIALS

High quality, asphalt shingles are already proving their worth on the roofs of Manor at Craughwell Village's garage units. Changing the worn out, shake shingles to asphalt is practical strategy in obtaining consistent design throughout the community, especially if such change is at a better cost than that of shake shingles.

Maintaining the character of the community is paramount, as we continue to witness our face-lift project in its current holding pattern. In other words, Planning and Zoning is not helping our cause in any way. Their failure to observe all of the details of the situation, ultimately leading to their very shallow perspective, is unacceptable.

We need to reverse the current perception of a community in trouble and with problems, as that of a group of individual homeowners that chooses to share its condominium community in a very practical way. Applying a sound strategy of sharing the responsibilities of exterior maintenance and upkeep, to share the wealth of such rewarding dedication to home ownership, so that such a potentially new look can be marketed to real estate agents, just as much as the incumbent ownership, is the ultimate objective.

Quite simply, it is a matter of pride in one's home, and that he or she owns what is in sound financial and structural condition. Failure to accept that responsibility is just as unacceptable as any group that stands in the way of its initiation and successful execution.

Brian Silverman
6125 Craughwell Lane

November 29, 2016

Dear Dublin Planning and Zoning Commission:

My family owns, and our adult son resides in, a condominium in the Manor at Craughwell Village. As you know, the homeowners of Craughwell Village are preparing to make a multi-million dollar investment in our homes. We are happy to do this in spite of a substantial financial requirement because, like you, we believe in the long-term value of maintaining and improving our properties.

I am writing to ask your support of our Homeowner's association's application for the use of alternate materials as we renovate and reinvigorate our properties. Our architect and contractor assure us that these materials will have similar aesthetic appeal to the existing materials, while providing a longer life and better protection for our buildings. The use of the alternate materials will allow our community to extend the impact of our investment well into the future. We have a vested interest in maintaining a pleasing appearance, not just because of our pride in being a part of the City of Dublin, but also because (like any homeowner) we want the value of our properties to increase. We think the plans put together by our architect and Board of Directors will allow us to get maximum value out of our substantial investment while at the same time maintaining the aesthetic integrity of our community.

Thank you very much for your consideration of this request. I would be happy to share additional thoughts and insight with you should you so desire.

Ed Wheeler
(Owner 6239 Craughwell, Dublin OH)



Lisa Pearson <lpearson@casebowen.com>

"Yes" Vote to Amendment

Jill Alexandrunas <jillalexandrunas@hotmail.com>
To: Lisa Pearson <lpearson@casebowen.com>

Thu, Dec 1, 2016 at 11:52 AM

As an owner at the Manor of Craughwell Village, please consider the following:

We vote "Yes" to the amendment for the following reasons:

The preservation and using alternative materials, using asphalt shingles vs. shake shingles will not only provide longevity to our units, but high quality materials. Asphalt shingles are also used on our garages. Having consistency and a cohesive look and feel is very important.

We're committed to retain the overall character of the community; a new look that can be marketed to real estate agents and the community

We want to refresh and reenergize. We want to reverse the current perception of a community in trouble and with problems.

Thanks for your cooperation.

Jill Alexandrunas



Lisa Pearson <lpearson@casebowen.com>

Reason for "Yes" vote

Scott Polacek <spolacek.3@gmail.com>
To: Lisa Pearson <lpearson@casebowen.com>

Mon, Nov 28, 2016 at 3:20 PM

Hi Lisa,

As requested, here is my reason for the "Yes" vote:

My wife and I live on the top floor at Craughwell in the first place we've ever owned together. We are directly impacted by the roofing issue and have the water stains in a number of places on our ceiling to prove it. This place will always have a special meaning to us, but we are deeply concerned with the longevity and viability of our home if the higher quality asphalt shingles are not used.

Yes, the lesser financial burden is also important, but at this point we are truly worried about our home and being able to stay here as long as we want. The asphalt shingles would significantly lessen those worries.

Thanks,

Scott

RENOVATIONS AND UPGRADES FOR
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DUBLIN, OHIO 43016

13 DECEMBER 2016

TESTIMONIALS

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Dublin, OH 43016
760.261.1000

JLB # 15037



Lisa Pearson <lpearson@casebowen.com>

Re: Manor @ Craughwell Village Condominium Association - Important Notice

Adam Koos <adam@libertaswealth.com>

Mon, Nov 28, 2016 at 3:24 PM

To: "Manor @ Craughwell Village Condominium Association - Lisa Pearson" <lpearson@casebowen.com>

Lisa --

Reasons for my "yes" vote:

1. Lower cost to replace
2. Longevity of replacement materials will hold up better under adverse weather conditions, lowering cost of future replacement
3. New materials will inhibit the growth of moss and other moisture absorbing organisms, further lengthening the life of the roof.
4. There are many different choices to pick from when it comes to alternative materials, giving the association the ability to find a color/look that pleases the city.

Hope this helps.

Adam

RENOVATIONS AND UPGRADES FOR
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13 DECEMBER 2016

Adam Koos
Libertas Wealth Advisors, LLC
Professional Financial Consultant
JLB # 15037

TESTIMONIALS



RECORD OF DISCUSSION

Planning & Zoning Commission

Thursday, February 16, 2017 | 6:30 pm

The Planning and Zoning Commission took the following action at this meeting:

- Perimeter Center, Subarea G1- Craughwell Village Condominiums**
16-084Z/PDP/FDP **6185 Craughwell Lane**
Rezoning/Preliminary & Final Development Plans

Proposal: An amendment to the approved development text of a Planned District to revise permitted building materials and architectural elevations; and the replacement of roofing and building materials for an existing condominium development on the south side of Perimeter Drive at the intersection with Craughwell Lane.

Request: Review and recommendation of approval to City Council of a Rezoning with a Preliminary Development Plan and review and approval of a Final Development Plan under the provisions of Zoning Code Section 153.050.

Applicant: Jim Bender, JL Bender Inc., Architects and Planners.

Planning Contact: Claudia D. Husak, AICP, Senior Planner.

Contact Information: (614) 410-4675, chusak@dublin.oh.us

MOTION #1: Mr. Brown motioned, Mr. Stidhem seconded, to approve Rezoning and the Preliminary Development Plan with no conditions.

VOTE: 5 – 2

RESULT: The Rezoning and the Preliminary Development Plan were approved.

RECORDED VOTES:

Victoria Newell	No
Amy Salay	Yes
Chris Brown	Yes
Cathy De Rosa	Yes
Robert Miller	Yes
Deborah Mitchell	No
Stephen Stidhem	Yes

MOTION #2: Mr. Brown motioned, Mr. Miller seconded, to approve the Final Development Plan with no conditions.

VOTE: 5 – 2

1. **Perimeter Center, Subarea G1- Craughwell Village Condominiums**
16-084Z/PDP/FDP **6185 Craughwell Lane**
Rezoning/Preliminary & Final Development Plans

RESULT: The Final Development Plan was approved.

RECORDED VOTES:

Victoria Newell	No
Amy Salay	Yes
Chris Brown	Yes
Cathy De Rosa	Yes
Robert Miller	Yes
Deborah Mitchell	No
Stephen Stidhem	Yes

STAFF CERTIFICATION

Claudia D. Husak, AICP, Senior Planner

MEETING MINUTES

Planning & Zoning Commission

Thursday, February 16, 2017

AGENDA

1. **Perimeter Center, Subarea G1- Craughwell Village Condominiums**
16-084Z/PDP/FDP **6185 Craughwell Lane**
Rezoning/Preliminary Plan (Approved 5 – 2)
Final Development Plan (Approved 5 – 2)
2. **BSD HTN/R Dedication of Right-of-Way Plat** **N. Riverview Street & N. High Street**
16-111PP/FP **Preliminary Plat/Final Plat (Recommended for Approval 7 – 0)**
3. **BSD C – Home 2 Hotel** **Upper Metro Place**
17-006MSP **Master Sign Plan (Tabled 7 – 0)**
4. **Perimeter Center, Subarea C1 - Ohio Premier Soccer** **7007 Discovery Boulevard**
17-005CU **Conditional Use (Approved 7 – 0)**
5. **BSD SRN – Cap City Diner** **6644 Riverside Drive**
16-080WR **Waiver Review Revision (Approved 7 – 0)**

The Chair, Victoria Newell, called the meeting to order at 6:31 p.m. and led the Pledge of Allegiance. Other Commission members present were: Cathy De Rosa, Stephen Stidhem, Chris Brown, Bob Miller, Amy Salay, and Deb Mitchell. City representatives present were: Phil Hartmann, Vince Papsidero, Claudia Husak, Logan Stang, Aaron Stanford, and Laurie Wright.

Administrative Business

Motion and Vote

Mr. Brown moved, Ms. Mitchell seconded, to accept the documents into the record. The vote was as follows: Mr. Stidhem, yes; Mr. Miller, yes; Ms. De Rosa, yes; Ms. Salay, yes; Ms. Newell, yes; Ms. Mitchell, yes; and Mr. Brown, yes. (Approved 7 - 0)

The Chair briefly explained the rules and procedures of the Planning and Zoning Commission. She said four of the five cases this evening are eligible for the Consent Agenda. She reported there is a list of speakers for Craughwell Village Condominiums so that was pulled from the Consent Agenda. She said the Home 2 Hotel was pulled at the request of her fellow Commissioners. She determined the cases would be heard in the following order – 4, 2, 1, 3, and 5 but will be recorded in the minutes as represented on the agenda.



1. Perimeter Center, Subarea G1- Craughwell Village Condominiums
16-084Z/PDP/FDP **6185 Craughwell Lane**
Rezoning/Preliminary & Final Development Plans

The Chair, Victoria Newell, said the following application is an amendment to the approved development text of a Planned District to revise permitted building materials and architectural elevations; and the replacement of roofing and building materials for an existing condominium development on the south side of Perimeter Drive at the intersection with Craughwell Lane. She said this is a request for a review and recommendation of approval to City Council of a Rezoning with a Preliminary Development Plan and review and approval of a Final Development Plan under the provisions of Zoning Code Section 153.050.

The Chair swore in anyone intending to address the Commission on this case.

Claudia Husak explained there are two sentences in the development text that require wood shake as a shingle material and for all elevations to adhere to elevations approved in the mid 90's as this complex, which was apartments at the time, was approved by the Commission. She added the Final Development portion of the application is for all the final details - specifically materials that the applicant is proposing to change as part of the application.

Ms. Husak presented an aerial view of the site that contained all of the condominium units as well as the clubhouse. She said the Commission tabled this case as requested by the applicant in November, 2016. She said the application has changed to some extent in terms of building materials and elevations.

Ms. Husak presented photographs provided by the applicant showing some of the damage that the units have experienced over the years. She added the discussion about the cause of the damage has not changed; there is aging material and installation issues. She reported staff has spent approximately 18 months with the applicant to figure out how to best address the issues of the complex. Prior to that, she said they had discussions about faux chimneys that are on all the elevations and how to address water intrusion and mold that is in these units. She said as the applicant has been able, they have been repairing those chimneys one by one. She explained the damage is widespread throughout the complex and staff from Planning and Building Standards have visited the site to see the damage, first hand.

Ms. Husak presented an elevation of one of the existing buildings. She indicated the applicant has chosen to keep the stucco and stone chimneys and repair as needed. She said the shake shingles are supposed to be removed, all substructures inspected, and replaced with a dimensional, high-quality asphalt shingle. She added metal work will be replaced with matching material. Depending on the elevation, she said stucco and stone is still being proposed but only using one stucco color instead of two. She noted all the windows and garage doors will remain the same.

Ms. Husak presented the proposed southeast elevation and explained the stone on the street facing facades will be replaced with new stone once all the repair work has been done and there would be no difference noticed. She said on the interior elevations the proposal is to replace the stone with matching stucco.

Ms. Husak said staff specifically focused on the General Welfare criteria so the applicant ensures the residents have a safe environment. She said approval is recommended to the Planning and Zoning Commission and also to City Council.

Ms. Husak presented the material details of the Final Development Plan proposed: beige stucco to match the stone and the asphalt shingle that was approved for Key Bank, which is in Perimeter Center but in a different Subarea.

The Chair invited the applicant to speak.

Glen Dugger, an attorney with Smith and Hale, said he represents Craughwell Village. He said there are a lot of residents here to speak. He noted the Planning Report articulated the changes that are being sought from the original Development Plan. He pointed out that the 199 unit condominium association was converted in 2006 from prior apartments and the situation that the owner's association finds themselves in is one in which is not their responsibility and not their fault. He said he does not see how any of the owners could be charged with understanding the nature and extent of the deficiencies that were apparent in this project when they purchased their units, at least prior to 2014. He reported that 76% of the residents voted in favor of this proposal twice and spend an extraordinary amount of money to remedy these problems. He said that is what this process is about as far as he is concerned and they are requesting support from the Commission so that can happen. He suggested Jim Bender, Jim Bender Architects, speaks to the proposed materials.

Amy Salay inquired about Mr. Dugger's involvement. He answered he was involved with the original people that built this complex but cannot find the files on this specifically but has files on the big picture of what happened on the east side of Avery Road.

Ms. Salay inquired about how the apartment complex became condominiums and sold the units individually. She said she was curious as to what problems they knew about and when they knew it; she wanted to know when the mold started appearing.

Mr. Dugger explained condominiums require a process to go from apartments, which includes a survey that has to be recorded. He indicated there is a three-year warranty that goes along with the sale of the units. He noted that was not the time period for which these issues started becoming apparent as that was late 2013 and clearly in 2014. From the time of the condominium conversion to the appearance of deficiencies in its construction, he reported is approximately eight years. He said the original conversion was handled by an LLC, which no longer exists.

Deborah Mitchell asked if the condominium board was set up with the proper amount of reserves. Mr. Dugger answered it was properly funded. He said the association management is here and they can speak to that; they manage condominiums all over central Ohio.

Ms. Mitchell asked if there were recommendations made to the prospective buyers or the condominium association for inspections to be conducted. Mr. Dugger answered the association has been trying to get to the root of this problem at least in the last 18 months. Ms. Mitchell inquired about the three-year warranty period. Mr. Dugger indicated he has never seen anyone physically inspect a roof of a condominium. Ms. Mitchell said she has herself, many times.

Jim Bender, Jim Bender Architects, 3040 Riverside Drive, said his responsibility is how the exterior looks and the technology to make it last for the next 20 – 30 years or longer. He said they understand the street presence is very important and a significant community asset. He explained there will be a rain screen in the back and the materials will be installed correctly so no water infiltrates the walls. He discussed the materials they plan to use, which includes synthetic stone and shake. He said he plans to install the shake over the existing sheathing, otherwise they would uncover problems nobody could afford.

Bob Miller inquired about the cost of the shingles from a square foot perspective. Mr. Bender answered the shingles are more expensive but the roof will look similar to how it looks now.

Mr. Miller inquired about the stucco. He asked if old stucco would touch new stucco. Mr. Bender answered they plan to emulate the old stucco as close as possible except they are using a synthetic finish. Mr. Miller asked if the difference will be visible. Mr. Bender indicated he spoke with the best stucco subcontractor in Franklin County who said a difference will not be noticeable. He added he has seen it

side by side and cannot see a difference but they will do a test and the Commission is welcome to come take a look before it is started.

The Chair invited public comment.

William Loveland, 3300 Riverside Drive, said he is an attorney representing a resident that owns two units. He said he is here to help the Commission understand how massive the harm is from the delay that is occurring in resolving this problem. He said his client has had 3 or 4 written contracts to sell one of her units but all have fallen through because of the uncertainty as to the special assessment. He said even to do the job with these replacement materials, assessment of 20% of each unit is going to have to be paid and the units sell for about \$110,000 so renovations will cost 20 -30,000 per unit. He reported his client has had tenants move because of the mold and leaking water issues. He said the units are nothing but a burden to his client. He indicated he is experienced in condominium law. He said the only warranty that comes with a condominium is a one-year warranty on unit elements, which is a box of air in this condominium; there is no hardware to the unit other than interior walls and cabinets. He said the warranty for the common area is two years from the date of recording of the first deed to a unit so it expired two years after the declaration for this condominium was filed. He explained condominiums can be created by any multi-family property owner without a zoning review as it is not a change in use, it is still residential and within the Zoning Code.

Mr. Loveland said the units leak like a sieve. For 18 months, he said the units have been totally unmarketable because black mold has been identified. In his 35 years of experience, he finds shake shingles are not appropriate for this climate and do not work long-term, failing after 8 – 10 years after installation. He thought the only basis possible for turning down this request is an aesthetic consideration. He indicated we are trying to address a real hardship on people as they cannot live in, rent, or sell their units. He said the association that encompasses 199 members can govern the common area. He stated the properties have gone down in value to over \$100,000 and they cost a lot more than that when originally purchased. He indicated his clients are threatening to sue the Board because they are not fixing these problems and the Board is saying they cannot fix the problems because the City is not willing to cooperate with them.

Kent Anders, 6113 Craughwell Lane, said he agreed with Mr. Loveland in that this is an aesthetic issue. He thanked the Board/group of volunteers for all of their efforts. He indicated he likes the changes the applicant made to the proposal from before to now, where the aesthetics are very close to the current structure. He said wood shingles in this area do not age well. He listed a few buildings that had asphalt shingles, which he thinks look horrible in most cases. He stated the water issue starts at the top. He indicated the owners are going to be in financial distress, according to the last Board meeting he attended. He concluded he hopes the Commission will vote yes to pass this proposal/application.

Garth Kerr, 6131 Craughwell Lane, reported he has been a resident in Craughwell Village since 2007, during the initial conversion. He said he is painfully aware of the original construction shortcomings. He said he did a complete window replacement in 2011, under a different management association at which time there was no warranty. He said the engineer at the time was well aware of the mold and moisture problems in 2001 to the point the Mr. Loveland, the original builder, and he actually met during his purchasing process and the original builder sold all the units as premium condominiums and skipped town.

Ms. Newell asked Mr. Kerr if he knew the name of the original builder to which Mr. Kerr answered he did not. He said when he replaced his windows he did some investigating and found the website and company to be gone but because that was 6 or 7 years ago he does not remember. Ms. Newell said she knows the name of the original developer of this project. Mr. Kerr said he was no longer building in this area or under that same name.

Mr. Kerr reported he spent approximately \$5,000 for windows, \$8,000 for HVAC, and \$2,000 for water damage; all told, it has not been a great experience.

Mr. Kerr indicated their architects and association have done an incredible job and have thoughtfully come up with a detailed plan to use outstanding building materials that match and exceed what currently exists. He said the building materials will have no negative impact to the overall visual appeal of the properties and will last longer and are more environmentally conscious in line with Dublin's self-proclaimed green initiatives. The existing shingles can be potentially hazardous in high wind; he said they are far less resilient than the proposed replacements.

Mr. Kerr said he was disappointed the Commission did not originally support the application. He noted the whole community is excited about revitalization effort, improved curb appeal, and potential increases in property values. He asked the Commission to consider the outcome of not addressing the issue at all; minor aesthetic changes based on curb appeal as opposed to doing nothing. He reiterated that some people are really in limbo in terms of market and resale. He said everyone trying to speak today is trying to make the best out of a bad situation. He said he appreciates Dublin's strong zoning standards and that is part of the reason he lives here.

Lisa Pearson, Case Bowen Company, said she is the property manager for the Manor of Craughwell. She said there are 199 unit owners and over 75% of them voted in favor of this application. She said her role this evening is to explain the events from November to the present. She said the first instances of water intrusion resulting from poor backing behind the stone and bad flashing was reported in mid Sept. 2013. In 2014, she said there were two additional circumstances reported and at that time, the Board could not identify it as a systemic problem; it was isolated.

Ms. Pearson said in November 2014, the Association engaged with an engineer, Andy Halter, NRC Engineering. She said they began to evaluate the cost of the project and the Board looked at possible financing options. She said the responses to the request for proposal came in at between \$3.1 mil and \$4.5 mil and this would not include any monies for contingency including the mold behind the stone and any issues discovered underneath the shingles themselves, nor did the RFP include what would be required to put shake shingles back up, which is a replacement of the sheathing and the current shake shingles are not treated with a fire retardant. She indicated that if the association would be required to go back with shake shingles, they would choose to treat those with a fire retardant and cost would be enormous. She said two banks would approve the association loan to the extent needed for the construction and only one bank was willing to do a 20-year loan. The most the association would qualify for is a \$3 mil loan.

Ms. Pearson said in June 2015, the Board began working on the passage of the first amendment specific to this project and that allowed the Board to take the loan; the collateral on that loan is the association dues. Throughout this time, she reported the Board and Andy were engaging as was shared with the City of Dublin. In beginning Sept 2015, she said the Board began to interview architects and Jim Bender was engaged in Feb 2016 and has been working diligently with staff since that time. She noted he has worked very hard in response to the comments made in November to move forth the project to meet with the Commission's approval. She said they have passed the second amendment in Dec 2016 to allow the modifications to the exterior of the buildings.

Ms. Pearson restated Craughwell Village is owned by 199 separate unit owners and without approval of over 75%, the association does not have the authority to change somebody's home without their prior approval. She emphasized, 75% of the owners of Craughwell have approved of this project. She said if the Commission does not approve, it is not a doable project for the owners because the association cannot afford it.

Ms. Newell asked if any forensics have been done on the building and had infrared imaging been done on the structures. Ms. Pearson answered there have been no infrared images taken.

Ms. Newell said, as a design professional, it is something she highly recommends for this project. She said the investment will tell them how wet the building actually is on the inside of the structure. She said where there are no contingency funds in place, it is highly likely that all the sheathing will need to be replaced, a lot of the roof sheathing, and the expense associated with doing that infrared imaging is not expensive compared to the knowledge that is gained.

Pat Noland, 6018 Innishmore Lane, said her husband works for a roofing company but unfortunately, he was not able to attend this evening. She indicated \$250 a square seems pretty high. She said she just moved here a couple of months ago and loves it, it is a great property, it is beautiful, and she did not know all these issues were going on. She said people had difficulty selling their units because they could not tell prospective buyers how much the assessment is going to be but they love it so much they thought it was worth the risk as they did not plan on it being too expensive. She said now after this evening's comments, she is really concerned. She asked why the new and improved materials are not to be used to provide the same appearance and function of what exists.

Rachel Hoertz, 6213 Craughwell Lane, said she purchased her unit in 2006, and she is in contract on her unit now, which is in jeopardy of falling through. She said she is losing a substantial amount of money just to walk away from the property because the value of the property has declined so badly. She reported she has lived in Dublin since 1995, attended Dublin Coffman High School, and remembers when this building was constructed and how wonderful and beautiful she thought it was. She stated the aesthetic changes being proposed will not diminish that at all but the most important thing in this room tonight is what is happening to the homeowners involved and the significant financial impact this is having. She said she grew up in Muirfield and knows what cedar shake shingles cost. She said construction on this development has been a major problem and it is not something any of them were aware of when purchasing their property.

Brian Silverman, 6125 Craughwell Lane, said he has three different perspectives on this issue. He said he has been a unit owner since 2005, he is a Board member who maintains a safe and quality of life that this community provides to him and his neighbors, and he proudly represents the Boards of over 75% of his fellow owners who support this project down to its living, breathing origins. He said he has the unique ability to emphasize and exhibit the very evidence of those origins. He said the pictures of mold and wood rot that the Dublin staff presented to this Commission are of his home. He said the discovery was made only because of a water line break due the arctic temperatures the City experienced in the early days of January 2014. He said the water line break was unavoidable and similar events occurred throughout the country. He said the mold and structural deterioration that the Commission has been presented were exposed due to the extent of the otherwise unrelated water damage. He asked the commission to pay close attention to the level of mold and deterioration; this is among the contingencies of the association needs to be prepared to address as part of this project. Although there is some level yet to be determined, he said structural issues are ensuing from the failure of the roofs. He said their expert team believes that the conditions behind the stone as pictured would be much more prevalent and costs do not result from materials alone.

As presented by staff, Mr. Silverman reported the association heard the Commission's comments in November and propose the replacement of a predominantly stone façade with a predominantly stone façade on the portions that face the streets. He said the passage of the second amendment in 2016 represents the serious consideration owners gave to this situation. After their review of the proposed renderings from November and tonight, he noted 76.3% of the 199 unit owners approve of the proposed exterior modifications, less than 2% or total of 3 voters cast negative votes and the remainder of the ownership did not vote. He said this plan does not cheapen the exterior and not proposing the use of cheap materials or anything inconsistent with the character of Dublin.

Mr. Silverman said he purchased his unit in 2005 with an interest in its proximity to the cutting edge of Dublin's growth and development perimeter. He said he grew up in Dublin and enjoys the safe, well-maintained community that take pride in both its people and property values. He said this property was desirable for someone his age and income bracket. He said the location at the time was primary for all that was new and exciting in Dublin's future development plans; now the location offers proximity to many of those developments. He said it never dawned on him that his investment in a Dublin home could become such a gamble. He said he is happy to be here and has no plans to leave unless a governing body of the people, by the people, makes it an unreasonable and unmanageable.

Jack Williams, 7095 Shady Elms Drive, said he and his wife own the unit at 6250 Innishmore Lane, which they have been fortunate to keep rented for nearly what they have to pay for it. He reported it has never really been above water but they have experienced front row seats to some of the problems described here as they are on the top floor. He gave credit to the management company, their band aid team actually did a great job at getting out there and fixing the problem but it is clear that leaks are springing as fast as they can patch them. He said the wood shingle has not been a good roofing solution for us.

Mr. Williams said there are several units that have been for sale for a very long time, not just because of the uncertainty of the looming specter of having an assessment but because it has been costing him economically as much to keep the unit as he can get for it in rent. He said we do not need a lot of empty buildings in Dublin. Over the past several years, they have thought this is not the experience they had hoped for. He indicated they would not mind selling it but there are enough empty units in this building that they do not think they could sell it without a significant loss and that is not going to get better unless they have a lasting solution for the roof and they can say to prospective buyers that they have a sound solution and worth their while.

Josh Emenovitch, 6257 Craughwell Lane, said he is also the president of the Board of Directors of Craughwell. He said he has been part of this community since 2007 and has been on the Board since 2011. He said they pulled data from the City of Dublin from 2014 – 2016 and also from Craughwell for the same period. He said the trends are quite alarming and do not support the concept of maintaining or increasing value by putting the same material up as they have now. He said the price per square foot for the City of Dublin in 2014 was \$124.28. In 2016, the City of Dublin price per square foot increased to \$132.96. In percentages, that is an increase of 7% from 2014 - 2016. The price per square foot for Craughwell in 2014 was \$96.01 and in 2016, the price per square foot decreased to \$87.31 or a 9% decrease. He added the average days on the market for the City in 2014 was 50 days and in 2016 was 48 days or a decrease of 4%. Average days on market for Craughwell in 2014 was 49 days and in 2016 was 93 days, a 90% increase.

The Chair closed the public comment portion of the meeting.

Chris Brown said everyone represented themselves very well despite this emotional topic. He explained part of the Commission's duties are to assess every Code that they have and see when they may be able to waive a Code and all the materials were codified on that and everything defined. He stated that the reluctance to switch is based on that and also the aesthetics. He stated cedar shake shingles are a great construction material, only though if installed correctly and ventilated in the rear, underneath. He said in Central Ohio that does not happen very well. He said there are roofs in Kansas City that have been there 30 – 50 years. He said he deals with a Dublin home that has 35-year old cedar shake shingles and they are beautiful. He said in this case, the shake shingles were installed improperly along with the other exterior construction materials. He emphasized it is not the material that is the problem, it is the installation method.

Mr. Brown said the shingle proposed is suitable for three stories up and at that angle and the way it will be perceived. He said the shadow line is important and the way it is read. He said he appreciates the

effort to find an appropriate replacement that obviously is not a cedar shake but at least it keeps a lot of the character alive. He appreciates that the street façade is proposed to be put back in order. He said there is a certain character to that complex; part of which adds value. He said the stucco on the interior court is acceptable.

Amy Salay said she is fine with what is proposed as there is really not a great alternative. She said she is concerned about having units safe to live in completely repaired and people hope to buy. She said once the facades are being torn off, what is the likelihood that \$3 mil will not be enough to make this whole. And if we run into that situation then what is the solution or are we absolutely certain that this fix as proposed is going to get us to where we all want to be.

Mr. Dugger indicated we would all be fooling ourselves and he would be disingenuous if he stood here and said \$3 mil will absolutely 100% address every problem. He stated Ms. Newell's suggestion to use infrared imaging will be helpful to find out what is going on behind some of these wall segments that they may or may not know have problems. He said if that is a condition of approval, that is something they would agree to. He said they do not want to get a fix that only takes care of 80% of the owners, excluding the remaining 20%. He said we have a ways to go to completely defining the problem but the applicant could not tear off wall segment and roof until we could get to some point with the Commission. He said none of us want to be to the point we put blue tarps up but maybe by holding off exacerbated the problem.

Ms. Newell said, in her professional opinion, the infrared imaging will show what materials below are wet, which will need to be replaced. She recalled the testimony that Mr. Bender said this evening with proposal of doing asphalt shingles and that product is used on commercial and residential buildings. She said she has used that particular product on a number of houses in Dublin over the years. She noted he had said he wanted to preserve the sheathing in place but she said it is highly likely it will still need to be replaced on a good portion of the roof that is there. She told the residents that they are facing poor construction in that building when it was originally built so materials that were there, synthetic stone, wood shakes, and brick, are all durable materials that would have a good life expectancy; cedar shakes last 20 – 40 years, the proposal and reviewing warranties on roofing materials in general, get asphalt shingles that will have a 50-year warranty but the fine print has to be read to see what it provides. It does not guarantee that a roof is going to last 50 years and they do not guarantee the water tightness of the whole assembly, just the product. She said it is the flashing and air and vapor barriers that are important at installation to make the building water tight. She said where there is stucco above the stone, there was no flashing so water was permitted to pour behind those materials year after year. She restated it is not the materials that are failing, it was the construction/installation originally that is failing.

Ms. Newell said she struggles with two issues on this application. She said as a Commission in general, our task is not to consider cost and she explained that every developer that comes before them could make the exact same argument that is being made here tonight in regard to materials. She said the Commission has opposed and turned down applicants that were requesting to replace cedar shakes with a different material simply because it was expensive. She said she feels terrible for the residents and why they are here. She said she cannot support a different material or the Commission is inviting that center to come back and make the same argument. She said what is in the development text is what the residents originally fought for. She said she is supportive of the other material changes on the non-street facing side.

Cathy De Rosa asked if someone could speak to the sequence of this work and if the roof would be completed first. She asked what the homeowners agreed to when they approved this proposal.

Ms. Pearson said they did not contemplate the order of the work and the first thing they would do is to have Jen, who is currently working on the bid documents, to have the final bid documents done. She said then they would look at the financing and likely they would start with the roofs and go top to bottom but

that was not part of the amendment or part of what was discussed with the owners. She said their biggest hurdle has been getting the project through the Commission. She said until they know what building materials are permitted they have not moved beyond that.

Ms. De Rosa indicated they are likely to find more than what is there and the sequence will be important to the residents. She said the proposal from November in comparison to today is quite different and is much more in character with the original intentions of that property and what it is today. She said that will help with the value. She indicated she feels a lot better about this proposal today. She inquired about the look and feel from a distance aesthetically if changed per proposed compared to what is there today.

Ms. Newell noted everyone is going to have a different opinion. She said she always sees a difference between asphalt and wood shake shingles.

Mr. Brown said he agreed that the materials are not the issue but the installation. He said since this is a third floor, there is a lot of trees, and is close to the street, the building is not read from afar and that is the only reason he is supportive of the asphalt.

Mr. Miller said the height of the structure reads quite tall, almost four stories to him. He asked if the Commission is supportive of this, if they will be setting a precedent. He asked what would happen if Giant Eagle asked for the same.

Phil Hartmann said these are two separate areas so the text being altered tonight is just for that one subarea. He said he does not have a great deal of concern because they are different circumstances.

Mr. Miller said beauty is in the eye of the beholder and he has never liked cedar shake shingles. He said inside the property is irrelevant and at this height. He said this product will not look like cedar shakes but he does not think it will stand out enough to make a difference. He reported he was supportive of the facelift across the property proposed in November. He said he is supportive of this proposal. He cautioned the applicant that they are facing much higher expenses than what they have considered. He noted there are not cedar shake shingles on the Craughwell garages today and the asphalt shingle is not dimensional, just a standard residential shingle.

Mr. Brown said the one caveat is that the clubhouse retain cedar shake shingles.

Mr. Stidhem said his concern in November was the stucco as he is not a big fan; he is not concerned with the roofs. He reiterated that the Commission as a whole is stating the installation of materials is more important than the products themselves. He encouraged the applicant and the residents to take the passion they have this evening and monitor the construction to fix these issues.

Ms. Mitchell she said she has had mixed feelings on aesthetics. She said if the original construction is bad, it is a money pit and is worried for the residents.

The Chair opened the floor for public discussion a second time.

Jack Williams, 7095 Shady Nelms Drive, said they have been owners since 2005 and he believes the clubhouse was redone several years ago. He stated it was the first structure to spring leaks. He recalled in 2008 or 2009 there was an increase in the association fees specifically to redo the clubhouse.

The Chair closed public comment since nobody else wanted to address the Commission regarding this case.

Ms. Husak said she added a condition to the zoning application to address the clubhouse roofing.

Ms. Salay indicated she was not comfortable with the mix of materials. Mr. Brown said he has always read the clubhouse as different. Ms. De Rosa said it might stand out more than it blends in. Mr. Brown said they are really different because the roofs on the other structures are read the same as the clubhouse, to which Ms. Newell agreed.

Mr. Dugger said they are indifferent to the materials for the clubhouse roof as long as the application is approved as presented. He said there seems to be a disagreement about that and he does not want to get into the middle of that and will defer to the Commission's decision.

Mr. Miller said the clubhouse is a different animal but he could go either way.

Ms. Salay clarified that she was not requesting that the applicant change the roof on the clubhouse just that when the time comes to do so, the applicant should not be required to keep the same shake shingles.

Mr. Brown said if the Commission is fine to leave it for their own Board, he is fine with that so the condition does not have to be added.

Mr. Stidhem said he did not have passion for roofs but if it was installed properly, it will be a long time before it will even have to be addressed.

Ms. Husak said approval is recommended for the Rezoning and Preliminary Plan with no conditions.

Motion and Vote

Mr. Brown motioned, Mr. Stidhem seconded, to approve the Rezoning and Preliminary Plan with no conditions. The vote was as follows: Ms. Mitchell, no; Mr. Miller, yes; Ms. De Rosa, yes; Ms. Newell, no; Ms. Salay, yes; Mr. Stidhem, yes; and Mr. Brown, yes. (Approved 5 – 2)

Ms. Husak said approval is recommended for the Final Development Plan with no conditions.

Motion and Vote

Mr. Brown motioned, Mr. Miller seconded, to approve the Final Development Plan with no conditions. The vote was as follows: Ms. De Rosa, yes; Ms. Newell, no; Ms. Salay, yes; Mr. Stidhem, yes; Ms. Mitchell, no; Mr. Miller, yes; and Mr. Brown, yes. (Approved 5 – 2)

2. BSD HTN/R Dedication of Right-of-Way Plat 16-111PP/FP N. Riverview Street & N. High Street Preliminary Plat/Final Plat

The Chair, Victoria Newell, said the following application is for the dedication of right-of-way to the City of Dublin for the construction of North Riverview Street and future infrastructure improvements along North High Street. The site extends from the intersection of North High Street and Indian Run Drive to North Street. She said this is a request for a review and recommendation of approval to City Council for a Preliminary Plat and a Final Plat under the provisions of the Subdivision Regulations. She said City Council is the final authority on this application.

A formal presentation was not requested as this was on the consent agenda.

Chris Brown inquired about the creek that runs through Indian Run. He asked staff if the City of Columbus controls that property because it is a waterway.

Logan Stang answered the City of Dublin owns the properties on the north edge of this application.

Mr. Stang said approval is recommended to City Council for a Preliminary Plat and a Final Plat with the following condition:

- 1) That the applicant ensures that any minor technical adjustments to the plat are made prior to City Council submittal.

Motion and Vote

Mr. Brown motioned, Ms. De Rosa seconded, to recommend approval to City Council with one condition. The vote was as follows: Ms. Salay, yes; Mr. Miller, yes; Ms. Mitchell, yes; Mr. Stidhem, yes; Ms. Newell, yes; Ms. De Rosa, yes; and Mr. Brown, yes. (Recommended for Approval 7 – 0)

3. BSD C – Home 2 Hotel 17-006MSP Upper Metro Place Master Sign Plan

The Chair, Victoria Newell, said the following application is a Master Sign Plan for two wall signs and a monument sign for a hotel on a 2.57-acre parcel, south of SR161, at the intersection with Frantz Road. She said this is a request for a review and approval of a Master Sign Plan under the provisions of Zoning Code §153.066.

The Chair swore in anyone intending to address the Commission on this case.

Logan Stang

Mr. Stang...

Mr. Stang said approval is recommended for a Master Sign Plan with no conditions.

Motion and Vote

Mr. Brown motioned, Mr. Stidhem seconded, to approve the Master Sign Plan with no conditions. The vote was as follows: Mr. Miller, yes; Ms. Salay, yes; Ms. Newell, yes; Ms. De Rosa, yes; Mr. Stidhem, yes; and Mr. Brown, yes. (Approved 7 – 0)

**4. Perimeter Center, Subarea C1 - Ohio Premier Soccer 7007 Discovery Boulevard
17-005CU Conditional Use**

The Chair, Victoria Newell, said the following application is to permit an approximately 18,000-square-foot indoor recreational use within an existing building in Subarea C1 of the Perimeter Center Planned District. The site is on the west side of Discovery Boulevard, at the intersection with Post Road. She said this is a request for a review and approval of a Conditional Use under the provisions of Zoning Code §153.236.

The Chair swore in anyone intending to address the Commission on this case. She stated since this case was kept on the Consent Agenda that a formal presentation was not required.

Claudia Husak said approval is recommended for a Conditional Use with no conditions.

Motion and Vote

Mr. Brown motioned, Ms. Mitchell seconded, to approve the Conditional Use with no conditions. The vote was as follows: Ms. Newell, yes; Ms. Salay, yes; Ms. De Rosa, yes; Mr. Miller, yes; Mr. Stidhem, yes; Ms. Mitchell, yes; and Mr. Brown, yes. (Approved 7 – 0)

**5. BSD SRN – Cap City Diner 6644 Riverside Drive
16-080WR Waiver Review Revision**

The Chair, Victoria Newell, said the following application is for the installation of operable weather screens and sun shade for a new restaurant located in Bridge Park, Building C2 on the southwest corner of Riverside Drive and Bridge Park Avenue. She said this is a request for a review and approval for a revision to the condition of an approved Waiver to revise the required opacity of a previously approved sun shade under the provisions of Zoning Code §153.066.

The Chair swore in anyone intending to address the Commission on this case.

Lori Burchett...

Ms. Burchett...

Ms. Burchett said approval is recommended for the Waiver Review with five conditions, including the amended first condition:

- 1) That the applicant will install a Corradi USA-SL 135 hand crank system with shy zip tracks; Material is 8" woven acrylic borders (tempotest USA-Tempotest marine with 10 year warranty, T40779-60 'Silver Tweed') with clear vinyl windows (O'Sullivan Films-O'Sea clear vinyl; .030 gauge, marine grade) which is the same product as shown to the Planning Zoning Commission at the public hearing; Sun shades will be Mechosystems-Mecho/5 with manual operation with finish housing to match patio columns; The shade cloth will be ThermoVeil, Basket Weave 2100 'black' with **10%** opacity;
- 2) That the applicant will only utilize the screens during inclement weather events and as shade for patio patrons;

- 3) That the screens are only permitted to be lowered during patio operation hours when patrons are present and the screens shall be raised at all other times;
- 4) That the screens shall be replaced every five years or sooner as needed; and
- 5) That the applicant come before the Planning and Zoning Commission after two years from occupancy to ensure suitability of the product.

Motion and Vote

Mr. Brown motioned, Mr. Stidhem seconded, to approve the Waiver Review with five conditions, including the amended first condition:

- 1) That the applicant will install a Corradi USA-SL 135 hand crank system with shy zip tracks; Material is 8" woven acrylic borders (tempotest USA-Tempotest marine with 10 year warranty, T40779-60 'Silver Tweed') with clear vinyl windows (O'Sullivan Films-O'Sea clear vinyl; .030 gauge, marine grade) which is the same product as shown to the Planning Zoning Commission at the public hearing; Sun shades will be Mechosystems-Mecho/5 with manual operation with finish housing to match patio columns; The shade cloth will be ThermoVeil, Basket Weave 2100 'black' with **10%** opacity;
- 2) That the applicant will only utilize the screens during inclement weather events and as shade for patio patrons;
- 3) That the screens are only permitted to be lowered during patio operation hours when patrons are present and the screens shall be raised at all other times;
- 4) That the screens shall be replaced every five years or sooner as needed; and
- 5) That the applicant come before the Planning and Zoning Commission after two years from occupancy to ensure suitability of the product.

The vote was as follows: Mr. Miller, yes; Ms. Salay, yes; Ms. Newell, yes; Ms. De Rosa, yes; Mr. Stidhem, yes; and Mr. Brown, yes. (Approved 7 – 0)

Planning Items

Vincent Papsidero said

Communications

Claudia Husak said

The Chair adjourned the meeting at 9:01 pm.

As approved by the Planning and Zoning Commission on _____, 2017.

DRAFT



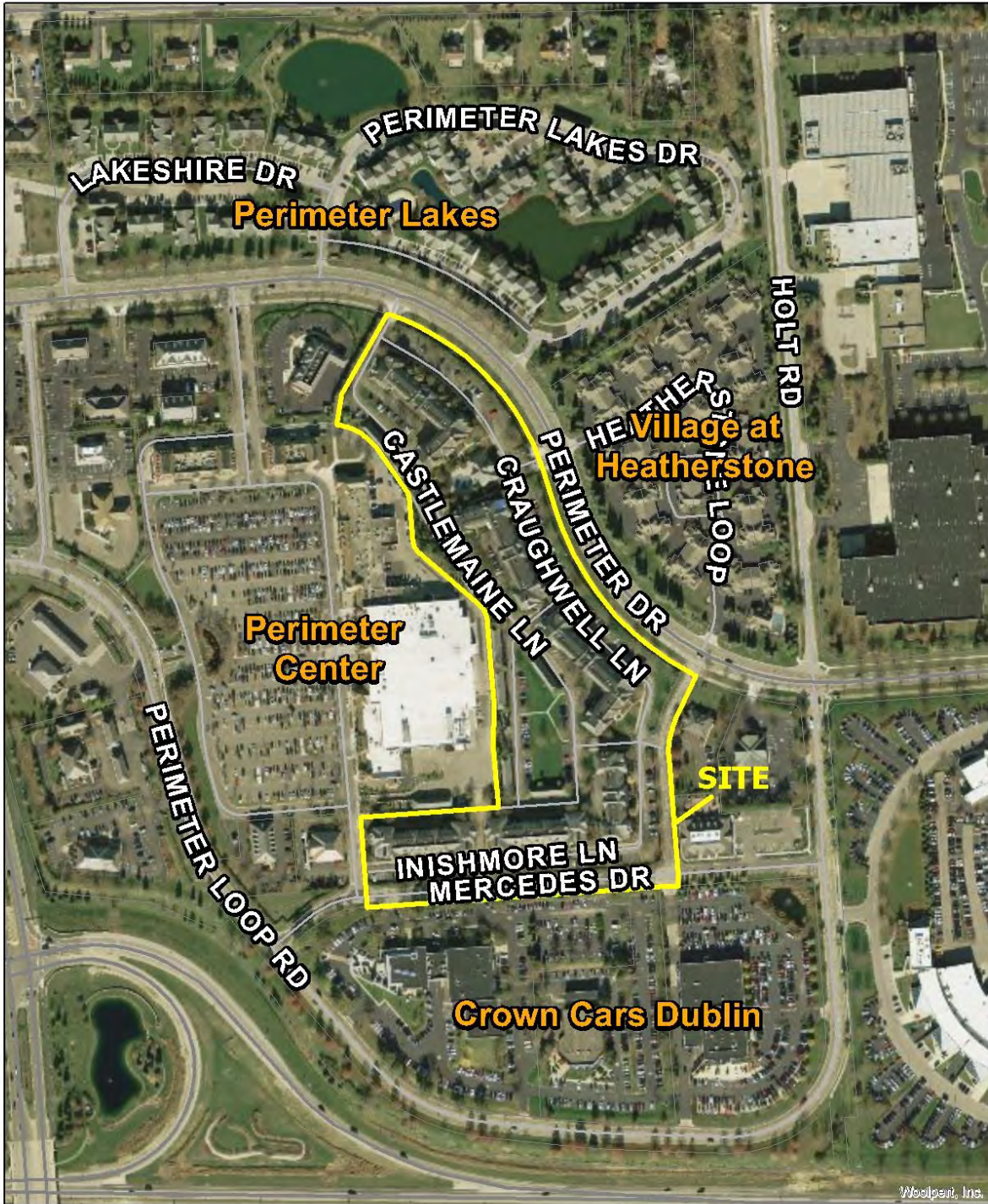
PLANNING REPORT

Planning & Zoning Commission

Thursday, February 16, 2017

Case Summary

Agenda Item	1
Title	Perimeter Center, Subarea G1 – Craughwell Village Condominiums
Case Number	16-084Z/PDP/FDP
Proposal	An amendment to the approved development text of a Planned District to revise permitted building materials and architectural elevations; and the replacement of roofing and building materials for an existing condominium development.
Request	Review and recommendation of approval to City Council of a <u>Rezoning with Preliminary Development Plan</u> and review and approval of a <u>Final Development Plan</u> under the provisions of Zoning Code Section 153.050.
Site Location	On the south side of Perimeter Drive at the intersection with Craughwell Lane.
Applicant	Manor at Craughwell Village Condominium Association.
Representative	Lisa Pearson, Case Bowen Company and Jim Bender, JL Bender Inc., Architects and Planners.
Case Manager	Claudia D. Husak, AICP, Senior Planner (614) 410-4675 chusak@dublin.oh.us
Planning Recommendation	<u>Approval of Rezoning with Preliminary Development Plan</u> In Planning's analysis, the proposal meets the regulations outlined in the proposed development text and the applicable review criteria. Approval of this proposal is recommended. <u>Approval of Final Development Plan</u> In Planning's analysis, the proposal meets applicable review criteria and meets the development pattern within the Planned District. Approval is recommended.



City of Dublin

16-084Z/PDP/FDP
Rezoning/Prelim. Dev. Plan/Final Dev. Plan
Craughwell Village PLR
6185 Craughwell Lane

0 150 300
Feet



Facts

Site Area	±13 acres
Zoning	PLR, Planned Low Density Residential District, (Perimeter Center, Subarea G1) for 199 residential units within six, three-story buildings
Surrounding Zoning And Uses	<p>North: R-12, Urban Residential District (Perimeter Lakes Apartments PLR, Perimeter Center, Subarea H (Village at Heatherstone Condominiums)</p> <p>East: PUD, Planned Unit Development District, Perimeter Center, Subarea F4 (Giant Eagle Shopping Center)</p> <p>South: PCD, Planned Commerce District, Perimeter Center, Subarea I (Crown Car Dealership)</p> <p>West: PCD, Planned Commerce District, Perimeter Center, Subarea F3 (Daycare, Bank and Veterinary Office)</p>
Site Features	The site consists of a single 13.114-acre parcel on the south side of Perimeter Drive at the intersection of Craughwell Lane. The linear parcel includes 1,100 feet of frontage along Perimeter Drive and approximately 700 feet of frontage along Mercedes Drive. The site includes mounding and a hedge row along Perimeter Drive and a clubhouse at the entrance to the site. The western edge of the property is adjacent to the Perimeter Center shopping center.
Case Background	<p>November 10, 2016 The Planning and Zoning Commission tabled this request for an amendment to the approved development text of a Planned District to revise permitted building materials and architectural elevations; and the replacement of roofing and building materials for an existing condominium development. The Commission was concerned about the represented materials not being of the same quality as existing and generally felt as though the character of the approved architecture was not upheld with the proposal.</p> <p>October 5, 2006 The Planning and Zoning Commission approved an amended final development plan that included the addition of three garage buildings and associated parking lot modifications for the development.</p> <p>June 19, 1997 Planning and Zoning Commission approved a final development plan that included 199 residential units.</p> <p>December 16, 1996 City Council approved the rezoning/preliminary development plan.</p>

Details

Rezoning/Preliminary Development Plan

Overview

Rezoning to a Planned Unit Development requires approval of a development text to serve as the zoning regulation for the development requirements noted; the Zoning Code covers all other requirements. The development text typically addresses permitted and conditional uses, setbacks, parking, landscaping, signs and architecture, among other subjects. In this case, the development text contains specific regulations and requirements for the building architecture and building materials. Planning determined that the proposed changes require modifications to the development text that cannot be approved as a minor modification and advised the applicant to revise the text accordingly. The proposed text modifications address architecture and building materials only.

Planning and the applicant have worked over the last 18 months with the applicants to determine the best approach to address the on-going maintenance issues for this condominium complex. Site visits with staff from the Division of Building Standards have highlighted and verified many of the buildings' deterioration due to age, improper installation and backing materials. Moisture intrusion, mold and insect infestation are the most pressing issues the condominium owners and the maintenance company are facing and are attempting to address with this proposal. Due to the magnitude and extent of the damage, the proposal is for a complete overhaul of the exterior of the buildings.

The application includes many letters of support from current condominium owners who voted to have their dues increased to cover the expenses of this renovations and who support the proposed plans.

Proposal

The applicant is proposing to renovate the six residential buildings in phases to address significant maintenance and material life cycle issues, water infiltration and lack of installation details when the structures were originally built. The renovation will consist of replacing the existing wood shake shingle roof and the underlayment down to the sheathing to thoroughly inspect and replace and upgrade where necessary. New metal work, drains, flashing and underlayment will be installed. The proposed new roofing material is a lifetime, heavy duty asphalt shingle with dimensions and colorations closely resembling the existing shake.

As for the building façades, the applicant is proposing to repair or replace all sub surfaces. Stone façades on the interior will be replaced with stucco to match the stone and to match the same stucco as existing on the street facing façades. The applicant has revised the plans to replace all stone on the street facing facades with the same amount of stone. Several existing stucco elevations will remain. The plans indicate replacement and repair of each elevation of each building.

Details Rezoning/Preliminary Development Plan	
Development Text	The development text is proposed to be revised in the Subarea summary paragraph to address a requirement for architecture to be consistent with the Perimeter Shopping Center. The applicant has indicated in their submitted materials that Subarea G-1 (Craughwell Village) is the only Subarea within Perimeter Center that requires wood shakes as the shingle material. The Commission has previously approved a dimensional asphalt shake designed to have the appearance of wood shake for Key Bank in Subarea E. The Perimeter Lakes apartments were approved with asphalt shingles as well. The architecture section of the text was revised to permit a high-quality asphalt shingle in addition to wood shake and to permit architectural style and detailing to match what is proposed as part of this application. Brick, stucco, wood and manufactured stone are currently permitted in the text and no changes are proposed.
Architecture and Building Materials	The proposed development text requires architecture as it was shown on plans in 1997. Planning has not been able to locate the final approved elevations, however, the buildings as they exist today are assumed to be as approved. The proposed renovations will not change the architectural style, windows, doors, chimneys or wood detailing. The architectural style will remain as it is today. The proposed development text modifications are limited to permitting dimensional asphalt shingles as a permitted building material. All other proposed materials, manufactured stone, brick, stucco and wood are currently permitted.

Analysis Rezoning/Preliminary Development Plan	
Process	Section 153.050 of the Zoning Code identifies criteria for the review and approval for a rezoning/preliminary development plan (full text of criteria attached). Following is an analysis by Planning based on those criteria.
1) <i>Consistency with Dublin Zoning Code</i>	Criterion met: This proposal is consistent with the requirements of the Zoning Code.
2) <i>Conformance with adopted Plans</i>	Criterion met: No changes proposed impact existing or future land use.
3) <i>Advancement of general welfare & orderly development</i>	Criterion met: The proposal addresses a need for residents to live in a safe environment.
4) <i>Effects of adjacent uses</i>	Criterion met: The proposed changes will continue to fit well within Perimeter Center and complement the surrounding area with high-quality architecture and building materials.

Analysis Rezoning/Preliminary Development Plan	
5) Adequacy of open space for residential	No changes are proposed.
6) Protection of natural features and resources	No changes are proposed.
7) Adequate infrastructure	Criterion met: All required public infrastructure is in place.
8) Traffic and pedestrian safety	No changes are proposed.
9) Coordination & integration of building & site relationships	Criterion met: The proposal provides for a coordinated and integrated development with consistent architectural details.
10) Development layout and intensity	Criterion met: The proposal meets all other applicable laws and regulations.
11) Stormwater management	No changes are proposed.
12) Community benefit	Criterion met: The proposal facilitates the maintenance and upkeep of a prominent residential community in the City.
13) Design and appearance	Criterion met: The proposed development plan permits the use of high quality materials consistent with the development in the vicinity.
14) Development phasing	Criterion met: The proposed phasing of the proposal is appropriate and will be completed consecutively.
15) Adequacy of public services	Criterion met: There are adequate services for the proposed uses.
16) Infrastructure contributions	Criterion met: No public infrastructure contributions are required.

Recommendation Rezoning/Preliminary Development Plan	
Approval	In Planning's analysis, the proposal complies with the criteria and the proposed development standards. Planning recommends approval of this request.

Details	Final Development Plan
Overview	<p>The final development plan indicates revisions to the exterior building materials of each façade of the six condominium buildings to address ongoing maintenance issues and quality concerns.</p>
Architecture and Building Materials	<p>The proposal includes the removal of the wood shake shingles, which are a significant feature of these buildings. However, they have reached the end of their lifecycle and have experienced algae growth, mold, insect infestation. The owners are concerned that given the climate and lack of durability, installation of a new wood shake roof would perpetuate the existing maintenance issues.</p> <p>The proposed dimensional asphalt shingles have a life-time warranty, are heavy-duty and have dimension and colorations similar to the wood shakes. The proposal includes the removal of the existing wood shake roofing material and its replacement with lifetime, heavy duty, dimensional asphalt shingles to mimic Cedar Shake in Chapparral. Similar roofing materials were previously approved for buildings in Perimeter Center where both wood shake and asphalt are permitted.</p> <p>The exterior stone facades have experienced water leaks, which has caused significant interior problems to the units. The proposal will remove all stone exteriors, inspect and replace all sheathing and framing that is molded or has water damaged. The subsurface will be repaired and stone will be replaced at the first level. Stucco is proposed in place of stone at the interior elevation which is a revision from the previous proposal. The proposed replacement stone will closely matching the existing stone in texture and color. Any replacement stucco on the interior elevations will be Multi:Tex Parex Corp with "daub" texture closely matching the existing.</p> <p>Other renovation work will include replacement metal work to match the existing, such as roof eave flashing, snow and ice protection, flashing at all appropriate location of stone and stucco installations, new downspouts, wall cap flashing, flashing around all windows and doors, stone trim flashing and at the intersection of all materials.</p> <p>The proposal will retain all existing stone and stucco chimney, all brick facades, all windows (responsibility of the unit owners) and doors, garage doors, and all existing stucco.</p>
Analysis	Final Development Plan
<i>Process</i>	<p>Section 153.050 of the Zoning Code identifies criteria for the review and approval for an amended final development plan. Following is an analysis by Planning based on those criteria.</p>

Details	Final Development Plan
1. Consistency with the approved preliminary development plan.	Criterion met: The proposal addresses significant quality and maintenance issues and with the approval of the revised development text, the materials meet the text, update the building architecture to modernize it, while retaining the character and style that complements the development pattern in the area.
2. Traffic and pedestrian safety	<i>Not applicable.</i>
3. Adequate public services and open space	<i>Not applicable.</i>
4. Protection of natural features and resources	<i>Not applicable.</i>
5. Adequacy of lighting	<i>Not applicable.</i>
6. Proposed signs are consistent with approved plans	<i>Not applicable.</i>
7. Appropriate landscaping to enhance, buffer, and soften the building and site	<i>Not applicable.</i>
8. Compliant stormwater management	<i>Not applicable.</i>
9. All phases (if applicable) comply with the previous criteria.	Criterion met: The proposed phases will occur consecutively.
10. Compliance with all other laws and regulations.	Criterion met: The proposal complies with all other known applicable local, state, and federal laws and regulations.

Recommendation	Final Development Plan
Approval	In Planning's analysis, the proposal complies with the final development plan criteria. Planning recommends approval of this request.

REZONING/PRELIMINARY DEVELOPMENT PLAN CRITERIA

The purpose of the PUD process is to encourage imaginative architectural design and proper site planning in a coordinated and comprehensive manner, consistent with accepted land planning, landscape architecture, and engineering principles. The PUD process can consist of up to three basic stages:

- 1) Concept Plan (Staff, Commission, and/or City Council review and comment);
- 2) Zoning Amendment Request (Preliminary Development Plan; Commission recommends and City Council approves/denies); and**
- 3) Final Development Plan (Commission approves/denies).

The general intent of the preliminary development plan (rezoning) stage is to determine the general layout and specific zoning standards that will guide development. The Planning and Zoning Commission must review and make a recommendation on this preliminary development plan (rezoning) request. The application will then be forwarded to City Council for a first reading/introduction and a second reading/public hearing for a final vote. A two-thirds vote of City Council is required to override a negative recommendation by the Commission. If approved, the rezoning will become effective 30 days following the Council vote. Additionally, all portions of the development will require final development plan approval by the Commission prior to construction. In the case of a combined rezoning/preliminary development plan and final development plan, the final development plan is not valid unless the rezoning/preliminary development plan is approved by Council.

Review Criteria

Section 153.050 of the Zoning Code identifies criteria for the review and approval for a Rezoning/Preliminary Development Plan. In accordance with Section 153.055(A) *Plan Approval Criteria*, Code sets out the following criteria of approval for a preliminary development plan (rezoning):

- 1) The proposed development is consistent with the purpose, intent and applicable standards of the Dublin Zoning Code;
- 2) The proposed development is in conformity with the Community Plan, Thoroughfare Plan, Bikeway Plan and other adopted plans or portions thereof as they may apply and will not unreasonably burden the existing street network;
- 3) The proposed development advances the general welfare of the City and immediate vicinity and will not impede the normal and orderly development and improvement of the surrounding areas;
- 4) The proposed uses are appropriately located in the City so that the use and value of property within and adjacent to the area will be safeguarded;
- 5) Proposed residential development will have sufficient open space areas that meet the objectives of the Community Plan;
- 6) The proposed development respects the unique characteristic of the natural features and protects the natural resources of the site;
- 7) Adequate utilities, access roads, drainage, retention and/or necessary facilities have been or are being provided;
- 8) Adequate measures have been or will be taken to provide ingress and egress designed to minimize traffic congestion on the surrounding public streets and to maximize public safety and to accommodate adequate pedestrian and bike circulation systems so that the proposed development provides for a safe, convenient and non-conflicting circulation system for motorists, bicyclists and pedestrians;
- 9) The relationship of buildings and structures to each other and to such other facilities provides for the coordination and integration of this development within the PD and the larger community and maintains the image of Dublin as a quality community;
- 10) The density, building gross floor area, building heights, setbacks, distances between buildings and structures, yard space, design and layout of open space systems and parking areas, traffic accessibility

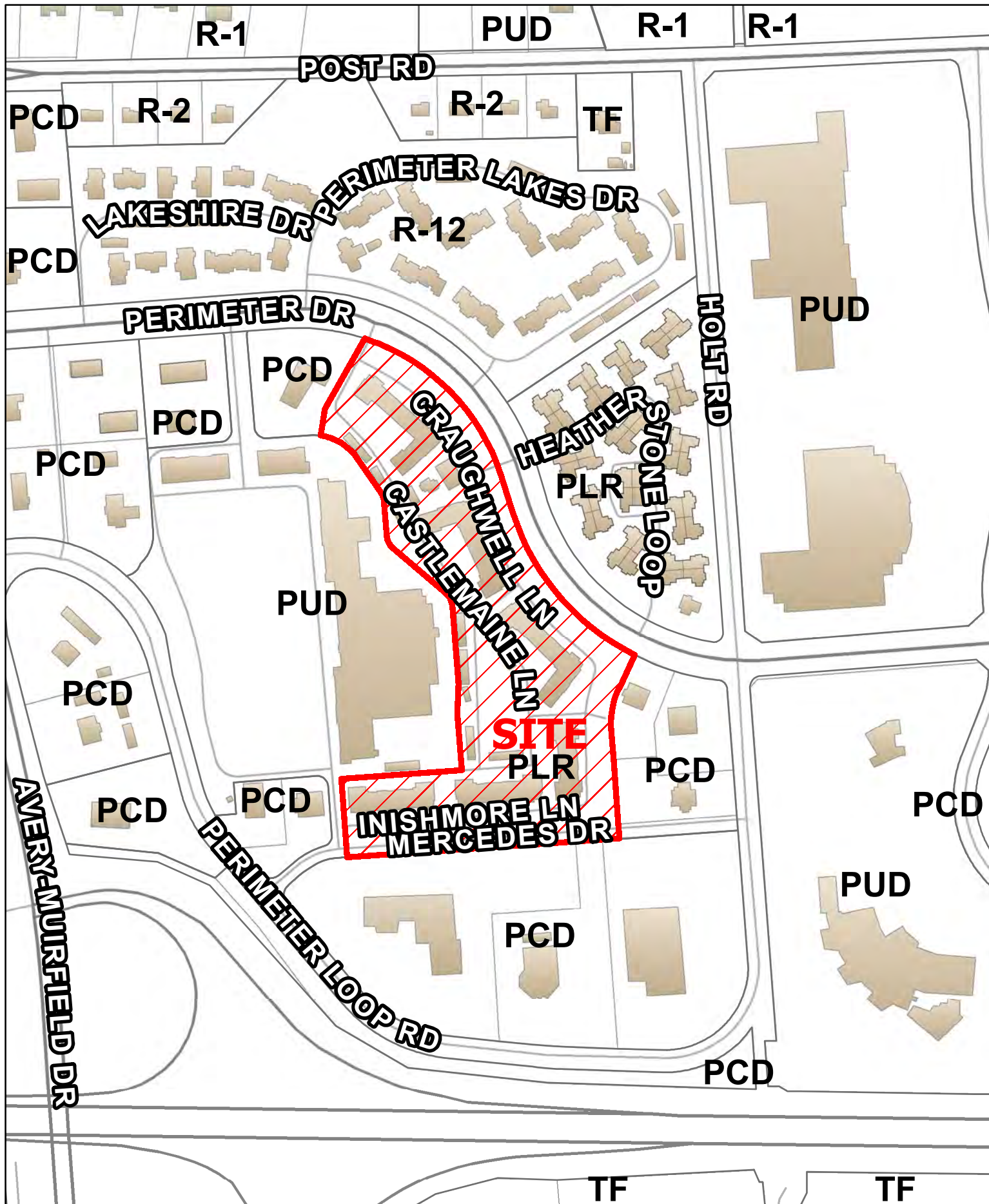
- and other elements having a bearing on the overall acceptability of the development plan's contribution to the orderly development of land within the City;
- 11) Adequate provision is made for storm drainage within and through the site so as to maintain, as far as practicable, usual and normal swales, water courses and drainage areas;
 - 12) The design, site arrangement, and anticipated benefits of the proposed development justify any deviation from the standard development regulations included in the Dublin Zoning Code or Subdivision Regulation, and that any such deviations are consistent with the intent of the Planned Development District regulations;
 - 13) The proposed building design meets or exceeds the quality of the building designs in the surrounding area and all applicable appearance standards of the City;
 - 14) The proposed phasing of development is appropriate for the existing and proposed infrastructure and is sufficiently coordinated among the various phases to ultimately yield the intended overall development;
 - 15) The proposed development can be adequately serviced by existing or planned public improvements and not impair the existing public service system for the area; and
 - 16) The applicant's contributions to the public infrastructure are consistent with the Thoroughfare Plan and are sufficient to service the new development.

FINAL DEVELOPMENT PLAN

Review Criteria

In accordance with Section 153.055(B) *Plan Approval Criteria*, the Code sets out the following criteria of approval for a final development plan:

- 1) The plan conforms in all pertinent respects to the approved preliminary development plan provided, however, that the Planning and Zoning Commission may authorize plans as specified in §153.053(E)(4);
- 2) Adequate provision is made for safe and efficient pedestrian and vehicular circulation within the site and to adjacent property;
- 3) The development has adequate public services and open spaces;
- 4) The development preserves and is sensitive to the natural characteristics of the site in a manner that complies with the applicable regulations set forth in this Code;
- 5) The development provides adequate lighting for safe and convenient use of the streets, walkways, driveways, and parking areas without unnecessarily spilling or emitting light onto adjacent properties or the general vicinity;
- 6) The proposed signs, as indicated on the submitted sign plan, will be coordinated within the Planned Unit Development and with adjacent development; are of an appropriate size, scale, and design in relationship with the principal building, site, and surroundings; and are located so as to maintain safe and orderly pedestrian and vehicular circulation;
- 7) The landscape plan will adequately enhance the principal building and site; maintain existing trees to the extent possible; buffer adjacent incompatible uses; break up large expanses of pavement with natural material; and provide appropriate plant materials for the buildings, site, and climate;
- 8) Adequate provision is made for storm drainage within and through the site which complies with the applicable regulations in this Code and any other design criteria established by the City or any other governmental entity which may have jurisdiction over such matters;
- 9) If the project is to be carried out in progressive stages, each stage shall be so planned that the foregoing conditions are complied with at the completion of each stage; and
- 10) The Commission believes the project to be in compliance with all other local, state, and federal laws and regulations.



City of Dublin

16-084Z/PDP/FDP
Rezoning/Prelim. Dev. Plan/Final Dev. Plan
Craughwell Village PLR
6185 Craughwell Lane

0 150 300
Feet





RECORD OF ACTION

Planning & Zoning Commission

Thursday, November 18, 2016 | 6:30 pm

The Planning and Zoning Commission took the following action at this meeting:

- 4. Perimeter Center, Subarea G1- Craughwell Village Condominiums**
16-0842/PDP/FDP **6185 Craughwell Lane**
Rezoning/Preliminary & Final Development Plans

Proposal: A rezoning to amend the approved development text of a Planned District to revise permitted building materials and architectural elevations and the replacements of roofing and building materials for an existing condominium development on the south side of Perimeter Drive at the intersection with Craughwell Lane.

Request: Review and recommendation of approval to City Council of a Rezoning with a Preliminary Development Plan and review and approval of a Final Development Plan under the provisions of Zoning Code Section 153.050.

Applicant: Jim Bender, JL Bender Inc., Architects and Planners.

Planning Contact: Claudia D. Husak, AICP, Senior Planner.

Contact Information: (614) 410-4675, chusak@dublin.oh.us

MOTION: Mr. Brown motioned, Ms. Mitchell seconded to table the Rezoning and Preliminary Development Plan.

VOTE: 7 - 0

RESULT: The Rezoning with a Preliminary Development Plan was tabled.

RECORDED VOTES:

Victoria Newell	Yes
Amy Salay	Yes
Chris Brown	Yes
Cathy De Rosa	Yes
Robert Miller	Yes
Deborah Mitchell	Yes
Stephen Stidhem	Yes

STAFF CERTIFICATION

Jennifer M. Rauch, AICP, Planning Manager



Motion and Vote

Mr. Brown motioned, Mr. Stidhem seconded, to approve the Waiver Review. The vote was as follows: Ms. Mitchell, yes; Mr. Miller, yes; Ms. De Rosa, yes; Ms. Salay, yes; Ms. Newell, yes; Mr. Stidhem, yes; and Mr. Brown, yes. (Approved 7 – 0)

4. Perimeter Center, Subarea G1- Craughwell Village Condominiums
16-084Z/PDP/FDP **6185 Craughwell Lane**
Rezoning/Preliminary & Final Development Plans

The Chair, Victoria Newell, said the following application is a proposal for a rezoning to amend the approved development text of a Planned District to revise permitted building materials and architectural elevations and the replacements of roofing and building materials for an existing condominium development on the south side of Perimeter Drive at the intersection with Craughwell Lane. She said this is a request for a review and recommendation of approval to City Council of a Rezoning with a Preliminary Development Plan and a review and approval of a Final Development Plan under the provisions of Zoning Code Section 153.050.

The Chair swore in anyone planning to address the Commission regarding this case.

Jennifer Rauch presented an aerial view of the site as well as the existing building conditions. She noted the development text is very specific with regard to architectural designs and elevations. She said the applicant is proposing to renovate these buildings due to significant maintenance and material life cycle issues, water infiltration, and lack of installation details when the structures were originally built. She noted the renovation will consist of replacing the existing wood shake shingle roof with dimensional asphalt shingles, remove all stone from the buildings, repair and replace all damaged sheathing and framing and replace the stone at the lower level in kind and install stucco in the upper two levels in a matching color and finish. She said all the windows and existing stucco and stone chimneys will remain in existing condition.

Ms. Rauch presented a proposed design from the southeast perspective as part of the Final Development Plan. She said the applicant is proposing to change the location of the building materials; where there is a stone section they are proposing to remove the stone but the lower level will be replaced with stone and the upper stories will have stucco. She presented a before and after graphic. Two different colors of stucco are being proposed she said depending on cohesion of the building; the existing brick detailing will remain. She indicated the overall style of this development is remaining.

Ms. Rauch said approval is recommended of the Rezoning with a Preliminary Development Plan with no conditions to City Council and approval is recommended for the Final Development Plan with no conditions.

Bob Miller confirmed the garages have asphalt shingles on them currently.

The Chair invited the applicants to present.

Lisa Pearson, Case Bowen Company, 6255 Corporate Center Drive, and Jim Bender, JL Bender Inc., Architects and Planners, 3340 Riverside Drive, Upper Arlington, Ohio.

Mr. Bender said he has had some very challenging technical problems with this development that are not on the surface. He said they want to preserve the architectural appearance of the development. He said the stone on these massive stone structures are causing all the problems so that is where their focus is. He indicated they want to improve the value for both the community and the people that reside there and the way to make it better is to lighten it up and make it fresher for a 2016 look. He said the stone is not real stone, it is constituted stucco and they believe that by removing some of the stone and replacing

it with stucco will lighten it up. He reported there are serious mold issues that even can be smelled from the street so they really need to change the roof. He said they are proposing a heavy duty shingle in two different colors so the six buildings alternate to provide more variety. He said they are expecting to find extensive water damage when they remove the brick so the new synthetic stone, stucco are going to be installed as a rain screen technology so it should prevent water infiltration for 30 – 40 years. He said the roof is a fire hazard; it is extremely costly for the residents to install that now. He presented a material sample of the stucco of which this will be the first installation in this area. He said the guarantee on the roof shingle is 50 years and 20 – 30 for the stucco without all these water problems. He concluded after these renovations proposed, the value of the buildings will increase.

Amy Salay said she understands the shake shingles were beautiful but they are not working. She said it would be helpful if she could see a material sample. She indicated she is not sure she likes alternating the colors on the buildings. She said she has a problem with changing the stone into a stucco as it will fundamentally change the appearance of the building and not in a good way. She indicated she is nervous about this brand new product. She noted her parents had a home built of brick and stone and it never leaked so she is questioning if the installation was done correctly. She stated she wants to see the materials that are out there maintained but the problems resolved. She said she is fine with changing the roof material.

Vicki Newell said she respectfully disagrees with the presentation. She said it is a lovely building the way it is designed right now. The proposed aesthetic changes to the exterior of the building she said are not an improvement. She said she does not believe the water issues are a result of any of the materials that have been used but rather how the building was constructed. She stated she cannot support changing the shake roof; it is part of the character of the building; and other applicants have requested the same and have been denied so she wants to be consistent. She said Colonial Williamsburg has a number of buildings that have the appearance of shake shingles to preserve the appearance of historic structures, so the shingles they used are actually clay and they are available on the market. She concluded she could not support the changes in the Development text as this proposal does not warrant it.

Chris Brown said he agrees with Ms. Newell and if the stone is changed, the replacement has to match what is there. He said cedar shakes work just fine if properly ventilated and put on slats and the attic is ventilated properly. He indicated it is a 50-year product if installed in the correct manner. He would not mind if the stone was replaced with stucco on the back side of the buildings but the fronts are paramount to keep the character, particularly the clubhouse. He encouraged the applicant to explore other options.

Cathy De Rosa said she agreed with her fellow Commissioners. She said the proposed changes would absolutely change the character and she would not support those changes. She said she would defer to her colleagues on the roofing materials.

Steve Stidhem said he did not know anything about roofing but in general he hates stucco and the stone is a better look.

Deb Mitchell said the stone is really important from a branding perspective and the look and feel for the whole area. She said those buildings are part of other things which all flows together as stone is one of the integrating elements. She encouraged the applicant to find materials that would preserve the look. She said structures need to be brought up-to-date in terms of their durability, sustainability, and functionality but not the look.

Bob Miller said he thought since the complex was tight and each building was three stories that he liked the asphalt shingles that are on the garages and not the shake shingles on the rooftops. He stated he would be supportive of the asphalt shingle roof. He agreed with the applicant in terms of replacing the stone with the stucco would refresh the look of the complex and the only proposed change he questions

is matching the stucco. He applauded the investment into the property because it is good for Dublin, overall.

Mr. Bender said the buildings are 75 – 80% brick but they are proposing to remove 12 – 15% of the brick. He said the biggest change is probably the roof; they selected the heaviest and best shingle on the market. He said clay shingles would be six times as expensive.

Ms. Newell said cost is not an issue that the Commission takes into consideration. She said they look at review standards and when the applicant is proposing a lesser quality material then what was there before, and the applicant stated in their presentation that they are doing some of these things as a cost-saving measure and she understands doing that for the residents but this is a review of the full development text so everything else in the same development has to face the same standards. Looking at the review standards, she stated she did not think that it met the effect of the adjacent uses and is not consistent with the surrounding development so it did not comply with condition 9 for coordination and integration of the building and site relationships because it is changing the development standards of all being replaced for this property and the surrounding development and this was done to coordinate with the Village Center when it was built.

Mr. Bender said there is a difference on all six buildings between the street presence and the garage side. He explained there are two peak roofs in the middle of each façade and that is where they had planned to replace the stone with stucco.

Ms. Newell said she understands the applicant's argument is water infiltration but if the stone is installed properly and detailed properly it is a durable finish on the exterior of a building so she does not see the need to change materials and it would aesthetically change the appearance that was there and change the development text.

Ms. Newell said the Commission can vote on this application this evening or the applicant can request to table the case. Mr. Bender asked to table the case.

Motion and Vote

Mr. Brown motioned, Ms. Mitchell seconded, to table the application. The vote was as follows: Ms. Salay, yes; Ms. De Rosa, yes; Mr. Miller, yes; Mr. Stidhem, yes; Ms. Newell, yes; Ms. Mitchell, yes; and Mr. Brown, yes. (Approved 7 – 0)

5. BSD SRN - Bridge Park, Building C3 – Window Sills 16-098WR

4550 Bridge Park Ave. Waiver Review

~~The Chair, Victoria Newell, said the following application is a proposal for the approval of a Waiver Review to permit the windows within siding clad walls to not have a projecting sill within Building C3 in Bridge Park. She said this is a request for a review and approval of a Waiver Review under the provisions of Zoning Code Section 153.066.~~

~~The Chair swore in anyone planning to address the Commission regarding this case.~~

Motion and Vote

~~Mr. Brown motioned, Mr. Miller seconded, to approve the Waiver Review with no conditions. The vote was as follows: Ms. Newell, yes; Ms. De Rosa, yes; Mr. Stidhem, yes; Ms. Mitchell, yes; Ms. Salay, yes; Mr. Miller, yes; and Mr. Brown, yes. (Approved 7 – 0)~~

~~The Chair adjourned the meeting at 8:55 pm.~~

~~As approved by the Planning and Zoning Commission on _____, 2016.~~



CITY OF DUBLIN.

Land Use and
Long Range Planning
5800 Shier-Rings Road
Dublin, Ohio 43016-1236

Phone: 614-410-4600
Fax: 614-410-4747
Web Site: www.dublin.oh.us

PLANNING AND ZONING COMMISSION

RECORD OF ACTION

OCTOBER 5, 2006

The Planning and Zoning Commission took the following action at this meeting:

2. Amended Final Development Plan 06-130AFDP – Perimeter Center, Subarea G1 – Craughwell Village Garage Additions – Perimeter Drive

Location: 13.114 acres located on the south side of Perimeter Drive at the intersection of Craughwell Lane.

Existing Zoning: PLR, Planned Low-Density Residential District (Perimeter Center plan).

Request: Review and approval of an amended final development plan under the provisions of Section 153.053(E)(2)(b) and 153.055(B).

Proposed Use: Three eight-car garage buildings and associated parking lot modifications for an existing multi-family residential development.

Applicant: The Manor at Craughwell Village Condominium Association, 6185 Craughwell Lane, Dublin, Ohio 43017; represented by Randall Reger, Meleca Architecture, 150 East Broad Street, Suite 600, Columbus, Ohio 43215.

Staff Contact: Judson J. Rex, Planner.

Contact Information: (614) 410-4654/Email: jrex@dublin.oh.us

MOTION: To approve this Amended Final Development Plan because the modifications will provide an additional amenity to the residents of the development, the garages are appropriately located on the site and match the existing on the site, with two conditions:

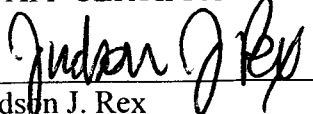
- 1) That the applicant apply for all necessary building permits prior to construction; and
- 2) That the landscaping and tree preservation plans be modified to reflect the comment in the staff report.

* Randall Reger agreed to the above conditions.

VOTE: 4 – 0.

RESULT: This Amended Final Development Plan was approved.

STAFF CERTIFICATION


Judson J. Rex
Planner

~~with the applicants' comments and prefers parallel parking. Mr. Walter said he would have a hard time if the buildings were pushed up to the build line.~~

~~Mr. Zimmerman asked for feedback on the architecture for the auto dealership and whether it should blend with the rest of the development. Ms. Jones said it has to come close. Mr. Fishman said it does not match now and it needs the Old Irish Theme. Mr. Zimmerman said they all agree that the architecture has to match with regards to the dealership. [Everyone agreed.]~~

~~Mr. Zimmerman said they now need a consensus of the building heights—two to three story buildings. Mr. Fishman said with regards to density if they go higher they will have more room for green space and he would like to see two to three story buildings and have more green space, walking space and patios. Ms. Jones agreed that in the section east of Shamrock would like to see the buildings taller. Mr. Walter said he likes what he sees and recognized that it is not what is perceived and it should have an overriding look and would like to see the same style continued with the renderings and they should see what they look like coming up. Mr. Zimmerman said he agreed with the taller buildings.~~

~~Ms. Jones said she really liked the proposed architecture and supports the connectivity and agrees with staff on the curb cuts and the urban streetscape and is not supportive of fast food on this site.~~

~~Mr. Fishman agreed with Ms. Jones comments and said this site will be upscale and he would like to see a Wendy's without a drive-thru and thinks that it would fit within the buildings.~~

~~Dan Carducci, representing Wendy's International, said they would not build a store without a pickup window. Mr. Fishman said there are lots of places to build stores and that he did not think it had to be here. Mr. Carducci understood.~~

~~Mr. Walter said he does not think that a drive-thru is appropriate on this site.~~

Vote and Motion:

~~Mr. Zimmerman made a motion to table this Rezoning/Preliminary Development Plan at the request of the applicant. Mr. Fishman seconded the motion, and the vote was as follows: Ms. Jones, yes; Mr. Walter, yes; Mr. Fishman, yes; and Mr. Zimmerman, yes. (Approved 4—0.)~~

2. Amended Final Development Plan 06-130AFDP – Perimeter Center, Subarea G1 – Craughwell Village Garage Additions – Perimeter Drive

Mr. Zimmerman asked if anyone in the audience was present to speak in regards to this case. There being none, he swore in the applicant's representative, Randall Reger, Meleca Architecture, who then agreed to the two conditions as listed in the staff report.

Vote and Motion:

Mr. Zimmerman made the motion to approve this Amended Final Development Plan because the modifications will provide an additional amenity to the residents of the development, the garages are appropriately located on the site and match the existing on the site, with two conditions:

- 1) That the applicant apply for all necessary building permits prior to construction; and
- 2) That the landscaping and tree preservation plans be modified to reflect the comments in the staff report.

Mr. Walter seconded the motion, and the vote was as follows: Mr. Fishman, yes; Ms. Jones, yes; Mr. Walter, yes; and Mr. Zimmerman, yes. (Approved 4 – 0.)

3. Concept Plan 06-131CP – La Scala Italian Bistro – Mixed Use Development – 4209 West Dublin Granville Road

Mr. Zimmerman asked if the applicant was present. Ms. Adkins indicated that they had submitted a letter requesting to be tabled.

Vote and Motion:

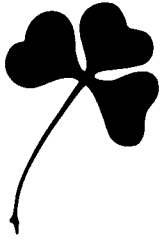
Mr. Fishman made a motion to table this Concept Plan at the request of the applicant. Mr. Walter seconded the motion, and the vote was as follows: Ms. Jones, yes; Mr. Fishman, yes; Mr. Walter, yes; and Mr. Zimmerman, yes. (Approved 4 – 0.)

The meeting was adjourned at 8:16 p.m.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Flora Rogers" followed by a stylized flourish or initials.

Flora Rogers
Administrative Assistant



CITY OF DUBLIN

**DUBLIN PLANNING AND ZONING COMMISSION
RECORD OF ACTION
November 7, 1996**

The Planning and Zoning Commission took the following action at this meeting:

2. **Rezoning Application Z96-009 - Perimeter Center - Subarea G1 - Multi-Family**
Location: 13.114 acres located on south side of Perimeter Drive, approximately midway between Avery/Muirfield Drive and Wilcox Road.
Existing Zoning: PCD, Planned Commerce District (Perimeter Center Plan).
Request: PLR, Planned Low Density Residential District.
Proposed Use: A three-story multi-family development of 198 units and a clubhouse.
Applicant: Hallmark Communities, Ltd, c/o Mark Pottschmidt, Continental Real Estate, 150 East Broad Street, Columbus, Ohio 43215.

MOTION: To approve this rezoning because it contributes to the established residential area, continues the high architectural standards of Perimeter Center, meets the PLR requirements, provides an additional type of housing for the community on a site which is appropriate for multi-family development, with 12 conditions:

- 1) That prior to the final development plan, verification that the parcels have been combined be submitted;
- 2) That all opposing curbcuts be shown on the plan and that points of access for the site meet the text requirements and approval of the City Engineer;
- 3) That a parkland fee in the amount of \$121,360.00 be paid by the applicant prior to issuance of a building permit or recording of the final plat, as appropriate;
- 4) That a easement and right-of-way dedication plat be provided for this development indicating the location of public and private easements, vehicular access, access restriction, and maintenance responsibilities for private utilities and streets, as approved by the City Engineer;
- 5) That the design of private streets, private and public utilities, storm water management and grading plan for the site meet the requirements of the City Engineer;
- 6) That the site layout take into consideration the presence of existing public and private utilities, as approved by the City Engineer;
- 7) That the applicant demonstrate building materials, colors and proportions at the Planning Commission meeting;

**DUBLIN PLANNING AND ZONING COMMISSION
RECORD OF ACTION
November 7, 1996**

**2. Rezoning Application Z96-009 - Perimeter Center - Subarea G1 - Multi-Family
(Continued)**


- 8) That prior to construction, the site plan, and architecture be reviewed and approved by the Planning Commission utilizing the final development plan process;
- 9) That the appropriate parking ratio be determined at final development plan;
- 10) That all signs, lighting, and landscaping comply with the City's Code, subject to staff approval;
- 11) That the applicant provide within two weeks, a revised Subarea Plan for Perimeter Center; and
- 12) That the text be revised to include an expiration clause prior to going to Council, subject to staff approval.

* Franklin E. Kass agreed to the above conditions.

VOTE: 4-1.

RESULT: The Commission recommends approval of this rezoning application. It will be forwarded to City Council, upon resolution of the outstanding issues listed above, with a positive recommendation.

STAFF CERTIFICATION



Tim Evans
Planner

1. Discussion - Commission Meeting Procedures

~~After a discussion regarding the length of past meetings, a consensus emerged to use a consent agenda beginning in January 1997. Slides should be minimized, relying on renderings and aerial shots to shorten staff presentations.~~

2. Rezoning Application Z96-009 - Perimeter Center - Subarea G1 - Multi-Family

Tim Evans presented this rezoning for 13.8 acres on the south side of Perimeter Drive. It is zoned for a flex-office complex (PCD), and the PLR, Planned Low Density District is requested for 198 apartments in three-story buildings. It is in Perimeter Center Subarea F2, allowing Community Commercial and Suburban Office uses. This application creates a new Subarea G1.

Mr. Evans said the apartments will face the streets, and garages will abut the rear line. The site wraps around a portion of the shopping center and will screen the loading area. The mound with evergreens provides temporary screening. The architecture will match the shopping center.

This site is shown as an Activity Center in the 1988 Community Plan and is appropriate for multi-family use. A density of 15 du/acre is proposed which is the highest in Dublin. Perimeter Lakes was developed at a density of 10.5 du/acre, and the Village at Heatherstone is less than 7 du/acre.

Landscaping will include a continuous three-foot hedge, stone pilasters 50 feet apart, and street trees. Staff recommends an additional line of trees be planted along the proposed bikepath. The maximum height for Subarea G1 will be 45 feet. Code for multi-family units requires 2.5 parking spaces per unit, and 2.25 spaces per unit are proposed. The Staff feels parking should be examined at the final development plan stage. No parkland is to be dedicated, but a park fee of \$121,360 is to be paid prior to final occupancy. The buildings will be finished with natural materials such as brick, wood, manufactured stone, and stucco of earthtone colors. Roofs will be at least 6:12 with wood shingles. The garages in the rear will have asphalt shingles and vinyl siding.

He said staff is recommending approval with 11 conditions:

- 1) That prior to the final development plan, verification that the parcels have been combined be submitted;
- 2) That all opposing curbcuts be shown on the plan and that points of access for the site meet the text requirements and approval of the City Engineer;
- 3) That a parkland fee in the amount of \$121,360. be paid by the applicant prior to issuance of a building permit or recording of the final plat, as appropriate;
- 4) That a easement and right-of-way dedication plat be provided for this development indicating the location of public and private easements, vehicular access, access restriction, and maintenance responsibilities for private utilities and streets, as approved by the City Engineer;

- 5) That the design of private streets, private and public utilities, storm water management and grading plan for the site meet the requirements of the City Engineer;
- 6) That the site layout take into consideration the presence of existing public and private utilities, as approved by the City Engineer;
- 7) That the applicant demonstrate building materials, colors and proportions at the Planning Commission meeting;
- 8) That prior to construction, the site plan and architecture be reviewed and approved by the Planning Commission utilizing the final development plan process;
- 9) That the appropriate parking ratio be determined at final development plan;
- 10) That all signs, lighting, and landscaping comply with the City's Code and design guidelines; and
- 11) That the applicant provide within two weeks, a revised Subarea Plan for Perimeter Center.

George Peplow asked if Building F had access between it and the Perimeter Center parking lot. Mr. Evans said no and that landscaping in this area would be addressed later.

Frank Kass, the applicant, said an excellent development called Victoria Gate has a density of 50 du/acre. This development will have a lower density but a higher degree of exterior quality. Higher density provides the opportunity to build in more amenities, better materials, etc. The apartments will cover up the back of the shopping center. The redefined site is 13.114 acres, and the building coverage will be only 2.53 acres. He gave some statistical and demographic information on the Sycamore Ridge apartments and its residents. Mr. Kass said the Sycamore Ridge rent ranges from \$675 to \$1,300 per month. He said this development would probably rent for 25 percent more than Sycamore Ridge, and "corporate housing" might be up to 50 percent of the total development. He said there would be very few school-aged children.

Mr. Kass said these would be the highest quality rental units in the Dublin marketplace, and that is a function of density. He said the apartments directly across the street are not brick and have asphalt shingle roofs, not wood shakes.

Mr. Kass said Perimeter Center is the nicest community center that could be done providing a walking street environment, as Dublin requested. It is extraordinarily good-looking and works. The problem had always been screening the back of it. Flex buildings of similar materials and colors were planned, but due to low demand, it might be years before construction. He said the proposed multi-family has a better look and will complement the activity center. He said the Community Plan indicates this area designated for multi-family.

Mr. Kass said Sessions Village was built 70 years ago by Frank Leveque and was the highest density ever used. It is outstanding and is on the National Historic Register.

Mr. Ferrara asked if there is vehicular access to the back of the center from the main driveway. Mr. Kass said yes, and also between Buildings E and F. There is no access from the service area to the units anywhere else. About 100-150 employee spaces are behind the shopping center.

Mr. Sutphen said he would not object if this development improves on those in the area. He said Mr. Kass had a good record in Dublin with Sycamore Ridge. Mr. Sutphen said the existing screening was not sufficient. He liked the height and materials proposed.

Mr. Harian said he liked the project and asked about "corporate housing". Mr. Kass said they rented units in groups for corporate housing. The units are furnished and re-rented to corporations, instead of using hotels.

Mr. Kass said the neighboring credit union and veterinarian were contacted.

Ms. Chinnici-Zuercher said she liked the project and supported the density. She said the issue was whether to give up the commercial space for multi-family housing.

Mr. Peplow said density was his first concern at the previous meeting. After studying several higher density projects since then, he thinks this will work. He thought this development would be better for the neighboring businesses than the empty field. He supported this project.

Mr. Kass said he agreed with the above conditions. He preferred a parking ratio of 1.75 spaces per unit, for more greenspace. Ms. Chinnici-Zuercher said it was not necessary to determine the ratio at this time. Mr. Kass wanted it to be known now, not later.

Mr. Kass asked that lighting not be subject to Dublin Design Guidelines. He said they are too bright for residential areas. Safety can be provided with normal lighting. Mr. Sutphen asked that the lighting at the entrance/exit meet the guidelines. Mr. Kass agreed. Ms. Boring asked to substitute "...subject to staff approval" in Condition 10. Mr. Kass agreed.

Mr. Kass requested a reversion clause if construction has not begun within 12 months after the rezoning becomes effective. Mr. McKittrick owns the land, and he would like to have commercial zoning if this project is not built. Ms. Clarke said no reversion language has been submitted and suggested that the specific text language be resolved later with the staff.

Ms. Boring thought the parking could be re-figured based on number of bedrooms. Ms. Boring thought this project looked good and also liked Victoria Gate. She said the Mt. Auburn Study identifies the area as a priority one for commercial development, and that was the preferred use.

Mr. Harian liked the synergy between this project and the shopping center. This is an upscale complex with a upscale shopping center, and the parts will complement each other.

Ms. Clarke said the bedroom mix and corporate housing characteristics should be evaluated to determine the appropriate amount of parking at the time of the final development plan.

Ms. Clarke said the Dublin Lighting Guidelines do not establish a higher base level of lighting than the zoning code. They establish criteria for the even distribution of light on the site which

is preferable for security and safety purposes. She said the guidelines could be adjusted for residential settings.

Mr. Sutphen made a motion to approve this rezoning because it contributes to the established residential area, continues the high architectural standards of Perimeter Center and provides Dublin with a new type of housing in an area appropriate for multi-family development, with 12 conditions:

- 1) That prior to the final development plan, verification that the parcels have been combined be submitted;
- 2) That all opposing curbcuts be shown on the plan and that points of access for the site meet the text requirements and approval of the City Engineer;
- 3) That a parkland fee in the amount of \$121,360 be paid by the applicant prior to issuance of a building permit or recording of the final plat, as appropriate;
- 4) That an easement and right-of-way dedication plat be provided for this development indicating the location of public and private easements, vehicular access, access restriction, and maintenance responsibilities for private utilities and streets, as approved by the City Engineer;
- 5) That the design of private streets, private and public utilities, storm water management and grading plan for the site meet the requirements of the City Engineer;
- 6) That the site layout take into consideration the presence of existing public and private utilities, as approved by the City Engineer;
- 7) That the applicant demonstrate building materials, colors and proportions at the Planning Commission meeting;
- 8) That prior to construction, the site plan, and architecture be reviewed and approved by the Planning Commission utilizing the final development plan process;
- 9) That the appropriate parking ratio be determined at final development plan;
- 10) That all signs, lighting, and landscaping comply with the City's Code, and the design be subject to staff approval;
- 11) That the applicant provide within two weeks, a revised Subarea Plan for Perimeter Center; and
- 12) That the text be revised to include an expiration clause prior to the Council hearing, subject to staff approval.

Mr. Peplow seconded the motion. Mr. Kass agreed to the amended conditions as listed above. The vote was as follows: Mr. Harian, yes; Ms. Chinnici-Zuercher, yes; Ms. Boring, no; Mr. Sutphen, yes; and Mr. Peplow, yes. (Approved 4-1.)

~~3. Final Development Plan-- Balgriffin Apartments - Phase 1~~

~~John Talantino presented this final development plan for 140 apartment units located on the east side of Avery Road. Phase I is north of Blunden Road. He said that the dumpster screening, mounding, and landscaping at Britton Woods was good and should be repeated here. Four~~



C I T Y O F D U B L I N
Department of Planning & Development

**RECORD OF ACTION
DUBLIN PLANNING AND ZONING COMMISSION
JANUARY 9, 1992**

The Planning and Zoning Commission took the following action in the application below at its regular meeting:

5. Revision to Final Development Plan - Perimeter Lakes Apartments

Location: 20.143+ acres located on the north side of Perimeter Drive and the west side of Wilcox Road, approximately 400 feet east of Avery Road.

Existing Zoning: R-12, Urban Residential District (Perimeter Center Plan)

Request: Changes in color palette and architectural trim to be used on project.

Proposed Use: 189 apartments in 19 two-story buildings.


Applicant: Newtowne Development Corporation, Inc., c/o Paul Schmitt, 5890 Sawmill Road, Dublin, OH 43017.

MOTION: To approve the architectural alterations requested, specifically the sunburst accents and lattice work.
(The applicant withdrew his request to modify the color scheme, and this was not considered.)

VOTE: 7-0

RESULT: This revision to the Final Development Plan was approved.

STAFF CERTIFICATION:



Barbara M. Clarke
Zoning Administrator

Dublin Planning and Zoning Commission
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Mr. Campbell made a motion to approve the Concept Plan subject to the following conditions:-

- 1)- Improvement of park access from the subdivision and submission of written easement from school system if southern access is to be maintained;
- 2)- Staking of easement and park entrance behind Starkey residence for assessment by Parks Director;
- 3)- Submission of tree preservation plan and no-build zone or other protections in wooded area;
- 4)- Submission of development standards for sideyard, rear yard, height, etc., as well as minimum lot requirements;
- 5)- Provision of access through to the high school site between lots;
- 6)- Reconfiguration of lots to meet the setback requirement along Coffman Road and entry street;
- 7)- Dedication of Coffman Road right-of-way consistent with Community Plan;
- 8)- Submission of consistent landscape treatment and development restrictions for lots abutting Coffman Road which may require additional depth to property accomplish;
- 9)- Provision of sidewalks and street trees throughout the subdivision in compliance with Code;
- 10)- Design of stormwater conveyance through the site and detention for the development in compliance with MORPC standards;
- 11)- Provision of direct access to the detention pond between lots by way of easement; and
- 12)- Further review by developer and staff of the location of the entrance from Coffman Road as appropriate.

~~Mr. Manus seconded the motion. The vote was as follows: Mrs. Stillwell, yes; Mr. Geese, yes; Mr. Leffler, yes; Mr. Fishman, yes; Mr. Kranstuber, yes; Mr. Manus, yes; and Mr. Campbell, yes. (Approved 7-0.)~~

~~Mr. Leffler made a motion to table the Preliminary Plan for further consideration. Mr. Manus seconded the motion. The vote was as follows: Mr. Kranstuber, yes; Mr. Campbell, yes; Mr. Fishman, yes; Mrs. Stillwell, yes; Mr. Geese, yes; Mr. Manus, yes; and Mr. Leffler, yes. (This Preliminary Plan application was tabled with a vote of 7-0.)~~

5. Revision to Final Development Plan - Perimeter Lakes Apartments

Ms. Clarke presented the staff report. She said the applicant had submitted two requests, one being to change the color palette and the other one is to introduce lattice on the exterior of the building. He no longer wishes to pursue the change in color palette. He is now only interested in changing the elevation of the building from the 2x2 ballisters (the uprights used on the exterior railings) to a lattice. In discussion with Peter Lenz, Chief Building Official, he reminded the applicant that

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any lattice must meet the requirements of the building code and must bear the same amount of force. It is not clear from the lattice shown on the elevations what size members are to be used.

Ms. Clarke said that a number of things have changed in this project. The clubhouse has been redesigned and slightly reoriented on the site. There was a decision not to put a woodburning fireplace in every unit, but to use a gas burner instead. The chimneys are not needed and therefore will be replaced by vents on the exterior of the building. The exterior of the buildings was negotiated, at least in part, with the Post Road residents. Staff felt that since architecture was part of negotiations between the land owner and the residents along Post Road, that those should be decided in a public forum.

NOTE: Due to a disfunction in the public address system, the rest of the meeting could not be tape recorded.

Mr. Manus made a motion to approve the architectural alterations requested, specifically the sunburst accents and lattice work. The applicant withdrew his request to modify the color scheme, and this was not considered.

Mr. Leffler seconded the motion. The vote was as follows: Mr. Campbell, yes; Mr. Fishman, yes; Mr. Geese, yes; Mr. Kranstuber, yes; Mrs. Stillwell, yes; Mr. Manus, yes; and Mr. Leffler, yes. (Approved 7-0.)

~~6. Plat for Wilcox Road Realignment/Tuttle Crossing Boulevard Extension~~

~~Mr. Willis presented the staff report and slides of the site. This is to be a jointly-funded road improvement by Franklin County and the City of Dublin. The right-of-way is being dedicated as part of the Windmill rezoning plan.~~

~~Manus made a motion to approve this application with the following conditions:~~

- ~~1) Correction of the dimensional error on the plat drawing; and~~
- ~~2) Adjustment of the acreage in affected sub-areas of the Windmill plan.~~

~~Mr. Leffler seconded the motion. The vote was as follows: Mr. Kranstuber, yes; Mr. Geese, yes; Mr. Fishman, yes; Mr. Campbell, yes; Mrs. Stillwell, yes; Mr. Manus, yes; and Mr. Leffler, yes. (Approved 7-0.)~~