

 BRIDGE PARK™
DUBLIN, OH

Master Sign Plan—West

Revision 1.12.2018

 CRAWFORD HOYING
development

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 City of Dublin

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General Design Criteria

Bridge Park West is located in Historic Dublin, where sign design and lighting support the early-to mid-19th-century heritage of the district. The objective of the sign design criteria is to provide basic standards and specifications that assure consistent quality, while also giving tenants the freedom to create attractive and unique signage to draw visitors.

For comprehensive regulations regarding business signage in Historic Dublin, please consult the following documents:

City of Dublin, Ohio Code of Ordinances, Section 153.065(H)

<http://www.amlegal.com/library/oh/dublin.shtml>

See Title XV: Land Usage, Chapter 153: Zoning Regulations, Section 153.065 Site development standards

Sign Design Guidelines:

<http://dublinohiousa.gov/dev/wp-content/uploads/2015/08/Bridge-Street-District-Sign-Guidelines.pdf>

See Title XV: Land Usage, Chapter 153: Zoning Regulations, Section 153.065 Site development standards

Overall Design of Signs

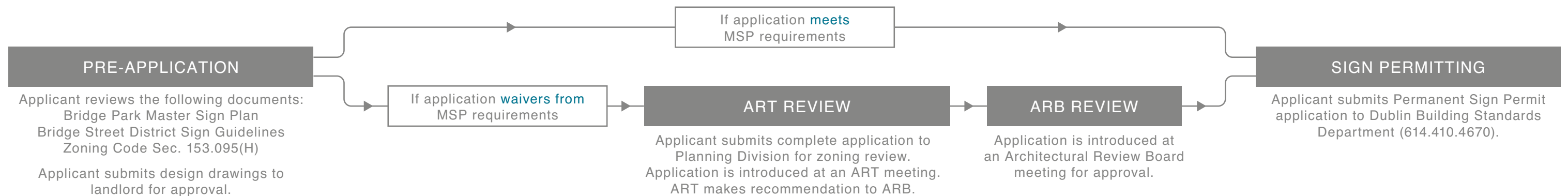
The sign shall be in proportion to the space it will occupy.

Elements of the sign should create an overall cohesive design, reflect simplicity, avoid visual clutter and ensure legibility.

Tenant signage should:

- Provide the public with a safe and effective means of locating businesses from a pedestrian or from a vehicle perspective.
- Be scaled appropriately to the pedestrian realm and enhance the pedestrian experience.
- Be consolidated into a minimum number of elements.
- Have simple shape and appropriate contrast.
- Be constructed with a minimum number of materials.
- Be designed with harmonious use of colors.
- Be easy to read from the intended vantage point.
- Be constructed & erected to complement the overall appearance of the building.
- Be fabricated on and of materials that are of permanent quality, good durability and are complementary to the building.
- Be constructed of materials that weather well and reduce maintenance.
- Be designed with a maximum of 3 colors. Use of a logo shall count as one of the three permissible colors. No limitations on size of logo or secondary copy.

Zoning Review Timeline

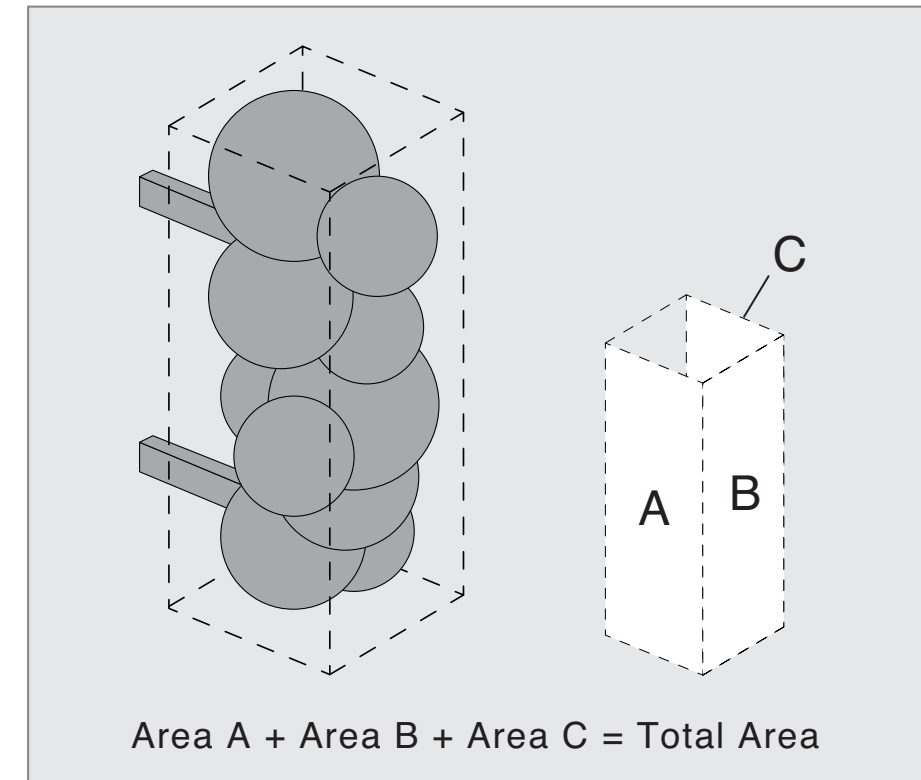


Computation of Sign Size

Determining Sign Area or Dimension

- Sign area shall include the face of the entire display area not including the bracing, framing and structural supports of the sign, unless such support members are made part of the message or face of the sign. When a sign has two or more display faces, the area of all faces of the sign shall be included in determining the area of the sign, unless the two faces are joined back to back, are parallel to each other and not more than 24 inches apart. The area of a sign consisting of individual letters or symbols, either freestanding or attached to or painted on a surface, building, wall, or window, shall be considered to be that of the smallest single rectangle which encompasses all the letters and symbols.
- In the case of two-sided freestanding or projecting signs, the sign area consists of the entire surface area of the sign on which copy could be placed. For freestanding and projecting signs, this is the area of one face of the sign.
- For placemaking art signs, which may have multiple dimensional features, area shall be determined by drawing a box around the entire sign, and computing the area of the three outside faces (see Fig. 1).

Fig. 1 Area of Placemaking Art Sign



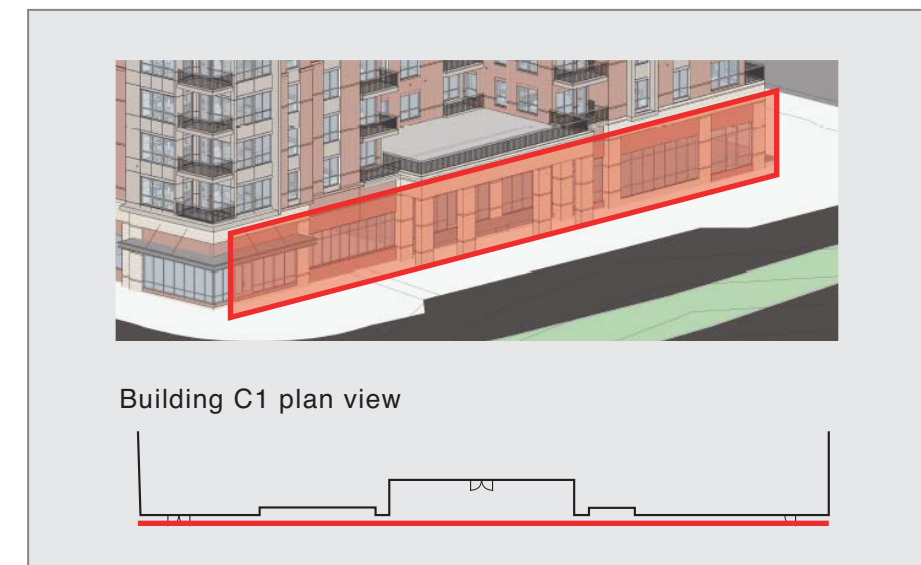
Determining Sign Mounting Height

- Sign mounting height shall be measured from the finished grade at the building base to the highest element of the sign. Minimum clearances to the bottom of the sign apply as noted.

Determining Building Frontage and Building Unit

- The building wall that faces the principal street or the building wall that contains the main entrance to the uses therein shall be considered the building frontage.
- In the case of an irregular wall surface, a straight line extending along such wall surface shall be used to measure the length (see Fig. 2).

Fig. 2 Length of Irregular Wall Surface



Definitions and General Guidelines

Fascia/Wall Sign

Also known as a storefront sign or business identification sign. Mounted parallel to the plane of the building.

All Fascia/Wall Signs shall:

- use sign design appropriate to Bridge Park and Historic Dublin
- have a three-dimensional or layered construction
- respect the architecture and scale of the building
- support the concept, design and location of the store

Fascia/Wall signs may be applied to buildings in a variety of ways, including:

- painted wood or metal panels with painted, carved, or applied letters
- individual cut metal letters applied directly to the building



Definitions and General Guidelines

Projecting Sign

A sign which is suspended from, attached to, or supported by a building, mounted perpendicular to the plane of the building. Projecting signs offer the opportunity for a more decorative and playful sign, and contribute to a pedestrian-friendly atmosphere.

All Projecting Signs shall:

- have support structures consistent with the aesthetics of the storefront
- be hung well out of reach of pedestrians, minimum 8' from finished grade and maximum 6' perpendicular projection from the building



Definitions and General Guidelines

Placemaking Art Sign

A larger projecting sign that offers the tenant more freedom with design and materiality to create a highly unique presence for their location. In turn, the design contributes to a diverse visual culture in Bridge Park West. This sign type is permitted at designated locations as marked in building elevations (see pps. 18–24).

All Placemaking Art Signs shall:

- be constructed utilizing layers, dimension, and possibly light (at the discretion of the Landlord). Creative lighting is encouraged and can include direct, indirect, and internal illumination (see p. 16).
- be mounted so that the base of the sign is at the start of Level 2 as marked on building elevations, continuing up to an overall sign height of no greater than 24 ft. or as marked in building elevations.



PED Art Sign

A smaller Placemaking Art Sign that offers more freedom with sign design and form; and, requires additional detail, high-quality materiality, and unique lighting.

Location and design must be administratively approved by the Planning Director prior to sign permitting submittal.

This sign type is **not** intended to permit larger, more visible projecting signs.

All PED Art Signs shall:

- be located within the first level of the building



Definitions and General Guidelines

Sandwich Board Sign

These signs are reminiscent of a “Main Street” shopping experience and provide additional recognition for the retailer. Typical construction consists of two hinged boards resting on the ground level, outdoors.

All Sandwich Board Signs shall:

- be professionally designed and constructed, receiving Landlord approval
- be placed within six feet of a ground floor entrance so as not to disrupt pedestrian traffic
- be taken indoors each night



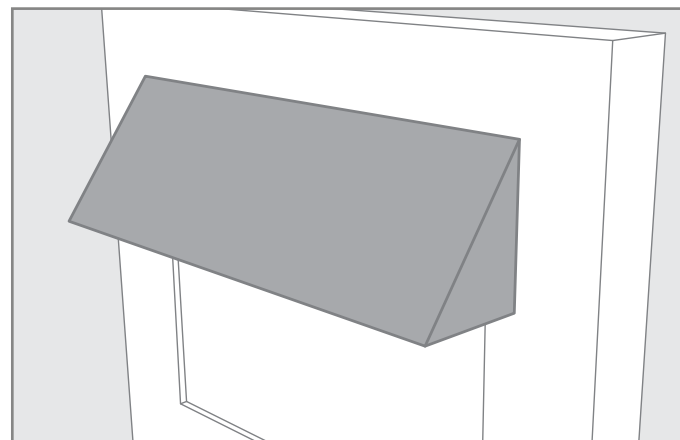
Definitions and General Guidelines

Awning

Tenants may select a solid awning color, and additionally, may print a design on 20% of the total area of each awning, including enclosed ends if applicable. Printed designs may be in up to 2 colors that must be harmonious with the background color.

All Awnings shall:

- have a traditional straight “hood” structure (see drawing below), with no vertical front overhang. The ends may be open or closed
- be manufactured of commercial grade, fire- and UV-resistant treated vinyl or canvas
- feature Landlord-approved designs only



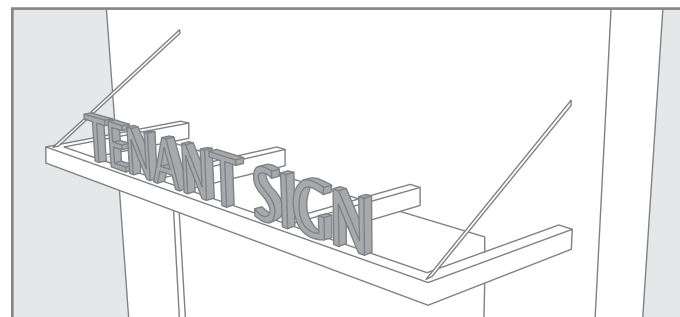
Definitions and General Guidelines

Canopy Edge Sign

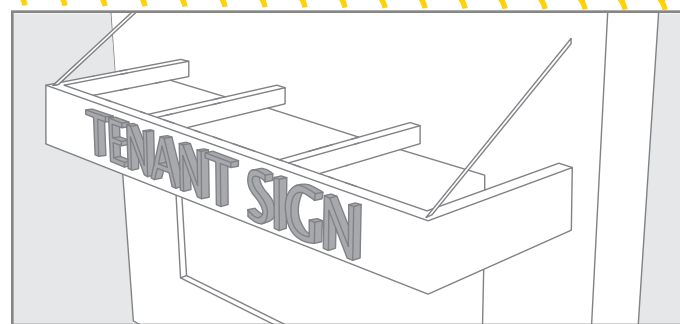
Located on the street-facing edge and/or face of an architectural canopy structure. May be a tenant name, tenant logo/graphic element, building address (at lobby entrances), or parking garage name.

All Canopy Edge Signs shall:

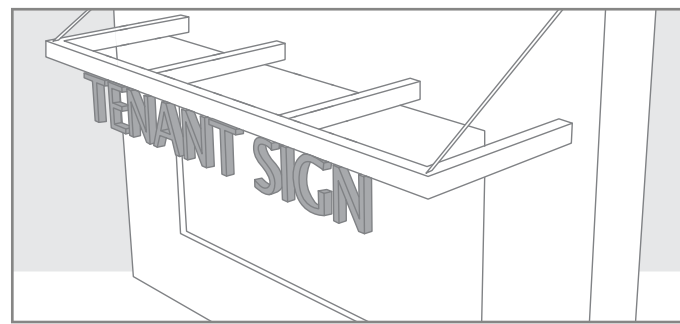
- consist of dimensional letters, numbers, or simple graphic elements



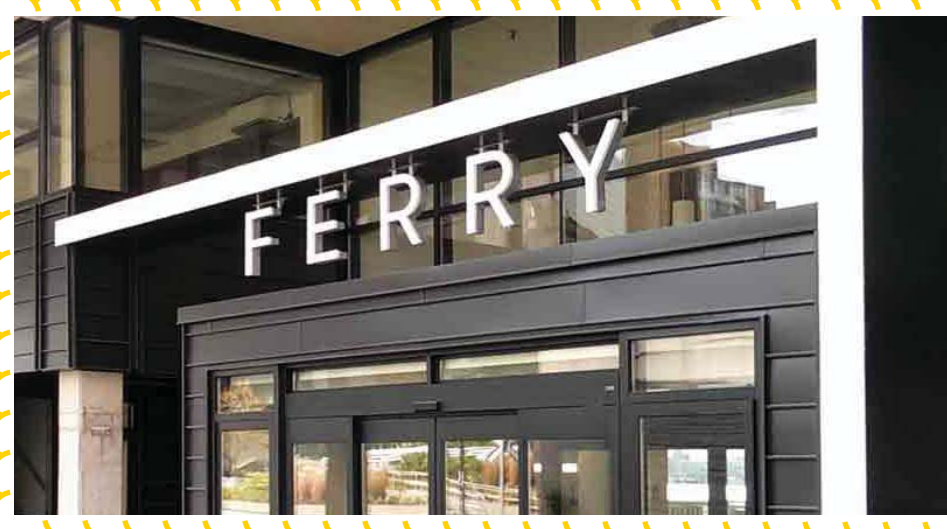
Top mount



Face mount



Underneath mount



Window Sign and Window Graphic

Window signage contributes to an inviting and distinctive street-level character.

Sign – Displays the tenant’s primary logo and/or name, and counts toward tenant’s total allowed signs.

Graphic – Displays other text or graphic elements, and does not count toward tenant’s total allowed signs.

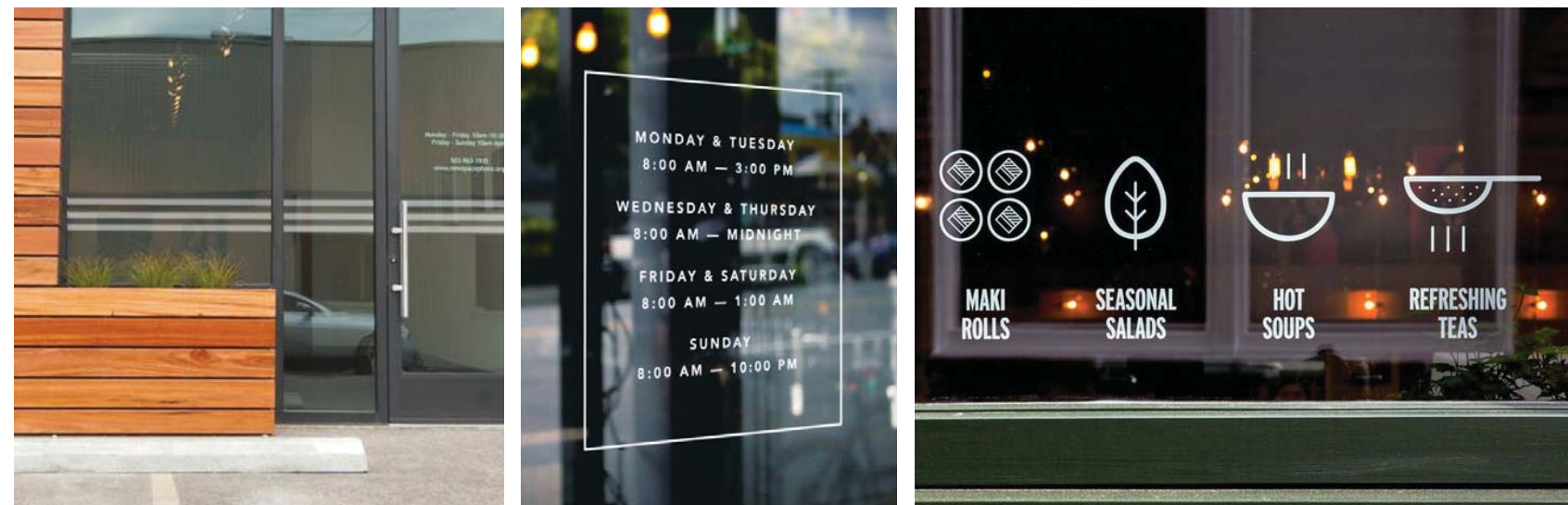
All Window Signs/Graphics shall:

- be applied directly to the interior surface of the glass. Methods include metal leaf, vinyl, painted, etched cut, and sandblasted lettering.

Window Sign



Window Graphic



Lighting

Sign illumination adds considerable character and visual excitement to the Bridge Park district. Where visible, lighting hardware should complement the architecture of the building.

External Illumination

External fixtures attached to the building façade in the vicinity of the sign are permitted.

Internal Illumination

Channel letters or other dimensional sign elements may use internal illumination. Surfaces must be evenly lit, with careful color selection for maximum legibility: for example, darker blue and purple hues are not as visible in night time conditions. **Exposed neon is prohibited.**

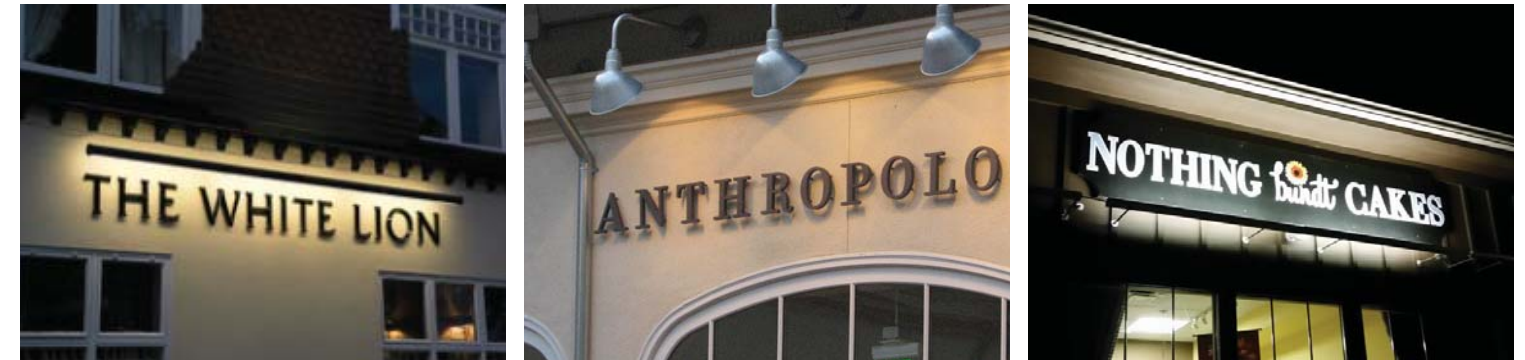
Indirect Illumination

Indirect lighting includes “halo” lighting around characters or shapes, back lighting, concealed uplighting, and accent lighting courses.

A combination of illumination methods is permissible, provided the goal is legibility and the overall brightness of the sign is not a distraction. Placemaking art signs in particular have the potential to creatively utilize different types of lighting.

Awnings and freestanding streetscape signage (umbrellas, sandwich board signs) may not be illuminated, except for wayfinding kiosks.

External illumination



Internal illumination



Indirect illumination



Internal and indirect



Refer to Sections 153.065(F) and 153.065(H)(4) of Dublin, Ohio Code of Ordinances for additional guidance on exterior lighting.

Prohibited Sign Designs

- Unadorned rectangular cabinet signs with translucent or opaque faces.
- Temporary wall signs, pennants, or banners, unless specifically approved by the Landlord; and if so, for no more than 14 days.
- No box signs.
- No exposed junction boxes, wires, transformers, lamps, tubing, conduit, or raceways.
- No pre-manufactured signs, such as franchise signs, that have not been modified to meet the specific criteria for this project.
- No paper, cardboard or Styrofoam signs.
- No exposed fasteners, unless decorative fasteners are essential to the sign design concept.
- No flashing, oscillating, animated lights or other moving sign components.
- No inflatable displays.
- No exposed neon.

Fascia/Wall Sign



- Rectangular cabinet sign with opaque face
- No dimensional design elements
- Exposed wiring and mounting brackets

Sandwich Board



- Insufficient construction quality
- Replaceable letter face
- Non-neutral frame color

Awning



- Roll-up design
- Printing on more than 20% of awning surface (stripes)
- Vertical front with frilled edge

Window Sign



- Design covers more than 30% of window

General Regulations Matrix

Signs Allowed for Level 1 Tenants
 Tenants with corner frontage = 3 building mounted signs¹, one of which must be a Projecting Sign.
 Tenants with inline frontage = 2 building mounted signs¹, one of which must be a Projecting Sign.

Signs Allowed for Level 2 Tenants
 Level 2 tenants are permitted 1 Projecting Sign, except if the tenant occupies the entire second floor of the South Building; then they are permitted 2 Projecting Signs on separate elevations.

Sign Type	Allowable Area		Other Regulations	
	Level 1 / Ground	Level 2		
Signs with Special Conditions	Leasing Window Cover	Full window coverage; Crawford Hoying or Bridge Park logo shall occupy ≤30% of a window	NP	During vacancy and turnover, storefront windows may be fully covered with a dark gray tinted vinyl, with a Crawford Hoying or Bridge Park logo and contact information. Graphics cannot exceed the coverage allowance of a typical Window Sign. This limits visibility into the vacant space, but still allows some light in and visibility out for prospective tenant showings. Permit not required.
	Tenant Leasing Window Cover	Full window coverage; tenant logo shall occupy ≤30% of a window	NP	During turnover and for up to 180 days, tenant may install a full-coverage vinyl graphic for storefront windows. The design must have a solid background and up to 3 colors. Graphics cannot exceed the coverage allowance of a typical Window Sign. Permit not required. See example on p. 17. Design subject to Landlord approval.
Building Mounted Signs	If tenant modifies building façade to create additional leasable area, signage may be added, provided it conforms to all applicable guidelines.			
	Fascia/Wall Sign ^{1,2}	1 sq ft per linear ft of frontage, to a max. ≤12 sq ft	NP	Overall height of sign must not exceed 36 in. Exceptions for typographic ascenders and descenders (g, j, etc.) may be made at Landlord's discretion. Fascia/Wall signage is limited in location and quantity based on building architecture and is subject to Landlord's discretion. Max. area may be reduced where limited by architecture.
	Projecting Sign ¹	≤8 sq ft	≤8 sq ft	For Level 1/Ground tenants, the lowest portion of a Projecting Sign should hang no less than 8 ft. above the sidewalk. The highest portion should not exceed 15 ft. above the sidewalk. Max. horizontal projection is 6 ft. from façade.
	Placemaking Art Sign	NP	≤80 sq ft	Permitted to select Level 1 tenants at Landlord's discretion. Must be mounted so that the base of the sign is <12 feet above sidewalk, to a maximum of <24 feet.
	PED Art Sign	≤25 sq ft	NP	Not permitted for tenants with less than 50 ft. of frontage on a public right of way. Shall require highly unique and creative design. Permitted only to select tenants in activating locations with the approval of the Planning Director. Area shall be measured as defined for Placemaking Art Signs on p. 08.
	Window Sign ¹ /Graphic	≤30% of each window	NP	Must be applied to the inside surface of the window as metal leaf, vinyl, paint, etched cut or sandblasted lettering. Designs may contain up to two colors. Window "Sign" = tenant's primary logo and/or name, and counts toward tenant's total allowed signs. Window "Graphic" = other text or graphic element, and does not count toward tenant's total signs.
	Awning ¹	Printing on ≤20% of awning surface to a max. ≤8 sq ft	NP	Awning structure must be traditional straight "hood" style, may be closed- or open-ended, and must be manufactured of commercial grade, fire- and UV-resistant treated vinyl or canvas. Tenant may dictate awning color and up to two colors in a printed design, subject to Landlord's discretion. Colors must be harmonious with the background color. A solid color awning without printing does not count toward tenant's total allowed signs. Lighting of awnings is not permitted.
	Canopy Edge Sign	1 sq ft per linear ft of frontage, to a max. ≤12 sq ft	NP	Individual channel or pin-mounted letters or a basic graphic element are required. Elements may be applied to the front face, top edge, or underside of canopy, no less than 8 ft. above sidewalk. Permitted over lobby entrances. All sign elements shall be summed to calculate sign area. Overall height of sign must not exceed 36 in., but exceptions for typographic ascenders and descenders (g, j, etc.) may be made at Landlord's discretion. Max. sign area may be reduced where limited by architecture.
Signs Not Requiring a Permit	Sandwich Board ³	≤6 sq ft per side, 3 ft height, qty. 1 per tenant		May include whiteboard and chalkboard elements. Must be well constructed using framing with neutral colors (black, brown, dark wood). Place within 6 ft. of primary ground floor entrance. Permit not required.
	Umbrella	n/a		Must be a solid color with no printed graphics. Umbrellas and outdoor furniture must be set at least 5 ft. from the curb and all street trees and street features. 6 ft. of clearance must be maintained for pedestrians. When not in use, or when weather conditions prohibit use, outdoor furniture that is not all-weather material must be stored. Permit not required.
	Logo/Name on Storefront Door ^{4,5}	≤30% of door glass, to a max. ≤1 sq ft		A single, one-square-foot window sign indicating the name of the business and/or a logo, shall be permitted only on a public entrance to the tenant space and shall not require a permanent sign permit, provided not more than one low chroma color is used, such as black, white, or gray.

NP Not Permitted
 n/a Not Applicable
 1. Refer to Table 153.065-I of Dublin, Ohio Code of Ordinances
 2. Refer to Table 153.065-J
 3. Refer to Table 153.065-K
 4. Refer to Table 153.067-K and M
 5. Refer to 153.065(H)(6)(c)(4).

Permitted Sign Lighting

Illumination Type	Description
External	External fixtures attached to the building façade in the vicinity of the sign.
Internal	Channel letters or other dimensional sign elements may use internal illumination. Surfaces must be evenly lit, with careful color selection for maximum legibility. For example, darker blue and purple hues are not as visible in nighttime conditions.
Indirect	Includes “halo” lighting around characters or shapes, back lighting, concealed uplighting, and accent lighting courses.
Combination	A combination of illumination methods is permitted, provided the goal is legibility and the overall brightness of the sign is not a distraction. Placemaking art signs in particular have the potential to creatively utilize different types of lighting.
Awnings and signs not requiring permits may not be illuminated.	

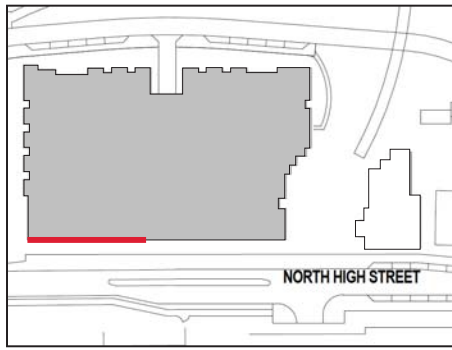
Tenant Licensee Signs

Description
<p>Tenant may grant a sign to a licensee or subtenant on their property, subject to all applicable regulations of the MSP. Any such sign shall count toward the tenant’s total signs allowed. For example, if a tenant was allowed a maximum of 4 building mounted signs, they could grant a sign to a licensee or subtenant, but that would reduce the tenant’s allowable building mounted signs to 3.</p>

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Example Tenant Leasing Window Cover





Bridge Park West: Tenant Signage Level Diagram West Elevation, North End (N. High St.)

NOTE: These elevations are intended to show typical sign locations by type and typical tenant space. Specific locations will be finalized and documented with the sign permit application and shall be consistent with the intent of these illustrations. Refer to pps. 04–14 for specific allowances, restrictions, and quantities per tenant.

- Tenant Signage
- Parking Signage

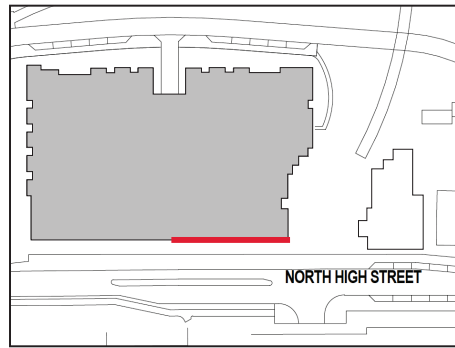
Plan and note updated on all subsequent pages



Level 1		Level 2	
TENANT ID SIGN			
1A Fascia/Wall Sign	1D Canopy Edge Sign	2A Projecting Sign	2B Placemaking Art Sign
1B Projecting Sign	1E Window Sign*		
1C Awning	1F PED Art Sign		
INCIDENTAL & TEMPORARY			
1G Sandwich Board*	1H Window Display*		
PARKING SIGNAGE			
1J Garage Entry ID	1K Ped. Kiosk w/Parking ID		

*It is recommended that these sign types do not count against a tenant's total allowed.

Legend updated on all subsequent pages



Bridge Park West: Tenant Signage Level Diagram West Elevation, South End (N. High St.)

NOTE: These elevations are intended to show typical sign locations by type and typical tenant space. Specific locations will be finalized and documented with the sign permit application and shall be consistent with the intent of these illustrations. Refer to pps. 04–14 for specific allowances, restrictions, and quantities per tenant.

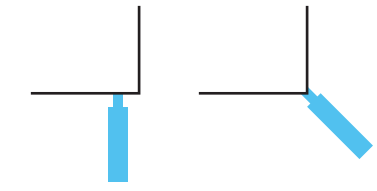
- Tenant Signage
- Parking Signage

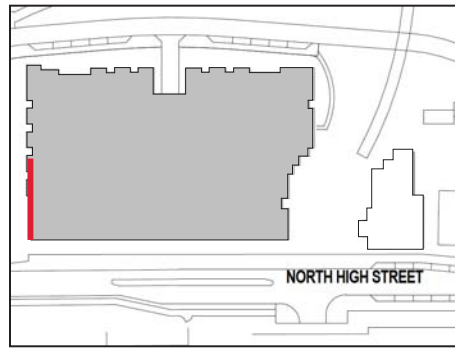


Level 1	
TENANT ID SIGN	
1A Fascia/Wall Sign	1D Canopy Edge Sign
1B Projecting Sign	1E Window Sign*
1C Awning	1F PED Art Sign
INCIDENTAL & TEMPORARY	
1G Sandwich Board*	1H Window Display*
PARKING SIGNAGE	
1J Garage Entry ID	1K Ped. Kiosk w/Parking ID

Level 2	
TENANT ID SIGN	
2A Projecting Sign	2B Placemaking Art Sign

*It is recommended that these sign types do not count against a tenant's total allowed.

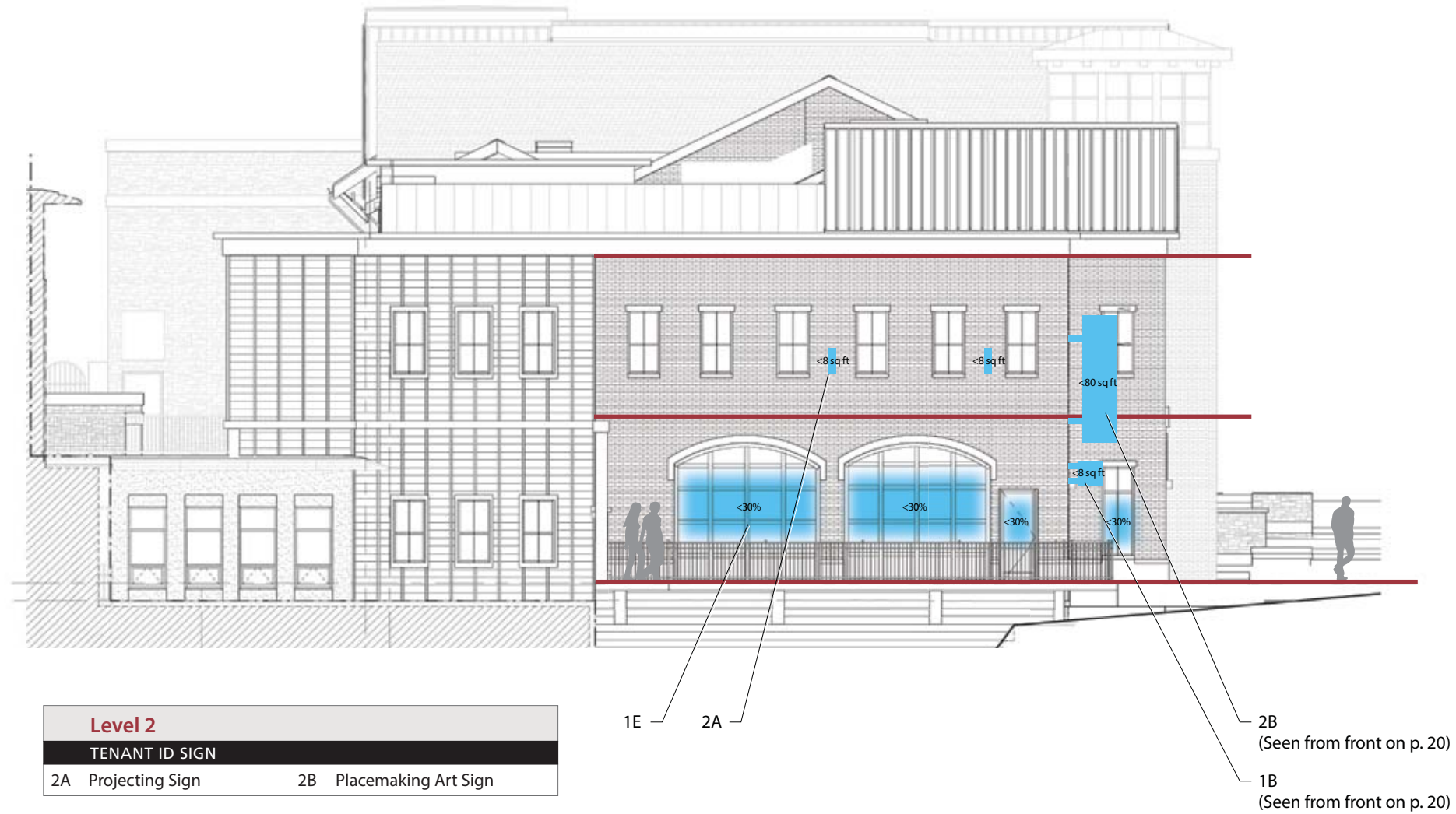




Bridge Park West: Tenant Signage Level Diagram North Elevation

NOTE: These elevations are intended to show typical sign locations by type and typical tenant space. Specific locations will be finalized and documented with the sign permit application and shall be consistent with the intent of these illustrations. Refer to pps. 04–14 for specific allowances, restrictions, and quantities per tenant.

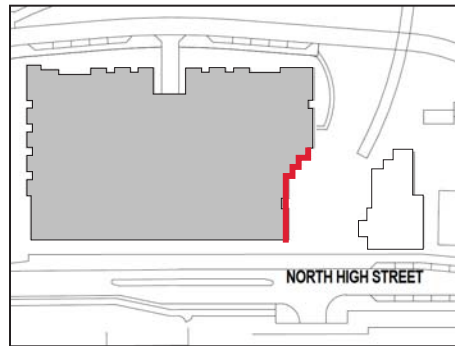
- Tenant Signage
- Parking Signage



Level 1	
TENANT ID SIGN	
1A Fascia/Wall Sign	1D Canopy Edge Sign
1B Projecting Sign	1E Window Sign*
1C Awning	1F PED Art Sign
INCIDENTAL & TEMPORARY	
1G Sandwich Board*	1H Window Display*
PARKING SIGNAGE	
1J Garage Entry ID	1K Ped. Kiosk w/Parking ID

Level 2	
TENANT ID SIGN	
2A Projecting Sign	2B Placemaking Art Sign

*It is recommended that these sign types do not count against a tenant's total allowed.



Bridge Park West: Tenant Signage Level Diagram South Elevation

NOTE: These elevations are intended to show typical sign locations by type and typical tenant space. Specific locations will be finalized and documented with the sign permit application and shall be consistent with the intent of these illustrations. Refer to pps. 04–14 for specific allowances, restrictions, and quantities per tenant.

- Tenant Signage
- Parking Signage

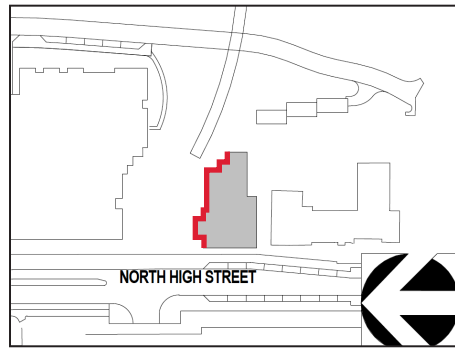


Level 1	
TENANT ID SIGN	
1A Fascia/Wall Sign	1D Canopy Edge Sign
1B Projecting Sign	1E Window Sign*
1C Awning	1F PED Art Sign
INCIDENTAL & TEMPORARY	
1G Sandwich Board*	1H Window Display*
PARKING SIGNAGE	
1J Garage Entry ID	1K Ped. Kiosk w/Parking ID

Level 2	
TENANT ID SIGN	
2A Projecting Sign	2B Placemaking Art Sign

*It is recommended that these sign types do not count against a tenant's total allowed.

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Bridge Park West Phase 2: Tenant Signage Level Diagram North Elevation

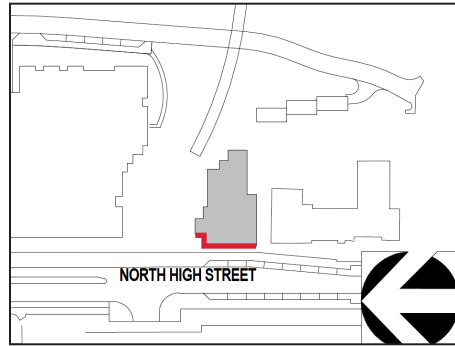
NOTE: These elevations are intended to show typical sign locations by type and typical tenant space. Specific locations will be finalized and documented with the sign permit application and shall be consistent with the intent of these illustrations. Refer to pps. 04–14 for specific allowances, restrictions, and quantities per tenant.



Level 1	
TENANT ID SIGN	
1A Fascia/Wall Sign	1D Canopy Edge Sign
1B Projecting Sign	1E Window Sign*
1C Awning	1F PED Art Sign
INCIDENTAL & TEMPORARY	
1G Sandwich Board*	1H Window Display*

Level 2	
TENANT ID SIGN	
2A Projecting Sign	2B Placemaking Art Sign

*It is recommended that these sign types do not count against a tenant's total allowed.



Bridge Park West Phase 2: Tenant Signage Level Diagram West Elevation

NOTE: These elevations are intended to show typical sign locations by type and typical tenant space. Specific locations will be finalized and documented with the sign permit application and shall be consistent with the intent of these illustrations. Refer to pps. 04–14 for specific allowances, restrictions, and quantities per tenant.

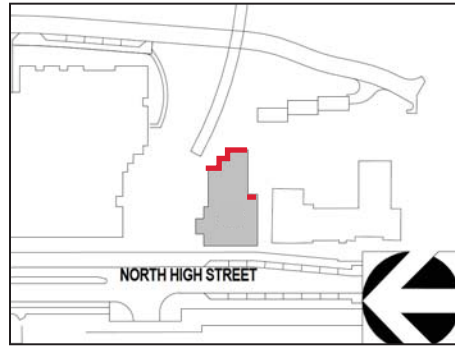
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Level 1	
TENANT ID SIGN	
1A Fascia/Wall Sign	1D Canopy Edge Sign
1B Projecting Sign	1E Window Sign*
1C Awning	1F PED Art Sign
INCIDENTAL & TEMPORARY	
1G Sandwich Board*	1H Window Display*

Level 2	
TENANT ID SIGN	
2A Projecting Sign	2B Placemaking Art Sign

*It is recommended that these sign types do not count against a tenant's total allowed.



Bridge Park West Phase 2: Tenant Signage Level Diagram East Elevation

NOTE: These elevations are intended to show typical sign locations by type and typical tenant space. Specific locations will be finalized and documented with the sign permit application and shall be consistent with the intent of these illustrations. Refer to pps. 04–14 for specific allowances, restrictions, and quantities per tenant.

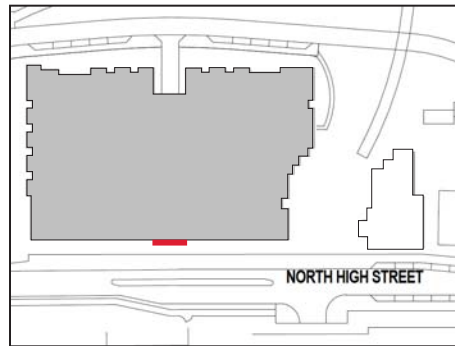
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Level 1	
TENANT ID SIGN	
1A Fascia/Wall Sign	1D Canopy Edge Sign
1B Projecting Sign	1E Window Sign*
1C Awning	1F PED Art Sign
INCIDENTAL & TEMPORARY	
1G Sandwich Board*	1H Window Display*

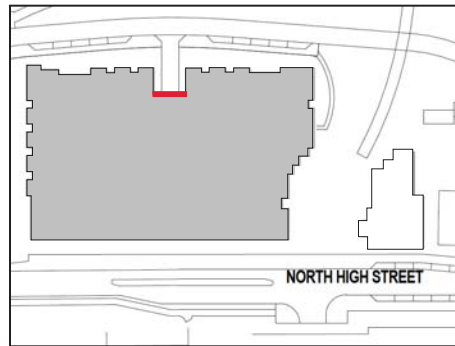
Level 2	
TENANT ID SIGN	
2A Projecting Sign	2B Placemaking Art Sign

*It is recommended that these sign types do not count against a tenant's total allowed.

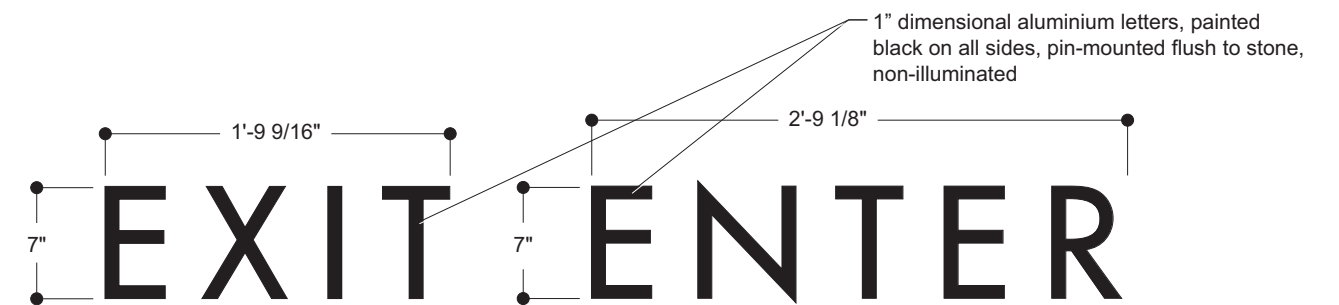
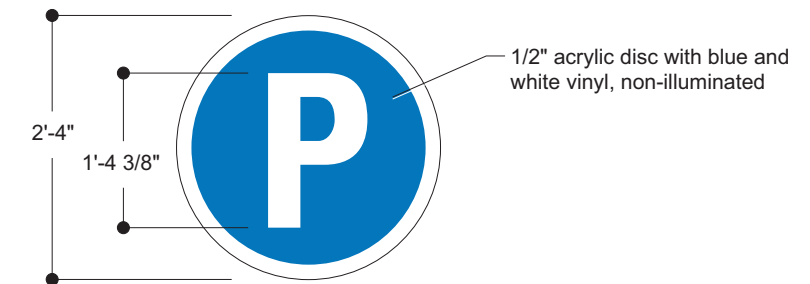
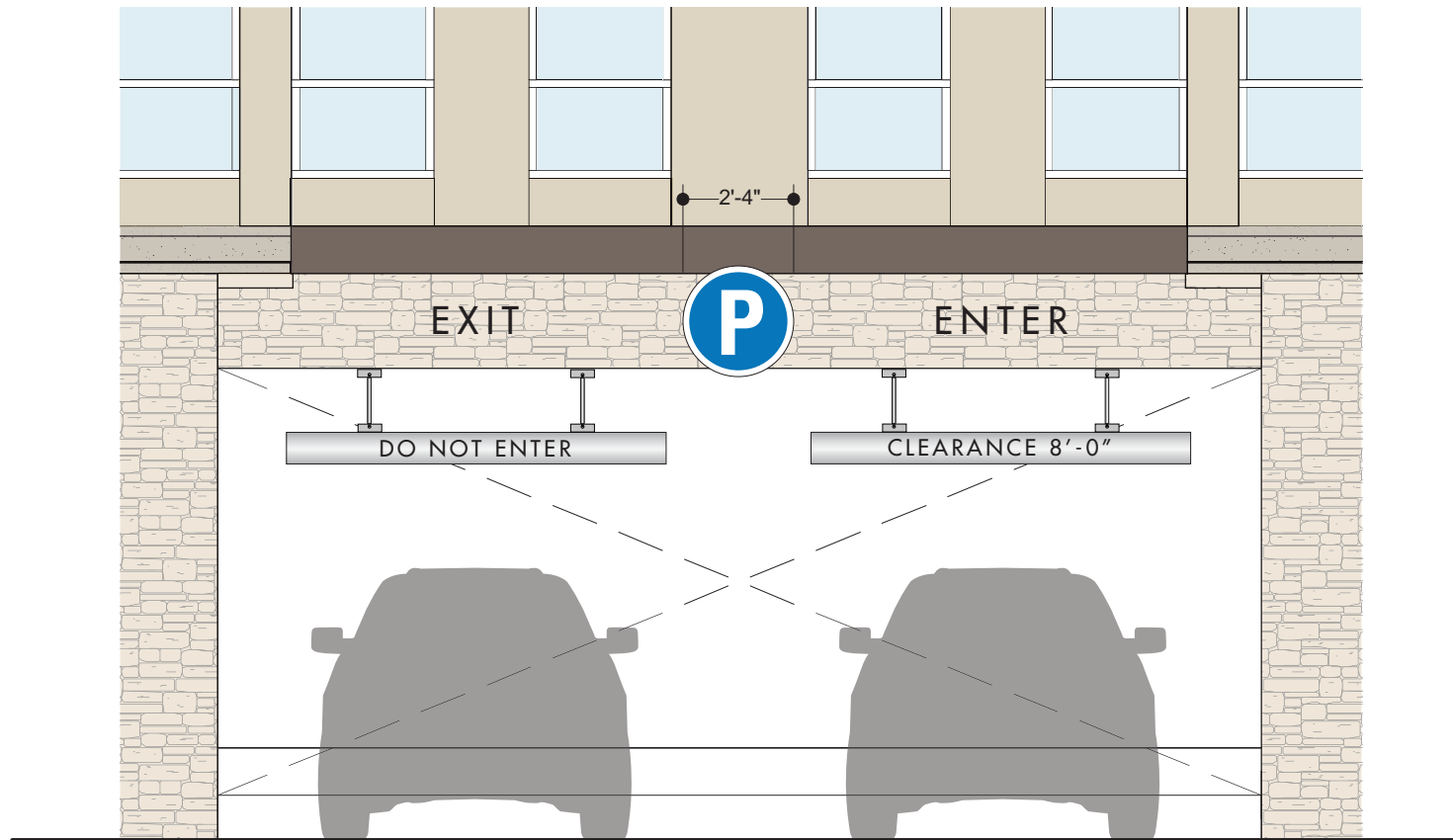


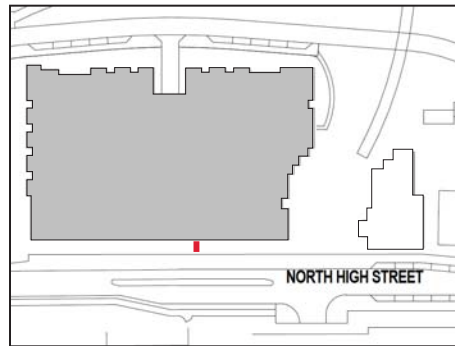
Bridge Park West: Garage Entrance ID West Elevation





Bridge Park West: Garage Entrance ID
East Elevation





Bridge Park West: Pedestrian Kiosk w/Parking ID

