



City of Dublin


Office of the City Manager

5200 Emerald Parkway • Dublin, OH 43017-1090

Phone: 614-410-4400 • Fax: 614-410-4490

Memo

To: Members of Dublin City Council

From: Dana L. McDaniel, City Manager 

Date: August 24, 2017

Initiated By: Vincent A. Papsidero, FAICP, Planning Director
Jennifer M. Rauch, AICP, Planning Manager

Re: Site Plan – Downtown Dublin Parking Garage – (Case#17-075DP/SP/CU)

Summary

This is a request for review and approval of a Development Plan, Site Plan and Conditional Use for the construction of a 548-space parking garage and associated site improvements. The site is located on the west side of North High Street, north of the intersection with North Street. City Council has designated itself as the required reviewing body for these applications.

Background

The Basic Site Plan was approved by City Council on April 24, 2017 for the public parking garage and library applications. City Council designated themselves the required reviewing body for all subsequent applications related to these two projects. City Council requested the Architectural Review Board be allowed to provide input at the Council meeting when these subsequent reviews occur. The Architectural Review Board was provided the City Council packet and invited to attend and provide comments regarding the Conditional Use, Development Plan and Site Plan applications.

City Council was presented two design options for the garage exterior at the June 12, 2017 meeting (metal fins vs. terracotta baguettes). Council selected the terracotta option for the building material for the final parking structure design.

Code requires Conditional Use approval to permit unoccupied space along the street frontages. The Administrative Review Team reviewed and recommended approval of a Conditional Use application to the Architectural Review Board on July 20, 2017. Subsequently, the Architectural Review Board reviewed and recommended approval of the Conditional Use to City Council on July 26, 2017 with no conditions. The final determination of the Conditional Use is required with City Council's review of the current application.

The Administrative Review Team reviewed and recommended approval to City Council of the Development Plan and Site Plan on August 17, 2017 with 22 Waivers and eight conditions. The Administrative Review Team approved one administrative departure with their review.

Application Overview

The proposed 548-space parking garage is located on the west side of the proposed library building and plaza, and extends west toward the future Franklin Street extension. This proposed site has frontage along three rights-of-way: one segment of the future Rock Cress Parkway, North

Street and the future Franklin Street extension (all three roads segments will be constructed/reconstructed with this project). The proposed garage includes two vehicular entrances at North Street on level one and at Franklin Street on level two. An internal book drop is proposed on the ground level in the northwest corner of the garage, with right-out-only onto Rock Cress Parkway. A bike hub is proposed along the northwestern portion of the garage, along Rock Cress Parkway.

City Council Actions: Parking Garage

Council is required to take action (approve/approve with conditions/disapprove) on the Conditional Use, Development Plan and Site Plan. ART and ARB (when required) has recommended approval of these application with eight conditions and 22 Waivers. Below is a summary of the required City Council actions:

- 1) Conditional Use
- 2) Waivers
- 3) Development and Site Plan Review with conditions

Recommendation

The Architectural Review Board has reviewed the Conditional Use and recommends City Council take the following action:

- 1) Approve** the Conditional Use with no Conditions.

The Administrative Review Team has reviewed the Development Plan and Site Plan and recommends City Council take the following actions:

- 2) Approve** the 22 Waivers:

1. **Tower Height** – §153.062(D)(4)(b).
Required: Maximum tower height limited to 12 feet.
Proposed: 14.5 feet.
2. **Story Articulation** – §153.062(G).
Required: Articulation required to delineate each story.
Proposed: Upper stories are obscured by the material application.
3. **Front RBZ** – §153.062(O)(12)(a)(1).
Required: 5-25 feet along Rock Cress Parkway.
Proposed: Bike hub retaining wall set back is zero and located at the right-of-way line.
4. **Corner Side RBZ** – §153.062(O)(12)(a)(1).
Required: 5-25 feet along North Street.
Proposed: Building setback 1 foot.
5. **Rear Yard Setback** – §153.062(O)(12)(a)(2).
Required: Minimum rear yard setback is 5 feet along North Street.
Proposed: Building setback is 1 foot.
6. **Lot Coverage** – §153.062(O)(12)(a)(2).

Required: 80% maximum impervious lot coverage.

Proposed: 92%.

7. **Blank Wall Limitations** – §153.062(O)(12)(a)(3)(d)(1).

Required: Maximum opacity 30% on street facing.

Proposed: 100% shown on ground story and varied % on upper stories.

8. **Blank Wall Limitations** – §153.062(O)(12)(a)(3)(d)(2).

Required: No greater than 30 feet.

Proposed: None are provided.

9. **Vertical Increments** – §153.062(O)(12)(a)(3)(d)(4).

Required: Maximum opacity 30% on street facing.

Proposed: 100% shown on ground story and varied percentages on upper stories.

10. **Permitted Primary Materials** – §153.062(O)(12)(a)(3)(d)(5).

Required: Brick, stone or glass.

Proposed: Terracotta ceramic baguettes and modular trellis panels (green wall).

11. **Minimum Primary Materials** – §153.062(O)(12)(a)(3)(d)(5).

Required: 80% primary material.

Proposed: 69% on the north façade and 66% on the south facade.

12. **Permitted Secondary Materials** – §153.062(O)(12)(a)(3)(d)(5).

Required: Glass, fiber reinforced gypsum, wood siding, fiber cement siding, metal and exterior architectural metal panels and cladding.

Proposed: Cast-in-place architectural concrete.

13. **Tower Location** – §153.062(O)(12)(a)(3)(d)(6).

Required: Façades at terminal vistas (east elevation).

Proposed: Towers at the northwest and southwest corners (stairwell and elevator overruns).

14. **Parking Structure Entrance/Exit Lane** – §153.065(B)(3)(a)(2)

Required: Double entrance/exit lanes no wider than 24 feet at the right-of-way.

Proposed: 33 feet wide at Franklin Street and 29 feet wide at North Street.

15. **Stacking Spaces** – §153.065(B)(3)(b).

Required: Two vehicle lengths measuring 20 feet each shall be provided between the street and garage entry gate.

Proposed: One vehicle length is provided at each entrance (reviewed and approved by City Engineer).

16. **Interior Circulation** – §153.065(B)(3)(c)(4).

Required: Minimum ceiling clearance of 8.5 feet.

Proposed: Upper stories provide 7 feet clearance (meets building code).

17. **Landscaping** – §153.065(D)(2)(f).

Required: Surface area of the bed shall be predominantly covered within four years after installation by living materials, rather than by bark, mulch, gravel or non-living materials.

Proposed: Exposed mulch for the green screen plantings (low maintenance, water conservation).

18. Foundation Planting Provision – §153.065(D)(7)(a).

Required: Foundation plantings are required.

Proposed: Not provided (replaced by green wall).

19. Foundation Planting Requirements – §153.065(D)(7) (b).

Required: Foundation plantings require one shrub per 10 lineal feet of building and planting area shall extend a minimum of 42 inches.

Proposed: Vines are proposed in lieu of shrubs and planting area extends 18 inches.

20. Entrances – §153.062(F)(3)(a).

Required: Prominence and pedestrian-scaled entrances.

Proposed: Entrances located appropriately (but are not a predominant feature).

21. Number of Entrances – §153.062(O)(12)(3).

Required: 1 per 75 feet of façade minimum: Rock Cress Parkway 3 required, Franklin Street 4 required, and North Street 3 required.

Proposed: Rock Cress Parkway 1 provided, Franklin Street 1 provided, and North Street 1 provided.

22. Wall Height – 153.065(F)(1)(b).

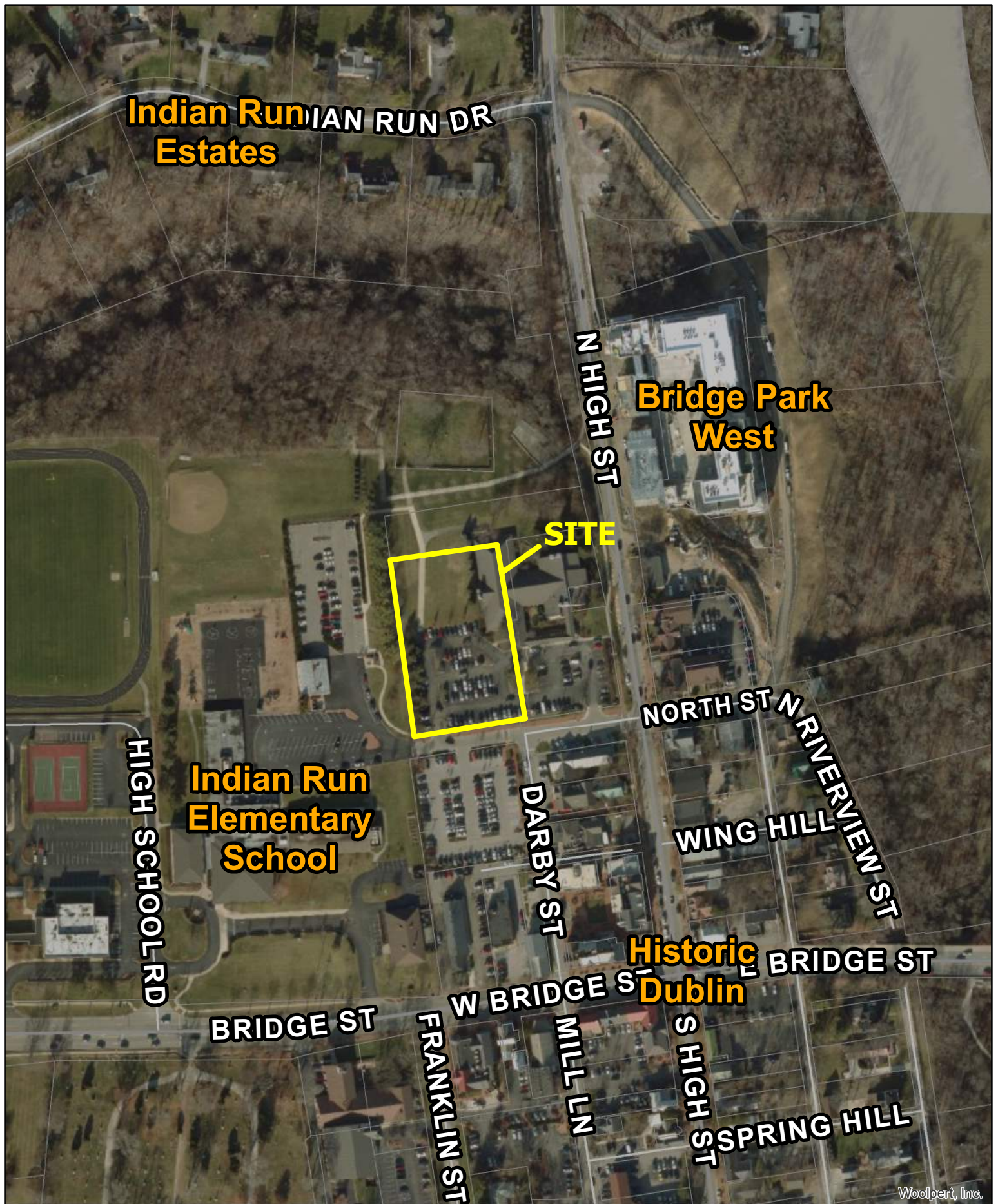
Required: Maximum 4 feet.

Provided: Varied height along Rock Cress Parkway.

Approve the Development Plan and Site Plan with eight Conditions:

1. That the applicant provide additional details at the time of permits for the canopies that are proposed at the pedestrian entrances that include dimensions and means of attachment to the structure;
2. That the applicant provide dimensions and details regarding the retaining wall located at Rock Cress Parkway;
3. That the applicant provide revised plans to meet the side yard setback of 5 feet along the eastern property line;
4. That the applicant continue to investigate the incorporation of electric vehicle charging stations within the garage;
5. That the applicant ensure that any surveillance requirements are met regarding pedestrian security and safety;
6. That any trees required to be replaced will be replaced on site or a fee paid in lieu;

7. That elevations and plans depicting the southwestern corner of the garage be revised to be consistent among the plan sets and reflect the changes to the design (at grade entrance); and
8. That the applicant provide a photometric plan for the entire site and final lighting details that meet the lighting requirements of the Code with the submission of the building permit.



Woolpert, Inc.



City of Dublin

17-075ARB-SP-CU
Conditional Use
Downtown Dublin Parking Garage
75 N. High Street

0 150 300
Feet



Case # 17 - _____

PLANNING APPLICATION

This is the general application form for Boards and Commissions. In addition, applicants should submit a checklist with the requirements for the application type indicated below. Attach additional sheets if necessary.

I. REVIEW REQUESTED:

- ☐ Administrative Appeal
- ☐ Administrative Departure
- ☐ Amended Final Development Plan
- ☐ Amended Final Development Plan - Sign
- ☐ Basic Development Plan Review
- ☐ Basic Site Plan Review
- ☐ Community Plan Amendment
- ☐ Concept Plan
- ☒ Conditional Use
- ☐ Development Plan Review - Bridge Street District
- ☐ Development Plan Review - West Innovation District
- ☐ Demolition
- ☐ Final Development Plan
- ☐ Final Plat
- ☐ Informal Review
- ☐ Master Sign Plan
- ☐ Minor Modification
- ☐ Minor Project Review
- ☐ Minor Subdivision
- ☐ Non-Use (Area) Variance
- ☐ Preliminary Development Plan/PUD Rezoning
- ☐ Preliminary Plat
- ☒ Site Plan Review - Bridge Street District
- ☐ Site Plan Review - West Innovation District
- ☐ Special Permit
- ☐ Standard District Rezoning
- ☐ Use Variance
- ☐ Waiver Review
- ☐ Wireless Communications Facility
- ☐ Zoning Code Amendment

II. PROPERTY INFORMATION: Provide information about the property including existing and proposed development.

Property Address(es): <u>75 N. High St.</u>	
Tax ID/Parcel Number(s) (List All): <u>273-004507</u>	Parcel Size(s) in Acres (List Each Separately): <u>1.24 acres</u>
Existing Land Use/Development:	Existing Zoning District: <u>BSD Public</u>
Proposed Land Use/Development:	Proposed Zoning District:

III. CURRENT PROPERTY OWNER(S): Indicate the person(s) or organization(s) who own the property proposed for development.

Name (Individual or Organization): <u>Columbus metropolitan library Board of Trustees</u>
Mailing Address (Street, City, State, ZIP): <u>96 S. Grant St. Columbus, Ohio 43215</u>
Email/Phone Number: <u>wtressler@columbuslibrary.com 614.849.1187</u>



IV. APPLICANT(S): Complete this section if the person/organization representing the applicant/ property owner is different from the applicant.☐ **Not Applicable**

Name (Individual or Organization):	Dana McDaniel, City Manager, City of Dublin
Mailing Address (Street, City, State, ZIP):	5200 Emerald Parkway, Dublin Ohio 43017
Phone Number:	614.410.4690
Email:	jrauch@dublin.oh.us

V. REPRESENTATIVE(S): Complete this section if the person/ organization representing the applicant/ property owner is different from the applicant (such as the project manager or property owner's legal council).☐ **Not Applicable**

Name (Individual or Organization):	EMH & T
Mailing Address (Street, City, State, ZIP):	5500 New Albany Rd. Cols. OH 43054
Phone Number:	614.755.4500
Email:	mbrehm@emht.com

VI. PROPERTY OWNER'S AUTHORIZATION OF APPLICANT(S)/ AUTHORIZED REPRESENTATIVE: The Property Owner listed in Section III must authorize the Applicant listed in Section IV and/or the Authorized Representative listed in Section V to act on the Owner's behalf with respect to this application.☒ **Not Applicable**

I, <u>PAULA E. MILLER</u> , the property owner , hereby authorize _____ To act as my representative(s) in all matters pertaining to the processing and approval of this application, including modification to the application. I agree to be bound by all representations and agreements made by the designated representative (listed in Sections III and/or IV).	
Original Signature of Property Owner (listed in Section II):	Date:

Subscribed and sworn before me this _____ day of _____, 20____ State of _____ County of _____ Notary Public _____	Stamp or Seal
---	---------------

VI. AUTHORIZATION TO VISIT THE PROPERTY: Site visits to the property by City representative are essential to process the application. The Property Owner/ Applicant/ Authorized Representative (listed in Section II), hereby authorizes City representatives to enter, photograph, and post a notice on the property described in this application. This is optional, but strongly recommended.

I, <u>PAULA E. MILLER</u> , the property owner or authorized representative , hereby authorize City representatives to enter, photograph and post a notice on the property described in the application.	
Original Signature of Property Owner or Authorized Representative:	Date: 7/17/17



VI. APPLICANT'S AFFIDAVIT OF ACKNOWLEDGMENT: This section must be completed with an **original signature** and **notarized**.☐ **Original Document Attached**

I Paula Miller, the **property owner** or **authorized representative**, have read and understand the contents of this application. The information contained in this application, attached exhibits and other information submitted is complete and in all respects true and correct to best of my knowledge and belief.

Original Signature of Property Owner or Authorized Representative: Date: 7/12/17

Subscribed and sworn before me this 17th day of July, 20 17
 State of Ohio
 County of Franklin Notary Public Leon E. Moses

**FOR OFFICE USE ONLY:**

Case Title:	Date Received:
Case Number:	
Amount Received:	Next Decision Due Date (If Applicable):
Receipt Number:	
Reviewing Body (Circle One): ART ARB BZA CC PZC	Final Date of Determination:
Map Zone:	
Determination or Action:	Related Cases:
Ordinance Number (If Applicable):	



USE	AREA
PARKING	191,345 SF
TOTAL	191,345 SF

PARKING SCHEDULE	
LEVEL 1	122
LEVEL 2	142
LEVEL 3	152
LEVEL 4	132
TOTAL	548

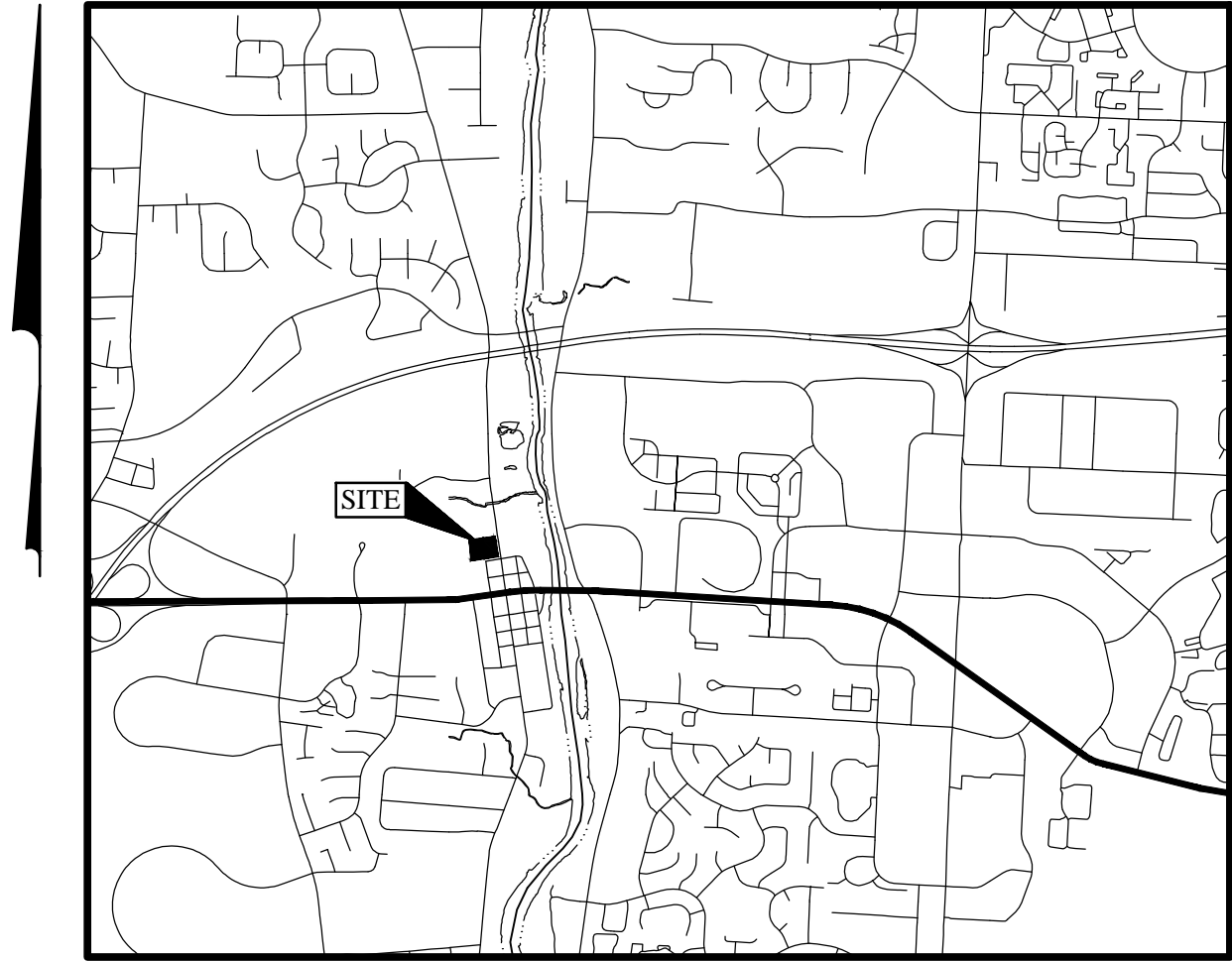


PARKING STRUCTURE

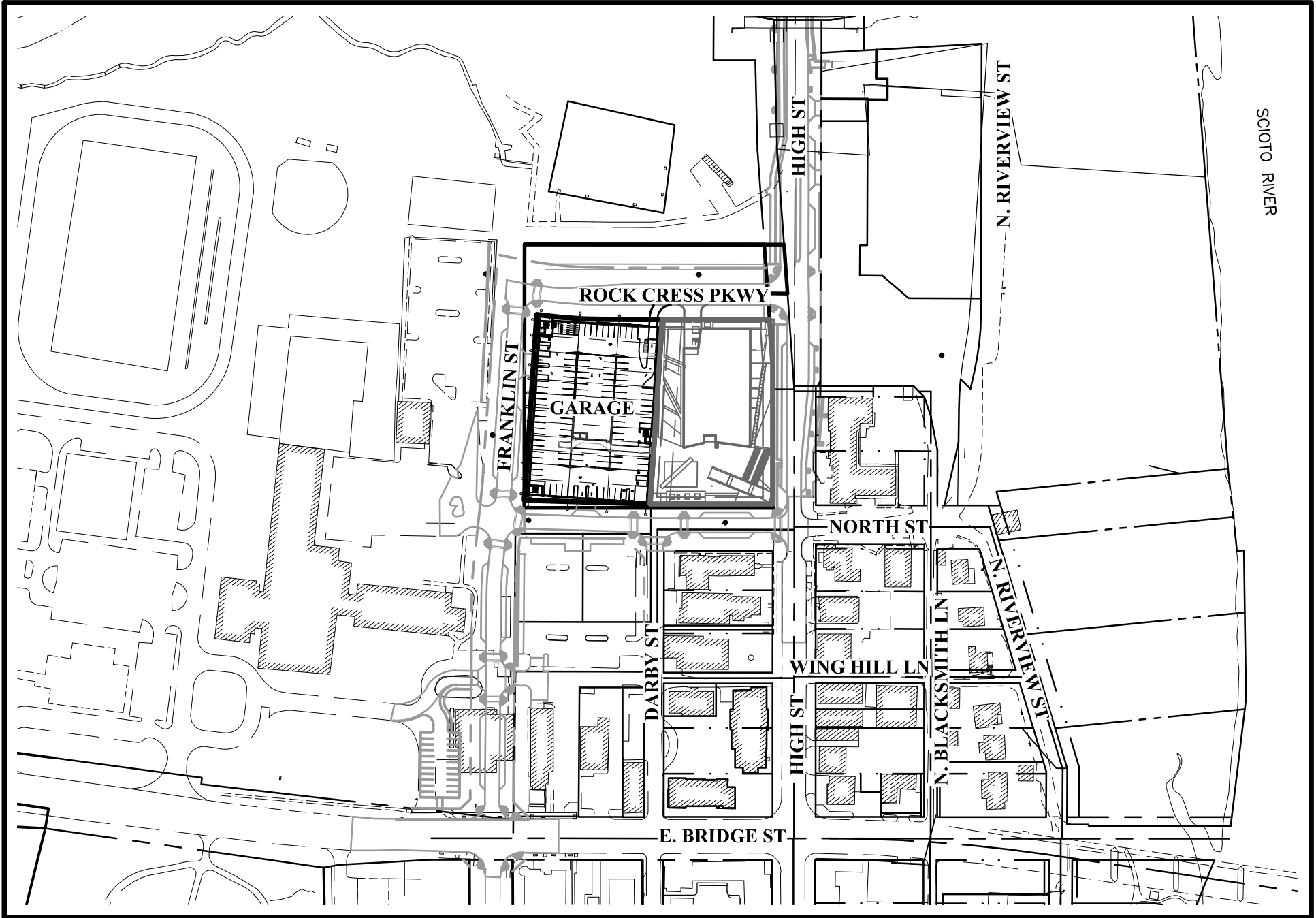
INDEX OF DRAWINGS	
SHEET #	SHEET NAME
P000	COVER
	CIVIL SHEETS
FSP1 FSP2 FSP3 FSP4 FSP5 FSP6 FSP7 FSP8 FSP9 FSP10	TITLE SHEET EXISTING CONDITION & DEMOLITION PLAN PROPERTY EXHIBIT OVERALL SITE PLAN SITE PLAN UTILITY PLAN GRADING - SOUTH GRADING - NORTH LANDSCAPE PLAN LANDSCAPE DETAILS
	STRUCTURAL SHEETS
ST001 ST110 ST120 ST130 ST140 ST200	3D VIEW LEVEL 1 PARKING PLAN LEVEL 2 PARKING PLAN LEVEL 3 PARKING PLAN LEVEL 4 PARKING PLAN PARKING DETAILS
	BUILDING VARIETY STATEMENT WAIVER SUMMARY INDIVIDUAL BUILDING TYPE REQUIREMENT TABLE
	ARCHITECTURAL SHEETS
P101 P102 P103 P104 P301 P302 P303 P304 P305 P306 P307 P308 P309 P310 P311 P312 P401 P501 P502 P503 P504	LEVEL 1 PLAN LEVEL 2 PLAN LEVEL 3 PLAN LEVEL 4 PLAN EAST ELEVATION WEST ELEVATION NORTH ELEVATION SOUTH ELEVATION PERSPECTIVE - VIEW FROM SE - NORTH ST. PERSPECTIVE - VIEW FROM SE - (WITH TREES) PERSPECTIVE - VIEW FROM NW - FRANKLIN / ROCK CRESS PERSPECTIVE - VIEW FROM NW - (WITH TREES) TERRACOTTA PANELS ELEVATION TERRACOTTA PANELS ELEVATION TERRACOTTA PANELS ELEVATION TERRACOTTA PATTERN - EAST ELEVATION NORTH & SOUTH BUILDING SECTION WALL SECTION WALL SECTION @ STAIR TOWER WALL SECTION @ BIKE HUB CANOPY DETAILS

INDEX OF DRAWINGS	
SHEET #	SHEET NAME
	MEP SHEETS
DSX2 E1 E2	LIGHTING CALCULATIONS EXTERIOR LIGHTING CALCULATIONS FIRST FLOOR LIGHTING PLAN SECOND FLOOR LIGHTING PLAN LIGHTING FIXTURES
	MATERIAL SHEETS
	ALUMINUM PLATE PANEL SYSTEM CAST-IN-PLACE ARCHITECTURAL CONCRETE CALCIUM SILICATE MASONRY UNITS MODULAR SCREEN SYSTEM / LIVING GREEN FACADE TERRACOTTA BAGUETTE SYSTEM

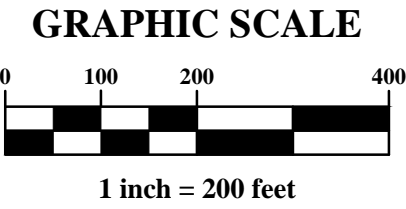
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
FINAL SITE PLAN
FOR
CITY OF DUBLIN
PARKING GARAGE
2017



LOCATION MAP
Not to Scale



INDEX MAP
Scale: 1" = 200'



SHEET INDEX

Title Sheet	FSP1
Existing Conditions & Demolition Plan	FSP2
Property Exhibit	FSP3
Overall Site Plan	FSP4
Site Plan	FSP5
Utility Plan	FSP6
Grading - South	FSP7
Grading - North	FSP8
Landscape Plan	FSP9
Landscape Details	FSP10

SITE DATA

Zoned:	BSC-P: BSC Public
Proposed Zoning:	Historic Transition
Site Area:	1.24± Acres
Proposed Building:	4 Story Parking Garage
	536 Standard Spaces
	12 ADA Spaces
	548 Total Spaces
	(189 Spaces to be dedicated to the Public Library)
	No Required Public Open Space

FRONT PROPERTY LINE COVERAGE

Parking Garage	100%
----------------	------

PERVIOUS & IMPERVIOUS LOT COVERAGE

Lot	Limits of Disturbance (Acres)	Existing Impervious Area (Acre)	Proposed Impervious Area (Acres)	Pre-Developed Percent Impervious	Post-Developed Percent Impervious
Garage	1.24±	0.77±	1.14±	62%	91%

DEVELOPER/OWNER

City of Dublin
5800 Shier Rings Road
Dublin, Ohio 43016
Tel: (614) 410-4600
Fax: (614) 410-4747

ENGINEER

EMH&T Inc.
5500 New Albany Road
Columbus, Ohio 43054
Tel: (614) 775-4500
Fax: (614) 775-4800
Brian Quackenbush

ARCHITECT

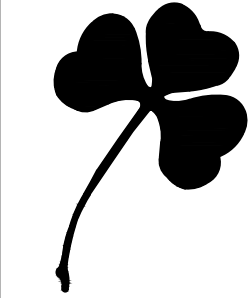
Moody Nolan
300 Spruce Street, Suite 300
Columbus, Ohio 43215
Tel: (614) 461-4664
Tel: (614) 280-8881
Teri Umbarger
(Primary Project Contact)

PROJECT DESCRIPTION

This project is a proposal for development on approximately 1.24 Acres, for a 4-Story Parking Garage located on west side of High Street and the proposed Columbus Metropolitan Library - Dublin Branch, south of proposed Rock Cress Parkway, east of proposed Franklin Street, and north of North Street.

REVISIONS

MARK	DATE	DESCRIPTION



CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
FOR
CITY OF DUBLIN
PARKING GARAGE
TITLE SHEET



DATE

July 18, 2017

SCALE

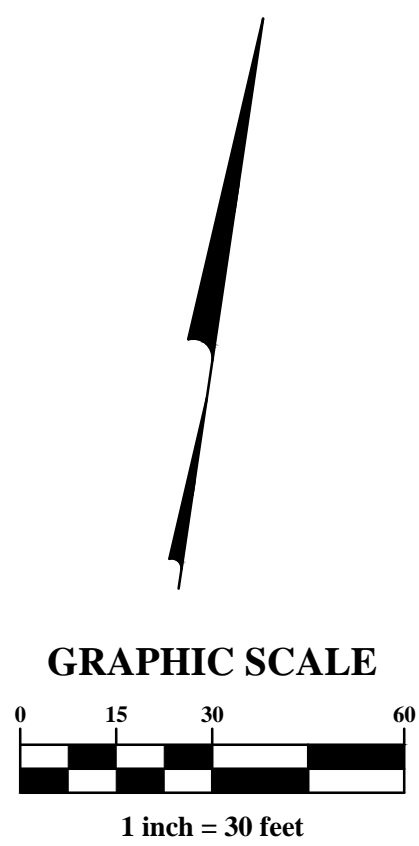
As Noted

JOB NO.

2016-1060





SHEET

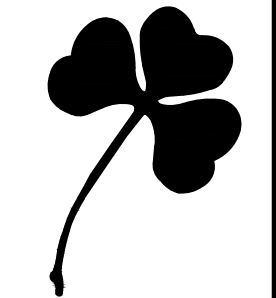
FSP1



NO.	SIZE	#TRUNKS	COMMON NAME	BOTINICAL NAME	CONDITION
1	19	1	White Pine	Pinus strobus	Good
2	9	1	White Pine	Pinus strobus	Good
3	12	1	White Pine	Pinus strobus	Good
4	11	1	White Pine	Pinus strobus	Good
5	10	1	White Pine	Pinus strobus	Good
6	12	1	White Pine	Pinus strobus	Good
7	8	1	White Pine	Pinus strobus	Good
8	12	1	White Pine	Pinus strobus	Good
9	12	1	White Pine	Pinus strobus	Good
10	14	1	White Pine	Pinus strobus	Fair
11	11	1	White Pine	Pinus strobus	Good
12	12	1	White Pine	Pinus strobus	Good
13	12	1	White Pine	Pinus strobus	Good
14	12	1	White Pine	Pinus strobus	Good
15	9	1	Red Maple	Acer rubrum	Fair
16	7	1	Honey Locust	Gleditsia triacanthos	Fair
17	11	1	Honey Locust	Gleditsia triacanthos	Fair
18	14	1	Honey Locust	Gleditsia triacanthos	Good
19	8,6,3	3	Wild Crabapple	Malus coronaria	Good
20	13	1	White Pine	Pinus strobus	Good
21	11	1	White Pine	Pinus strobus	Good
22	10	1	White Pine	Pinus strobus	Good
23	12,11	2	Hackberry	Celtis occidentalis	Good
24	11	1	Hackberry	Celtis occidentalis	Fair
25	13,12	2	Hackberry	Celtis occidentalis	Fair
26	12	1	Scots Pine	Pinus sylvestris	Fair
27	8	1	Blue Spruce	Picea pungens	Good
28	8	1	Blue Spruce	Picea pungens	Good
29	8	1	Blue Spruce	Picea pungens	Fair

356 Total caliper inches of replacement trees required

LEGEND	
	Ex. Light Pole (To Be Removed)
	Ex. Tree (To Be Removed) Tree ID Number
	Ex. Asphalt Pavement (To Be Removed)
	Ex. Concrete Curb (To Be Removed)

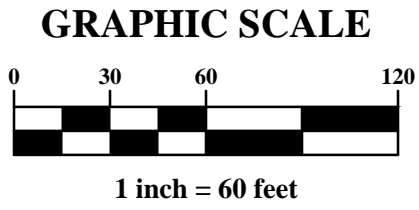
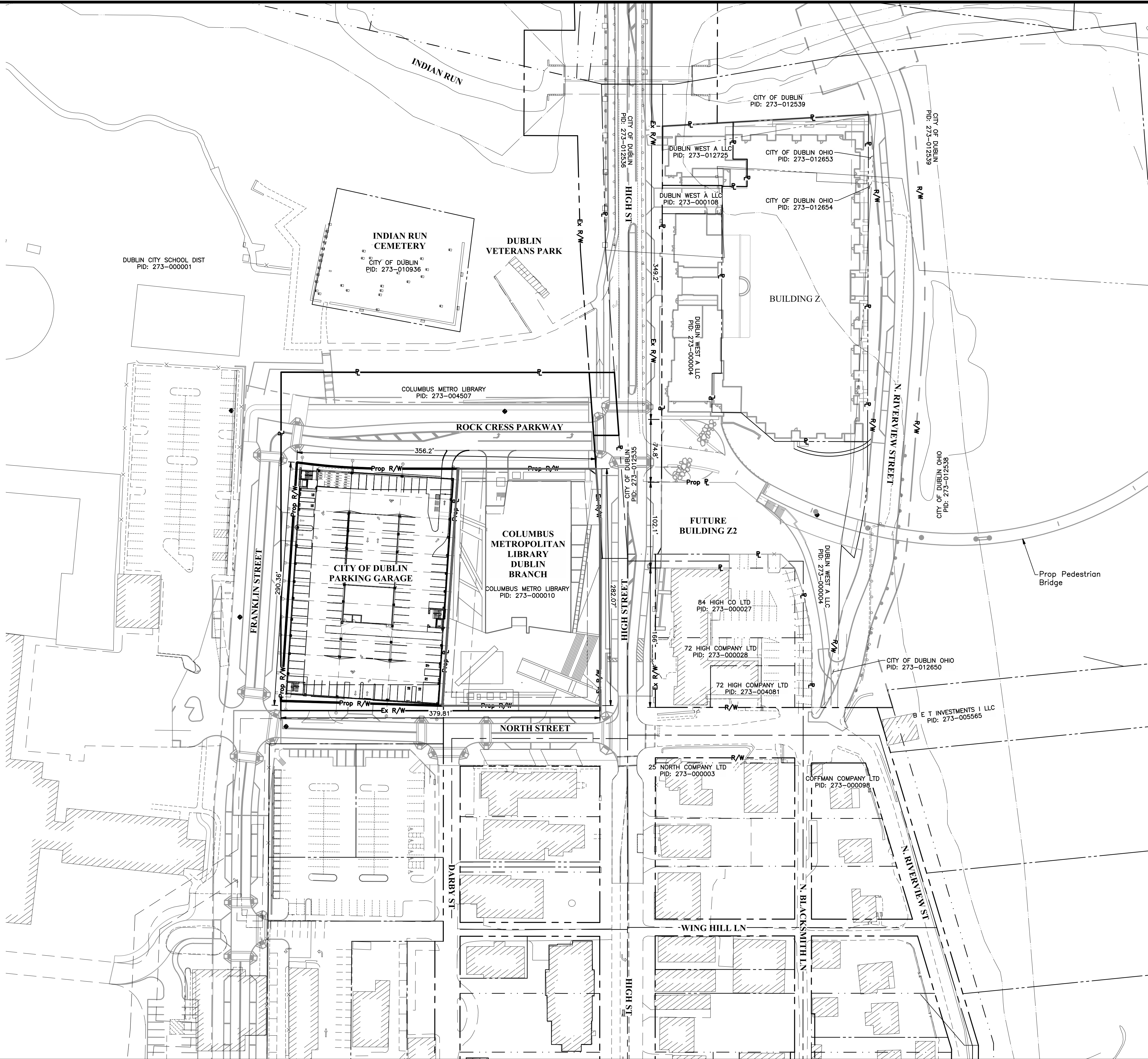
[illegible]

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
FINAL SITE PLAN
FOR
**CITY OF DUBLIN
PARKING GARAGE**
EXISTING CONDITION & DEMOLITION PLAN

EMH&T
Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43054
Phone: 614/775-4500 Toll Free: 888/775-3648
emhit.com

DATE
July 18, 2017
SCALE
1" = 30'
JOB NO.
2016-1060
SHEET
FSP2

I:\2016\1060\Drawings\Site Plans\Final site plan - parking garage\20161060-FSP-04.dwg, Last Saved By: mrogers, 7/17/2017 3:24 PM
8 Years, 20161060-CML-SITE-PLN, 20161060-CS-REEF-E, 20161060-CS-ROAD-REEF-N, 20161060-CS-ROAD-REEF-E, 20161060-CS-ROAD-REEF-F



STREET FAMILIES	
N. High Street	Corridor Connector Street
North Street	Neighborhood Streets
Franklin Street	Neighborhood Street
Rock Cress Parkway	District Connector Street

REVISIONS

MARK	DATE	DESCRIPTION



CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
FINAL SITE PLAN
FOR
**CITY OF DUBLIN
PARKING GARAGE**
OVERALL SITE PLAN



EMHIT
Evans, Mechwart, Hamblen & Titus, Inc.
5900 New Albany Road, Columbus, OH 43254
Phone: 614.775.4500 Toll Free: 888.775.3448
emhit.com

DATE
July 18, 2017

SCALE
1" = 60'

JOB NO.
2016-1060

SHEET
FSP4

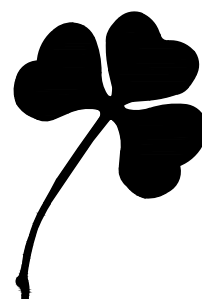
PLAZA LEVEL
FF=835.77
FIRST LEVEL
FF=824.10

COLUMBUS METRO LIBRARY
PID: 273-000010

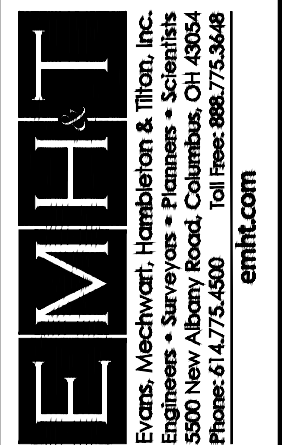
As per the City of Dublin Stormwater Management Design Manual, stormwater detention is not required. Stormwater quality control is required per the OEPA NPDES Permit. In order to meet the OEPA requirements, the project will utilize proposed Stormtech Chambers within the plaza. The water quality volumes have been determined using the OEPA redevelopment standards.

Library
Treat 20% of existing impervious = 0.85 Ac. * 0.2 = 0.17 Ac.
Treat 100% of new impervious = 1.17 Ac. - 0.85 Ac. = 0.32 Ac.
Total acreage to treat = 0.49 Ac. of impervious area
This generates a WQv of 1,066 Cu. Ft.
Stormtech Chambers required = 13 SC-740 (Total volume generated
is 1,191 Cu. Ft.)

<u>LEGEND</u>			
— STM —	— STM —	Existing Storm Sewer	
— SAN —	— SAN —	Existing Sanitary Sewer	
— WM —	— WM —	Existing Watermain	
— GAS —	— GAS —	Existing Gas Main	
— OHE —	— OHE —	Existing Overhead Electric	
— E —	— E —	Existing Underground Electric	
— C —	— C —	Existing Communication	
		Proposed Storm Sewer (By Others)	
		Proposed Water Main (By Others)	
— DUBLINK —		Proposed DublinK (By Others)	
— EDB —	— EDB —	Proposed AEP Duct Bank (By Others)	
— UGL —	— UGL —	Proposed Underground Lighting (By Others)	
— TR —	— TR —	Proposed Traffic Conduit (By Others)	
— RD —	— RD —	Proposed Road Drain	
— SAS —	— SAS —	Proposed Sanitary Sewer Service	
— DWS —	— DWS —	Proposed Domestic Water Service	
— FWS —	— FWS —	Proposed Fire Water Service	
— EDB —	— EDB —	Proposed Electric Duct Bank	
— GAS —	— GAS —	Proposed Gas	

[illegible]

**CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
FINAL SITE PLAN
FOR
CITY OF DUBLIN
PARKING GARAGE
UTILITY PLAN**



DATE
July 18, 2017

SCALE

1" = 20'

JOB NO.
2016-1060

SHEET

FSP6

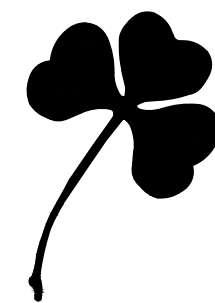
-----824-----825-----	Existing Contours
x755.00	Proposed Spot Elevation
<u>2.5%</u>	Proposed Slope
==--824--825==	Proposed Contours

0 5 10 20

1 inch = 10 feet



MATCHLINE SEE SHEET FSP7

[illegible]

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
FINAL SITE PLAN
FOR
**CITY OF DUBLIN
PARKING GARAGE**
GRADING - NORTH

**COLUMBUS
METROPOLITAN LIBRARY
DUBLIN BRANCH
(BY OTHERS)**

COLUMBUS METRO LIBRARY
PID: 273-000010

PLAZA LEVEL
FF=835.77

FIRST LEVEL
FF=824.10

EMHT
Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43054
Phone: 614/775-4500 Toll Free: 888-775-3648
emht.com

DATE

July 18, 2017

SCALE

1" = 10'

JOB NO.

2016-1060

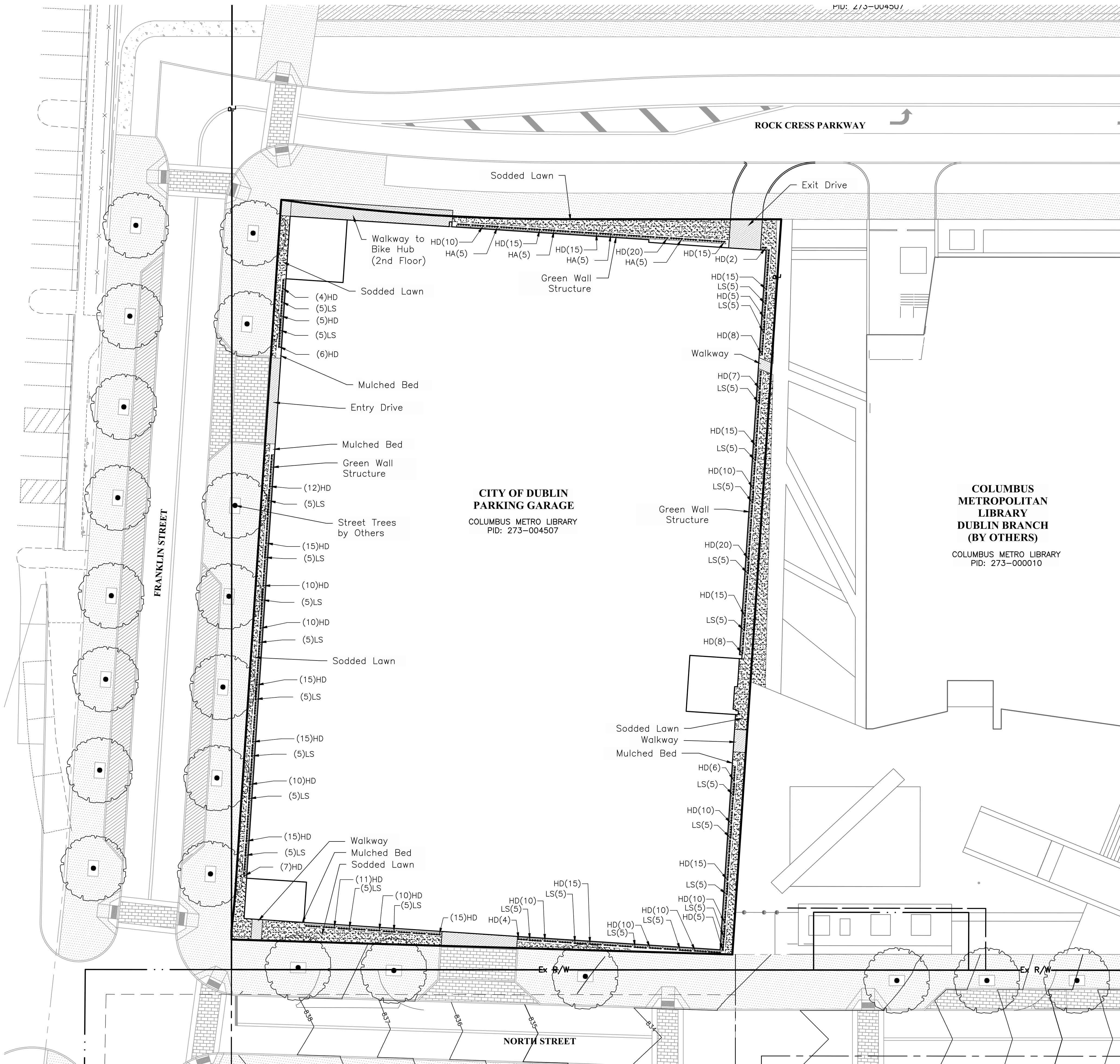
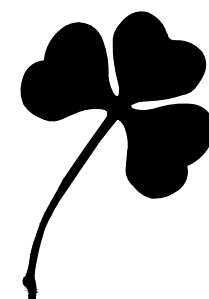
SHEET

FSP8

\\p161060\Draw\04\Sheets\site plan - parking garage.dwg, Last Saved By: mmagers, 7/17/2017 1:31 PM Last Printed By: Jagers, Marcus, 7/17/2017 3:25 PM (No Xrefs)

<u>CLIMBING VINES</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONDITION</u>
HD	435	Hedera helix	English Ivy	36" Ht.	#3 Cont. Staked
HA	20	Hydrangea anomala petiolaris	Climbing Hydrangea	36" Ht.	#3 Cont. Staked
LS	135	Lonicera sempervirens 'Magnifica'	Trumpet Honeysuckle	36" Ht.	#3 Cont. Staked

1. Prior to installation, the landscape contractor shall inspect the general site conditions and verify the subgrade, elevations, utility locations and topsoil provided by general contractor. The landscape contractor shall notify the general contractor of any unsatisfactory conditions and work shall not proceed until such conditions have been corrected and are acceptable to the landscape contractor.
2. All plants shall meet or exceed standards set in the American Standard for Nursery Stock, ANSI Z60.1, current edition. All plants shall equal or exceed the measurements and sizes, specified in the schedule.
3. Substitutions shall only be permitted with notification and written approval from the Owner. Substituted material shall be of equal or greater in size than the specified plant. Substituted plants shall have the same essential characteristics and growth habit of the specified plant.
4. Confirm location of all utilities and subsurface drain lines prior to plant installation.
5. A pre-installation conference shall be conducted prior to planting operations with Owner and Contractor present.
6. Contractor may slightly field adjust plant locations as necessary to avoid utilities. Finished planting beds shall be graded to provide positive drainage.
7. Sodded areas and vines shall be irrigated. Irrigation system shall be complete and operational prior to landscape planting.
8. Contractor shall lawn care and maintain during construction with seed and warrant a healthy, weed free lawn prior to project acceptance.
9. Sod all plants within contract limits that are not covered by paving, buildings or planting beds unless otherwise indicated. Seeding shall not begin until area has received topsoil and finished grade.
10. All planting shall be done with a shredded hardwood mulch of uniform dark brown color. It shall be free of twigs, leaves, disease, pest or other material unsightly or injurious to plants. Average applied thickness shall be 3" depth. Mulch hedges in a continuous bed.
11. Planting beds shall be covered with pre-emergent herbicide applied at product specified rate unless otherwise noted.
12. Bare soil shall be covered with light & consistent, unless otherwise noted. All excavated material shall be removed from the bed edge and planting bed.
13. All planting bed edges to be straight lines as shown on plan. Plant locations and layout of beds shall be located by Contractor and approved by Landscape Architect prior to planting.
14. Install all plants in accordance with planting details and specifications.
15. Mix of extended, manufactured soil consisting of three (3) parts topsoil, one (1) part compost, one (1) part sand. Topsoil shall be per ASTM D5268, pH range of 5.5 to 7, min. 4 percent organic material, free of stones and soil clumps 3/4 inch and larger. Compost shall be yard waste compost from an EPA rated Class IV compost facility or Com-Til compost from City of Columbus Department of Public Utilities. Sand shall be per item ASTM C33. Proprietary manufactured Planting Mix such as Kurtz Bros. Professional Blend or "Super Soil" shall be used. Product data to review by Owner.
16. Planting Mix in settled 6 inch lifts.
17. Mix Mycorrhizal Fungi into Planting Mix during placement of Planting Mix. Application rate shall be according to manufacturer's written recommendations. Mycorrhizal Fungi shall be a dry, granular inoculant containing vesicular-arbuscular mycorrhizal fungi and ectomycorrhizal fungi.
18. Excavate planting beds to a depth of 12 inches, unless otherwise indicated. Rot-til subgrade of excavation to a depth of 4 inches, unless otherwise indicated. Incorporate a 6 inch lift of planting mix into subgrade. Place remaining Planting Mix in settled 6 inch lifts.
19. Planting beds, including mulch, shall be no higher than 6 inches above adjacent grade and shall not include surface drainage.
20. All areas shall be backfilled with Planting Mix to a minimum settled thickness of 6 inches. Rot-til subgrade below lawn to a depth of 4 inches, unless otherwise indicated, prior to placement of Planting Mix.
21. All plants shall be fertilized with controlled release tablets of 20-10-5 composition. Size and number of tablets shall be per manufacturer's instructions.
22. Compositions and application rate of lawn fertilizer shall be sufficient to amend soil according to recommendations of a qualified soil testing agency. Submit soil test results and amendment recommendations to Owner. Lawn fertilizer shall be in a dry granular form.
23. Contractor to determine plant list quantities from the plan. Graphic representation on plan supersedes in case of discrepancy with quantities on schedule.
24. Any item or areas damaged during construction shall be repaired or replaced to its original condition at the contractor expense.
25. Contractor shall thoroughly water all plants at time of installation and as needed until project acceptance by owner. Contractor shall guarantee all plants installed (except lawn) for one full year from date of acceptance by the Owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period.

[illegible]

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
FINAL SITE PLAN
FOR
**CITY OF DUBLIN
PARKING GARAGE**
LANDSCAPE PLAN

EMHT
Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4500 Toll Free: 888.775.3646
emht.com

DATE

July 18, 2017

SCALE

1" = 20'

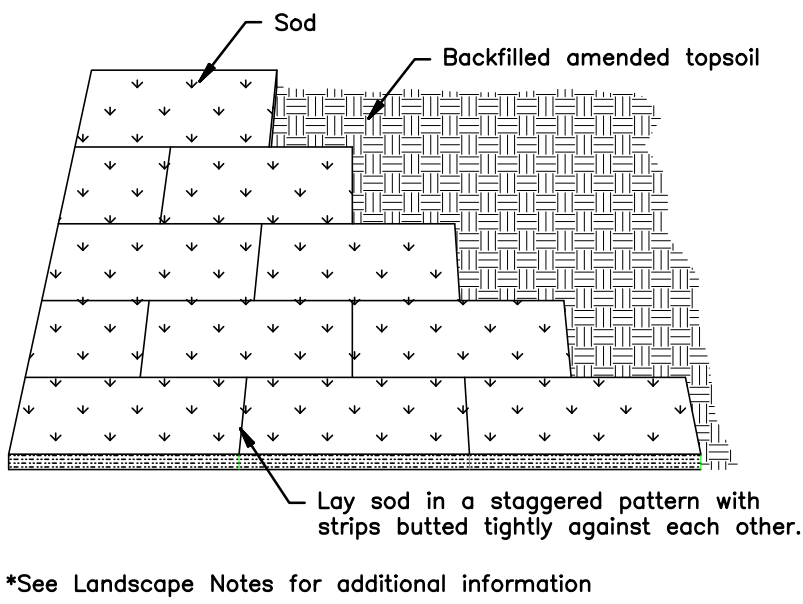
JOB NO.

2016-1060

SHEET

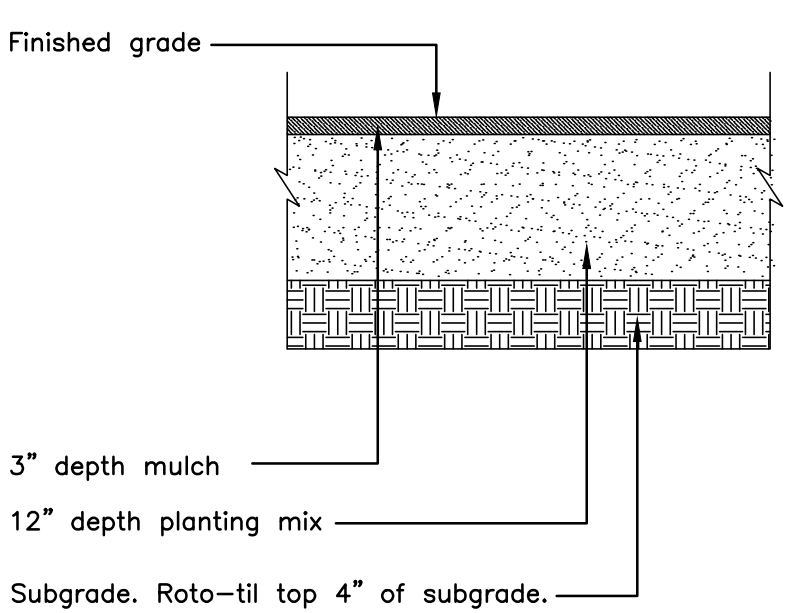
FSP9

I:\2016\1060\Drawings\45Sheets\site plan\final site plan - parking garage.dwg - 2016-10-06 - 10:00 - PCAR-FSP-09-Landscape Plan.dwg, Last Saved By: mmagers, 7/17/2017 1:31 PM Last Printed By: Magers, Marcus, 7/17/2017 3:28 PM (No Xrefs)



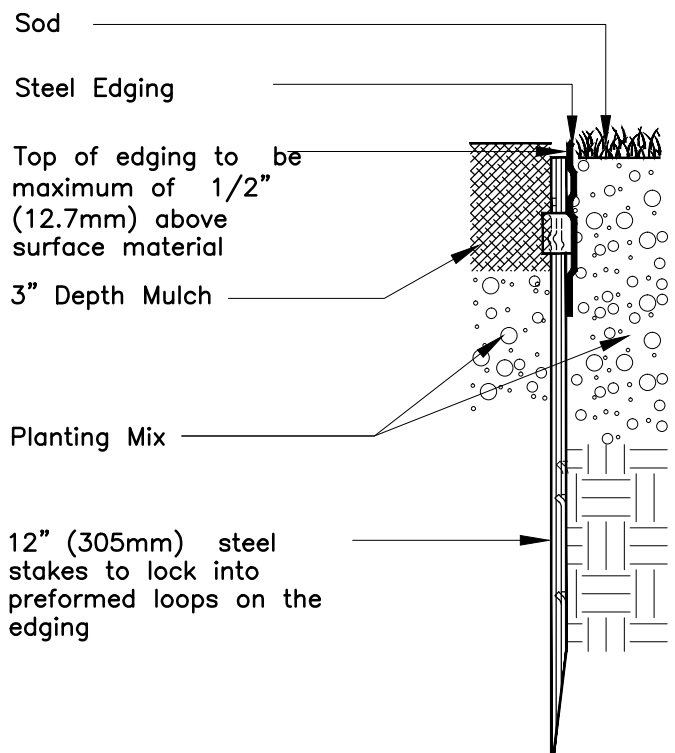
SOD DETAIL

NO SCALE



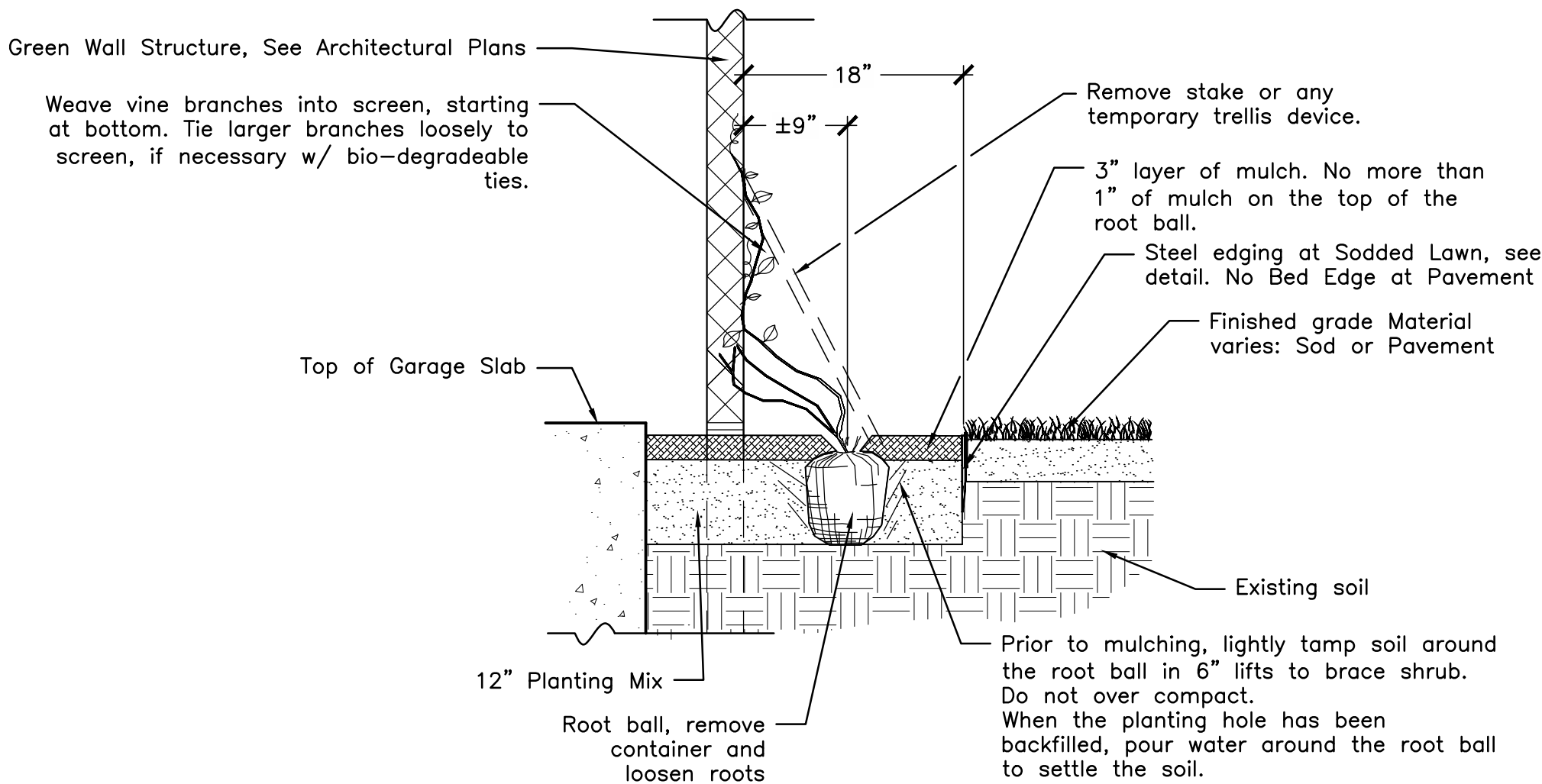
PLANTING AREA ESTABLISHMENT

NO SCALE

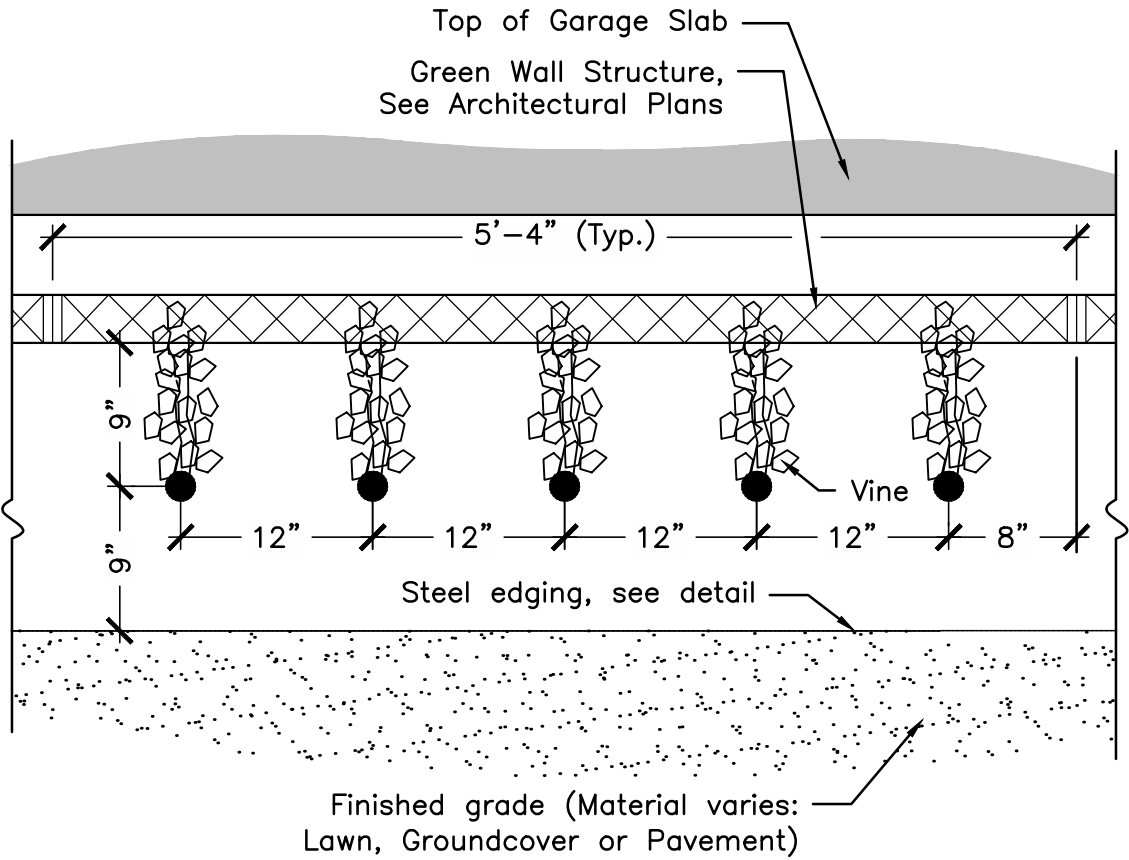


STEEL BED EDGE

NO SCALE



Section



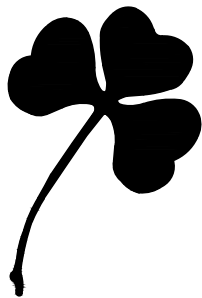
Plan

VINE PLANTING AT GREEN WALL STRUCTURE

NO SCALE

REVISIONS

MARK	DATE	DESCRIPTION



CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
FOR
FINAL SITE PLAN
CITY OF DUBLIN
PARKING GARAGE
LANDSCAPE DETAILS

EMHIT

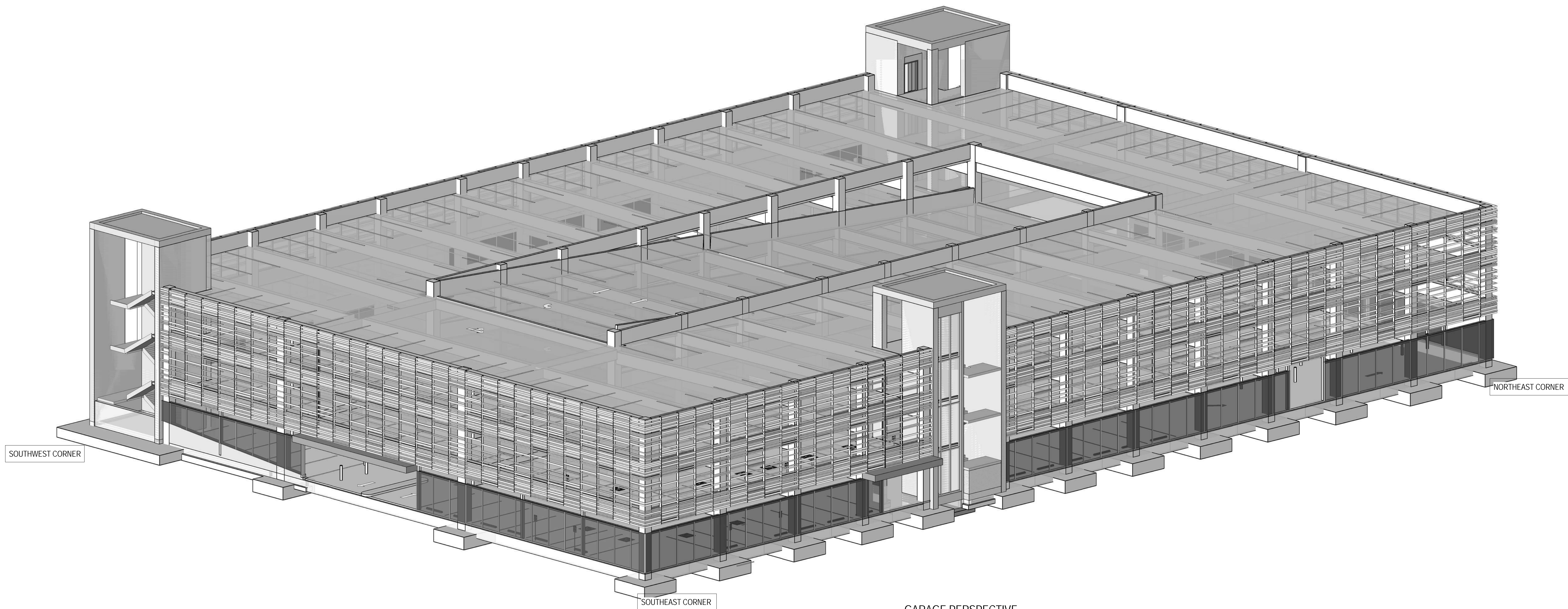
Evans, Mechwart, Hamblen & Iffert, Inc.
Landscape Architects
5900 New Albany Road, Columbus, OH 43254
Phone: 614.775.6500 Toll Free: 888.775.3448
emhit.com

DATE
July 18, 2017

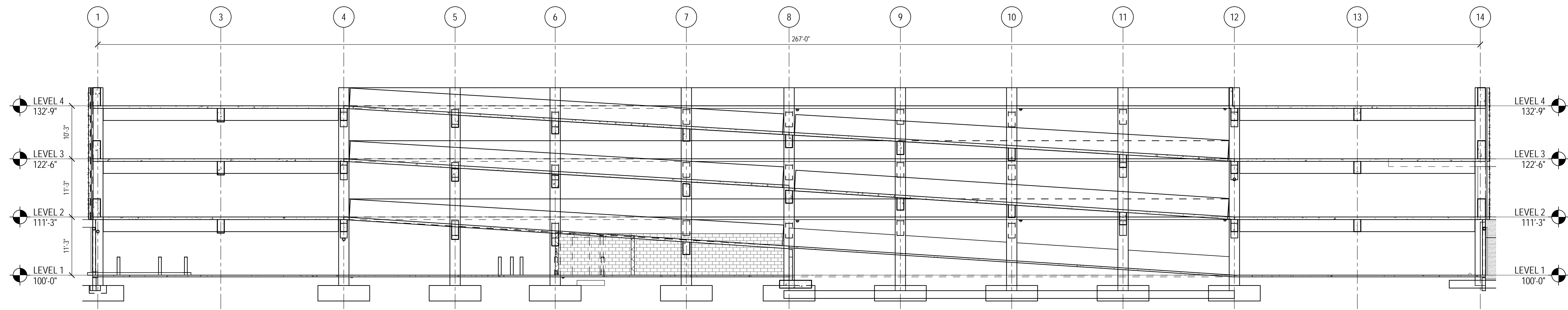
SCALE
None

JOB NO.
2016-1060

SHEET
FSP10



GARAGE PERSPECTIVE



BUILDING SECTION
3/32" = 1'-0"

STRUCTURAL ENGINEERS
800.542.3302
schaefer-inc.com

Copyright © 2017
This document is the property of Schaefer Inc. and its contents may be copied or used for any purpose other than the specific purpose for which it was prepared without the written consent of Schaefer Inc.
Schaefer Project Number: 162189

KEY PLAN

#	DATE	CHANGE DESCRIPTION

DUBLIN PARKING
GARAGE
NORTH AND FRANKLIN STREET
for
City of Dublin



300 Spruce Street
Suite 300
Columbus, Ohio 43215
Phone: (614) 461-4664
Fax: (614) 280-8881

MOODY•NOLAN

Dwg. Coord.: Author Tech. Coord.: Checker

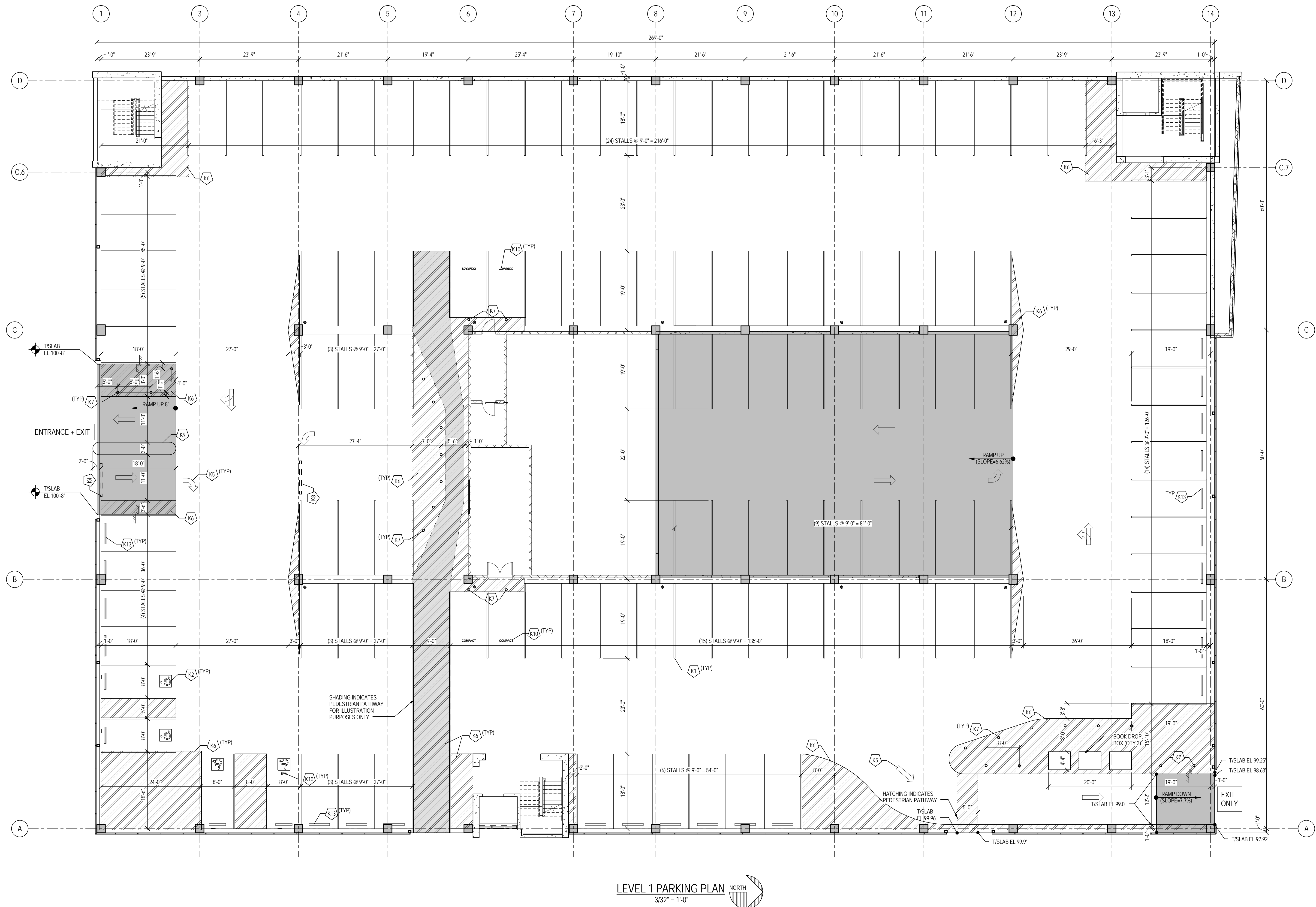
16189

3D VIEW

DESIGN DEVELOPMENT

ST001

08-08-2017



LEVEL 1 PARKING PLAN
3/32" = 1'-0"

STRIPING PLAN NOTES:

1. THE STRIPING PLANS ARE FOR STRIPING AND PARKING PURPOSES ONLY. PAINTING CONTRACTOR SHALL FIELD VERIFY ALL COMPLETED CONSTRUCTION CONDITIONS PRIOR TO COMMENCING WITH THE WORK.
 2. ALL PARKING STRIPS SHALL BE SINGLE STRIPED. DIMENSIONS GIVEN ON THIS PLAN ARE TO CENTERLINE OR END OF STRIPE UNLESS NOTED OTHERWISE.
 3. REFER TO ARCHITECTURAL DRAWINGS FOR WALL AND DOOR INFORMATION NOT INDICATED ON STRIPING DRAWINGS.
 4. REFER TO SHEET ST200 FOR TYPICAL PARKING AND STRIPING DETAILS.
- STRIPING KEYNOTES: K6
1. 4" PAINTED ON YELLOW STRIPE
 2. PAINTED ON WHITE ACCESSIBLE STALL WITH SYMBOL AND SIGNAGE, SEE TYPICAL ACCESSIBLE STALL DETAILS ON SHEET ST2.01
 3. CLEARANCE BAR SUSPENDED FROM STRUCTURE ABOVE, AT 7'-0" ABOVE SLAB BELOW, PAINTED YELLOW, SEE TYPICAL DETAIL ON SHEET ST200
 4. CLEARANCE BAR SUSPENDED FROM STRUCTURE ABOVE, AT 8'-2" ABOVE SLAB BELOW, PAINTED YELLOW, SEE TYPICAL DETAIL ON SHEET ST200
 5. PAINTED ON YELLOW DIRECTIONAL ARROW, SEE TYPICAL ARROW DETAILS ON SHEET ST200
 6. PAINTED ON YELLOW STRIPE NO PARKING ZONE, SEE TYPICAL NO-PARKING STRIPING DIAGRAM ON SHEET ST200
 7. CONCRETE-FILLED STEEL PIPE BOLLARD, PAINTED YELLOW, SEE TYPICAL BOLLARD DETAILS ON SHEET ST200
 8. CLEARANCE BAR SUSPENDED FROM STRUCTURE ABOVE, AT 6'-8" ABOVE SLAB BELOW, PAINTED YELLOW, SEE TYPICAL DETAIL ON SHEET ST200
 9. 6" HIGH CONCRETE CURB OR ISLAND, SEE TYPICAL DETAILS ON SHEET ST200
 10. 12" TALL PAINTED YELLOW TEXT
 11. EXPANSION JOINT COVER: "WABOCRETE ME-500" MEMBRANE JOINT SYSTEM, RECESS CONCRETE 3 1/2"x3/4" EA SIDE OF JOINT, SEE RELATED CONCRETE FINISHING DETAILS
 12. ELECTRIC VEHICLE (EV) CHARGING STATION SIGNAGE AND CONCRETE WHEEL STOP (WHEEL STOP ONLY AT LOCATIONS INDICATED ON PLAN), SEE TYPICAL DETAILS ON SHEET ST200
 13. PRECAST CONCRETE WHEEL STOP, SEE TYPICAL DETAILS ON SHEET ST200

PARKING SPACE SCHEDULE (THEORETICAL)		
LEVEL	TYPE	TOTAL
LEVEL 1	ADA VAN w/ SIGNPOST	1
LEVEL 1	ADA w/ SIGNPOST	3
LEVEL 1	NON-STD 9'-0"x16'-0"	4
LEVEL 1	SPACES AT PED WALKWAY	3
LEVEL 1	SPACES FOR BOOK DROP	9
LEVEL 1	SPACES FOR ELEVATOR	4
LEVEL 1	STD 9'-0"x18'-0"	91
LEVEL 1	STD 9'-0"x18'-0" w/ STOP	23
LEVEL 2	ADA VAN w/ SIGNPOST	1
LEVEL 2	ADA w/ SIGNPOST	7
LEVEL 2	SPACES FOR BIKE HUB	4
LEVEL 2	SPACES FOR ELEVATOR	3
LEVEL 2	STD 9'-0"x18'-0"	134
LEVEL 3	SPACES FOR ELEVATOR	3
LEVEL 3	STD 9'-0"x18'-0"	152
LEVEL 4	SPACES FOR ELEVATOR	3
LEVEL 4	STD 9'-0"x18'-0"	132
118		
Grand total: 577		

PARKING SPACE SCHEDULE (ACTUAL)		
LEVEL	TYPE	TOTAL
LEVEL 1	ADA VAN w/ SIGNPOST	1
LEVEL 1	ADA w/ SIGNPOST	3
LEVEL 1	NON-STD 9'-0"x16'-0"	4
LEVEL 1	STD 9'-0"x18'-0"	91
LEVEL 1	STD 9'-0"x18'-0" w/ STOP	23
LEVEL 2	ADA VAN w/ SIGNPOST	1
LEVEL 2	ADA w/ SIGNPOST	7
LEVEL 2	STD 9'-0"x18'-0"	134
LEVEL 3	STD 9'-0"x18'-0"	152
LEVEL 4	STD 9'-0"x18'-0"	132
132		
Grand total: 548		

ACTUAL GARAGE EFFICIENCY (GROSS SF PER SPACE) = 347.8
THEORETICAL EFFICIENCY = 330.4

STRUCTURAL ENGINEERS
800.542.3302
schaefer-inc.com

Copyright © 2017
THIS DOCUMENT IS THE PROPERTY AND TRADEMARK OF SCHAEFER INC. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF SCHAEFER INC.

KEY PLAN

DATE CHANGE DESCRIPTION

DUBLIN PARKING
GARAGE
NORTH AND FRANKLIN STREET
for
City of Dublin



300 Spruce Street
Suite 300
Columbus, Ohio 43215
Phone: (614) 461-4664
Fax: (614) 280-8881

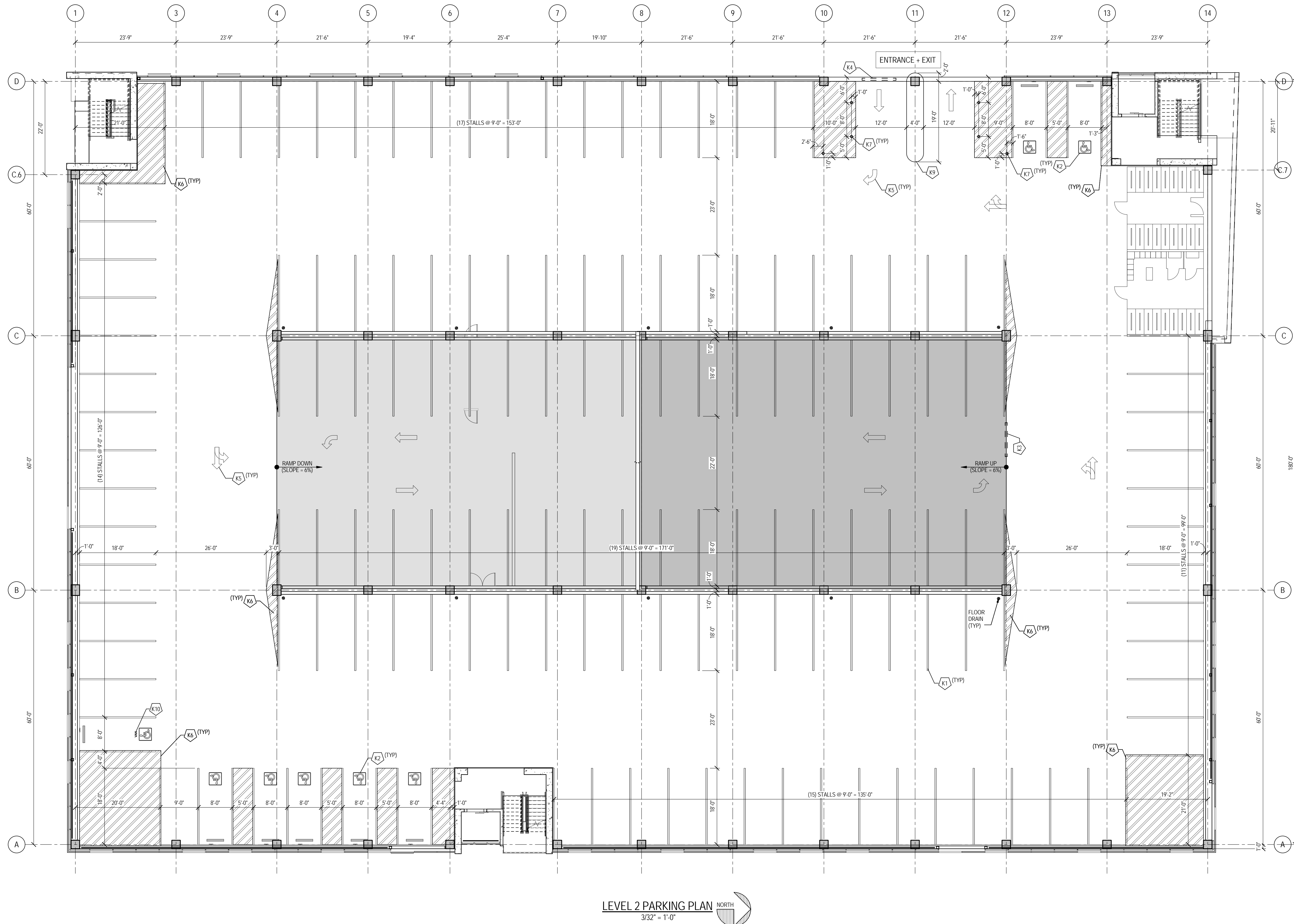
Dwg. Coord.: Tech. Coord.: 16189

LEVEL 1 PARKING PLAN

DESIGN DEVELOPMENT

ST110

08-08-2017



LEVEL 2 PARKING PLAN
3/32" = 1'-0"

STRIPING PLAN NOTES:

1. THE STRIPING PLANS ARE FOR STRIPING AND PARKING PURPOSES ONLY. PAINTING CONTRACTOR SHALL FIELD VERIFY ALL COMPLETED CONSTRUCTION CONDITIONS PRIOR TO COMMENCING WITH THE WORK.
2. ALL PARKING STRIPS SHALL BE SINGLE STRIPED. DIMENSIONS GIVEN ON THIS PLAN ARE TO CENTERLINE OR END OF STRIPE UNLESS NOTED OTHERWISE.
3. REFER TO ARCHITECTURAL DRAWINGS FOR WALL AND DOOR INFORMATION NOT INDICATED ON STRIPING DRAWINGS.
4. REFER TO SHEET ST200 FOR TYPICAL PARKING AND STRIPING DETAILS.

STRIPING KEYNOTES:

1. 4" PAINTED-ON YELLOW STRIPE
2. PAINTED-ON WHITE ACCESSIBLE STALL WITH SYMBOL AND SIGNAGE. SEE TYPICAL ACCESSIBLE STALL DETAILS ON SHEET ST201.
3. CLEARANCE BAR SUSPENDED FROM STRUCTURE ABOVE. AT 7'-0" ABOVE SLAB BELOW. PAINTED YELLOW. SEE TYPICAL DETAIL ON SHEET ST200.
4. CLEARANCE BAR SUSPENDED FROM STRUCTURE ABOVE. AT 8'-0" ABOVE SLAB BELOW. PAINTED YELLOW. SEE TYPICAL DETAIL ON SHEET ST200.
5. PAINTED-ON YELLOW DIRECTIONAL ARROW. SEE TYPICAL ARROW DETAILS ON SHEET ST200.
6. PAINTED-ON YELLOW STRIPE NO-PARKING ZONE. SEE TYPICAL NO-PARKING STRIPING DIAGRAM ON SHEET ST200.
7. CONCRETE FILLED STEEL PIPE BOLLARD. PAINTED YELLOW. SEE TYPICAL BOLLARD DETAILS ON SHEET ST200.
8. CLEARANCE BAR SUSPENDED FROM STRUCTURE ABOVE. AT 6'-0" ABOVE SLAB BELOW. PAINTED YELLOW. SEE TYPICAL DETAIL ON SHEET ST200.
9. 6" HIGH CONCRETE CURB OR ISLAND. SEE TYPICAL DETAILS ON SHEET ST200.
10. 12" TALL PAINTED YELLOW TEXT
11. EXPANSION JOINT COVER "MADOCRETE MC 550" MEMBRANE JOINT SYSTEM. RECESS CONCRETE 3 1/2"x3/4" EA SIDE OF JOINT. SEE RELATED CONCRETE FRAMING DETAILS
12. ELECTRIC VEHICLE (EV) CHARGING STATION SIGNAGE AND CONCRETE WHEEL STOP (WHEEL STOP ONLY AT LOCATIONS INDICATED ON PLAN). SEE TYPICAL DETAILS ON SHEET ST200.
13. PRECAST CONCRETE WHEEL STOP. SEE TYPICAL DETAILS ON SHEET ST200.

PARKING SPACE SCHEDULE (THEORETICAL)		
LEVEL	TYPE	TOTAL
LEVEL 1	ADA VAN w/ SIGNPOST	1
LEVEL 1	ADA w/ SIGNPOST	3
LEVEL 1	NON STD 9'-0"x16'-0"	4
LEVEL 1	SPACES AT PED WALKWAY	3
LEVEL 1	SPACES FOR BOOK DROP	9
LEVEL 1	SPACES FOR ELEVATOR	4
LEVEL 1	STD 9'-0"x18'-0"	91
LEVEL 1	STD 9'-0"x18'-0" w/ STOP	23
LEVEL 1	ADA w/ SIGNPOST	7
LEVEL 2	ADA VAN w/ SIGNPOST	1
LEVEL 2	ADA w/ SIGNPOST	7
LEVEL 2	SPACES FOR BIKE HUB	4
LEVEL 2	SPACES FOR ELEVATOR	3
LEVEL 2	STD 9'-0"x18'-0"	134
LEVEL 3	SPACES FOR ELEVATOR	3
LEVEL 3	STD 9'-0"x18'-0"	152
LEVEL 4	SPACES FOR ELEVATOR	3
LEVEL 4	STD 9'-0"x18'-0"	132
135		
Grand total: 577		

PARKING SPACE SCHEDULE (ACTUAL)		
LEVEL	TYPE	TOTAL
LEVEL 1	ADA VAN w/ SIGNPOST	1
LEVEL 1	ADA w/ SIGNPOST	3
LEVEL 1	NON STD 9'-0"x16'-0"	4
LEVEL 1	STD 9'-0"x18'-0"	91
LEVEL 1	STD 9'-0"x18'-0" w/ STOP	23
LEVEL 2	ADA VAN w/ SIGNPOST	1
LEVEL 2	ADA w/ SIGNPOST	7
LEVEL 3	STD 9'-0"x18'-0"	152
LEVEL 4	STD 9'-0"x18'-0"	132
132		
Grand total: 548		

ACTUAL GARAGE EFFICIENCY (GROSS SF PER SPACE) = 347.8
THEORETICAL EFFICIENCY = 330.4

STRUCTURAL ENGINEERS
800.542.3302
schaefer-inc.com

schaefer

KEY PLAN

DATE CHANGE DESCRIPTION

DUBLIN PARKING
GARAGE
NORTH AND FRANKLIN STREET
for
City of Dublin



300 Spruce Street
Suite 300
Columbus, Ohio 43215
Phone: (614) 461-4664
Fax: (614) 280-8881

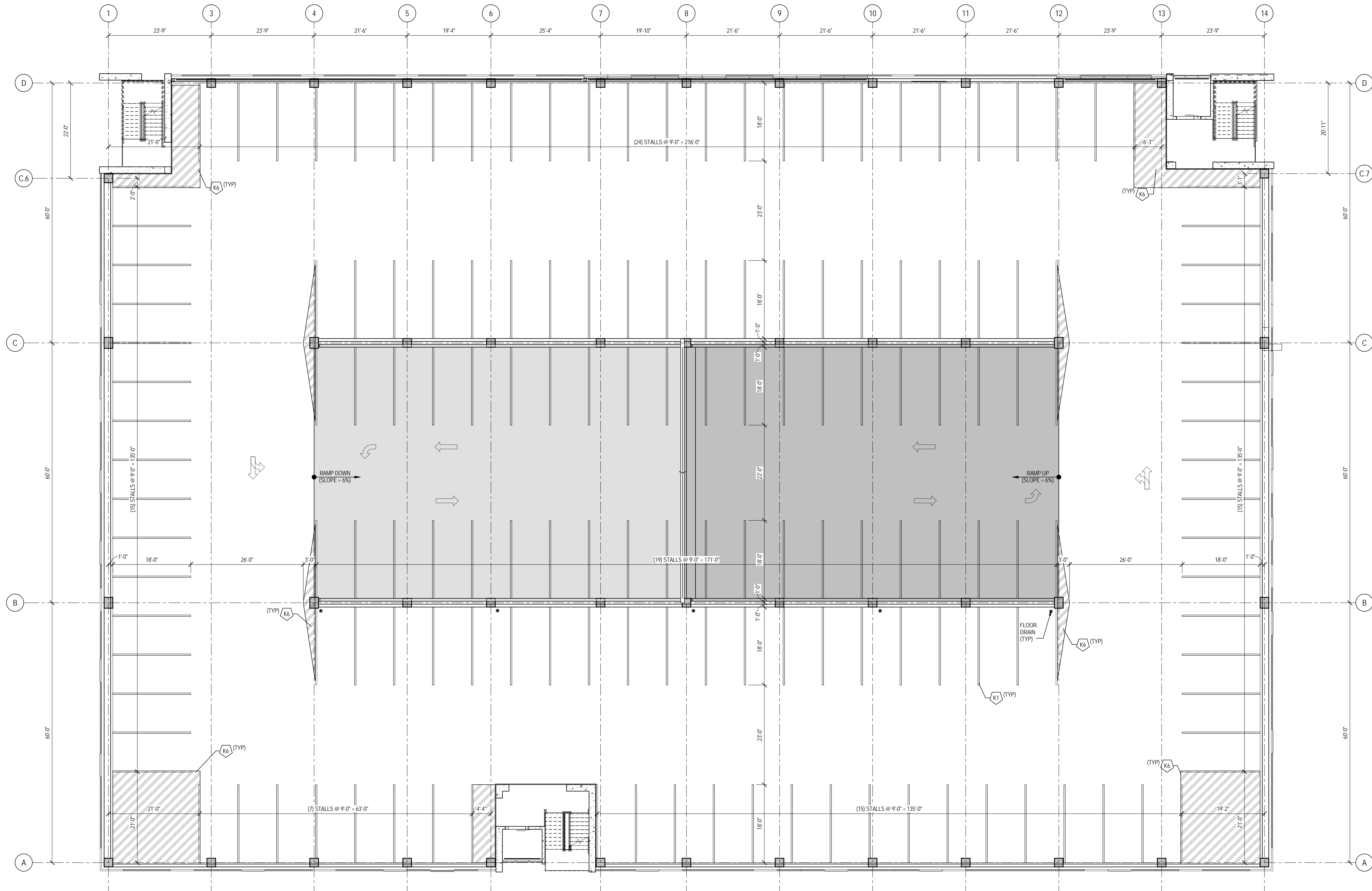
Dwg. Coord.: Tech. Coord.: 16189

LEVEL 2 PARKING PLAN

DESIGN DEVELOPMENT

ST120

08-08-2017



LEVEL 3 PARKING PLAN
3/32" = 1'-0"

STRIPING PLAN NOTES:

1. THE STRIPING PLANS ARE FOR STRIPING AND PARKING PURPOSES ONLY. PAINTING CONTRACTOR SHALL FIELD VERIFY ALL COMPLETED CONSTRUCTION CONDITIONS PRIOR TO COMMENCING WITH THE WORK.
2. ALL PARKING STRIPS SHALL BE SINGLE STRIPED. DIMENSIONS GIVEN ON THIS PLAN ARE TO CENTERLINE OR END OF STRIPE UNLESS NOTED OTHERWISE.
3. REFER TO ARCHITECTURAL DRAWINGS FOR WALL AND DOOR INFORMATION NOT INDICATED ON STRIPING DRAWINGS.
4. REFER TO SHEET ST200 FOR TYPICAL PARKING AND STRIPING DETAILS.

STRIPING KEYNOTES:

1. 4" PAINTED ON YELLOW STRIPE
2. PAINTED ON WHITE ACCESSIBLE STALL WITH SYMBOL AND SIGNAGE. SEE TYPICAL ACCESSIBLE STALL DETAILS ON SHEET ST201
3. CLEARANCE BAR SUSPENDED FROM STRUCTURE ABOVE, AT 7'-0" ABOVE SLAB BELOW. PAINTED YELLOW. SEE TYPICAL DETAIL ON SHEET ST200
4. CLEARANCE BAR SUSPENDED FROM STRUCTURE ABOVE, AT 8'-2" ABOVE SLAB BELOW. PAINTED YELLOW. SEE TYPICAL DETAIL ON SHEET ST200
5. PAINTED ON YELLOW DIRECTIONAL ARROW. SEE TYPICAL ARROW DETAILS ON SHEET ST200
6. PAINTED ON YELLOW STRIPE NO PARKING ZONE. SEE TYPICAL NO PARKING STRIPING DIAGRAM ON SHEET ST200
7. CONCRETE-FILLED STEEL PIPE BOLLARD. PAINTED YELLOW. SEE TYPICAL BOLLARD DETAILS ON SHEET ST200
8. CLEARANCE BAR SUSPENDED FROM STRUCTURE ABOVE, AT 6'-8" ABOVE SLAB BELOW. PAINTED YELLOW. SEE TYPICAL DETAIL ON SHEET ST200
9. 6" HIGH CONCRETE CURB OR ISLAND. SEE TYPICAL DETAILS ON SHEET ST200
10. 12" TALL PAINTED YELLOW TEXT
11. EXPANSION JOINT COVER: "WABOCRETE ME 500" MEMBRANE JOINT SYSTEM, RECESS CONCRETE 3 1/2"x3/4" EA SIDE OF JOINT. SEE RELATED CONCRETE FINISHING DETAILS
12. ELECTRIC VEHICLE (EV) CHARGING STATION SIGNAGE AND CONCRETE WHEEL STOP (WHEEL STOP ONLY AT LOCATIONS INDICATED ON PLAN). SEE TYPICAL DETAILS ON SHEET ST200
13. PRECAST CONCRETE WHEEL STOP. SEE TYPICAL DETAILS ON SHEET ST200

PARKING SPACE SCHEDULE (THEORETICAL)		
LEVEL	TYPE	TOTAL
LEVEL 1	ADA VAN w/ SIGNPOST	1
LEVEL 1	ADA w/ SIGNPOST	3
LEVEL 1	NON-STD 9'-0"x18'-0"	4
LEVEL 1	SPACES AT PED WALKWAY	3
LEVEL 1	SPACES FOR BOOK DROP	9
LEVEL 1	SPACES FOR ELEVATOR	4
LEVEL 1	STD 9'-0"x18'-0"	91
LEVEL 1	STD 9'-0"x18'-0" w/ STOP	23
LEVEL 2	ADA VAN w/ SIGNPOST	1
LEVEL 2	ADA w/ SIGNPOST	7
LEVEL 2	SPACES FOR BIKE HUB	4
LEVEL 2	SPACES FOR ELEVATOR	3
LEVEL 2	STD 9'-0"x18'-0"	134
LEVEL 3	SPACES FOR ELEVATOR	3
LEVEL 3	STD 9'-0"x18'-0"	152
LEVEL 4	SPACES FOR ELEVATOR	3
LEVEL 4	STD 9'-0"x18'-0"	132
135		
Grand total: 577		

PARKING SPACE SCHEDULE (ACTUAL)		
LEVEL	TYPE	TOTAL
LEVEL 1	ADA VAN w/ SIGNPOST	1
LEVEL 1	ADA w/ SIGNPOST	3
LEVEL 1	NON-STD 9'-0"x18'-0"	4
LEVEL 1	STD 9'-0"x18'-0"	91
LEVEL 1	STD 9'-0"x18'-0" w/ STOP	23
LEVEL 2	ADA VAN w/ SIGNPOST	1
LEVEL 2	ADA w/ SIGNPOST	7
LEVEL 2	STD 9'-0"x18'-0"	134
LEVEL 3	STD 9'-0"x18'-0"	152
LEVEL 4	STD 9'-0"x18'-0"	132
132		
Grand total: 548		

ACTUAL GARAGE EFFICIENCY (GROSS SF PER SPACE) = 347.8
THEORETICAL EFFICIENCY = 330.4

STRUCTURAL ENGINEERS
800.542.3302
schaefer-inc.com

Copyright © 2017
THIS DOCUMENT IS THE PROPERTY AND INTELLECTUAL PROPERTY OF SCHAEFER. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF SCHAEFER.

KEY PLAN

DATE CHANGE DESCRIPTION

DUBLIN PARKING
GARAGE
NORTH AND FRANKLIN STREET
for
City of Dublin

MOODY•NOLAN

300 Spruce Street
Suite 300
Columbus, Ohio 43215
Phone: (614) 461-4664
Fax: (614) 280-8881

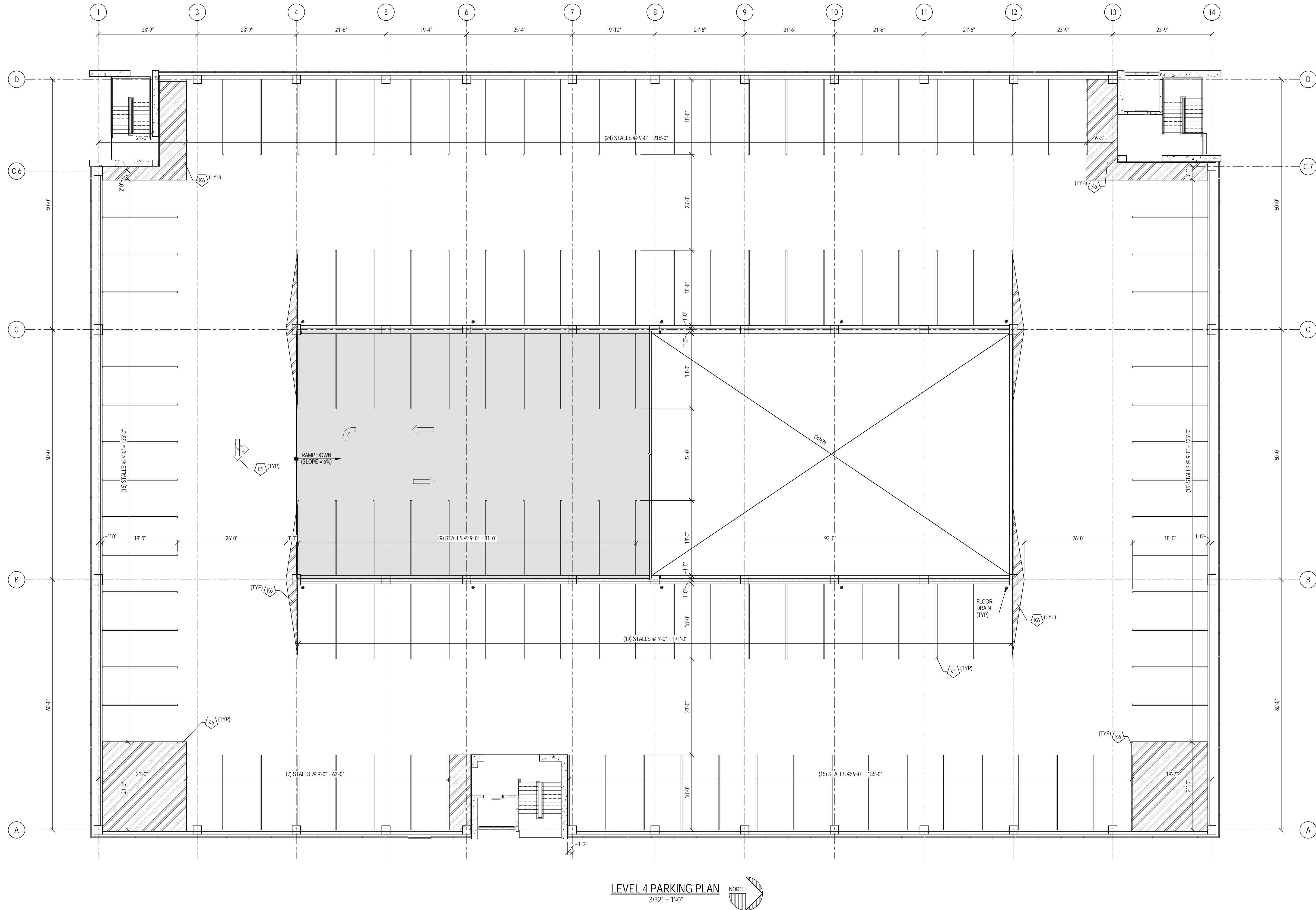
Dwg. Coord.: Author Tech. Coord.: Checker 16189

LEVEL 3 PARKING PLAN

DESIGN DEVELOPMENT

ST130

08-08-2017



STRIPING PLAN NOTES:

1. THE STRIPING PLANS ARE FOR STRIPING AND PARKING PURPOSES ONLY. PAINTING CONTRACTOR SHALL FIELD VERIFY ALL COMPLETED CONSTRUCTION CONDITIONS PRIOR TO COMMENCING WITH THE WORK. ALL PARKING STRIPS SHALL BE SINGLE STRIPED. DIMENSIONS GIVEN ON THIS PLAN ARE TO CENTERLINE OR END OF STRIPE UNLESS NOTED OTHERWISE.
2. REFER TO ARCHITECTURAL DRAWINGS FOR WALL AND DOOR INFORMATION NOT INDICATED ON STRIPING DRAWINGS.
3. REFER TO SHEET ST200 FOR TYPICAL PARKING AND STRIPING DETAILS.

STRIPING KEY NOTES:

1. 4\"/>

PARKING SPACE SCHEDULE (THEORETICAL)		
LEVEL	TYPE	TOTAL
LEVEL 1	ADA VAN w/ SIGNPOST	1
LEVEL 1	ADA w/ SIGNPOST	3
LEVEL 1	NON-STD 9'-0"x16'-0"	3
LEVEL 1	SPACES AT PED WALKWAY	3
LEVEL 1	SPACES FOR BOOK DROP	9
LEVEL 1	SPACES FOR ELEVATOR	4
LEVEL 1	STD 9'-0"x16'-0"	91
LEVEL 1	STD 9'-0"x18'-0" w/ STOP	23
138		
LEVEL 2	ADA VAN w/ SIGNPOST	1
LEVEL 2	ADA w/ SIGNPOST	7
LEVEL 2	SPACES FOR BIKE HUB	4
LEVEL 2	SPACES FOR ELEVATOR	3
LEVEL 2	STD 9'-0"x18'-0"	134
149		
LEVEL 3	SPACES FOR ELEVATOR	3
LEVEL 3	STD 9'-0"x16'-0"	152
155		
LEVEL 4	SPACES FOR ELEVATOR	3
LEVEL 4	STD 9'-0"x16'-0"	132
138		
Grand total: 577		

PARKING SPACE SCHEDULE (ACTUAL)		
LEVEL	TYPE	TOTAL
LEVEL 1	ADA VAN w/ SIGNPOST	1
LEVEL 1	ADA w/ SIGNPOST	3
LEVEL 1	NON-STD 9'-0"x16'-0"	4
LEVEL 1	STD 9'-0"x16'-0"	91
LEVEL 1	STD 9'-0"x16'-0" w/ STOP	23
122		
LEVEL 2	ADA VAN w/ SIGNPOST	1
LEVEL 2	ADA w/ SIGNPOST	7
LEVEL 2	STD 9'-0"x16'-0"	134
142		
LEVEL 3	STD 9'-0"x16'-0"	152
LEVEL 4	STD 9'-0"x16'-0"	132
132		
Grand total: 548		

ACTUAL GARAGE EFFICIENCY (GROSS SF PER SPACE) = 347.8
THEORETICAL EFFICIENCY = 330.4

STRUCTURAL ENGINEERS
800.542.3302
schaefer-inc.com

Copyright © 2017
THIS DOCUMENT IS THE PROPERTY AND CREATIVE PROPERTY OF SCHAEFER. WITHIN THE DOCUMENT, MARK THE INFORMATION IT CONTAINS MAY BE COPIED OR USED FOR ANY OTHER THAN THE SPECIFIC PURPOSE FOR WHICH IT WAS PREPARED, WITHOUT THE WRITTEN CONSENT OF SCHAEFER.
Schaefer Project Number: 1623.07

KEY PLAN

DATE CHANGE DESCRIPTION

DUBLIN PARKING
GARAGE
NORTH AND FRANKLIN STREET
for
City of Dublin



300 Spruce Street
Suite 300
Columbus, Ohio 43215
Phone: (614) 461-4664
Fax: (614) 280-8881

Dwg. Coord.: SCH Tech. Coord.: SCH

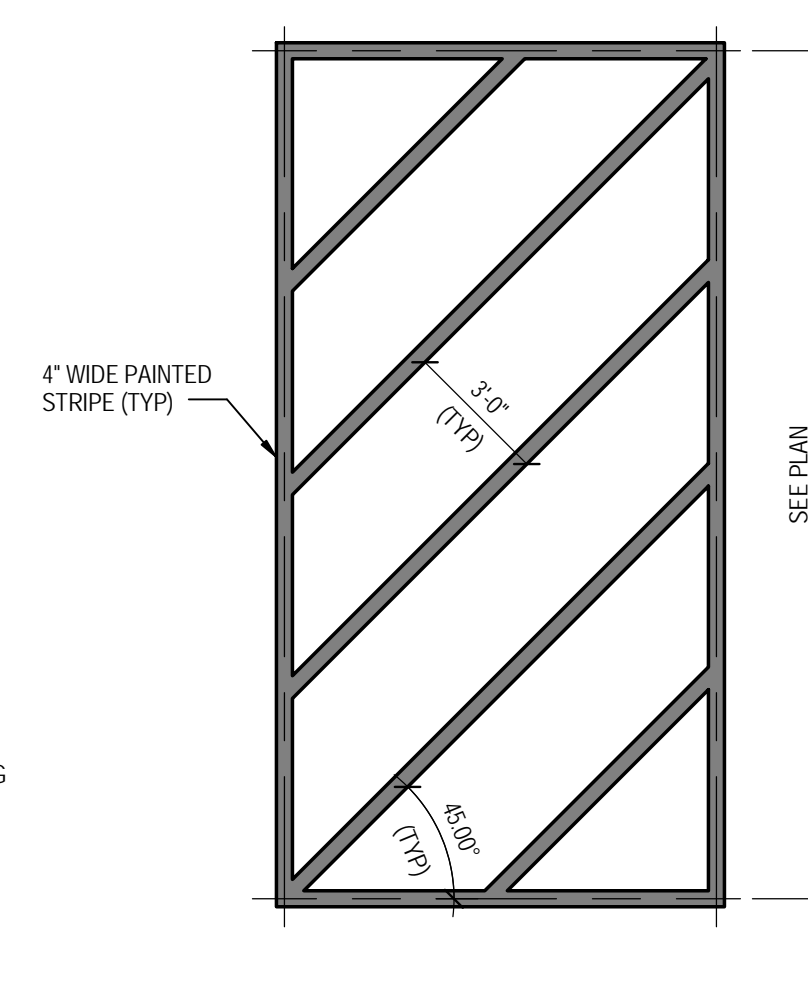
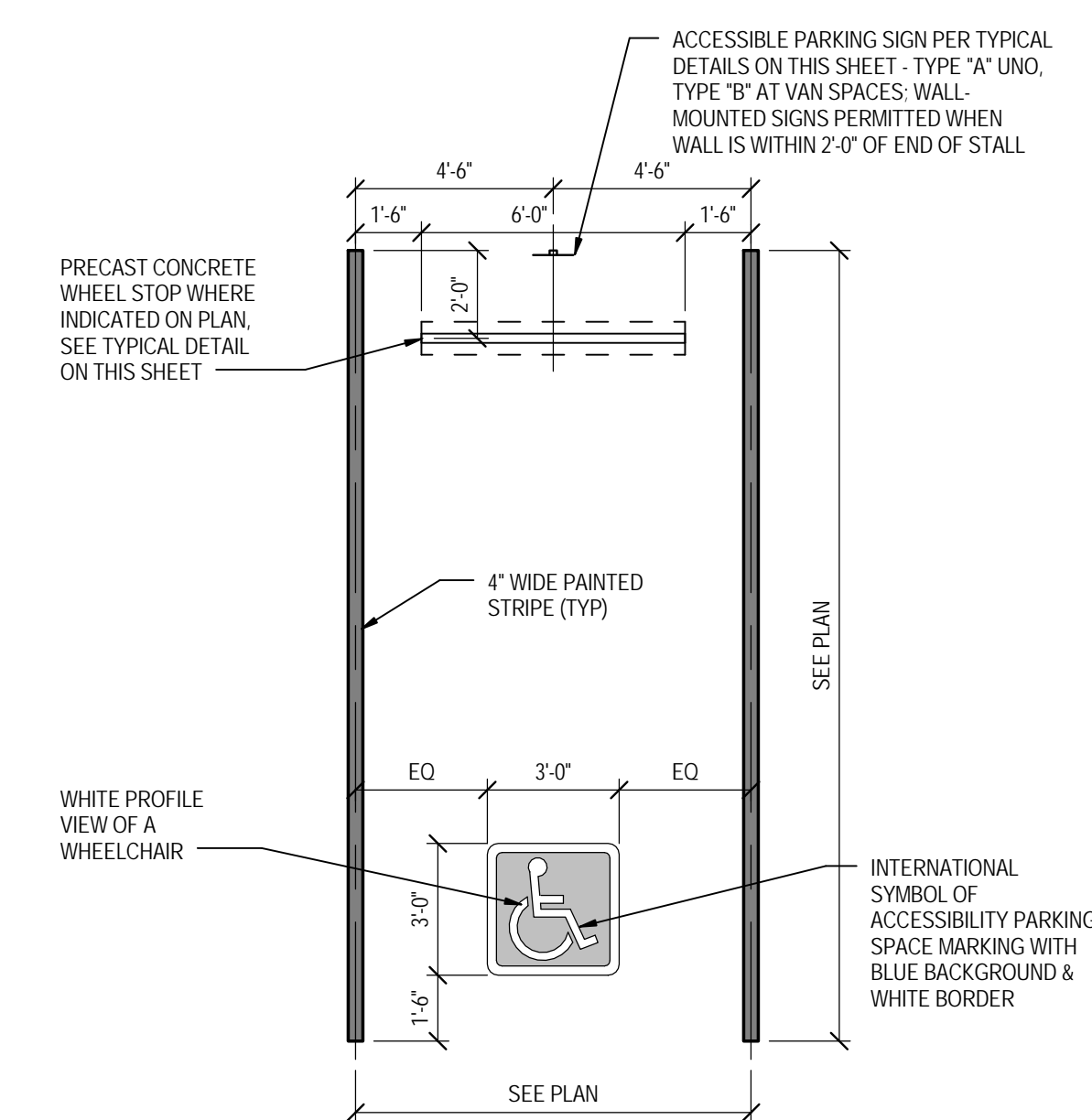
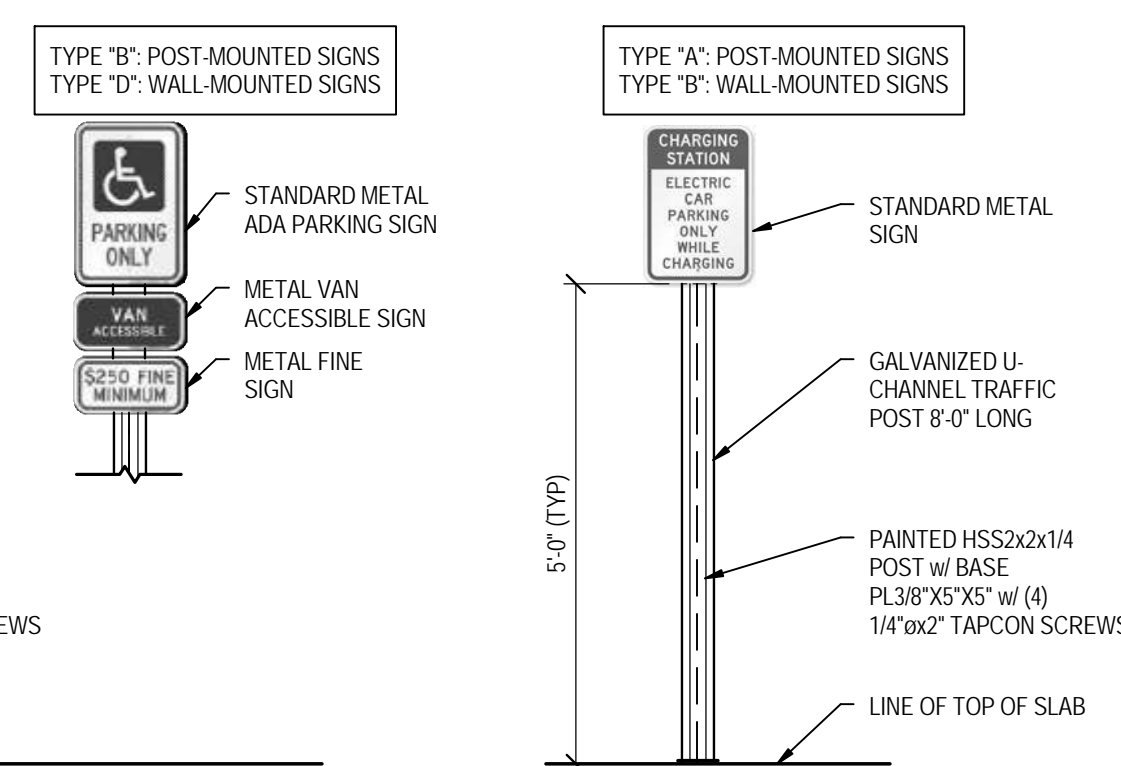
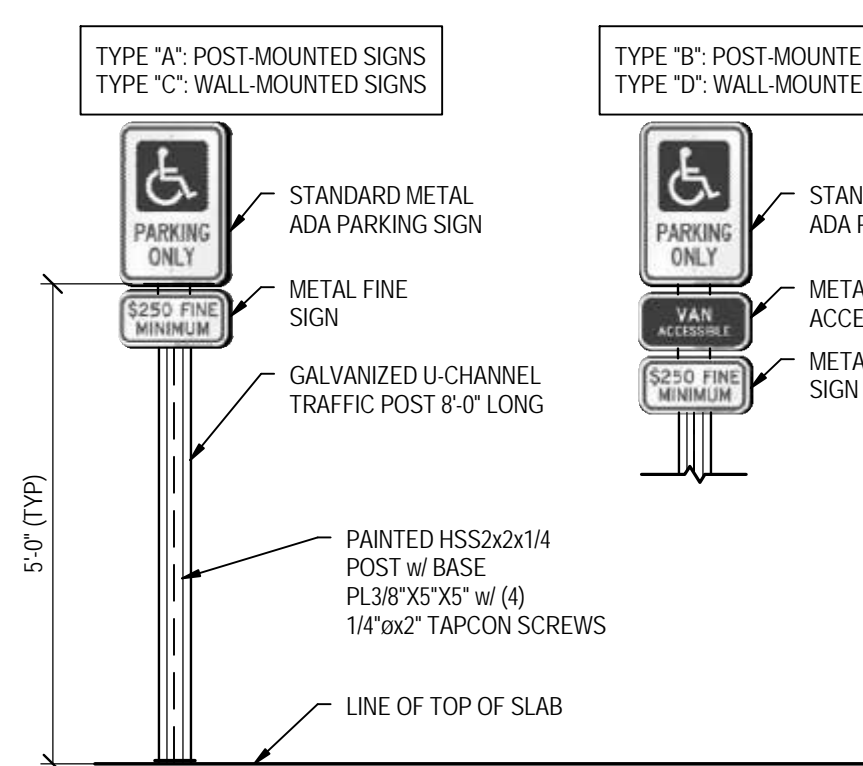
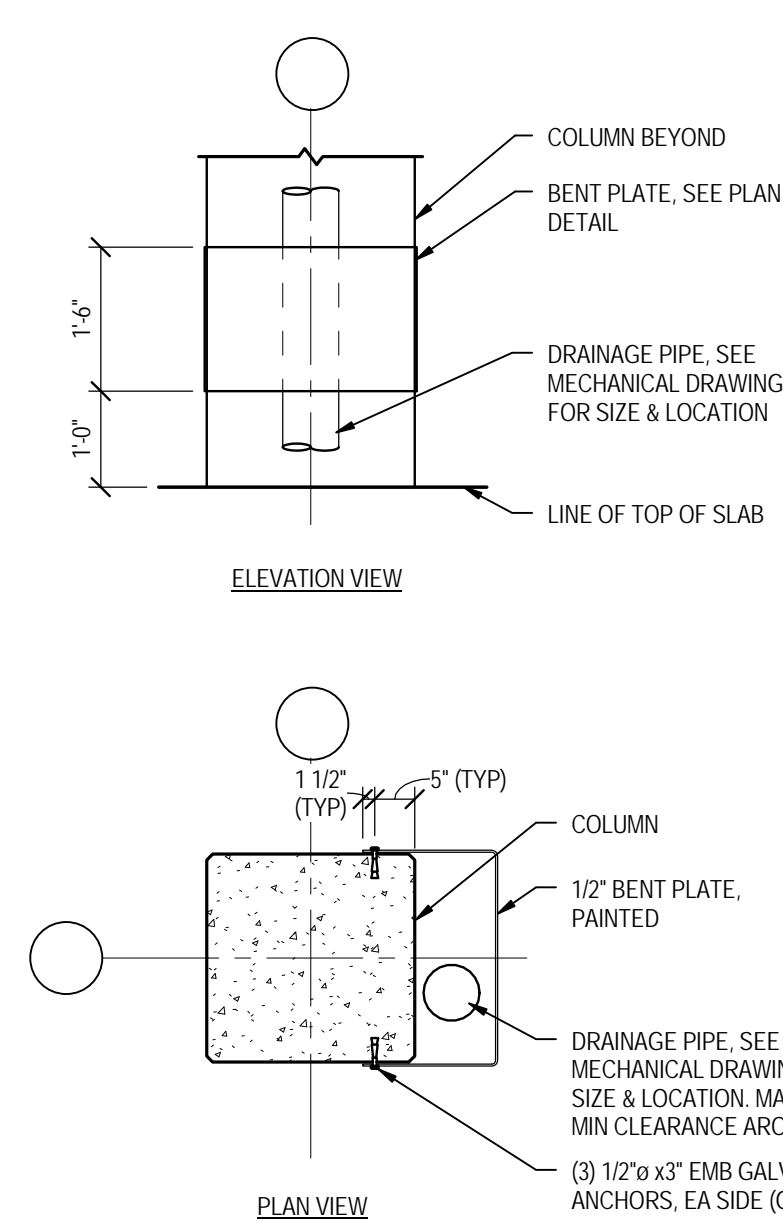
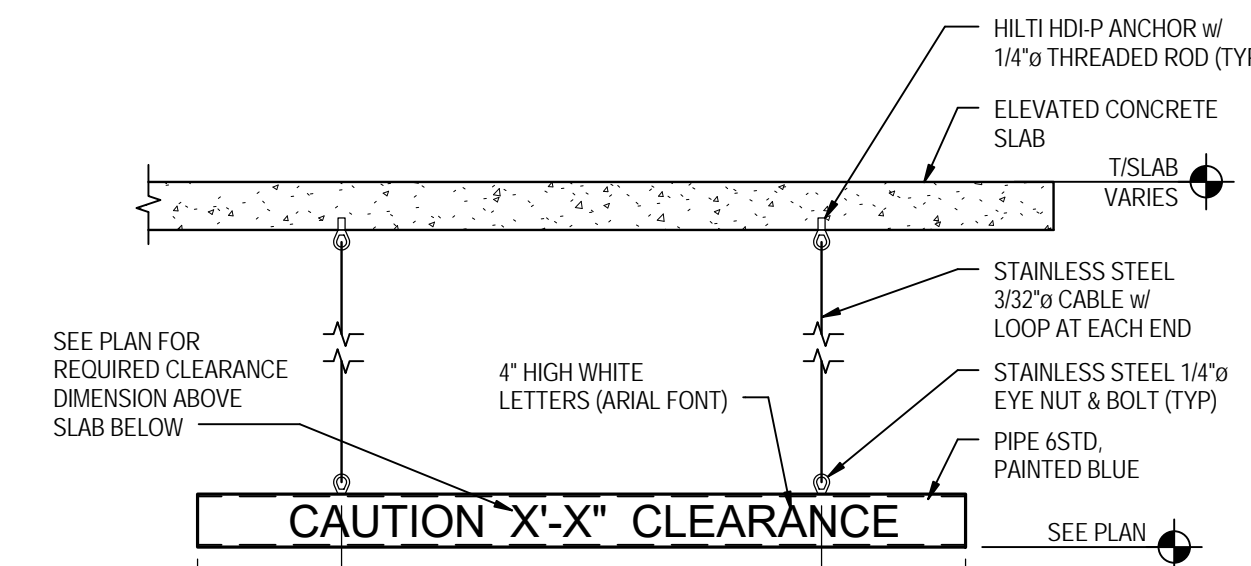
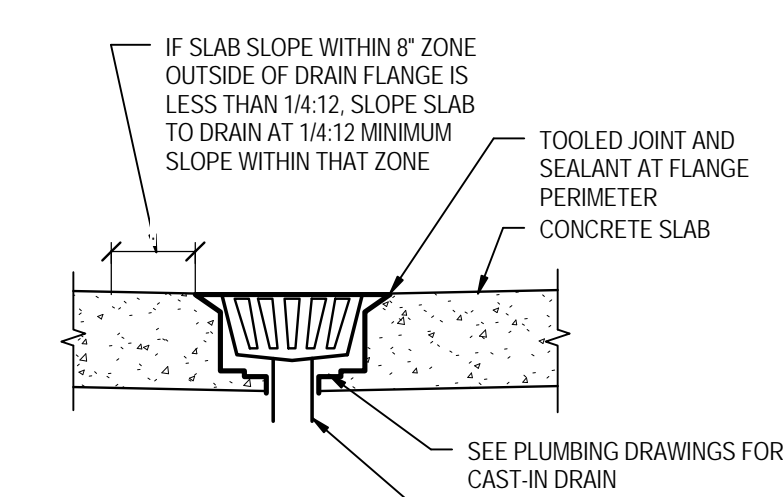
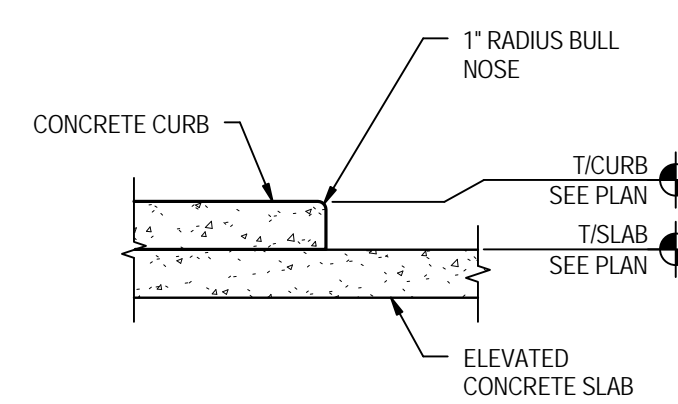
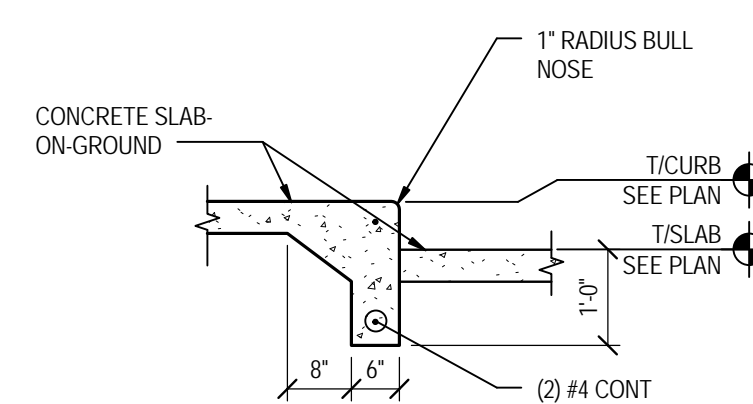
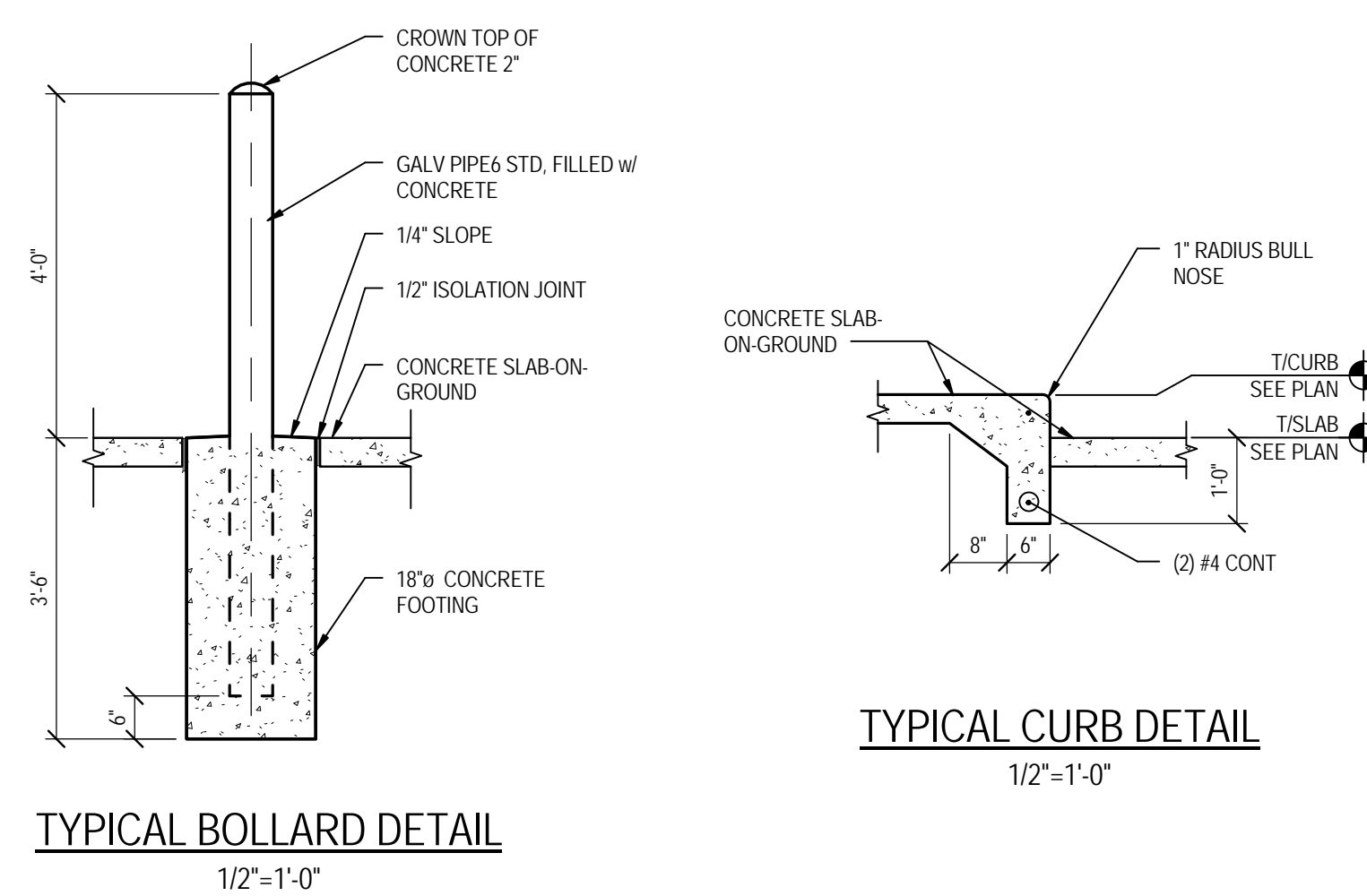
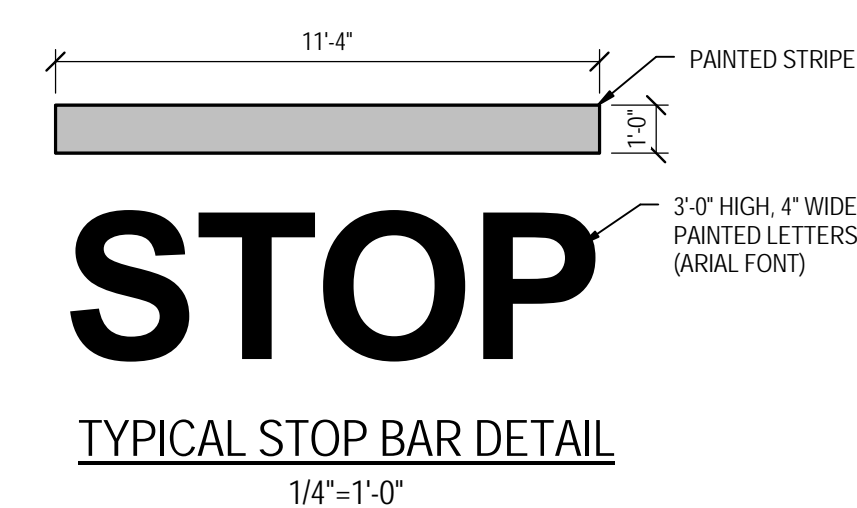
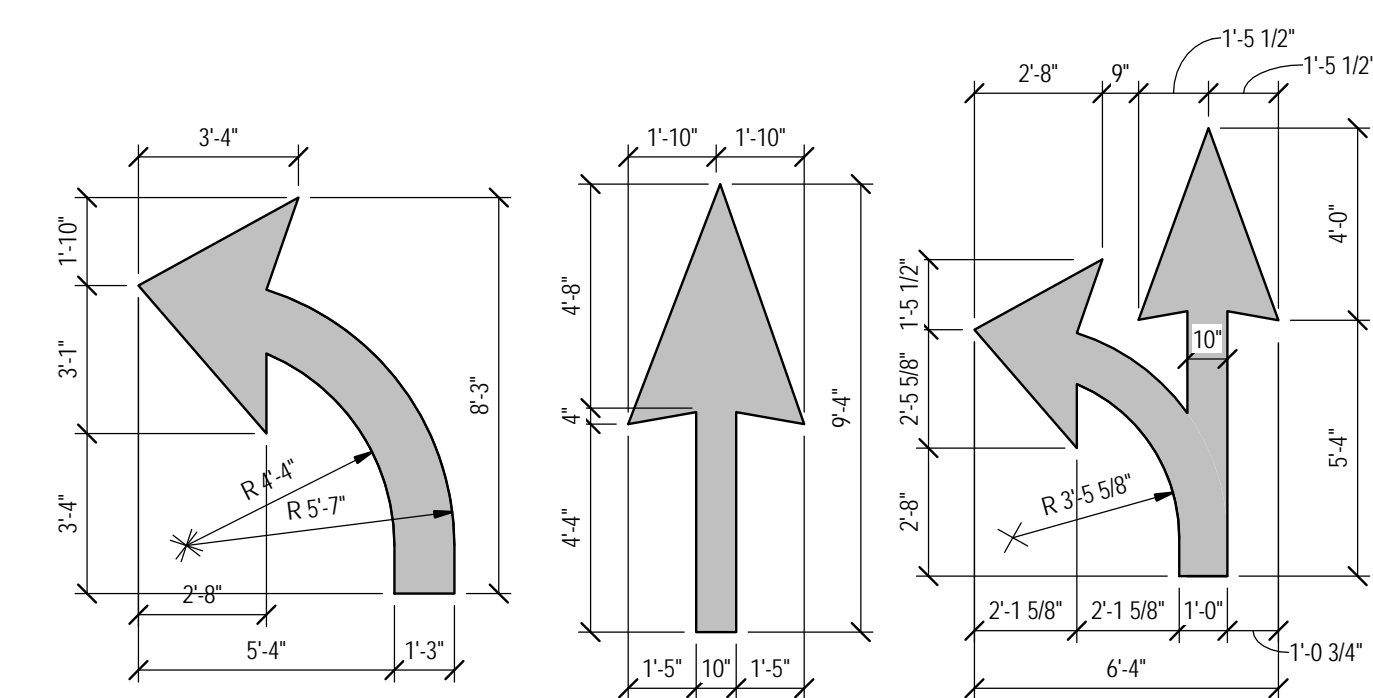
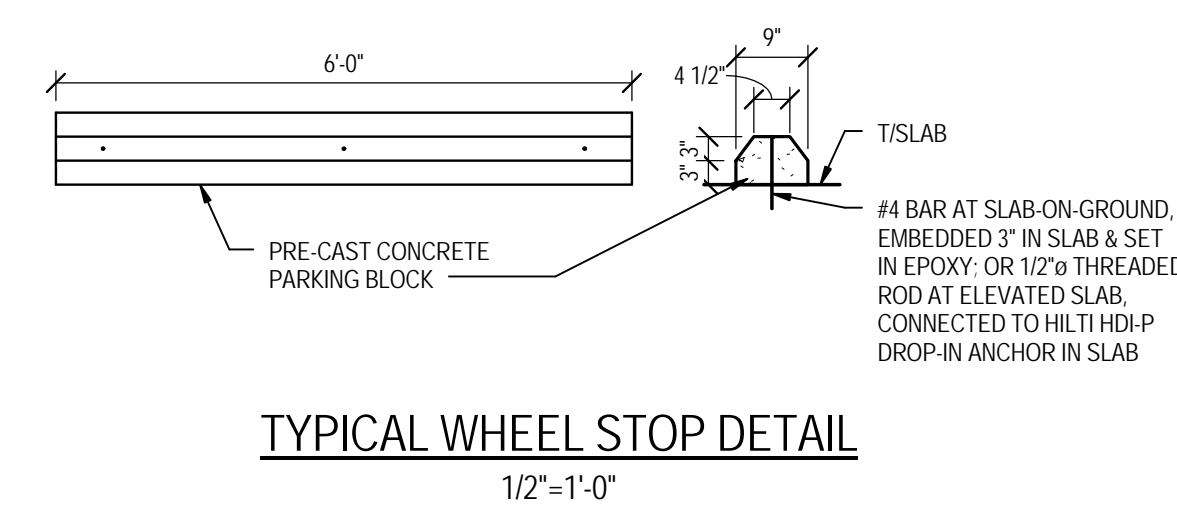
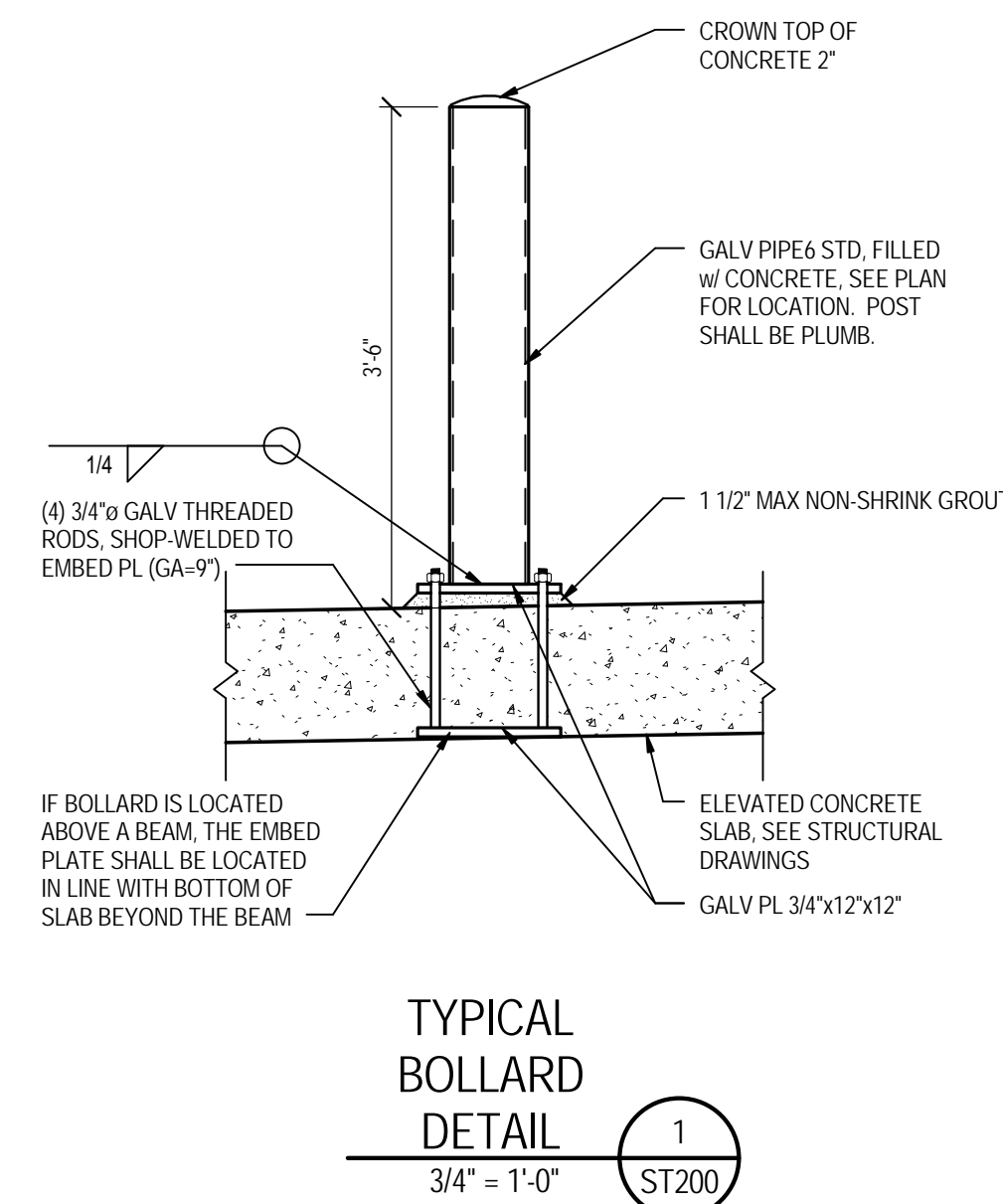
16189

LEVEL 4 PARKING PLAN

ST140

DESIGN DEVELOPMENT

08-08-2017



KEY PLAN

[illegible]

**DUBLIN PARKING
GARAGE**
NORTH AND FRANKLIN STREET
for
 City of Dublin

300 Spruce Street
Suite 300
Columbus, Ohio 43215

Phone: (614) 461-4664
Fax: (614) 280-8881

MOODY•NOLAN

Dwg. Coord.:	Tech. Coord.:	16189
--------------	---------------	-------

PARKING DETAILS

DESIGN DEVELOPMENT

ST200

08-08-2017

STRUCTURAL ENGINEERS
800.542.3302
schaefer-inc.com

schaefer

THIS DOCUMENT IS THE PRODUCT AND EXCLUSIVE PROPERTY OF SCHAEFER. NEITHER THE DOCUMENT NOR THE INFORMATION IT CONTAINS MAY BE COPIED OR USED FOR ANY OTHER THAN THE SPECIFIC PURPOSE FOR WHICH IT WAS PREPARED, WITHOUT THE WRITTEN CONSENT OF SCHAEFER.

DUBLIN GARAGE - BUILDING VARIETY STATEMENT

The Dublin garage is located west of the proposed CML Dublin Branch Library, and bound by North Street to the south, Franklin Street to the west, and Rock Cress Parkway to the north. The area directly west, between the garage and proposed library, is proposed as a plaza/garden space.

The garage is a four story structure, accommodating 548 parking spaces, which will be distributed between public and library parking. It also contains a bike hub on the northwest corner, which provides covered parking racks for bicycle users.

The garage takes cues from the design of the library to create a cohesive aesthetic for this block. The design also responds to elements such as the dry-laid stone walls found in the nearby context of the historic core and Veterans Memorial Park.

The typical lower level “at grade” is clad in modular trellis panels which will be covered with a combination of English Ivy (*Hedera Helix*), Climbing Hydrangea (*Hydrangea Anomala Petiolaris*) and Trumpet Honeysuckle (*Lonicera Semervirens ‘Magnifica’*). This lower level façade treatment will create a living green wall at the pedestrian level. Some of the benefits of this green wall include lowering surface and air temperatures and creating shade along this surface, as well as capturing air pollutants and particulate matter to improve air quality. Aesthetically this surface provides a soft, natural texture that is pleasing to the eye.

The upper levels of the garage are typically clad with a horizontal terracotta baguette system. The effect of the terracotta is meant to recall the “random” textures found in the dry-laid stone walls throughout the surrounding context. This effect is enhanced by using three colors that are subtly different (in a tight range), and very closely in tune with the colors and finishes used in the proposed library.

Other materials used throughout include architectural cast-in-place concrete at the stair towers, calcium silicate masonry units (an engineered stone) in key locations close to grade and the pedestrian level, and aluminum plate and perforated metal at canopies and stair guardrails.

The garage is designed to provide an interesting setting that places value on human scale and a diversity of experiences for the area.

DUBLIN GARAGE – WAIVER SUMMARY

-Ground Story Street Facing Transparency: For purposes of transparency calculations, we are considering the modular trellis panels and planting 100% opaque. The actual trellis panels are virtually open (they are a wire grid), but once vines and other planting is installed, calculating a percentage of transparency or openness is very difficult, as plants are never in a state of stasis. Storefront is not provided, as there is no retail in the program for this structure. Therefore, a ground story street facing transparency waiver is requested at the north, east and south elevations. Ground story street facing transparency along the west elevation is not applicable, since the first floor is mostly under grade.

-Blank Wall Limitations: For purposes of blank wall calculations, we are considering the modular trellis panels and planting 100% opaque. The actual trellis panels are virtually open (they are a wire grid), but once vines and other planting is installed, calculating a percentage of transparency or openness is very difficult, as plants are never in a state of stasis. Therefore, blank wall requirement waiver is requested at east elevation (level 1), west elevation (levels 1 and 2), north elevation (level 1) or south elevation (level 1).

-Number of Street Façade Entrances Required: Waiver requested. Two of three entrances provided on North Street, one out of four on Franklin Street, and one out of three on Rock Cress Parkway. Entries have been provided at key locations and no additional ones, in order to maintain the integrity of the living green façade at ground level.

-Vertical Increments Required: Waiver requested. This is intended by design, to create a building with clean lines, and is by nature continuous in its relationship to the site and the neighboring proposed library. The exterior facades are modulated by the rhythm of the modular trellis panels at the ground level, and by the pattern of horizontal terracotta at the upper levels. The stair towers punctuate and further articulate the facades at key locations.

-Permitted Primary Materials: Waiver requested. Modular trellis panels + planting, terracotta and calcium silicate masonry units are proposed as primary materials. Secondary materials (specifically architectural cast-in-place concrete) exceed requirement on all facades. The architectural cast-in-place concrete is an integral element to the design of the exterior.

INDIVIDUAL BUILDING TYPE REQUIREMENT TABLE

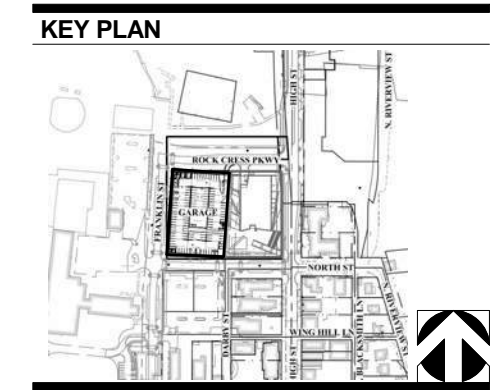
BUILDING TYPE REQUIREMENT (Refer to 153.062(O) for Building Types)	CODE REQUIREMENT	PROVIDED	MET, N.A., OR DEPARTURE/ WAIVER NEEDED
Proposed Building Type (Example: Mixed Use Building):	PARKING STRUCTURE		
Example: Front Property Line Coverage (%)	Min. 95%	75%	Waiver
Number of Principal Buildings Provided (per lot)			
Front Property Line Coverage (%)			
Occupation of Corner Required (Yes/No)			
Front Required Building Zone Required (range, ft)			
Corner Side RBZ Required (range, ft)			
Front Setback Required (if no RBZ) (ft)			
Corner Side Setback Required (if no RBZ) (ft)			
Side Yard Setback Required (ft)			
Rear Yard Setback Required (ft)			
Minimum Lot Width Required (ft)			
Maximum Lot Width Required (ft)			
Maximum Building Length or Depth Required (ft)			
Minimum Lot Depth (Single Family Detached Building Types only) (ft)			
Maximum Impervious Lot Coverage (%)			
Semi-Pervious Lot Coverage (%)			
Parking Permitted (location relative to principal structure)			
Loading Facility Permitted (location relative to principal structure)			
Entry for Parking Within Building (relative to principal structure)			
Permitted Vehicular Access Location (relative to principal structure)			
Minimum Building Height Permitted (ft)			
Maximum Building Height Permitted (ft)	5 STORIES	4 STORIES	MET
Accessory Structure Height (number of stories)			
Minimum Finished Floor Elevation Permitted (ft)			
Minimum Occupied Space Required (ft)			
Ground Story Street Façade Transparency Required (%)	65%	NO	NEEDED
Upper Story Street Façade Transparency Required (%)	N.A.	N.A.	N.A.
Ground Story Non-Street Façade Transparency (%)	N.A.	N.A.	N.A.
Upper Story Non-Street Façade Transparency (%)	N.A.	N.A.	N.A.
Parking Lot Ground Story Transparency Requirement (%)	N.A.	N.A.	N.A.
Blank Wall Limitations (Yes/No)	-	N.A.	N.A.
Principal Entrance Location Required (relative to principal structure)	REQUIRED	MOSTLY	NEEDED
Number of Street Façade Entrances Required (per ft of façade)	ALL ST. FAÇADES	YES	MET
Number of Parking Lot Entrances Required (per ft of façade)	1/75 FT.	NO	NEEDED
Mid-Building Pedestrianways Required (# per ft of façade)	N.A.	N.A.	N.A.
Vertical Increments Required (location on principal structure)	NOT REQUIRED	N.A.	N.A.
Horizontal Façade Divisions Required (per ft of façade)	≤ 30 FT	NO	NEEDED
Permitted Primary Materials (types)	TOP OF GRND. STORY BRICK, STONE, GLASS	YES	MET
Changes in Roof Plane/Type Required (per ft of façade)	NONE	SEE SUMMARY	NEEDED
Roof Type(s) Permitted (types)	FLAT, PARAPET	N.A.	N.A.
Tower(s) Permitted (Y/N)	Y	FLAT, PARAPET YES	MET MET

For questions or more information, please contact Land Use and Long Range Planning at (614) 410-4600 | www.dublin.oh.us

STREET FACADE ENTRANCE REQUIRED 1 PER 75' OF FACADE WALL (MIN)			
STREET	FACADE LENGTH	REQ.	PROVIDED
NORTH STREET	183'-11"	3	2

REFER TO A103 FOR BUILDING DIMENSIONS

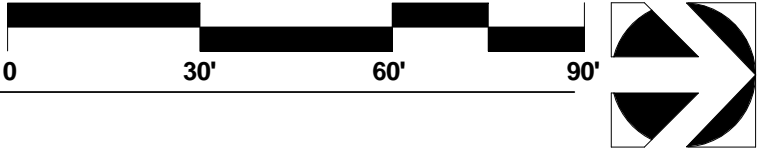
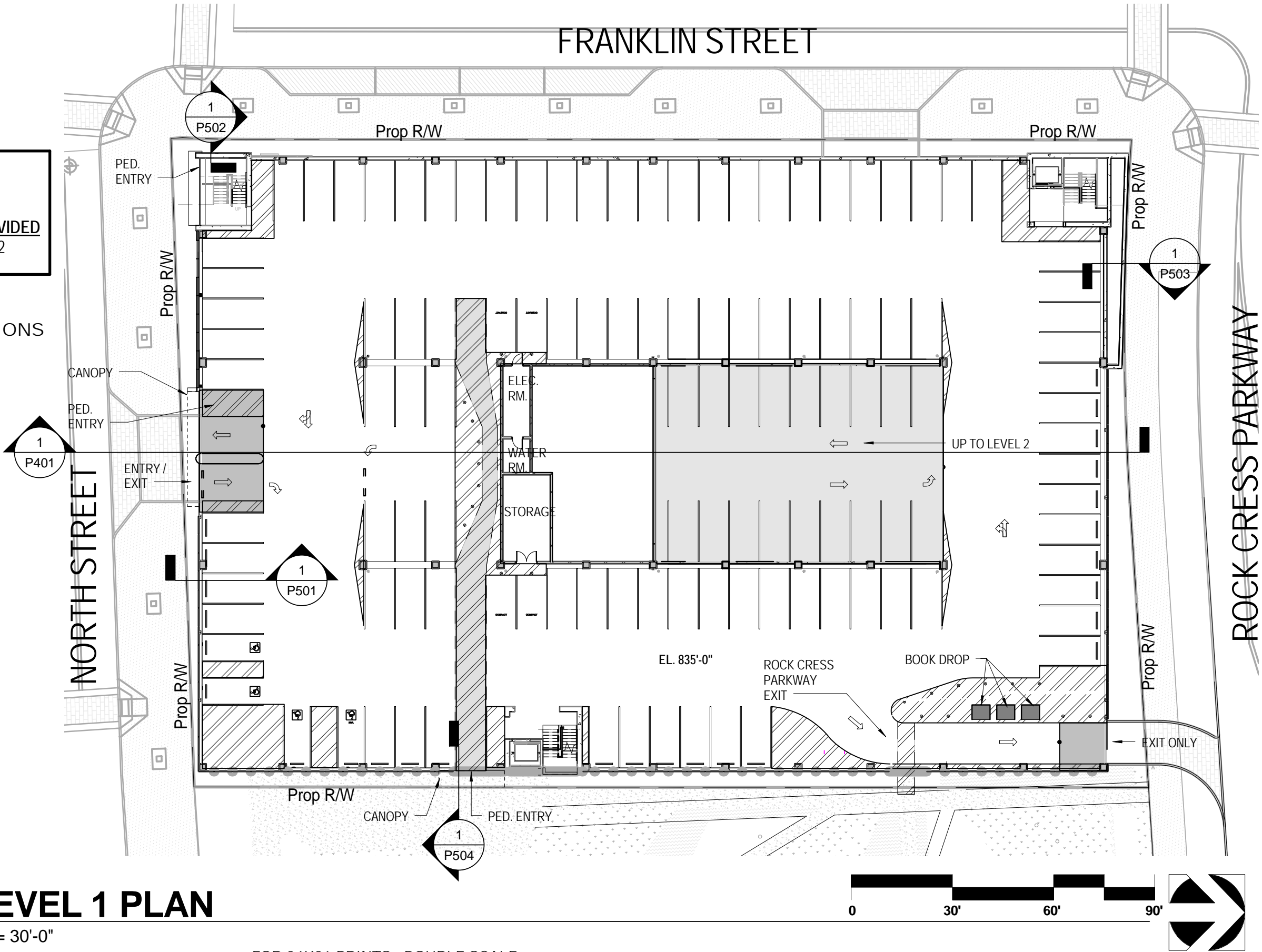
PARKING SCHEDULE	
LEVEL 1 - ADA VAN STD 9'-0" X 18' = SIGN	1
LEVEL 1 - ADA STD 9'-0" X 18' +SIGN	3
LEVEL 1 - STD 9'-0" X 18'	118
TOTAL	122



1 LEVEL 1 PLAN

1" = 30'-0"

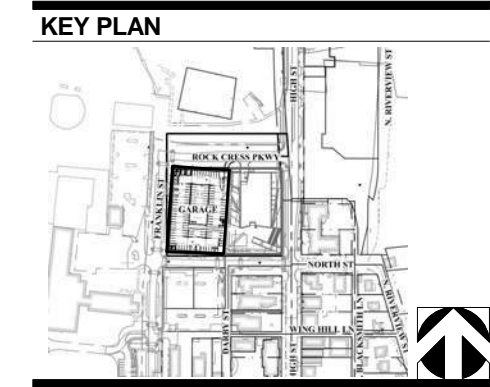
FOR 24X36 PRINTS - DOUBLE SCALE



STREET FACADE ENTRANCE REQUIRED 1 PER 75' OF FACADE WALL (MIN)			
STREET	FACADE LENGTH	REQ.	PROVIDED
FRANKLIN STREET	271'-0"	4	1
ROCK CRESS PKWY	183'-11"	3	1

REFER TO A103 FOR BUILDING DIMENSIONS

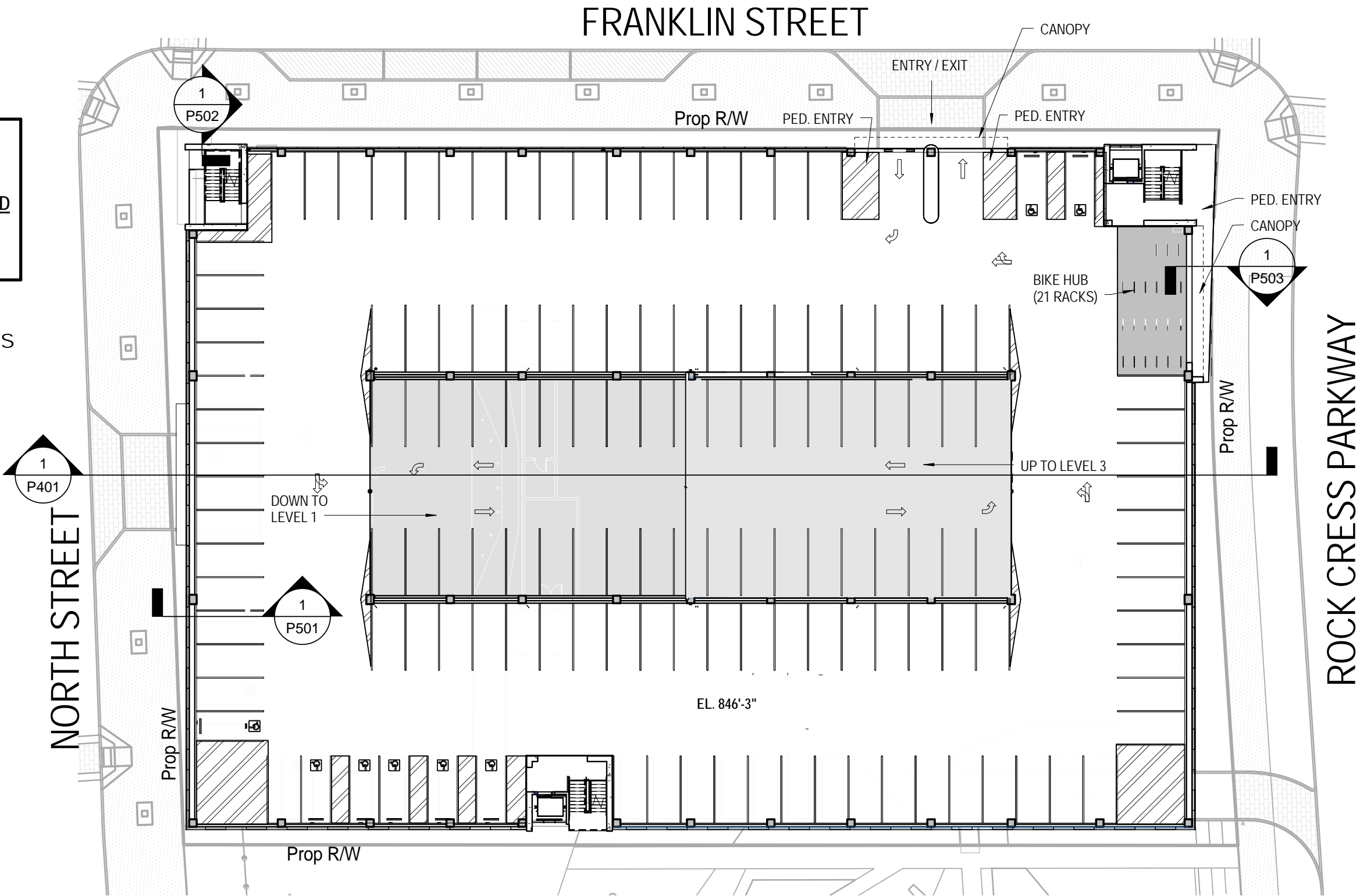
PARKING SCHEDULE	
LEVEL 2 - ADA VAN STD 9'-0" X 18' = SIGN	1
LEVEL 2 - ADA STD 9'-0" X 18' +SIGN	7
LEVEL 2 - STD 9'-0" X 18'	134
TOTAL	142



1 LEVEL 2 PLAN

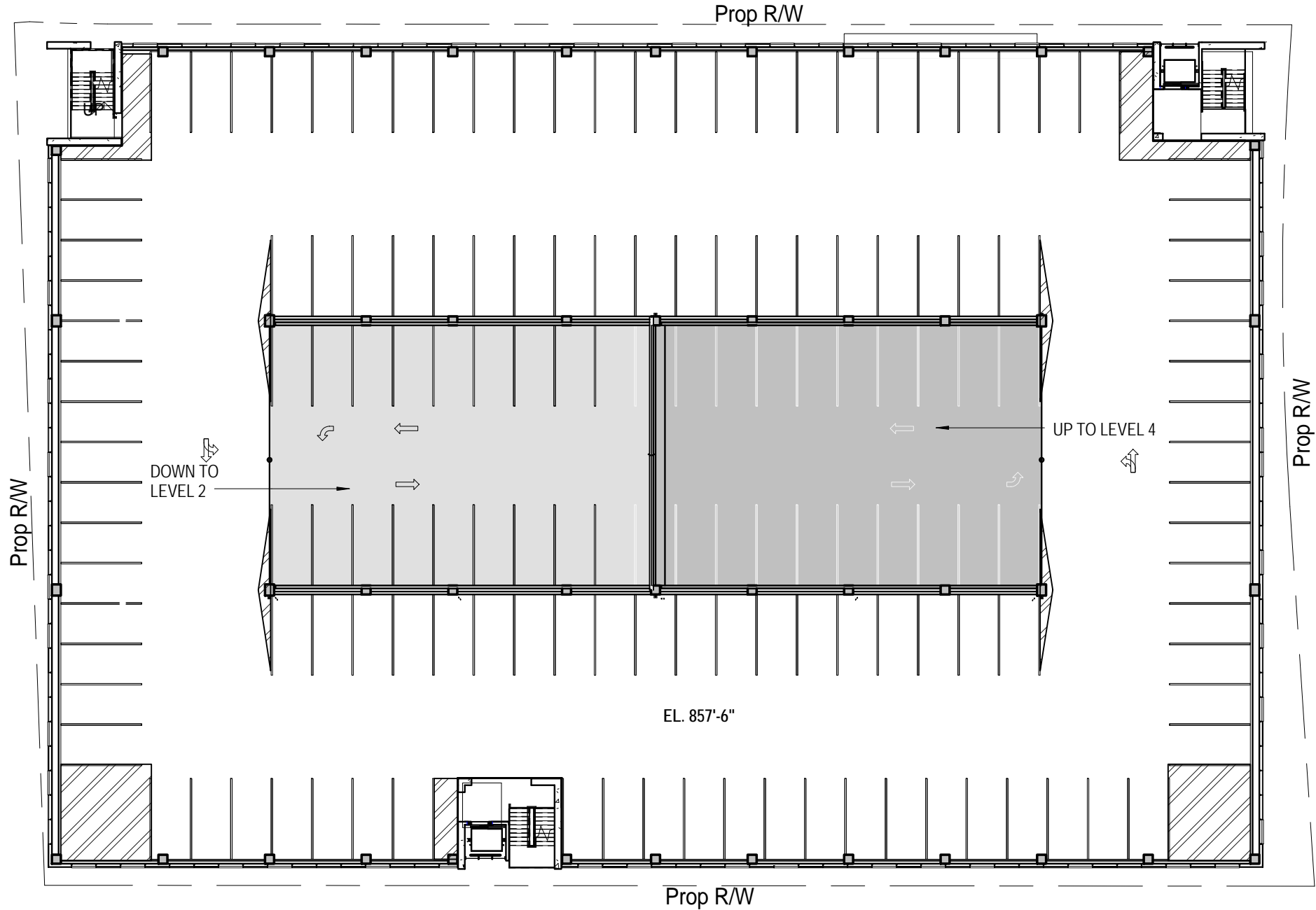
1" = 30'-0"

FOR 24X36 PRINTS - DOUBLE SCALE



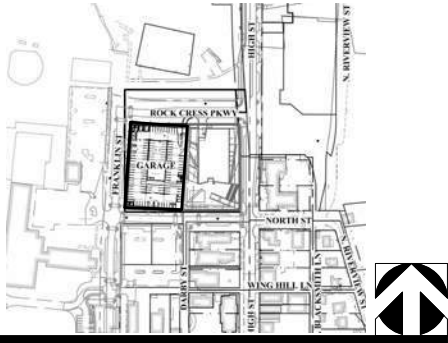
PARKING SCHEDULE	
LEVEL 3 - STD 9'-0" X 18'	152
TOTAL	152

NORTH STREET



ROCK CRESS PARKWAY

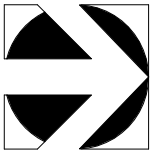
KEY PLAN



1 LEVEL 3 PLAN

1" = 30'-0"

FOR 24X36 PRINTS - DOUBLE SCALE

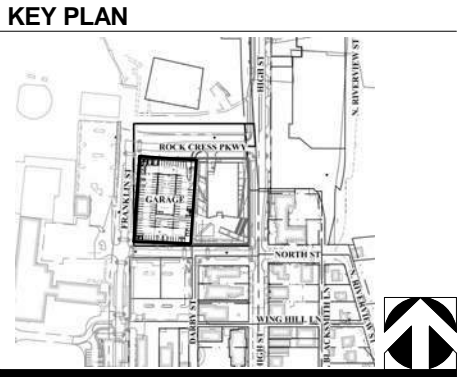
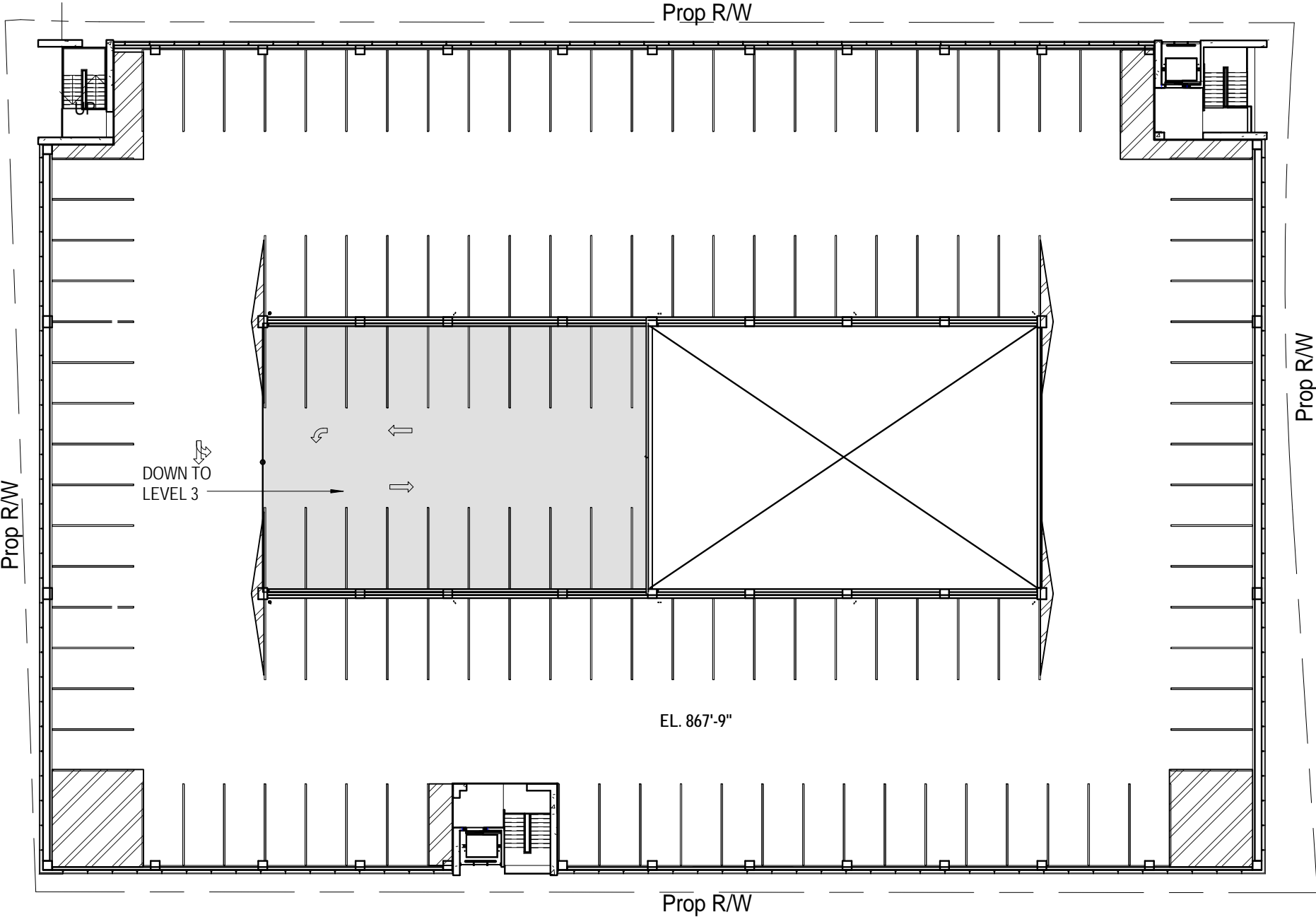


FRANKLIN STREET

NORTH STREET

ROCK CRESS PARKWAY

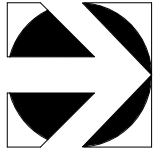
PARKING SCHEDULE	
LEVEL 4 - STD 9'-0" X 18'	132
TOTAL	132



1 LEVEL 4 PLAN

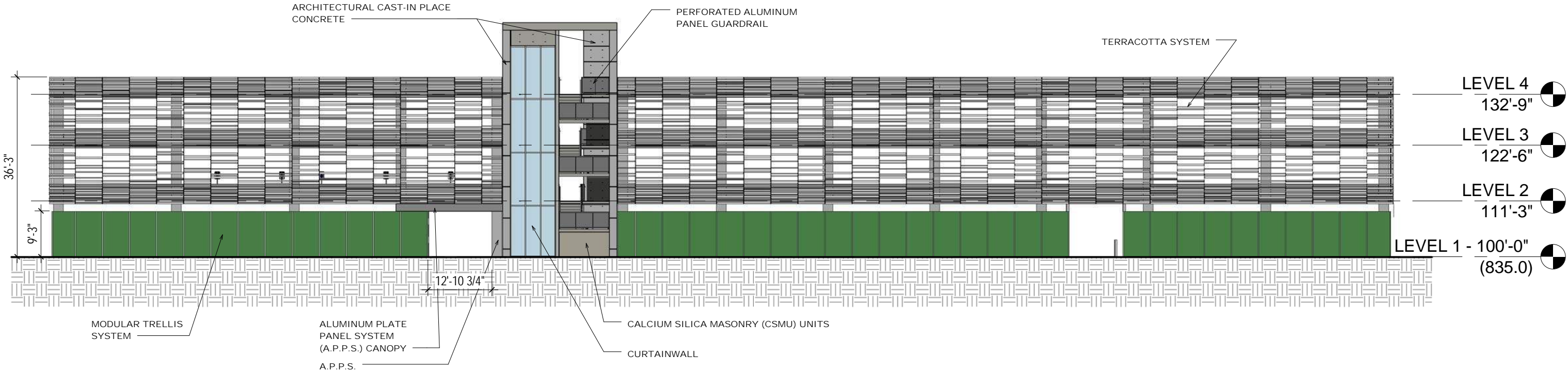
1" = 30'-0"

FOR 24X36 PRINTS - DOUBLE SCALE



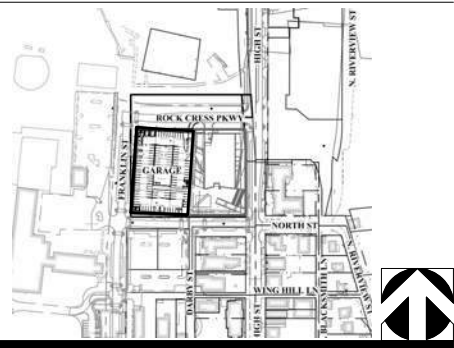
STREET FACADE TRANSPARENCY			
1st Story	2nd Story	3rd Story	4th Story
Story Area: 1,627 sf	Story Area: 3,041 sf	Story Area: 3,041 sf	Story Area: 1,199 sf
Transparency: 162 sf	Transparency: 1,823 sf	Transparency: 1,823 sf	Transparency: 155 sf
Required: 65%	Required: NA	Required: NA	Required: NA
Provided: 10%	Provided: 60%	Provided: 60%	Provided: 13%

VERTICAL FACADE DIVISIONS
(30' OR LESS REQUIRED)



FACADE MATERIALS					
Overall Area of East Elevation: 10,052 sf					
Area of Doors and Openings: -3,225 sf					
Net Area of Elevation: 6,827 sf					
Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Calcium Silicate Masonry Units (CSMU)	Primary	51 sf	1%		
Terracotta	Primary	2,471 sf	36%		
Glass	Primary	390 sf	6%		
Modular Trellis System and Planting	Primary	2,060 sf	30%		
		4,972 sf	73%	80%	N
Architectural Cast-In-Place Concrete	Secondary	1,715 sf	25%		
Misc. Elements (Alum. Plate, Perf Panel)	Secondary	140 sf	2%		
		1,855 sf	27%	<20%	N

KEY PLAN



1

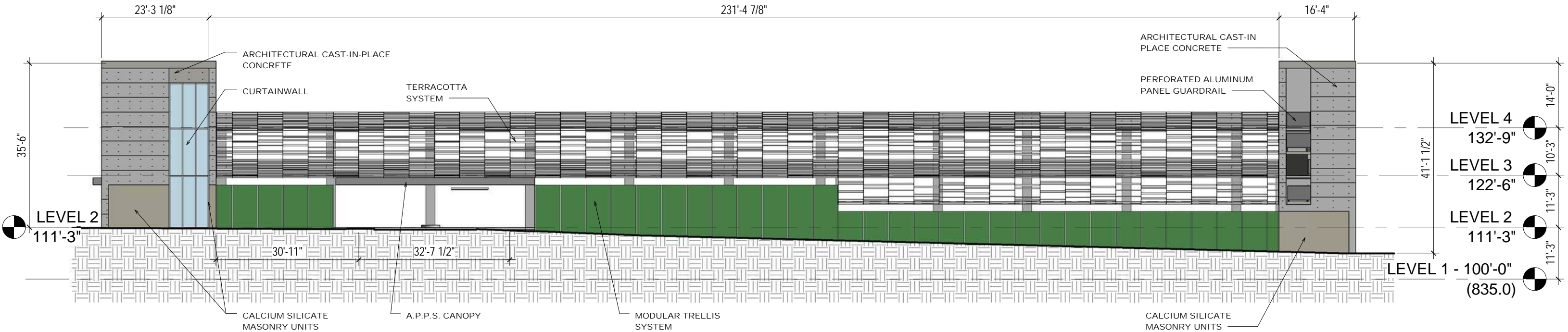
EAST ELEVATION

1" = 20'-0"

FOR 24X36 PRINTS - DOUBLE SCALE

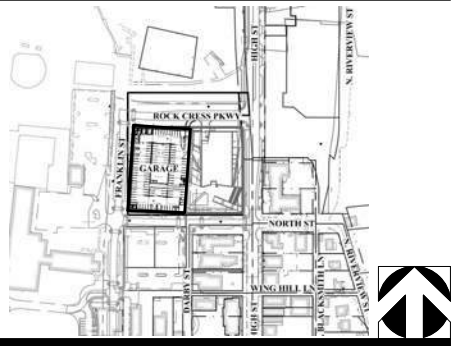
STREET FACADE TRANSPARENCY				
	1st Story	2nd Story	3rd Story	4th Story
Story Area:	NA	Story Area: 3,049 sf	Story Area: 3,049 sf	Story Area: 1,393 sf
Transparency:	NA	Transparency: 1,945 sf	Transparency: 1,296 sf	Transparency: 146 sf
Required:	65%	Required: NA	Required: NA	Required: NA
Provided:	NA	Provided: 64%	Provided: 43%	Provided: 11%

VERTICAL FACADE DIVISIONS
(30' OR LESS REQUIRED)



FACADE MATERIALS					
Overall Area of West Elevation: 7,841 sf					
Area of Doors and Openings: -2,765 sf					
Net Area of Elevation: 5,076 sf					
Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Calcium Silicate Masonry Units (CSMU)	Primary	284 sf	6%		
Terracotta	Primary	1,548 sf	31%		
Glass	Primary	278 sf	5%		
Modular Trellis System and Planting	Primary	1,784 sf	35%		
		3,894 sf	77%	80%	N
Architectural Cast-In-Place Concrete	Secondary	1,083 sf	21%		
Misc. Elements (Alum. Plate, Perf. Panel)	Secondary	99 sf	2%		
		1,182 sf	23%	<20%	N

KEY PLAN



1

WEST ELEVATION

1" = 20'-0"

FOR 24X36 PRINTS - DOUBLE SCALE

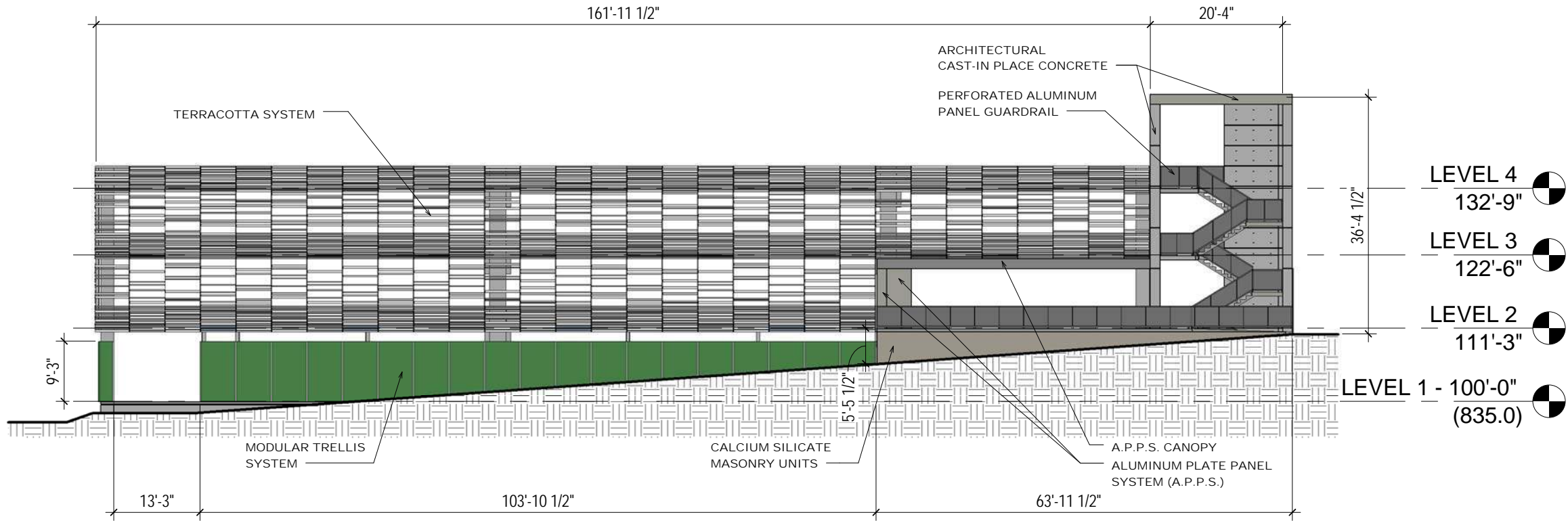


1" = 20'- 0"



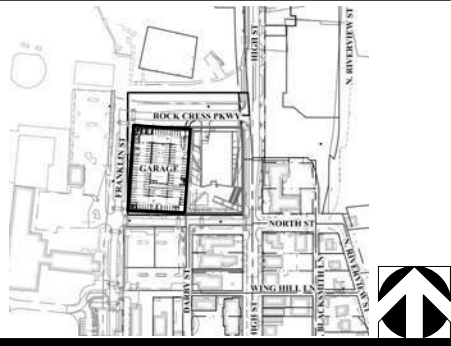
STREET FACADE TRANSPARENCY				
	1st Story	2nd Story	3rd Story	4th Story
Story Area:	988 sf	Story Area: 2,072 sf	Story Area: 2,072 sf	Story Area: 882 sf
Transparency:	197 sf	Transparency: 1,083 sf	Transparency: 1,012 sf	Transparency: 245 sf
Required:	65%	Required: NA	Required: NA	Required: NA
Provided:	20%	Provided: 52%	Provided: 49%	Provided: 28%

VERTICAL FACADE DIVISIONS
(30' OR LESS REQUIRED)



FACADE MATERIALS					
Overall Area of North Elevation: 6,148 sf					
Area of Doors and Openings: -2,750 sf					
Net Area of Elevation: 3,398 sf					
Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Calcium Silicate Masonry Units (CSMU)	Primary	134 sf	4%		
Terracotta	Primary	1,486 sf	44%		
Glass	Primary	0 sf	0%		
Modular Trellis System and Planting	Primary	721 sf	21%		
		2,341 sf	69%	80%	Y
Architectural Cast-In-Place Concrete	Secondary	857 sf	25%		
Misc. Elements (Alum. Plate, Perf. Panel)	Secondary	200 sf	6%		
		1,100 sf	31%	<20%	Y

KEY PLAN



1

NORTH ELEVATION

1" = 20'-0"

FOR 24X36 PRINTS - DOUBLE SCALE



1" = 20'-0"



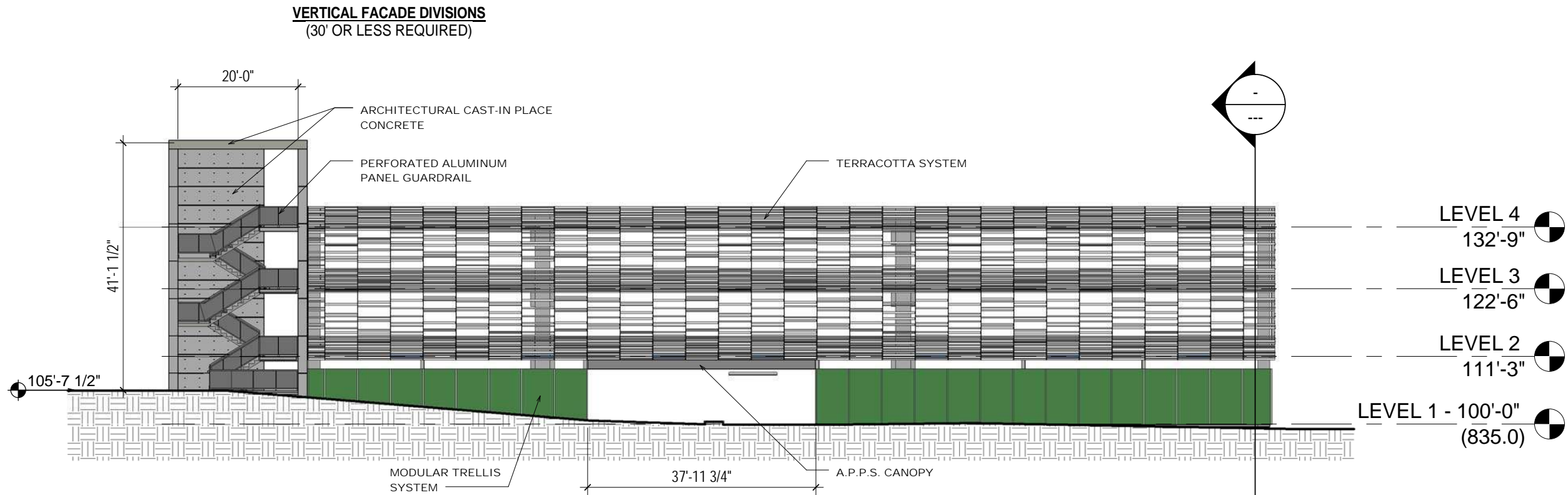
MOODY•NOLAN
RESPONSIVE ARCHITECTURE

08-23-2017

P303

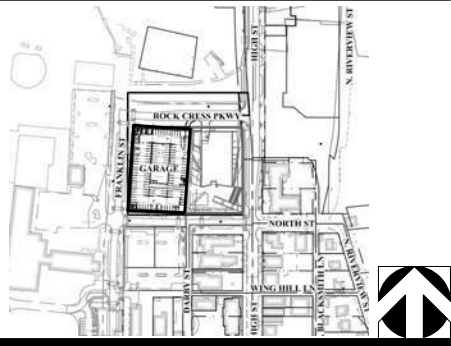
NORTH
ELEVATION

STREET FACADE TRANSPARENCY			
1st Story	2nd Story	3rd Story	4th Story
Story Area: 1,445 sf	Story Area: 2,076 sf	Story Area: 2,076 sf	Story Area: 889 sf
Transparency: 477 sf	Transparency: 1,141 sf	Transparency: 1,141 sf	Transparency: 260 sf
Required: 65%	Required: NA	Required: NA	Required: NA
Provided: 31%	Provided: 55%	Provided: 55%	Provided: 29%



FACADE MATERIALS					
Overall Area of South Elevation: 6,660 sf					
Area of Doors and Openings: -2,602 sf					
Net Area of Elevation: 4,058 sf					
Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Calcium Silicate Masonry Units (CSMU)	Primary	0 sf	0%		
Terracotta	Primary	1,641 sf	40%		
Glass	Primary	0 sf	0%		
Modular Trellis System and Planting	Primary	1,070 sf	26%		
		2,711 sf	66%	80%	N
Architectural Cast-In-Place Concrete	Secondary	1,082 sf	27%		
Misc. Elements (Alum. Plate, Perf. Panel)	Secondary	265 sf	7%		
		1,347 sf	34%	<20%	N

KEY PLAN



1

SOUTH ELEVATION

1" = 20'-0"

FOR 24X36 PRINTS - DOUBLE SCALE





VIEW FROM SOUTHEAST - NORTH STREET



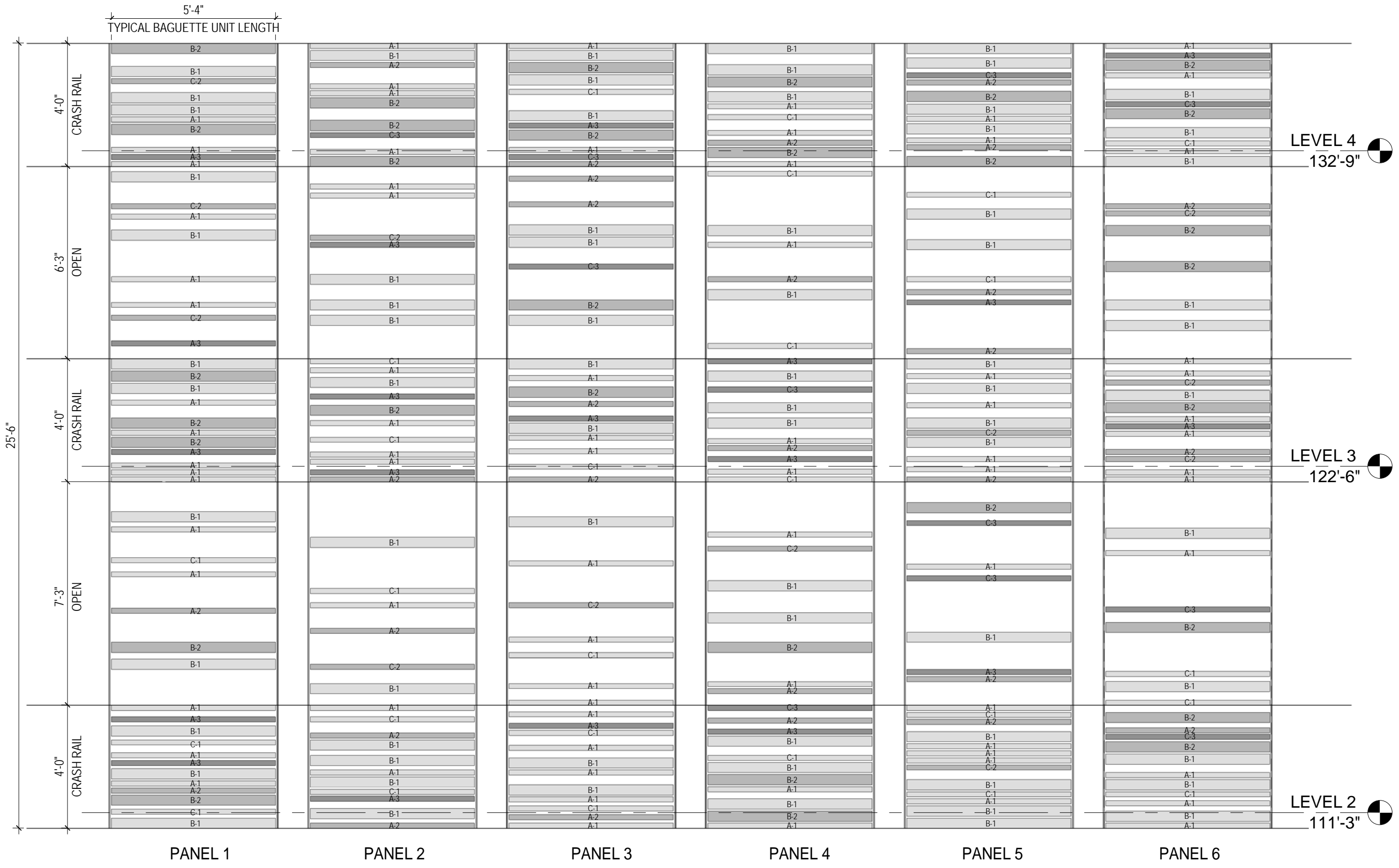
VIEW FROM SOUTHEAST - NORTH STREET
(WITH TREES)



VIEW FROM NORTHWEST - FRANKLIN / ROCK CRESS



VIEW FROM NORTHWEST - FRANKLIN / ROCK CRESS
(WITH TREES)



1

TERRACOTTA PANELS - FULL SIZE

N.T.S.

COLOR KEY:

-1:

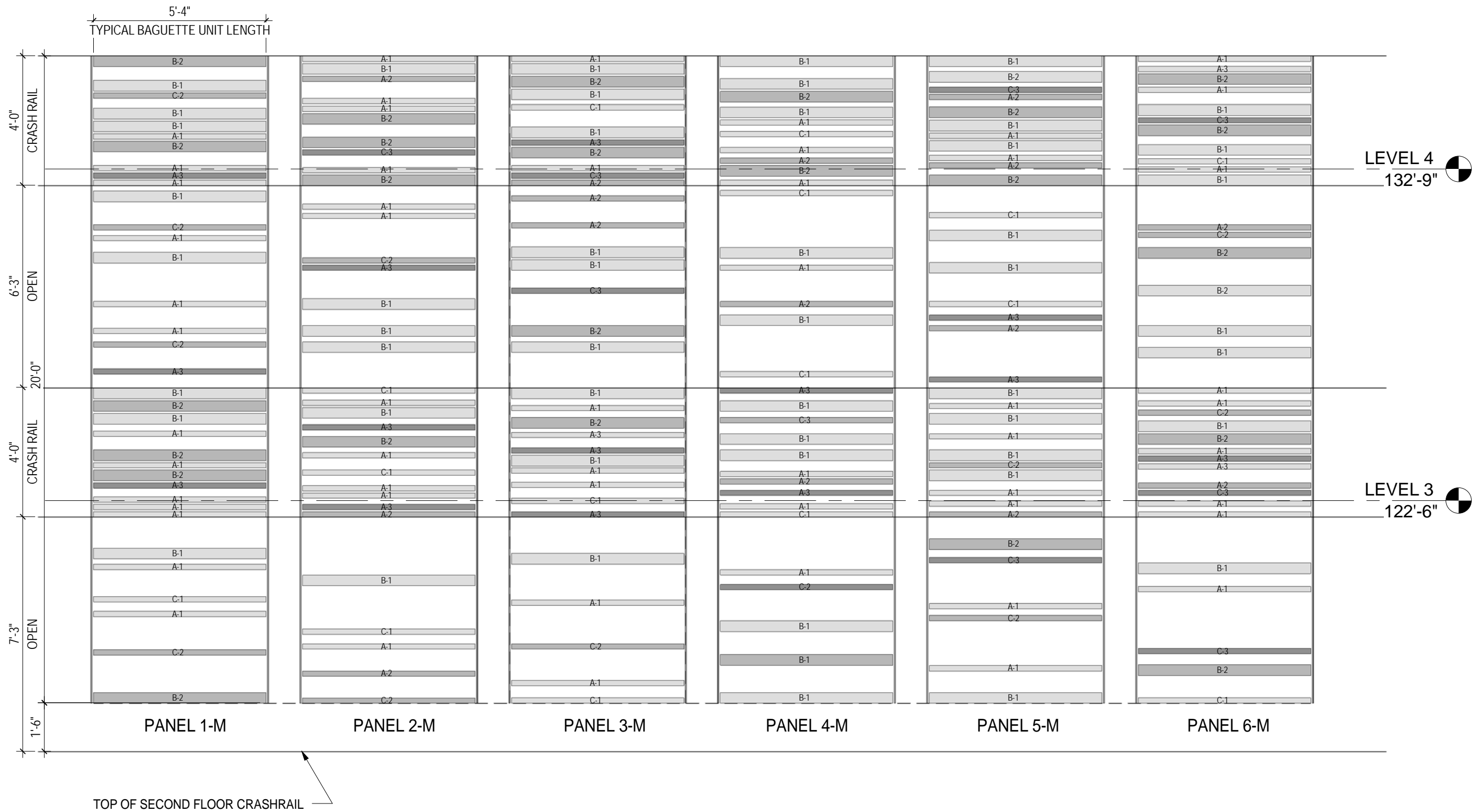
BENJAMIN MOORE 2112-70 AMERICAN WHITE

-2:

BENJAMIN MOORE 2112-60 CEMENT GRAY

-3:

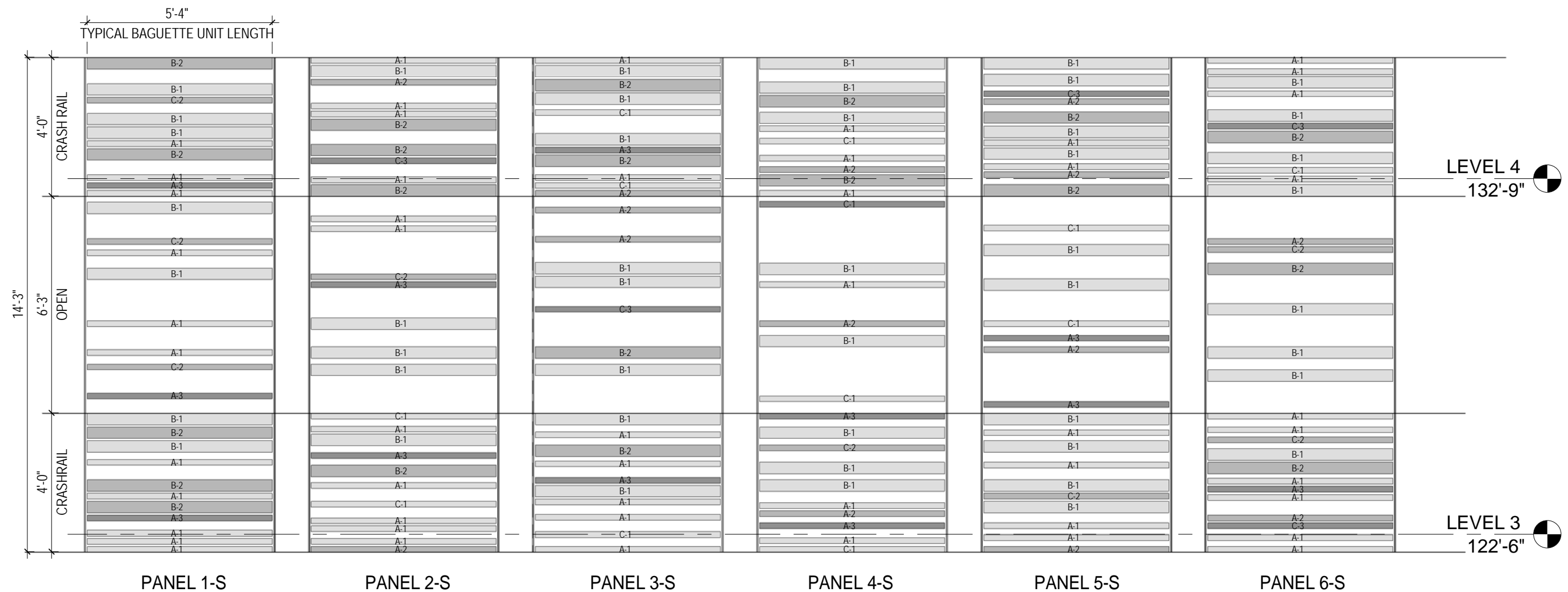
BENJAMIN MOORE 2112-50 STORMY MONDAY



1 TERRACOTTA PANELS - M

N.T.S.

COLOR KEY:
 _1: BENJAMIN MOORE 2112-70 AMERICAN WHITE
 _2: BENJAMIN MOORE 2112-60 CEMENT GRAY
 _3: BENJAMIN MOORE 2112-50 STORMY MONDAY



1

TERRACOTTA PANELS - S

N.T.S.

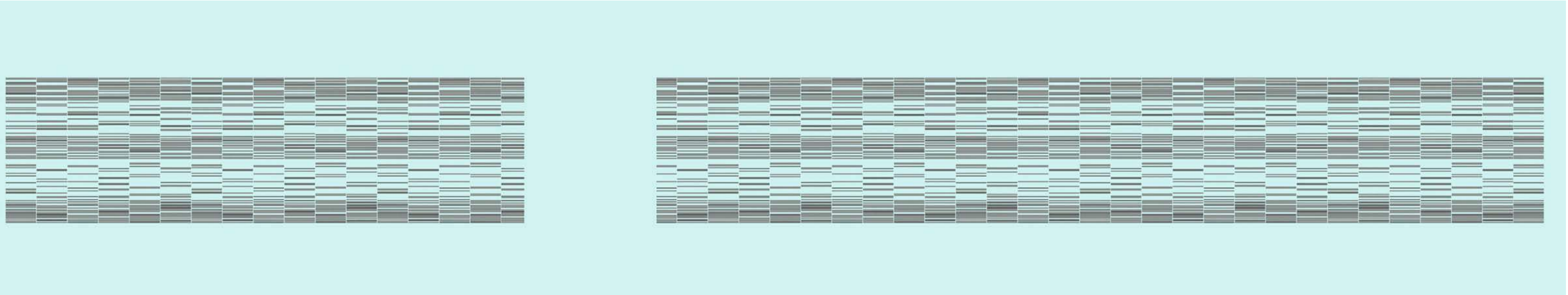
COLOR KEY:
 _1: BENJAMIN MOORE 2112-70 AMERICAN WHITE
 _2: BENJAMIN MOORE 2112-60 CEMENT GRAY
 _3: BENJAMIN MOORE 2112-50 STORMY MONDAY

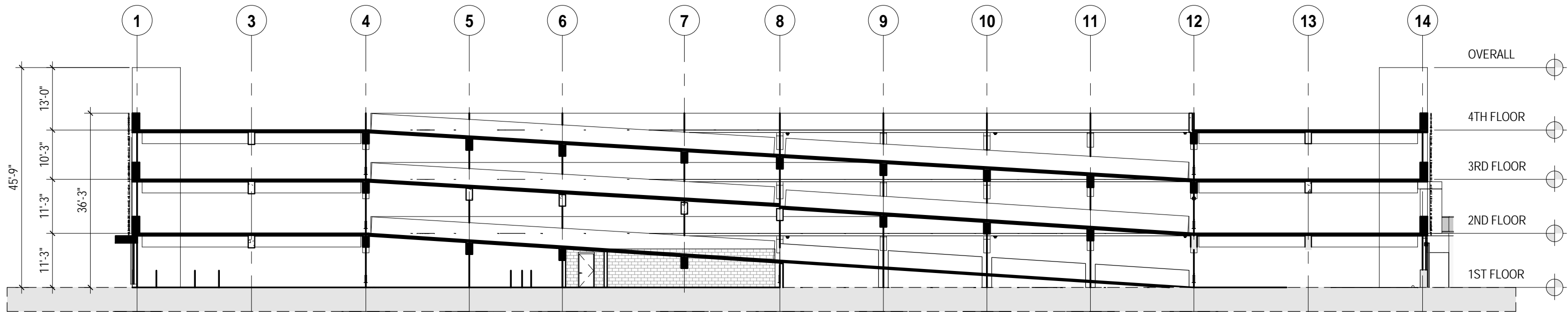
08-23-2017

P311

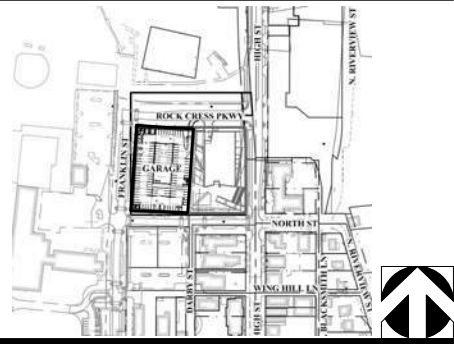
MOODY•NOLAN
 RESPONSIVE ARCHITECTURE

TERRACOTTA
 PANELS
 ELEVATIONS





KEY PLAN



1

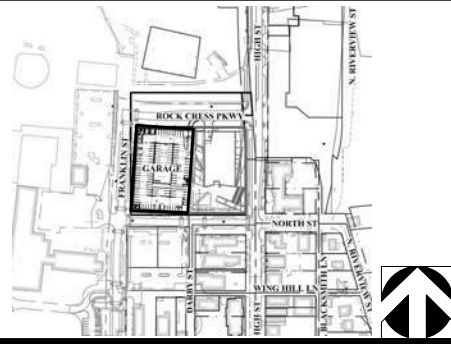
NORTH SOUTH BUILDING SECTION

1" = 20'-0"

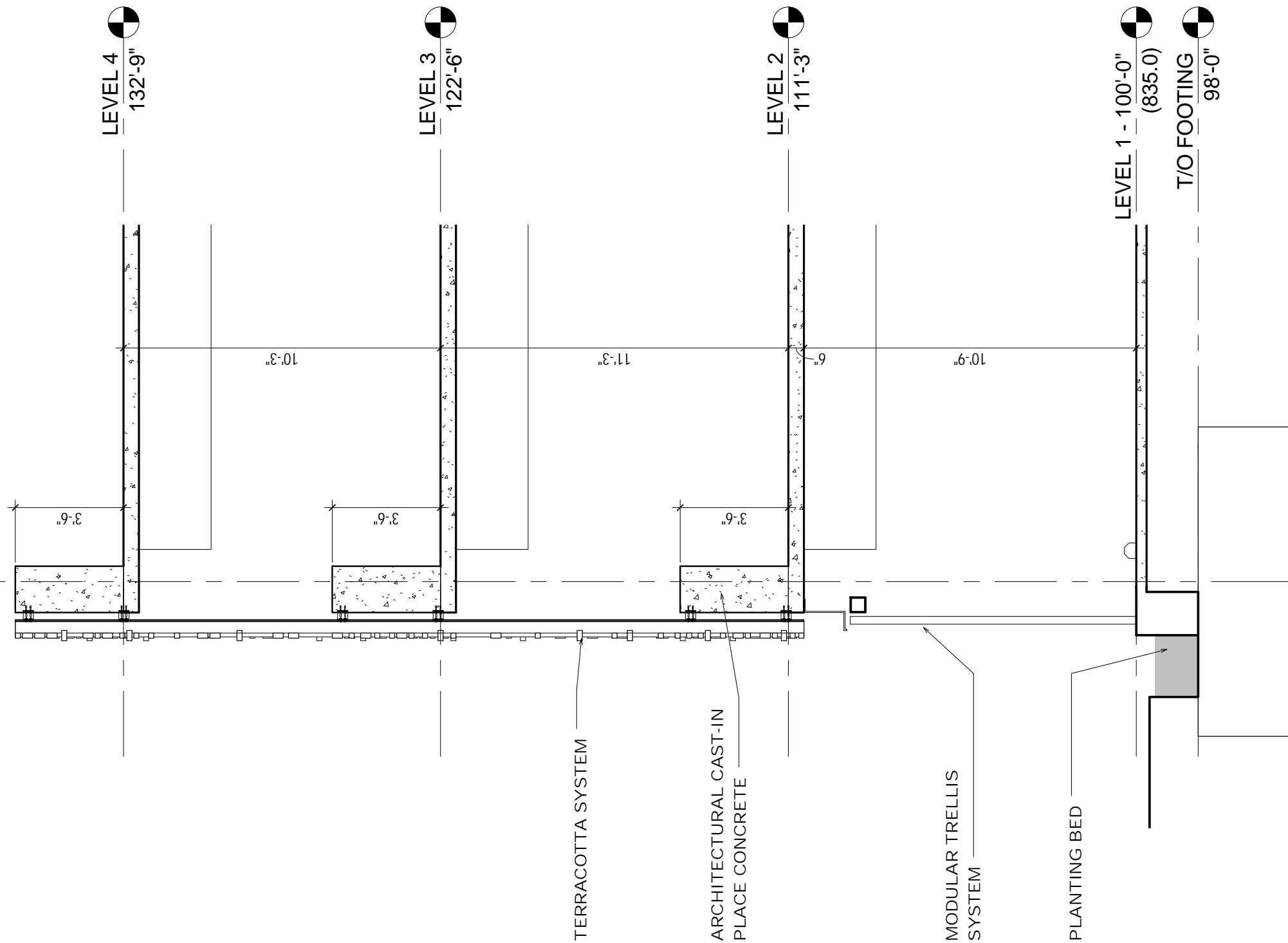
FOR 24X36 PRINTS - DOUBLE SCALE



KEY PLAN



1



FOR 24X36 PRINTS - DOUBLE SCALE



1

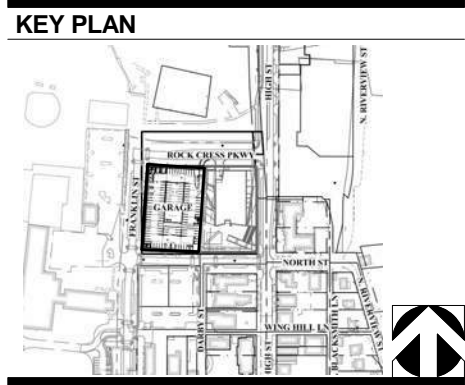
WALL SECTION - TYP.

1/4" = 1'-0"

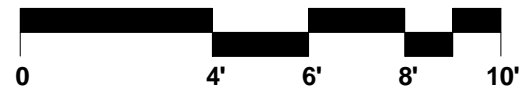
08-23-2017

P501

WALL SECTION

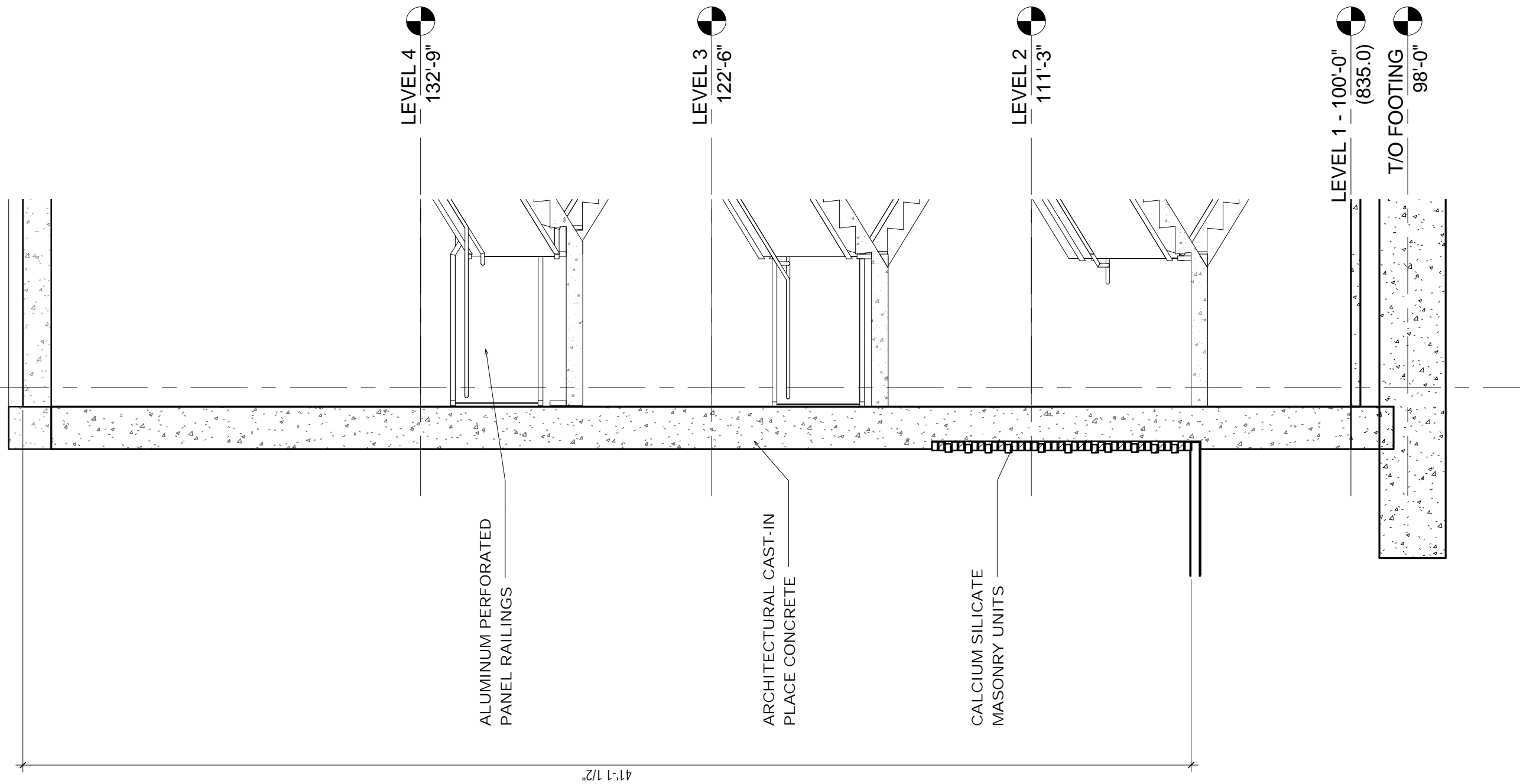


FOR 24X36 PRINTS - DOUBLE SCALE



08-23-2017

D

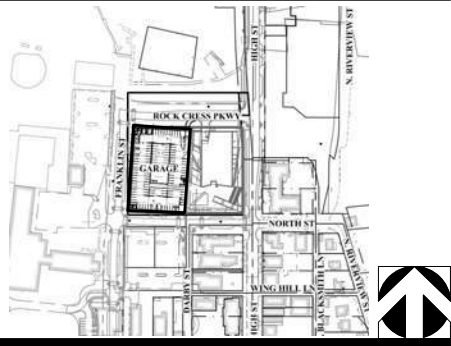


1 WALL SECTION @ STAIR TOWER

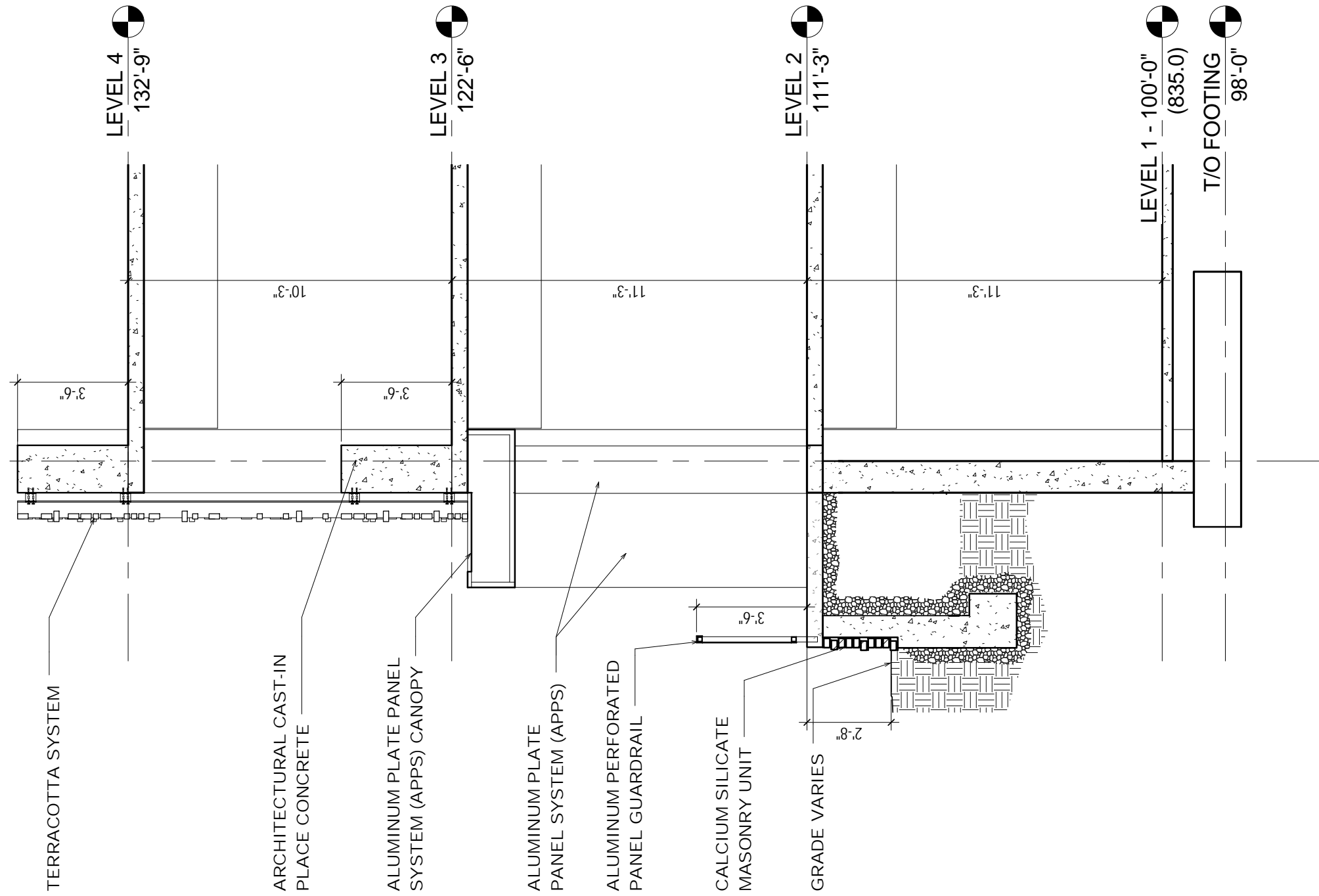
1/4" = 1'-0"

1

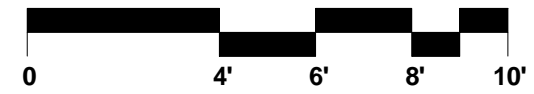
KEY PLAN



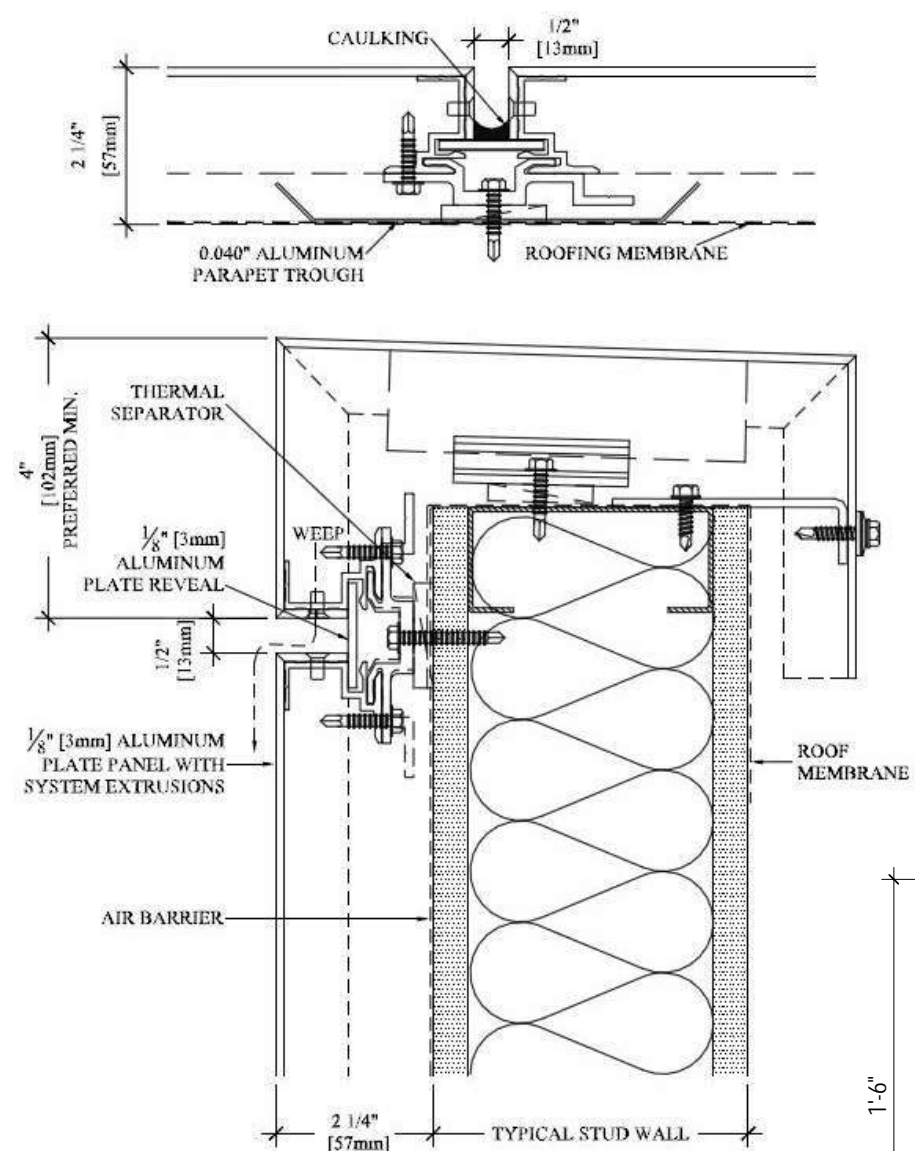
14



FOR 24X36 PRINTS - DOUBLE SCALE



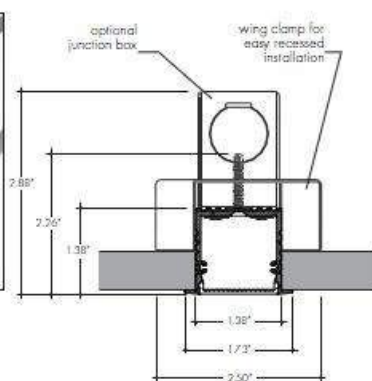
08-23-2017



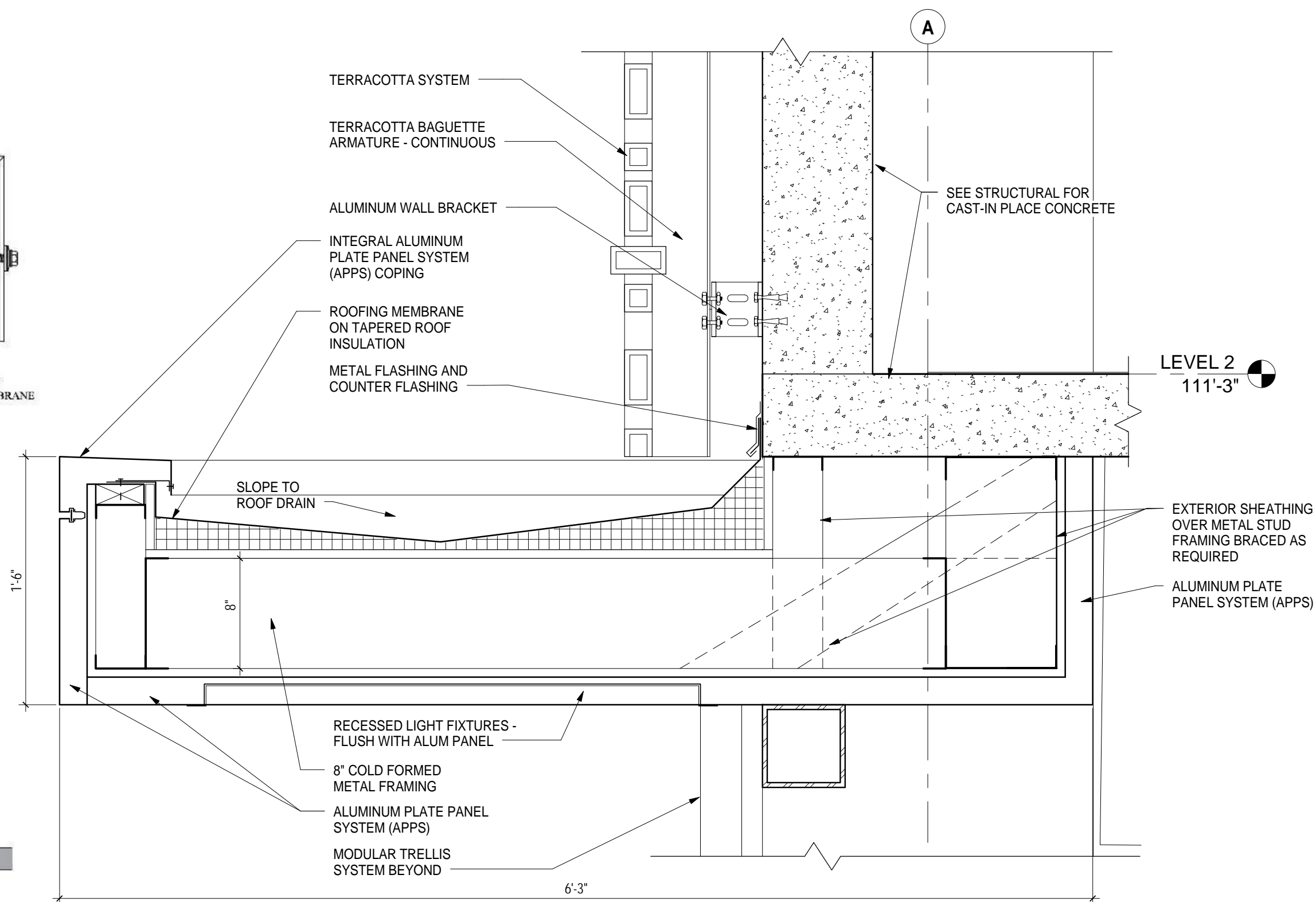
CAP DETAIL



The Kilo Recessed light fixture features two rows of LED strips.



CANOPY LIGHT FIXTURE

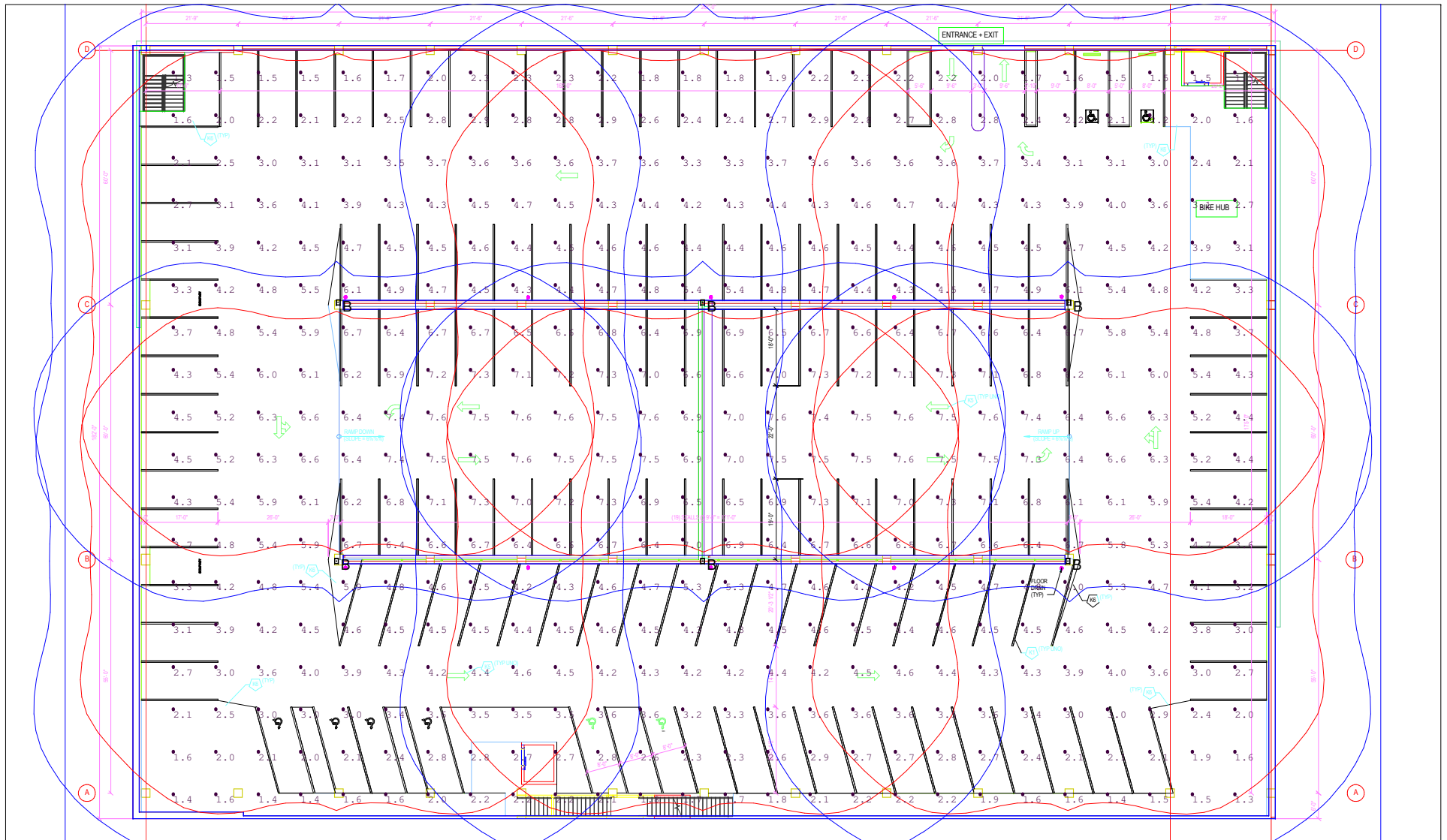


1

DETAIL @ CANOPY - EAST ENTRY TYP.

1 1/2" = 1'-0"

REF: 2/ A501



Luminaire Schedule

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
□	6	B	SINGLE	N.A.	0.950	Lithonia DSX2 LED 100C 1200 40K T5W MVOLT

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Level 2	Illuminance	Fc	4.43	7.6	1.3	3.41	5.85

NOTES:

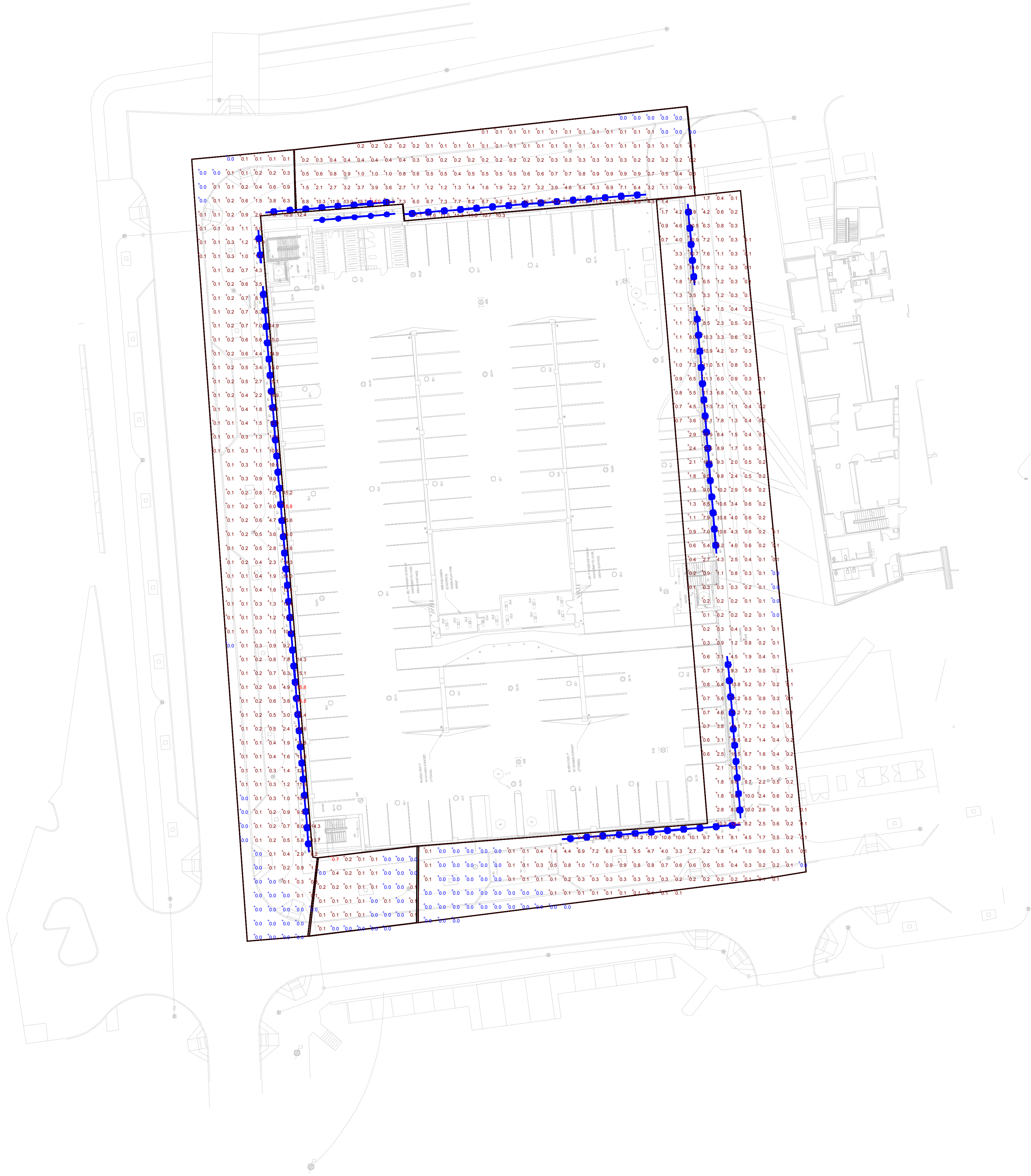
1. Cal grid 0'AFF
2. Fixture mounted 20'AFF



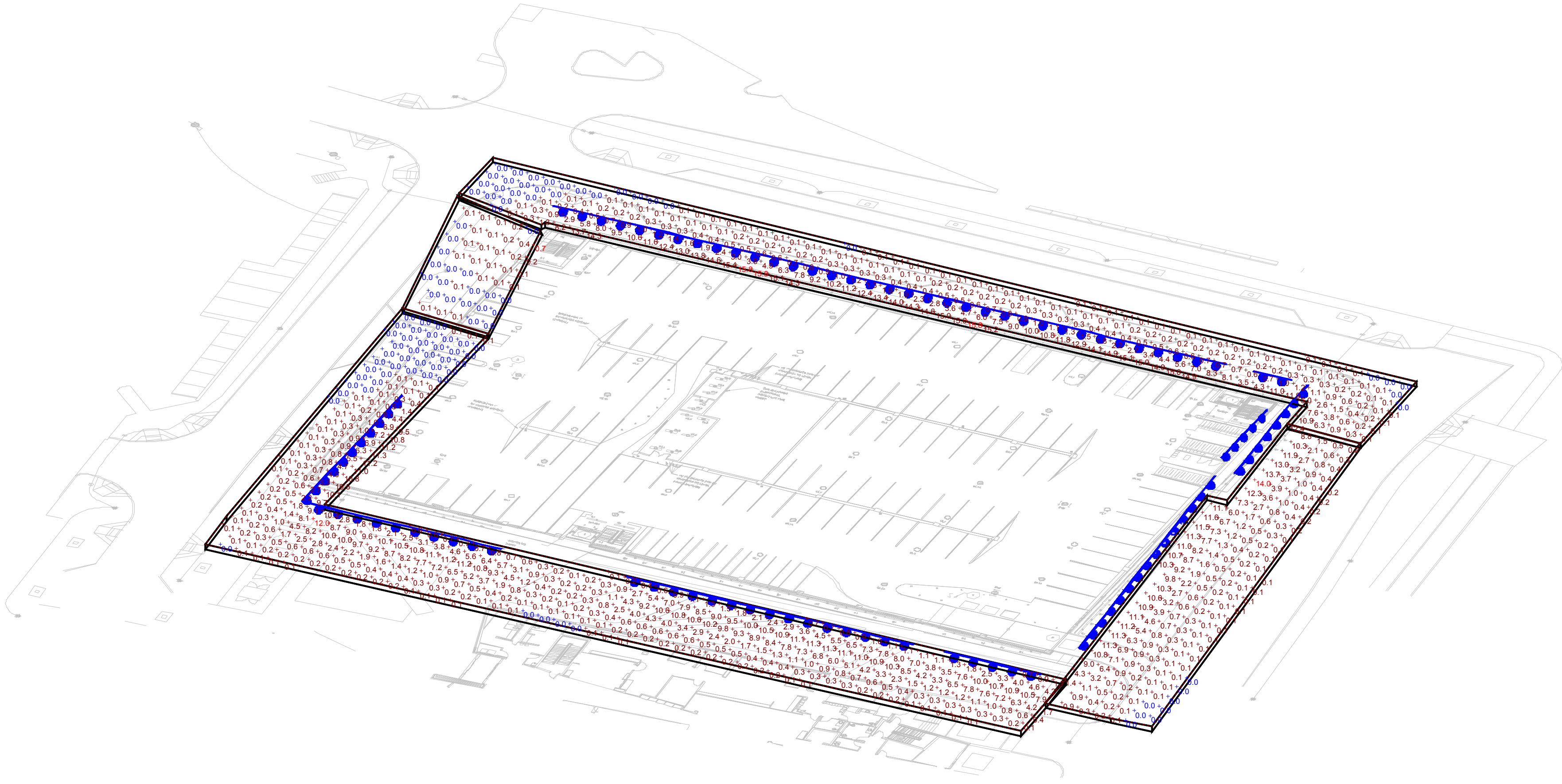
8877 Whitney Drive
Lewis Center, Ohio 43035
614-876-6722
www.lightingsystemscol.com

LSC Contact: Shannon Fry
Prepared by: Stacey Popp
Date: 1/13/2017

Dublin Parking Garage

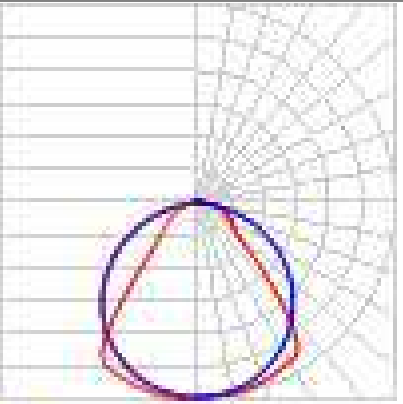
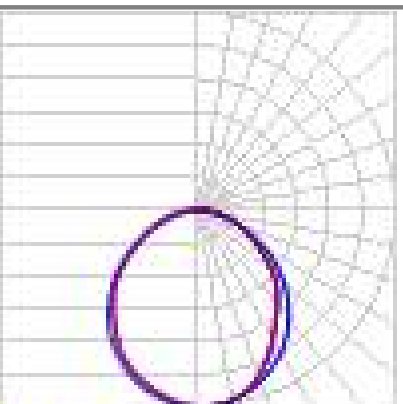


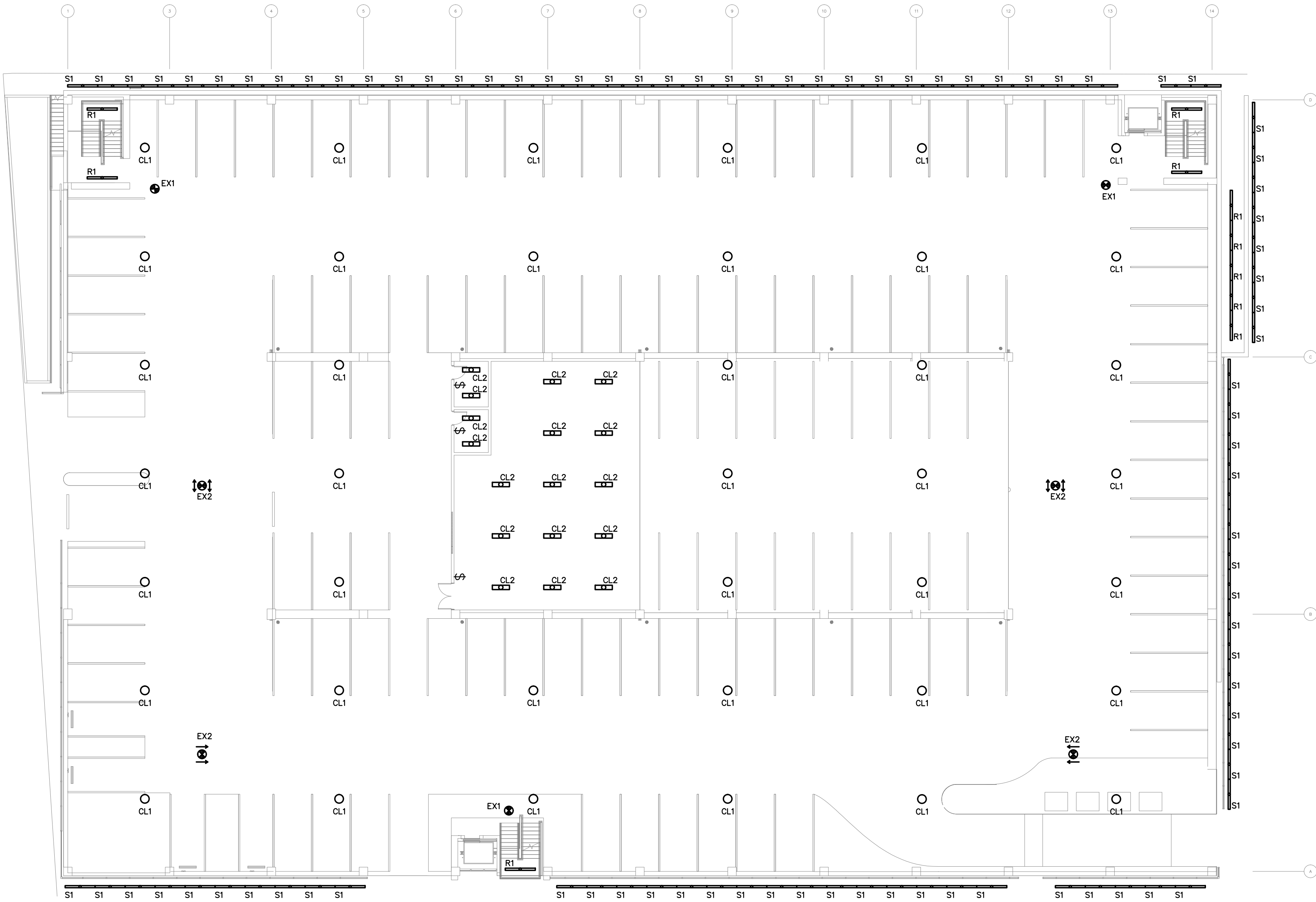
Plan View



North East View

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.7 fc	14.0 fc	0.0 fc	N/A	N/A
Calc Zone #1	+	0.1 fc	0.7 fc	0.0 fc	N/A	N/A
Calc Zone #5	+	2.6 fc	12.0 fc	0.0 fc	N/A	N/A
Calc Zone #6	+	2.7 fc	15.8 fc	0.0 fc	N/A	N/A

Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Polar Plot
I	A	101	KMW-48-41K-VHO-H-C-SA	KMW-48-41K-VHO-H-C-SA	KMW-48-41K-VHO-H-C-SA	1	1161	0.95	23.9	 Max: 447cd
I	B	5	KRL-48-29K-H-HF-F-SA-WE4	KRL-48-29K-H-HF-F-SA-WE4	KRL-48-29K-H-HF-F-SA-WE4	144	10	0.95	25	 Max: 518cd



FIXTURE SCHEDULE

NOTE : FIXTURE NUMBER, LETTER PREFIX INDICATES TYPE OF MOUNTING AS FOLLOWS:
CL--CEILING MOUNTED; S--STEM SUSPENDED; W--WALL MOUNTED; R--CEILING RECESSED;
WR--WALL RECESSED; CY--COVE MOUNTED; UC--UNDER CABINET; RF--ROOF MOUNTED;
P--POST; GR--GROUND; H--MOUNTED IN HOOD; C--CHAIN MOUNTED.

FIXTURE NUMBER	DESCRIPTION	MANUFACTURER (EQUALS)	CATALOG NUMBER	LAMPS: SEE CATALOG NUMBER	REMARKS
R1	LED RECESSED STRIP	LUMINI	KP-12-41-HO-F-XX-LE-RE-JB1	9.8 W/FT 498 LUM/FT	
S1	LED SURFACE STRIP	LUMINI	KMWG-12-40-VH0-11-A-XX	9.8 W/FT 498 LUM/FT	
CL1	ROUND 7000 LUMEN LED GARAGE FIXTURE	MCGRAW EDISON	TT-A4-LED-E1-WQ-AP	77 W LED	PROVIDE COMPATIBLE 0-10V DIMMER SWITCH WHERE SHOWN ON DRAWINGS
CL2	4' POLYCARBONATE HIGH ABUSE LUMINAIRE	FAIL SAFE (LSI)	HVL8-224-UNV-EB52-S	LED	
CL2A	4' POLYCARBONATE HIGH ABUSE LUMINAIRE W/ EM BATTERY	FAIL SAFE (LSI)	HVL8-224-UNV-EB52-D-EL5	LED	EMERGENCY BATTERIES SHALL BE RATED FOR COLD WEATHER
EX1	LED EXIT SIGN, SINGLE FACE WITH BATTERY BACK-UP	SURE LITE PHILLIPS	UX6-D SERIES ER60MLD SERIES	LED W/FIXTURE	REFER TO DRAWINGS FOR DIRECTIONAL ARROWS, WALL MOUNT ABOVE DOOR / CEILING MOUNT
EX2	LED EXIT SIGN, DOUBLE FACE WITH BATTERY BACK-UP	SURE LITE PHILLIPS	UX6-D SERIES ER60MLD SERIES	LED W/FIXTURE	REFER TO DRAWINGS FOR DIRECTIONAL ARROWS, WALL MOUNT ABOVE DOOR / CEILING MOUNT
PL1	POLE MOUNTED LTG. (SINGLE UNIT)	LITHONIA	DSK2LED SINGLE HEAD	280W 27000 LUMEN LED - 40K	POLE MOUNT PER MANUFACTURE SPECIFICATIONS
	POLE 18'-0" - SQUARE STRAIGHT STEEL	LITHONIA	SSS-25-50-7	-	REFER TO DETAIL ON SITE PLAN

16165-E1.DWG

PRATER
Engineering Associates, Inc.

6130 Wilcox Road
Dublin, Ohio 43016

(614) 766 4896
FAX: (614) 766 2354

DESIGNED BY T	DRAWN BY T	CHECKED BY T	JOB NUM. 16165
------------------	---------------	-----------------	-------------------

#	Date	Change Description

SCHEDULE 40 PVC CONDUITS
REFER TO PLANS AND
QUANTITIES AND SIZE

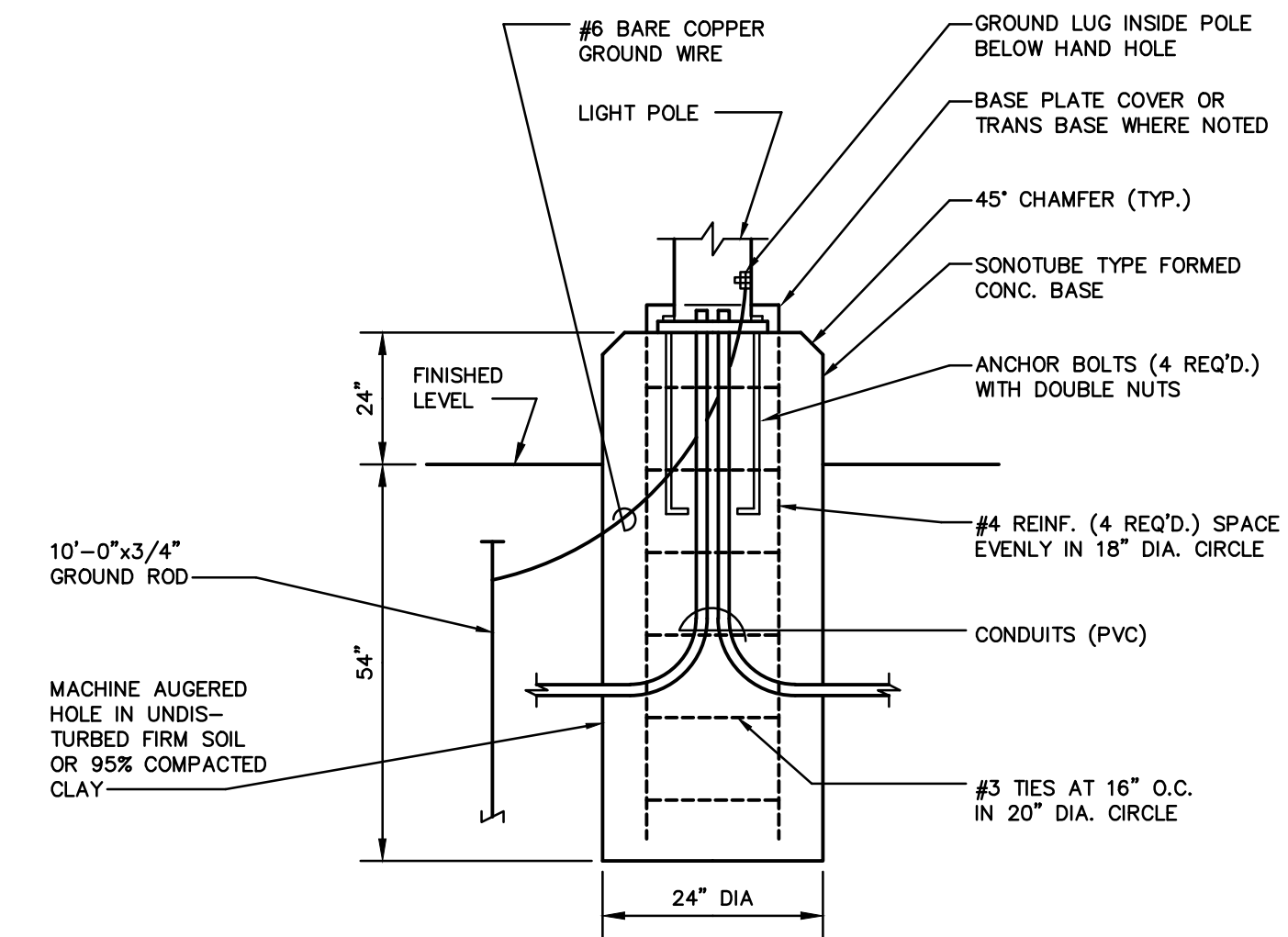
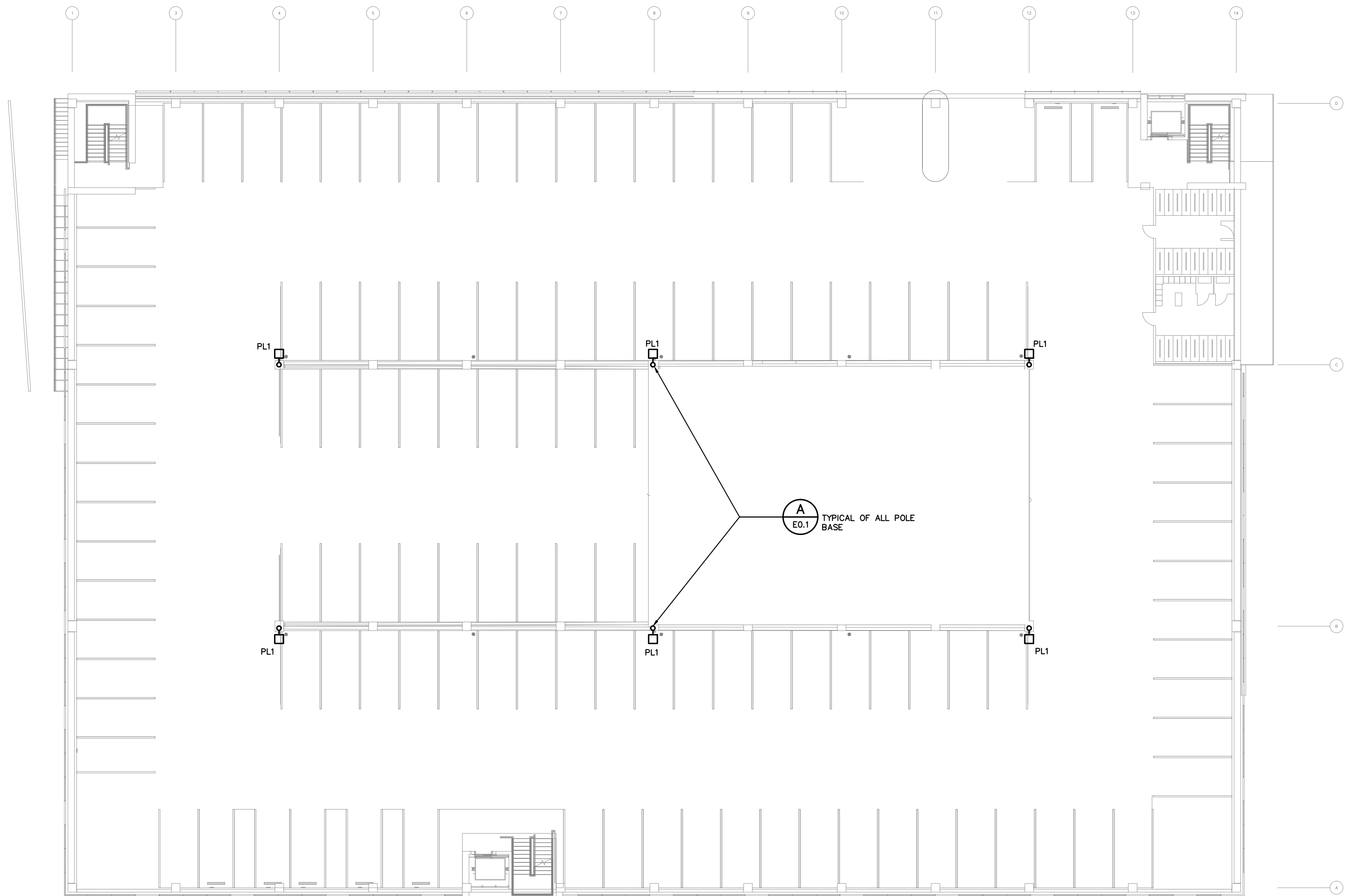
MOODY•NOLAN, INC.
architecture • civil engineering • interior architecture
300 Spruce Street
Suite 300
Columbus, Ohio 43215
Phone: (614) 461-4664
Fax: (614) 280-8861
www.moodynolan.com

Dwg. Coord. GB Tech. Coord. CR M/N # 15035

**FIRST FLOOR
LIGHTING PLAN**

E1

3-3-2015



LIGHT POLE BASE DETAIL A
SCALE: NONE

#	Date	Change Description

DETECTABLE UNDERGROUND

SCHEDULE 40 PVC CONDUITS
REFER TO PLANS AND
QUANTITIES AND SIZE

MOODY-NOLAN, INC.
architecture • civil engineering • interior architecture
300 Spruce Street Phone: (614) 461-4664
Suite 300 Fax: (614) 280-8881
Columbus, Ohio 43215 www.moodynolan.com

Dwg. Coord. GB Tech. Coord. CR M/N # 15035

**FIRST FLOOR
LIGHTING PLAN**

E1

3-3-2015

16165-E1.DWG

PRATER
Engineering Associates, Inc.

6130 Wilcox Road (614) 766 4896
Dublin, Ohio 43016 FAX: (614) 766 2354

DESIGNED BY T	DRAWN BY T	CHECKED BY T	JOB NUM. 16165
------------------	---------------	-----------------	-------------------

DESCRIPTION

The TopTier™ parking garage, canopy and low-bay luminaire is an innovative solution that delivers an unparalleled combination of performance and visual comfort. The patented WaveStream™ optical technology blocks the line of sight from the LED light sources to the observer, while extracting the maximum amount of light on task. This approach results in a high level of uniformity and vertical footcandles that enhances safety in the application environment. The TopTier luminaire is UL/cUL listed for wet locations, IP66 and 3G vibration rated.

Catalog #		Type
Project		CL1
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

One-piece, low copper die-cast aluminum housing provides a clean and symmetric housing. Formed aluminum top is sloped to prevent bird nesting. Metal electrical tray allows for easy electrical access for field servicing.

Optics

Unique optical distributions are accomplished using various combinations of reflective backing plates and WaveStream optical technology. The optical Waveguide is manufactured using precision injection molded acrylic. The optics contain features that form a repeatable and redundant pattern to direct light in a precisely prescribed distribution. The drive lane distribution is specifically designed for locations with one direction of travel to optimally direct light in the same direction of travel for maximum glare control. For additional glare control and visual comfort with the Wide distribution, specify the SG option which adds a Solite® glass lens that works in combination with the Waveguide lens and reflective backing plate.

Offered standard in 4000K (+/- 275K) CCT, optional 3000K, 5000K and 6000K. Minimum 70 CRI. Optional uplight feature provides a dedicated light engine (17W) to maintain consistent output across fixtures and reduces cave effect. Nominal uplight output is 800 lumens and ranges from 10%-30% total light output depending on the lumen package.

Electrical

LED driver(s) are mounted to metal electrical tray for optimal thermal performance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming driver(s), specify 5LTD for Fifth Light DALI driver(s). Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. Greater than 90% lumen maintenance expected at 60,000 hours, based off LM-80 test data and TM-21. Suitable for ambient temperature applications from -40°C (-40°F) to 40°C (104°F). For 50°C (122°F) applications, specify the HA high ambient option. IP66 rated against the ingress of dust and water.

Mounting

Standard fixture mounts to a square or octagonal 4" surface or recessed j-box via heavy-gauge quick mount bracket. Optional mounting methods include trunnion mount and wall mount. With the addition of a field supplied wet location j-box, the luminaire can be pendant mounted using the factory supplied decorative pendant mount kit or a suitable field supplied pendant.

Finish

Housing finished in white super durable TGIC polyester powder coat paint with 2.5 mil nominal thickness for superior protection against fade and wear. Optional colors include black, bronze, grey, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty

Five-year warranty.



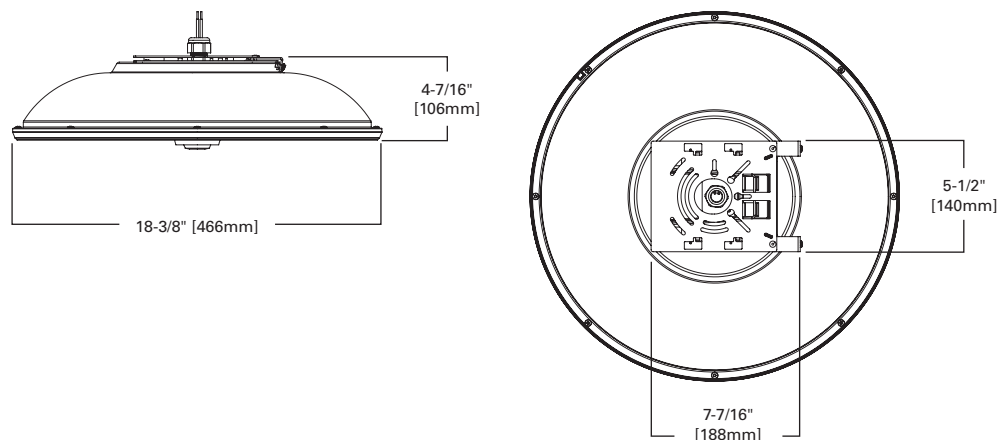
TT TOPTIER LED

Solid State LED

PARKING GARAGE/
CANOPY/
LOW-BAY LUMINAIRE

DIMENSIONS

SURFACE OR PENDANT MOUNT



powered by
fifthlight
technology



CERTIFICATION DATA

UL/cUL Wet Location Listed
3G Vibration Rated
LM79 / LM80 Compliant
IP66 Rated
ISO 9001
DesignLights Consortium™ Qualified*

ENERGY DATA

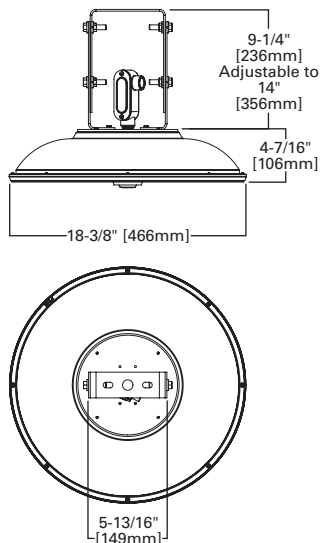
Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz,
480V/60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)

SHIPPING DATA

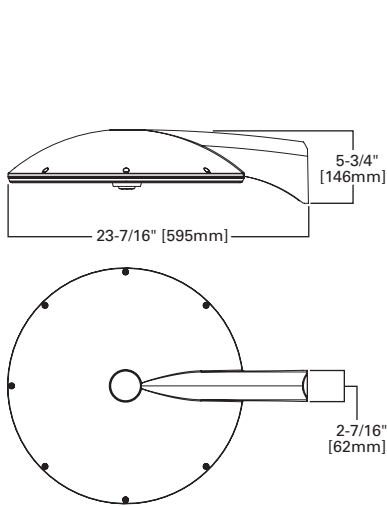
Approximate Net Weight:
16 lbs. (7.2 kgs.)

ADDITIONAL MOUNTING OPTIONS

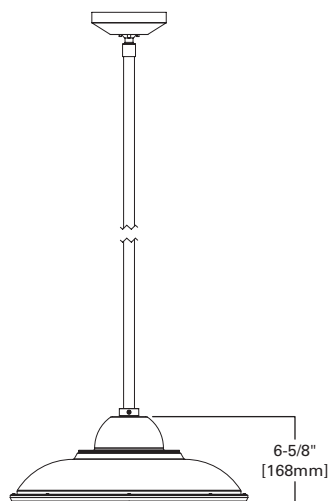
TRUNNION MOUNT



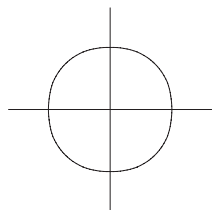
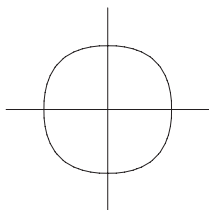
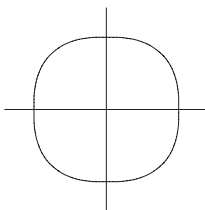
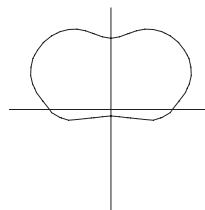
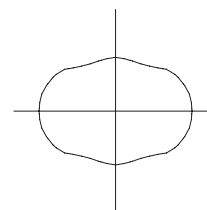
WALL MOUNT



DECORATIVE PENDANT MOUNT



OPTICAL DISTRIBUTIONS

CQ
(Concentrated)MQ
(Medium)WQ
(Wide)DL
(Drive Lane)RW
(Rectangular Wide)

LUMEN MAINTENANCE

Ambient Temperature	Lumen Maintenance				
	25,000 Hours	50,000 Hours	60,000 Hours TM-21 Rating	100,000 Hours	Theoretical L70 (Hours) Per TM-21 Data
C1 Lumen Package					
25°C	> 96%	> 95%	> 95%	> 93%	> 500,000
40°C	> 96%	> 94%	> 94%	> 93%	> 500,000
50°C	> 95%	> 94%	> 93%	> 93%	> 400,000
C2 Lumen Package					
25°C	> 96%	> 95%	> 95%	> 93%	> 500,000
40°C	> 95%	> 94%	> 93%	> 91%	> 500,000
50°C	> 95%	> 93%	> 92%	> 90%	> 400,000
C3 Lumen Package					
25°C	> 96%	> 93%	> 93%	> 89%	> 300,000
40°C	> 95%	> 91%	> 90%	> 85%	> 240,000
50°C	> 95%	> 90%	> 89%	> 83%	> 200,000
C4 Lumen Package					
25°C	> 96%	> 95%	> 95%	> 93%	> 500,000
40°C	> 95%	> 92%	> 92%	> 88%	> 300,000
50°C	> 94%	> 91%	> 90%	> 85%	> 250,000
C5 Lumen Package					
25°C	> 96%	> 93%	> 92%	> 88%	> 300,000
40°C	> 94%	> 90%	> 89%	> 83%	> 200,000
C6 Lumen Package					
25°C	> 95%	> 92%	> 90%	> 86%	> 250,000
40°C	> 95%	> 92%	> 91%	> 86%	> 250,000

FAIL-SAFE®

DESCRIPTION

The Fail-Safe Harmony VR provides exceptional aesthetics with remarkable strength. A wide variety of lamp options and connection configurations offer unmatched versatility for a wide range of applications. Die-Cast end caps, heavy extruded aluminum body provides strength and rigidity for complex environments while an extruded linear ribbed polycarbonate lens obscures the lamp image and spreads light evenly. The Harmony VR Linear is ideal for areas where the need for aesthetics and protection from vandalism are critical. Perfect for schools, hospitals, corridors, dormitories, public restrooms, common areas, and transit stations.

Catalog #	HVL8 224T5-UNV-X-EB52-S	Type	CL2
Project		Date	
Comments			
Prepared by			

SPECIFICATION FEATURES

Housing

Heavy duty extruded aluminum rails and die-cast end caps provide rigid construction. Smooth end caps provided with internal 7/8" knockouts. Finished in white standard. Optional architectural colors available.

Fasteners

Stainless steel TORX® with center reject pin and allen head set screws provided. Screw heads are side mounted and concealed under lens.

Lens

One piece extruded UV stabilized polycarbonate. Unique linear ribbed design provides even light distribution while obscuring lamp image and direct glare. Internal ribs reduce dirt build-up and make cleaning easier. Nominal thickness 0.135".

Reflector

20 ga. CRS with white high reflectance polyester powder coat finish. Reflector serves as ballast and wireway cover.

Lamps

By others.

Socket

Pressure lock lampholders.

Ballast

Ballasts are CBM/ETL Class "P" and positively secured to housing.

Labels

UL/cUL listed for wet locations for covered ceiling surface mount. Damp location standard for all other mountings. IP64 optional.



HVL8

8" Individual

Harmony

T5

T8

Fluorescent

Vandal Resistant Linear

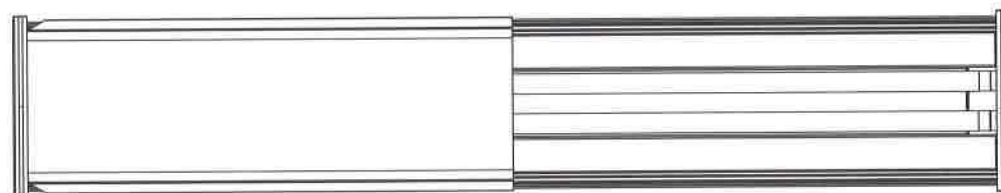
Polycarbonate

Clear Linear Ribbed or Smooth

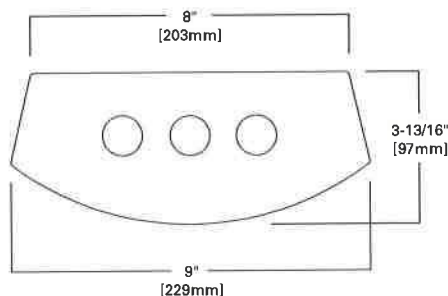
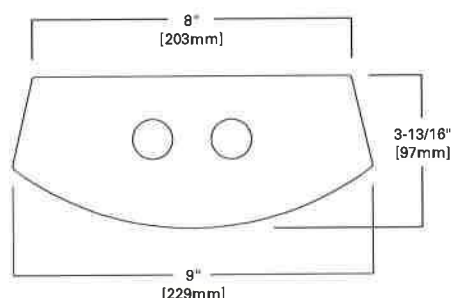
Opal

HARMONY™

Vandal Resistant



END DIMENSIONS



TORX® is a registered trademark of Camcar Division of Textron Inc.

ENERGY DATA

For Energy Management related technical data to support the performance of this fixture series, refer to the ordering information for input wattage.

Cooper Lighting
by **A.T.N.**

ADC050452
2014-03-20 13:41:30

codes and standards

- UL listed to standard 924.
- UL listed damp and wet location listed -40°F (-40°C) to 113°F (45°C)
- NFPA 101 (Life Safety Code)
- NFPA 70 (National Electric Code)
- BOCA, OSHA AND IBC illumination standards
- NEMA Premium certified
- Meets ADA specifications for wall mounted lighting fixtures
- IEC 61951-1 Life Testing (batteries)
- Certified to the California Energy Commission in accordance with CA law

construction

- Housing constructed of a combination of heavy-duty die cast aluminum and injection molded polycarbonate.
- A groove molded into each cover accepts a full perimeter silicon rubber gasket.
- Housing is powder coated in white, black, or gray.
- Single face units back cover is molded in color to match housing and front cover is clear.
- Universal models consist of two faces, backplate and canopy.
- The stencil is provided with field selectable chevrons and is contained inside the fully gasketed housing.
- All exposed hardware is both vandal resistant and anti-corrosion coated.
- Diecast aluminum canopy is powder coated to match housing.
- Dual function Indicator light is located on the face of the unit to signify that AC utility is present, as well as indicating the charge status.

installation

- Exit can be installed via top and end canopy mount and back wall mount.
- All mounting configurations employ neoprene gaskets between exit housing, canopy and mounting surface.
- The exit is designed to mount to standard 3-1/2" and 4" octagonal junction boxes.
- Provisions in the cast frame allow for up to two 1/2" flex or rigid conduit.

electronics

- 120/277VAC dual voltage input.
- Surge protection is standard on all models.

- Charging system is complete with low voltage disconnect, AC lockout, brownout protection.
- The brownout protection circuitry will automatically switch the unit into emergency mode if the utility voltage drops below 85% or nominal.
- The electronics diagnostic/charging platform with self-testing mode automatically runs a one minute self-test every 30 days and a 30 minute on the sixth and twelfth month. A one minute or 90 minute test may be initiated via the push to test switch on the unit or by activating the appropriate test command on the option IR test device

- Fault condition status of self-test, number of RED flashes:

- 1 X – Battery Fault
- 2 X – Lamp Failure
- 3 X – Charger Fault
- 4 X – Transfer Fault

- Both RED and GREEN LED'S fast toggle – AC line over voltage.

- Both RED and GREEN LED's slow toggle – AC line under voltage.

- Power Consumption

- AC Only:
Red = 3.8 Watts, Green = 4.0 Watts
- Emergency Only:
Red = 4.8 Watts, Green = 4.7 Watts

lamps

- Illumination of the exit stencil face is accomplished with long lasting, high output LED's.
- Hot spots and striations are eliminated by the internal light chamber, which is specially designed around the high performance LED array.
- Average illumination levels are in excess of 25ft (79 cd/m2).

battery

- Maintenance free, sealed nickel cadmium battery.
- Operating temperature range of -40°F (-40°C) to 113°F (45°C).
- Expected service life of 10 years.
- Standard sustained emergency operation is for 120 minutes with the LED illumination source providing full light output.
- Provides 90 minutes of emergency illumination.

warranty

- Five year warranty on exit.

CE-11800

rev. 7.

Commercial Exit Signs

60 Line Max
Wet Location/Vandal
Resistant LED



Specifier's Reference

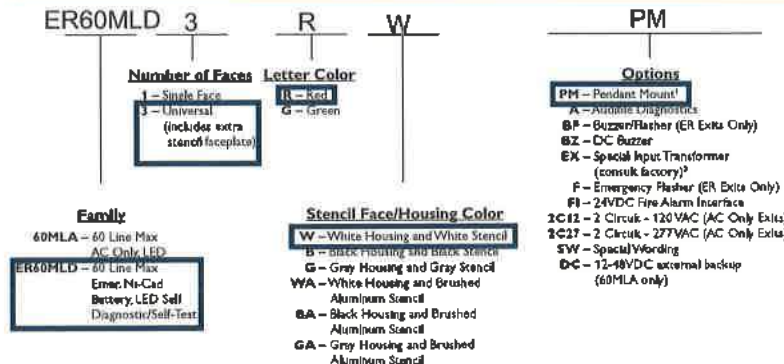
Project

Type

Model No.

Comments

Green Product Choice: ER60MLD3RW



Accessories

T1STPTOOL – Tamperproof Tool

60PA12W – Pendant Assembly 12" Stem, White

60PA12B – Pendant Assembly 12" Stem, Black

WG4 – Wire Guard

SRT – Self-Test Infra-Red Remote Tester

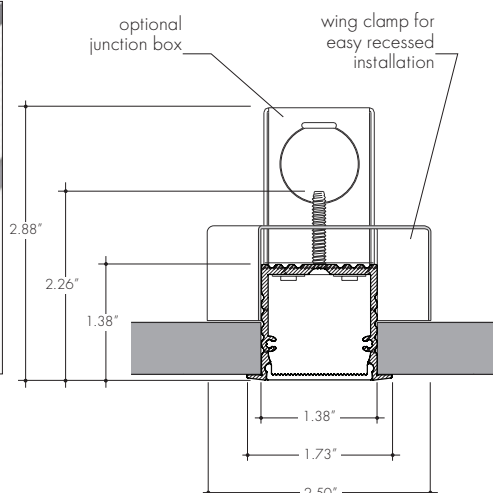
Footnotes:

¹ Requires pendant assembly, order separately.² Some options may impact UL listing. Consult factory for specifics.

Extruded aluminum linear illumination system, Kilo Recessed is available in sections up to 116" in total length. Specifically designed LED engine provides constant illumination levels from the beginning to the end of the runs. The Kilo Recessed fixture is suitable for general illumination, architectural accents, display cases and many other discrete recessed applications. Available with 72" plenum rated wire leads or with an integral junction box for splice connections. Class 2 listed for damp locations



The Kilo Recessed light fixture features two rows of LED strips



Made in USA

UL LISTED

ETL Intertek

TYPE IC

dimable

Finish options



Black powder coated



Bronze powder coated



Silver anodized



White powder coated

Technical information

Output Options

Output type	SO (2 x LL36)	MO (2 x LLX18)	HO (LLX22X2)
Lumens at 2900K clear lens	278 lum/ft	414 lum/ft	498 lum/ft
Average power consumption at 4'	6.4 W/ft	9.7 W/ft	9.8 W/ft
Maximum system length <i>Achievable via feed through fixture wiring.</i>	15'	10'	10'
Operating Voltage	24VDC	24VDC	24VDC

CCT/LUMEN MULTIPLIER

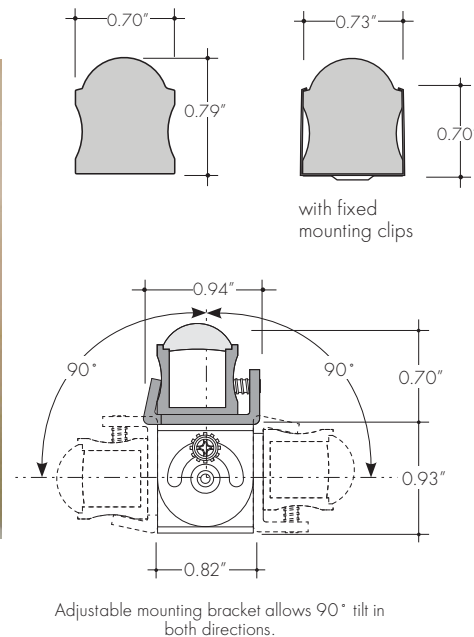
Color temperature	Multiplier (Multiple Light Output of 2900K HO)	CRI
2200 K	0.83	70+
2700 K	0.81	98
2900 K	1.00	97
3000 K	1.14	91
3500 K	0.98	95
4100 K	1.06	93

Ordering code for straight sections

MODEL	LENGTH	CCT	OUTPUT	LENS	FINISH	LEFT END	RIGHT END	POWER FEED
KR	12	22K	SO	C	SA	LE	RE	F1
KR - Kilo Recessed	12" - 116" 4" increments	22K - 2200K 27K - 2700K 29K - 2900K 30K - 3000K 35K - 3500K 41K - 4100K	SO - Standard MO - Medium HO - High	C - Clear F - Frosted	SA - Silver BK - Black BZ - Bronze WH - White <small>(BK,BZ,WH finishes will have an upcharge and require longer lead times)</small>	*LE - W/ endcap LN - WO/ endcap	*RE - W/ endcap RN - WO/ endcap	F1 - 72" wire leads JB1 - one integrated junction box

* Select for a straight run independently of the system

Extruded aluminum linear grazing system, Kendo M Wet Graze features a 11° lightly frosted lens. Available in sections up to 116" long, Kendo M Wet Graze is suitable for highlighting textured surfaces, stone walls or for edge lighting. Class 2 listed for wet location installations.



Finish options



Technical information

Output Options

Output type	HO (LL54)	VHO (LL72)
Lumens at 4000K	262 lum/ft	355 lum/ft
Average power consumption at 4'	5.2 W/ft	6.5 W/ft
Maximum system length <i>Achievable via feed through fixture wiring.</i>	26'	18'
Operating Voltage	24VDC	24VDC

CCT / LUMEN MULTIPLIER

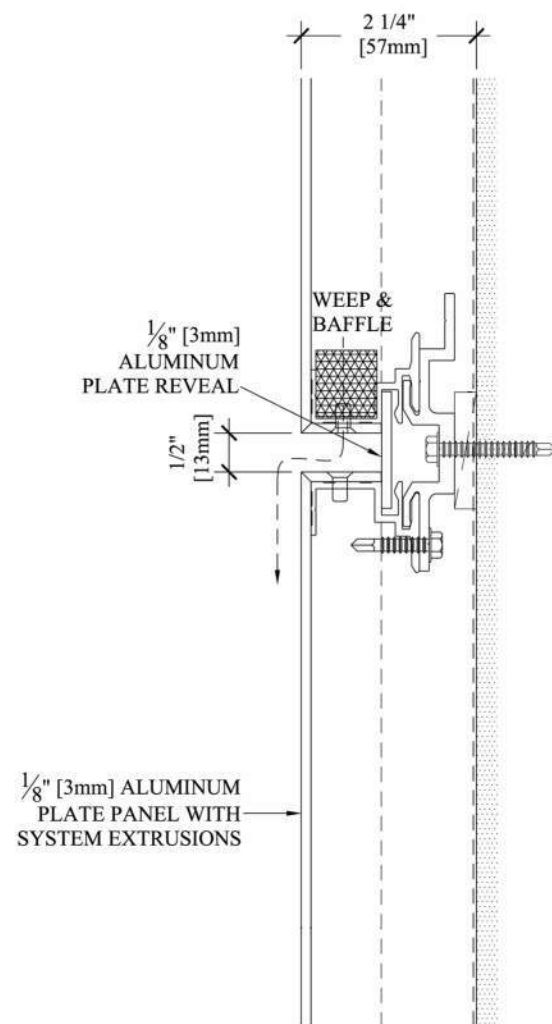
Color temperature	Multiplier (Multiple Light Output of 4000K HO)
2700 K	0.73
3000 K	0.81
4000 K	1.00

Ordering code

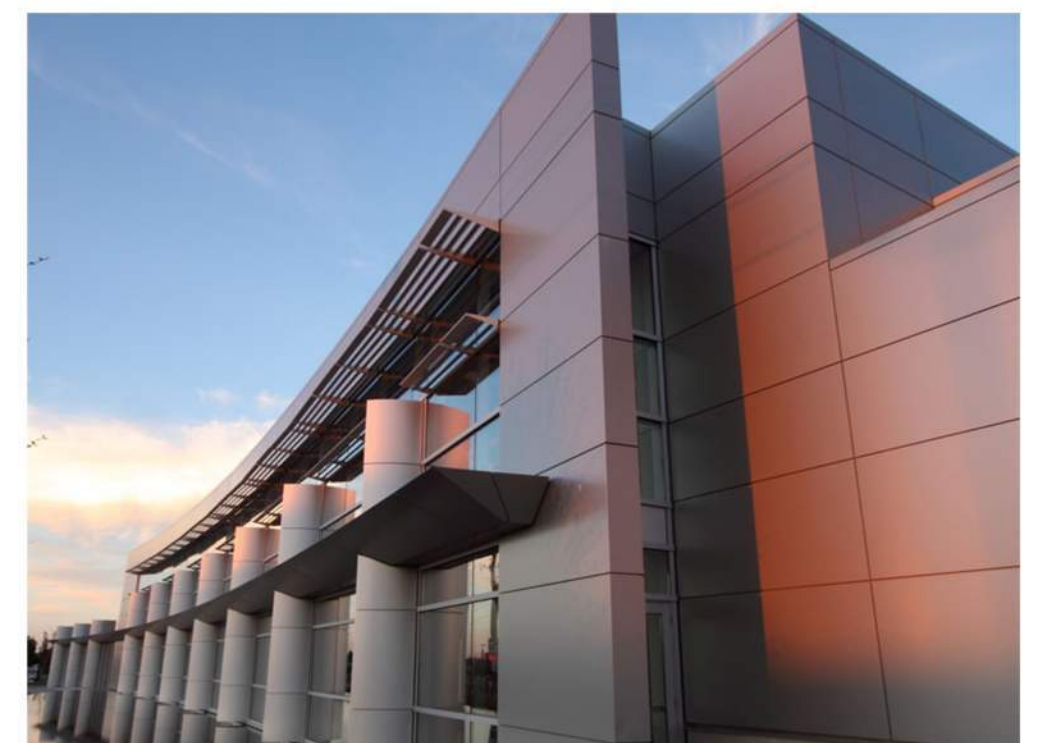
MODEL	LENGTH	CCT	OUTPUT	LENS	MOUNTING	FINISH	POWER FEED
KMWG	12	27K	HO	11	A	SA	F1
Kendo M Wet Graze	12"-116" 4" increments	27K - 2700 K 30K - 3000 K 40K - 4000 K	HO - High VHO - VeryHigh	11° - Semi-frosted	A - Adjustable F - Fixed	SA - Silver BK - Black BZ - Bronze WH - White <small>(BK,BZ,WH finishes will have an upcharge and require longer lead times)</small>	F1 - 72" wire leads F2 - 72" wire leads at one end and quick connect at other F3 - Single quick connect F4 - Dual quick connect

FEATURES:

- Dry-joint system with reveals
- Rain-screen design
- Interlocking joints without the use of any extrusions or clips
- Easy installation
- Economical due to automated manufacturing process that makes panels in seconds



DETAIL



07-18-2017

CAST-IN-PLACE ARCHITECTURAL CONCRETE

Cast-in-place architectural concrete is proposed at the vertical circulation towers and typically along exterior facade of the garage.



07-18-2017

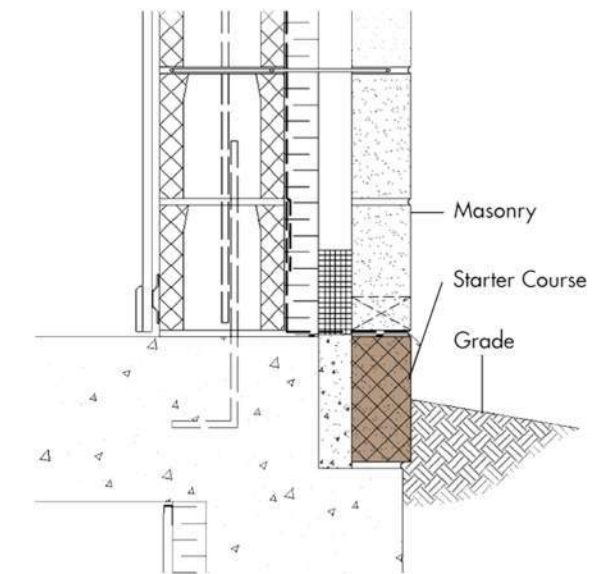
ARRISCRAFT (CALCIUM SILICATE MASONRY UNITS):

- High strength, high density, and natural absorption translate into superior durability;
- Exceptionally tight dimensional tolerances;
- No cement or chemical additives; Renaissance® is not subject to the degree of shrinkage associated with cement-based products;
- Consistent color throughout the entire stone; Renaissance® can be cut, chiseled and dressed in the field while maintaining its color and texture.
- Arriscraft products can contribute to LEED® points and to sustainability in the LEED categories of Energy and Atmosphere, Materials and Resources, and Innovation in Design.
- Arriscraft offers an industry-unique Lifetime Product Warranty.



**Incorporate an
Adair® Limestone Starter Course**
Starter Course

Installing a starter course of Adair® dolomite will maintain the aesthetic integrity of the masonry. Its greater density and lower absorption is ideally suited to resist the conditions at grade.



Adair® Limestone starter course

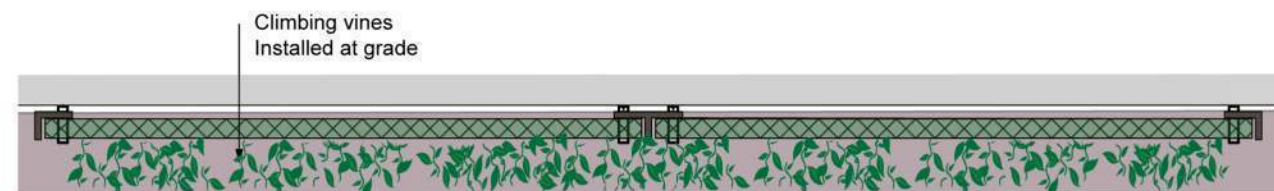
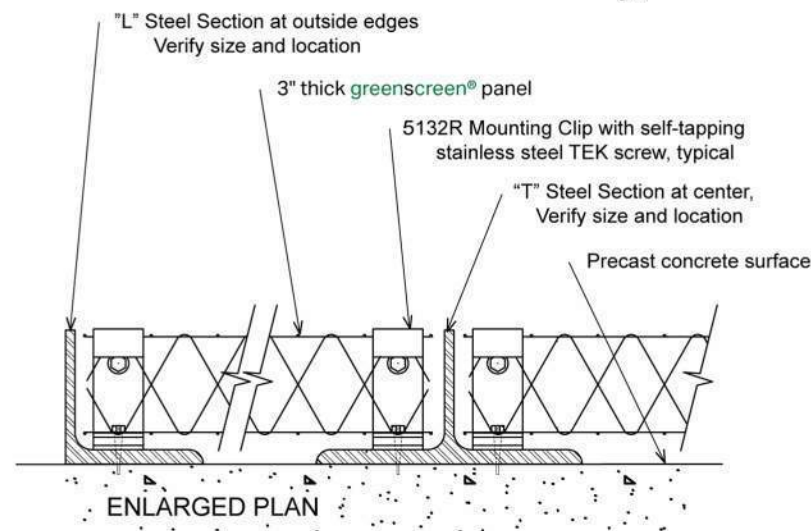
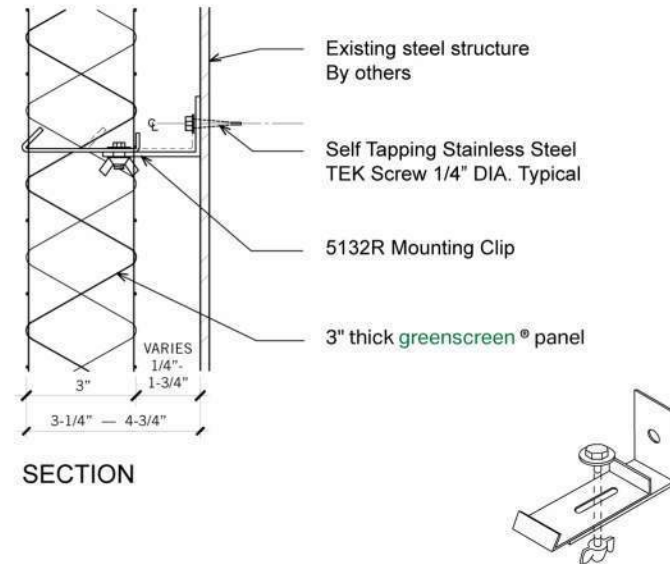
07-18-2017

GREENSCREEN:

Greenscreen is a modular trellis system used for creating green facades. The modular panels are attached to the building structure, and the climbing plants are planted at the base of these structures, and trained and maintained to cover the trellis panels.

Natural, vegetated surfaces play an important role in the mitigation of Urban Heat Island effect, by lowering surface and air temperatures and providing shade, and through evapotranspiration. Shaded surfaces, for example, may be 20-45 degrees cooler than the peak temperatures of unshaded materials. Green wall research supports the fact that climbing vines capture airborne pollutants and filters noxious gases and particulate matter to improve air quality. Another benefit is graffiti prevention.

Note: proposed Greenscreen color is Matte Texture Black



TYPICAL PLAN

GREENSCREEN MODULAR PANELS (Basis of Design)



PROPOSED PLANTING MATERIAL



Hedera Helix (English Ivy)



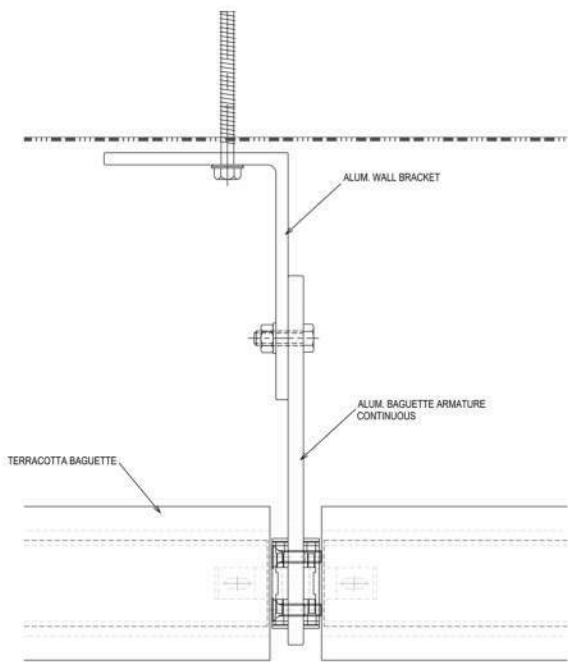
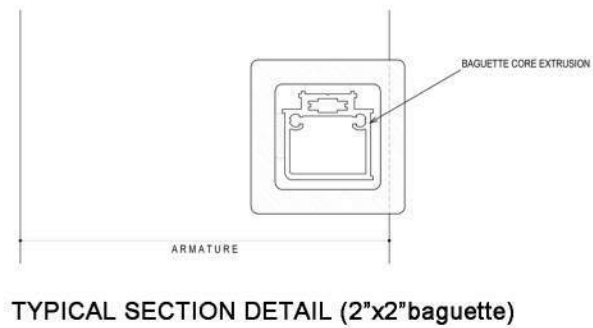
Parthenocissus Tricuspidata (Boston Ivy)



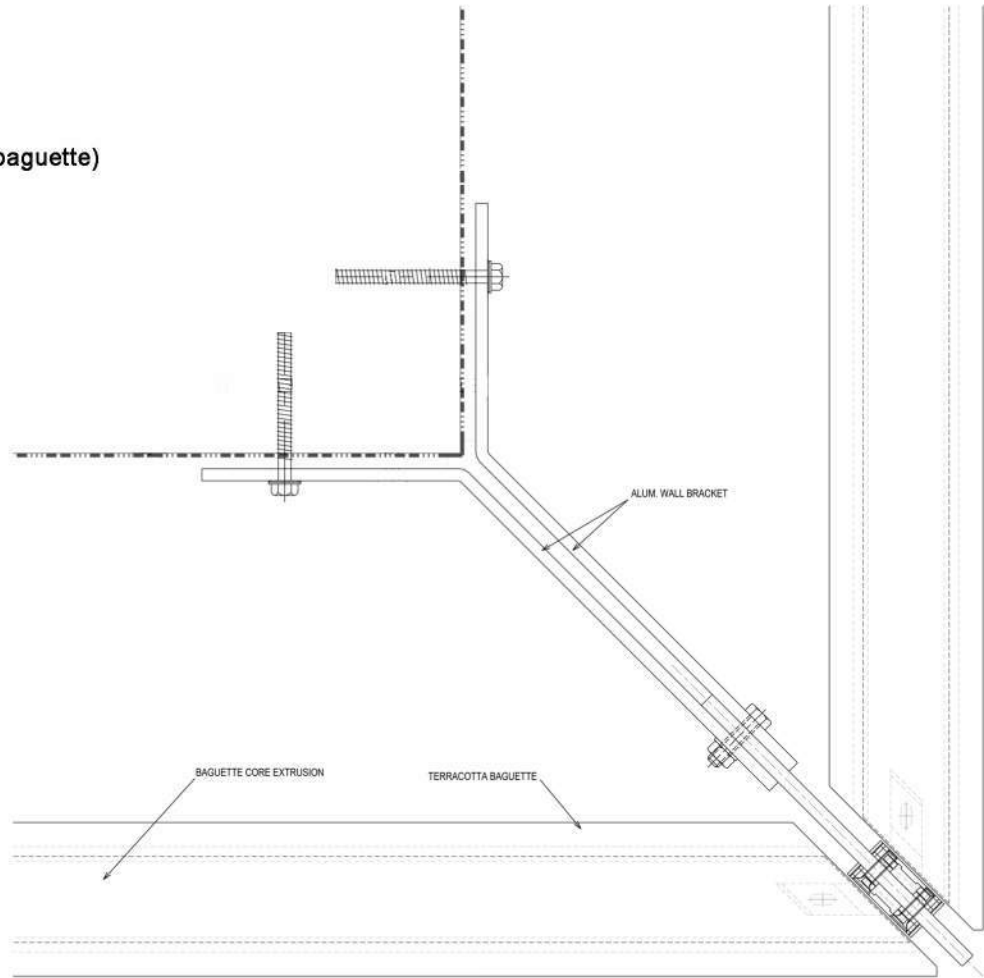
Clematis Virginiana (Virgin's Bower Clematis)

TERRACOTTA BAGUETTES

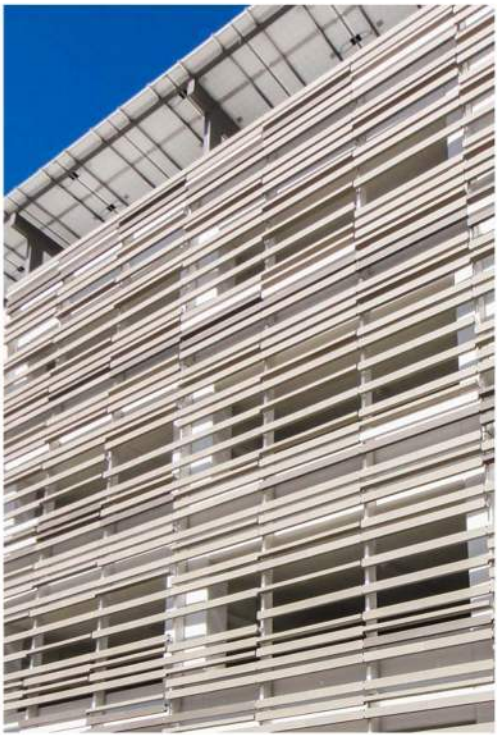
Terracotta baguettes are ceramic pipes that can add texture to a building or add a subtle variation. Both energy efficient and aesthetically pleasing, terracotta sunscreens are composed of extruded material in a wide variety of profiles, colors and finishes. The garage uses 2"x2" and 2"x 4" baguette profiles. Supported internally by a metal reinforced bar ("core extrusion"), the baguettes are installed horizontally and supported between vertical aluminum armatures. Colors are "baked-in" through traditional firing methods and complex mixing techniques



TYPICAL PLAN DETAIL



CORNER DETAIL



07-18-2017



RECORD OF DETERMINATION

Administrative Review Team

Thursday, August 17, 2017

The Administrative Review Team made the following determinations at this meeting:

- | | |
|---|--|
| 1. Downtown Dublin Parking Garage
17-075ARB-DPR/SPR/CU | 75 N. High Street
Development and Site Plan Reviews
Conditional Use |
| Proposal: | Construction of a Parking Garage and associated site improvements within the BSD Public District in Historic Dublin. |
| Location: | The site is approximately 250 feet northwest of the intersection of North High Street and North Street. |
| Request: | Review and recommendation of approval to City Council for Development and Site Plan Reviews as well as a Conditional Use under the provisions of Zoning Code Sections 153.066 and 153.236 and the <i>Historic Dublin Design Guidelines</i> . |
| Applicant: | Paula Miller, CFO, Columbus Metropolitan Library; represented by Dana L. McDaniel, City Manager, City of Dublin. |
| Planning Contact: | Jennifer M. Rauch, AICP, Planning Manager; (614) 410-4690, jrauch@dublin.oh.us |

REQUEST 1: ADMINISTRATIVE DEPARTURE

1. Minimum Primary Materials – §153.062(O)(12)(a)(3)(d)(5). Required: 80% primary material. Proposed: 73% on the east façade and 77% on west facade.

Determination: The Administrative Departure was approved.

REQUEST 2: SITE PLAN WAIVERS

Request for an approval recommendation to City Council for 22 Development and Site Plan Waivers:

1. **Tower Height** – §153.062(D)(4)(b). Required: Maximum tower height limited to 12 feet. Proposed: 14.5 feet.
2. **Story Articulation** – §153.062(G). Required: Articulation required to delineate each story. Proposed: Upper stories are obscured by the material application.
3. **Front RBZ** – §153.062(O)(12)(a)(1). Required: 5-25 feet along Rock Cress Parkway. Proposed: Bike hub retaining wall set back is zero and located at the right-of-way line.
4. **Corner Side RBZ** – §153.062(O)(12)(a)(1). Required: 5-25 feet along North Street. Proposed: Building setback 1 feet.
5. **Rear Yard Setback** – §153.062(O)(12)(a)(2). Required: Minimum rear yard setback is 5 feet along North Street. Proposed: Building setback is 1 foot.



6. **Lot Coverage** – §153.062(O)(12)(a)(2). Required: 80% maximum impervious lot coverage. Proposed: 92% shown.
7. **Blank Wall Limitations** – §153.062(O)(12)(a)(3)(d)(1). Required: Maximum opacity 30 % on street facing. Proposed: 100 % shown on ground story and varied % on upper stories.
8. **Blank Wall Limitations** – §153.062(O)(12)(a)(3)(d)(2). Required: No greater than 30 feet. Proposed: None are provided.
9. **Vertical Increments** – §153.062(O)(12)(a)(3)(d)(4). Required: Maximum opacity 30% on street facing. Proposed: 100 % shown on ground story and varied % on upper stories.
10. **Permitted Primary Materials** – §153.062(O)(12)(a)(3)(d)(5). Required: Brick, stone or Glass. Proposed: Terracotta ceramic baguettes and modular trellis panels.
11. **Minimum Primary Materials** – §153.062(O)(12)(a)(3)(d)(5). Required: 80% primary material. Proposed: 69% on the north façade and 66% on south facade.
12. **Permitted Secondary Materials** – §153.062(O)(12)(a)(3)(d)(5). Glass, fiber reinforced gypsum, wood siding, fiber cement siding, metal and exterior architectural metal panels and cladding. Proposed: Cast-in-place architectural concrete.
13. **Tower Location** – §153.062(O)(12)(a)(3)(d)(6). Required: Façades at terminal vistas (east elevation). Proposed: Towers at the northwest and southwest corners.
14. **Parking Structure Entrance/Exit Lane** – §153.065(B)(3)(a)(2) Required: Double entrance/exit lanes no wider than 24 feet at the right-of-way. Proposed: 33 feet wide at Franklin Street and 29 feet wide at North Street.
15. **Stacking Spaces** – §153.065(B)(3)(b). Required: Two vehicle lengths measuring 20 feet each shall be provided between the street and garage entry gate. Proposed: One vehicle length is provided at each entrance.
16. **Interior Circulation** – §153.065(B)(3)(c)(4). Required: Minimum ceiling clearance of 8.5 feet. Proposed: Upper stories provide 7 feet clearance.
17. **Landscaping** – §153.065(D)(2)(f). Required: Surface area of the bed shall be predominantly covered within four years after installation by living materials, rather than by bark, mulch, gravel or non-living materials. Proposed: Exposed mulch for the green screen plantings.
18. **Foundation Planting Provision** – §153.065(D)(7)(a). Required: Foundation plantings are required. Proposed: Not provided.
19. **Foundation Planting Requirements** – §153.065(D)(7) (b). Required: Foundation plantings require one shrub per 10 lineal feet of building and planting area shall extend a minimum of 42 inches. Proposed: Vines are proposed in lieu of shrubs and planting area extends 18 inches.
20. **Entrances** – §153.062(F)(3)(a). Required: Prominence and pedestrian scaled entrances. Proposed: Entrances located appropriately but are not a predominant feature.

**1. Downtown Dublin Parking Garage
17-075ARB-DPR/SPR/CU**

**75 N. High Street
Development and Site Plan Reviews
Conditional Use**

21. **Number of Entrance** – §153.062(O)(12)(3). Required: 1 per 75 feet of façade minimum: Rock Cress Parkway 3 required, Franklin Street 4 required, and North Street 3 required. Proposed: Rock Cress Parkway 1 provided, Franklin Street 1 provided, and North Street 1 provided.

22. **Wall Height** – 153.065(F)(1)(b). Required: Maximum 4 feet. Provided: Varied height along Rock Cress.

Determination: The 22 Development and Site Plan Waivers were recommended for approval to City Council as part of the Development and Site Plan Reviews.

REQUEST 3: DEVELOPMENT AND SITE PLAN REVIEW

Request for a recommendation of approval to City Council for Development and Site Plan Reviews with 8 conditions:

- 1) That canopies are proposed at the pedestrian entrances additional details will be needed at the time of permits that include dimensions and means of attachment to the structure;
- 2) That the applicant provide dimensions and details regarding the retaining wall located at Rock Cress Parkway;
- 3) That the applicant provide revised plans to meet the side yard setback of 5 feet along the eastern property line;
- 4) That the applicant provide to continue to investigate the incorporation of electric car charging stations within the garage;
- 5) That the applicant Ensure the surveillance requirements are met regarding pedestrian safety;
- 6) That any trees required to be replaced will be replaced on site or a fee paid in lieu;
- 7) That elevations and plans depicting the southwestern corner of the garage be revised to be consistent among the plan sets and reflect the changes to the design; and
- 8) That the applicant provide a photometric plan for the entire site and final lighting details that meet the lighting requirements of the Code with the submission of the building permit.

Determination: The Development and Site Plan Reviews were recommended for approval to City Council with 8 conditions.

STAFF CERTIFICATION

Vince Papsidero, FAICP
Planning Director

DRAFT



MEETING MINUTES

Administrative Review Team

Thursday, August 17, 2017 | 2:00 pm

ART Members and Designees: Vince Papsidero, Planning Director; Donna Goss, Director of Development; Colleen Gilger, Director of Economic Development; Matt Earman, Director of Parks and Recreation; Ray Harpham, Interim Chief Building Official; Shawn Krawetzki, Landscape Architect; Aaron Stanford, Senior Civil Engineer; Mike Altomare, Fire Marshall; and Tim Hosterman, Police Sergeant.

Other Staff: Jennifer Rauch, Planning Manager; Claudia Husak, Senior Planner; Lori Burchett, Planner II; Logan Stang, Planner I; Nichole Martin, Planner I; Mike Kettler, Planning Technician; and Laurie Wright, Administrative Support II.

Applicants: Teri Umbarger, Moody Nolan (Case 1); Tana Digeronimo (Case 2); and Justin Maxwell and Steve Nixon, EMH&T (Case 3).

Vince Papsidero called the meeting to order at 2:05 pm. He asked if there were any amendments to the August 3 meeting minutes. The minutes were accepted into the record as presented.

Mr. Papsidero relayed three Minor Modifications:

Bridge Park, Building B3, Anthony Vince – Other modifications deemed appropriate by the Director.

Bridge Park, Building B3, Kilwins – Other modifications deemed appropriate by the Director.

Tuller Flats, Blocks G & I – Other modifications deemed appropriate by the Director.

DETERMINATION

1. Downtown Dublin Parking Garage 17-075ARB-DPR/SPR/CU

75 N. High Street Development and Site Plan Reviews Conditional Use

Jennifer Rauch said this is a proposal for a Parking Garage and associated site improvements within the BSD Public District in Historic Dublin. She said the site is located along the west side of N. High Street, north of the intersection with North Street. She said this is a request for a review and recommendation of approval to City Council for Development and Site Plan Reviews under the provisions of Zoning Code Sections 153.066 and 153.236 and the *Historic Dublin Design Guidelines*.

Ms. Rauch presented the site plan and said the proposal is for the construction of a 548 parking space garage with associated site improvements.

Ms. Rauch explained that parking structures with non-occupied space along public or private street frontages are Conditional Uses. She reported the Conditional Use portion of the application was reviewed by the Administrative Review Team (ART) and recommended for approval by the Architectural Review Board July, 2017. The final determination she said will be forwarded to City Council with the Development Plan and Site Plan portions of this application.



Ms. Rauch went through and explained all of the 19 Site Plan Waivers being recommended for approval to City Council:

19 Waivers

1. **Tower Height** – §153.062(D)(4)(b). Required: Maximum tower height limited to 12 feet. Proposed: 14.5 feet.

The proposed towers include elevators and/or stairs. The height of the towers is determined by the required height for the elevator overruns, and to ensure consistency the height of all three towers match.

2. **Story Articulation** – §153.062(G). Required: Articulation required to delineate each story. Proposed: Upper stories are obscured by the material application.

The proposed terracotta on the upper stories is intended to provide a unified design across the parking structure. The intent of the material is to screen the floors of the parking deck.

3. **Front RBZ** – §153.062(O)(12)(a)(1). Required: 5-25 feet along Rock Cress Parkway. Proposed: Bike hub retaining wall set back is zero and located at the right-of-way line.

The proposed retaining wall is required to accommodate the significant grade change on the site and provide the required accessibility from the public right-of-way into the bike hub.

4. **Corner Side RBZ** – §153.062(O)(12)(a)(1). Required: 5-25 feet along North Street. Proposed: Building setback 1 feet.

The proposed building was sited to avoid the sanitary sewer along the western property line, which results in a building location that is not perpendicular to the right-of-way.

5. **Rear Yard Setback** – §153.062(O)(12)(a)(2). Required: Minimum rear yard setback is 5 feet along North Street. Proposed: Building setback is 1 foot.

The proposed building was sited to avoid the sanitary sewer along the western property line, which results in a building location along the southern property line that is not perpendicular to the right-of-way.

6. **Lot Coverage** – §153.062(O)(12)(a)(2). Required: 80% maximum impervious lot coverage. Proposed: 92% shown.

The proposed building area and siting was design to maximize the efficiency of the garage and its functionality.

7. **Blank Wall Limitations** – §153.062(O)(12)(a)(3)(d)(1). Required: Maximum opacity 30 % on street facing. Proposed: 100 % shown on ground story and varied % on upper stories.

The proposed green screen on the ground story and the terracotta on the upper stories is intended to provide a unified design across the entire structure. The proposed green screen on the ground floor is intended to screen the lower level of the garage and be consistent along the elevations. The proposed opacity of the terra cotta on the upper floors varies based on the specific layout and design of the material.

8. **Blank Wall Limitations** – §153.062(O)(12)(a)(3)(d)(2). Required: No greater than 30 feet. Proposed: None are provided.

The proposed green screen on the ground story and the terracotta on the upper stories is intended to provide a unified design across the entire structure.

9. **Vertical Increments** – §153.062(O)(12)(a)(3)(d)(4). Required: Maximum opacity 30% on street facing. Proposed: 100 % shown on ground story and varied % on upper stories.

The proposed design of the structure and the proposed materials do not allow for the incorporation of the required increments without compromising the overall design.

10. **Permitted Primary Materials** – §153.062(O)(12)(a)(3)(d)(5). Required: Brick, stone or Glass. Proposed: Terracotta ceramic baguettes and modular trellis panels.

The proposed green screen and terracotta materials are intended to provide a unique design that complements the adjacent library building and the Historic District. The application of the materials has a deliberate design.

11. **Minimum Primary Materials** – §153.062(O)(12)(a)(3)(d)(5). Required: 80% primary material. Proposed: 69% on the north façade and 66% on south facade.

The proposed green screen and terracotta materials are intended to provide a unique design that complements the adjacent library building and the Historic District. The application of the materials has a deliberate design that impacts the requirements. Additionally, opacity requirements exist to ensure adequate ventilation of the garage are met.

12. **Permitted Secondary Materials** – §153.062(O)(12)(a)(3)(d)(5). Glass, fiber reinforced gypsum, wood siding, fiber cement siding, metal and exterior architectural metal panels and cladding. Proposed: Cast-in-place architectural concrete.

The proposed cast in place concrete is intended to provide a complementary material to the terracotta, green screen and stone material.

13. **Tower Location** – §153.062(O)(12)(a)(3)(d)(6). Required: Façades at terminal vistas (east elevation). Proposed: Towers at the northwest and southwest corners.

The proposed tower location are required for pedestrian access, including stairs and elevations.

14. **Parking Structure Entrance/Exit Lane** – §153.065(B)(3)(a)(2) Required: Double entrance/exit lanes no wider than 24 feet at the right-of-way. Proposed: 33 feet wide at Franklin Street and 29 feet wide at North Street.

The proposed increased width is to allow increased maneuverability at the entrances.

15. **Stacking Spaces** – §153.065(B)(3)(b). Required: Two vehicle lengths measuring 20 feet each shall be provided between the street and garage entry gate. Proposed: One vehicle length is provided at each entrance.

The proposed vehicle apron at the vehicular entrances along North Street and Franklin Street provide adequate stacking space.

16. **Interior Circulation** – §153.065(B)(3)(c)(4). Required: Minimum ceiling clearance of 8.5 feet. Proposed: Upper stories provide 7 feet clearance.

The reduced clearance height is due to the desire ensure the overall height of the structure is reduced as much as possible.

17. **Landscaping** – §153.065(D)(2)(f). Required: Surface area of the bed shall be predominantly covered within four years after installation by living materials, rather than by bark, mulch, gravel or non-living materials. Proposed: Exposed mulch for the green screen plantings.
18. **Foundation Planting Provision** – §153.065(D)(7)(a). Required: Foundation plantings are required. Proposed: Not provided.
19. **Foundation Planting Requirements** – §153.065(D)(7) (b). Required: Foundation plantings require one shrub per 10 lineal feet of building and planting area shall extend a minimum of 42 inches. Proposed: Vines are proposed in lieu of shrubs and planting area extends 18 inches.

The proposed green screen on the ground story is meant to soften the facades and the planting details dictate the design.

Ray Harpham questioned the clearance on the upper floors and asked Ms. Umbarger to verify the minimum height meets the Building Code requirements. She agreed she would ensure that is the case.

Aaron Stanford asked if the second stacking space at the garage entrances would block the sidewalk. Ms. Rauch confirmed that was the case. Vince Papsidero stated the only way to make it meet the Code would be shift the entire garage and that would not be possible. Mr. Stanford also pointed out that the Code required building location within 5 feet of the right-of-way makes it impossible to meet the stacking requirements, as there is not enough room to stack without blocking the sidewalk. Mr. Papsidero highlighted that requirement should be addressed with the Code updates.

Ms. Rauch said approval is recommended for an **Administrative Departure**:

1. **Minimum Primary Materials** – §153.062(O)(12)(a)(3)(d)(5). Required: 80% primary material. Proposed: 73% on the east façade and 77% on west facade.

The proposed green screen and terracotta materials are intended to provide a unique design that complements the adjacent library building and the Historic District. The application of the materials has a deliberate design.

Ms. Rauch said approval is recommended to City Council for the Development Plan and Site Plan with 7 conditions:

- 1) That the applicant provide additional details at the time of permits for the canopies that are proposed at the pedestrian entrances that include dimensions and means of attachment to the structure;
- 2) That the applicant provide dimensions and details regarding the retaining wall located at Rock Cress Parkway;
- 3) That the applicant provide revised plans to meet the side yard setback of 5 feet along the eastern property line;
- 4) That the applicant provide to continue to investigate the incorporation of electric car charging stations within the garage;
- 5) That the applicant Ensure the surveillance requirements are met regarding pedestrian safety;
- 6) That any trees required to be replaced will be replaced on site or a fee paid in lieu; and
- 7) That elevations and plans depicting the southwestern corner of the garage be revised to be consistent among the plan sets and reflect the changes to the design.

Ms. Rauch then went through and discussed several more outstanding issues. She asked Aaron Stanford and Mike Altomare about the curve radii along North Street and the whether there was a need for a designated Building Access Zone. They confirmed the curb radii is sufficient and there was no need for a designated Building Access Zone given the access provided around the site.

Ms. Rauch asked Aaron Stanford about stormwater details and if there were any outstanding concerns. He said there were no issues found.

Ms. Rauch asked Teri Umbarger, Moody Nolan, about the additional pedestrian entrances that were discussed at the last meeting but were not visible on the current plans. Ms. Umbarger explained the pedestrian entrances are shown more on the architectural drawings and should be striped correctly.

Ms. Rauch noted there was only one entrance on each right-of-way, which would require additional Waivers:

20. **Entrances** – §153.062(F)(3)(a). Required: Prominence and pedestrian scaled entrances. Proposed: Entrances located appropriately but not as a predominant feature.

21. **Number of Entrances** – §153.062(O)(12)(3). Required: 1 per 75 feet of façade minimum: Rock Cress Parkway 3 required, Franklin Street 4 required, and North Street 3 required. Proposed: Rock Cress Parkway 1 provided, Franklin Street 1 provided, and North Street 1 provided.

Ms. Rauch asked about wall height on Rock Cress Parkway. The ART determined a Waiver was needed because it exceeds four feet maximum.

22. **Wall Height** – 153.065(F)(1)(b). Required: Maximum 4 feet. Provided: Varied height along Rock Cress Parkway.

Ms. Rauch stated there is now a total of 22 Waivers recommended for approval to be forwarded to City Council.

Shawn Krawetzki inquired about the North Street pedestrian entrance/exit and how that would be separated. Ms. Umbarger responded there was a curb/or bollards there.

Ms. Rauch confirmed that the colors for the green screens were changed from dark green to black as suggested at the last meeting. She asked if the plant materials for the green wall were changed per the suggestions from the Landscape Architect at the last meeting. Ms. Umbarger confirmed.

Ray Harpham asked if the area by the bike hub was partially underground to which Ms. Rauch answered yes and said it was acceptable due to the grade.

Ms. Rauch inquired about photometrics and if the light levels proposed were acceptable. She determined a condition should be added which brings the total number of conditions to eight to be recommended for approval to City Council as part of the approval for the Development Plan and Site Plan Reviews:

- 8) That the applicant provide a photometric plan for the entire site and final lighting details that meet the lighting requirements of the Code with the submission of the building permit.

Vince Papsidero asked if there were any further questions or concerns regarding this application. [There were none.] He called for a vote, the motion carried, and the Administrative Departure was approved. He called for a vote, the motion carried, and the 22 Waivers were recommended for approval by the ART to be forwarded to City Council. He called for a vote, the motion carried, and the Development and Site Plans with eight conditions were recommended for approval by the ART and forwarded to City Council for the meeting on August 28, 2017.



PLANNING REPORT

Administrative Review Team

Thursday, August 17, 2017 | 2:00 pm

17-075DP/SP – PARKING GARAGE

Reviewing Board

Administrative Review Team

Site Location

West side of N. High Street, north of the intersection with North Street.

Proposal

Development and Site Plan Review

Zoning

Bridge Street District – Public District

Property Owner

Columbus Metropolitan Library Trustees

Applicant/Representative

Paula Miller, CFO, CML

Dana L. McDaniel, City Manager, City of Dublin

Teri Umbarger and Miguel Gonzalez, Moody Nolan

Applicable Land Use Regulations

Zoning Code Sections 153.057-066

Staff Recommendation

- A. Approval of 1 Administrative Departure
- B. Approval of 19 Waivers
- C. Approval of DP and SP with 7 conditions

Contents

A. Context Map.....	2
B. Narrative.....	2
C. Details	2
D. Criteria Analysis	6
E. Recommendations	8

Case Managers

Jennifer M. Rauch, AICP, Planning Manager

(614) 410-4690

jrauch@dublin.oh.us

Summary

The construction of the Downtown Dublin parking garage and associated site improvements.

Next Steps

Upon recommendation of approval from Administrative Review Team, the applications will be forwarded to City Council for review and approval.



A. Context

The site is located on the west side of North High Street, north of the intersection with North Street.

B. Narrative

1. Site Characteristics

a. Natural Features

There is significant grade change across the site, with the largest change from west to east along the northern boundary.

b. Historic and Cultural Facilities

There are no historic or cultural facilities present on this site. The existing library building is located in the northeastern portion of the site with off-street parking located to the south and west of the existing building. The site was approved for demolition by the Architectural Review Board on June 28, 2017.

c. Surrounding Land Use and Development Character

- **North and West:** BSD-P, Public District (Dublin City Schools and Grounds of Remembrance)
- **East:** BSD-HTN, Historic Transition Neighborhood District (Mixed use development and public plaza)
- **South:** BSD-HC, Historic Core District (Commercial uses)

d. Road, Pedestrian and Bike Network

The overall site will be split into two parcels for the library and the parking garage. Future street improvements include future Rock Cress Parkway along the north, future Franklin Street extension along the west, and modifications to existing North Street to the south and North High Street to the east. Pedestrian and bike facilities are provided with the street network improvements. A bike hub is proposed along the northwestern portion of the parking garage.

C. Details

1. Process

The Zoning Code requires review by the Administrative Review Team with a recommendation forwarded to the City Council for a determination.

2. Proposal

The proposal is for the construction of a 548 parking space garage with associated site improvements.

3. Analysis

a. Uses

Parking structures with non-occupied space along public or private street frontages are conditional uses. The conditional use portion of the application was reviewed by ART and recommended for approval by the Architectural Review Board July, 2017. The final determination will be forwarded to City Council with the Development Plan and Site Plan portions of this application.

b. Layout and Design

The proposed site has frontage along three rights-of-way: future Rock Cress, North Street, and future Franklin Street extension. The parking garage is located on the west side of the proposed library building and plaza, and extends west toward the future Franklin Street extension. The proposed parking garage includes two entrances at North Street on level one and at future Franklin Street on level two. An internal book drop is proposed in the northeast corner of the garage, with right-out onto Rock Cress Parkway. A bike hub is proposed along the northwestern portion of the garage, along Rock Cress Parkway.

c. Materials

For Parking Structure Buildings, Code permits stone, brick, and glass as primary building materials. Permitted secondary materials include glass, reinforced gypsum, wood siding, fiber cement siding, metal, and architectural metal panels and cladding. The proposed garage utilizes terracotta ceramic baguettes on the upper floors of the garage and modular trellis panels along the ground story. Cast-in-place architectural concrete is proposed on the upper portions of the towers with stone on the ground story. The proposed colors of the materials complement the proposed library building material palette. Canopies are proposed at the pedestrian entrances additional details will be needed at the time of permits that include dimensions and means of attachment to the structure.

d. Parking

The proposed garage indicates 548 parking spaces. Code requires 151 parking spaces for the library. However, as part of the development agreement the library will be allocated 200 spaces. The remaining spaces will be public parking. ADA parking space are located at key locations on the first two levels, including at the northwest corner of the garage to accommodate users of the Grounds of Remembrance.

D. Waiver Review

4. Administrative Departures

- a. Minimum Primary Materials – 153.062(O)(12)(a)(3)(d)(5). Required: 80% primary material. Proposed: 73 percent on the east façade and 77 percent on west façade.**

Criterion met. The proposed green screen and terracotta materials are intended to provide a unique design that complements the adjacent library building

and the Historic District. The application of the materials has a deliberate design.

5. Site Plan Waivers

- a. **Tower Height – 153.062(D)(4)(b). Required: Maximum tower height limited to 12 feet. Proposed: 14.5 feet.**

Criterion met. The proposed towers include elevators and/or stairs. The height of the towers is determined by the required height for the elevator overruns, and to ensure consistency the height of all three towers match.

- b. **Story Articulation – 153.062(G). Required: Articulation required to delineate each story. Proposed: Upper stories are obscured by the material application.**

Criterion met. The proposed terracotta on the upper stories is intended to provide a unified design across the parking structure. The intent of the material is to screen the floors of the parking deck.

- c. **Front RBZ – 153.062(O)(12)(a)(1). Required: 5-25 feet along Rock Cress Parkway. Proposed: Bike hub retaining wall set back is zero and located at the right-of-way line.**

Criterion met. The proposed retaining wall is required to accommodate the significant grade change on the site and provide the required accessibility from the public right-of-way into the bike hub.

- d. **Corner Side RBZ – 153.062(O)(12)(a)(1). Required: 5-25 feet along North Street. Proposed: Building setback 1 foot.**

Criterion met. The proposed building was sited to avoid the sanitary sewer along the western property line, which results in a building location that is not perpendicular to the right-of-way.

- e. **Rear Yard Setback – 153.062(O)(12)(a)(2). Required: Minimum rear yard setback is 5 feet along North Street. Proposed: Building setback is 1 foot.**

Criterion met. The proposed building was sited to avoid the sanitary sewer along the western property line, which results in a building location along the southern property line that is not perpendicular to the right-of-way.

- f. **Lot Coverage – 153.062(O)(12)(a)(2). Required: 80 percent maximum impervious lot coverage. Proposed: 92 percent shown.**

Criterion met. The proposed building area and siting was design to maximize the efficiency of the garage and its functionality.

- g. **Blank Wall Limitations – 153.062(O)(12)(a)(3)(d)(1). Required: Maximum opacity 30 percent on street facing. Proposed: 100 percent shown on ground story and varied percent on upper stories.**

Criterion met. The proposed green screen on the ground story and the terracotta on the upper stories is intended to provide a unified design across the entire structure. The proposed green screen on the ground floor is

intended to screen the lower level of the garage and be consistent along the elevations. The proposed opacity of the terra cotta on the upper floors varies based on the specific layout and design of the material.

h. Blank Wall Limitations – 153.062(O)(12)(a)(3)(d)(2). Required: No greater than 30 feet. Proposed: None are provided.

Criterion met. The proposed green screen on the ground story and the terracotta on the upper stories is intended to provide a unified design across the entire structure.

i. Vertical Increments – 153.062(O)(12)(a)(3)(d)(4). Required: Maximum opacity 30 percent on street facing. Proposed: 100 percent shown on ground story and varied percent on upper stories.

Criterion met. The proposed design of the structure and the proposed materials do not allow for the incorporation of the required increments without compromising the overall design.

j. Permitted Primary Materials – 153.062(O)(12)(a)(3)(d)(5). Required: Brick, stone or Glass. Proposed: Terracotta ceramic baguettes and modular trellis panels.

Criterion met. The proposed green screen and terracotta materials are intended to provide a unique design that complements the adjacent library building and the Historic District. The application of the materials has a deliberate design.

k. Minimum Primary Materials – 153.062(O)(12)(a)(3)(d)(5). Required: 80% primary material. Proposed: 69 percent on the north façade and 66 percent on south facade.

Criterion met. The proposed green screen and terracotta materials are intended to provide a unique design that complements the adjacent library building and the Historic District. The application of the materials has a deliberate design that impacts the requirements. Additionally, opacity requirements exist to ensure adequate ventilation of the garage are met.

l. Permitted Secondary Materials – 153.062(O)(12)(a)(3)(d)(5). Glass, fiber reinforced gypsum, wood siding, fiber cement siding, metal and exterior architectural metal panels and cladding. Proposed: Cast-in-place architectural concrete.

Criterion met. The proposed cast in place concrete is intended to provide a complementary material to the terracotta, green screen and stone material.

m. Tower Location – 153.062(O)(12)(a)(3)(d)(6). Required: Façades at terminal vistas (east elevation). Proposed: Towers at the northwest and southwest corners.

Criterion met. The proposed tower location are required for pedestrian access, including stairs and elevations.

- n. Parking Structure Entrance/Exit Lane – 153.065(B)(3)(a)(2) Required: Double entrance/exit lanes no wider than 24 feet at the right-of-way. Proposed: 33 feet wide at Franklin Street and 29 feet wide at North Street.**

Criterion met. The proposed increased width is to allow increased maneuverability at the entrances.

- o. Stacking Spaces – 153.065(B)(3)(b). Required: Two vehicle lengths measuring 20 feet each shall be provided between the street and garage entry gate. Proposed: One vehicle length is provided at each entrance.**

Criterion met. The proposed vehicle apron at the vehicular entrances along North Street and Franklin Street provide adequate stacking space.

- p. Interior Circulation – 153.065(B)(3)(c)(4). Required: Minimum ceiling clearance of 8.5 feet. Proposed: Upper stories provide 7 feet clearance.**

Criterion met. The reduced clearance height is due to the desire ensure the overall height of the structure is reduced as much as possible.

- q. Landscaping – 153.065(D)(2)(f). Required: Surface area of the bed shall be predominantly covered within four years after installation by living materials, rather than by bark, mulch, gravel or non-living materials. Proposed: Exposed mulch for the green screen plantings.**

- r. Foundation Planting Provision – 153.065(D)(7)(a). Required: Foundation plantings are required. Proposed: Not provided.**

- s. Foundation Planting Requirements – 153.065(D)(7) (b). Required: Foundation plantings require one shrub per 10 lineal feet of building and planting area shall extend a minimum of 42 inches. Proposed: Vines are proposed in lieu of shrubs and planting area extends 18 inches.**

Criterion met. The proposed green screen on the ground story is meant to soften the facades and the planting details dictate the design.

Criteria Analysis

6. Development Plan

- a. Street Network and Block Framework.**

Criterion met. The street network and block layout were approved with the Basic Plan development application.

- b. Street Types Consistent with Walkable Urbanism.**

N/A

- c. Open Spaces and Building Types meet Siting Requirements.**

Criterion met with Waivers and Conditions. The building is located appropriately.

d. Infrastructure, Transportation and Environmental Requirements

Criterion met with Waivers and Conditions.

e. Creation of a Signature Place

Criterion met. The proposed garage is designed to create a unique space that transitions between the Historic District and the new development across the river.

7. Site Plan

a. Similar to Basic Plan.

Criterion met. The site design approved with the Basic Plan is substantially similar to the design proposed with the Site Plan.

b. Consistent with Development Plan.

Criterion met. The site design is consistent with the development plan and coordinates with surrounding development.

c. Meets Sections 153.059 and 153.062-153.065.

Criterion met with Waivers and Conditions.

d. Safe and Efficient Circulation

Criterion met with Waivers and Conditions. The site has been designed to allow for safe pedestrian and vehicular circulation.

e. Relationship of Buildings

Criterion met. The proposed layout of the site provides for coordination and integration within the surrounding area.

f. Open Space

N/A

g. Adequate Services

Criterion met. This proposal connects to existing public utilities.

h. Stormwater Management

Criterion met. The proposal meets stormwater management.

i. Phasing

Criterion met. The site will be constructed in a single phase.

j. Consistency with BSD Principals

Criterion met. The proposed garage fulfills a long standing goal within the Historic District to provide additional parking. The proposed design of the building complements the proposed adjacent library building.

E. Recommendations

The proposed Development Plan and Site Plan with Parking Plan is consistent with all of the applicable review criteria.

Approval is recommended of the Administrative Departures to the Administrative Review Team.

a. Minimum Primary Materials

Approval is recommended of the 19 Waivers to City Council.

- a. Tower Height – 153.062(D)(4)(b).
- b. Story Articulation – 153.062(G).
- c. Front RBZ – 153.062(O)(12)(a)(1).
- d. Corner Side RBZ – 153.062(O)(12)(a)(1).
- e. Rear Yard Setback – 153.062(O)(12)(a)(2).
- f. Lot Coverage – 153.062(O)(12)(a)(2).
- g. Blank Wall Limitations – 153.062(O)(12)(a)(3)(d)(1).
- h. Blank Wall Limitations – 153.062(O)(12)(a)(3)(d)(2).
- i. Vertical Increments – 153.062(O)(12)(a)(3)(d)(4).
- j. Permitted Primary Materials – 153.062(O)(12)(a)(3)(d)(5).
- k. Minimum Primary Materials – 153.062(O)(12)(a)(3)(d)(5).
- l. Permitted Secondary Materials – 153.062(O)(12)(a)(3)(d)(5).
- m. Tower Location – 153.062(O)(12)(a)(3)(d)(6).
- n. Parking Structure Entrance/Exit Lane – 153.065(B)(3)(a)(2)
- o. Stacking Spaces – 153.065(B)(3)(b).
- p. Interior Circulation – 153.065(B)(3)(c)(4).
- q. Landscaping – 153.065(D)(2)(f).
- r. Foundation Planting Provision – 153.065(D)(7)(a).
- s. Foundation Planting Requirements – 153.065(D)(7)(b).

Approval is recommended of the Development Plan and Site Plan with 7 conditions.

- 1. Canopies are proposed at the pedestrian entrances additional details will be needed at the time of permits that include dimensions and means of attachment to the structure.
- 2. Provide dimensions and details regarding the retaining wall located at Rock Cress Parkway.
- 3. Revise plans to meet the side yard setback of 5 feet along the eastern property line
- 4. Continue to investigate the incorporation of electric car charging stations within the garage.
- 5. Ensure the surveillance requirements are met regarding pedestrian safety.
- 6. Any trees required to be replaced will be replaced on site or a fee paid in lieu.
- 7. Elevations and plans depicting the southwestern corner of the garage be revised to be consistent among the plan sets and reflect the changes to the design.

ANALYSIS & DETERMINATIONS – DEVELOPMENT PLAN

Applicable Development Plan Review Criteria

Includes §153.060 – Lots & Blocks, §153.061 – Street Types, §153.063 – Neighborhood Standards

ANALYSIS & DETERMINATIONS – SITE PLAN

Applicable Development Plan Review Criteria

Includes §153.059 – Uses, §153.062 – Building Types, §153.064 – Open Space Types, and §153.065 – Site Development Standards

153.059 – Uses

Code Section	Proposed Uses	Permitted ?
Table 153.059-A	Principal Use: Parking Structure Accessory Use: None proposed	Yes
(C) Use Specific Standards		
(3)	Commercial	
(g)	1. Parking structures with non-occupied space along public or private street frontages are conditional uses. <ul style="list-style-type: none"> The proposed parking structure does not include occupied space along any street frontage. 	Cond. Use Required
	2. When constructed as a principal use, either as a public or private parking structure, no more than 75% of the parking spaces shall be used to provide the required accessory parking for other principal uses located within 600 feet of the structure, unless otherwise approved with a parking plan. <ul style="list-style-type: none"> 189 spaces out of the 548 spaces (34.4%) within the Parking Structure are proposed to be dedicated to meet the parking requirement for the Library located approximately 100 feet to the east. 	Met

153.060 – Lots & Blocks

Code Section	Requirement	Notes	Met?
(B) Applicability			
(B)(1)	A Development Plan Application is required by the following proposed conditions under §153.066(E)(1)(b): <ul style="list-style-type: none"> The application includes the construction of two new streets (Franklin Street and Rock Cress Parkway), and improvements to North High Street and West North Street. Subdivision of land is proposed as part of this application. 		Met

153.060 – Lots & Blocks

(B)(2)	Existing Structures The existing library is partially located on the lot to be created for the parking structure. ARB approved demolition on June 28, 2017.	Met
(C) General Block and Lot Layout		
(1)	Interconnected Street Pattern	
(a)	The arrangement of streets shall provide for the continuation of existing or planned streets from adjoining areas into new developments where practicable as determined by the City Engineer. <ul style="list-style-type: none"> <i>Darby Street is not proposed to be extended north to the proposed Rock Cress Parkway from the existing intersection with North Street, as depicted on the Street Network Graphic.</i> 	BPR Approved Waiver
(2)	Maximum Block Size	
(a)	Required Subdivision. All development requiring a Development Plan shall be subdivided consistent with the maximum block dimensions permitted by the applicable BSD District. In the Historic Transition Neighborhood District, the maximum block length permitted is 300 feet, and the maximum block perimeter permitted is 1,000 feet. <ul style="list-style-type: none"> <i>Proposed Maximum Block Length: 356.2 ft.</i> <i>Proposed Maximum Block Perimeter: 1,308.4 ft.</i> 	BPR Approved Waivers
(3)	Block Configuration	
(a)	Blocks shall be generally rectangular <ul style="list-style-type: none"> <i>Proposed block is rectangular</i> 	Met
(b)	Blocks shall be arranged with front property lines on at least two sides. <ul style="list-style-type: none"> <i>For the proposed block Rock Cress Parkway and North High Street are the front property lines, Franklin Street and North Street are corner side property lines</i> 	Met
(4)	Principal Frontage Streets	
(b)	Access to blocks shall be located to comply with the principal frontage street requirements of §153.060(C)(5) <ul style="list-style-type: none"> <i>See Analysis Below</i> 	
(5)	Block Access Configurations	
(a)	Access for alleys, service streets and driveways shall not be permitted from a Principal Frontage Street, unless City Engineer determines that access from any other street is impractical. <ul style="list-style-type: none"> <i>An exit only lane from the book drop area within the parking structure is proposed at Rock Cress Parkway, a Principal Frontage Street.</i> 	BPR Approved Waiver
(6)	Mid-Block Pedestrianways	
	<i>See Site Development Standards 153.065(1)(2)(a) for Mid-block Pedestrianways</i>	
(9)	Street Frontage	
(a)	Front Property Line 2. A lot line bordering a principal frontage street shall be the front property line unless otherwise specified.	Met

153.060 – Lots & Blocks

	<ul style="list-style-type: none"> <i>Rock Cress Parkway and North High Street are principal frontage streets and are front property lines for the block.</i> 	
(b)	<p>Corner Side Property Line</p> <p>1. For corner lots occupied by multiple buildings, lot lines shall be designated as front or corner side property lines as necessary to meet the building type street frontage requirements along both frontages.</p> <ul style="list-style-type: none"> <i>The proposed block is a corner lot occupied by two buildings.</i> <i>The corner side property lines for the Parking Structure lot are Franklin Street and North Street</i> 	Met

153.061 – Street Types

Code Section	Requirement	Notes	Met?
(C) Street Network			
(3)	Existing Streets		
	<p>Where existing streets are planned to be realigned, relocated or removed, the City shall reserve the right to maintain those rights-of-way and incorporate them into the street network, with a designation of street family and street type and required improvements.</p> <ul style="list-style-type: none"> <i>Existing North High Street and North Street are both proposed to remain in place with minor realignments and improvements proposed.</i> 		Met
(4)	Street Network Map		
(a)-(g)	<p>In addition to the Thoroughfare Plan, the Street Network Map shall be used as a guide in determining appropriate locations and alignments of new streets. Street families are designated based on the functional needs of the street, adjacent land use context and desired character of the range of street types.</p> <ul style="list-style-type: none"> <i>The proposed street network is inconsistent with the Street Network Map, as Darby Street is not proposed to be extended to the north.</i> <i>The proposed street network defining the block has the following street family hierarchy:</i> <ul style="list-style-type: none"> <i>North High Street is a Corridor Connector and Principal Frontage Street</i> <i>Rock Cress Parkway is a District Connector and Principal Frontage Street</i> <i>Franklin Street and North Street are Neighborhood Streets</i> 		<p>BPR Approved Waiver</p> <p>Met</p>
(D) Principal Frontage Streets			
(2)	Vehicular Access		
(a)	<p>Vehicular access shall not be permitted from a Principal Frontage Street, unless the City Engineer determines that access from any other street is impractical</p> <ul style="list-style-type: none"> <i>An exit only lane from the book drop area within the parking structure is proposed at Rock Cress Parkway, a Principal Frontage Street.</i> 		BPR Approved Waiver
(E) Typical Street Elements			
(1)	Bicycle Facilities		

153.061 – Street Types

	A variety of bicycle accommodations are permitted within the street right-of-way <ul style="list-style-type: none"> <i>No bicycle accommodations have been depicted within the street right-of-way at this time</i> 	N/A
(2)	Vehicular On-Street Parking	
(a)	On-street <ul style="list-style-type: none"> <i>Although not required for proposed use, vehicular on-street parking is proposed along the North High Street, North Street, and Franklin Street frontage.</i> 	Met
(F) Curb Radii at Intersections		
(2)	Permitted Radii	
	Curb radii at intersections shall be minimized to the greatest extent practicable to shorten the pedestrian crossing distances, reduce vehicle turning speeds and improve sight distances. Radii may range between 15 and 25 feet, as approved by the City Engineer <ul style="list-style-type: none"> <i>Curb radii at Rock Cress Parkway and Franklin Street and High Street are 25 feet radii</i> <i>Curb radii at North Street and Franklin Street and High Street are 30 feet radii</i> 	City Engineer Approved
(G) Fire Access		
(2)	Building Access Zone	
	A building access zone within the right-of-way of 40 feet in length shall be provided for buildings with a height of 30 feet or greater and shall be located as close as practicable to the structure's principal entrance, unless the requirement is waived by the Fire Chief where sufficient alternate access is available. <ul style="list-style-type: none"> <i>The height of the Parking Structure is 41.63 feet at its tallest point, and no Building Access Zones have been designated on the Site Plan.</i> 	Fire Chief Approved

153.062 – Building Types

Code Section	Requirement	Notes	Met?
(B) General Building Type Requirements			
(1)	Applicability		
(b)	This section applies to all new development within the BSD.		Met
(3)	General Requirements		
(a)	Zoning Districts. Each building type shall be constructed only within its designated BSD zoning district. <ul style="list-style-type: none"> <i>The proposed structure is a Parking Structure, and is permitted within the Historic Transition Neighborhood District</i> 		Met
(b)	Uses. Each building type may house the uses allowed in the district in which it is located. <ul style="list-style-type: none"> <i>The proposed use is permitted within the proposed Parking Structure.</i> 		Met
(c)	No Other Building Types. Principal buildings shall meet the requirements of Table 153.062-A. <ul style="list-style-type: none"> <i>The proposed Parking Structure is permitted within the Historic Transition Neighborhood District.</i> 		Met

153.062 – Building Types

(e)	Accessory Structures. Accessory structures shall be permitted to be constructed in the buildable area of the lot in locations not required to be occupied by principal buildings. <ul style="list-style-type: none"> <i>No accessory structures are proposed</i> 	Met
(C) General Building Type Layout and Relationships		
(1)	Incompatible Building Types	
	Incompatible building types are not permitted directly across the street from one another or on the same block face, unless otherwise permitted by the required reviewing body. <ul style="list-style-type: none"> <i>Proposed Parking Structure is compatible with the adjacent existing and proposed Civic Building Types (Indian Run Elementary School and Dublin Branch of Columbus Metropolitan Library)</i> 	Met
(D) Roof Type Requirements		
Roof Type	<i>No roof type is proposed on the Parking Structure, except for Tower elements proposed at perimeter of the structure. Parking occupies the roof level of structure, as permitted by the building type.</i>	N/A
(4)	Towers	
(a)	Quantity. Only one tower is allowed per building unless otherwise approved by the required reviewing body. <ul style="list-style-type: none"> <i>Three towers are proposed—one at the northwest corner, one at the southwest corner, and one along the lower third of the east façade. Each tower location coordinates with vertical pedestrian circulation internal to the parking structure.</i> 	BPR Approved Waiver
(b)	Tower Height. Towers may exceed the maximum building height and do not count as an additional story. Tower height shall not be greater than the height of one additional upper floor of the building. Tower width shall not exceed tower height. <ul style="list-style-type: none"> <i>Tower height is 14.5 feet, which exceeds the maximum height of an additional upper floor for Parking Structures of 12 feet.</i> <i>Tower height does not exceed the narrowest tower width of 16.33 feet.</i> 	Waiver Required
(c)	Occupied Space. Towers may be occupied by the same uses allowed in the upper stories of the building type to which they are applied. <ul style="list-style-type: none"> <i>Tower space is use for vertical circulation through the Parking Structure</i> 	Met
(d)	Tower Roof Type. Towers may be capped by any permitted roof type. <ul style="list-style-type: none"> <i>Proposed tower roof type is a flat roof.</i> 	Met
(E) Materials		
(1)	Façade Materials	
(a)	Percentage of Primary Materials Required: <i>Please refer to 153.062(O) - Building Type Analysis.</i>	See Table Below
(c)	Permitted Primary Materials: <i>Please refer to 153.062(O) – Building Type Analysis</i>	See Table Below
(d)	Permitted Secondary Materials: <i>Please refer to 153.062(O) - Building Type Analysis.</i>	See Table Below
(e)	EIFS is permitted for trim only <ul style="list-style-type: none"> <i>No EIFS is proposed</i> 	Met

153.062 – Building Types

(h)	Other high quality synthetic materials may be approved as permitted primary or secondary materials by the required reviewing body. <ul style="list-style-type: none"><i>Modular trellis panels with climbing plants (green walls) and terracotta baguette ceramic sunscreens are proposed exterior façade materials</i>	Waiver
(2)	Façade Material Transitions	
(a)	Vertical transitions shall occur at inside corners <ul style="list-style-type: none"><i>Material transitions from terracotta sunscreens and cast-in-place architectural concrete occur at inside corners</i>	Met
(b)	Multiple Materials Proposed Vertically: Where proposed, the ‘heavier’ material in appearance shall be incorporated below the ‘lighter’ material. <ul style="list-style-type: none"><i>For the majority of the Parking Structure, Terracotta sunscreens are proposed above the modular trellis green walls.</i>	Met
(c)	Transitions between different colors of same material: Shall occur at locations deemed architecturally appropriate by the required reviewing body. <ul style="list-style-type: none"><i>There are no transitions in materials of the same type but different colors.</i>	N/A
(3)	Roof Materials	
(b)	Flat roofs are permitted to use any roof material appropriate to maintain proper drainage. <ul style="list-style-type: none"><i>Proposed tower roof material is cast-in-place architectural concrete.</i>	Met
(4)	Color	
	Colors for all building materials shall be selected from appropriate historic color palettes, from any major paint manufacturer, or as determined appropriate by the required reviewing body.	Met
(F) Entrances & Pedestrianways		
(1)	Entrances & Pedestrianways – Quantities and Locations	
	See Building Type Requirements Table	
(2)	Recessed Entrances. Entry doors shall be recessed a minimum of three feet from property lines.	Met
(3)	Entrance Design	
(a)	All principal entrances are to be at a pedestrian scale, effectively address the street and be given prominence on the façade through the use of architectural features. <ul style="list-style-type: none"><i>Three principal entrances are provided. Additional details are needed to determine if pedestrian scale has been achieved, how effectively each addresses the street, and the degree of prominence each provides along the façade.</i>	Waiver
(e)	Building Entrances. Refer to the Walkability Standards of §153.062	
(G) Articulation of Stories on Street Facades		
	Façades shall be designed to follow the stories of the building with fenestration organized along and occupying each floor. Story heights are set to limit areas of the façade without fenestration. <ul style="list-style-type: none"><i>The ground story is articulated through the use of the modular green screen. At all upper floors where the terracotta suncreens are proposed, the articulation of the stories is obscured.</i>	Waiver
(H) Windows, Shutters, Awnings and Canopies		
(3)	Awnings and Canopies	

153.062 – Building Types

(a)	General	
	1. Awnings and canopies may be used if they function as suitable protection from the elements. <ul style="list-style-type: none"> <i>Canopies are proposed at the pedestrian entrances on the north and east elevations, and at the vehicular entrances on the west and south elevations. The distance the canopies extend from the building façade is inconsistent between the floor plans and elevations provided.</i> 	Condition
(c)	Canopies	
	1. Canopies may be clad with glass, metal, wood, or a combination of materials <ul style="list-style-type: none"> <i>Canopy material is proposed as an Aluminum Plate Panel System.</i> 	Met
	2. Canopies may be cantilevered or supported from the building by metal cables or rods <ul style="list-style-type: none"> <i>The means of canopy attachment to the building is not provided.</i> 	Condition
	3. Canopies may include downward casting light fixtures and may be lighted from above by downcast fixtures mounted to the building wall <ul style="list-style-type: none"> <i>No canopy lighting has been depicted</i> 	N/A
(J) Treatments at Terminal Vistas		
	When a street terminates at a parcel, the parcel shall be occupied by either an open space with a vertical element to terminate the view or by the front or corner side of a building. <ul style="list-style-type: none"> <i>A terminal vista is present at the intersection of Darby Street with North Street generally at the shared property line with the proposed library. A tower is proposed along the east façade of the parking structure. On the adjacent parcel, a Pocket Park open space type has been proposed in this area.</i> 	Met
(K) Building Variety		
	Building design shall vary from adjacent buildings by the type of dominant material or color, scale, or orientation of that material. <ul style="list-style-type: none"> <i>The proposed building varies from all adjacent existing and approved buildings currently under construction in all aspects.</i> 	Met
(M) Signs		
	<i>No sign details have been submitted.</i>	N/A
(N) Individual Building Type Requirements		
<i>Refer to following section for detailed analysis of the building.</i>		

153.062(O) – Individual Building Requirements Analysis

153.062(O)(12) – Parking Structure

Building Type Requirements	Code Requirement	Provided	Met, N/A, Adm. Dep., Waiver, Other
(a) Building Siting			

153.062(O)(12) – Parking Structure

Building Type Requirements	Code Requirement	Provided	Met, N/A, Adm. Dep., Waiver, Other
1. Street Frontage			
Number of Principal Buildings Permitted (per Lot)	Multiple Not Permitted	1	Met
Minimum Front Property Line Coverage	90%	Rock Cress Parkway= 100%	Met
Occupation of Corner Required (Yes/No)	Yes	Franklin Street & North Street: Met Franklin Street & Rock Cress Parkway: Met	Met
Front Required Building Zone	5 feet to 25 feet	6.86 ft. min./11.94 ft. max. provided at Rock Cress Parkway. Staking Plan does not provide dimensions to proposed retaining wall which provides access to the Bike Hub and encroaches beyond the RBZ to the right-of-way.	Condition/ Waiver
Corner Side Required Building Zone	5 feet to 25 feet	5.00 ft. min./5.37 ft. max. provided at Franklin Street 1.65 ft. min./8.33 ft. max. provided at North Street	Waiver Met
RBZ Treatment	Landscape, Patio or Streetscape.	Landscape treatment proposed	Met
Right-of-Way Encroachments	None Permitted	None	Met
2. Buildable Area			
Minimum Side Yard Setback Required	5 ft.	4.81 ft. min./5.0 ft. max. provided to the east property line	Condition
Minimum Rear Yard Setback Required	5 ft.	1.65 ft. minimum setback provided at North Street	Waiver
Minimum Lot Width Required	80 ft.	± 192 ft.	Met
Maximum Lot Width Required	None	N/A	N/A
Maximum Building Length	300 feet	269 ft. max length proposed	Met
Maximum Impervious Lot Coverage	80%	92%	Waiver
Additional Semi-Pervious Lot Coverage Permitted (Beyond Max. 80% Impervious Coverage)	10%	None Proposed	N/A
3. Parking Location & Loading			
Parking Location	Within Building Only	Parking is located within	Met

153.062(O)(12) – Parking Structure

Building Type Requirements	Code Requirement	Provided	Met, N/A, Adm. Dep., Waiver, Other
Entry for Parking within Building (relative to principal structure)	Rear, side, corner side facades on non-principal frontage streets	<i>Entries are provided on corner side façade and rear of building. An exit only lane is proposed on Rock Cress Parkway, a principal frontage street.</i>	BPR Approved Waiver
Access	153.062 (N)(1)(c)	<i>An exit only lane is proposed on Rock Cress Parkway, a principal frontage street.</i>	BPR Approved Waiver
(b) Height			
Minimum Building Height Permitted (ft.)	2 stories	<i>Story Minimum Height Proposed</i>	Met
Maximum Building Height Permitted (ft.)	5 stories* *Height may not exceed overall height in feet of any adjacent building or any conforming building immediately across the street	<i>4 Story Maximum Height Proposed *Overall height proposed of parking structure is 45.75 feet as measured to the top of the tower. Overall proposed height of library is 31.00' as measured from established grade at North Street.</i>	BPR Approved Waiver
Ground Story Height	8 ft./12 ft. Minimum* 18 ft. Maximum (*Requirements of 153.065(B)(5) Parking Structure Design shall be met)	<i>± 11.33 feet provided (12 feet min. clearance required at Principal Frontage Street façades, per 153.065(B)(5))</i>	BPR Approved Waiver
Upper Story Height	8.5 ft. Minimum* 12 ft. Maximum (*Requirements of 153.065(B)(5) Parking Structure Design shall be met)	<i>10.25 feet minimum provided 11.25 feet maximum provided</i>	Met
(c) Uses & Occupancy Requirements			
Ground Story Use Requirements	Commercial Uses are required only when fronting a principal frontage street, shopping corridor or a greenway	<i>Parking Structure fronts Rock Cress Parkway, a principal frontage street with a greenway along the north side of the street. No Commercial Uses are incorporated into the design of the building.</i>	BPR Approved Waiver

153.062(O)(12) – Parking Structure

Building Type Requirements	Code Requirement	Provided	Met, N/A, Adm. Dep., Waiver, Other
Upper Story Use Requirements	No Additional Requirements	N/A	N/A
Parking within Building	Rear of a ground story with frontage on a principal frontage street, shopping corridor or greenway; all floors above ground floor.	<i>Parking is proposed in an area of the structure with frontage on a principal frontage street and a greenway.</i>	BPR Approved Waiver
Occupied Space Required	Min. 20' depth where ground story with frontage on a principal frontage street, shopping corridor or greenway	<i>No occupied space provided on the ground story fronting a principal frontage street and a greenway.</i>	BPR Approved Waiver
(d) Façade Requirements			
1. Street Façade Transparency (This section applies only to parking structures fronting streets)			
Ground Story Street Façade Transparency (%)	Storefront with a Minimum 65% on principal frontage streets, shopping corridors, or greenways; otherwise refer to Blank Wall Limitations	<u>North--Rock Cress Parkway (PFS):</u> <i>No storefront provided at ground story on principal frontage street. Refer to Blank Wall Limitations below.</i>	N/A (See Below)
Street Façade Blank Wall Limitations	No open area greater than 30% of a story façade, as measured from floor to floor, shall be windowless on the ground story and solid on the upper stories	<u>Ground Story-Street Facades:</u> <u>100% solid (opaque)</u> <u>Upper Stories-Street Facades:</u> <u>% Varies, typically ±45% solid (opaque)</u>	Waiver
Garage Openings	Parked cars shall be screened from the street	<i>All parked cars within the structure are screened from the street.</i>	Met
2. Non-Street Façade Transparency			
Blank Wall Limitations	No greater area greater than 30% of	<u>Ground Story:</u> <u>100% solid (opaque)</u>	Waiver

153.062(O)(12) – Parking Structure

Building Type Requirements	Code Requirement	Provided	Met, N/A, Adm. Dep., Waiver, Other
	a story façade, as measured from floor to floor, shall be solid.	<u>Upper Stories:</u> <u>% Varies, typically ±45% solid (opaque)</u>	
3. Building Entrances (This section only applies to parking structures fronting streets)			
Principal Pedestrian Entrance Location	All Street Façades of Building	<i>Principal Entrances are provided on Rock Cross Parkway and North Street and Franklin Street.</i>	Met
Street Facades: Number of Entrances Required	1 per 75 ft. of façade minimum	Rock Cross Parkway: <i>3 Required, 1 Provided</i> Franklin Street: <i>4 Required, 1 Provided</i> North Street: <i>3 Required, 1 Provided</i>	Waiver
Parking Lot Façade: Number of Entrances Required	Not Applicable	N/A	N/A
Mid-Building Pedestrianway	Not Required	N/A	N/A
4. Façade Divisions (This section applies only to parking structures fronting streets)			
Vertical Increments Required	No greater than 30 ft.	<i>None Provided</i>	Waiver
Horizontal Façade Divisions	Required within 3 feet of the top of the ground story	<i>Provided by change in cladding material at top of ground story</i>	Met
Required Change in Roof Plane or Type	None	N/A	N/A
Garage Floors	Garage Floors shall be horizontal along all street façades	<i>All garage floors are horizontal along the street façades.</i>	Met
5. Façade Materials			
Permitted Primary Materials (types)	Brick, Stone, Glass	<i>Calcium Silicate Masonry Units, Glass, Modular trellis panels (green walls) and terracotta baguette ceramic sunscreens proposed as primary materials</i>	Waiver
Minimum Primary Façade Materials	80%	<i>East Elevation: 73% West Elevation: 77% North Elevation: 69% South Elevation: 66%</i>	Waiver/ Admin. Departures

153.062(O)(12) – Parking Structure

Building Type Requirements	Code Requirement	Provided	Met, N/A, Adm. Dep., Waiver, Other
Permitted Secondary Materials	Glass fiber reinforced gypsum, wood siding, fiber cement siding, metal and exterior architectural metal panels and cladding	<i>Cast-in-place architectural concrete proposed as secondary material</i>	Waiver
6. Roof Types			
Permitted (types)	Parapet, Pitched roof, flat roof; other types permitted with approval	<i>Parking proposed on Roof</i>	Met
Tower (Locations Permitted)	Permitted on facades only at terminal vistas, corners at two principal frontage streets, and/or adjacent to an open space type.	<i>Only the tower proposed on the east elevation is in a permitted location—adjacent to an open space type proposed on the parcel to the east.</i>	Waiver
Tower (Number Permitted)	One tower is permitted unless otherwise approved by required reviewing body.	<i>Three towers are proposed.</i>	BPR Approved Waiver

153.063(D) – Neighborhood Standards, Historic Transition Neighborhood District

Code Section	Requirement • Analysis	Met?
(4)	Building Types	
(b)	<p>Building Height. Buildings located across the street from or adjacent to the BSD Historic Core District shall be limited to two and a half stories.</p> <ul style="list-style-type: none"> <i>Proposed building height is 3 stories at the northwest corner of the building, and transitions to a maximum height of 4 stories at the north and east elevations of the building due to the change in grade across the site. The east and south elevations are consistently 4 stories in height.</i> 	BPR Approved Waiver
(5)	Placemaking Elements	

153.063(D) – Neighborhood Standards, Historic Transition Neighborhood District

(a)	Historic Sites and Structures. Historic Sites and Structures listed on the National Register and/or the Ohio Historic Inventory shall be preserved to the extent practicable <ul style="list-style-type: none"> <i>The site is located within the Architectural Review District, but the existing library and site are not included on the NRHP or OHI.</i> 	N/A
(6)	Open Spaces	
(d)	Open Space Network <ol style="list-style-type: none"> Open Spaces are intended to be organized as a series of interconnected nodes and corridors appropriate to the scale and character of surrounding streets, buildings and land uses. <ul style="list-style-type: none"> <i>No provision of Open Space is required as there is no commercial space proposed within the Parking Structure.</i> 	N/A

153.064 – Open Space Types

Code Section	Requirement <ul style="list-style-type: none"> <i>Analysis</i> 	Met?
(C) Provision of Open Space		
(2)	Commercial	
	There shall be a minimum of one square foot of publicly accessible open space for every 50 square feet of commercial space or fraction thereof. <ul style="list-style-type: none"> <i>No commercial space is proposed within the Parking Structure.</i> 	Met

153.065 – Site Development Standards

Code Section	Requirement <ul style="list-style-type: none"> <i>Analysis</i> 	Met?
(B) Parking and Loading		
(1)	General Provisions	
(c)	Electric Car Charging Points. Parking lots and structures are strongly encouraged to provide at least one electric plug-in service point for every 200 parking spaces. <ul style="list-style-type: none"> <i>A total of 548 parking spaces are required, which would result in 3 electric car charging points. Additional information is needed to determine if any electric car charging points are proposed.</i> 	Condition
(d)	Parking Lot/Structure Lighting. Lighting shall comply with the provisions of 153.065 <ul style="list-style-type: none"> <i>Refer to Exterior Lighting Requirements</i> 	See Below
(2)	Required Vehicle Parking	
(a)	Minimum Parking Required <ul style="list-style-type: none"> <i>No commercial uses are proposed within the Parking Structure.</i> 	N/A

153.065 – Site Development Standards

Code Section	Requirement • Analysis	Met?
(c)	<p>Accessible Parking Spaces. Within the total number of off-street spaces provided, a minimum number of accessible parking spaces shall be provided consistent with Ohio Building Code.</p> <ul style="list-style-type: none"> Based on the proposed provision of 548 spaces within the garage 11 accessible parking spaces are required, of which 2 must be van-accessible spaces. 12 ADA Spaces are proposed, 3 of which are van-accessible 	Met
(5)	Parking Structure Design	
(a)	Entrance/Exit Lanes	
	<p>1. One entrance lane shall be required for each 300 spaces or part thereof. One exit lane shall be provided for each 200 spaces or part thereof.</p> <ul style="list-style-type: none"> Based on 548 spaces provided, 2 entrance lanes are required and provided and 3 exit lanes are required and provided 	Met
	<p>2. Single entrance and exit lanes shall be no wider than 16 feet. Double entrance and exit lanes shall be no wider than 24 feet at the street right-of-way</p> <ul style="list-style-type: none"> The single exit lane provided is 12.2 feet wide, and the double entrance/exit lanes are 33 feet wide and 29 feet wide at Franklin Street and North Street, respectively. 	Met Waiver
	<p>3. No entrance lanes or exit lanes shall be permitted on a principal frontage street, except as may be permitted by City Engineer.</p> <ul style="list-style-type: none"> An exit only lane is proposed on Rock Cress Parkway. 	BPR Approved Waiver
	<p>4. On other street frontages, only one entrance and one exit lane shall be permitted for each 200 feet of frontage</p> <ul style="list-style-type: none"> 290.35 feet of frontage on Franklin Street, one entrance and one exit lane provided. 192.28 feet of frontage on North Street, one entrance and one exit lane provided. 	Met
(b)	<p>Stacking Spaces. Two vehicle lengths of stacking space, each measuring 20 feet long shall be provided between the street and the garage entry gate. Stacking area shall not be located across a sidewalk or in the public right-of-way.</p> <ul style="list-style-type: none"> IF gated entries are proposed, there is insufficient space to provide the required stacking space without encroaching the public right-of-way. 	Waiver
(c)	Interior Circulation	
	<p>3. A minimum ceiling clearance height of 12 feet is required where the parking structure has street frontage, excluding the driveway opening, and the parking structure shall be designed and constructed to allow potential occupancy of the first 20 feet of building by a commercial or a civic/public/institutional use permitted by §153.059(B).</p> <ul style="list-style-type: none"> Based on Finished Floor information provided on the Staking Plan, the floor to floor height between the ground story and second story of the garage is 11 feet in height. Additional information is needed to determine if other aspects of the requirement are met. 	Waiver Required

153.065 – Site Development Standards

Code Section	Requirement • <i>Analysis</i>	Met?
	4. Design of all other parking structures and upper levels of shall include a minimum ceiling clearance height of 8.5 feet. • <i>Upper stories provided approximately 7 feet of ceiling clearance.</i>	Waiver
	5. Below-grade parking structure levels shall provide the minimum clear heights as required by Ohio Building Code. • <i>A portion of the parking structure is below grade.</i>	Met
(d)	Pedestrian Safety	
	1. Stairways on the parking structures perimeter shall be visible from outside of the structure. The maximum distance between parking spaces and the nearest exit stairwell shall be 200 feet. • <i>Stairways provided at the perimeter of the structure are visible from outside of the structure. The maximum distance from parking spaces and an exit stairwell is approximately 150 feet.</i>	Met
	2. At least one elevator shall be provided to serve a parking structure. The maximum distance between any parking space and an elevator shall be 350 feet. • <i>Two elevators are proposed and the maximum distance from any space to an elevator is approximately 220 feet.</i>	Met
	3. Pedestrian flow shall be channeled through openings to permit surveillance, either by a booth cashier or by cameras being monitored from a remote location. • <i>Additional information is needed regarding the proposed means of surveillance.</i>	Condition
(C) Stormwater Management		
	<i>A stormwater management narrative has been provided and will be reviewed by Engineering as part of the permit review.</i>	Met
(D) Landscaping and Tree Preservation		
(2)	General	
(b)	Each application for development shall include a landscape plan, and the siting of buildings shall avoid the removal of desirable trees in good or fair condition, where alternate building siting is available. • <i>An Existing Conditions Plan and Demolition Plan with a Tree Inventory have been provided, which notes that 356 total caliper inches of replacement trees are required. No Tree Replacement Plan has been provided.</i>	Condition
(c)	Protected trees shall be replaced in accordance with §153.146 • <i>No Protected Trees are present on the site.</i>	N/A
(e)	Landscape Plans shall exhibit diversity in tree selection, as determined by City Forester and Director of Parks & Open Space • <i>No trees are proposed on the site. The Landscape Plan provided includes Sodded Lawn in the area between the right of way and the 18 inch (from face of building) linear planting bed at the garage foundation associated with the modular trellis.</i>	N/A

153.065 – Site Development Standards

Code Section	Requirement • <i>Analysis</i>	Met?
	<i>English Ivy, Climbing Hydrangea, and Trumpet Honeysuckle are proposed in this area.</i>	
(f)	In all areas where landscaping is required, the surface area of the bed shall be predominantly covered within four years after installation by living materials, rather than by bark, mulch, gravel or non-living materials. <ul style="list-style-type: none"> <i>Mulch is proposed in the trellis planting beds, where the proposed plant varieties will be trained upward. The surface will predominantly be exposed mulch in this area.</i> 	Waiver (See Below)
(7)	Foundation Planting	
(a)	Building foundation landscaping is required along all sides of a building not otherwise occupied by entrances, sidewalk, parking or loading areas, or similar areas. Building foundation planting is not required for portions of the front or corner side building facades located within 10 feet of the front property line and where a streetscape or patio RBZ treatment is provided. <ul style="list-style-type: none"> <i>All facades are located within 10 feet of property lines, and streetscape/patio RBZ treatment has not been provided. Foundation Planting is required—see below</i> 	Waiver
(b)	Where foundation planting is required, at least one shrub shall be provided per each 10 linear feet of building façade or fraction thereof, within a landscape bed or raised planter extending a minimum of 42 inches beyond the foundation. <ul style="list-style-type: none"> <i>Foundation planting is proposed, but with vine species—not shrubs.</i> <i>Proposed foundation beds extend 18 inches beyond the foundation.</i> 	Waiver
(9)	Tree Preservation	
(a)	2. Tree Preservation Plan Required. B. Applicants shall submit a Tree Preservation Plan for approval by the required reviewing body. <ul style="list-style-type: none"> <i>No existing trees will be preserved with the proposal.</i> 	N/A
(E) Fences, Walls and Screening		
(1)	Fence and Wall Standards	
	Notwithstanding the provisions of this section, the provisions of 153.064(G)(4)(h) shall be met with respect to fencing and walls for open spaces. <ul style="list-style-type: none"> <i>Two walls are proposed that function as retaining walls and as elements of proposed ramps and stairs/access at the entrances on North Street and Rock Cress Parkway.</i> 	Met
(b)	Fence and Wall Height and Opacity. No fence or wall located between the principal structure on a lot and the front property line shall exceed four feet in height. These provisions apply to all street frontages on multiple frontage lots. <ul style="list-style-type: none"> <i>A variable height wall is proposed between the Parking Structure and Rock Cress Parkway.</i> <i>The information provided relating to these walls is insufficient and/or conflicting as follows:</i> 	Condition/ Waiver

153.065 – Site Development Standards

Code Section	Requirement • Analysis	Met?
	<ul style="list-style-type: none"> • Southwest Wall/Ramp. <ul style="list-style-type: none"> ○ Is depicted on the Level 1 Plan (P101), but not on Level 1 Parking Plan (ST110) or South Elevation (P304) ○ Is not depicted in the perspective renderings provided (P306, 305) and it is implied that the entire street/sidewalk grade 'ramps' in this area starting at the garage entry. The Grading Plan (FSP7) and Landscape Plan (FSP9) also reflect the grade of North Street increasing between the entry drive and Franklin Street, with the Landscape Plan including a perpendicular walkway connection from the garage to the North Street sidewalk. • Northwest Wall. <ul style="list-style-type: none"> ○ No spot elevations are provided (top and bottom of wall) on Grading Plan (FSP8) ○ No railing detail provided, if applicable ○ Is not depicted on Landscape Plan (FSP9) 	
(F) Exterior Lighting		
(4)	Fixture Power and Efficiency	Condition
	Maximum permitted initial lamp lumens—9.7 lumens per square foot	
	Maximum lamp allowance—44,000 lumens	
	Minimum lumens per watt of energy consumed	
(5)	Shielding	
(6)	Lighting Uniformity	
	Lighting across a horizontal surface shall have an average range from one to three footcandles <ul style="list-style-type: none"> • Proposed Parking Structure lighting Photometric Plan has been provided for the interior of the structure, but not for the site. • Footcandles range from a low of 1.3 at the perimeter of the parking structure to a high of 7.6 at the central ramp. 	Condition
(7)	Light Trespass	
	Light generated on site shall not add more than one footcandle to illumination levels at any point at grade level 10 feet beyond the property line. <ul style="list-style-type: none"> • No Photometric information has been provided for the site. 	Condition
(9)	Light Poles	
	Base of light poles in parking areas shall be either flush with grade or mounted on a concrete foundation projecting no more than 36 inches above grade. <ul style="list-style-type: none"> • Proposed light pole base is concrete foundation projecting 24 inches above the finished level of the garage. 	Met
(10)	Wall Lighting	

153.065 – Site Development Standards

Code Section	Requirement • <i>Analysis</i>	Met?
(a)	Decorative wall lighting may be used to provide uplighting, downlighting, or other types of lighting accents. Decorative lighting shall not exceed 900 lumens unless installed and shielded in accordance with 153.065(F)(5)(a). • <i>Lumens, installation method and shielding information needed.</i>	Condition
(b)	Ground or pole-mounted floodlights are not permitted for façade lighting. • <i>Proposed façade lighting is LED surface strip lighting. The proposed mounting method has not been specified.</i>	Condition
(G) Utility Undergrounding		
(1)	In all BSD zoning districts, all utility lines shall be place underground • <i>All utilities are proposed to be placed underground.</i>	Met
(2)	All utility connections shall be kept to the rear or the side of the building, out of view or screened. • <i>Electric service enters the Parking Structure at the southwest corner of the building, and on the side/non-street facing elevation.</i>	Met
(3)	Existing above-ground utility lines shall be required to be buried with the provision of new streets, or as otherwise required by the City Engineer. • <i>All existing above ground utility lines are proposed to be buried.</i>	Met
(H) Signs		
	<i>No signs have been submitted.</i>	N/A
(I) Walkability Standards		
(2)	Walkability Objective: Connectivity	
(a)	Mid-block Pedestrianways. Are required on all blocks exceeding 400 feet in length. • <i>Block is 379.81 feet in length.</i>	N/A
(4)	Walkability Objective: Comfort and Convenience	
(a)	RBZ Treatment: All areas between the front and corner side property lines and the back of the RBZ or setback not occupied by a building shall be treated with either a landscape, patio or streetscape treatment as required by building type. 1. Where necessary to provide adequate sidewalk width in areas expected to have high volumes of pedestrian activity, a streetscape RBZ treatment may be required by the required reviewing body. • <i>To be determined. Foundation planting requirement not met. Streetscape treatment extends to property line, with sod lawn and 18 inch planting bed in the remaining area between the property line and the foundation.</i>	Waiver
(b)	Building Entrances 2. A principal building entrance shall be on any principal frontage street or the front façade of the building. • <i>A Principal Entrance is provided on the north elevation of the building—the front façade.</i>	Met



BOARD ORDER

Architectural Review Board

Wednesday, July 26, 2017 | 6:30 pm

The Architectural Review Board took the following action at this meeting:

**2. Downtown Dublin Parking Garage
17-075CU**

**75 N. High Street
Conditional Use**

Proposal: To permit a parking structure within the BSD Public District in Historic Dublin.

Location: The site is approximately 250 feet northwest of the intersection of N. High Street and North Street.

Request: Review and recommendation of approval to City Council, as the required reviewing body, for a Conditional Use under the provisions of Zoning Code Sections 153.066 and 153.236.

Applicant: Paula Miller, CFO, Columbus Metropolitan Library; represented by Dana L. McDaniel, City Manager, City of Dublin.

Planning Contact: Jennifer M. Rauch, AICP, Planning Manager

Contact Information: (614) 410-4690, jrauch@dublin.oh.us

MOTION: Ms. Stenberg moved, Mr. Leonhard seconded, to recommend approval to City Council for a Conditional Use with no conditions.

VOTE: 4 – 0

RESULT: The request for a Conditional Use was recommended for approval to City Council to permit a parking garage that is not lined by occupied space along the street frontages.

RECORDED VOTES:

David Rinaldi	Yes
Shannon Stenberg	Yes
Everett Musser	Yes
Jeffrey Leonhard	Yes

STAFF CERTIFICATION

Jennifer M. Rauch, AICP
Planning Manager



**2. Downtown Dublin Parking Garage
17-075CU**

**75 N. High Street
Conditional Use**

The Chair, David Rinaldi, said the following application is a request for a Conditional Use to permit a parking structure within the BSD Public District in Historic Dublin. He said the site is approximately 250 feet northwest of the intersection of N. High Street and North Street. He said this is a request for a review and recommendation of approval to City Council for a Conditional Use under the provisions of Zoning Code Sections 153.066 and 153.236.

Jennifer Rauch presented an aerial view of the site as well as the proposed site plans. She reported the Basic Plan Review was approved in April 2017. She explained the request for a Conditional Use is due to the Zoning Code that requires a parking garage to be aligned with occupied space along street frontages. She stated the proposal is to permit a parking garage that is not lined by occupied space along the street frontages, as is required by Code. She said the garage site has frontage along three public rights-of-way: (future) Rock Cress Parkway, North Street, and (future) Franklin Street extension. She explained the required location for occupied space would decrease the number of spaces, which is one of the main goals of this public parking garage.

Ms. Rauch reported the Administrative Review Team (ART) made a recommendation of approval for the Conditional Use with no conditions. She stated the recommendation of approval is recommended to the City Council for final review and determination.

The Chair invited comments from the public [Hearing none.] The public portion was closed and the meeting was opened to discussion by the Board.

Motion and Vote

Ms. Stenberg moved, Mr. Leonhard seconded, to recommend approval to City Council for a Conditional Use with no conditions. The vote was as follows: Mr. Musser, yes; Mr. Rinaldi, yes; Mr. Leonhard, yes; and Ms. Stenberg, yes. (Recommended for Approval 4 – 0)

**3. Historic Dublin – BSD Code Amendment
17-052ADMC**

**Historic Dublin
Administrative Request – Code**

~~The Chair, David Rinaldi, said the following application is a request for Amendments to Sections 153.058, 153.059, and 153.062 of the Bridge Street District Zoning Code. He indicated these revisions address the structural components to the BSD Zoning Code to add a new district and to address building type requirements for the Historic Cottage Commercial building. He said this is a request for a review and recommendation of approval to the Planning and Zoning Commission regarding proposed amendments under the provisions of Zoning Code Sections 153.232, 153.234 and 153.066, and the *Historic Dublin Design Guidelines*.~~

~~Nichole Martin said she has prepared a consolidated presentation of the Administrative Request for Amendments to the Zoning Code as well as Rezoning to permit a new zoning district – Historic South as one case cannot really stand without the other.~~

~~The Chair introduced the other case below, which is combined with the case 17-052ADMC for purposes of review.~~



RECORD OF DETERMINATION

Administrative Review Team

Thursday, July 20, 2017

The Administrative Review Team made the following determination at this meeting:

**5. Downtown Dublin Parking Garage
17-075CU**

**75 North High Street
Conditional Use**

Proposal: To permit a parking structure within the BSD Public District in Historic Dublin.

Location: The site is located approximately 250 feet northwest of the intersection of North High Street and North Street.

Request: Review and recommendation of approval to the Planning and Zoning Commission for a Conditional Use under the provisions of Zoning Code Sections 153.066 and 153.236.

Applicant: Paula Miller, CFO, Columbus Metropolitan Library; represented by Dana L. McDaniel, City Manager, City of Dublin.

Planning Contact: Jennifer M. Rauch, AICP, Planning Manager; (614) 410-4690, jrauch@dublin.oh.us

REQUEST: Recommendation of approval to the Planning and Zoning Commission for a Conditional Use with no conditions.

Determination: The Conditional Use was forwarded to the Planning and Zoning Commission with a recommendation of approval.

STAFF CERTIFICATION

Vince A. Papsidero, FAICP
Director of Planning



Ms. Martin reported the City of Dublin is sponsoring this application to rezone 25 parcels (and portions of parcels) to the new BSD Historic South District.

Ms. Martin presented the Proposed Zoning Map, showing the existing and proposed BSD zoning districts. She stated the new BSD Historic South District will be applied to land generally along S. High Street, south of Spring Hill and north of John Wright Lane. The proposed Zoning Map amendment to the BSD Historic Core, she said, will facilitate implementation of the land use, transportation, and open space objectives of the Bridge Street District Area Plan of the Dublin Community Plan.

Ms. Martin said approval is recommended to the Architectural Review Board for an amendment to the Zoning Map for the inclusion of the Historic South Zoning District.

Vince Papsidero asked if there were any questions or concerns regarding this application. [There were none.] He called for a vote, the motion carried, and the Rezoning was recommended for approval by the ART and forwarded to the Architectural Review Board for the meeting on July 26th.

5. Downtown Dublin Parking Garage 17-075CU

75 N. High Street Conditional Use

Jennifer Rauch said this is a proposal to permit a parking structure within the BSD Public District in Historic Dublin. She said the site is approximately 250 feet northwest of the intersection of N. High Street and North Street. She said this is a request for a review and recommendation of approval to the Planning and Zoning Commission for a Conditional Use under the provisions of Zoning Code Sections 153.066 and 153.236.

Ms. Rauch noted the site features:

- Significant grade change across the site, with the largest change from west to east along the northern boundary.
- Existing library building located in the northeastern portion of the site.
- Off-street parking located to the south and west of the existing building.

Ms. Rauch noted future improvements:

- Creation of two new parcels for the library and garage.
- Street network improvements: (future) Rock Cress Parkway along the north, (future) Franklin Street extension along the west, and modifications to existing North Street to the south and N. High Street to the east.
- Future improvements under review as a separate application (17-068PP/FP)

Ms. Rauch stated that additions to the street network will occur in conjunction with the proposed library and parking garage applications; utilities and stormwater management will be addressed as the proposals move forward.

Ms. Rauch said this is a proposal to permit a parking garage that is not lined by occupied space along a public street frontage, as is required by Code. She said the BSD Public District permits institutional use, such as libraries, schools, and parks but stand-alone parking structures require a Conditional Use.

Ms. Rauch said the parking garage is located on the west side of the proposed library building and plaza site, and extends west toward the (future) Franklin Street extension. She noted the garage site has frontage along three public rights-of-way: (future) Rock Cress Parkway, North Street, and (future) Franklin Street extension. She stated the BSD Code requires parking structures to be lined with occupied space along a

public or private street frontage, and parking structures within non-occupied space require a Conditional Use approval.

Ms. Rauch said the required location for occupied space along the north elevation is opposite the Grounds of Remembrance along Rock Cress Parkway, making the addition of commercial uses inappropriate. The incorporation of commercial uses along the future extension of Franklin Street and North Street she said would decrease the number of spaces available for parking, which is the main goal of this public parking garage.

Ms. Rauch added that Code requires 151 parking spaces for the library; the proposed garage indicates 549 parking spaces. However, as part of the development agreement, she explained the library will be allocated 200 spaces - the remaining spaces will be public parking. She noted that ADA parking spaces are located at key locations on the first two levels, including the northwest corner of the garage to accommodate users of the Grounds of Remembrance.

Ms. Rauch said approval is recommended to the Planning and Zoning Commission for a Conditional Use with no conditions.

Vince Papsidero asked if there were any questions or concerns regarding this application. [There were none.] He called for a vote, the motion carried, and the Conditional Use was recommended for approval by the ART and forwarded to the Planning and Zoning Commission for the meeting on August 10, 2017.

ADJOURNMENT

Vince Papsidero asked if there were any additional administrative issues or other items for discussion. [There were none.] He adjourned the meeting at 2:45 pm.

As approved by the Administrative Review Team on August 3, 2017.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

June 12, 2017

Page 11 of 17

Ms. Alutto stated that, from a business perspective, this provides some flexibility for what is replaced on a property, but there still needs to be some monetary flexibility so that, as Ms. Salay expressed, businesses will not come forward requesting waivers.

Ms. Amorose Groomes stated that, with the change from a 2.5-inch caliper tree to a 1.5-inch caliper tree it is true that in five years the 1.5-inch tree will have grown larger than the 2.5-inch tree. However, when shopping for a 1.5-inch caliper tree, there is potential to find many container-grown trees. There are inherent challenges with the long-term benefits of a container-grown tree versus a field-grown tree. She would prefer something in the policy to preclude some species-specific container grown trees, particularly the tap root system kind of trees such as oak trees. The root system has been compromised if it has been grown in a container. She also expressed her concurrence with limiting the percentage of 1.5-inch caliper trees and noted that it would be good to give percentages for two inch and perhaps 2.5 inch, and continue to explore options.

She inquired about the species, genes and family terms as used in the policy.

In response, Mr. Krawetzki stated that the family refers to the full species such as oaks.

Mayor Peterson suggested staff work through some of these issues and questions that have been raised, using whatever expertise is needed.

Ms. Husak suggested that the policy could be referred to the Community Development Committee.

Vice Mayor Reiner agreed with Ms. Amorose Groomes that a two-inch tree may be preferable, and that potted trees can dry out quickly.

Ms. Amorose Groomes stated she would be willing to participate in any discussion regarding this policy. She also would like the opportunity to assist in cleaning up how terms are used within the proposed policy.

Mr. Lecklider mentioned that a PZC member raised the issue about fees. Perhaps this aspect should also be revisited in the Committee review.

Mayor Peterson inquired how best to advance this policy while addressing all questions and concerns of Council.

Vice Mayor Reiner stated that staff has enough information to incorporate suggestions and make some revisions.

Ms. Salay stated that given the expertise on Council in this matter and taking a creative approach in the interest of saving trees, the best place to work through the issues is at the committee level as suggested.

Mayor Peterson moved to table this item and refer it to the Community Development Committee for further review.

Ms. Alutto seconded the motion.

Vote on the motion: Mr. Lecklider, yes; Ms. Alutto, yes; Mayor Peterson, yes; Ms. Salay, yes; Vice Mayor Reiner, yes; Mr. Keenan, yes; Ms. Amorose Groomes, yes.

Historic District Parking Garage - Cost and Capacity Update

Mr. Foegler referenced the memo that was provided to Council. With the memo, staff hopes to provide to Council:

- a history of how the cost and capacity was originally determined;
- context to the project by providing information to Council regarding what parking garages cost and the different things that affect efficiency for garages; and
- the cost estimates for the two facades that Council will review at this meeting.

He noted that:

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

June 12, 2017

Page 12 of 17

- The CIP originally included a 450-space allocation as a number of spaces when the analysis was done early on by Walker who was retained by the library, working with NBBJ to determine what would work on the site. It was all very preliminary and the site had not been configured.
- When the street and other elements were established as well as a schematic design, the number of spaces expected increased to be 549 spaces. This was about 100 spaces more than had been included in the capital plan, so there is a cost increase associated with the additional spaces.
- Staff provided cost implication and different scenarios if this were value engineered in a meaningful way, what kind of things produce different cost adjustments. Staff laid out the main scenarios that provide the most meaningful level of adjustments on the project.
- There were also elements that were examined for various cost savings. The higher and most efficient level of cost savings really only occurs if the most radical space reduction option is pursued, that being the elimination of the fourth level of the parking garage. Staff, the CML team and the various planning and design consulting teams believe that the four-level garage (as proposed) is appropriate for this site.
- The cost implications include the 2017-2021 Five-Year CIP programmed \$10 million of City funds for the construction of the parking structure, with an additional \$1.083 million in funding from CML. It was anticipated that the construction of this garage would be funded through the issuance of long-term bonds in 2017. The additional 100 spaces requires a larger investment of about \$1.7 million by the City than what is currently programmed in the CIP. There will be additional costs of the façade; the amount is dependent upon which façade Council selects.

The purpose of the information provided to Council was to update the information and explain the cost implications of the additional spaces. Staff recommends that Council pursue the 549-space garage.

In response to Vice Mayor Reiner's question regarding current number of library parking spaces, Mr. Foegler stated there were about 100. He added that in terms of the school parking lot, that parking allowed by the Schools is year-to-year and can be cancelled by the Schools. Therefore, if the Schools ever determined that they need that parcel, that surface parking would go away. With the parking garage, the City would have 349 public parking spaces, as 200 are reserved for the library.

Ms. Salay inquired about the number of parking spaces in the school lot.

Mr. Foegler responded that a fair estimate would be perhaps 60-80.

Ms. Salay asked if staff has information about the number of spaces in the Darby Street lot.

Staff did not have this information at hand.

In response to Mayor Peterson's question regarding the parking needs downtown, Mr. Foegler stated that the consultant will be providing feedback at the scheduled Council workshop on June 19, regarding the flexibility gained with those surface lots. Parking structures free up sites for development in terms of demand. The garage represents future demand and future development.

Mayor Peterson stated that his concern is that in viewing the two buildings --library and parking structure -- the parking structure appears much more ominous than the library. Mr. Foegler stated that the four-level garage is all that Council has seen in terms of renderings. The additional spaces cost more due to the concrete, hard costs, soft costs, but it is the same scale and same location as contemplated.

Ms. Amorose Groomes asked for information about the City's soft costs.

Mr. Foegler responded that soft costs include design fees, construction management fees etc., as laid out in the estimate. Staff will provide the soft cost breakdown to Council.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

June 12, 2017

Page 13 of 17

Ms. Amorose Groomes stated that it is important to remember that the City set out to build a 450-space garage because that is what the needs told us would be required and the goal that was set. She does not want to lose sight of the fact that the City has violated its Code for appearance and height in order to go up to 549 spaces. If by removing the top floor, the result is 400 spaces, a number of problems are solved: no need to violate Code in terms of height; there would be only 50 spots less than the City set out to build; and there would be no need to spend an additional nearly \$2 million dollars. She views this as an opportunity to solve a number of problems. She stated that discussions have been held about the transitioning from other areas and it will help the transition if the garage is not quite as tall. She is hopeful that the City does not have to build more parking, but instead tell the developers that they have to build parking into their structure. She is not supportive of spending the additional money.

In response to Mr. Lecklider's question regarding how to address future parking demand, Ms. Amorose Groomes stated that she envisions self-parking for their facility like the condominium buildings. Absent that, the developer would need to contribute to a fund to build parking.

Mr. Lecklider stated that it is not being suggested that future development will be managed by the addition of 100 parking spaces.

Mr. Lecklider asked about the cost of the Darby lot.

Mr. Foegler stated he did not have the number readily available, but he did want to point out the extreme value of that property.

Mr. Lecklider stated the best possible outcome would be for those surface spaces to go away, the land be developed and the parking spaces available be replaced by the garage. Mr. Foegler stated that it would reinforce its redevelopability significantly. That does not mean that parking rights are provided in the City's new structure to a developer at no cost. The parking structures that are being built are not developer paid for; typically, they are paid by real estate property taxes -- TIF revenues that are being reinvested for parking structures. Obviously, the library is a different scenario. From staff's perspective, even in the long term, if automated driving and other factors begin to reduce the parking demand, that opens up those other sites that have surface parking in a redevelopment and this becomes that supply. If there is a development that occurs, the City will make those parking spaces available under an arrangement it deems appropriate. Perhaps it captures TIF revenue off of that new redevelopment to reimburse itself for the cost of the parking structure.

Mr. Keenan stated that he recalls the Darby lot has about 100 spaces. He believes the most important part is that the Darby lot could be opened up for redevelopment. Having those spaces taken care of at the cost proposed makes sense. The City has been trying to have a parking structure downtown for at least ten years or more.

Mr. McDaniel stated that for an addition \$140,000 a year, the City will have 149 spaces, which he believes is a reasonable price. The other uses for the parking spaces include events, retail, school events, redevelopment etc.

Mr. Foegler added that this is the first municipal lot being funded out of Capital Improvement funds. This concentration of parking in downtown, including the Crawford Hoying parking structures funded through TIFs will open up many future possibilities and maximum flexibility.

In response to Vice Mayor Reiner, Mr. Foegler stated he does not know the exact value of the Darby lot, but is certain it has high value.

Mr. McDaniel stated that staff can assess that per the previous question regarding land values.

Vice Mayor Reiner stated that he agrees future development should fund their own parking, however there are public parking needs in the Historic District.

Mr. Foegler stated that Vice Mayor Reiner brings up a good point that on the east side of the park, there is no parking within the park -- just the on-street parking on Riverside Drive. The parking structures will provide the majority of parking spots for that park.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 8101

Held

June 12, 2017

Page 14 of 17

Ms. Amorose Groomes stated that by doing this massive parking structure in one space, the City is "putting all of its eggs in one basket." This is not distributing parking throughout the District and will not help businesses south of 161. This garage will serve the area north of 161 so there will continue to be parking problems for businesses south of 161 -- largely because they are outside of the walkable zone. If the Darby lot and the library lot were combined today, there are approximately 200 parking spaces. She cannot imagine the school parking lease going away, short of a redevelopment of the school site.

Vice Mayor Reiner stated that parking is key at the entry to the pedestrian bridge for those crossing the bridge. He also stated that for the businesses south of 161, there is hope to see all of that develop in the future.

Mr. Lecklider stated that he respectfully disagrees with this parking garage not serving those south of 161. People will walk farther than this to access their destination and the mindset could change once parking is available.

In response to Ms. Alutto's question regarding the \$16,000 savings representing hard and soft costs, Mr. Foegler stated that was correct.

Ms. Alutto stated that her struggle is with the fiscal perspective. She believes the City is constantly inching over the budgeted numbers with most projects. Perhaps the tax dollars could be saved and used for something else.

Mr. Foegler stated that this is the challenge with capital planning. Before it is even a concept, the challenge is with exactly what is the basis for the City's numbers. Before Council in this discussion were numbers based on a schematic design, which is the first real meaningful number. The decision before Council at this point is the opportunity for enough extra capacity at a good increment, given the challenges of finding additional parking structure sites.

Mayor Peterson clarified that the recommendation by staff is to build what is proposed. Mr. Foegler stated that was correct. Staff recommends that Council build the garage as proposed with 549 spaces.

In response to Ms. Alutto's question regarding why the terracotta piece was included, Mr. Foegler stated that Council had indicated a desire to see options in addition to the metal fin system that had been shown.

Mayor Peterson moved to approve the recommendation for the 549-space parking garage concept, which requires an additional cost investment by the City than originally programmed.

Vice Mayor Reiner seconded the motion.

Vote on the motion: Ms. Salay, yes; Mr. Lecklider, yes; Ms. Amorose Groomes, no; Vice Mayor Reiner, yes; Ms. Alutto, no; Mr. Keenan, yes; Mayor Peterson, yes.
(Motion carried.)

Historic District Parking Garage – Architecture

Mr. Papsidero stated that staff is sharing with Council the following two design approaches for the exterior treatment of the garage. He is seeking a motion or clear direction from Council on which option they would like to pursue.

He introduced Miguel Gonzalez, Project Designer, Moody Nolan to lead Council through the options.

- Terracotta: This alternative option is horizontal in design. The terracotta system is based on a modular five-foot, four-inch terracotta "baguette" (small, convex molding). Three colors are proposed to create a more natural and subtle appearance (white, light grey and middle gray). The colors are meant to complement the color palette of the Dublin library. The baguette pattern starts fairly regular along the east façade facing the library, and slowly starts to become

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

June 12, 2017

Page 15 of 17

more "random" or "natural" as it wraps toward the north, south and west facades.

In response to Ms. Salay regarding the color, Mr. Gonzalez stated that the colors will be more gray and white like the images and will compliment what the library is doing.

- Metal Fin System: It is vertical in design. This system is generated by a twisting metal fin. Each length of fin along the façade is composed of four individual sections that are seven feet in length, for a combined length of 28 feet. There are six variations of the typical seven-foot section, one being flat, and these are combined in different ways to create the patterning along the façade. The patterning is modular and repetitive for constructability purposes, but has enough variation to allow for an appearance that is somewhere between the "man-made" and the "naturally random." The metal fin façade complements the Dublin Library by the use of metal, as well as the proposed color of white.

Ms. Salay inquired about the stairs on the northeast corner, noting they seem so large and dominating.

Mr. Gonzalez responded that the stair height is a function of elevator overrun above the last floor. That is the minimum height that it can be, due to the elevator height.

Ms. Salay asked about the lighting in the parking garage and which of the two materials would look better and help hide lighting fixtures.

Mr. Gonzalez responded that terra cotta would provide a better look.

In response to Ms. Salay's question, Mr. Gonzalez stated that the intent is to have the lighting fixtures installed correctly above the plane of the bottom of the beam, so there will not be as much spill out.

In response to Ms. Alutto, Mr. Gonzalez stated that the metal fins will be more gray in tone versus white.

Ms. Alutto inquired about the paint treatment on the fins and the maintenance required. He noted that the terra cotta's color is baked in like a brick.

Mr. Lecklider stated he prefers the terra cotta. The horizontal treatment is appealing and brings the massing down somewhat.

Mayor Peterson also likes the terra cotta.

Ms. Alutto stated that from a longevity perspective, terra cotta is more reasonable.

Ms. Amorose Groomes stated that her concern is with the transition to the adjacent parcels. She believes that the terra cotta helps to make a transition from a very modern exterior of the library to whatever would come next. Although she is not enthusiastic about the increased cost, it is money well spent in relation to the adjacent parcels and the spirit of the District.

Vice Mayor Reiner stated that he also has concerns with the maintenance of the metal fin system. The cadence and spacing of the terra cotta is a little unnerving. He can support terra cotta, but wants the colors to blend with the other buildings.

Ms. Amorose Groomes stated that the straddle is from the color of the library to the color of the stone across the street. Bridging those two in this palette is critical.

Mr. Gonzalez stated they are still working on the pattern for the terra cotta.

Mayor Peterson moved that terra cotta be used as the exterior treatment of the garage. Mr. Lecklider seconded the motion.

Vote on the motion: Mr. Keenan, yes; Ms. Amorose Groomes, yes; Vice Mayor Reiner, yes; Mr. Lecklider, yes; Ms. Alutto, yes; Mayor Peterson, yes; Ms. Salay, yes.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

April 24, 2017

Page 4 of 30

- **Ordinance 24-17 (Introduction/first reading)**
Amending the Dublin Codified Ordinances to Prohibit the Sale or Other Distribution of Cigarettes, Other Tobacco Products, or Alternative Nicotine Products to Persons Under 21 Years Old. (Second reading/public hearing May 8 Council meeting)
- **Resolution 23-17 (Introduction/public hearing/vote)**
Accepting the Lowest/Best Bid for the Avery/Brand Roundabout Project.
- **Resolution 24-17 (Introduction/public hearing/vote)**
Accepting the Lowest and Best Bid for the 2017 Street Maintenance Program.
- **Resolution 25-17 (Introduction/public hearing/vote)**
Accepting the Lowest/Best Bid for the Frantz/Bradenton Traffic Signal Upgrade.

TABLED ITEMS SCHEDULED FOR HEARING

- Basic Plan Review - Columbus Metropolitan Library, Dublin Branch (Case 17-002ARB-BPR)

Ms. Rauch presented an overview of the timeline for this project:

- On January 10, 2017, the Columbus Metropolitan Library Dublin Branch and Garage previews were introduced to Council. Subsequently, a zoning application – basic plan submission - was made to staff and an informal review was conducted by the Architectural Review Board.
- In February 2017, staff and the Administrative Review Team and design group reviews occurred.
- On March 6, 2017, more detail was provided at City Council's work session.
- On March 9, the Administrative Review Team conducted its review and provided recommendations.
- Public comments on the proposed plans were taken at the March 13 and March 20 Council meetings. Basic Plan applications were tabled by City Council.
- The Basic Plan reviews were rescheduled to the Council meeting of April 24.

The overall review process:

- Because these projects include a development agreement, an optional informal review by ARB was conducted.
- Basic Plan review and approval by City Council, including approval of the waivers requested by the applicant and designation of the required reviewing body.
- Final site plan with details was reviewed by the designated reviewing body.

The current site proposal provides for a 45,560 square foot library in the northeast corner of the site, on the west side of North High Street, between North Street and future Rock Cress. A public plaza area would be located between the library and North Street, and a viewing garden would be located between the proposed library and the proposed parking garage.

The ART recommended approval of the application with eight conditions and eight waivers. As the Site Plan details are developed, there could be additional waivers. At this point, ART recommends approval of the following eight waivers:

1. §153.060(C)(5)(a): Block Access Limitations– No vehicular access permitted on Principal Frontage Street (Rock Cress Parkway) required; Vehicular access provided at northwest corner for service area (requested).
2. §153.061(D)(2): Vehicular Access – No vehicular access permitted on Principal Frontage Street (Rock Cress Parkway) required; Vehicular access provided at northwest corner for service area (requested).

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

April 24, 2017

Page 5 of 30

3. §153.060(C)(2)(a): Maximum Block Size – Permitted Maximum Block Length: 300 feet. North Street: 379 feet (requested); Permitted Maximum Block Perimeter: 1,000 feet; 1,308 feet (requested).
4. §153.062(O)(11)(a): Loading Facility – Loading facilities are to be located to the rear of a principal structure (required); Loading area at the corner side façade along a Principal Frontage Street (requested).
5. §153.063(D)(4)(b): Building Height – Building height limited to 2.5 stories adjacent to the Historic Core District (required); 3 stories at the northeast corner of the building (requested).
6. §153.062(O)(11)(b): Story Height – Ground Story maximum is 24 feet (required); 28.5 feet at the northeast corner of the building (requested).
7. §153.062(O)(11)(a): Front Setback –15 feet required along N. High Street. Proposal: 5 feet is shown at the northwest corner of the building.
8. §153.062(O)(11)(d): Building Type - Street Facades: Number of Entrances Required – 1 per 75 feet of façade for buildings. Rock Cress: 2, 1 provided; North High Street: 3, 1 provided; and North Street: 2, 1 provided.

ART recommends approval of the following eight conditions:

1. That the applicant file a Demolition request, prior to the approval of the Site Plan;
2. That the applicant investigate the use of stone in lieu of brick on the lower portions of the building;
3. That the applicant continue to refine the architectural details and Building Type requirements, as part of the Site Plan;
4. That the applicant update the required parking information and submit a Parking Plan with the Site Plan;
5. That the open space, gateway, and terminal vista details be addressed with the Site Plan;
6. That the applicant provide the final details regarding landscaping, lighting, utilities, and stormwater with the Site Plan; and
7. That the design not require the construction of Darby Street between North Street and Rock Cress Parkway as reflected on the Street Network Map and for staff to update the Street Network Map accordingly.
8. The applicant and the City engage in a collaborative, committee-based process to define a transitional design element that is integrated within the Library's public space, which will be reviewed and approved by City Council with the Site Plan.

Also requested is Council determination of the required reviewing body for future Development Plan Review and Site Plan Review applications (City Council, ARB or ART)

Tim Frommeyer, President, Board of Trustees, Columbus Metropolitan Library, stated that he and his wife have been Dublin residents for 27 years. They have four children, who enjoy participating in Library programs. The Dublin Library and its staff are outstanding. The Library Board of Trustees and leadership have been excited about this project. The Columbus Metropolitan Library is in the second half of its program to fully renovate 10 of its 23 library branches. To support this program and vision, it was necessary to raise \$135 million. This was accomplished by issuing financing notes and by soliciting funds from the public. Their program expanded the square footage, adds

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form #101

Held

April 24, 2017

Page 6 of 30

community space and meeting rooms, expanded computer and internet access and provided training programs for children, teens and adults. They have built these libraries considering today's demographics and how they will change in the future. The communities -- its leaders and customers -- have fully supported their united efforts. Their libraries and the library leadership have received local, national and international recognition and awards. Dublin is one of their signature projects. They recognize the passion of the Dublin community. This project is necessarily very complex. Their engagement and partnership with the City at each step has been very active and participative. The project is now at the point of moving forward so that certainty of timing, scope and cost can be established. Their request tonight is that City Council approve the Basic Plan. This library will be a civic highlight for Dublin residents today and in the future.

Pat Losinski, CEO, Columbus Metropolitan Library stated that Columbus Metropolitan, among all urban libraries in the nation, been designated the #1 Library three times in a decade, and is the only urban library to receive five star rating for the first seven years in their trade publication, Library Journal. In 2010, they were the National Library of the Year, and in 2011, the Library received the national medal from the Institute for Museum and Library Service. That is an asset to the community, as they recognize the caliber of their library system, which is the result of the great support they have enjoyed for many years. This August, they were able to host the World Library Information Congress. The nine guiding principles of the Library have provided guidance throughout the design and master planning process, which began in 2008 and included representatives of Dublin. [Showed slide presentation of the proposed new Dublin Library branch.]

Mr. Losinski stated:

- They have heard feedback that the new library is imposing from the northeast corner. They want to recognize the significant grade change and the importance of having an access point in the northeast corner, which will greet residents who come over from the pedestrian bridge.
- In response to Council's request, the height of the building has been lowered three feet, and it is in line with the other buildings on the same side of High Street.
- Also discussed was the possibility of transitioning from the originally proposed brick to a stone base material.
- They have also been looking at transition materials for the sidewalk, particularly the plaza area.
- A historical transition element will also be added.
- Ten days ago, they were notified that the American Institute of Architects and the American Library Association had announced their seven award-winning libraries for 2017, one of which was the Columbus Metropolitan Whitehall branch. [Showed images of the seven award-winning libraries.] He noted that a renovation to the east side of the main library downtown has been completed -- moving from three stories of concrete to three stories of glass. Libraries are moving from housing collections only to making important connections, and Columbus Metropolitan has the ability to do just that in Dublin.
- Tonight is the Basic Plan review of the Library. Fund-raising conversations are beginning, and design completion is anticipated in the summer of 2017. They are actively seeking a temporary location for the library, which will be maintained during construction. If the Basic Plan were approved tonight, construction would begin in November 2017 with an opening of the new library in 2019. Construction would be coordinated with the joint effort for construction of the parking structure, which is a great example of two public entities partnering to accomplish much more than either could do alone to serve the community.
- The City of Dublin seal displayed on Council Chambers wall states, "Where yesterday meets tomorrow." They believe their library represents tomorrow.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

April 24, 2017

Page 7 of 30

A.J. Montero, NBBJ partner, highlighted a few specific features that have been discussed recently.

- There have been some adjustments to the design. The design challenge has been moving from the existing library building on a larger site to a larger building on a smaller site. Libraries today are less about the assets, although books are still vital. Libraries are also about collaboration and team learning. This library will be both a place for books and a place for people. Moving from an introverted to an extroverted building was the goal. Libraries have always been ahead of the curve, not only in seeking knowledge but also in how that knowledge and interaction is contained. Early on, NBBJ tried to pair the Library's guiding principles and the City of Dublin's aspirations for the Library. Dublin has a revered past but also a compelling future. This library attempts to be a part of both.
- They have heard feedback that the Library should seek to be more responsive to the context; that it should use materials that exist in close proximity. The changes made to the design recognize those important factors. The surroundings to this site have beauty, character, materiality and a landscape befitting this library, as well. It is impossible to mimic those elements in quaint, smaller buildings in this large facility, but they desired to appropriate some of those elements into this design. They are investigating all those elements in terms of materiality. A stone base will be in keeping with the character of the original design and they will work with the City to determine exactly what that stone masonry material might be.
- There should be more understanding that the Library is a transition point, not a total break from old to new. The library is literally a transition point from the older neighborhoods and their materials. Through landscaping and the placement of the building, the Library will be the perfect launch point to the new development in the area. In fact, the Library is closer to some of the new development. The plaza area to the south of the Library would be the best area in which to incorporate an historical element, as a transition from north to south occurs in that plaza.
- Add a signature historical transition element. They look forward to collaborating with the City in this attempt to establish a strong visual connection or transition between Dublin's historical identity and its dynamic future. That collaborative process would include Council, other members of City government and the public.

The Mayor invited public testimony.

Kris Hickey, 6872 Gullway Bay Drive, Dublin, OH 43017 shared her thoughts on the design of the new building.

1. Historic Dublin has deep meaning to her and her family. Her mother taught at Indian Run Elementary for more than 30 years. When she and her sister helped her in the classroom, they would be rewarded with a trip to Biddies. When Biddie's closed its doors for good, that was painful for her. Therefore, she can understand that members of the community are emotional about the changes occurring in Historic Dublin. Change is difficult, and the new design is different. However, she believes this design is the right direction for the community.

2. In the interest of full disclosure, she is an employee of the Whetstone branch of the Columbus Metropolitan Library, and previously assisted in the opening of the Whitehall branch – the second building built in the Library's 20-20 vision plan. She witnessed first-hand how much the customers liked the modern look and ambitious design. Similarly, the design of the new Dublin branch provides a large building, full of natural light. The new Northside branch will open in June. She recommends that people visit one of Columbus Metropolitan Library new branches, preferably in the evenings, when the communities' families utilize these libraries – they are vibrant spaces. She had hoped that the design for the new Dublin branch would also have clean lines and plenty of natural light, and it is everything she had hoped it would be.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

April 24, 2017

Page 8 of 30

3. She moved back to Dublin eight years ago. Dublin's schools are the best, and the community offers many activities and a fantastic Recreation Center. The "Dublin Difference" means that our children receive the best start in life so that they can accomplish great things. The young mind strategy of Columbus Metropolitan Library states, "We create a foundation for a successful life." The Library's values match this community's values, and we need a library building that matches our vision. When her 12-year old saw the library design, she responded, "That's a library? That's awesome!"

Jerry Kosicki, 4313 Wyandotte Woods Drive, Dublin, OH 43016 stated:

1. Sometimes a relatively few loud voices create the impression that they speak for everyone. The manner in which the public debate regarding the Library has shaped is an example. When CML unveiled the design, there were grumblings on social media and Council received citizen emails and calls.

2. As he, Chris Cooper, Kris Aldemie and Andrew Graham watched this unfold, they realized that the other view on the Library issue was not being presented. They started a petition on Change.org for people who liked the proposed design. They wanted to challenge the false impression that the Dublin community as a whole was opposed to this contemporary library project. In just over four weeks, 506 people have signed the petition in favor of a contemporary library. That is 56% more than the critics of the project collected in 12 weeks. That suggests that a greater number of people support the library project. These expressed opinions of Dublin community members should serve as important data for Council's decision-making. They do fully understand that the decision is ultimately Council's, as the community's elected officials.

3. Council's considerations will include their longstanding Council goals and priorities; economic development needs of the City; the well-being and intellectual advancement of Dublin's citizens; the needs of the business community; the health of the City's continued partnership with CML. In addition to those considerations, he believes Council will also want to consider the fit of the project with the City's vision for the redevelopment of the Bridge Street District, including Bridge Park East and West and the pedestrian bridge. Those criteria support going forward with the Library project. The project is too important to the City and community to be decided on narrow criteria, such as personal aesthetic tastes and preference of a small number of individuals.

4. Rejecting this proposal may lead to a number of unintended, negative consequences for future development. He hopes Council will agree with many Dublin residents and approve this strategically significant Dublin library. The entire community will benefit for years to come.

5. As a long-time Dublin resident, over the years he has seen a transformation of a decrepit strip shopping center and the declining golf driving range into an exciting development at Bridge Park East. This positions the City well to remain an economic and intellectual powerhouse in the coming decades. As some consultants pointed out at Council's recent work session, the amount of high-quality development that has been accomplished so quickly is astonishing. That suggests that the City's forward-thinking and strategic planning efforts have been successful. The upcoming pedestrian bridge project will unite the areas east and west of the river and encourage the economic revitalization of the Old Dublin area, as well -- a very big priority for Council. Considerable private investment leveraged by substantial but relatively modest and affordable public investments have made this ambitious vision become reality. We all benefit from this. The buildings nearing completion on the west side of the river will fit perfectly with the proposed library design. He asks that Council support this strategically important library project. The positive benefits will be experienced by the residents well into the future.

Andrew Graham, 5678 Duddingston Drive, Dublin, OH 43017 thanked the Columbus Metropolitan Library for their work. He realizes that they have devoted many resources to this project. He is in favor of this current library design. He believes in the preservation of Historic Dublin, but how that is achieved is the question. The images of the libraries shown in the presentation tonight show that the blending of modern and historical buildings can be done beautifully within the most beautiful capitols of Europe -- London, Paris and Madrid. He likes the design concept incorporating stonework. We live in the 21st century, and we need to build buildings that reflect that. The current library is woefully inadequate for the size of Dublin; it needs to be expanded. There is also a

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

April 24, 2017

Page 9 of 30

serious parking problem in Dublin that is only going to be exacerbated by the increased development. For that reason, he likes the idea that the library and the parking garage will be constructed simultaneously. He asks that Council approve this project.

Linda Childs, 5382 Crossing Lane, Dublin, OH 43016:

1. Thanked Council for all their work. She moved here to be near family and because Dublin has zoning laws. Unlike other areas, in Dublin gas stations are not built next to an apartment building. When she moved here, she left a 115-year old house, so she understands the difficulty in trying to determine how to update a lovely area of Dublin. She loves the current library in Dublin. It is easy to use and is in a beautiful setting. However, she understands that a new library is needed.

2. However, it seems that they are trying to build a convention center, not a library. Rock Cress Parkway is also a concern. The proposal seems to be for a library, a parking garage and another major road that are tightly coupled. Is it possible to build the library without Rock Cress Parkway?

3. The proposed road has received significant negative response, because it would extend through the Indian Runs Falls Park. Does the EPA permit the road to be constructed in that location? The school property with its existing two schools is in this location. Is it worth building a road, which would end at Franklin Street, unless all these other problems are resolved? Referring to her 115-year old house analogy – changing one thing usually leads to a need to replace other things. She does not have as much concern with the large library or even the garage, which could have an attractive façade, as she does with Rock Cress Parkway. The City will be spending a significant amount of tax revenue for this road, which may end at Franklin Street forever. As she suggested to Ms. Groomes in an email, without Rock Cress Parkway, a better transition for the project is possible.

4. In summary, she moved to this community because of its zoning laws. With this proposed project, she sees many exceptions being made, and many other issues created. She requests that Council closely evaluate the requested exemptions. She would prefer that the Library be required to meet Code requirements, even if it means the project has to be tweaked.

Kris Aldemie, 4337 Oak Wood Court, Dublin, OH 43016, stated that she has lived in many old cities throughout the world, including Istanbul, Paris and Milan. She has observed new buildings added where there are old buildings in a complementary manner and blend well. She appreciates that Dublin is using NBBJ, a local company that is first class and world known. She appreciates that this project will anchor the east and the west in Dublin and complement the old and the new. In 2002, she observed the work done by NBBJ in renovating the Beijing Hotel, which is an historical hotel. She has full faith that NBBJ will do a fantastic job in Dublin, providing the same high caliber of work.

Nancy St. Clair, 6164 Karrer Place, Dublin, OH 43017 stated she takes the opposite position on this issue. She and her family have lived on Karrer Place for 32 years. They love being adjacent to the Historic District and the fact that the library is a short walk from their home. They use the library often. Initially, she was very excited to hear that Dublin would have a new library building, but then was very surprised to see the rendering of that building and its radical departure from everything occurring in the Historic District. She has seen many changes over 32 years and believes Dublin has done a great job with redevelopment. A perfect example are the buildings along Bridge and High Street. She knows those buildings have only been there a few years, but visitors think that they have been there for many years and have been well maintained. That is a success story. It shows that new construction can respect what is around it, and that is what has given the Historic District a sense of unity and harmony that is special and should be preserved. She has no issues with contemporary design. That design would be wonderful on the other side of the river. However, she does believe that if the proposed building is built in the Historic District, it will be a jarring and discordant presence. She understands that the easiest path is to just approve this and move on, so that the schedules can be maintained. Before she came tonight, she looked at a City of Dublin document, "The Historic Dublin Design Guidelines." Those guidelines state under the heading of new construction that "the successful design of new buildings take

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 8101

Held

April 24, 2017

Page 10 of 30

important queues from what exists around them. The most appropriate designs for a new building make an effort to fit in visually, and new construction must be compatible with the existing historic setting." This building does not meet those criteria. So her question to Council is, why do those guidelines not apply to this project?

Amy Kramb, 7511 Riverside Drive, Dublin, OH 43016 stated:

1. Although Columbus Metropolitan Library has worked with City staff for years on this design, it was only recently brought to the public view. She is very disappointed in the applicant's lack of interest in the local Dublin citizens' views. This application has been tabled twice over the last month under the guise of considering Dublin citizens' comments. Although time has been allowed for comments, those comments have not been addressed.

2. The exterior of the building before Council tonight is exactly the same as that presented in January. It makes little difference if the brick is changed to stone in one or two locations, when the overall design does not meet Dublin's existing Code. The applicant has disregarded the public's comments and City Code, but City Council should not.

3. City Council is elected to be the voice for all of its citizens and to protect the voters' interests and the taxpayers' money. City Council has a duty to uphold the City's standards and values in the Code. That is why Council should deny all the waivers that are being sought tonight by the applicant, and at a minimum, require the applicant to meet the Code without the waivers. If that requires the applicant to make tweaks to the design or delays their schedule, so be it. Council needs to stand strong, abide by the Code and deny these waivers. The application before Council tonight does not meet Code, as evidenced by the numerous waivers requested, and Planning staff has indicated more waiver requests may follow. Council, staff and citizen volunteers have spent years developing the Bridge Street Code. That Code was created to ensure high standards and that growth and new development would be compatible with existing Dublin. This Code was set as the minimum requirement to which applicants are held. Often, Council and its boards and commissions have required applicants to go beyond what the Code requires.

4. Tonight, the applicant requests waivers for block length and perimeter, for ground story height, building stories, setback and more. The Planning report minimizes the significance of the ground story height and the building story waivers by suggesting that it is only the portion of the building on the northeast corner. The northeast corner is the most prominent portion of the building. It is what is viewed as a driver travels south on Dublin Road and entering the Historic District. It is the first thing that is seen, and at street level, it will be the highest point that pedestrians will pass – a very tall façade is not pedestrian friendly. This is a very important requirement of the Bridge Street Code. When the highest point of this building is next to the Grounds of Remembrance and the pedestrian environment – that requirement should not be minimized.

5. The applicant has made it clear that they do not want to redesign this building, so they need these waivers. However, the Code has review criteria for granting these waivers, and the applicant fails to meet the review criteria. These waivers are not being sought because of unique conditions or circumstances beyond their control. It is because they do not want to re-design it. Four or five of the waiver requests completely fail. It is unbelievable that the City would consider requesting waivers of its Code for its own garage. The City is paying for this garage, is responsible for designing it, and yet asking to not follow its own Code – that sets an extremely bad precedent. The Bridge Street Code is still new and the City should not be making all these exceptions and granting all these waivers. At a minimum, the applicant should be held to the existing Code, which the plan before Council tonight fails. Considering the level of public interest in this project and the controversy surrounding the applicant, regardless of your position, these requests should not be taken lightly. She requests that Council deny all the waivers.

Tony Gugliemotto, 5693 Lismore Court, Dublin, OH 43017 stated that he has been a resident of Dublin for 21 years. His family has used the library thousands of times. When Dublin's historic buildings were built, someone was forward thinking. With regard to this library, it will be a beautiful juxtaposition to the historic part of the town. In other cities, it is a delight to the eye to see what was and then, what is. He asks that Council

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

April 24, 2017

Page 11 of 30

consider approving a project that will be worthy of being a historic marker 100 years from now, as are the existing historical buildings.

Claire Wolfe, 5521 Indian Hill Road, Dublin, OH 43017 stated that she has been a Dublin resident for 44 years, moving here when Dublin was a village. There have been innumerable changes in the last 44 years. Dublin is no longer a village. They have liked some of the changes and not others. However, she believes the new library design is wonderful. It provides an excellent transition. The south part of Historic Dublin is beautiful; the north part is not. The library transitions to the new architecture on the east side. She likes the design as presented.

Linda Rudy, 129 S. Riverview Street, Dublin, OH 43017 stated:

1. The proposed library is a beautiful building. The problem is the size and character of the two structures on the current library site. It has been said many times that modern and historical structures can co-exist, but in what manner? Instead of honoring the surrounding area and its charm, this design imposes in a way that detracts from the environment. The stated architectural intent of dominating the Historic District is explicitly arrogant and wrong for the District. By contrast, the existing library, although an updated library is needed, has been a part of the District and a very good neighbor. "Tomorrow" needs to be across the river. There has been an attempt to talk about transition, but there is no room for any real transition between old and something so modern.

2. There are ways to address the District's parking issues without a parking garage. As a resident, she has noticed that any time of day or evening, there are plenty of parking spaces available, if some sort of cooperation were forged. At any rate, the garage need not be so large, tall or modern. She and her husband recently saw some great examples in Yorktown, Virginia – a community concerned about historic preservation -- and they can furnish pictures upon request.

3. The Columbus Metropolitan Library's need for more space is falsely conflated by all its proponents with the contextually jarring design and institutional scope creep that is proposed. An architecturally interesting, but not imposing, CML 2 design could easily arise from a competitive process with public input or voting. There are ways to have an iconic building that is a work of art itself, while still honoring, or even celebrating the District's history and character. This could be done by mimicking scale and roof lines that exist in the District, even while employing more modern materials, like glass and metal and combining with stone, brick etc. in creative ways.

4. Many people would like to see the library remain where it is. If so, the site is simply not conducive to being a large community center with a café and lots of gathering and entertainment options in a walkable district that already has an array of coffee shops and restaurants. The library should complement that, rather than compete with them. The new style of libraries that the architect has described in these meetings may have a greater need to be all things in order to attract foot traffic, because libraries often are not situated in a district such as Dublin's that already offers those amenities. CML is evincing a mis-use of recently approved tax levy funds by expanding the library's scope to include civic center functions – a classic case of "scope creep." The money should go to the facility – not to a palace, staff, salaries and actual materials.

5. The Bridge Street Corridor is a large canvas with other choice locations for a new community center, even one that enhances rather than detracts from its surroundings by drawing attention to itself. Perhaps that was the goal of being iconic. Some of these other sites would be quite walkable to the Historic District. Earlier plans for the Bridge Street corridor showed a civic center just across the river, which would have provided access and drawn the public to the river bank, and could have been quite accessible to the Historic District via the pedestrian bridge.

6. The Columbus Metropolitan Library must obey the laws as they stand, not as they or Council desire them to be. For decades, every other business and property owner has been made to submit to the existing guidelines, down to choosing color from an historic palette. Once the Historic District is fundamentally transformed, we can never get it back. The Dublin Historic District has been a labor of love that the public wants to see preserved. This is not simply about a library, but its impact on everything else around it. We can continue the infill development of the Historic District in a positive way with appropriate, sensitive designs for both the Garage and the Library.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

April 24, 2017

Page 12 of 30

7. City Council might have an easier time if it pursued true, informed public input before advancing too far with projects like these. She has to believe that such input has not been pursued in a real way, when she witnesses the incredulity people feel with putting this design right in the Historic District. A different site, a different vision, perhaps a different architectural firm that a different signature style could have been more conducive to the type of legacy a body of true elected public officials would wish to leave, not to mention fewer delays, less money wasted and better publicity.

Scott Haring, 3280 LilyMar Court, Dublin, OH 43017, stated that his residence is off of Martin Road, which is a very walkable location to the Library.

1. He is so glad to hear some of his comments stated by others tonight, including, the question of why we have laws? In 20 years, he has attended many Planning and Zoning Commission (PZC) meetings and Council meetings on all sorts of developments and projects. He has seen many people interrogated and sent back to the drawing board multiple times. There was the grocery store example, where there was an argument over the color of the panels on the gasoline pump. In very broad view, this site has an existing library and that is an approved use.
2. It is great that a new library is proposed, but he is concerned to hear about the eight waivers requested. There have been some genuine concerns on other projects in the past, which are typically related to geography or hardships. However, he doesn't see any hardships in this case and the exemptions should be denied. One of the slides shown indicated "proposed" 41,000 square feet." Perhaps it is not possible to accommodate a 41,000 square foot building on this site. He believes the appropriate answer is to say "no" to all these waivers, not for this building on this site.
3. The design is not appealing to him at any location. However, he did attend a meeting several weeks ago, where approximately 15 people spoke and said that they did not object to the design, but not in this location. That was the consensus view. At that meeting, there was a lot of discussion about this landing point and being close to the bridge. There might be another site that is available in the future at the end of the existing bridge and on the circle – the old Wendy's parcel, which the City purchased to help facilitate construction of the traffic circle. Others have also suggested putting the library on the other side of the river. Perhaps a funky design like this library on two acres with a graded hill and some parking decks is possible. However, the project proposed for this site does not match the spirit of Dublin's zoning laws. Significant waivers, as those requested, seem unnecessary. Reference is made to a transition occurring, but three trees, a little monument and a change of pavers serving as a transition from historic to this is insufficient.

Garrick Daft, 21 Indian Run Drive, Dublin, OH 43017, stated:

1. He would likely be the most impacted by this new library design, given his property's location. He does not have objections to the design. It is cool, but not iconic, and it is in the wrong place. It should be on the east side of the river. There is plenty of land on the other side. This site is likely one of the most valuable pieces of land in Old Dublin, and Council is considering using it for a massive library and massive parking space. It doesn't make sense to him why Council would do that, especially since it will require all these variances. Moreover, it doesn't look right on this site.
2. His concerns, should Council decide to go forward with this is, are with what kind of lighting will be used, and what kind of shielding will be provided for the ravine and the animals in the ravine, and for his property? The current library creates little intrusion with its lights. He would request that some type of barrier be provided; the design looks very reflective to him.
3. He is disappointed with the new condominium development. He was assured at the ARB review meeting, where the developer requested another floor, that the floor would match the level because of the way in which the elevation changes. However, now, the top floor of that penthouse is looking directly into his windows.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

April 24, 2017

Page 13 of 30

4. He believes it would be foolish to proceed with the proposed building on this site, because it is a very valuable location. They could have an even bigger library across the river and could be made even more iconic. CML is trying to limit the new building to the small area that they have in this location. It doesn't make sense, and the four-story parking garage does not make sense in this location.
5. However, if Council does permit this to move forward, he does not believe they should grant so many variances. He also requests that they be respectful to the existing neighbors by providing lighting barrier and by providing more notifications to the neighbors. He just found about this meeting tonight.
6. In summary, the proposed building does not belong on this site, and he believes Council knows that, as well. In this area with little shops where people like to go to dine and meet – it does not make sense to put a massive library in the middle of it.

Michelle Cramer, President and CEO, Cramer & Associates, 555 Metro Place N., Dublin, OH 43017, stated that Cramer & Associates is a fundraising consulting firm. They have been working with nonprofit organizations around the country. She believes that the opportunity to bring this iconic, world-class library to this community is unheard of. She has worked with the Des Moines Public Library and other libraries, and very rarely does a library system hand a community an iconic library such as this one. Typically, the library system asks for a public-private partnership. It is very rare that it is already 100% funded. In addition, as president of the Board of the Dublin Foundation, she wants to express the Foundation's full support of the incredible opportunity for the education of our children. Should the proposed library move forward, they would like to partner with the library system. Mr. Losinski is one of the top three, most respected non-profit leaders in the region, and his, and his staff's accomplishments are remarkable. Dublin is fortunate to have this opportunity. She urged Council to approve the project.

Dave Kirkley, 6025 Holywell Drive, Dublin, OH stated that he is not a fan of the proposed design. He has heard suggestions to move it to a different location. Because of the existing level of traffic in Old Dublin, that would be a good idea. Everyone agrees that a new library is needed, and very grateful that CML is willing to build it. The issue is the design, which he also believes does not fit in Old Dublin.

Council questions:

Mr. Lecklider:

1. Inquired if the proposed library height is 40 feet to the east on High Street. Ms. Rauch responded that the height is 42.5 feet. Mr. Lecklider inquired if, due to the change in grade, the height at the west is 30 feet. Ms. Rauch responded affirmatively. Mr. Lecklider inquired the height of the Bri-Hi buildings at the northwest corner of Bridge and High. Ms. Rauch responded that she does not know the height of those buildings. The applicant provided an appropriately scaled graphic, which Mr. Losinsky had shared. It indicated that the height range is similar to the proposed library building. Mr. Lecklider inquired if the typical peak height in the City's subdivisions is 35 feet. Mr. Rauch responded affirmatively. Mr. Lecklider noted that he was attempting to add perspective. Ms. Rauch responded that Bridge Street is different, as well, due to rearranged floors and stories. In an urban environment, the appropriate ratio is considered, so it is somewhat different.
2. In regard to waivers, he does not recall another Bridge Street project that was approved without waivers. Ms. Rauch responded that there are some projects that have had a significant number of waivers. The purpose of waivers is to be flexible where there is opportunity to be flexible. Mr. Lecklider noted that he recalls that Council contemplated the anticipated waivers with adopting the Bridge Street Code. However, Council is not obligated to approve the requested waivers.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

April 24, 2017

Page 14 of 30

Ms. Amorose Groomes:

1. Stated that the design is a skillfully done example of contemporary architecture. She does not question that. The question is whether this building's architecture is appropriate for this site. The Bridge Street District Vision Statement states that the history of our community has been to preserve and build upon the adjacent historic core. Based on the Code that governs this site, this project is not appropriate. This is the wrong building on the wrong site. The Code changes that occurred nearly four years ago require this body to serve essentially as the ARB. Therefore, she will make her best effort tonight to be a good steward of the rules that govern ARB decisions. She has with her tonight the Bridge Street District Zoning Code. It is a lengthy document that contains a tremendous number of details. It is what has been used to forge the District.

2. Building height - The most egregious item about this building is the 12.5-foot plinth on which it is perched; the entire north edge of the building is raised 12.5 feet above the sidewalk. The public meeting rooms along Rock Cress and North High Street are nearly windowless, with a few random punch-outs. There is an outdoor space adjacent to the kids' area that is also raised 12 feet-6 inches above the sidewalk. All this represents a design approach of an object on a podium, which is the antithesis of the overall intent of the Bridge Street District - not just the Code, but the vision and the intent of the entire District. There are countless references in the Bridge Street District documents requiring projects to be pedestrian-focused, engaged with the street, maximized transparency, etc. -- all of which apply, regardless of what Bridge Street District subarea the project lies in. This project does not do any of that. It completely inactivates the streetscape. In addition to the first floor of the Library having a 12-foot-6-inch floor height, the top level is 14 feet. A typical office building would have a 14-15 feet floor-to-floor height. Additionally, in the renderings, there is no evidence of a parapet. She indicates those facts because she believes this building is going to become significantly taller as the project progresses. She anticipates approximately 6-10 feet will be added to the overall height of the Library by the time the details evolve.

3. Maximum block size - The proposed block size is larger in both directions. What is permitted is 300,000 square feet; what they propose is 495,732 square feet. The City is trying to create a pedestrian-oriented block. There have been extensive studies done on what a walkable block is and the appropriate block size. The City has spent hundreds of thousands of dollars to hire consultants to tell what those numbers are and we included those numbers in the Code. The proposed block is 300% larger than what is permitted by this Code in Section 153.060(C)(2)(a).

4. Principal frontage streets - Code Section 153.060(C)(4) addresses principal frontage streets. One of the requirements is for continuous pedestrian-oriented block faces on the front of the building and toward the public space.

5. Block access configuration - Code Section §153.060(C)(5)(a), and having multiple principal frontage streets. This building has two principal frontage streets - on High Street and Rock Cress. The Code details how those streets should be constructed and the ways in which the pedestrian is engaged with those. Waivers have been proposed for the distance between door accesses and a number of other things, all of which significantly impact the pedestrian experience.

6. Code Section §153.062(D)(3) addresses roof types and in section (b), eaves are encouraged on street-facing facades. In (c) and (d), walls that interrupt the eave are only permitted on one-half of the vertical wall. §153.060(G) indicates that, "Facades shall be designed to follow the story of the building with fenestration organized along and occupying each floor. Floor to floor heights are set to limit areas of the façade without fenestration." On the Rock Cress and North Street facades, this building has very little fenestration.

7. Code Section §153.062(H)(b) states specifically, "highly reflective glass is prohibited".

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

April 24, 2017

Page 15 of 30

8. Council was not provided any sign packages, vent penetrations, or many of the details that she suspects will require more variances. The documents provided reference only to the District's newest buildings; they do not reference any of the historical buildings. The two buildings that are namely referenced in this document are the Bridge & High II project, where Mezzo is located, and the condominium building that is under construction. If Council allows this pattern of only referencing our newest buildings without having any historical reference to the older buildings, we will get further and further away from the historic core that the City values.

9. Council needs to enforce the ARB's historic guidelines. Council needs to enforce all of the guidelines with which every other applicant that has come before any City review body has been required to comply. This project should not be handled any differently.

10. She has heard the comment that this project is 100% funded. However, this is a private-public partnership. The City is subsidizing each of their 200 parking spaces, \$8,000 to \$13,000 per space. The City has a lot of investment in this, and she believes the City deserves to have a voice.

11. There are not many constraints on this building site. There is a topography change, but there will be a topography change on every site that is developed in Historic Dublin. To make these early exceptions to this degree would certainly set a dangerous precedent moving forward.

12. References were made to the Louvre, etc., but the problem with this building is its size and scale. If the carousel glass pyramid that sits in front of the Louvre were 30% taller than the Louvre, she believes people would object. It is the reference to the Louvre itself that makes the pyramid palatable and interesting. This building will be 42 feet at its northeast corner -- 42 feet that is not buffered in any way for those travelling from the north. If the building were tiered down and made to come up to grade, it might be more palatable, but it is not; it comes directly out of the ground at 42 feet on the corner. That is not fitting into a District; that's being obtrusive to a District.

13. It is a lovely building, but she is saddened that the issue of this library has been made one of "all or nothing," because life isn't "all or nothing." Life is about compromise, teamwork, supporting one another, working together and a sense of community. This building doesn't bring a sense of community, or a sense of working together, of respect. It really ignores the process of how we got to this point. The library was before Council in early March and there was talk of "rolling up our sleeves" and working together. There was talk of listening to our community and engagement, but she has seen very little of that to this point. She does not want the choice to be all or nothing. This isn't about whether we want our kids to be able to have a library or not. This is about whether we are going to be respectful of one another, and whether we are going to hold everyone to the same standard. We need to treat everyone that wants to come into Dublin to do business equally. The playing field has to be level. We can't break the rules when we want to. She served on the Planning and Zoning Commission and is aware that City staff spent thousands of hours writing the Bridge Street Code. The Planning and Zoning Commissioners spent another thousand hours reviewing this Code. This body spent hundreds of hours reading through it and confirming that it was the vision desired for this part of our community. This will set a precedent for those who follow in terms of meeting Code.

14. She does not believe that this building cannot be contemporary. There is nothing in the Code that precludes contemporary architecture. Similarly, she does not buy into the idea that creative thought only happens in a contemporary building. Creative thought happens when minds feel free and when they are in a comfortable setting. That comfortable setting is different for different people. The City has some contemporary buildings. Most of the buildings that have been constructed in this community recently have been very contemporary. This body and this community are not opposed to contemporary architecture. It doesn't matter what style of architecture they build, but the City has zoning regulations, and it has those for a reason. Many who testified tonight

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 8101

Held

April 24, 2017

Page 16 of 30

shared that they have lived in Dublin for many years, and the reason they have lived in Dublin, she assumes, is because the built environment is lovely -- that has resulted in a tremendous financial resource, which, in turn, provides the public with great services. That is what the Code has done for the City, and she sees no justification for turning our back on that at this time.

Ms. Alutto stated:

1. She agrees that a contemporary solution is possible, if that is for the greater good.
2. Part of the reason the Library wants to stay on this site is that if it moves, it no longer owns the land, nor does the City own it. It then reverts to the Dublin Schools. It would be financially challenging for the Library to find another location. This Council agrees that the preference would be to build this building in another location, but from a financial perspective, that is challenging for the Library to do.
3. She, too, has an issue with so many Code waivers requested. As she has stated before, it presents a challenge when a body begins to manage by exception.
4. She has an issue with the process. The Library, the Schools and City worked a long time to create something that all can live with. It is unfortunate to have such consternation over a design, but that could have been avoided if the process had permitted an earlier and longer engagement with the public. The design was presented after little public involvement. She does not see that there has been much "rolling up our sleeves and working together." A new library is needed, and she does not object to that occurring on the current site. She believes it is possible to come up with a contemporary design that would be much more acceptable to people. Because it did not occur at the beginning of the process, she has little confidence in the honesty of its relationship with the public as the process moves forward. Previously, the City has developed many projects that involved public input opportunities and charrettes. Council was told that was not wanted in this case because of the desire to move forward on the project. However, this is a public space and a public building; so the public should be involved. It is a benefit to learn of the public's different opinions, and within that process, it is possible to find a solution that works best for everyone. The difficulty in this case is a result of that collaboration not occurring on the design. Although it was lengthy, appropriate collaboration did occur on the development agreement, and the result was excellent. However, a struggle exists now, due to the lack of collaboration on the rest of the project. Council does not take the public's opinion lightly. Although it is not possible to please everyone in the public sphere, she would have preferred to have greater public satisfaction with this project. This project has brought more angst and negative public feedback than any other she has experienced. She continues to have a struggle with the proposal. In summary, her issue has been primarily with the lack of appropriate public process in the design.

Mr. Keenan:

1. Stated that the initial process with Council began years ago at a goal setting retreat, which a CML representative attended. This current site is not what Council initially desired, and the City explored a number of other sites -- across the river, across from the Recreation Center, and sites that might be close to Dublin Coffman High School. However, the Library wanted to be on this site and part of the area that was developing rapidly -- a part of that synergy and dynamic activity.
2. He prefers not to wait until 2025 to build a library. Elected officials have the duty to look after the healthy, safety and welfare of our citizens -- that is the body's primary charge. The Library contributes to the general welfare of our citizens. We are divided over an exterior appearance. He hopes that Council does not lose sight of the most important function of the Library, which is to promote the general welfare of the community, including education, and serve as a gathering space and resource to the community.

Mayor Peterson:

Stated that he has questions about the recommended conditions.

1. "That the applicant investigate the use of stone in lieu of brick on the lower portions of the building." Is the City asking them to investigate it or to incorporate it?

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

April 24, 2017

Page 17 of 30

Ms. Rauch responded that it is Council's discretion to make that a more solid condition. The Library has indicated it is considering various options. Mayor Peterson stated that he defers to experts who believe that the use of stone could change that dynamic. Ms. Rauch responded that, without samples of the materials on hand, the intent was to have the Library provide those for the final detail review.

Ms. Readler clarified that there is another level of review to be conducted by the body that Council designates. That body will have the opportunity to approve the final selection.

2. A signature transitional element. An ad hoc committee will be tasked with identifying a recommendation. What occurs if the ad hoc committee cannot identify a recommendation or if CML does not want to include the recommended element? Is the condition considered satisfied, or does the condition require that the element must be included for the condition to be satisfied?

Ms. Rauch responded, as the condition is written, that recommendation must be brought to Council for formal approval.

Mayor Peterson inquired if there would be another approval process for this.

Ms. Rauch responded affirmatively.

Mayor Peterson inquired if the brick is not replaced with stone or the transitional element is not incorporated into the final design, does the final reviewing body have authority to vote to disapprove the project because of the absence of those two items?

Ms. Rauch responded affirmatively.

Ms. Amorose Groomes inquired what impact would a "no" vote have at that point.

Ms. Readler responded, that depending on which reviewing body is designated by Council, the final development and final site plan applications must be approved by that body before any construction could begin.

Mr. Peterson inquired what results if that approval does not occur.

Ms. Readler responded that the project would not move forward.

Ms. Amorose Groomes stated that there is criteria that determines what is reviewed at each level of review.

Ms. Readler responded that there is criteria for each application. A criterion for each – the development plan and site plan applications – is that they comply with the Basic Plan. Therefore, if Council puts a condition in the Basic Plan approval with which they do not comply, that is a reason for disapproval.

Ms. Amorose Groomes stated that this design could proceed further and still be disapproved.

Ms. Readler stated that the purpose of the Basic Plan is review the concept. This one is unusual because it is a more developed plan than what is typically seen in the Basic Plan review stage. Compliance with the conditions is required, but the plan is also more advanced with the other elements.

Mayor Peterson:

1. Stated that the conditions therefore need to be substantive and have "teeth," and the final reviewing body needs to be able to say those have not worked and disapprove the plan. He commented that he has wavered back and forth on this plan significantly. He has a tremendous amount of respect for the people who serve and who have served on this Council previous to him and the staff work that has gone into this plan. However, as a member of Council, he now must make a decision. He takes this charge seriously. He must do what he believes is best for the residents. Sometimes, the decisions relate to economic development agreements, road closures, or dealing with the federal government. Whatever it is, his single focus is to do what is best for all the residents, not just those in a particular area. He has to consider all the information Council receives. Council does not know how much information the people signing the petitions have been given. He respects their position; it is valuable feedback, but they may not be totally informed. There are probably some who are not aware of the value of this land. The

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

April 24, 2017

Page 18 of 30

current Library site is worth several million dollars. If the Library goes to another site, they must start over with acquisition of land, which is costly.

2. Council must choose from the options in front of them. With respect to the new Library project, everyone agrees that it is a wonderful asset that will benefit our community. The question is what issues stand between us and getting the project done. There is no solution that the entire community will support, so Council must pick from the options provided to us. It is an important project, and we need to minimize as many of the controversies as possible.

3. Council does value Historic Dublin. There is a tremendous City commitment to the Historic District as a whole, to preserving everything possible. The Historic core is our identity and we must remember that.

4. Council also has to look at the bigger picture, and this is a piece of a much bigger puzzle. If this project fails, he cannot predict the impact that may have on so many other important aspects of this community. The traffic and parking issues for the District do need to be addressed. This project meets some of those needs of the Bridge Street District and the changing demographics. Voting "no" on this application due to the waivers from Code requested would not be responsible without also considering the far-reaching impact of that decision on so many other components. He would not be carrying out the responsibilities of a Council member effectively.

5. Process. He, too, did not like this process. Although there may have been past Council discussions about the library, the first time he viewed a rendering of the proposed building was at the January 10, 2017 Council meeting. He wishes the process would have been different, but he cannot change history or the facts. He must now choose from the options before him. Some good results came from the process, however. The development agreement that was ultimately reached with Dublin City Schools will provide many of the Dublin Schools with broadband access. If the project now fails, the provisions of the agreement are nullified. He is therefore willing to put the flawed process behind him. He appreciates Dr. Hoadley's and the Library's foresight in working with Council on these issues. However, he does not believe that it was unreasonable for Council to have required the pause in the process after the January 10 reveal of the proposal. That pause was warranted, as it allowed time to hear and consider the public's concerns and feedback.

6. He must now choose from the options before him and vote. He will choose a middle position – voting "yes" -- but the conditions that are intended to address some of the issues must be met. He does not know what exactly the different materials should be, but the communication must be improved going forward. Nor does he know what the transitional element should be, but his intent is that it be something that captures the public's interest. We are capable of doing that.

Ms. Amorose Groomes:

1. Inquired if the proposed height would be accepted with the approval of the waiver as requested

Ms. Readler responded if that waiver were approved, the height would be approved.

Mr. Lecklider inquired if the height would be limited to the waiver that is requested, which would be to 42.5 feet. He inquired if the language of the waiver specifies a height limit.

Ms. Amorose Groomes stated that it actually is not listed in the conditions; the applicant would be receiving a waiver of the required building height.

Ms. Rauch responded that there are two different waivers – first is related to the number of stories and the second related to the story height, which ultimately equate to 42.5 feet.

Ms. Amorose Groomes stated that it is possible for the applicant to have three stories that would be taller than 42.5 feet. It limits them to three stories, and it gives them a waiver on height.

Ms. Rauch responded that they would receive a waiver to the number of stories, which is three stories. The building type requirements outline the maximum height of those stories. In addition, they are exceeding the ground story height by 4.5 feet. Therefore, they will be receiving two waivers.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

April 24, 2017

Page 19 of 30

Ms. Amorose Groomes clarified that Conditions 5 and 6 do not limit them to 42.5 feet. It limits them to three stories. At present, one of those stories is 12.5 feet, floor to floor, which she expects will increase to at least 15 feet as the design process progresses. Ms. Rauch responded that the applicant would then need to request an additional waiver. Ms. Amorose Groomes stated that it would still be three stories, however. Ms. Rauch responded that there is a maximum height for each of the stories. Ms. Amorose Groomes responded that, per the Code, the maximum height is 15 feet. Ms. Rauch stated that the ground story maximum height is 24 feet. They are requesting 28.5 feet. They are already receiving a waiver for that. The upper story height is 14 feet, which is the maximum, and that is what they are requesting. So they are at the maximum and are getting a waiver for the additional height for the ground story. If they wanted any of those stories to be more, they would need to obtain approval of another waiver.

Vice Mayor Reiner cautioned that this is an architectural solution. When Council toured a Bridge Street-type building along Lane Avenue in Upper Arlington a few years ago, inside the building, it was evident that the ceilings were too low. The low ceilings ruined the architecture of the space, because the rooms were very small. With depressing the ceilings to a lower height, the effect was that of being in a cubicle. It is important to be cautious of how space is defined in the architectural world. When we attempt to legislate architecture, we must be cautious. It is possible to ruin the very building we are considering.

Ms. Amorose Groomes responded that she does not disagree with that point. However, she anticipates this building height to become greater, unless limitations are included.

Mr. Lecklider re-stated his earlier question: If these waivers as requested are approved, is the maximum height limited to 42.5 feet?

Ms. Rauch responded that the Code does not specify that; however, by default, it is.

Ms. Amorose Groomes continued:

2. If the waiver is approved, is the five-foot setback then approved.

Ms. Rauch responded affirmatively.

3. In terms of the building types and street facades, there is no other opportunity to engage the streetscape, once these waivers are approved. What she is trying to confirm is that, with approval of these waivers, there will be many things that Council will no longer be able to change. The design elements could be discussed, as would stone in lieu of brick. Aside from those, once this Basic Plan Review is approved, all of the other details presented tonight are locked in. Council will be limiting our input to those two options.

Ms. Rauch responded that is correct. Tonight's approval of the waivers will give those assurances to the applicant.

Ms. Salay:

1. Stated that she appreciates what all of her colleagues have said and the amount of community input on this issue. The petitions and the public engagement demonstrate that architecture, beauty and appropriateness of style are all a matter of personal taste, and are all subjective. It is not possible for everyone to love this building and its location. It is certainly a very contemporary building, but to her, it is not being placed next to an historic building. This site is at the northernmost end of the Historic District, and the buildings that surround it are not significantly historical. The new buildings across the street are more contemporary, and the pedestrian bridge will come across to this building. The first time she viewed the renderings, she thought it was very cool, but acknowledged that is her taste. Her concern is if it is possible to make this contemporary building blend with the historic buildings. It is a difficult decision, but other great historical cities have successfully blended a contemporary building with historical structures. She does not want to detract from this great building to make it match what is historic in the District.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

April 24, 2017

Page 20 of 30

2. She acknowledged that the process could have been better in terms of inviting more public input for the proposed architecture. However, Council has to consider the big picture – what the new library will mean to our built, economic and cultural environments. She believes this building will be an enhancement to all of those aspects. She will be proud to have been able to vote on this building. The current library facility and its staff are wonderful, but the facility is limited. The new library will be unlimited.

3. The idea of a transitional element to blend the old with the new is exciting. She views this as a public art project – both the building and the transition element. She is excited and enthusiastic to support it.

Ms. Alutto:

As referred to earlier, she prefers that the conditions have more “teeth.” “Investigate” [in Condition #2] is a weak word, and Condition #8 [define a transitional design element that is integrated within the Library’s public space] needs to be worded more strongly, as well.

Vice Mayor Reiner:

1. Stated that he was unhappy to see something as wonderful as a library arouse so much controversy in our community. He believes a library is more important than a sports field for the development of civilization, minds and a community. He agrees with Ms. Salay’s comment – when he first viewed the architecture, he also thought it was a cool building. However, that was followed by the realization that there were many people concerned about the negative impact on the Historic District.

2. When he inquired about potential changes to the design, the architects told him that only the Library, the owner of record, could make changes. The architects must respond to their client – the Library.

3. He was upset by the fact that the Library design does not respond as well as it could to the aspect of the historic community in that part of the City. He agrees that a transitional element that will bridge the contemporary library to the historic area is needed. Although the Library has agreed to put some stone on the building, which is a nice feature, what is needed is a transitional design element to help that building fit in better with the Historic District. We haven’t seen that element yet.

4. He agrees that the design overall will create a beautiful space. He is hesitant to attempt to re-design spaces, ceiling heights and square footage – that is the role of the architect.

5. Typically, social media doesn’t provide reliable and complete information, often being driven by emotion rather than knowledge. That is difficult for anyone who is seriously interested in an issue. The local government is trying to present the facts and have public input opportunities. Unfortunately, people do not become engaged until near the end of the process.

6. In regard to the transitional element, an appropriate committee will be formed to work with the Library to identify a possible transitional element that will help incorporate this structure within the Historic District. He is hoping for a middle ground solution.

Mr. Lecklider:

1. Stated that he appreciates the public input from those in support and those opposed. The City is fortunate to have this issue to debate. He agrees that there is subjectivity that exists in our various views of the architecture.

2. He was somewhat concerned about the Library’s presentation this evening. One of the early slides listed that one of the primary aspirations of the City of Dublin was to achieve an “iconic, contemporary design.” He has been involved in this process as a Council member from the beginning. He, along with other Council members at that time, was present at the goal setting retreat where this was discussed. The Library provided a very limited presentation -- very brief and not very interactive. Images were shown of some very contemporary libraries throughout the country and around the world. Those images were flashed on the screen for 3-4 seconds at a time, and there was little dialogue between the Council members and the Library staff providing the presentation. His recollection of the Council members’ reactions was that all were thrilled to learn that the Library was thinking about providing the Dublin community with an upgraded library, but, beyond that, there was no discussion about the architecture that we supported.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

April 24, 2017

Page 21 of 30

Council talked about different sites, and at that point in time, the need focused on more square footage. He did not imagine that a library that might double in size, regardless of what the architecture might be, would remain at its present location. Frankly, he did not believe that could be done and parking also provided, and that has proven to be the case. That is why there is now a proposed parking structure and a partnership between the City and the Library. It is not possible to provide sufficient surface parking in this location for a 40,000-square-foot library. There was no public meeting where he expressed any preference with respect to architecture, whether it should more closely match the existing architecture in Historic Dublin or that it be something much more contemporary, similar to library architecture elsewhere in the country. However, he is not surprised at what the Library ultimately presented. However, it has been stated publicly at Council meetings by critics of the architecture that what the Library has done is execute the vision of City Council. However, that is not the case. The first time that Council saw the proposed architecture was January 10, 2017. The reference to iconic has been over-used, and CML's translation of iconic appears to be "contemporary." Perhaps that is also the translation of some of his colleagues. That is not necessarily a pro or con of the proposed architecture.

3. Council is always interested in public opinion and feedback. Council is more accustomed to a greater interactive process; from January to April, that was not the case. Only last month, Council asked CML to meet in a workshop setting with Council to discuss further these considerations, but CML declined. That is not the process to which most Council members are accustomed, and that is a disappointment to him.

4. Additionally, the fact sheet that was distributed by CML has a statement that could be perceived as a veiled threat – indicating they want the vote called for either a "thumbs up or thumbs down." No further workshop or discussion is desired, just a vote. So this is where we find ourselves this evening.

5. He concurs with respect to making the conditions more specific.

6. He has been influenced by some of the feedback he has heard and less by his own personal preference with respect to the architecture. He has tried to view it through the eyes of others, both pro and con. From the critics, he has not seen a concept of what would be more fitting in this location. He tried to view this from the perspective of the future users –the youth of our community. Their view is more important to him than his own personal views. He also is taking into account all the public testimony that has been offered, either electronically or as public testimony at Council meetings.

7. He is a little perplexed that the critics of the proposal have not directed any of their petitions to CML and their board of directors. We all pay taxes that support the Library; he urges the members of the public to review their property tax bill. They will notice that they pay more taxes to CML than to the City of Dublin. There is accountability all around. If the public is disappointed in what they view as a lack of collaboration, there are other opportunities for advocacy.

8. He and his family are long-time supporters of CML and he expects to continue to be in the future.

Ms. Amorose-Groomes stated that one point Mr. Lecklider made was excellent, that Council members' individual preferences for architecture are left behind when they serve in this role. What protects Council members from interjecting their own personal preferences into issues is the Code. The Code also protects Council from approving things that are too big or don't fit. She may have opinions, but she will not bring those into architectural considerations. The Code is designed to provide protection against biases.

Mayor Peterson inquired about amendment to the verbiage, per Council's input. Ms. Rauch suggested the following modifications:

Condition #2 - "That the applicant will use stone in lieu of brick on the lower portions of the building," and

Condition #8 - "Council will create a collaborative committee to provide a design recommendation for a significant transitional element, which shall be subject to final review and approval by City Council with the Site Plan Review Application."

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

April 24, 2017

Page 22 of 30

Ms. Readler stated that the applicant is typically asked if they concur with the revised conditions.

Condition #2:

Mr. Losinsky indicated that he believes they are fine with moving forward with the revised language, but they are investigating the stone options to ensure that it will work. If it moves the project forward, they concur.

Mayor Peterson indicated that if for some reason it were determined to be impractical, Council would have the ability to re-visit that condition.

A.J. Montero, Architect, NBBJ indicated that they are comfortable with the general aesthetic that stone or a masonry material would provide, so they concur with the revision.

Condition #8:

Mr. Losinsky stated that their understanding was that Council would appoint a committee to work with the CML design team and architect to advise in the process. They are supportive of that.

Mayor Peterson stated that it is anticipated that proposed membership for that committee, including CML, will be submitted for the next Council meeting.

Mr. Losinsky responded that it was their understanding that CML would not be on the committee; the committee that will advise the Library and its architect.

Mr. Keenan stated that what was discussed is that there would be two representatives from CML, which he assumes could be the architect and another CML member.

Mr. McDaniel stated that the memo that was provided in Council's packet suggested the committee composition, including two CML members.

Mr. Losinsky stated that their information as of last Thursday was that this would be a five-member committee appointed to work with the two members of CML.

Mayor Peterson stated that it is vital that CML be at the table.

Mr. Losinsky concurred.

Mayor Peterson moved to amend the language of Condition #2 and #8 to state:

Condition #2 - "That the applicant will use stone in lieu of brick on the lower portions of the building," and

Condition #8 - "Council will create a collaborative committee to provide a design recommendation for a significant transitional element, which shall be subject to final review and approval by City Council with the Site Plan Review Application."

Ms. Alutto seconded the motion.

Vote on the motion: Ms. Salay, yes; Mr. Keenan, yes; Mr. Lecklider, yes; Mayor Peterson, yes; Ms. Amorose Groomes, yes; Vice Mayor Reiner, yes; Ms. Alutto, yes.

Ms. Amorose Groomes inquired if the first vote will be to approve the Basic Plan with the conditions as amended; the second will be to approve the requested waivers; and the third vote will be to define the next reviewing body.

Mayor Peterson responded affirmatively.

Mayor Peterson moved to approve the Basic Plan - Columbus Metropolitan Library, Dublin Branch (Case 17-002ARB-BPR) with the eight conditions as amended.

Vice Mayor Reiner seconded the motion.

Vote on the motion: Mr. Keenan, yes; Mr. Lecklider, yes; Ms. Salay, yes; Ms. Amorose Groomes, yes; Mayor Peterson, yes; Vice Mayor Reiner, yes; Ms. Alutto, yes.

Mayor Peterson moved to approve the eight waivers as outlined in the staff memo.

Ms. Salay seconded the motion.

Vote on the motion: Vice Mayor Reiner, yes; Ms. Amorose Groomes, no; Mayor Peterson, yes; Mr. Lecklider, yes; Mr. Keenan, yes; Ms. Salay, yes; Ms. Alutto, no.

Ms. Amorose Groomes stated that for consistency and integrity, she believes it is important to have ARB review the project.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 8101

Held

April 24, 2017

Page 23 of 30

Ms. Salay stated that she believes the review body going forward should be City Council.

Ms. Salay moved to designate City Council as the reviewing body for future Development Plan review and Site Plan review applications for the Library.

Mr. Keenan seconded the motion.

Ms. Alutto stated that she would prefer to have a joint review by Council and the ARB.

Ms. Readler stated that the Code provides three options for that review body.

Mayor Peterson inquired if it would be possible to request that ARB attend the Council review meeting and provide informal input.

Ms. Readler responded that would be appropriate.

Mayor Peterson stated that it would be good to have ARB's input.

Mr. McDaniel stated that the question then is which body would have the final vote.

Ms. Salay stated that she believes that Council should have that responsibility.

Ms. Rauch stated that, historically, ARB has also reviewed the applications informally at each step, so ARB could do the same in this case.

Ms. Amorose Groomes stated that everyone has stated their dissatisfaction with the process thus far, because of the inability for Council and others to provide input along the way. Is Council now eliminating yet another body from providing their level of review?

Ms. Salay stated that she believes the final review should be conducted by Council, but if Council believes ARB should be involved in the discussion, that is fine. This is not an historic building, although it lies on the edge of the Historic District.

Ms. Amorose Groomes responded that this project is similar to the condominium development across the street. A building that was not historic was demolished and replaced with a building with which we are satisfied. ARB has proven that they can do such review.

Mayor Peterson called the vote on the motion on the floor that has been seconded: to designate City Council as the reviewing body for future Development Plan review and Site Plan review applications for the Library.

Vote on the motion: Mr. Lecklider, yes; Mr. Keenan, yes; Ms. Salay, yes; Ms. Amorose Groomes, no; Mayor Peterson, yes; Vice Mayor Reiner, yes; Ms. Alutto, no.

- Basic Plan Review - Library Parking Garage (Case 17-003ARB-BPR)

Ms. Rauch stated that this structure will be located on the same site, to the west. The history for the Garage is the same as for the Library, including the review process. The same type of actions are requested on the recommended conditions, waivers and designation of the required reviewing body moving forward. The proposal is for a new 549-space parking garage with associated site improvements, including three pedestrian entrances, with stairs and elevator where needed, two vehicular access points and one exit only.

The Administrative Review Team has reviewed the Basic Plan and recommends approval with the following eight conditions:

1. That the applicant file a Demolition request prior to the approval of the Site Plan;
2. That the applicant investigate the use of stone in lieu of brick on the lower portions of the building and at the tower elements;
3. That staff should continue to work with the applicant on the provision of additional entrances;
4. That the applicant continue to refine the architectural details and Building Type requirements, as part of the Site Plan;
5. That the applicant provide the final details regarding landscaping, lighting, utilities, and stormwater with the Site Plan;

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

April 24, 2017

Page 24 of 30

6. That the design not require the construction of Darby Street between North Street and Rock Cress Parkway as reflected on the Street Network Map and for staff to update the Street Network Map accordingly;
7. That the applicant continue to work with Engineering to refine the geometry of the book drop exit onto Rock Cress Parkway; and
8. That the applicant continue to work with staff on the internal circulation and dimensions within the garage.

The ART also recommends approval of the following 11 Waivers:

1. §153.060(C)(2)(a): Maximum Block Size – Permitted Maximum Block Length: 300 feet. North Street: 379 feet (requested); Permitted Maximum Block Perimeter: 1,000 feet; 1,308 feet (requested).
2. §153.060(C)(5)(a): Block Access Limitations – No vehicular access permitted on Principal Frontage Street (Rock Cress Parkway) required; Vehicular access provided at northeast corner for book drop exit (requested)
3. §153.061(D)(2): Vehicular Access – No vehicular access permitted on Principal Frontage Street (Rock Cress Parkway) required; Vehicular access provided at northeast corner for book drop exist (requested).
4. §153.063(D)(4)(b): Building Height – Building height limited to 2.5 stories adjacent to the Historic Core District (required); 3 stories at the north, east, and south elevations (requested).
5. §153.062(O)(12)(b): Story Height – Ground Story minimum and minimum clearance is 12 feet (required); 11 feet (requested).
6. §153.065(B)(5)(c): Story Height – Minimum clearance is 12 feet (required); 11 feet (requested).
7. §153.062(D)(4): One tower permitted per building (required); three (requested).
8. §153.062(O)(12)(d)(6): One tower permitted per building (required); three (requested).
9. §153.062(O)(12)(c): Use and Occupancy Requirements – Commercial uses required; No commercial uses is provided (requested).
10. §153.062(O)(12)(c): Use and Occupancy Requirements – Occupied space (required); No occupied space is provided (requested).
11. §153.062(O)(12)(c): Use and Occupancy Requirements – Parking is not permitted in an area of the structure with frontage on a PFS and a greenway (required); Parking is provided in an area of the structure with frontage on a PFS and a greenway (requested).

Also requested is determination of the required reviewing body determination for future Development Plan Review and Site Plan Review applications (City Council, Architectural Review Board, or Administrative Review Team).

Miguel Gonzalez, Moody Nolan, presented slide images of the exterior components of the Garage, including: incorporation of stone in lieu of brick to be more appropriate to the specific site; a green screen (examples of successful projects shown); a metal fin system to provide texture (metal fin recommendations were reached following studies on options related to spacing patterns and color); and application of a horizontal terra cotta element. They will continue to study the options and refinements to the design. The intent is to make a final recommendation this summer. He requested that the record

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

April 24, 2017

Page 25 of 30

show that this is the Dublin City Garage, not the Library Garage. Although some spaces will be used by the Library, it will be a public garage.

Mayor Peterson moved to amend the Basic Plan - Parking Garage Condition #2 to be consistent with the same amendment made to the Basic Plan - Library Condition #2, to read:

"That the applicant will use stone in lieu of brick on the lower portions of the building."

Mr. Keenan seconded the motion.

Vote on the motion: Ms. Salay, yes; Mr. Lecklider, yes; Ms. Amorose Groomes, yes; Ms. Alutto, yes; Mr. Keenan, yes; Vice Mayor Reiner, yes; Mayor Peterson, yes.

Ms. Amorose Groomes:

1. Inquired the height of the tallest tower.

Mr. Gonzalez responded that the tallest point is at North Street and is 45.9 feet. The reason for that is the elevators and over-run. There are two towers with elevators and a third with stairs; the decision was to keep them all consistent.

2. Stated that many of her comments will be the same. City Code limits this to 2.5 stories and this is four stories. Council just reviewed a building that was 42.5 feet in height, and now this building is 45.9 feet in height. Development in the area is just beginning; there are more blocks proposed for redevelopment.

3. In perpetuity, Rock Cress won't dead-end at this parking garage, as it does today. We have disengaged the street network completely. There is probably nothing more pedestrian-unfriendly than the treatment at the base of a parking garage. No one will walk in and out of this along Rock Cress, so Rock Cress will become a pedestrian-dead street. We approved waivers to make this block too big, and now we have a block that is too big and disengaged from the pedestrian activity. We have a parking garage located on the streetscape of Rock Cress.

4. How are we going to move from this to a more appropriate scale? We have genuine historic buildings across the street and immediately to the south. How are we going to make this not look like the movie, "Up," or are we going to make it look like that - where the historic buildings go away so that subsequent things come in? How and where will this get back to scale? Where is the transition from an incredibly contemporary architecture Library? It will have to be big. How about behind it. How about where the Darby Street lot exists today? I suspect we are not going to want to put a shorter building behind these tall buildings, so how tall will we allow it to be? She does not believe anyone is going to want a building that will just look into the side of a parking garage in perpetuity. How are we going to make those transitions? All of her previous comments about height, and scale and massing stand.

Mr. Lecklider:

1. This parking garage presents a real challenge, but he doesn't see how it can be made smaller, or how a waiver can be avoided with respect to the block size. It doesn't make sense to do other than what we are doing with respect to the size of the garage, which makes maximum use of the land that is available to the City. Essentially, this is being accomplished without having to invest in land. Council has heard public comment that this isn't the place for this. Most of us agree that a parking garage has been necessary for some time. If it wasn't in this location, it wouldn't be far away. Unless the City builds it on the lot that it already owns, which isn't large enough, the City would have to purchase more land. Perhaps the City has not sufficiently acknowledged the benefit of having this free land.

2. Stated that he is not a fan of the metal fins. The vertical treatment accentuates the height, and he would like to see everything possible be done to bring the eyes down. What is proposed is creative, and he appreciates that, but he would like to see further exploration of a more horizontal treatment and the terra cotta option.

Vice Mayor Reiner:

1. Stated that it was essential to provide the parking that the Library would lose as a result of the loss of their surface parking lot. On nearly any night, it is almost impossible to find parking in the downtown Dublin area. With the new development, including restaurants and other activities that will need parking, the City would be

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

April 24, 2017

Page 26 of 30

foolish not to build this size garage. The parking will be needed. If there were sufficient space, trees could be added to diminish the impression of the building size.

Ms. Amorose Groomes continued:

1. The City does have other opportunities. It has the Darby Street parking lot. Because there is other land that the City owns, it is not essential to make the Garage of this scale. We don't have to solve the entire downtown parking problem with one structure. We have the opportunity to make more pedestrian-friendly, more human-scale buildings that park cars, which could be built sequentially. We could start the construction of this Garage to serve all of the Library's needs and probably accommodate as many parking spots as we have in the Darby lot, and then construct another, more appropriately scaled parking garage on the Darby lot. She wants to solve the parking problem but to a scale that is appropriate to the area. We worked so hard to try to build a pedestrian-friendly environment in that part of our community. We are dismantling the pedestrian scale. She would prefer to solve the parking space with two, smaller buildings than one gigantic building, and the City already owns additional space that could accommodate that.

Mayor Peterson moved to approve the Basic Site Plan for the Library Parking Garage with the seven original conditions and the one amended condition.

Vice Mayor Reiner seconded the motion.

Vote on the motion: Mr. Keenan, yes; Mayor Peterson, yes; Ms. Alutto, yes; Vice Mayor Reiner, yes; Ms. Amorose Groomes, yes; Mr. Lecklider, yes; Ms. Salay, yes.

Mayor Peterson moved to approve the 11 waivers as requested.

Vice Mayor Reiner seconded the motion.

Vote on the motion: Vice Mayor Reiner, yes; Mayor Peterson, yes; Ms. Salay, yes; Mr. Lecklider, yes; Ms. Amorose Groomes, no; Mr. Keenan, yes; Ms. Alutto, no.

Mayor Peterson moved to designate City Council as the required reviewing body for future development plan review and site plan review applications. The desire was expressed that ARB participate in an informal way to provide feedback.

Ms. Alutto seconded the motion.

Vote on the motion: Mr. Lecklider, yes; Mayor Peterson, yes; Vice Mayor Reiner, yes; Mr. Keenan, yes; Ms. Amorose Groomes, no; Ms. Salay, yes; Ms. Alutto, no.

SECOND READING/PUBLIC HEARING – ORDINANCES

Ordinance 18-17

Authorizing the City Manager to Execute Necessary Conveyance Documents to Dedicate a 0.657-Acre Portion; a 0.224-Acre Portion; and a 0.397-Acre Portion of Dublin-Owned Reserve Area Property, Located at the Intersection of Avery Road and Brand Road, to Public Right-of-Way for the Public Purpose of Constructing Roadway Improvements.

Mr. McDaniel stated that ordinance relates to the proposed construction of a roundabout at the intersection of Avery Road and Brand Road. The City owns adjacent property, and this will authorize the conveyance of that public property.

Council had no questions.

Vote on the Ordinance: Mayor Peterson, yes; Ms. Alutto, yes; Mr. Lecklider, yes; Ms. Salay, yes; Vice Mayor Reiner, yes.

Ordinance 19-17

Amending Section 2 (Wage & Salary Structure/Administration) of Ordinance No. 15-17 ("Compensation Plan for Non-Union Personnel").

Mr. McDaniel stated that there are no changes since the introduction of the ordinance. Council had no questions.

Vote on the Ordinance: Ms. Salay, yes; Mr. Lecklider, yes; Vice Mayor Reiner, yes; Ms. Alutto, yes; Mayor Peterson, yes.



BOARD DISCUSSION

Architectural Review Board

Wednesday, January 25, 2017 | 6:30 pm

The Architectural Review Board had the following discussion at this meeting:

1. BSD P – Columbus Metropolitan Library, Dublin Branch 75 N. High Street
17-002ARB-BPR Informal Review

Proposal: Construction of a new 41,000-square-foot library and associated site improvements located at the northeast corner of the intersection of North High Street and North Street.

Request: Informal review of a Basic Plan Review under the provisions of Zoning Code §153.066 and §153.070, and the *Historic Dublin Design Guidelines*.

Applicant: Paula Miller, Columbus Metropolitan Library; represented by Tracy Perry, NBBJ

Planning Contact: Jennifer M. Rauch, AICP, Planning Manager; (614) 410-4690, jrauch@dublin.oh.us

2. BSD P – Library Parking Garage 75 N. High Street
17-003ARB-BPR Informal Review

Proposal: Construction of a new parking garage with associated site improvements located at the northeast corner of the intersection of North High Street and North Street.

Request: Informal review of a Basic Plan Review under the provisions of Zoning Code §153.066 and §153.070, and the *Historic Dublin Design Guidelines*.

Applicant: Dana McDaniel, City of Dublin; represented by Teri Umbarger, Moody Nolan.

Planning Contact: Jennifer M. Rauch, AICP, Planning Manager; (614) 410-4690, jrauch@dublin.oh.us

RESULT: The Board informally reviewed the Basic Plan applications for the proposed library and parking garage. Some members expressed concerns that the proposed contemporary design of the buildings did not fit the character of the District and requested modifications be made to the proposal to be more sensitive to the character of the District in design, scale and materials. Another member stated the proposal provided contrast to the District in its design and use of materials, which appropriately set the proposal apart from the historic structures. The Board discussed the reduction in the size and scale of the garage, as well as improvements to the north and west elevations to address the school and the Grounds of Remembrance. The Board encouraged an increased connection, physically and visually, to the Grounds of Remembrance. The members supported the plaza and open spaces as an opportunity for community engagement in the District.



MEMBERS PRESENT:

David Rinaldi	Yes
Thomas Munhall	Yes
Everett Musser	Yes
Jane Fox	Yes
Shannon Stenberg	Yes

STAFF CERTIFICATION

Jennifer M. Rauch, AICP, Planning Manager

DRAFT



**1. BSD P – Columbus Metropolitan Library, Dublin Branch
17-002ARB-BPR**

**75 N. High Street
Informal Review**

**2. BSD P – Library Parking Garage
17-003ARB-BPR**

**75 N. High Street
Informal Review**

The Chair, David Rinaldi, said the following application is a request for the construction of a new 41,000-square-foot library and associated site improvements located at the northwest corner of the intersection of North High Street and North Street. He said this is a request for an informal review of a Basic Plan Review under the provisions of Zoning Code §153.066 and §153.070 and the *Historic Dublin Design Guidelines*. He stated the second application is a request for the construction of a new parking garage with associated site improvements located at the northwest corner of the intersection of North High Street and North Street. He said this is a request for an informal review of a Basic Plan Review under the provisions of Zoning Code §153.066 and §153.070 and the *Historic Dublin Design Guidelines*.

The Chair said cases 1 and 2 would be reviewed together as an informal review for the Basic Plan Review this evening. As such, he said no formal vote or action will be taken by this Board and their comments will be forwarded to City Council as they will make the final determination on these applications. He explained public comment will be taken and forwarded to City Council as part of this record.

Jennifer Rauch provided a background of the case that started in April 2014 through the present. She noted the application process and presented an aerial view of the site to provide context. She pointed out the location of the pedestrian bridge and its landing site at the public plaza. She presented several photographs of the area to provide context and to orient everyone.

Ms. Rauch presented the proposed site plan layout noting the location of the library with its frontage along North High Street and the parking garage to the west. She said access for the parking garage is provided at ground level on North Street and the second floor on Franklin Street, given the grade change. She explained Rock Cress Parkway is on the northern boundary with Veteran's Park located on the north side of that.

Ms. Rauch presented the discussion questions:

1. How does the proposal carry out City Council's vision of iconic architecture for this civic facility?
2. How does the proposal transition between the contemporary design of the existing civic elements in the area and the more traditional properties to the south?
3. How do you envision the proposed plaza as a civic space? What elements should be incorporated in this space to engage users?
4. What design solutions could be incorporated to further engage with the surrounding civic spaces to the north and west?
5. Are there other considerations by the Board?

Patrick Losinski said he was happy to present on behalf of the Columbus Metropolitan Library. He explained his role this evening is to present the service area of the library and some of the rationale around determining to stay on the current site. He said this project goes back to 2008 and has involved City Council along the way. For context, he presented a map that showed the location of the Dublin cardholders, not all residing in the City of Dublin. He said within the City of Dublin alone, there are 41,000 card holders. He presented a map that showed 10 weeks of activity where people are coming in to check out materials at the Dublin branch; this proves that proximity matters. He said they have found that their customers may live in one area but often times they are using four or five libraries.

Mr. Losinski said the gift of this land for a public library in perpetuity and if at any time they were to abandon this property, the sale proceeds would go to the schools so they cannot monetize the site and would walk away from a very important asset. He said they looked at four or five additional sites around Dublin and for a host of reasons, including the other sites not being large enough, they came back to this site. He said the Library Board believes that a location in the heart of the civic center of Dublin for a library makes great sense. This location, he indicated would connect with the commerce and residential around it and it is also at the point of the new pedestrian bridge.

Mike Suriano, NBBJ, an architect on the project team, said this is the third project they are working on with Columbus Metropolitan Library. He said the Northside Branch is under construction and the previous project was the new Driving Park Branch, which incorporates a “racetrack” concept.

Mr. Suriano said they look at three buckets when determining design: Library evolution - how branch libraries are developing and how they deliver visions; Unique context architecturally – how the library would benefit the community; and Project parameters – square footages and targets.

After researching libraries over time, Mr. Suriano said libraries have become increasingly social. He presented a timeline showcasing various libraries including the Trinity College Library in Dublin, Ireland from 1732 to 2004 with the Seattle Public Library in Seattle, Washington, USA. He explained libraries are transitioning from housing physical materials to more of a community and people based institution. He stated libraries were the sole institution for housing knowledge and increasingly, libraries are just part of a larger network of where information is derived. As a result, the physical spaces of libraries have changed. In the past, he said libraries had an inward focus with the materials/assets on the perimeters of the building and transitioned to an outward focus where materials/assets are centralized and more flexible spaces are on the outside perimeter, externally focused.

Mr. Suriano said when NBBJ looked at the library/client and the City of Dublin, they had discussions to determine what was important. He said the library has guiding principles they use to develop branches and the City has some goals to accomplish; they found commonalities. He said both were interested in iconic and contemporary architecture and how these physical spaces benefit/supported or were good stewards of the environment. He stated the proposed library reflects those commonalities.

Mr. Suriano presented a map of Dublin in 1872. He pointed out the site and said that High Street at that time was not a through street and it housed the Old Dublin School, which was a three-story structure that is relevant for what they are doing today.

Mr. Suriano presented the library as it exists now in a discrete profile in its relationship to the City. He said the exterior and the interior experiences are insular and centrally focused. He said the proposed library is more externally focused, holds a high profile, and is more iconic within the context of the community.

Mr. Suriano presented a zoning map and noted their site and the Historic Core District to provide relevance to Bridge Street. The aerial view that he presented shows the proposed library and garage site and that is dictated by (future) Rock Cress Parkway and Franklin Street. He presented a rendering showing the proposed library and garage as it would be oriented on the site and the relation to the Pedestrian Bridge landing and Veteran’s Memorial Park. He said this makes for a significant landing site for the bridge across from the street where the library occupies the corner; the library will be highly visible as one comes across the water on the pedestrian bridge and on High Street, as well.

Mr. Suriano presented the general site plan and noted the intended active public plaza to the south; the civic stair on the east accounts for circulation and permits generous streetscape for movement; and the garden respite between the library and the parking garage on the west side. A blow up of the plaza revealed the civic stair, seating, event lawn, and garden. He provided multiple views of the elevation to

show the experience at the pedestrian level and the grade changes across the site; walls to punctuate the plaza and the trees to provide shade. He explained this area provides a space for lots of people to gather and perhaps watch a movie being projected on the side of the garage. He showed the connection from the interior to the outside from the first level. He said the space between the library and the garage could serve as a softer buffer by using gardens, trees, and sculpture.

Mr. Suriano presented the site design base plan, which serves as a placeholder alongside the site design alternate with fundraising.

The significant amount of grade changes across the site was demonstrated by Mr. Suriano. From east to west on the north corner the site goes from 0 to 24 feet, from north to south – 0 to 6 feet, from east to west on the south corner – 6 feet to 17 feet and south to north across the middle of the site is 11 to 10 feet. As a result, he said the majority of the bottom level of the three-story building could be buried to reveal a two-story building but it would be without windows and that is not conducive to reading or any amount of function that is sustainable.

Mr. Suriano said NBBJ tried to be sensitive to what is happening in and around this site by incorporating like exterior materials: roof patina, textured facades, glazing, wild green, dry-laid stone walls, shingles, metal panels, and masonry. He said this translates to renderings showing: the exterior at dusk and daytime on High Street; the exterior in the daytime from the plaza; and views that included mature trees.

Mr. Suriano focused on the interior design that includes:

- An increased area from 20,000 square feet to 41,000 square feet
- Increase in parking spaces from 115 to approximately 200 parking spaces in the garage designated for the library
- Sustainable building design
- Robust collection of materials
- Three meeting rooms
- Seven study rooms
- Children's area
- Programming space
- Teen area
- Homework help center
- Public computing area
- Café

Mr. Suriano presented Level 1 that includes:

- Welcome zone/Entry from garage
- Browsing/Seating area
- Children's area with programmable space
- Staff/Service/Utility areas

Mr. Suriano presented Level 0 at High Street that includes:

- Welcome zone/Entry
- Meeting rooms
- Café
- Service area

Mr. Suriano presented Level 2 that is the upper volume that includes:

- Browsing/Collection areas
- Teen area
- Computing area
- Quiet lounge/Study rooms
- Service area

Mr. Suriano said they limited the footprint on the first floor because there is a lot of bedrock on this site; it is very shallow soil and they tried to limit the amount of disruption to the site. He said they incorporated a lot of natural light so the space is bright. He concluded from a sustainability standpoint, they are focusing on water efficiency, self-shading, renewable materials, and natural light to supplement artificial light.

Mr. Suriano introduced Miguel Gonzales to discuss the Parking Garage.

Miguel Gonzales, Moody Nolan, said the parking garage occupies the western side of the site and they share the garden and plaza with the library. He said there are two entries and exits to the garage, one is on the first level off North Street, and the second is on the second floor off of Franklin Street. He said the building reads as a three-level building due to the topography. He pointed out the main pedestrian entry/exit between the library and the parking garage on the first floor as well as the pedestrian and vehicular book drops. The second pedestrian entry/exit is from the second floor off of (future) Rock Cress Parkway at the Bike Hub and the third pedestrian entry/exit is off North Street. A central ramp connects all four floors.

Mr. Gonzales reiterated the reinterpreted materials incorporated into the parking garage design have a lot of synergy with the library. He presented the metal fin system, the green screen to be used on the pedestrian level, and grey roman brick proposed. Lastly, he presented the different facades and noted the open covered stairway to provide a playful element for the plaza and break up that façade.

Ms. Rauch presented the discussion questions:

1. How does the proposal carry out City Council's vision of iconic architecture for this civic facility?
2. How does the proposal transition between the contemporary design of the existing civic elements in the area and the more traditional properties to the south?
3. How do you envision the proposed plaza as a civic space? What elements should be incorporated in this space to engage users?
4. What design solutions could be incorporated to further engage with the surrounding civic spaces to the north and west?
5. Are there other considerations by the Board?

Ms. Rauch noted the library and the parking garage are located at a convergence of other civic spaces (future public plaza, future pedestrian bridge, and Veteran's Memorial). She stated the northern portion of the district transitions into the Historic Core District with smaller scale buildings. She reiterated the applicant would like to gain feedback on how this proposal carries out the vision for this area and how contemporary designs can be transitioned appropriately. She said the applicant would also like to hear the Board members' comments and design solutions on how to engage the public visually or otherwise.

The Chair invited the public to comment on either case. He said he would like to hear the public's brief comments but there would be no debate on those comments as this is an informal review and no vote is being taken tonight.

Rich Taylor, 48 S. High Street, Ste. B, said he wished we were discussing the citizens' vision and not just Council's vision. As a Historic District business owner and a Board Member of the Historic Dublin Business Association, he said he has heard a lot of public comment about this project. He thanked Ms. Rauch for presenting the process but what he did not see from the chart was the ARB is only going to have two opportunities at most to look at these buildings and one includes this evening's review, which is non-binding. He said the next review will be after City Council does a Basic Plan Review. He stressed to the public that the important thing here as to whether these buildings are appropriate, is to attend the City Council meeting, which is tentatively scheduled for February 27th to make their voices heard.

Mr. Taylor said he attended the public presentation of this project at the library two weeks ago and had asked "given the site is in the Historic District, what the plan is to present this decidedly not historic structure to the Architecture Review Board". He said the answer he received was along the lines of "we are just doing what the City told us they wanted to see on this site". He said the library may have heard what City Council and City Planning wants but tonight he hopes the library hears what the citizens of the Historic District want.

Mr. Taylor said he considers the people that have houses and businesses in this area, some of them for decades or longer. He demonstrated how the residents also are patrons at each other's' businesses. He said people that reside in the Historic District have to take a lot more time and effort to maintain the normal because the houses are 100 years old. He said that is part of the sacrifice they make to keep it special. He said they also have to endure having the streets closed five or six days a year to accommodate the St. Patrick's Day Parade, the Independence Day Parade, the Bread Festival, the Street Bazaar, and one year, the President's Cup Party. He said they had one of the main roads in/out of the City closed for one year while the City built a roundabout. He indicated that was hard for the businesses to bear. He said next week, Dublin Road northbound will be closed for the next 10 months. He stated that when we all bought our homes or businesses in the Historic District, we all agreed to abide by the *Old Dublin Historic Guidelines*, which was published a long time ago. Additionally, we all agreed to respect the decisions of this reviewing body, he said because we were confident that these *Guidelines* and the rulings of this Board would be equally applied to everyone in the Historic District. And yet today, he said we are being asked to accept two buildings that completely and utterly ignore these *Guidelines* and circumvent any meaningful input from the ARB. He asked how in good conscience that can be relayed to these residents that cannot go to Lowe's to buy a can of paint without first getting written permission from this Board for the color.

Mr. Taylor said he is not opposed to contemporary architecture and stated these buildings would look fine on Frantz Road, Blazer Parkway, or some other area of town where there is little context and no long standing *Historic Dublin Design Guidelines* required to be followed. He said the library belongs in the Historic District and they want to keep it there. He said the library wants to be iconic and distinctive and we just want the library to be a good neighbor. Those two things he said, are not architecturally incompatible. He indicated that the design does not have to incorporate gables, double-hung windows, and wood but the proposed designs are a long way from what they should be.

He said as friends and neighbors that want the library on this site, they ask the library to go back to the drawing board and create a building that respects, enhances, and connects with the existing architectural fabric of Historic Dublin. He added buildings should be created that set the proper historic architectural context as they turn west along (future) Rock Cress Parkway and North Street towards the school property, which is also in the Historic District and subject to this Board's purview.

Steve Rudy, 129 S. Riverview Street, asked where the alternative locations were for the library. He indicated there are properties within the BSD that are completely appropriate for this type of building. He said the City is being entirely unfair to this Board to pose some of these questions because it is not in the Board's purview to decide if something is iconic. He again suggested other sites would be more appropriate for this building. He emphasized to the Planners that they need to stop trying to cram

everything in the Historic District. He said the 500+ space parking garage with the addition of (future) Rock Cress Parkway will violate the ravine.

Jane Fox said she knows the Board would like the comments to be kept brief but she does not want anyone to hesitate to speak just because it has been said before. She said in all fairness, it is a public meeting and everyone should have the opportunity to state what they came to say. She asked that everyone keep it brief so everyone has the same opportunity to speak.

Linda Rudy, 129 S. Riverview Street, said everything she wanted to say was beautifully stated by Mr. Taylor. She said she is concerned with covering the falls with (future) Rock Cress Parkway. She asked the City to consider a different location.

David Hahm, 83 S. Riverview Street, said he wanted to underscore everything that has been said before. He stated the new library does not have to be where the old library was. He said he is hearing it is all about the money. He emphasized that “iconic” is being interpreted as having to be contemporary or in some way, calling attention to itself in a very aggressive way. He said that is not appropriate for the transitional area next to the Historic Core District. He indicated he likes the building as proposed but would like to see it constructed someplace else. He said this proposal is aesthetically, conceptually, and perceptually in conflict with the Historic District and the treasure that area is. He said it is an aggressive and ‘in your face’ design. He pointed out that the NW Quadrant permits contemporary architectural design features by deconstructing/cutting up traditional historic architectural features into little pieces and then cementing them back together again in a novel way; at least that type of design pays homage to the historical character. He concluded this proposal is in hostile confrontation with the Historic District.

Sterling Reaverly, 136 S. Riverview Street, said this is a beautiful building but he would like to see it across the river in the new development. He questioned why 536 parking spaces are needed. He said he did not understand why a huge parking garage was proposed when this is all supposed to be a walkable area.

Carl Karrer, 319 Canyon Drive, S., Columbus, OH, said he is no longer a resident of Dublin. He explained he has been out of town for about five years. However, he said he was a past member of the ARB and their charge is to preserve the character of the Historic District. He said this is a special area that needs to be protected. He indicated he hoped that a building like this could be constructed in an area that could support this civic center and type of architecture. He reported that several years ago, the civic center was not approved for this area as they determined the Historic District was too fragile. He concluded it is up to the people here to make sure the Historic District does not get bulldozed.

Amy Kramb, 7511 Riverside Drive, said she was here to ensure that City Council hears from the residents that the exterior design of this new building is not appropriate for Historic Dublin. She said a lot of us want an improved library in Historic Dublin along with parking to accommodate all of the businesses. She indicated that everyone can win if City Council requests that the library’s exterior design is redesigned. She emphasized the contemporary design is incompatible with Historic Dublin.

Ms. Kramb stated she has been a historic preservation consultant for over 20 years. She reported she currently sits on the Ohio Historic Preservation Advisory Board, who determine which properties in the state of Ohio should be listed on the National Register of Historic Places. She said she is extremely familiar with what it takes to get properties listed on the National Register and what it takes to have properties removed from the National Register. She stated that when properties are no longer eligible for the National Register, they are also no longer eligible to receive federal and state historic tax credits. She said the current library is surrounded by many properties listed on the National Register including the Dublin Historic District, which is listed on the National Register as a district. She said a district for this purpose is defined as “buildings that represent a significant and distinguishable entity whose components may lack in individual distinction”. She indicated that as buildings are demolished within a Historic

District, and immediately adjacent, and build new buildings within a Historic District, the whole district loses integrity and it eventually reaches a point where it no longer can portray that historic design, material, scale, and setting for which it was significant to begin with. When there is enough loss to the integrity, she stated the district can be delisted and the buildings that are left in the district would no longer be entitled to those state and federal tax credits. She concluded that if the City continues to destroy the historic aspects of its downtown core, the businesses in the Historic District may also suffer financially. She asked the Board to reconsider adding a contemporary structure within the Historic District.

Kay Walker, 7103 Fitzgerald Road, Dublin, said at the urging of many people on Nextdoor.com to start a petition, she did last night. She reported the last she checked the site about 1.5 hours ago, there were 114 signatures, which she realizes is relatively small. She reported the petition states "We, the signed residents of Dublin, wish to preserve the historic nature of downtown Dublin. Please reconsider the proposed exterior design of the new Dublin library so it will reflect the historic charm of surrounding buildings, separate from the modern buildings across the river, where the bridge to the future, leads."

Ms. Walker said the building was gorgeous; she absolutely loved it but believes it is better suited for the Dublin of the future, across the river. She suggested the design be reworked so it would better fit into the charm of the Historic District. She said she likes the stunning, contemporary design, and that it is environmentally friendly but not appropriate for the place it is being proposed.

Janet Stone, 5608 Fawnbrook Lane in Bristol Commons, indicated she agreed with everything that has been said. When the gas station in downtown Dublin was demolished, she said the buildings that replaced it added so much value, keeping with the colonial appearance. She said she votes the same thing be done with the library. She pointed out that in New Albany, one would not find a contemporary building next to a colonial building. She said New Albany is consistent with their architecture and it is easy to see when one is in New Albany as the same character is carried throughout. She suggested the same thing should happen in Dublin's Historic District.

Tom Holton, 5957 Roundstone Place, said it is difficult to understand where in the Historic District the architects saw many of the materials they plan to incorporate. He said he could get along with many of them until he saw the twisted fins; those are too much and not appropriate for the garage. He indicated the Board is familiar with the *Historic Dublin Design Guidelines*, which they have had to interpret several times for the Bridge Park West project in particular, across the street ± 100 feet from this project. He reported a lot of designs were disapproved and this Board asked the applicant to go back and do it again because the design was not historic enough. He said it seems clear to him that this Board is obligated to recommend to City Council, that this application be resubmitted with different materials and a different design that is contextually relevant while still iconic. Otherwise, to provide a positive recommendation is to suspend the Board's responsibilities as stated by this chair at the opening of this and every other meeting, to accommodate special circumstances.

Gina Forsberg, 5897 Ballymead Blvd, said she has been a resident for 10 years and loves Dublin and the library. She believes the library is a destination for a huge range of ages. She recalled what they wanted when the library was being considered for just remodeling, years ago. At that time, she said a lot of ideas were being considered. She reported she has a design background and helped the Sells Middle School renovate their library so she has done a lot of research on libraries. She said she agrees with the vision for the future of libraries. She stated the concept of using the natural daylight is wonderful. From a design concept, she said we are surrounded by water – Scioto River and Indian Run Falls. She noted that is what she tried to do in the Sell's library along with using stone. She indicated she considered the outside elements coming in. Historic Dublin has so much charm she said as everyone has stated. She indicated that modern can be mixed with historic and make everyone happy based on the materials proposed. No matter how far in the future we go, she suggested we will always love and respect really good historical design. She said even though we are talking about a library that will last into the next 50

years, at the same time, we still like to visit historical buildings such as in Chicago, Illinois and Paris, France, that are surrounded by other modern buildings. She embraces the message that the Historic District of Dublin is on the west side of the river to embrace the past and once one crosses the (future) pedestrian bridge, one sees all the futuristic type buildings on the other side; she is fine with the way Dublin is growing. She stated she agrees with the other Dublin residents that we can have the historical charm.

Ms. Forsberg said when she uses the library, she wants to get in and out fast; she would like to see a drive-through. She recalled how excited everyone was about the new drive-through Starbucks on Sawmill Road because they have sleeping babies in the back and they do not want to get out of the car. She said she uses the library's app and gets her reserves by zipping in and out; she does not want to enter the library and use their computers to find what she is looking for.

Ms. Forsberg said if (future) Rock Cress Parkway is constructed over Indian Run Falls, she is not a fan. However, she said she supports the parking garage because there are so many events in downtown Dublin that there is insufficient parking. She said there is not enough parking in Sell's Middle School and Indian Run so drivers intrude on other businesses.

Ms. Forsberg said there are some features for children in the current library but the branch library on Hard Road has a much more charming children's section. She said so many moms bring their kids to get out of the house. She suggested that playable structures/sculptures be built in the garden for children to climb on, and not necessarily creating a playground. She said something to climb on in the library would also be a benefit or a puppet area to engage the children in different ways.

A resident on Fawnbrook Lane, said the Historic District is truly a destination for him; he lives in the suburbs and works all around the beltway. He stated this is a destination he proudly brings his family and friends to. He noted Dublin is very expansive and he likes pointing out the core.

The Fawnbrook Lane resident said he loves the design and a lot of good work has gone into the proposal but the mandate is for such a large footprint of a library and really does not seem to fit this part of the historic community. He suggested a better fit would be across the river or maybe closer to Tuttle. He said we are fortunate to have green space available within the beltway and we have a parkway and driveways for future buildings and future growth. He noted he has come from the Washington, DC area and it has grown, and it has exceeded its space. He said the proposed library and garage will serve the community very well but it is not appropriate in the Historic District. He indicated he would be embarrassed to take any friends or family to the library if constructed per this proposal. He said we need the parking and he would park there and go to the restaurants where the charm is the draw. He concluded he hopes the Board heed the comments that have come forward.

Jeff Blasinski, 7511 Bardston Drive, said he is a longtime resident of Dublin. He said he is considering the customers that will use the library. He said he has young children and the library is on par with any amusement park; it is a destination for kids to really expand their imagination and learn. He indicated the first time he saw this proposal was one week ago. He suggested the City gain input from kids before we get to the final structure. He said the functionality should reflect the kids needs/wants of all ages. He said the way the buildings are positioned on the site, it appears it is too much of a structure to fit on too little of a lot. He suggested the existing structure gets revitalized and improved and then consider a more futuristic library or smaller satellite libraries on other parts of town where the kids like to bike to.

The Chair asked if there were any more public comments. [Hearing none.] He closed the public portion of the meeting. He suggested an order to the Board's conversation by addressing the Planner's questions, first.

Jane Fox said she looked up the definition of “iconic” and it was a religious symbol. She also found “it is an image that produces significant representation of a place or person that is valued, that have characteristics that have a long-term value”. She also found “iconic” is often misunderstood to be contemporary or idealistic. She said if we are looking for an iconic piece of architecture in Historic Dublin, we have to decide what it is about Historic Dublin that represents us that we see as rooting us that has a long term important characteristic that we value. As beautiful as this proposed design is, she said it is incompatible with the valuable characteristics of Historic Dublin. She indicated “iconic” is a subjective term and she would say the word iconic in the Historic District would have to be something that better represents what we value as a community as a whole. She said contemporary architecture could go in the Historic District but as a Board Member, she has to go by the Zoning Code and the *Historic Dublin Design Guidelines*. In Code §153.174, “contemporary should not be discouraged when the design is compatible with the size, scale, color, material, and character of a property, neighborhood, and the environment. She clarified that for the building to be iconic, it has to be defined as something we see as a representation of the Historic District and not something we just pull out using the word iconic.

Tom Munhall said “iconic” to him is why we recognize the well-established, not especially for distinction. He said he does not understand why this word is being put in here because he does not think it is the only word City Council wanted us to use.

Shannon Stenberg said she agreed with Ms. Fox and Mr. Munhall. She said the *Historic Dublin Design Guidelines* suggest we continue with the materials, scale, and massing and that can make the building iconic to fit into the district as a whole; that is what defines our City and that is what defines us as Board Members and community members. She said the design itself is beautiful.

Mr. Rinaldi indicated the City's direction was iconic and thought it specifically said contemporary. He said the Thompson Library is a good example of how a historic piece of architecture has been modernized and in his mind it is an iconic structure and is also very contemporary today. He said there is that possibility to have both. He indicated this can fit into the Historic District and in a historical architectural manner. He suggested there is going to be a lot of debate on whether or not this project does that or not. He said he would agree they have gotten into the historic principles - the base, middle, top and a modern interpretation of materials and liked that idea. He said we have heard for the most part tonight the public loves the building but does not love the proposed location. We said NBBJ is taking materials and reusing them in a modern way that ties back to historic and what is there. Again, he said we have a lot of questions on whether that is the specific structure and specific location it should be. He indicated for his vision of iconic – that building is it. He said it is definitely a landmark, something that will be a focal point in that area of town for sure.

The Chair asked the Board how this proposal transitions through the contemporary design that it is and then the more historic or contextual components that are to the south and to the west.

Ms. Fox stated transition is so important. She indicated there is a lot of pressure on the Historic District with the contemporary developments that are coming. As a Board member, she said she feels strongly that we have a duty, as it states in the Code, that we have to look at how we can preserve the historic and architectural character of the Historic District. When it comes to transition, she said she really struggles as we move from the north to the south with these contemporary buildings that we will slowly erode the edges of the Historic District to the point that there will not be a Historic District left. She noted as we get closer and closer to the core of the district we must be so very sensitive to not erode the district to the point that it is not recognizable as a historic district anymore. She stated she strongly believes the library needs to stay on this site because what is so great about the Historic District is that it draws everyone because of the wide demographic it attracts. She explained we have an elementary and middle school and children love to walk the Historic District; she said on a Friday afternoon, they are all down there. She said they love their library. She said we do not want to see the library move, we just want it to be the best neighbor possible to the Historic District and that requires sensitivity and design.

She said transitioning contemporary design is tough but it is doable. She said with collaborative and collective opinion brought to the applicant, redesigning this to be more sensitive is a home run for everybody including the library, public, and the Historic District. She said if the City wants iconic and the applicant is able to pull that off, and a beautiful, historic, iconic library is a result, everybody wins.

Ms. Stenberg said in terms of transitions, she liked the walkability aspect, especially the plaza. She loves the idea of bringing people in from the other side, other streets, and restaurants. She said she liked how people are brought in on different levels and different parts because of the grade changes. She said there are a lot of transitions within that building that the applicant did very well. She said the transition between inside and outside is a very good feature. She said she likes the glass and having it open with community spaces. She said she found the northeast corner challenging where the building is near grade 0. She said this feel very massive specifically because many people will come from Dublin Road, approaching the Historic District and this will be the first thing they see entering the Historic Core. She said it is also the tallest part of the building. She suggested that the building be set back and make more use of that public open space with seating areas.

Mr. Munhall said he likes to be pragmatic and try to get to a solution. He said he is okay with the site plan, plazas, and gardens but he is not okay with the exterior design. He questioned how the Board could get something done but keep the exterior design on the agenda for further review.

Mr. Rinaldi said, in terms of transition, being the property that is the furthest north on that side of High Street, it is in the Historic Transition District and a break has been created between the properties to the south in the Historic Core. He said as the plaza wanders in making that transition in that direction rather than having this modern structure adjacent to Historic Core structures; that is a much harsher transition. He said the plaza will entail a fundraising effort and is not guaranteed in this proposal. He asked how the plaza would function in the interim if it is not part of construction. He asked if it would just be a grassy knoll.

Mr. Suriano said the plaza as it stands is still flat, graded at level one but is mostly lawn with stairs leading up to the library but the hardscape of walls and seating would not be completed.

The Chair said we have heard a lot of positive comments on the plaza this evening. He asked the Board what they want to see happen in the plaza space and how it can be more engaging, if it is not already. He asked what the plaza space might be lacking.

Ms. Stenberg said she loves the plaza idea whether it is a grassy area or we are able to do the fundraising to get it completed. She recalled one of the residents mentioned a children's space and making it more engaging for children. She said offering something to climb on like signage or offering something interactive that children could learn from could be exciting to incorporate into the plaza, as well as inside.

Mr. Munhall stated the plaza space is great. He indicated the Dublin Arts Council or other organizations could help program the space.

Ms. Fox said she likes using the indoor/outdoor aspect; she likes the glass so patrons inside can see out. She said the applicant needs to be sensitive to the landscape design of the plaza because when one walks through the Historic District, there is a ballet rhythm of little green spaces, intimate spots, and seating areas. She said this plaza seems contemporary like something that would be found downtown Columbus. She said she loves the idea of a plaza and a seating area but again it has to be sensitive to the style of the Historic District gathering spaces.

Ms. Fox said the parking garage is so much larger than the library. She said the area between the library and the garage is very narrow (± 20 feet) and she sees that as being a dark corridor and would not be

very inviting to sit in. She said incorporating the library, the green spaces, and the parking garage, she would like to see the parking garage cut back by at least 20 or 30% so it is not quite so massive. And then maybe that civic space could be a little larger across the south side of the property. She emphasized that the landscape of the Historic District is so organic with the Scioto River, Indian Run Falls, and the riverfront parks that the applicant needs to provide an organic space that would better fit.

Mr. Rinaldi said the site design is very important here despite the architecture. He said he is lacking in information on how this project is engaging surrounding civic spaces. He said he does not understand how the contemplative space between the garage and the library does that or how it can connect to the Grounds of Remembrance. He indicated that would be an important connection to be made there. He said he is not seeing that on paper as that park is important to a lot of our residents. Likewise, he asked how that would connect to the Bridge Park property on the east side of High Street. He noted that obviously this is further south, the plaza landing is north of this project. He said he would like to see more engagement on that northeast corner piece. He stated he would like to see an elevated plaza there, something that introduces some vitality. He noted the rendering makes it feel heavy-handed at that corner. He said he likes the idea of pulling the people from the plaza across the street into that area and there are great opportunities there to make it more engaging.

Ms. Stenberg asked the applicant how the project was determined to be two separate structures and the garage could not be incorporated into the bottom where you do not want people to be - where they would feel as though they are in a basement.

Mr. Losinski answered one of the primary reasons is the bedrock on the site and the cost involved in putting in underground parking in that site.

Ms. Fox asked if there was ever any a discussion about a parking deck attached to the library and not separate structures. Vince Papsidero answered this site will be two separate parcels at the end of the day; the City will own the parcel where the garage sits. Physically connecting the garage to the library, he said has never been part of the program. For a host of reasons, he said it was not considered including ownership and the fire code that mandates a certain amount of separation, which affects the west elevation.

Ms. Fox said, even when it comes to two structures, incorporating civic spaces, she would really like to see a redesign because of the Grounds of Remembrance and Indian Run Falls. She said the Historic District is not just buildings. She said we have been talking about how buildings connect to each other. She said the Historic District is about the surrounding areas such as Veteran's Park, Indian Run Falls, the quarries, the Scioto River, etc. are valued as much as it is about the little houses. She suggested that if the applicant redesigns for the site that they consider the landscapes that this site is adjacent to. She indicated this is important to the inside out look and concluded there are many more opportunities to relate to the outdoors. She restated that the garage is overwhelming.

Mr. Munhall indicated he thinks the details in the landscaping will happen over time.

Ms. Fox emphasized that since the garage is such a large structure, that it be decreased by at least a third to get it back a little bit. So when one is on the plaza they are not looking at the side of the garage. She noted the applicant talked about projecting movies on the side of the garage but that would only be a small period of time the garage facade could be used for that purpose. Whereas, if there is a much larger civic space that ran across the entire south side, there would be a lot more activity all the time – possibly art fairs, have room for booths and that kind of thing. With such a large garage, it limits civic/green space. She said the north side of the library does not relate to Veteran's Park at all. It is a beautiful walk now beside the library, which connects with the Veteran's Park and she is afraid this will be lost with the new proposal.

Mr. Munhall said he would be willing to compromise on the size of the garage if the applicant redesigns the exterior of both buildings.

Mr. Rinaldi asked if anyone knew what the school districts thoughts are with the use of their land to the west. Mr. Papsidero answered that we do not know their thoughts.

Mr. Rinaldi said he does not envy any architect that has to design a garage; no matter how you slice it, it is the proverbial 'lipstick on a pig'. He said the applicant did a great job on the plaza side; he is intrigued by the green screen and the twisting fins, which decomposes that elevation. He said he is more concerned with the west elevation as it appears very stark and a hard edge. He said whatever happens on that school property, the west elevation is what they will be looking at. He said he would prefer a softer feel that the green screens and the twisted metal fins provide. Again, he said a parking garage is tough. He said when a parking garage has to provide that many spaces, it is going to be large and so the treatment of the facades is important.

Mr. Papsidero said the administration's goal was to always have a garage in the 400 – 500 space range - built to serve the library's needs as part of the Economic Development Agreement as well as the businesses in the Historic District, to provide parking for the restaurants and retail spaces within walking distance. He said the footprint and design of the garage is probably a function of the grade of the ramp on the interior of the structure. He noted the garage meets the size requirements in terms of the number of spaces. He said we have been debating some value engineering options because as currently proposed, the cost exceeds the budget that has been set aside by Council. He indicated one option was to consider shrinking the footprint but it creates design issues.

Mr. Gonzalez said it is because it is designed for parking on the garage but he said they have some strategies to address that so the ramp would not be compromised. As proposed, he said the 538 spaces total (200 spaces between the first and second floors dedicated to the library) and the rest would be public parking.

Mr. Papsidero said the ADA spaces have been distributed on the first level for library patrons and on the second level for Veteran's who would be accessing the Grounds of Remembrance which puts them right at that ground level exit on the northwest corner. He said ADA spaces also affect the height of the structure because they require an additional foot or so higher on that floor in order to meet van requirements, which also raises the cost of the garage but obviously a reasonable trade off in order to serve and support the veteran population in the community.

Mr. Rinaldi asked that the exterior stair be explained.

Mr. Gonzalez said it is a little harder to see now because the colors and materials are not completely defined. He said the library has a stair that is very visible from North High Street and the designers of the garage were trying to recollect this element in another way in the garage; therefore, it became an accent of that and they really wanted a more playful element on that garden side to allow people to be more connected instead of coming down a regular egress stair within a corner.

Ms. Stenberg indicated she likes the idea of the staircase but the blue is a little hard to support not knowing what materials would be used. She said she likes that the plaza and library would be visible while descending the stairs.

Ms. Fox stated she wanted to go on record so City Council would hear her say that it is important that we think the design style (contemporary) for the Historic District is not at all appropriate. She restated the size of the garage is large. She said she appreciates that the applicant tried to use materials already being used in the Historic District but she would rather they used them then rather than pretending to try and find materials that might look like them. She said everyone that wants to preserve the Historic

District yearns for that charm, the historical ambiance, sense of a tourist attraction, a place where one feels warm and embraced by. As beautiful as this proposed building is, she said it belongs somewhere else. She said the materials for the garage would become the overwhelming factor as one enters the district because of the finish and everything. She said she is concerned if one entered the district with this garage before them, they would not be sure where they were; the transition is not being addressed at all. She indicated she fears that the direction the applicant was encouraged to take for an iconic structure was so far from what the public or the members of the ARB would want. She said she feels bad for the applicant because she knows how much time this takes and work is involved to pull together a proposal like this. She concluded it is really important to the Historic District that these buildings feel good and will last the test of time.

Mr. Munhall asked for a view from the northeast second floor facing east. He said he does not want to look at the building they just approved 18 months ago and see their air conditioners and the top of roofs from this new library. Mr. Suriano answered he did not believe they would be visible because the view is predominantly looking north and not east.

Mr. Munhall questioned the height of the elevations. Mr. Suriano answered the height of the building on the plaza side is 31 feet and the overall height at the northeast corner is 43 feet.

Mr. Munhall asked where one's sight would land if someone was standing, looking across the street at buildings Z1 or Z2. Mr. Suriano said he was not sure where those buildings would hit height wise. Mr. Munhall said they are at a height of 32 feet and he was trying to figure out what the view would be.

Teri Umbarger, Moody Nolan, said building Z2 has a pitched roof at that corner. She said the mechanical area will not be visible from the library's second floor because it is down in a pit, hidden. She said just the roof will be visible and currently it is metal.

Mr. Munhall said he wants the view to be as nice as possible. Ms. Umbarger said one will be able to see over part of the building to the (future) pedestrian bridge because the pedestrian bridge will come up from behind building Z2 and the entire west side will also be visible from that vantage point.

Ms. Fox complimented the applicant on utilizing glass to enable people to look from the inside of the library out, making it a really pleasant environment. She said it is the exterior effect that contributes to the contemporary style and massing of it. She encouraged the applicant that if they redesign the exterior, to maintain the beautiful views out. She said she loves the terraces that invite the civic charm and makes it a destination. With the right design here that fits into the Historic District, this would become one of the primary destinations for thousands of people, she said. She stands firm that the design is too contemporary, too tall, too massive, and will overwhelm the district along with the size, massing, and materials of the garage.

As an ARB Member, Ms. Fox said if this came back for review, she would want to go back down to the *Historic Dublin Design Guidelines* because ARB Members are obligated to not only utilize the Bridge Street Code of Economic Development and trying to bring some vitality but they have to play fair with everybody and the *Historic Dublin Design Guidelines* are pretty clear that the City has certain parameters that the Board and staff have to abide by as they review an infill. She said now, if she uses that criteria, 75% of this proposal would not fit into the *Historic Dublin Design Guidelines*.

Mr. Munhall said the exterior design is a fit issue. He recalled the applicant presentation that included a photograph of the library in Egypt. He said we are asking for a library to fit in a little village in Dublin. He said the place is the most important, not the time/era. He said the architecture today is different. He said the current library sits down low like Muirfield Village's Clubhouse.

Ms. Stenberg agreed with Mr. Munhall. She referenced the Seattle Library, which was very similar to this proposal but it detracts from that iconic structure as there is already a building like it. She said we have the opportunity here to create a building that is unique and different than any other design that has been built.

Ms. Fox said one of the comments at the BSD public meeting last night, which was a great meeting because NBBJ did a great job at that meeting. She reported that people said that we have an identity here in Dublin of being sort of 'Irish is an attitude'. She asked the applicant to consider our iconic image. She said we are progressive, we have a wonderful old Irish feel, we are community oriented, we love our outdoor spaces, we love our festivals, we love our old Historic District, and someone said when they were talking about designs in Bridge Street, they suggested that if it was made to look like old Ireland, everybody would love it. She admits she is not certain that is practical but it is certainly an idea if everyone feels as if they are looking for intimate charm, that we should consider what is Dublin's iconic image; what is it that we all value and love; and design around that. She said she has read what makes the most walkable cities is *"...you can design all kinds of buildings and people will walk around them, but what they really love is the land they walk on."* She encouraged the applicant to design around the land and people will come to the buildings. She asked them to consider the precious landscapes Dublin has to offer, and design a building so that people are drawn to both and not just a piece of architecture.

Ms. Stenberg asked if the applicant was not already doing that with the plaza space, but they could better incorporate the Veteran's Memorial.

Ms. Fox answered she thinks they can but the architecture also has to be sensitive to the environment as the environment has to be able to reach out to the people using the architecture; the applicant needs to find that balance. She said there can be a significantly different building because time allows that as neighborhoods change, one can expect new architecture. She emphasized we do not want to pretend to rebuild old Dublin.

For the purpose of the Board discussion, Mr. Rinaldi said he would throw out a contrarian point to the Board's discussion. He said this can also be viewed as by being a more modern piece of architecture that it highlights the contrast between the modern and the historic and then also highlights the historic. He said this is clearly not a historic piece. Set into the plaza and the north edge of the district, maybe this is the place for this. He said certainly it would not fit south of Bridge Street. He indicated we might all have a different opinion as to how far the contemporary is acceptable for this site. He said he would prefer this over faux historic. Again, this clearly tells us, this is not historic, which highlights what is around it.

Ms. Fox indicated she is not opposed to something unusual or different. She said she likes the idea that the (future) pedestrian bridge is this connection and there is a lot of brand new contemporary architecture on the other side of the river. As you come into the Historic District, she said we have to remember that this is a federally recognized historic district and we have to make sure we maintain that. She said she is concerned that when coming from the north towards the south, we begin to erode and shrink that district. She noted she does not have the solution as to what the design should be but it cannot overwhelm the Historic District and it must be complimentary.

Mr. Rinaldi said it is not the goal of this Board to come up with the answer; we want Council to hear our concerns; and we want Council to hear the public's concerns regarding the proposal. He said there are some things that are going to be decided outside this Board and whether the library is on this piece of property or not is not the decision of this Board. He said he wants to make sure Council hears their concerns.

Mr. Rinaldi indicated he is concerned because there has to be a back end to any building, and is the proposed service entry respectful to the Grounds of Remembrance, for example. He asked if there will be

ground level AC units that will be making noise and to consider trash pick-up, etc. He asked if the height of this building will cast a shadow too far, which is also something to be mindful of.

Ms. Stenberg said this Board does not have the ability to decide where (future) Rock Cress Parkway is going. She suggested the Board discuss what materials they like and which ones they do not that directly relate to the *Guidelines*.

Mr. Munhall restated he likes everything but the exterior design. He said he does not mind the footprint or (future) Rock Cress Parkway. He said obviously, the detailed landscaping, and some of the details just brought up are important but he is not concerned about that at the moment; we can resolve those things later. He indicated he could hit a golf ball there almost on a good day and he does not want to walk into downtown Dublin and this would be the first building, at least on the west side. He recalled the public's comment about the New Albany Library, which is an interesting conversation. He said we cannot build a building that does both. As an architect, he would want to build something on the bleeding edge but would want to make sure it was in context of where it would be sited. If not, that is not what he would want to build. He said he does not like the height of 43 feet; he would rather stair-step the elevation a little bit.

Mr. Rinaldi indicated if this proposal were to come back to this Board, they will all be struggling, trying to apply the Code requirements to this and there would be a lot of exceptions to the Code. He said Ms. Rauch did a good job at highlighting how this applies to the Code and where there would need to be Waivers; it is going to be a struggle to put through all those Waivers. Material wise, he said he is concerned with the amount of metal; however, the amount of glass is fine and the base helps.

Ms. Fox restated she likes being inside and able to look out, especially on the first floor but she is concerned at night, whether this building is going to be all lit up from the inside out and be too bright at night.

Mr. Suriano said the top portion of the base is predominantly glass on the east face and at the top of the building there is glass at the northeast and southwest corners. He clarified it is 33% glass on the upper floor and 66% solid panel. Ms. Fox said she was uncertain where the glass is and where the solid panels are. Mr. Suriano pointed out the shingled panel and the glass panels. Ms. Fox verified that the light would be emitted at different variations. Mr. Suriano said it will be a glow, not panes of light.

Ms. Fox said the contemporary materials become the focus of the area and takes away from the surroundings; she would like to see traditional materials used in a unique way. She said she is not opposed to a glow because that can also draw people and bring a sense of vitality on the street in the evening. She said it is the contemporary straight lines that she has difficulty with.

Ms. Stenberg said material wise, she likes the green screen for the parking garage. However, she said the west elevation for the garage feels like a punch of concrete and it seems to detract from several of the parts we really like about Dublin.

Mr. Munhall asked the applicants if they ever had competing ideas within NBBJ. He asked them to share some general ideas and why they settled on the current proposal.

Mr. Suriano said they always have competing ideas but felt like this satisfied the vision for the library, balancing all the different components of those three buckets he brought up earlier: where the library vision lives; the overall project parameters; and what they are doing with the challenges of bedrock and grade. He said this was the solution that stood out.

Ms. Fox asked if the applicants had any questions for the Board. [There were none.]

The Chair asked if there were any communications for the Board. [There were none.] He adjourned the meeting at 9:02 pm.

As approved by the Architectural Review Board on February 22, 2017.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

January 23, 2017

Page 4 of 11

other current members of Council did not serve at that time – but that is not to say that they would not have supported it, as well.

Tom Holton, 5957 Roundstone Place, Dublin expressed appreciation to the firefighters and first responders who were on the scene today of the tragic tanker truck fire on US 33 at the 270 interchange. He clarified that he is speaking tonight as a resident, not as a representative of the Dublin Historical Society. The Dublin community has enjoyed a history of public participation in community projects and the City is better because of that. He cited many examples where there has been great opportunity for public participation. He does not believe that the public had any input on this highly public library building. There was a period of 18 months between the two meetings at the library regarding the new library building where there could have been input opportunities. He looks forward to the new library building, but believes that public participation should have been a large part of the process.

CONSENT AGENDA

Ms. Amorose Groomes stated that a minor correction was made to one of her comments in the minutes on page 19, and Council has been provided with the corrected version in the electronic packet.

Mayor Peterson moved approval of the five items on the Consent Agenda.

Mr. Lecklider seconded the motion.

Vote on the motion: Ms. Salay, yes; Mr. Lecklider, yes; Vice Mayor Reiner, yes; Mayor Peterson, yes; Ms. Alutto, yes; Ms. Amorose Groomes, yes.

- Approval of Minutes of Council meeting of January 10, 2017
- **Ordinance 11-17 (Introduction/first reading)**
Amending the Annual Appropriations for the Fiscal Year Ending December 31, 2017. (Second reading/public hearing February 13 Council meeting)
- **Resolution 03-17 (Introduction/public hearing/vote)**
Accepting the Lowest and Best Bid for Rings Road Water Line Extension/Tuswell Waterline Relocation Project.
- **Resolution 04-17 (Introduction/public hearing/vote)**
Declaring Certain City-Owned Property as Surplus and Authorizing the City Manager to Dispose of Said Property in Accordance with Section 37.07 of the Dublin Codified Ordinances.
- **Resolution 05-17 (Introduction/public hearing/vote)**
Authorizing the City Manager to Execute a Contract with the Franklin County Public Defender Commission for the Defense of Indigent Defendants.

POSTPONED ITEMS

Ordinance 57-16 (Amended)

Authorizing the City Manager to Execute a Development Agreement and Other Necessary Documents with the Columbus Metropolitan Library ("CML") to Facilitate the Building of a Parking Garage, Library and Adjacent Streets on the Current Library Site in the Historic District.

Mr. McDaniel stated that this Ordinance relates to real estate and operational issues for the library; it does not relate to architecture. The architecture piece will follow another process separate from this.

Ms. Amorose Groomes asked staff to confirm that the library project will be reviewed by the Architectural Review Board on Wednesday, January 25.

Mr. McDaniel responded that the library review process relative to the design will go through the ARB process. Council referred this matter to them at the January 10 meeting.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 8101

Held

January 23, 2017

Page 5 of 11

Ms. Amorose Groomes asked if this Ordinance will be back before Council prior to the time that feedback is received from the ARB.

Mr. McDaniel responded that this Ordinance relates to real estate matters and how the buildings are accommodated on the site versus the ARB process.

Ms. Amorose Groomes stated that her concern is with the City getting too far along in the development agreement in terms of land acquisitions and real estate matters in case changes would be made in the design through the review process.

Mr. McDaniel responded that these development agreements are always subject to the final development plan review. This ordinance does not dictate those matters, it is more related to operational and real estate matters.

Mayor Peterson moved to postpone Ordinance No. 57-16 until the February 13, 2017 Council meeting.

Mr. Lecklider seconded the motion.

Vote on the motion: Ms. Salay, yes; Mr. Lecklider, yes; Mayor Peterson, yes; Ms. Amorose Groomes, yes; Vice Mayor Reiner; Ms. Alutto, yes.

SECOND READING/PUBLIC HEARING - ORDINANCES

Ordinance 01-17

Authorizing the City Manager to Execute Necessary Conveyance Documents to Acquire a 0.198 Acre, More or Less, Permanent Easement from Vincent P. and Cynthia B. Lombardo, from the Property Located at 7100 Avery Road for the Public Purpose of Constructing a Sanitary Sewer.

Mr. McDaniel stated that the City is preparing to construct a sanitary sewer across Avery Road and Mr. and Mrs. Lombardo have agreed to donate the easement to the City at no cost.

Vote on the Ordinance: Ms. Alutto, yes; Mayor Peterson, yes; Ms. Amorose Groomes, yes; Vice Mayor Reiner, yes; Ms. Salay, yes; Mr. Lecklider, yes.

Ordinance 02-17

Authorizing the City Manager to Execute Necessary Conveyance Documents to Acquire a 0.038-Acre, More or Less, Permanent Easement from Ashland LLC for Constructing a Shared-Use Path.

Mr. McDaniel stated that the City is preparing to construct the Smiley Park shared-use path project, which will include the construction of a shared-use path and related public improvements connecting to Smiley Park. The City and the Grantor participated in good faith discussions and have come to mutually agreeable terms for the acquisition of the necessary easement for the sum of \$2,300.00, which is the appraised value of the easement.

Vote on the Ordinance: Ms. Alutto, yes; Mayor Peterson, yes; Vice Mayor Reiner, yes; Ms. Amorose Groomes, yes; Ms. Salay, yes; Mr. Lecklider, yes.

Ordinance 03-17

Amending Section 2 (Wage & Salary Structure/Administration) of Ordinance No. 73-06 ("Compensation Plan for Non-Union Personnel").

Mr. McDaniel stated that with a recent vacancy in the Human Resources Division, the Director of Human Resources has taken the opportunity to review the operations of the Division. As a result of this review, it has been determined that the duties and responsibilities of the vacated position can be dispersed and absorbed by other current positions within the Division. Also, not filling this vacancy allows for cost savings in the HR payroll while creating an opportunity to restore the part-time position of Human Resources Coordinator to its previous full-time Status, which will significantly improve the administration of the City's seasonal and part-time staff recruiting efforts. The cost savings amounts to approximately \$63,000 a year.

Vice Mayor Reiner asked about the function of the Wellness Coordinator position.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

January 10, 2017

Page 5 of 22

concepts proposed for the purpose of access and circulation do not work without Rock Cress.

Ms. Alutto stated that there seems to be little margin for change in the roadway location.

Mr. Foegler stated that is correct.

Ms. Alutto stated the roadway appears to be landlocked.

Mr. Foegler responded that with the roadway pushed south, the Library lost one-third of an acre. That strip of land is now located between the Library and the Grounds of Remembrance. The edge of the Grounds of Remembrance is formed by the scenic easement boundary. That is all that protects it; the City does not own that land. Added now is the additional one-third acre that the City owns.

Ms. Alutto inquired how much preparation for Rock Cress is included with the North High Street widening.

Mr. Foegler responded that the intersection for that is part of what is included in the construction drawings.

Mr. Keenan stated that the issue is more than just road circulation in this area. For many years, Council has discussed the school property and additional land between this site and Shawan Falls. Council has seen other iterations that show possibilities for development in that area. In his view, there will be other significant development in some future timeframe. Rock Cress is part of that vision, as well.

Ms. Amorose Groomes stated that North Street is to the south of Rock Cress. The block length there is relatively short when contrasted with the mixed-use development building that is currently under construction on Dublin Road – Bridge Park Building Z. She requested that Council delay action on this resolution until there is more certainty of what will occur on this property. North Street could be eliminated altogether, and perhaps, Rock Cress could be shifted further to the south, thereby providing additional buffer to the Grounds of Remembrance.

Mr. Keenan recommended that Council delay action on this resolution until after the Library presentation.

Mayor Peterson responded that the item has already been removed from the Consent Agenda, and the remaining discussion and action on Resolution 01-17 will occur immediately following the Library presentation.

POSTPONED ITEM

Ordinance 57-16

Authorizing the City Manager to Execute a Development Agreement and Other Necessary Documents with the Columbus Metropolitan Library ("CML") to Facilitate the Building of a Parking Garage, Library and Adjacent Streets on the Current Library Site in the Historic District.

Mr. McDaniel thanked CML Executive Director Pat Losinski for the ongoing negotiation on this development agreement. Staff requests that the ordinance be postponed to the meeting of January 23, 2017. Staff believes a final form of the agreement can be ready for that meeting.

Mayor Peterson moved to postpone Ordinance 57-16 to the January 23, 2017 Council meeting.

Vice Mayor Reiner seconded the motion.

Vote on the motion: Ms. Salay, yes; Mr. Keenan, yes; Mr. Lecklider, yes; Mayor Peterson, yes; Ms. Amorose Groomes, yes; Vice Mayor Reiner, yes; Ms. Alutto, yes.

SECOND READING/PUBLIC HEARING – ORDINANCES

Ordinance 59-16

Authorizing the City Manager to Enter into a Cooperative Development Agreement with the City of Marysville and Union County.

Mr. McDaniel stated that a very productive dialogue continues between Dublin and the City of Marysville and Union County. He requests that Ordinance 59-16 be tabled until further notice.

Mayor Peterson moved to table Ordinance 59-16.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

January 10, 2017

Page 10 of 22

impact on bees is one of his concerns. The report provided information that some of the chemicals are toxic to bees.

Ms. Carr responded that CSAC was advised by Franklin County that the chemical that is sprayed is not as harmful to bees. In addition, bees go into their hives at night, which is when the spraying is conducted. The other chemical is applied in a different way, and their instructions prohibit application to flowering plants and to areas where there are known aviaries. Mr. Brushard can provide more information.

Mr. Lecklider stated that homeowners install plants that attract butterflies, bees, bird, etc.

Ms. Carr stated that she is involved in the City's beehive program at Darree Fields, and that was her concern, as well. She is reassured by the information shared.

Ms. Amorose Groomes inquired if her hives are in good health.

Ms. Carr stated that an earlier set of bees absconded; it had nothing to do with the pesticide program. They have a new set, which are in good health. However, there was no spraying in their neighborhood this year, which might have been helpful.

Mr. Brushard stated that the concern with beekeeping and other non-target insects are always a concern of mosquito control. The products that they used for the adulticiding program is a synthetic pyrethroid, which are natural-occurring pesticides that are from chrysanthemums. Those do have warning labels that they are toxic to bees and aquatic life, so application is prohibited near bodies of water or areas of active bees. Their spray periods – dusk to midnight, are times when there is inactivity with the bees; they are typically in their hives at night. When the pesticides are applied in the daytime, the application is restricted to areas with which pollinators would have no contact. Daytime application occurs only under restricted times or conditions, when a barrier to daytime mosquitos is desired. As pest control applicators, they are aware of their responsibility not to mis-apply the pesticides.

Mayor Peterson moved to approve the CSAC mosquito management program recommendations, as outlined.

Vice Mayor Reiner seconded the motion.

Vote on the motion: Ms. Salay, no; Vice Mayor Reiner, yes; Mayor Peterson, yes; Ms. Amorose Groomes, yes; Ms. Alutto, yes; Mr. Lecklider, yes. [Mr. Keenan was absent from the room.]

• Columbus Metropolitan Library Dublin Branch and Garage Preview

Mr. Foegler stated that, after many years of effort, staff is pleased to share with Council the first design concepts for the new library as well as the new garage facility. This is a preview only; it is not scheduled for any formal Council action. As Council is aware, many elements of complexity have gone hand-in-hand with this process between the Dublin City Schools, the Columbus Metropolitan Library and Dublin city staff.

In previous discussions with Council, feedback was received that this new library had to be iconic and special. The team was encouraged to consider contemporary concepts. Staff has worked closely with members of the library staff, as well as architectural consultants NBBJ and Moody Nolan, to bring forward this concept to Council. Although it is not part of the formal review process, feedback from Council is critical to determine schedule and design efforts moving forward.

Mr. Foegler introduced Mr. Losinski, CEO of the Columbus Metropolitan Library (CML), to introduce the library concept.

Mr. Losinski expressed his excitement for the project and stated that two of the seven members of the Library Board of Trustees have strong ties to the City of Dublin. He thanked the City Manager and staff who have been great partners through this process. It is a library project, but it is also a civic project.

Mr. Losinski proceeded with a slide presentation.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 5101

Held

January 10, 2017

Page 11 of 22

- Currently there are 43,000 library cardholders in the Dublin area. It is also a destination place for many people outside of Dublin.
- An information session will be held Wednesday, January 11, 2017 at the current Dublin Library so the public can come and view the concepts for the new library and offer feedback. He added that there will be a fundraising component to the project as well.

He introduced A.J. Montero, Architect, NBBJ to present.

Mr. Montero:

- Reiterated that this project is not only a library project, but a civic project. As a civic building, it has special considerations -- not only to the library program, but also to the community it inhabits.
- Offered a comparison between the currently library site and where the new library will be situated on that property.
- Noted that this concept not only houses the library building, but also gathering areas.
- Provided a graph depicting the height of the building in comparison to other buildings within Historic Dublin. He stated that the goal is to have it fit into the area aesthetically, but at the same time be an iconic structure that provides views of the area from inside as well. The new library will not be a skyscraper, but it will take advantage of the elevational changes on the property.

There are three areas of focus on the site in addition to the building:

- The civic stair arrival;
- The Plaza gathering; and
- The garden respite, which is the space between the garage and library.

All these areas need to be considered holistically because they all play a part in the total library experience.

He offered an illustration showing the civic plaza area. This area will be a gathering area for events, activity zones and serves as one of the main entrances to the library. Not only does it properly align the garage entries with the library, but it gives the opportunity to create views, hold events and creates a territory in front of the library. Illustrations were provided to show multiple potential uses of the plaza area. Two considerations in this area: within the budget is a green space, landscaped and well manicured, but not the plaza that was shown in previous slides of the presentation. The plaza is part of the design concept, but will require a separate fundraising campaign that Mr. Losinski referenced earlier.

Mr. Montero stated that there were some challenges with the elevations and sloping of the property. Entries needed to be created on several sides for both vehicular and pedestrian traffic. More will be discussed later in the presentation.

He showed some examples of how the materials in the design will complement the materials used in the Historic Dublin area and keep the iconic feel of the structure. The library will stand out, yet be a part of the community. A base will be of stone or brick-type material while the upper levels are more glassy and open allowing for an expansive program in the space, surrounded by the plaza and gardens. The existing treescape will enhance the space at the pedestrian level.

The design concept uses the elevations on the property to be advantageous to the library and their programming, offering three levels, while minimizing the need to carve into the rock. The library will go from 20,000 square feet in size to 41,000 square feet. Parking will be increased from 119 to 200 spaces.

The plaza level is the entry level from the parking garage. The High Street level will be used for more conference space and classrooms.

In response to a question from Mr. Keenan regarding programmable space, Mr. Montero stated that the first level is 6,000 square feet, each other level is approximately 15,000

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

January 10, 2017

Page 12 of 22

square feet. The top floor requires the larger footprint with denser room-by-room programming. It is the glassy area that creates views. It is an expansive area, more open, allowing people to move around and create their own experiences.

Mr. Reiner asked for a brief description of the interior spaces.

Mr. Montero responded that there has always been an emphasis on children's spaces. The library wants to establish interest in the library at a young age so programming and children spaces are very important. There are less book stacks. Libraries are evolving into public spaces with innovation and gathering opportunities to create one's own experiences. Library design and usage is moving away from the quiet areas, although there will be quiet and respite areas included.

Mr. Losinski added that this concept allows them to be flexible and evolve more in the future as needed. Expanded homework area, life skills, computer areas, and offering wireless service throughout the building and plaza, etc. All meeting rooms will have expandable walls to accommodate larger groups. He pointed out the walkout garden area that is close to the pedestrian bridge. The placement of the plaza on the south allows activities to take place without disturbing the serenity of the Grounds of Remembrance.

In response to Ms. Amorose Groomes, Mr. Montero stated that there is an alcove on the north side, but the larger plaza is on the south side of the building.

In response to Mr. Reiner, Mr. Losinski stated that this size more than doubles the current library space.

Mr. Reiner stated that many libraries offer a relaxed area for seating and gathering.

Mr. Montero noted that there are seating areas on the first level off High Street as well as smaller, more intimate seating areas cascading off the stair landings.

Mr. Losinski added that the glass is a deliberate material to create views out and in.

In response to Mr. Peterson, Mr. Montero stated that the height of the building is not incompatible with the other buildings represented in Historic Dublin.

• Garage Preview

Mr. Foegler stated that \$10 million has been programmed in the City's Capital budget for the garage. There is an additional contribution being made toward the garage by Columbus Metropolitan Library, which brings the total to \$11 million. Hard and soft costs for the garage concept that Council will view tonight total around \$12.5 million, so staff will continue to look for additional cost savings. There are approximately 537 spaces in the parking structure. The library will have a lease for 200 of the spaces, with the balance to be used for Historic Dublin visitors.

Mr. Foegler introduced Mr. Miguel Gonzales, Architect and Project Designer with Moody Nolan.

Mr. Gonzales stated that there are four stories to the garage. However, there is a considerable change in grade from the southeast façade to the northwest façade. It is about 11-13 feet, which substantially reduces the appearance of the mass of the building. The main vehicular entry is on the south side, off North Street with a book drop lane that exits onto Rock Cress Parkway (right turn only). The first level of the garage is actually on the second level of the library so there is a common level of entry at that elevation. The second floor offers another vehicular entry off Franklin Street on the west side with a pedestrian entry on the north and south sides. The second level also offers a bike hub.

Mr. Gonzales illustrated the materials being considered for the garage and stated that they are an interpretation of the materials found in the surrounding area. The garage will complement the library's design in look and materials so the site is a whole incorporated design. For the east and turning the corner to the south facades, the design will take advantage of the green (shown in the plaza area of the library) to create

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

January 10, 2017

Page 13 of 22

a green screen at the ground level. The upper screen will be manmade and composed of fins that essentially twist to create different patterns. A series of benches and planters creating a pedestrian and respite zone are planned. A screen could be incorporated to allow for movies, etc. He shared many different views of the illustrations showing green space and continuity between the buildings. Two types of facades, the screen façade or otherwise known as the library façade is more open and transparent. The street façade is more of a precast panel that has a form liner applied to it with different textures. The pattern itself of the concrete recalls some of the upper façade of the library.

Mr. Reiner inquired about the construction schedule.

Mr. Gonzales responded it could begin yet this year in 2017.

Mr. Foegler clarified that it will be hand-in-hand with the entire site development. Both parties intend to use Turner Construction to do all of the road systems, as well as both buildings. Development review and design times going forward will have an impact on the timeframe. Turner Construction has stated that they believe they will begin on the western side of the site with the garage and transition to the east. Assuming everything goes smoothly with permitting, reviews and approvals, aspects of the garage could proceed yet this year.

Mr. Reiner inquired about the content of the green wall.

Mr. Gonzales stated that it will consist of different types of ivy that grow in the area.

Mr. Reiner stated that ivy can be purchased already pre-trained in trellises that are six feet tall.

Ms. Salay stated that she is very impressed with the library building and is very excited about the project.

Mr. Keenan stated that at a past goal setting session, Council discussed a new library and the consensus was that Council desired that it have a "wow" factor. He believes this concept achieves that.

Mr. Lecklider recalled the same goal setting session, adding that this concept makes a statement. Relative to the garage, Mr. Lecklider stated that materials and the effect is important and he appreciates the architects being sensitive to that. He also stated that being able to achieve over 500 spaces in the garage serves the community well.

Mr. Reiner complimented the presenters on the garage, the building and its different shapes, angles and forms that make a beautiful piece of work.

Mr. Keenan stated that the screening is very important and Council will be paying particular attention to these details.

Mr. Lecklider stated that the multiple options for entering and exiting the garage are very beneficial.

Ms. Salay stated that she likes the idea of the screen and the opportunity for an art installation. She recalled Millenium Park in Chicago and the concept of having a screen to accommodate a broadcast would be very interesting.

Mr. Keenan stated that an Art in Public Places project will be due before this project is done. Perhaps an Art in Public Places installation could be incorporated into the design.

Mr. Reiner stated that the Dublin Arts Council is exploring possibilities with a Japanese artist who does tile work. This artist has an exhibit coming up of smaller scale pieces that will be on display. The Arts Council was considering having this artist do a wall or mural of some sort. He is highly skilled in small piece ceramics.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

January 10, 2017

Page 14 of 22

Ms. Amorose Groomes stated that it is a lovely building. She looks forward to hearing from the City's boards, commissions, and the public on whether or not it fits. She believes that is the key question.

Ms. Amorose Groomes asked about the elevation from the northeast corner to the very top of the library building.

Mr. Montero responded that it is approximately 43 feet.

She noted that what is important is what the public thinks. She looks forward to hearing that feedback and navigating through the board and commission process and collecting community input. She reiterated that the building is beautiful, but the question is does it fit in Historic Dublin? She looks forward to hearing those answers.

Mr. Peterson asked Mr. Losinski for the details surrounding the public meeting that will be held at the library on Wednesday, January 11.

Mr. Losinski stated that it will be essentially the same presentation as tonight's. The meeting begins at 5:30 p.m., and will take place in the Dublin branch library. A community session was held 18 months ago and the attendees offered feedback about what they would like to see. This meeting is for the purpose of coming back to the community and letting them see the current status.

Ms. Alutto asked if a summary could be provided of the comments from tomorrow evening's meeting.

Mr. Losinski responded that he could do so.

In response to Ms. Alutto, Mr. Losinski stated that the Historic Dublin businesses were notified of tomorrow evening's meeting.

In response to Ms. Amorose Groomes' question about how the meeting notice was communicated by the Library, Mr. Keenan stated that this Council meeting is live streamed and would be one vehicle of communication with the public.

Mr. Losinski stated that there is a notice about the meeting at the branch and Business First has mentioned it in their newspaper. In addition, the 43,000 cardholders received an e-mail announcing the meeting as well.

Mr. Peterson asked about the fundraising efforts that are planned, and the timing. Mr. Losinski is hopeful that the fundraising will be initiated soon. Since the construction is starting on the garage side, he is hopeful that by the time the plaza is ready to be built the fundraising will be well underway.

Mr. Peterson thanked Mr. Losinski and staff for all the hard work in bringing this forward and the ongoing partnership.

Mr. Losinski thanked Council, Mr. McDaniel and staff for the partnership and support.

Mr. Foegler provided an illustration showing the elevation to the Grounds of Remembrance and where exactly the scenic easement stops and the end of the park area. The landscaped area on the illustration represents the land that will be attained by virtue of this new agreement. More details will be coming on landscaping options.

Ms. Amorose Groomes inquired about the ownership of the property.

Mr. Foegler responded that the City doesn't own any of the land except for the cemetery. There is no lease for the Grounds of Remembrance property; it seems to have been done cooperatively with the Schools. Only a scenic easement has been granted at this time on the School property.

Ms. Amorose Groomes asked about the portion underlying the future Rock Cress Parkway as it stands today.

Mr. McDaniel clarified that the portion under Rock Cress as it stands today is on School/Library property. In the City's transaction with the Schools, the right-of-way and utility easements for Rock Cress will be obtained.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 8101

Held

January 10, 2017

Page 15 of 22

Mr. Foegler added that there are several real estate transactions necessary for all of this to work. He is pleased that it is near a successful end.

Mayor Peterson asked if the City Manager needs any direction from Council to re-engage the Veterans Committee.

Mr. McDaniel stated that, unless Council objects, he would like to reconvene that Committee as an informal sounding board and to secure their input regarding the adequacy of screening/buffering between the Grounds of Remembrance in Veterans Park and the future Rock Cress Parkway.

(There was no objection from Council to this course of action.)

Mayor Peterson noted that Resolution 01-17 can now be considered.

Resolution 01-17

Accepting the Lowest and Best Bid for the North High Street Widening Project.

(Project No. 16-016.0-CIP)

Mr. Keenan moved to approve Resolution 01-17.

Ms. Salay seconded the motion.

Mr. Reiner noted that the additional green space secured will be adequate barrier needed for privacy in the Grounds of Remembrance for the Veterans programs, so his concerns have been addressed.

Ms. Amorose Groomes stated her concern is with the significant amount of public input and public process that this site will be navigating between now and the time when it comes to fruition. If it is built now, it will be difficult to make adjustments if needed. She is concerned that the City will be locked in on the plan. She asked that Council table the Resolution until the framework of this site is complete.

Ms. Alutto asked about the delays that would result from tabling this resolution.

Mr. McDaniel stated that there has been discussion for a long period of time about the Thoroughfare Plan and the street grid. That began the framework. The priority was on the road network, and that framework then set forth how the site would be framed. Last July, staff checked in with Council on the pedestrian bridge alignment, the alignment location of North Riverview, the extension of North High Street as well as the general alignment of the roadway system around the new library. These pieces are all coming together at a critical time. Delaying the Resolution adoption at this point would impact the sequencing of the library project and may further impact the City's ability to have North High Street improved in front of the Bridge Park West project. He does not believe that Council has been "boxed into" this plan. There has been a very sequential, thoughtful process over a long period of time. It is always Council's decision, but staff has been building off the platform of these sequenced decisions. His concern is that delaying the North High Street improvements will result in a construction timeframe that pushes into the winter of 2017 and into 2018.

Ms. Amorose Groomes stated that she understood, however, that if the City were to adhere to the Code and the ARB review criteria, this building is too tall and some of the materials are not approved in the percentages they appear to be. She is concerned with placing the boards and commissions into a corner by saying that this building has to go on this site and therefore, it must be approved. She would like to have the public process play out and ensure that the public is supportive of the building. If the building is too tall and a bigger footprint is needed, what could be done if the roads are already built?

Mr. Reiner agreed with Mr. McDaniel that the road network goes back years and years. There is not a considerable amount of area to work with, and the architects do not have much of a choice in terms of shifting things.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS • DAYTON, OHIO

Form 8101

Held

December 5, 2016

Page 7 of 19

Ordinance 57-16

Authorizing the City Manager to Execute a Development Agreement and Other Necessary Documents with the Columbus Metropolitan Library ("CML") to Facilitate the Building of a Parking Garage, Library and Adjacent Streets on the Current Library Site in the Historic District.

Mayor Peterson moved to postpone action on Ordinance 57-16 until the January 10, 2017 meeting.

Vice Mayor Reiner seconded the motion.

Vote on the motion: Vice Mayor Reiner, yes; Mr. Keenan, yes; Ms. Salay, yes; Mayor Peterson, yes; Ms. Amorose Groomes, yes; Mr. Lecklider, yes; Ms. Alutto, yes.

Ms. Amorose Groomes pointed out a few typographical errors in the documents related to the abbreviation for Dublin City Schools and asked that these be corrected.

Ordinance 58-16

Authorizing the City Manager to Execute a Real Estate and Transfer of Property Agreement and Other Necessary Documents with the Dublin City School District ("DCSD") to Facilitate the Building of a Parking Garage, Library and Adjacent Streets on the Current Library Site in the Historic District.

Mr. Foegler stated that a question was raised at the first reading about how Franklin Street proceeded from North Street down to S.R. 161. A graphic has been distributed tonight that provides that detail. The agreement with the School District is able to move forward at this time because the language in the agreement has contemplated both scenarios of the Library project moving forward as well as the possibility of it not moving forward. Procuring the land needed for a future Franklin Street extension as well as the piece of North Street between Darby and Franklin that the City does not own is provided for within the agreement. The Dublin Board of Education has not yet taken action on this agreement, and therefore the agreement would not be executed by Dublin staff until that action by the Board occurs in the near future.

Ms. Amorose Groomes stated that she is concerned that Rock Cress is too close in proximity to the Grounds of Remembrance.

Mayor Peterson stated he was at the Grounds of Remembrance recently and wondered how a street could be accommodated in that Library area.

Mr. Foegler responded that Council affirmed in July the placement of this road. That landscape design is being advanced and details will be shared with Council in the near future. Rock Cress has been moved south as far as possible. There have been many sessions with the planners and landscape designers to think through how these considerations will be dealt with moving forward.

He also noted that the Planning staff has made it very clear to the Library that the City does not want the north side of the Library building to be viewed as some sort of "back door" to the building. The same thinking will be applied in relation to the parking structure. The parking structure will help to bring people into the area due to elevators that will bring them down to grade at both the cemetery and the Grounds of Remembrance.

Mr. Keenan stated that the property to the west is also important as things change and the potential for future development unfolds.

Mayor Peterson invited public testimony.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

November 21, 2016

Page 3 of 11

Ms. Mumma stated that staff is bringing forward what is hoped to be the final amendment to the 2016 Appropriations. The rationale for each of the amendments is detailed in the memo. Many relate to capital construction projects that have been authorized through Council action. This is a clean-up process done each year. She pointed out that, given five weeks remain in the fiscal year, staff has made its best effort to incorporate what is known at this time in the amendments. However, there may be a need to amend this prior to the second reading to address additional items that were unexpected.

Mr. Keenan summarized that this is year-end housekeeping done each year. If amendments are needed, will there be a need to approve this by emergency on December 5?

Ms. Mumma responded that will not be necessary as amendments to appropriations are effective upon passage, per the Revised Charter.

There will be a second reading/public hearing at the December 5 Council meeting.

Ordinance 55-16

Approving Ohio University's Framework Plan for its Dublin Campus. (16-093ADM)

Mr. Lecklider introduced the ordinance.

Ms. Gilger stated that this is the next step in the City's economic development agreement with Ohio University. It is tied to Ohio University receiving Subarea 2 from the City; the requirement was that the University obtain approval of their Master Plan by the Planning and Zoning Commission and Council no later than December 31, 2018. This Plan was approved at the last PZC meeting, and is now brought forward for Council to consider. Representatives of the University will be present at the December 5 hearing. She offered to respond to questions.

Mayor Peterson asked for confirmation that this is the same Plan that Council has reviewed previously in workshops.

Ms. Gilger responded affirmatively.

There will be a second reading/public hearing at the December 5 Council meeting.

Ordinance 56-16

Establishing Appropriations Based on the 2017 Operating Budget of the City of Dublin, State of Ohio, for the Fiscal Year Ending December 31, 2017.

Mr. Lecklider introduced the ordinance.

Ms. Mumma stated that this actually appropriates the funds for the 2017 Operating Budget that Council has approved tonight.

There will be a second reading/public hearing at the December 5 Council meeting.

Ordinance 57-16

Authorizing the City Manager to Execute a Development Agreement and Other Necessary Documents with the Columbus Metropolitan Library ("CML") to Facilitate the Building of a Parking Garage, Library and Adjacent Streets on the Current Library Site in the Historic District.

Mr. Lecklider introduced the ordinance.

Mr. McDaniel stated that a staff report was provided in the packet, addressing both Ordinances 57-16 and 58-16 relative to the site and underlying land to facilitate the new library and associated parking garage and road improvements.

Mr. Foegler stated that his presentation will address both ordinances, as they are highly interrelated and flow from the plans to redevelop the current Dublin Branch of the Columbus Metropolitan Library.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

November 21, 2016

Page 4 of 11

- The graphic shows an area outlined in red that is the current property as it is owned by the Dublin City School District. It is a site from which the Dublin Cemetery land was sold to the City a few years ago. Over the years, the site outlined in blue was made available to the Columbus Metropolitan Library for the local branch of that library. That land was provided to the Library at no cost from the Schools. The Schools retain certain kinds of rights related to that site, and that has complicated the negotiations for moving forward with a new development concept.
- In effect, the agreement with the School District will provide that the City secures the land outlined in yellow, which also includes the small extension of North Street that is still School District-owned property, for the construction of Franklin Street.
- In exchange for that right-of-way and that land, and in addition to the District releasing its restriction of record on all of the land to be used for roadways, parking garages, etc., the District is provided with access and connections to Dublin's fiber optic system. This will connect all but three of the District's facilities.
- Therefore, there is a trade for the real estate and real estate rights that are secured with this in exchange for the fiber connectivity.
- The Columbus Metropolitan Library site, outlined in red on the slide, consists of 3.47 acres currently. As planning has advanced over the last year, this site is made much smaller in terms of the residual that the library ends up with -- about 1.15 acres for the Columbus Metropolitan Library.
- The rest of that real estate is transferred to the City of Dublin. The largest piece of that -- about 1.25 acres -- is the site of the future parking garage that will serve not only the Library, but also the Historic District. This appears slightly tilted because of the sewer easement in the area. That works in everyone's favor because of that -- the future Rock Cress alignment, the green space between Rock Cress and the Grounds of Remembrance and the scenic easement, and a very small amount of about .05 acres to the south for the North Street expansion.
- All of these agreements -- with the School District releasing its rights -- are included in the School District-City agreement.
- With regard to the Columbus Metropolitan Library, the Library has, in effect, agreed to build and construct its new \$18 million plus library facility on this site, in exchange for which the City will be given the property and develop the parking garage that will serve both the Library and additional users in the Historic District, the land for Rock Cress, the additional acreage to the north, and the acreage along North Street. These are the largest obligations of the parties within that agreement.
- In addition, the agreement deals with such things as construction. This site is very crowded and it is not desirable to have multiple contractors on site. The agreement provides for a single Turner Construction contract -- kind of a general contract to have obligations for all of those with whom both the City and the Library agree to enter into a contract so it is all coordinated under one entity of construction control.
- The operational aspects, design reviews and approvals going forward, are all established within those agreements. There are still some aspects of those agreements that will be fine-tuned prior to the next reading, and those will be highlighted. Staff does not believe they are substantive in terms of the business nature associated with this.
- There has been some input from Council Members and others in regard to ensuring the City's rights with regard to ultimate design review and approval on its parking garage. Staff will make certain that language is adequately incorporated into this agreement.
- One other item of note is the graphic that makes reference to a series of road improvements that the City undertakes in conjunction with this project. It is what is being called the northern portion of Franklin Street -- from North Street to Rock Cress -- that is built as part of this project. The small tilt due to the sewer line allows the City to minimize any impact on the City's leased surface parking lot and

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

November 21, 2016

Page 5 of 11

keep it operational during the construction. The graphic shows the Rock Cress construction, the North Street reconstruction with the right-of-way provided by the School District, and the planned High Street reconstruction project.

- There will be a large volume of construction activity ongoing in this area, as evidenced on the graphics. The only road pieces that would be undertaken under single contract would be the three segments shown on the graphic. The High Street project will be a separately bid project, moving forward in early 2017.

The Administration is recommending that Council schedule a second reading/public hearing of the Ordinances at the December 5 Council meeting and encourages passage of Ordinances 57-16 and 58-16 on December 5, authorizing the City Manager to enter into those agreements. Some minor revisions will be brought forward for Council's consideration on December 5.

He offered to respond to questions.

Mr. Lecklider noted that in reviewing the development agreement with the Library, there is some language that concerns him.

1. On page 3, section 2, paragraph a, in the second half where it discusses how the City will consult with the Library with respect to the design of the garage -- he wants some assurance that the City will have some independence in the design of this garage. The language indicates, "which approval shall not be unreasonably withheld." He is not comfortable with this language, even though it is included in other agreements the City has entered into.

Mr. Foegler responded that until the parties are comfortable with the projects and the designs, they will not move forward. The City is not out front and at risk building a parking garage or constructing streets. All of the parties are signing off when comfortable with the improvements and the projects, and they all move forward simultaneously with this. Staff will make it clear in a modified version of the agreement that the final design and the budgets associated with the garage are the City's decision. This will be clarified in the agreement.

Mr. Lecklider noted that the City certainly has an interest in the parking garage design being complementary to the design proposed for the library. On page 4, section 3, under the heading of "CML to design and construct the library" -- paragraphs b and c, the last sentence in paragraph b states that "CML reserves all rights as a political subdivision in the State of Ohio." This language gives him some concern.

Mr. Foegler responded that there was some initial discussion with some of the Library advisers questioning if they were subject to the City's zoning and development review process. For that reason, the provisions were added that the Library is subject to the City's development review and approval process. Effectively, the City's review and approval of this is as manifested in the zoning and development review process. Council will be the first reviewer and approver of the Basic Plan and will decide if they want to do so for subsequent plans as well. Whatever rights the Library has under statute is reflected in that language. Staff made it clear that the Library is subject to and agreeing to be subject to the City's development review regulations, including zoning and all other associated aspects of that process.

Mr. Lecklider stated that he is fine as long as the City is comfortable that this language does not present a conflict that the Library would later rely upon.

Mr. Foegler responded that the City's attorneys strongly believe the Library is subject to the City's development review and approval in any case.

Ms. Alutto stated that she is aware this information is in the narrative provided, but it would be helpful for her to have a matrix that combines the funding sources -- who is paying what and what it will fund -- something that is simplified and easy to review all together.

Mr. Foegler responded that staff can provide this. He summarized that all of the City's obligations with regard to the parking garage and the roads are within the approved CIP and are identified as projects within the CIP. Mr. McDaniel has brought forth some funding with regard to the fiber, part of which was a grant. Staff can provide additional clarification on that. The Library costs are all funded with its bond proceeds. These can be laid out in a matrix.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

November 21, 2016

Page 6 of 11

Ms. Salay asked when the School District is considering their portion of this agreement, or have they done so already.

Mr. McDaniel responded that his understanding is that Dr. Hoadley has presented this to the Board. He needs to check back in with them one more time, and this is to occur by the end of the year. The Library Board has one meeting remaining in 2016 on December 1. It is his understanding that the Library will act on the agreement on that date. Staff will confirm that.

Ms. Salay stated that all of this should therefore be completed by the end of the year.

Mr. Foegler added that the Board of Education did approve the term sheet in the spring that was a predecessor to all of this.

Ms. Salay asked for confirmation that the City will build this stretch of Rock Cress under the agreement.

Mr. Foegler responded that is correct. Rock Cress will provide a new way in and out beyond North Street and will create a whole new urban block around this development. The second phase of a future Franklin Street that would extend to the south would actually require the removal of the Bridge Street Academy building. The agreement provides that it cannot happen for a couple of academic years out, and then only if the City is ready to undertake the street extension at that time. The other nice feature of this land exchange is that it does provide for the full extent of the Franklin Street road extension when and if the City is ready to do so.

Ms. Salay asked if the Franklin Street extension impacts the property on the other side.

Mr. Foegler responded that the extension will not go onto the J Liu property, but will help its future developability by providing another significant access point. Engineering, over time, will have to determine when and if a signal at Franklin would occur there. Overall, the extension aids in its future developability, but will crowd the street now in terms of the parallel parking on the edge of that parcel. There are graphics available to show the impacts. Staff can verify that.

Mr. Keenan thanked Mr. Foegler and Mr. McDaniel for their leadership in this project. He also thanked Council, staff, the Board of Education, and the Columbus Metropolitan Library Board for working through this process, which began well over three years ago with a visioning process. It is noteworthy that the parties all serve similar constituencies and ultimately came together on this.

Mayor Peterson echoed the commendation of staff for proposing the access to Dublin, and allowing the Schools this access. It benefits everyone and was a great solution! He echoed Mr. Lecklider's concerns about the two provisions and hopes they can be addressed prior to the next hearing.

There will be a second reading/public hearing at the December 5 Council meeting.

Ordinance 58-16

Authorizing the City Manager to Execute a Real Estate and Transfer of Property Agreement and Other Necessary Documents with the Dublin City School District ("DCSD") to Facilitate the Building of a Parking Garage, Library and Adjacent Streets on the Current Library Site in the Historic District.

Mr. Lecklider introduced the ordinance.

There will be a second reading/public hearing at the December 5 Council meeting.

INTRODUCTION/PUBLIC HEARING/VOTE – RESOLUTIONS

Resolution 60-16

Authorizing the City Manager to Enter Into a Reimbursement Agreement with Edward A. Pollina Construction, LLC for a Public Sanitary Sewer Extension (7100 Avery Road).

Mr. Lecklider introduced the resolution.

Mr. Hammersmith stated that in December of 2015, Council adopted the utility extension policy for properties within the City that included extension prioritization factors for a 15-

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

February 8, 2016

CALL TO ORDER

Mayor Peterson called the Monday, February 8, 2016 Regular Meeting of Dublin City Council to order at 6:15 p.m. at the Dublin Municipal Building.

ROLL CALL

Present were Mayor Peterson, Vice Mayor Reiner, Ms. Alutto, Ms. Amorose Groomes, Mr. Keenan, and Mr. Lecklider. (Ms. Salay arrived later due to another commitment)

Staff members present were Mr. McDaniel, Ms. Mumma, Ms. Readler, Ms. Crandall, Ms. O'Callaghan, Ms. Goss, Chief von Eckartsberg, Mr. Foegler, Mr. Rogers, Ms. Puskarcik, Mr. Tyler, Mr. Hammersmith, Ms. Gilger, Ms. Husak, Ms. Richison, Mr. Kridler and Mr. Gettman.

ADJOURNMENT TO EXECUTIVE SESSION

Mayor Peterson moved to adjourn to executive session to consider personnel matters related to the employment of a public employee and the appointment of a public official, the purchase of property for public purposes, and for conferences with an attorney for the public body concerning disputes involving the public body that are the subject of pending or imminent court action.

Mr. Lecklider seconded the motion.

Vote on the motion: Vice Mayor Reiner, yes; Mayor Peterson, yes; Ms. Alutto, yes; Mr. Keenan, yes; Ms. Amorose Groomes, yes; Mr. Lecklider, yes.

The meeting was reconvened at 7:00 p.m.

PLEDGE OF ALLEGIANCE

Daniel Paraskos of Boy Scout Troop 117 led the Pledge of Allegiance.

SPECIAL RECOGNITION/PROCLAMATION

- Ohio Poet Laureate - Dr. Amit Majmudar

Mayor Peterson read and presented a proclamation to Dublin resident Dr. Amit Majmudar, Ohio's first poet laureate, and congratulated him on this achievement.

Dr. Majmudar thanked Council for this special recognition. He noted that Dublin is a wonderful place to live and Council's support means a tremendous amount to him. He introduced his wife and three children who accompanied him. He thanked Council for the invitation to the meeting.

SPECIAL PRESENTATIONS

- Dublin Branch Library Manager – Candy Princehorn

Candy Princehorn, new Manager of the Dublin Branch Library, part of the Columbus Metropolitan Library system introduced herself to Council and provided background on her education and experience. She has over 20 years of experience working in libraries, beginning with a staff position at the Karl Road branch up to her previous position as Branch Manager of the Northside Branch of the Columbus Metropolitan Library. While at the Northside Branch, she had the opportunity to be an integral part of their design team for their building project. She looks forward to participating in the building project for the Dublin Branch as well. While at the Northside branch, she worked with an economically and ethnically diverse community – primarily an urban setting. She is very interested in experiencing library service in a suburban environment. She is very pleased so far with the engagement of the Dublin community that she has experienced – supporting literacy and library programming. She has lived

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

BARRETT BROTHERS - DAYTON, OHIO

Form 6101

Held

February 8, 2016

Page 2 of 19

in the northwest area of Franklin County for 20 years, and resides in the Worthington School District.

The Dublin Branch library's current location provides a front row seat to the dynamic changes that are underway in the area. But as these opportunities ahead are exciting, it is important not to forget that the library does have a longstanding tradition of supporting the Dublin community. She described the various programming offered – supporting young mind strategies -- from storytimes that teach early literacy skills to infants through preschool age. They have a reading buddies program where students in grades K through 3 have a chance to read with a partner to improve reading fluency and comprehension. They also have a homework help center, which is devoted to helping students in grades K through 12 with their assignments and basic tutoring needs.

They also support programming for adults – public computers are available, faxing and scanning capabilities. As a library, they have print materials and e-content options available. Any Dublin Branch library staff will help anyone download e-books on their personal device.

They are also collaborating with the Dublin Historical Society on the Dublin Memories Project. This is a natural pairing of the Library's interest in looking toward the future, focusing on connections and not just collections, but also supporting the traditional role of the libraries as an archive within the community.

She encouraged Council members and the public to reach out and visit the Dublin Branch library. They are here as a resource for all.

- Update from Dublin Convention and Visitors Bureau – Scott Dring, Exec. Director

Scott Dring, Executive Director noted that Frank Willson, City Council representative to the Bureau Board accompanies him tonight.

He noted the following:

- The USA National Archery team selected Dublin to host one of its qualifying events. The event in Dublin will be held in August at Darree Fields and will have \$1.5 million of economic impact to the community. There will be 300 of the top national archers in attendance. The archery competition in the Olympics will be held the week prior, and most of the national team participating in the Olympics will fly straight into Dublin to participate in this event. The event is free and open to the public.
- The Bureau is heading a contingent to travel to Carmel, Indiana tomorrow morning, including representatives from the City of Dublin, Dublin Arts Council and the Bureau. Carmel has a lot of synergies and innovations that they hope to learn about. They will share the results when they return to Dublin.
- During the year, travel packages are created to entice people to visit Dublin. They partner with other entities and hotels on these. They have packages in place for the St. Patrick's Day weekend and Blarney Bash, the Memorial Tournament, a summer package to the zoo and Zoombezi Bay, Dublin Irish Festival, etc.
- They enjoy a unique partnership with the Ohio High School Athletic Association. They hold 19 of their 23 state championships in Central Ohio, and this provides a great opportunity to house these visitors in Dublin. Boys and Girls state basketball championships will be held at the Schottenstein Center at OSU, and most of the teams are housed in the City of Dublin, together with family and friends.
- They are also involved on a detailed research project regarding the visitors to Dublin, what motivates them and from where they originate, in order to fine tune future marketing efforts.
- He shared a video annual report they have created, which summarizes what they accomplished this year and what is planned for next year.

RECORD OF PROCEEDINGS
Dublin City Council

Minutes of

Meeting

DAYTON LEGAL BLANK, INC., FORM NO. 10148

January 26, 2015

Page 13 of 18

Held

20

Ms. Crandall responded that the property will be acquired at no cost.
There will be a second reading/public hearing at the February 9 Council meeting.

Ordinance 07-15

Authorizing the Appropriation of a 0.006 Acre, more or less, Fee Simple Interest from the Estate of Basil J. Brown, for the Property Located off Riverside Drive, North of Dale Drive, for the Relocation of Riverside Drive, and Declaring an Emergency.

Vice Mayor Gerber introduced the ordinance.

Ms. Readler stated that this ordinance authorizes the acquisition of property needed for the relocation of Riverside Drive. There was a resolution of intent to appropriate at the last Council meeting; this is the next step in the process. As indicated at the last meeting, the title was not clear, and there was difficulty locating the heirs. At this time, at least one heir has been identified. Probate court will have a process to determine the estate. The value of the appraisal is \$900 as this is a very small portion of land.

Public Testimony:

Mr. Maurer inquired what happens if the unidentified heirs show up after the City has taken the property.

Ms. Readler responded that if the City uses a "quick take" process, the \$900.00 will be posted with the Court, and then the City can take the property. It will be determined who is entitled to the money, but clarifying the title will not stop the work on the parcel.

Vice Mayor Gerber moved to dispense with the public hearing and treat the ordinance as an emergency.

Ms. Salay seconded the motion.

Vote on the motion: Mayor Keenan, yes; Mr. Peterson, yes; Ms. Chinnici-Zuercher, yes; Ms. Salay, yes; Vice Mayor Gerber, yes; Mr. Lecklider, yes.

Vote on the Ordinance: Ms. Salay, yes; Mr. Lecklider, yes; Mr. Peterson, yes; Mayor Keenan, yes; Ms. Chinnici-Zuercher, yes; Vice Mayor Gerber, yes.

OTHER

- Update on Public and Private Improvements Planned near the Dublin Library

Mr. Foegler provided background. Given the improvements being planned around the Library area, it was important for the City to take a comprehensive look at the various public infrastructure and private improvement projects being planned. It was important to understand the relative impacts and ensure that the public and private investments occurred in a way that reinforced the vision and goals for the Historic District. The Columbus Metropolitan Library has focused its efforts on a new Library facility on its existing site in Dublin. There will be a grid roadway system around that site that will impact its development. The City has important investments in the Veterans Memorial, cemetery and other related facilities nearby. There is a school located next door. On the east side of the street is the proposed Crawford Hoving large-scale mixed-use project. There is a lot of park acquisition and development planning occurring further to the east. There is a proposed pedestrian bridge that is being evaluated in terms of its landing in the Historic District. Their planning efforts have focused on looking at all those components comprehensively, understanding the roadway system and infrastructure, and how those inform these public and private investments. An update on that effort is being provided this evening. There will be more engaged public sessions as the Library building concept begins to emerge.

Darren Meyer, MKSK, shared a PowerPoint depicting Historic Dublin area west of the Scioto River and the Library site. The view has a mix of existing conditions and some proposed. There are two active development parcels in this area – the new Dublin branch library and the proposed Crawford Hoving Bridge Park West development. In addition to High Street, the surrounding street network includes North Street and North Riverview. An extension of Franklin Street from Bridge Street to the Indian Run greenspace is proposed, a new street, Rock Cress, would run west along the Indian Run greenspace. These two streets will complete a public street network around the future Library site. There is also the potential extension of North Riverview Street to Dublin Road. At some future date, the Thoroughfare Plan anticipates a vehicular road connection in alignment with John Shields Parkway that would be extended to Post Road. [Discussed restructuring of existing streets and parking as part of the Library and Bridge Park West developments.]

RECORD OF PROCEEDINGS
Dublin City Council

Minutes of

Meeting

DAYTON LEGAL BLANK, INC., FORM NO. 10148

January 26, 2015

Page 14 of 18

Held

20

The original landing of the pedestrian bridge provided for the connection to be at the center of activity on the east side at the Bridge Park East development at the former Dale Drive and connecting to North Street. However, some challenges with that location have become apparent, including:

- North Street drops 15-20 feet from High Street, so there is difficulty moving pedestrians back up to High Street by an accessible route.
- The pedestrian bridge would land essentially at some of the back doors and parking lots of the developments, which doesn't center it in an area of activity in redevelopment.

They are studying the option of a slight shift of the west landing to the north. It has several advantages, including:

- Connection to the cycle track loop – the bike facilities being planned as part of the District
- Located at the threshold of the Indian Run Park system
- Terminates into the civic use with the Library
- Potential shared public parking
- Ability to bring bridge up to the High Street grade rather than land 15-20 feet; can be achieved with a gentle climb.

[Showed early conceptual models of how those pieces come together]

He noted that they are looking at the area of the Grounds of Remembrance very carefully. They want to ensure that with all the redevelopment they are able to design a buffer between the memorial park and the public street and public spaces, so that the space can retain the reflective, contemplative, honorific character it deserves. There will be a need for filters between that and the activity of the new street.

Ms. Chinnici-Zuercher inquired if there is a sense of the timeframe for the new Library system. Ms. Grigsby responded that they are still in the process of completing some of the program analysis of the Library and also looking at potential opportunities with the Dublin Arts Council and the Convention and Visitors Bureau. Another meeting is scheduled next week to review the status. Sometime after that, staff will have a better understanding of what may fit into that facility, based upon the site limitations.

Mr. Foegler stated that the Library and its design team have formally launched efforts to put concepts together that incorporate the various uses, look at the parking potential, and the street elevations. They will be producing some initial concepts to help vet the visibility of the uses coming together, as well as informing the design and layout of the site. Some ideas will emerge within a 60-day timeframe that can be shared.

Mayor Keenan inquired if they anticipate having plans by the end of the year.

Mr. Foegler responded that the goal is to complete the planning and design work this year.

COUNCIL COMMITTEE REPORTS

Ms. Salay, PZC Representative reported that she, Mayor Keenan and Vice Mayor Gerber attended the last PZC meeting. Former Council Member and Mayor Joel Campbell also attended and spoke eloquently about public service. After the oaths of office, there was a two-hour training session. Training sessions will continue in the next months. The Commission is looking forward to a full agenda with the new members on February 5.

Vice Mayor/Administrative Committee Chair Gerber reported that there was a brief committee meeting at 5:45 p.m. immediately preceding this Council meeting regarding Council's goal-setting retreat agenda. The tentative retreat agenda will be shared prior to the next Council meeting for review and comment. A list of potential facilitators will be shared for Council input, as well.

Mr. Peterson, Council liaison to the Dublin Board of Education stated that Mayor Keenan, Mr. McDaniel and he met with Brian Deitsch, the new Chief Operating Officer for Dublin City Schools. He is an engaging, dynamic individual and will do a great job in this role. Mayor Keenan added that Dr. Hoadley and Mr. Deitsch previously served in adjoining school districts. Mr. Deitch is interested in creating new synergy between the City and the Schools.

Ms. Chinnici-Zuercher, City MORPC representative stated that she attended the Regional Policy Roundtable meeting last week. She has provided copies tonight to Council of the Insight 2050 Scenario Metric Summary. There will be discussion about this at the upcoming retreat.

RECORD OF PROCEEDINGS
Dublin City Council

Minutes of

Meeting

DAYTON LEGAL BLANK, INC., FORM NO. 10148

April 28, 2014

Page 2 of 15

Held _____

20 _____

generates \$7.8 billion in revenue, and last year, 1.6 million visitors came to Dublin. It is a huge economic generator for Dublin, the state, and the nation.

- The DCVB Board and staff are excited about the City's initiative for the new community wayfinding. Wayfinding is important to travelers who come to Dublin, and it has been cited as the number one issue for those who visit Dublin. They will support this initiative in any way possible.
- An ongoing strategy of the Bureau has been to attract visitors who are attending events held outside of the City of Dublin to stay in Dublin hotels. The OHSA state basketball tournaments were held at the Schottenstein Center last month and the Bureau has worked hard to attract those associated with these tournaments to stay in Dublin. They are working to ensure this occurs with the upcoming football championships being held at Ohio Stadium in the fall.
- He announced that every visiting college football team this fall, except one, would be staying at Dublin hotels. This includes administrators, fans, bands -- and all will be staying in Dublin, bringing exposure to Dublin and business to the local restaurants and retailers.
- Over the weekend, the Nike Soccer Cup was hosted in Dublin with over 300 boys' soccer teams from U.S. and Canada. This is held at Darree Fields, with some portion held at Westerville fields. Two weeks ago, the Nike Soccer Cup for girls was also held in Dublin, and the majority stayed in Dublin hotels.
- Football University will return to Dublin on July 17-19 at Dublin Jerome High School. It was a huge success last year, generated 4,500 room nights, and has positive economic impact for the City. The hotel revenue alone generated is approximately \$500,000.
- They are also excited to host the 2014 United States/Australian Rules Football National Championship. The event will be held October 10-12 at Darree Fields, and the City partnered with the Bureau to pitch for this event to be held in Dublin. It will attract 40 teams from 40 cities across the U.S., as well as Canadian and Australian teams. The event is totally free for local residents to attend. He shared a brief video of a recent game.
- SafeCON collegiate flying competition will hold their event at Don Scott Field in 2015, and will bring visitors and result in room nights for Dublin.
- Six bus tours were hosted last year in Dublin.
- He reported that he would represent the City of Dublin as one of two suburban seats on the Board of the Franklin County Convention Facilities Authority, which oversees the Columbus Convention Center, the Nationwide Arena and the new Hilton downtown. He is pleased to serve in this position to ensure Dublin has a presence in this regional group.

He thanked Council for all of their support of the Bureau.

Update from Columbus Metropolitan Library re Dublin Branch Project

Patrick Losinski, CEO, Columbus Metropolitan Library addressed Council. He noted he is accompanied by Alison Circle, Chief Customer Experience Officer for the Library, who is responsible for programming activity, particularly for the new facilities. She will provide an overview to Council tonight. They are continuing to work with Dublin staff on a regular basis, and have met twice since the last presentation to Council. The deliberations and discussions have been very productive. He noted the following:

- The Library's architect, NBBJ is meeting with MSKS to review the site options for the Library. They are exploring collaborations with other entities within the Dublin region for the Library project. This scope of work is beyond what is characterized as the library design work at this time. They are working with the City Manager and staff to ensure there is an understanding of those two items.
- Tonight's presentation will be a high overview of program elements. They are working with the OCLC staff, and he shared photos of some other libraries in the world -- including one in Almere, The Netherlands.

RECORD OF PROCEEDINGS
Dublin City Council

Minutes of

Meeting

DAYTON LEGAL BLANK, INC., FORM NO. 10148

April 28, 2014

Page 3 of 15

Held

20

This is a combination of public and private use, and has residential use included. Another is Howard County, Maryland, which combined the local historical society as a mixed use.

- Since the last presentation to Council, Columbus has been selected as host city for the International Federal of Libraries Association. For the last two years, they worked with OCLC and OSU to attract this conference. Four-thousand libraries from over 100 countries will attend this conference in 2016.
- He noted that Ms. Circle will address some trends in libraries, particularly as it relates to collaborations; how the collaborations are identified upfront in terms of capital investment; and how the collaborations are understood moving forward with ongoing operational costs.

Ms. Circle, Chief Customer Experience Officer, noted she is joined by Marihelen Hatcher, Public Services Administrator of the Columbus Metropolitan Library. Ms. Circle stated that the Library is in the process of planning and constructing 10 buildings in the near future, and it is important to look ahead about the kinds of things to be integrated into the buildings. The library is interested in building a library that will serve the needs in 2020.

- They are focusing on community space that allows the Library to facilitate the convening of a community. This includes gathering space and meeting rooms that a community can book at no cost.
- They want the design to be flexible to accommodate future changes and new services.
- They are looking at convenience for the patrons, including the current self-check system – allowing access for people through their own means.
- They have a current library project where the branch is digitizing local history and wants to make that very visible and present.
- It is important for convenience purposes to have a drive through pick-up window to pick up and order reserve items.
- They are working toward a concierge type of service where technology and tablets are used to escort the customers to their needs.
- Civic space is an important consideration, especially for Dublin. They want to provide a place around the facility that can be utilized. She shared an example of the new library in Cuyahoga County that includes a green roof. She also shared a photo of Hunt Library in North Carolina that includes a veranda on the top floor, bringing outdoor space into the building. The top floor of the Chicago Public Library includes space for weddings and events, and during the day, it is open for contemplative use.
- The Columbus main library building is being renovated. As part of the renovations, the marble exterior of the east facing back portion is being removed and a glass façade will be incorporated. This will allow a view of the Topiary Park directly to the east of the main library.
- For the Dublin branch, elements will include a coffee bar; five to six meeting rooms, one which can seat 200 and is capable of being divided into two or three smaller rooms; programming is planned for two 25-person meeting rooms equipped with technology; 14 individual study rooms are planned – four as a four-person collaboration space and 10 as two-person meetings rooms; the homework help center will be doubled in size to accommodate 40 people; a partnership with Columbus State for life skills, including tutorials, mediation, proxy testing; expanded kids and teen spaces; and a large quiet study with a fireplace.
- For comparison purposes, she shared the floor plan of the new Whitehall branch opening in early 2015. It is the equivalent of today's Dublin branch. The new Dublin branch will be twice this size, or 42,000 square feet. She

RECORD OF PROCEEDINGS
Dublin City Council

Minutes of

Meeting

DAYTON LEGAL BLANK, INC., FORM NO. 10148

April 28, 2014

Page 4 of 15

Held

20

shared a rendering of the floor plan, pointing out the various elements. She noted that there is also a recording studio for teens for video and audio production.

Mayor Keenan thanked Mr. Losinski and Ms. Circle for the update.

CITIZEN COMMENTS

Wallace Maurer, 7451 Dublin Road stated:

1. He made an error when last speaking at the podium. He applauded the City foresters for the marvelous placement of flowers, particularly at the roundabout near his home. He realized later that these are perennials that were placed last year and have bloomed again!
2. Emmett Conway, a great forester from the state of Ohio was inducted yesterday into the Ohio Department of Natural Resources Hall of Fame for his contributions to forestry and the conservation community. He catalogued the forests in the state, and the family has bequeathed significant material to the University from his work. Mr. Conway was honored yesterday posthumously. The range and depth of his work is very impressive and something he was not aware of until yesterday. Mr. Maurer suggested that the City might want to consider honoring the arboretum/forestry staff of the City for their work done over the years.

CONSENT AGENDA

(Items proposed for the Consent Agenda are acted upon by a single motion and vote of Council. However, upon request of a Council Member, any proposed Consent Agenda item may be removed from the Consent Agenda for further discussion/consideration under the regular order of business.)

Mr. Reiner moved approval of the actions for items on the consent agenda.

Ms. Chinnici-Zuercher seconded the motion.

Vote on the motion: Mr. Peterson; yes; Ms. Salay, yes; Mr. Lecklider, yes; Ms. Chinnici-Zuercher, yes; Mr. Reiner, yes; Vice Mayor Gerber, yes; Mayor Keenan, yes.

- Notice to Legislative Authority re D3 liquor permit for Megumi, LLC. dba Megumi Fusion, 331 W. Bridge Street, Dublin, OH.
- **Ordinance 26-14 (Introduction/first reading)**
Authorizing the Appropriation of a 0.155 Acre, More or Less, Present Road Occupied Fee Simple Interest; a 0.045 Acre, More or Less, Permanent Slope, Grading And Drainage Easement; and a 0.037 Acre, More or Less, Temporary Easement from Jack K. Beatley, for the Property Located at 6713 Glick Road for the Construction of a Multi-Use Path as Part of the Glick Road Phase 3 Project. (Second reading/public hearing May 5 Council meeting)
- **Ordinance 27-14 (Introduction/first reading)**
Authorizing the Appropriation of a 0.015 Acre, More or Less, Permanent Easement; and a 0.048 Acre, More or Less, Temporary Easement from Darrell L. Cramblit and Victoria L. Cramblit, for the Property Located at 355 South High Street for the Construction of a Multi-Use Path as Part of the Dublin Road South Phase 3 Project, and Declaring an Emergency. (Second reading/public hearing May 5 Council meeting)
- **Ordinance 28-14 (Introduction/first reading)**
Authorizing the Appropriation of a 0.029 Acre, More or Less, Permanent Easement; and a 0.029 Acre, More or Less, Temporary Easement from Mohammed Ghiath Ammar and Ester Lea Ammar, for the Property Located at 6143 Dublin Road for the Construction of a Multi-Use Path as Part of the Dublin

Ms. Grigsby stated that this starts the discussion by providing background information on what we are looking at, knowing that we have roadways that within the next few months will be prepared for construction. The final design will be completed this year on the Riverside Drive realignment.

Mr. Keenan stated that this discussion sets the stage for the Library discussion.

Ms. Grigsby responded it will pertain to everything that gets developed within the BSC district.

Ms. Chinnici-Zuercher stated that, personally, she believes the paint striping option should be eliminated. Wherever we have used that, it has been a disaster. Our weather seems to be getting worse, rather than better. She prefers the brick or stone option to provide the same information.

Mr. Keenan stated that Dublin is very diligent about snow removal, which could have an impact on brick pavers.

Ms. Grigsby responded that when we have looked at ongoing maintenance, that issue has come up, for instance when we looked at the Ballantrae intersection treatments.

Ms. Salay inquired what has been the experience with Ballantrae.

Ms. Grigsby responded that she believes there are none at this time. Initially, there were some issues which stemmed from the need to become familiar with the different pavement type. In one area, some changes needed to be made in the base. The snowplow drivers would prefer to have smooth asphalt, but there are no real problems with the pavers.

Ms. Chinnici-Zuercher stated that the brick in German Village was laid a long time ago. Today, there are much better products and installation procedures, so she is not concerned about the use of pavers. It is important to utilize contractors that are highly experienced in the use of this material.

Ms. Grigsby responded that at one point, we attempted the use of bomanite, but we have returned to the use of brick because it performs much better. Although bomanite was less expensive up front, it is more expensive in the long run.

Mr. Reiner stated that he likes the east-west orientation that will draw people to the river corridor. The design elements will point people in that direction. He is looking forward to seeing additional ideas.

- **Library Project Update**

Ms. Grigsby stated that representatives from the Columbus Metropolitan Library are present to provide information on what their Dublin branch site relocation process has been to date, site selection criteria, and the status of their process.

Roger Sugarman, President, Columbus Metropolitan Library Board of Trustees, stated that also present tonight are Pat Losinski, Chief Executive Director and Alison Circle, Chief Customer Experience Officer. Pizutti is their only representative, and Jim Russell and Don

Wheat are here from Pizutti. NBBJ is the architect selected for the Dublin project, and here from NBBJ are A.J. Montero and Kim Way.

Mr. Sugarman reviewed the sites of the ten library buildings included in their 2020 Plan, and ambitious \$120 million building project, which will transform those ten buildings. We believe the communities will benefit from the libraries of the future, so we call this an aspirational building project. Their top priority is the young minds throughout our communities, and the physical locations and buildings will be tailored to young minds. He reviewed the anticipated project schedule. The Whitehall library building will open the fourth quarter of 2014. Presently, the new Dublin library building is anticipated to open the second quarter of 2016. \$100 million in public library fund notes were sold as bonds a year and a half ago. As a public institution, we are required to spend down the money from the sale of those bonds in a timely fashion up through December 2017. IRS regulations allow the holders of those bonds to become tax exempt. We are trying to comply with the bonds spend-down requirements. The reason we sold the bonds at that time was that construction costs and the interest rates were very favorable. If we delay the project, over time our costs will increase, so it is preferable to begin the project as early as possible.

Pat Losinski, CEO, Columbus Metropolitan Library Board of Trustees stated that in addition to the main library campus in downtown Columbus, there are 20 branch locations throughout Franklin County. We are also part of an online consortium with 14 additional libraries, so in total, there are 39 buildings that are accessible with collections. There are daily deliveries Monday through Saturday to all those locations. The Dublin school district is one of ten school districts that we serve County-wide. Replacing the Dublin library building dates back to 2008. In November 2011, a visioning workshop was held with the City of Dublin, OCLC representatives and the president of Columbus State. There were a series of pre site selection meetings with City staff throughout 2012, and the City participated with the Library in two efforts for architect selection. NBBJ was selected in round two. That was followed by a project kick-off meeting with City administration. The new building will provide specific programs, including drive-through book drop and pick up window. They are pursuing a Gold Leed certification on the building, which will be used for educational purposes. Many more meeting and study rooms will be provided by the new building. [review of branch programs and collaboration of civic space continued.]

A couple of factors are important in considering site analysis. The various branch buildings all were in concert. The Northwest Library on Hard Road is actually a shared facility where Worthington and Columbus library districts each contribute one-half of the annual operating funds. This library is not part of the levy taxing authority for the Columbus Metropolitan Library. He reviewed the traffic patterns for the Dublin library usage. The present Dublin library building was built 34 years ago and expanded in 1990 on 3.6 acres – a 20,000 square feet building with 119 parking spaces. The future proposed building will double the existing space to 42,500 square feet and more than 200 parking spaces and a total project budget of \$18.2 million. There are five particular areas of site criteria being considered.

A.J. Montero, lead architect, NBBJ, presented an overview of the major evaluation considerations and how those are applied to the current site. From a location perspective, this library building is at the heart of the growing urban core. It is a good size site. It is good for the Library and good for possible co-location or collaboration with other groups. It has sufficient

room for parking and there is enough open space that it is possible to do something more than just put a building on the site, lending itself to the civic aspects of the community. The site is adequately served with utilities. From a cost perspective, the Library owns the site, so there would be no acquisition costs and no unknown costs in regard to development of the site. Those are all positive factors. From a site-planning perspective, the Library and its connection to the Veterans Park has always been an amenity that is cherished by Dublin residents and library patrons. It is part of the adjacent the growing Historic District and a Dublin Schools site. It is also in a key location with a view of the planned pedestrian bridge. All of these elements make the current site very attractive from a site design and placement perspective. Tonight, they will show diagrams, not architectural design – that will be coming. The existing Library building was designed over 30 years ago. At that time, urban design was not a consideration for its design or for the District. This building is essentially a suburban solution – a building surrounded by greenspace, and it has served its purpose very well. As we grow into a new district, however, there is an opportunity to re-evaluate and understand how the Library can support an urban district; define the edges of North High and North Street; to develop an opportunity for an iconic character on an important corner; and to become a gateway building to the District. Moving the Library building to the corner will enhance its visibility, will improve understanding of the definition of the streets, and support the walkability of sidewalks.

Council recently approved the revised Thoroughfare Plan, which includes a new east-west road from Post Road to High Street – Rock Cress Drive. This has presented a challenge, because it runs through the existing site and cuts off some property. It reduces the development area for the new Library. To make it work, they are now looking at a two-story Library building. That is a height more in common with the other development occurring within the District. Unfortunately, there will be only half the parking that existed on the site, and they are looking at opportunities to accommodate that deficit in parking. One way to do that is to create a one-level parking deck on the backside over a surface lot, which would increase the amount of parking but not prevent us from having a book drop. The parking deck could be entered on one side at grade or at a lower level from North Street – no ramps would be necessary.

Council Questions:

Ms. Chinnici-Zuercher stated that she is curious what would be included in the new Library building. When Council began this discussion six years ago, we visualized a more comprehensive educational, cultural building. What will be included in the 42,000 square feet?

Mr. Losinski responded that the 42,000 square feet is specifically Library space. It would have required additional add-ons to the building to provide civic opportunities with partners who would help fund those add-ons. The Library space will include some space that will be used by others, such as the meeting room and learning spaces. We did not program this building beyond the basic uses of the Library.

Alison Circle presented detail about Library programming. As Mr. Losinski has frequently said, "Libraries used to be built for collections; now they're built for connections." We are building spaces for people to gather to read, convene and collaborate, either in a small meeting room or a large room that can be used by a civic organization. The Library has significantly expanded the number of meeting rooms in all our locations. We see our role as a center

square for communities – a place where people can meet in a space that is free and accessible. We are open to other possibilities. The possibility that came about with Columbus State was a perfect merger of their need with the people we serve. We are involved in work with youth. Every day, we have a new concept to improve that work. The Library will provide ways for people to connect. She also manages the Library's public art component. Historically, all Library renovations have included a public art component.

Mr. Reiner stated that one attractive element of the Upper Arlington library is its common space with over-stuffed chairs where people can stop by and read. Will that be included in this plan?

Ms. Circle responded that it is part of the plan -- we can never have enough of that type of space for people. The new Thompson Library at Ohio State was revised to include a great reading room space.

Mr. Losinski stated that the programming and the bidding process for the new Whitehall branch has been completed. The quiet reading room will have a fireplace. The intent is to create a community hearth, where people can gather. Libraries are community gathering spaces. People like to gather in the company of others to engage in solo pursuits. They are also looking at creative furniture options that will appeal to the youngest Library users and teens. The Library now has recording studios. The MacArthur Foundation has given the Library grants to develop that type of activity. Those options will be considered for the Dublin Library, as well.

Mr. Reiner stated that he likes the parking deck idea. The City has a parking area across the street from the Library. At one time, an opportunity existed for a learning component with Columbus State. That structure would have utilized much of the site, so a parking deck was considered. Because the City will be cutting a road through the Library site, maybe a parking deck could be constructed on the City's site. Could the parking deck be connected to the second floor of the new Library building to provide easy access?

Mr. Losinski responded that at this time, discussion is still in the conceptual stage, trying to understand capacity. He asked Mr. Monterro to respond.

Mr. Monterro responded that a second level connection is possible.

Mr. Lecklider stated that he appreciates the Library's focus on the community's youth. Dublin's demographics are changing somewhat. What is envisioned with the Dublin Library? He would anticipate increasing usage by the older generation.

Mr. Losinski responded that adult users are a critical segment that makes up more of the population. It is important to ensure the desired materials are available and, increasingly, in a digital form. The entire Library system circulates approximately 15 million items per year. Library customers have been able to download e-books from the Library's website for the last 8-9 years at no charge – that count is approximately 750,000. The intent of their strategy, MyLibrary, is to provide a next generation library that works for the user. In the past, the Library had a common denominator – the Library set the policies and the structure, and users needed to abide by the way the Library provided their service. Today, they are working with teens and adults to define how Library service should be delivered. The Library needs to be sufficiently adaptable and flexible to deliver that service. There are seniors who are retired and

traveling and only want e-books, and there are people in their 30s who stare at a computer screen all day and want a book at the end of the day. Because the Library will be in its various spaces for some time, the guiding principle for renovating the buildings is flexibility. We know how many books should be there in 2016, but less so, for 2026. How do we create expandable space, but is it possible the needed Library could contract, resulting in more space for civic partners. The building should be designed in such a way that it will have that capability. This week, he was in the Dublin library at 2:00 p.m., and it was full of adults, many of whom were tapping into the Library's wireless connection. That is a significant resource provided by the Library, as well as a destination place for people traveling through the community on business, who utilize Library resources.

Ms. Chinnici-Zuercher stated that at one time, the City was interested in exploring opportunities for the Dublin Arts Council to partner in a new Library facility. If the Library is confined to this location, that does not seem likely, unless another level were to be added. Ms. Losinski responded that he would defer to the architect on this issue, but he believes that some of the 42,000 square feet was not used by the Library. One of the other options could be an additional level, but there could be other options; this has not been fully vetted.

Mr. Reiner stated that having an art exhibit could be an interesting draw for the Library.

Mayor Keenan stated that partnerships have been mentioned, such as Columbus State or the Arts Council. Has the Library engaged in partnerships at any of their other branches? If so, how did the model work?

Mr. Losinski responded that they are presently designing that model. Columbus State will be co-branded in the new Library facility. The meeting rooms will have the Columbus State logo, as they will be providing courses in those two buildings, which are currently under construction – at Driving Park and Whitehall. They are very open to aligning with partnerships with other agencies. Most of their partnership focuses have been around education, but they are not limited only to education.

Mayor Keenan stated that if the parking deck was half below grade and two decks above grade, they could have two and a half levels of parking, utilizing a partnership. Would this work? Parking is very important to the City down in that area of the District. Has staff discussed this? How does it work or is it possible?

Mr. Foegler responded that the next step of capacity design will explore these types of options further. How could parking be handled? How much square footage and of what types would support the programs?

Mr. Reiner stated that he realizes the Library parking area takes much of the City's overflow parking in the evenings. That probably causes them some concerns, but it has really helped the City with the parking issue. The downtown area has become more active.

Mr. Losinski noted that they view what they have provided to Council tonight as a point of departure. It is not the plan. This reflects the initial capacity studies we have conducted. It is being presented to Council for the first time, but we have not had much time to discuss it with

the administration. All the questions Council is asking tonight are important, as we engage in discussions about the possibilities.

Ms. Salay stated that the Library needs the 42,000 square feet and two levels of parking for its needs. Anything above and beyond that could potentially be used by other partnerships. That is what Dublin does best, and it seems that the Library is accustomed to using partnerships in its other locations. Council probably has several ideas about parking solutions and partnerships, which would provide the Library all the parking it needs and meet additional needs. The Library has indicated previously that it has a group that works on funding, and a recent community survey indicates the interests of its residents in contributing to this building. The community will be very supportive of his ideas; in fact, he may be able to dream bigger. It becomes exciting when we begin to talk about collaboration.

Mayor Keenan stated that earlier this evening, we heard that the outcome of public and private partnerships are the most successful when the line between the two are blurred.

Ms. Chinnici-Zuercher stated that she would encourage everyone to think really big. With OU coming Dublin, they will be bring a very exciting education and cultural venue to the City. Now, we may want to think much bigger than our original intent three years ago about how that facility could interface with what the Library and Dublin Arts Council offer in cultural engagement. Can we create a sense of place for the community that would benefit everyone? While there is a limit to financial resources, it really shouldn't limit our vision for the community or this relationship with the Library and others. In addition to whatever the government's interests might be, there are community members who are interested in contributing and perhaps have their names preserved on a plaque. Earlier, at OCLC, he showed Council photographs of some incredible libraries, which were very expensive. However, they made Council think about the opportunities for this building. Council is interested in creating an interaction between the structure of the building and its location.

Mr. Losinski responded that is a good invitation, and we are open to it. Where Council could be helpful is by indicating to Michael Blackwell who those parties are who might be interested in sitting down at the table with them quickly. We will need Council's help in identifying some of those opportunities.

Ms. Grigsby stated that we have had conversations with the Dublin Arts Council, and they have an interest. We have also had conversations with representatives from OU, and we will be meeting at OU in the next couple of weeks to discuss whether there are opportunities for collaboration on this project. They have expressed some interest in some type of arts facility, and we mentioned the possibility of the Library.

Mayor Keenan stated it is clear as we talk about all these potential opportunities, that it could be difficult to place that footprint on the existing site. There are alternatives nearby that could work, and that is a task we will try to undertake. He asks everyone to have an open mind as Council as we explore the opportunities and needs in terms of footprint space.

Ms. Salay stated that the Library also shared that they want to open in the second quarter of 2016, which is two years from now – that is a very tight timeline. We would need to move very quickly.

Mr. Montero stated that one assumption that he believes Council is making that he is not certain the Library has decided yet is whether it is surface parking or structure parking, it doesn't necessarily have to be on the Library site. We could look at collaborative ways of finding another place to park and give more opportunities for a larger building on this site. Nothing is off the table. They are asking for ideas and recommendations from Council as to options that could work to fulfill some of dreams you've pointed out.

Mr. Reiner stated in response to his suggestion, the City does own the land immediately to the south of the Library site, which could be connected to the Library parking area via a bridge. If sufficient funds were to be interjected, the land is already available for parking. He believes Council would be open to that consideration, because we have been discussing parking issues in this district for a long time.

Mayor Keenan moved to adjourn to executive session at 8:11 p.m. to discuss land acquisition matters.

Mr. Gerber seconded the motion.

Vote on the motion: Ms. Chinnici-Zuercher, yes; Mayor Keenan, yes; Ms. Salay, yes; Mr. Peterson, yes; Mr. Lecklider, yes, Vice Mayor Gerber, yes; Mr. Reiner, yes.

Clerk of Council

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

DAYTON LEGAL BLANK, INC., FORM NO. 10148

March 10, 2014

Page 10 of 12

Held

20

COUNCIL COMMITTEE REPORTS

Ms. Chinnici-Zuercher, Administrative Committee reported that:

1. The Committee recently interviewed candidates for magistrates for the Mayor's Court. Mr. Gerber, Mr. Peterson, Mr. Keenan, Mr. Lecklider and she were present. Recommendations will be brought forward for these appointments.
2. All Council was present last week for interviews of candidates for appointment to boards and commissions. Recommendations will be brought forward for the March 24 Council meeting.

Mr. Reiner, Community Development Committee reported that the Committee will meet on Wednesday, March 12 at 6 p.m. to review the Beautify Your Neighborhood grant applications.

COUNCIL ROUNDTABLE

Ms. Salay:

1. Stated that she talked with Pat Losinski, Chief Executive Officer of the Columbus Metropolitan Library who indicated that the Library is eager to engage with Council to discuss their ideas and plans. Perhaps others talked with him as well. She would be interested in having that discussion in a work session format. They indicated a willingness to come to Dublin for this purpose and meet with Council. Council has indicated they are very interested in discussion of potential sites.

Ms. Grigsby responded that staff is working to schedule a meeting with the library representatives regarding discussion about the library's criteria for the site selection. If Council would like to schedule a work session on March 31, staff will coordinate with Mr. Losinski and staff. Mr. Losinski also mentioned it would be possible to have this discussion at a Council meeting.

Ms. Salay asked if the site selection discussion would be an executive session matter. Ms. Grigsby responded that if potential sites are identified, the discussion would be executive session as land acquisition.

Mayor Keenan stated he believes all Council members are very interested in the site selection.

Ms. Grigsby noted that she is not certain of whether they have specific sites at this point. Council can schedule a work session, and if there is discussion of specific sites, the meeting can be adjourned to executive session.

Ms. Salay suggested that March 31, April 7 and April 21 be left open to see what works for the library staff.

Mr. Lecklider indicated he would prefer to have a work session meeting for this purpose, if Council agrees.

Council expressed their concurrence.

Ms. Chinnici-Zuercher noted that she is not available on April 21.

It was the consensus of Council to establish Monday, April 7 for the work session. Staff will follow up with the library staff.

2. Stated that additional discussion and deliberation regarding the board and commission appointments is needed. Perhaps Council could schedule this at 6 p.m. on Monday, March 17 – if that is agreeable to Mr. Gerber and the rest of Council.

It was the consensus of Council to meet at 6 p.m. on Monday, March 17 for this purpose.

Ms. Chinnici-Zuercher:

1. Asked for an update on the completion of the Brand Road bikepath.

Mr. Hammersmith stated that staff's last update indicated that construction will begin again in April, weather permitting. The winter weather precluded work on the bridge foundation. The estimated completion date is the first part of May for the portion from Muirfield Drive to the roundabout.



ARCHITECTURAL REVIEW BOARD

BOARD ORDER

November 12, 2008

CITY OF DUBLIN

Land Use and
Long Range Planning
5800 Shier-Rings Road
Dublin, Ohio 43016-1236

Phone: 614-410-4600
Fax: 614-410-4747
Web Site: www.dublin.oh.us

The Architectural Review Board took the following action at this meeting:

1. **Columbus Metropolitan Library – Dublin Branch** **75 N. High Street**
08-091ARB **Sign**

Proposal: Modifications to an existing ground sign within the Historic District. The 4.8-acre site is located at the northwest intersection of North High Street and Darby Street.

Request: Review and approval of a sign under the provisions of the *Historic Dublin Design Guidelines*.

Applicant: Dave Walters, Morrison Sign Co.

Planning Contact: Jonathan Papp, Planner I.

Contact Information: (614) 410-4683, jpapp@dublin.oh.us

MOTION: Mr. Holton made the motion, and Mr. Souders seconded to approve this sign application because it meets the *Historic Dublin Design Guidelines* and Zoning Code and the sign uses appropriate materials, colors, and font styles found throughout the Historic with the following two conditions:

- 1) That the three proposed paint colors be matte or flat finish; and
- 2) That a sign permit be obtained prior to installation.

Mark Denzer, Denzer Design Group, representing the applicant, agreed to the two conditions as listed above.

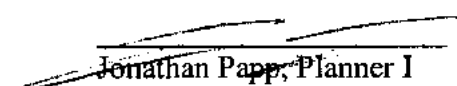
VOTE: 4 – 0.

RESULT: This application was approved/tabled/disapproved.

RECORDED VOTES:

Thomas Holton	Yes
Clayton Bryan	Absent
William Souders	Yes
Linda Kick	Yes
Tom Currie	Yes

STAFF CERTIFICATION


Jonathan Papp, Planner I

Motion and Vote

Mr. Holton made the motion to accept the September 24, 2009 minutes with the amendments discussed. Mr. Currie seconded the motion. The vote was as follows: Ms. Kick, yes; Mr. Souders, yes; Mr. Currie, yes; and Mr. Holton, yes. (Approved 4 – 0.)

1. Columbus Metropolitan Library – Dublin Branch 08-091ARB

75 N. High Street Sign

Jonathan Papp presented this request for review and approval of modifications to an existing sign. He presented a photograph showing the location of the existing and proposed sign at the intersection of West Bridge and Darby Streets. The existing 14.75 square-foot ground sign was approved by the Board in December 1989, with a small modification to the logo being approved in March 1990. He said both approvals were prior to the adoption in 1999 of the current *Dublin Historic District Design Guidelines*. Mr. Papp said although the sign is larger than the six-square feet permitted, the *Guidelines* apply only to new construction. He said the existing sign area is needed to provide adequate visibility for the community-serving use. He said this application is proposing to reface the existing sign with the Library's updated logo and color scheme and the existing sign location will not be changed. The proposed sign face will use the newly adopted Library logo with the text: *Columbus Metropolitan Library Dublin Branch* with the site address at the bottom. He said the existing landscaping will remain to meet the screening requirements and the existing ground light is to be reused. Mr. Papp said the logo and text are consistent with other Library signs within the Library system. The three colors proposed from the Sherwin-Williams collection are Dark Bronze for the outer border and the *Columbus Metropolitan Library*, the background will be Alabaster, and the logo, inner border and *Dublin Branch* will be a translucent metallic gold. Mr. Papp said this sign proposal meets the *Historic Dublin Design Guidelines* and is compatible with other signs within the Historic District, therefore Planning recommends approval with two conditions:

- 1) That the three proposed paint colors be matte or flat finish; and
- 2) That a sign permit be obtained prior to installation.

Mr. Souders asked what the sign material was. Mr. Papp said it was High Density Urethane (HDU). He said the existing wood case will be planed with HDU affixed to the front for durability. He described the three-dimensional sign as having about a half-inch relief.

Tom Currie asked if the proposed translucent metallic gold color met the *Guidelines*.

Mark Denzer, Denzer Design Group, representing the Library, said the new identity will be reflected on 21 Library branch signs. He provided a sample of the gilded gold color and finish proposed to mimic the color used elsewhere in the Historic Area.

Mr. Papp confirmed that the gold color was similar to what was used at Town Center I and II.

Mr. Denzer said the raised HDU section looked like it had a wood finish. He said the existing wood sign on the south side is deteriorating from the UV light therefore; they wanted something longer-lasting.

Mr. Currie asked what the new logo represented. Mr. Denzer suggested that the fanning sheets represented a page kind of icon.

Linda Kick said she understood that Gold Leaf was required for Town Center I, however every other location in the Historic District it is required to have a matte or flat finish.

Mr. Papp said the finish proposed had been approved in areas throughout the District. He said the gold used in Town Center and throughout the District have been approved periodically. He said a gilded gold was used historically for signs.

Mr. Holton confirmed that a gold color had been approved for a projecting or hanging sign for the art gallery next to Donato's. He said Pat Grabill's homestead also used the same gilded gold.

Mr. Papp clarified that it was the Board's discretion whether or not to allow the color to be used.

Mr. Denzer said they had researched and found that gilded gold historically was used frequently on glass with handcrafted lettering.

Mr. Souders asked for a definition of logos and how they played into signs.

Mr. Papp clarified that the logo and any secondary text can only be 20 percent of the sign area and in this case, it was just below 12 percent.

Mr. Souders recalled that the Board had previously discussed logos and fonts on the Nationwide and the MJ sign cases.

Mr. Papp said logos are permitted if they comply with the three colors that are being proposed and if they are generally accepted and widely-recognized.

Mr. Holton noted that the color of the logo was a non-standard color. He recalled that the Nationwide sign proposed a logo that was not a true color on their palette.

Mr. Souders and Ms. Kick thought the Nationwide sign logo discussion was about the font also.

Mr. Holton suggested that the discussion about signs logos and colors be continued after this case is decided.

Mr. Currie thought this discussion was relative to this case.

Mr. Holton said the logo in this case was part of the brand. He said the Board had approved logos that were part of the brand.

Mr. Denzer said all the 21 branches will have their name consistently listed directly underneath *Columbus Metropolitan Library*.

Mr. Currie noted that a post-mounted projecting sign graphic had been included in the packets.

Mr. Papp clarified that was the original sign proposal, which did not provide the amount of visibility they thought they needed for the site. He said they decided instead to reface the existing sign so that they could use the larger sign area.

Mr. Currie asked if the Board approved this, were they approving the old submission, or the one being presented.

Mr. Papp explained that the revised sign proposed was as shown on the screen and not on the original application. He said the original submission materials are included with all applications in the packet.

Motion and Vote

Mr. Holton made the motion, and Mr. Souders seconded to approve this sign application because it meets the *Historic Dublin Design Guidelines* and Zoning Code and the sign uses appropriate materials, colors, and font styles found throughout the Historic with the following conditions:

- 1) That the three proposed paint colors be matte or flat finish; and
- 2) That a sign permit be obtained prior to installation.

Mr. Denzer agreed to the two conditions as listed above.

The vote was as follows: Ms. Kick, yes; Mr. Currie, yes; Mr. Souders, yes; and Mr. Holton, yes. (Approved 4 – 0.)

Additional Administrative Business

Mr. Holton continued the previous discussion regarding sign logos, fonts, and colors. He recalled that Nationwide had a proprietary color and font, they wanted to use to identify the address on the multi-tenant sign. He said issues that had to be considered were if the color and font were part of the sign, and did they fall within the list of the acceptable colors.

Mr. Holton said the *Guidelines* encourage colorful signs, not having one type of sign and one type of logo all the way down the streets, and not seeking uniformity, but seeking variety and eye-catching colors and signs on a pedestrian-scale, but at the same time, not having something outlandish and garish. He acknowledged that they were tough decisions to make.

2. The State Bank 08-101ARB

109 S. High Street Sign

Jonathan Papp presented this request for review and approval of two signs for the State Bank property in the Historic District. He said the building has approximately 60 feet of frontage on South High Street and the rear is bordered by Mill Lane. Cobblestone Square which includes a mix of retail and office uses is located to the north of the site, to the east are office buildings, to the west are single-family homes fronting on Franklin Street, and to the south is a mix of office and residential uses.

Mr. Papp said a projecting sign is proposed on frontage along South High Street on the front of the buildings, using an existing bracket. He said a wall-mounted directory sign is proposed on the rear building elevation, adjacent to the rear door. The proposed sign designs are Option 1) a

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

DAYTON LEGAL BLANK, INC., FORM NO. 10148

March 5, 2007

Page 2

Held

20

of Central Ohio (SWACO). Mr. Long has served in this position since SWACO was founded in 1989. He now leads a fully integrated solid waste management system serving the greater Columbus area. The area landfill is one of the largest publicly owned landfills in the U.S. and is at the center of several biomass energy projects.

Michael Long, Executive Director, Solid Waste Authority of Central Ohio (SWACO) presented the City with a Smart Communities Award. SWACO evaluates the success of local communities in solid waste recycling. Dublin's rate is one of the highest in the county – a 41 percent diversion from the landfill. Dublin is being recognized for the following "smart" actions:

- (1) The recent addition of larger recycling bins. When residents were provided larger recycling bins, they filled them.
- (2) Leading the way in an eight-member community purchasing consortium. This has resulted in more stable rates and long-term recycling contracts.
- (3) Approving a household hazardous waste program for the community, which has diverted toxic materials away from the landfill.
- (4) Participation in the creation of the "Emerald Award Program," which recognizes individuals and businesses in Franklin County for their efforts in waste reduction and recycling. The second annual award will be presented this year on May 9th at the Hilton East Hotel. He invited Dublin City Council members and the City Manager to attend as his guests.

He thanked Council members, City Manager and staff for the collaboration they helped bring to Franklin County and presented the City with a "Smart Community" sign to display as desired.

• **OPRA Awards – Parks & Recreation**

Mayor Chinnici-Zuercher noted that Dublin was the recipient of eight 2006 Ohio Parks and Recreation Association (OPRA) Awards of Excellence at the 2007 OPRA Education Conference and Trade Show in Cleveland on February 7th.

Mr. Earman and Mr. Hahn commented regarding the fact that the awards represent the work of not only staff, but the support from City Council and the community. One of the awards received was a facility award for the Miracle League Field, a program in which City Council has invested particular time and support.

Mayor Chinnici-Zuercher congratulated staff for their achievements. She noted that the awards are on display in the City Hall lobby tonight and will be placed in the DCRC display cabinets for public viewing.

• **Columbus Metropolitan Library Presentation**

Patrick Losinski, Executive Director, Columbus Metropolitan Library gave a PowerPoint overview of the Columbus Metropolitan Library. Last year, the library reported 8.5 million visitors and 480,000 cardholders. The library has 3 million items available to the public, many of which can be downloaded from their website. Their website is the third busiest in the county. All locations of the library have WiFi availability. State support has withered, and the library now operates on the same budget as in 1999. They are trying to avoid returning to the voters for funding until 2010. Last year, they moved 16.5 million checkouts of materials to customer self checkouts. Last year, *Business First* named them one of the top 10 places in Columbus to work. They were also named the top urban library in the U.S. – the second time the library has received that recognition. He noted some of the particular successes of the Dublin branch. There is a great diversity of use at the Dublin branch, including use of foreign materials. A copy of the Columbus Metropolitan Library's strategic plan has been provided to City Council.

Mayor Chinnici-Zuercher inquired if their intent is to begin master planning in the third quarter of 2007.

Mr. Losinski confirmed that is correct.

Mayor Chinnici-Zuercher inquired how that would be structured -- would it include community groups?

Mr. Losinski responded that the process has not yet been defined, but a key component will be engaging the communities within their service area.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

DAYTON LEGAL BLANK, INC. FORM NO. 10143

March 5, 2007

Page 3

Held

20

Mayor Chinnici-Zuercher stated that Dublin residents appreciate the library's presence within the community. Council would be interested in actively participating in the master planning process and in looking at a variety of ways in which the City could partner in the funding of a possible expansion, either on the library's present site or another.

CITIZEN COMMENTS

John Bevilacqua, President, American Italian Golf Association and Riviera Country Club, 8205 Avery Road stated that he is present to respond to the City's proposed Community Plan provision for the westward extension of Memorial Drive through the Riviera Country Club property to Hyland-Croy Road. Since 1970, this has been the site of a golf and social club. Their course opened 15 years prior to the Village of Dublin becoming a city. They have paid their taxes, have employees, maintain their property, and provide entertainment via golf and social events to citizens of Dublin and surrounding communities. This site consists of 165 acres of primary greenspace surrounded by sprawling growth. Their intention is to remain a permanent entity at this location. Over the years, Riviera has survived the economic recession of the late 1970's and the deep stock market slide at the turn of the century. Currently, they are enduring the glut of an over abundance of golf communities in and around central Ohio. On Saturday mornings, spring and fall, they tolerate the above-normal speaker noise from the sports announcers at the Dublin Jerome sports fields, which abut the Riviera property to the west. In addition, it has been necessary to periodically deal with rumors of the club being for sale. In the midst of these detriments to long-term success, they have now become aware of the City's long-range Community Plan that provides for the extension of Memorial Drive westward through their property. This would destroy their golf course and greenspace. Obviously, computer-generated hypotheticals and models have been run, which have been both costly and time consuming. In their opinion, that money and effort would be better spent elsewhere. He respectfully requests that City Council remove from the Community Plan, forever if possible, any and all discussions, scenarios, and plans, etc. that call for the extension of Memorial Drive through Riviera Golf Club. The members of the Italian Golf Association and members of Riviera Country Club plan to survive here in Dublin. They are actively pursuing a full membership. They do not need additional obstacles to impede their growth and long-term viability in this community. Discussions with Council involving the extension of Memorial Drive westward through the Riviera property have become an annoyance to them and to the building and retention of membership.

Mayor Chinnici-Zuercher stated that she was not present at the Community Plan workshop where this topic was discussed. When she indicated to the City Manager that Mr. McCash's recollection of direction given at that meeting was that the traffic modeling was not to occur, Ms. Brautigam noted that the minutes of that meeting indicate the travel model was desired.

Ms. Brautigam stated that when staff conducts long-range thoroughfare planning, they run tests on many scenarios. In this case, they tested to see what would occur with traffic if, in 30 years, there were to be a connection from Avery Road to Hyland-Croy Road. The minutes and the meeting recording indicate that Council members expressed concern about the study, but at the end of the discussion, the understanding was that the study would be performed both with and without a westerly extension of Memorial Drive.

Ms. Salay stated that during the meeting, it was obvious that both City Council and the Planning Commission expressed support of the continued presence of the Riviera Country Club at its present location. Part of the City's focus is on greenspace, beautiful vistas and recreation. Riviera provides all three. She apologized for any anxiety this discussion caused for Mr. Bevilacqua and the Riviera membership. In her view, this suggestion is focused on very long-range planning -- 20-40 years in the future. Council hopes that this site remains a golf course and club forever. Council has no designs on that property for the future.

an efficient transportation system and indicated that discussion at the next meeting will involve discussion of specific evaluation criteria for the road network.

Mr. Green noted that comments regarding the establishment of SR 161 as a signature street are being taken very seriously from one end of Dublin to the other. He stated it was important to think of the corridor as a whole to help drive decisions made about development. He also reminded the group that when Coffman Park was discussed last time, the group wanted to defer discussion of the Post Road issue until after modeling was complete. Other parts of the plan will be discussed, but it will be revisited following the results of the transportation model.

Mr. Greene explained that the Coffman Park plan includes approximately 250 acres under consideration, and Historic Dublin is about 140 acres. The northeast area is delineated as 1,600 acres, but there are only three smaller sub areas where development has yet to occur. The Sawmill area is also 600 acres. All of these are relatively small when compared to the Southwest or Northwest.

[A member of the audience asked to be recognized.]

Mayor Chinnici-Zuercher explained that this was a work session for City Council and the Planning and Zoning Commission. She said that this question from the audience would be permitted, but the public would not actually be engaged as part of the discussion.

The audience member said he had tried to find out what was meant by the Northeast Area. He asked if it was north of Summitview Road and west of Sawmill Road.

Mayor Chinnici-Zuercher clarified that the individual lived at the corner of Summitview and Sawmill.

Mr. Greene verified that the resident's property is within the Northeast Area.

Mayor Chinnici-Zuercher noted that she had spoken to the resident's wife and indicated that their property would be part of the discussion. She asked Mr. Greene to proceed.

Mr. Greene reviewed issues that were developed based on public input and staff discussion. He indicated that he would like to review the draft plan recommendations and then come back to the questions for discussion.

Historic Dublin Discussion

Mr. Greene explained that there has been significant planning effort already completed in Historic Dublin. He wanted the group to discuss the expected character and pattern of the northwest quadrant where significant infill development may occur.

He noted the pedestrian access to the river as an amenity and noted the issue of a library or other civic use or anchor in the District. The current plan shows expansion

in place and additional parking to accommodate development. He said that development character along Bridge Street is a major discussion point and indicated that the plan. Mr. Greene stated that the City Hall location was another item for further clarification.

Mr. Greene said the plan calls for a green edge along the ravine with a defined natural area. Additional housing and mixed use is proposed with defined streetscapes. The 1919 Building is proposed as a civic use with public green and nearby parking deck wrapped by mixed uses. He showed a conceptual perspective rendering of the plan, showing a grid of streets and a village pattern with two-and-one-half story architecture. Pavement patterns and other elements are proposed to make the District more conducive to pedestrians.

Other quadrants of the District were shown and the issue of improving access to water and additional parking were emphasized as significant plan issues. Mr. Greene pointed out adding to current patterns in the southeast quadrant and emphasized redevelopment potential of areas along Bridge Street in the southwest quadrant. Mr. Greene asked if the concept plans and sketches seemed appropriate for the future.

Ms. Salay said she liked what she saw at the school site and asked if there was an interim plan. Ms. Salay questioned if the school staying would change expectations and indicated that an additional option may be considered.

Mr. Greene explained that ACP was not involved in the creation of this area plan. The school land is a significant amount, and providing a parallel road with Bridge Street would significantly improve circulation. Without the school there are planning implications.

Ms. Salay said other issues, including the library, should be discussed.

Mr. Greene noted that this issue was tied to Coffman Park and the municipal building. Their team was challenged to look at the whole city and other choices that might be available. He stated that the team had looked at the issue and wanted to discuss it further this evening. Mr. Greene noted that the library was currently shown expanding in place, but asked if the facility should still anchor Historic Dublin or expand somewhere else.

Ms. Salay said she felt the present location was land locked. The location could be used for other types of commercial uses and the library could be somewhere else in the community. She believes that it was not the city's choice and asked if library officials were engaged in the discussion.

Mr. Combs stated that there had been conversations with the library, but specific locations were not discussed. He emphasized that general parameters were needed as to whether it belonged in Historic Dublin or if other alternatives should be considered.

Mr. Keenan recalled that at the last meeting it was determined that other alternative locations should be considered.

Ms. Salay agreed with Mr. Keenan.

Mr. Greene said that if the school property is available, then it needs to be said that this reflects the direction wanted. If the school is off the table, then other direction is needed.

Mr. McCash commented that the school site is predominantly residential.

Mr. Greene clarified that the plan shows residential to the north, but the blocks along Bridge Street are shown as mixed-use office and retail.

Mr. McCash raised the issue of residential impacts on the fiscal stability of the City. He said he believes the city does need more residential in Historic District, but questioned what others thought, given discussions held at Council's goals setting session.

Mr. Greene said there is a definite mix of uses with no determined proportion. He said having people live there is an important component on making that a vital area.

Ms. Salay agreed it was vital to make a more vibrant District that is more than 8 to 5. She did not believe that there would be residents with school children or empty nesters – a younger crowd could provide critical mass to the businesses.

Mr. McCash said he agreed, but wanted to make sure everyone was aware that the fiscal model could show negative results with that level of retail. Maybe that is okay because it is the historic district.

Ms. Chinnici-Zuercher said it was important to get the minutes from Council's goal setting meeting because the fiscal analysis would play a significant role in the Community Plan.

Mr. Greene agreed and said that final recommendations should not be made without knowing the cost implications of the land uses.

Ms. Chinnici-Zuercher recalled the question about the library and said that the group would like it to be somewhere other than where it was located. However, the City did not control that.

Mr. Keenan stated there was a county funding issue with the library. Dublin residents not in Franklin County do not directly contribute to the libraries and it is a major issue.

Ms. Salay said the key is to engage the library and have a meaningful dialog to get the sense of what the library is thinking.

Mr. Greene said he did not disagree, but that the library should hear what the City's desires are.

Ms. Chinnici-Zuercher said she thought that had previously been expressed to the former library director when she participated in past community meetings. She said the new director may need to be brought up to date.

Mr. Greene asked if the library should stay in Historic Dublin if more space was available. Are there other criteria that would lead the group to place it somewhere else?

Mr. Sancholtz said his preference was to relocate the library because the land was valuable for commercial development. Land on the east side of the river might be more conducive. He believes that another location could draw traffic away from Historic Dublin and plenty of attractions already exist. It could perhaps be located in conjunction with another civic use such as City Hall.

Ms. Chinnici-Zuercher said traffic circulation in and out of the library is already problematic.

Ms. Boring noted that the library might be better located in Coffman Park near the Recreation Center. Proximity could provide joint programming and allow the use of other park amenities.

Mr. Messineo inquired about the age of library users.

Mr. Zimmerman said the library users were a mix of all ages.

Ms. Boring said she would like to see the tone set for a big vision in this area.

Mr. Greene reiterated that the library discussion has been valuable and that there seems to be strong feelings that the best place is not in Historic Dublin. He said that somewhere in the Community Plan they will need to discuss the place that makes sense. The library can certainly be a use that acts as a catalyst for other development.

Ms. Jones said she would consider the library in Coffman Park.

Mr. Greene said access to the riverfront is also an important part of the plan. He asked for concerns about the ability to provide access to water.

Ms. Boring said that she was disappointed the east side of the river was not included to make a segue.

Mr. Greene explained that the east side of the river is contained in another planning area, but does address a connection.

Ms. Boring indicated that the Historic District should be expanded further down SR 161.

Mr. Greene explained that the area plan boundaries were discussed many times and was originally set by Council.

Ms. Chinnici-Zuercher explained that even though boundaries may have been drawn, she thought the group had discussed (perhaps not with the consulting team) is to include from Dale Drive to the west. Even if it is not called Historic Dublin, you can engage and add public walkways and different things that will allow people to go back and forth.

Mr. Greene explained that staff has an illustration of that request that will be shown shortly as part of the Sawmill/SR161 plan. Mr. Greene said that river access is discussed in the Historic Plan and includes linking both sides of the river.

Mr. Greene explained that the plans suggest a parking structure is proposed on the school land and that facilities will be necessary to make the level of development work.

Ms. Salay asked if a parking deck was a necessity.

Mr. Greene noted that it is needed for the proposed densities, but can be designed to not be obtrusive from the street.

[The group indicated that Mr. Greene should move on to the next area.]

Mr. Greene said the last issue is the City Hall complex. He explained that when historic downtowns are reinvigorated, civic uses are often a fundamental component because they generate people. He asked if it was accurate that the group would not want to see the City Hall complex in Historic Dublin.

[No one in the group indicated that City Hall should be located in Historic Dublin.]

Sawmill/SR 161 Discussion

Mr. Greene reviewed the major Sawmill/SR 161 Area issues which included: the character of SR 161, character of redevelopment at Dublin Village Center and other infill development, defining gateways into Dublin, and realigning Riverside to create a mixed-use/civic linkage to Historic Dublin. Mr. Greene explained that the current pattern of development on SR 161 with large setbacks and parking in front does little to establish street quality. He then showed an illustration that provided uses and greenspace along the river that would allow direct pedestrian connection with Historic Dublin. Mr. Greene also said that the proposed concept for Dublin Village Center would help break up the super block and provide for housing options.



**SPECIAL MEETING
ARCHITECTURAL REVIEW BOARD
BOARD ORDER**

OCTOBER 19, 2005

CITY OF DUBLIN.

Land Use and
Long Range Planning
5800 Shier-Rings Road
Dublin, Ohio 43016-1236

Phone: 614-410-4600
Fax: 614-410-4747
Web Site: www.dublin.oh.us

The Architectural Review Board took the following action at this meeting:

1. **Administrative Review 05-135ADM – Historic Dublin Revitalization Plan**
Request: Review and approval of the Historic Dublin Revitalization Plan as part of the Dublin Community Plan.
Applicant: City of Dublin, c/o Jane Brautigam, City Manager, 5200 Emerald Parkway, Dublin, Ohio 43017.
Staff Contact: Carson Combs, AICP, Senior Planner.
Contact Information: (614) 410-4669/email: ccombs@dublin.oh.us.

MOTION: Allan Staub made a motion, seconded by Thomas Holton, to approve Administrative Review 05-135ADM – Historic Dublin Revitalization Plan dated October 19, 2005, as written with special attention to the following comments:

- That the Board prefers Option 1 (corner plaza layout) regarding the future design of municipal property at the corner of Bridge and High Streets;
- That the Dublin Cemetery not be expanded in the future;
- That future uses, that may include commercial, retail, and park, be further considered for the area east of Monterey adjacent to the cemetery;
- That the future City Hall not be located within the Historic District;
- That the Dublin Library remain in its current location as a family-friendly and safe place;
- That further consideration be given to future densities, transitions between commercial and residential uses, future traffic impacts and cut-through traffic; and
- That staff continue to work with the property owner to further refine concepts for park and residential uses on the quarry site at Short Street and South Riverview Street.

VOTE: 4 – 0

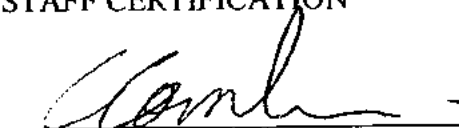
RESULT: The Historic Dublin Revitalization Plan received a positive recommendation from the Board.

(Following the vote, additional discussion regarding the area at Riverside and SR 161 occurred, with the Board providing general support to consider concepts to relocate Riverside Drive for mixed-use development with greater pedestrian access, visibility and river connection.)

RECORDED VOTES:

Allan Staub	Yes
Thomas Holton	Yes
Kevin Bales	Yes
Clayton Bryan	Yes

STAFF CERTIFICATION


Carson C. Combs, AICP
Senior Planner

Mr. Combs explained that the proposed block system is intended to improve traffic and access. Currently, all traffic is hostage to the two arterials. The block system on the northwest quadrant is designed to disburse traffic.

Mr. Combs explained that the basic block network is intended to provide better access and distribute vehicle trips. The expansion of the District to Corbins Mill is intended to create a formal streetscape and architecture that notifies drivers they have entered the District.

The blocks are also designed to provide formalized intersections to allow pedestrians to cross safely along Bridge Street. What we are trying to do, is not just to go together as a package to increase a pedestrian environment. It is a balancing act, creating a pedestrian environment while moving traffic on a busy corridor. There is a happy medium we are trying to accommodate. It is not necessarily a bad thing to make cars wait through a light if it means safety and comfort for pedestrians. It also provides better visibility for small shops in the District. What staff is trying to do, given all these issues, is identify the best choice that accommodates all needs as best possible.

Mr. Combs noted that people select the shortest route. In the long term, as the District builds out, if it is shorter to use Emerald Parkway or I-270 over to Sawmill Road instead of cutting through the District, that is what people will do. Clearly, opening the bridge a few years ago had a substantial impact on relieving traffic in the District. Those are questions that will be looked at with the Community Plan process. Staff will certainly evaluate expected land use densities and trip generation as part of the modeling process.

Mr. Holton asked if the issue with the library involves expansion.

Mr. Combs said staff wants guidance as to whether the library should stay in the District or be in some other location. Also, if the Board prefers it be in the District, does it or does it not have to be at its current location.

Mr. Bales asked Mr. Combs what alternative location(s) for a library have been considered, other than in the District?

Mr. Combs replied that staff has not studied the issue raised by City Council on Monday.

Mr. Staub, Mr. Bales and Mr. Bryan said the library should stay. It is an integral part of the District.

Mr. Holton noted the library brings families to the District. Other businesses like a Graeter's should be added.

Mr. Bryan stated that the current location is on the periphery in a safe place with lots of green space.

The Board unanimously agreed that it should stay in its current location.

RECORD OF PROCEEDINGS
Dublin City Council

Minutes of

Meeting

DAYTON LEGAL BLANK, INC., FORM NO. 10148

October 17, 2005

Page 11

Held

20

Mr. Keenan stated that the Committee did not formally review this application, as it was not submitted within the deadlines for applications. He did speak with someone involved with the race and provided some suggestions for next year's planning, noting that it would be important to submit an application for hotel/motel tax grant monies at an earlier date.

Mr. Keenan added that they are trying to raise money for a worthy cause, but the cost of the City services are prohibitive in view of the amount of money that can be generated from an event.

Ms. Brautigam responded that there are sometimes overtime costs involved if there are not volunteers for special duty. Closing the streets is an expensive undertaking.

Mr. Lecklider acknowledged the good cause, but moved to deny the fee waiver for City services based on the information provided by staff.

Mrs. Boring seconded the motion.

Vote on the motion: Mr. Keenan, yes; Mr. Reiner, yes; Ms. Salay, yes; Mr. McCash, yes; Mrs. Boring, yes; Mayor Chinnici-Zuercher, yes; Mr. Lecklider, yes.

• **Update re Historic Dublin Revitalization Plan**

Mayor Chinnici-Zuercher noted that following the last Council meeting, there was some discussion of a desire to review the revised document that was sent on to ARB. Council had a presentation regarding the Plan in May, and subsequently, meetings were held with the citizens. Those changes are now incorporated into the document and Council requested a brief presentation on the updated Plan.

It is important that if there are specific items included on which Council does not recommend moving forward, that it be stated tonight, and that any other considerations for ARB and P&Z be stated by Council as well.

Mr. Combs summarized that an initial presentation was provided to Council in May. Since that time, a series of Community Plan public meetings were held in July and August. The first reading of the ordinance was held on October 3. A Special Meeting is scheduled with ARB on October 19; following that, the Planning Commission will review the document and make recommendations to Council for the public hearing. The timeframes have been modified somewhat in view of interest in the Historic District development. He reviewed the quadrants of the Plan and the major changes made following the public input process:

Northwest quadrant

1. Based on public input, their unanimous desire is that the library remains in the district and be expanded as needed. It is a family-friendly use and needs to be in the district.
2. Regarding the Indian Run Falls Park and associated uses, it was recently formally rezoned by Council and the trail system and bridge are in the process of being implemented.
3. In regard to utilizing the 1919 Building to create a civic center, this was supported by the public. Staff is recommending in general that the City provide consolidation of uses such as the Convention Bureau, Chamber of Commerce or other civic-type organizations. This would also provide a good way-finding for those coming from I-270.
4. In regard to a City Hall building, they asked the public if they felt it would fit within the district. The overwhelming majority felt it should not be housed in the district. When asked about other locations close to the district, two locations were noted by the public in addition to the Coffman Park site: the Village Square across the river and the Kroger shopping center on Bridge Street. These would be a valid discussion point for boards and for Council as the process moves forward.
5. In regard to the boundaries of the district and entry points to the district, most liked the idea of creating a strong streetscape presence along Bridge Street with mixed uses. They felt that the edge of the district on the west side should be pushed further to Corbins Mill. Staff has incorporated additional mixed uses integrated with some of the existing buildings.

Northeast quadrant

There were not many changes. The general feedback is that the public would like better visual access to the river and having mixed uses. Staff is proposing mixed uses creating a solid streetscape from the bridge to the corner, and utilizing the topography change to provide for parking levels. That was generally well accepted, and so little change has been made since the May work session.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

DAYTON LEGAL BLANK, INC., FORM NO. 10148

October 17, 2005

Page 12

Held

20

Southwest quadrant

There was significant public discussion about the quadrant, particularly about the cemetery expansion and what form that should take long term, and where the district boundaries should be. Those from Monterey and the older segments of the population liked the concept of expanding the cemetery; but there was an equal presence at the meeting of those who felt that while providing a cemetery service is generally good, future cemetery service is in question for a much larger city. Some suggested that the Community Plan process consider an alternate location to serve the buildout of the City in the future.

Southeast quadrant

The recommendations remain unchanged from the May version. It is basically an issue of infill development and providing for compatible development on the McDowell property with the quarry site. Some neighborhood park amenities are needed to serve the needs of the S. Riverview area.

He summarized the modifications:

- The Issues and Recommendations chapter – pages 29 through 61. The strikethroughs are bolded to show the revisions from May.
- Master Plan modification chapter – pages 62 through 65. Those are the quadrant maps just described.
- Master Plan design elements. Some minor changes were made. A major change was regarding the current obelisks at the gateways to the Historic District. It was felt that they don't represent a vital, active district. There was not clear consensus on gateway entry markers. Staff is proposing for discussion some type of large stone pier of Dublin limestone, with a copper top treatment and bronze plaques to highlight the entries to the district. These could be used in the median islands as well. The current obelisks could be used as wayfinding markers for walking tours of the district.
- The 1997 Community Plan called for creation of a village square with institutional and mixed uses. Staff had recommended a corner plaza at Bridge and High, with a public plaza, lined with buildings. In the public input process, there were two trains of thought. Some like the plaza, but some liked the historic value of lining the buildings along the street. Based on those approaches, staff and the working group is undecided and is proposing both options to Council and the boards and commissions on what they believe is the best direction for this space.
- The appendix has been modified to incorporate support materials of minutes and public input summaries.

Mr. Reiner acknowledged the amount of work that has gone into producing this document. He appreciates the hard work on this document, all while maintaining the workload of the Planning division. He does have some reservations about the library and whether it will be large enough to accommodate the needs of the future City. Regarding the Bridge and High Street corner, he would support option one which opens up the corner versus lining the street with buildings.

Mr. McCash echoed the comments about the future library needs of the City. The library is too small and inadequate to serve the needs of the community. He would support relocating the library and expanding it. This would create other opportunities for the Historic District in this location as well.

Mrs. Boring noted that she, too, has concerns with the size of the library. Library users do not patronize the district businesses and it creates traffic conflicts for those who do want to visit the businesses. She did speak with some people about relocation of the library, but the issue is likely one of financing. The present location is not ideal. On page 39, the acquisition of the Karrer barn can now be added. The other concern relates to the 1919 Building and the concept of moving the Dublin Chamber to that location. They are not interested in moving from their present location. She would support having a dialogue with the Chamber directly to learn about their plans for the future. While she supports using the 1919 Building in some civic manner, she is not certain that relocating entities from their present locations is advisable.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

DAYTON LEGAL BLANK, INC., FORM NO. 10148

October 17, 2005

Page 13

Held

20

Mr. Keenan noted that a lot of effort was needed to produce this document and Council appreciates the efforts of staff. The Dublin library is his concern as well, as it requires a great deal of parking and the needs are not met by this facility. Dublin now has three high schools, and even expanding the present library facility will not likely meet the needs of the district and the community. In regard to the proposed City Hall building, he understands the thought process of staff. He cannot envision the City Hall at the Kroger center or Village Square. In regard to the Bridge and High corner, he will reserve his opinion about the two options pending the outcome of the RFQ and RFP process. The process is complicated with too many stakeholders.

Ms. Salay expressed appreciation to staff for this document. In regard to the library, she shares some concern about its location in view of the expansion needs, but it is not the City's decision – it is the library system's decision. Perhaps in the Community Plan process, some discussion should take place with the library system about their future needs and desires. She understands that it is one of the busiest branches in the system. The Plan process is to be one of a longer term vision into the future, and that should make it easier to consider the 1919 Building and its potential for housing uses in the future, the boundaries of the Historic District, etc. Years into the future, the Chamber may need a larger space to accommodate its needs. In regard to Wednesday night's meeting, is staff seeking an affirmation from the public about what has now been proposed?

Mr. Combs responded that at the public meetings in July, broad questions were posed. In August, the Plan was generally defined and the questions related to specific elements of the Plan. At this point, staff is seeking additional public input as warranted, but desires to move it through the public adoption process. They are hopeful that ARB will make a formal recommendation at that time.

Mr. Lecklider thanked the team for their hard work, which is much appreciated. He echoed the comments made by other Council Members about the library. In regard to the corner of Bridge and High, he would favor option one of a more open plaza space. He does like the concept pictured on page 73. His question at this point relates to what Council is approving with the ordinance. He assumes it is more conceptual, and would not want future development and decisions restricted to what is in this Plan.

Mr. Smith responded that this is a Revitalization Plan that will become a part of the Community Plan. The Plan is a working document, is conceptual and gives direction to staff.

Mr. Lecklider asked if it is typical that Council would adopt a portion of the Community Plan by ordinance.

Mr. Smith responded that it is unusual, but because of the interest in the project in Historic Dublin, this was treated somewhat more formally. The ordinance form gives broader public notice than an item under the "Other" portion of the agenda.

Mr. Lecklider asked if it would require amending an ordinance to make a change.

Mr. Smith responded that the Revitalization Plan is just that – a plan, a concept.

Mayor Chinnici-Zuercher followed up on this. She is concerned with Section One, which states that the 2005 Historic Dublin Revitalization Plan be adopted as a special Area Plan as part of the Dublin Community Plan. She believed that what was being adopted was not the plan verbatim, but that Council was giving direction to the staff about the various issues to be considered in this discussion.

Mr. Smith suggested that Section One could be amended if needed to reflect these comments.

Ms. Brautigam clarified that this ordinance has not been adopted by Council, but will be reviewed by ARB and Planning Commission and will then come back to Council for a public hearing.

Mr. Smith stated that the language would be revised prior to the public hearing at Council.

Mayor Chinnici-Zuercher thanked everyone involved in the process. She is pleased that some of the controversial portions have been removed, based on feedback. She recalls the library representatives being involved in the May hearing, as library funding was being cut in the state budget. She is certain that the library would be interested in discussion of the City participating financially in future expansion or relocation. It is important to consult the entities named in a document, especially those who do not own their buildings, such as the Chamber. In follow-up to Ms. Salay's comments, she is hopeful that significant visioning will occur, especially about the use of the river. This is an amenity that is not

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

DAYTON LEGAL BLANK, INC., FORM NO. 10148

October 17, 2005

Page 14

Held

20

utilized in any way of significance in the City. The City has purchased land along the river and there is a need to be creative about its future use. There are many examples in this country and around the world about incorporating access to the river in future plans.

CITY MANAGER/STAFF REPORTS

- Report re Columbus 311 System

Chief Epperson stated that staff attended a meeting in July with representatives of the City of Columbus to discuss with them their initiative known as 3-1-1, a one-call customer service number for Columbus. It will affect every jurisdiction within Franklin County. Officer Jay Sommerville will provide a staff report.

Officer Sommerville provided a quick overview of the Columbus plan to implement this system throughout Franklin County.

- They will combine their nine existing divisional answering points into one central location, using a unified customer service software piece. It will allow them to input all customer service requests made to Columbus for their various City services. They will track work order and set performance standards to increase accountability for the city services provided.
- They expect to have this 3-1-1 consolidation in place by December of this year. Columbus originally talked about the system four years ago, but it was never initiated. It has been moved to the Department of Service from the Department of Technology.
- The plan is to allow the public to call 3-1-1 to ring to one central answering point between 6 a.m. and 11 p.m. daily. They have not discussed advancing this to 24 hour coverage in the future, although they have indicated this is a possibility.
- They plan to go live and begin a marketing campaign around January 1, 2006. They will continue to allow the public to call a 7-digit number to access the call center, because if not, someone outside the 3-1-1 service area could not access their service system for reporting.
- The PUCO required Columbus to define the boundaries of the 3-1-1 service area and Columbus elected to define the boundaries of Franklin County as their 3-1-1 service area. In the absence of a request from any governmental entity outside the boundaries of Columbus but inside Franklin County, after January 1, their calls to 3-1-1 would automatically be directed to the Columbus call center.
- The PUCO did require that once Columbus declared their boundaries for this service, they must allow other entities that fall within those boundaries an opt-out plan.
- As a city, the only step needed to opt out of having any calls placed to the 3-1-1 network from within Dublin's boundaries from being routed to Columbus is to have the City Manager forward correspondence to the City of Columbus requesting that Dublin opt out.
- The PUCO did require that if a city opts out, the city must provide a list of locations within the city limits to be opted out of the 3-1-1 call routing. They are asking that this be done via the zip code plus four listing, and the City of Dublin will also provide a list of the addresses.
- Unless an opt-out has been requested from the City of Columbus on January 1, any call placed within Franklin County to 3-1-1 will be answered by a City of Columbus employee capable of processing only City of Columbus requests.
- Columbus is still negotiating and does not yet have a plan devised to service those areas of Columbus that are located in counties other than Franklin. They are still negotiating with phone companies but do not yet have an agreement in place. The service will be available only in Franklin County unless those agreements are finalized by the end of 2005.
- For wireless calls, Columbus must contact every wireless provider within the area in order to negotiate a plan and cost recovery mechanism to route those calls. Routing is determined by the tower in which the call is received. If Dublin chooses as a city to opt out of this 3-1-1 plan, we can include the wireless calls as well.
- Last month, a team was assembled of staff members from various divisions, including front line contact staff. The general consensus of the group is that Dublin should opt out of the 3-1-1 system and not have Dublin calls routed to the Columbus answering point.

- Topography Changes – There is a topographical challenge immediate to the streetscape. When exiting those businesses, there is a 1-1/2 ft. drop. There is a need to address streetscape concerns and what those designs should consist of to accommodate pedestrian traffic more effectively.
- East/West Pedestrian Connectors – Although parking is provided behind the buildings, there is no pedestrian route to the streetscape. That occurs because the alleys are so narrow that they can accommodate vehicle traffic but not pedestrian traffic. The challenge is to provide access from the parking areas behind the buildings to the streetscape to access multiple businesses.
- Future development potential – The opportunity exists for infill residential in some areas but also for more significant retail development along the west edge of the District.
- Architectural presence – Many of the districts they have studied have a continual change between an architectural edge and open spaces or small plaza spaces. Providing that presence along Bridge Street would make the area more inviting and encourage traffic to slow. The ability to create development along the edge to define a streetscape, the ability to create, provide and define cohesive pedestrian linkages along the frontages of Bridge Street and the ability to fill in with buildings and small pocket parks in key places along the streetscape is important.
- Pedestrian crossing points – There is a need to provide very defined pedestrian crossing points systematically spaced throughout the District. This would communicate a different vehicle movement throughout the District, giving precedence to the pedestrians.
- Topographical issues – There are minor issues, but there is a very defined historical feature to be taken advantage of. That must be done within the framework of the existing floodplain.

The analysis culminated in a concept plan that addressed all the District quadrants. The details of that vision follow.

Northwest Quadrant

This quadrant provides the greatest long-term capability for future development in the District, which begins on the corner of Bridge and High streets. There is a need to provide the catalyst of defined and programmable public space widely used by the public for a variety of events, as well as every-day uses. This should occur only with defined architecture that will create the desire edge to the space.

Along North High Street there is the opportunity to provide pedestrian amenities. They are looking at potential modifications to the streetscape that would provide a pedestrian

drop-off zone that could facilitate pedestrian orientation. There is the potential for targeted infill and expansion of buildings, and there is developable land, which would foster future commercial expansions.

- Library – There are differing opinions as to whether the Library should be moved from the District or expanded on this site. Staff believes that the Library has the ability to generate pedestrian traffic. Currently, the building has a suburban orientation. However, there is the long-term opportunity to add a variety of family-friendly uses that would create a synergy that would enhance the use of the Library. There is the opportunity for expansion with a new architectural addition that would alter the orientation of the Library with a new front door. This would create a true streetscape edge and maximize the potential for mixed uses along the frontage. The opportunity for different uses, public and private plazas, and shared parking will allow for fulfillment of a variety of design goals.
- Block Concept - Working from this initial block, continue the block concept, which is not new. It is in the 1997 Community Plan and is something staff and developers have contemplated over the years in various forms. This plan includes staff concepts created in 2002. When Council defined revitalization of Historic Dublin as a goal a few years ago, staff has contemplated how to make the most out of that area. Some of those concepts are proposed in the overall master plan: to create a true public space on the corner that is defined by architecture that starts to create pedestrian spaces around the edge. This will alter the emphasis from vehicle traffic to pedestrian traffic. The block concept extends street patterns. There is really a historic block pattern in place; it just needs to be re-implemented. When looking at access points along Bridge Street, they are spaced in a consistent pattern. The creation of a true streetscape is important. Darby Street is now double-fronted – its buildings have two front doors. Providing shared parking in the center of that block would solve that problem for all of the buildings around it. It would also establish the pattern of development that addresses people rather than vehicles. That concept would be continued along Bridge Street in future development.
- Future Elimination of Indian Run Elementary School Building – The City needs to identify what its expectations are for future development and include that in the Community Plan update. Whatever development is considered would continue the block concept. With the topography change here, there should be the ability to provide mixed uses of office, commercial and retail around a multi-level parking structure. Using the advantage of topography in this area to build this type of parking amenity would not only service this block but would provide additional parking for spill-over needs from adjacent blocks.
- Keeping the 1919 School Building – Their team contemplated ways to create an identity for the District. The difficulty is that there is no one place in Historic

Dublin that truly is civic. The solution they came up with was to locate City Hall in Historic Dublin. That would create a huge level of foot traffic in order to facilitate the ability for employees to use the restaurants and other businesses during the day and to keep a constant level of traffic flowing. Could City Hall be accommodated within the District? Using the overall size of the projected City Hall and the associated parking, it would be necessary to have a footprint twice the dimensions of the Library with two stories – a substantial scale to deal with. Adequate parking for the projected City Hall building would require a parking lot footprint 1-1/2 – 2 times the building footprint. No matter where the City Hall footprint is placed within the Historic District, it minimizes the opportunity to create the critical core of retail and mixed uses that is needed to make the District work long-term. The team recommends long-term use of the 1919 Building, due to its extensive capacity, including a theater, and they considered various civic uses for the building. The Chamber of Commerce, Convention & Visitors Bureau and Arts Center do not provide an adequate centralized civic center for the area, and the opportunity to orient people within the District and to provide a host of other civic services is not being maximized. Therefore, this vision proposes locating all those services in one place – the 1919 Building. Most visitors to the Historic District come from the I-270 corridor, so the Bridge Street front is the optimum location for a civic center. Using the block pattern, the civic area would be on Bridge Street, surrounded by a mix of office, commercial and residential uses. A block pattern allows for multiple points of access, specific areas of crossing, which provides ease of traffic movement and safe pedestrian crossings.

Within the northern area, the Indian Run Falls Park and ravine would be developed to create ease of access, with a regional system of bikeway and pathway connections along the open space buffer. There would be manicured and maintained open space for events, edged by a natural, wildflower, prairie space. This will maintain the integrity of the natural environment corridor, which does have some endangered plants species.

As with all the other districts, there would be the opportunity to incorporate a mix of diverse housing – single-family, condominiums, apartments, and second floor lofts integrated into some commercial structures, which would create a pedestrian core with foot traffic and a base level of activity for all the businesses.

He showed a conceptual rendering of future North High Street developed according to this concept. The street would be reconfigured to provide a defined pedestrian drop-off area with valet and ADA accessibility. This, in itself would calm traffic by forcing it to slow as it moves through that area. There would also be a defined streetscape with coherent signage, pedestrian pavers and small pocket park areas between buildings. This would provide a consistent system of design elements along the street. A visual cross section of that area suggests travel lanes, the raised table area for the valet drop-off/pedestrian loading zone, and the orientation of the streetscape using modular brick

pavers, ornamental wrought iron elements, and simplified signage and other way-finding techniques.

Northeast Quadrant

This was one of the most challenging areas in the Historic District, as there is a distinct conflict between commercial and residential. There is a need to create a coherent streetscape so that movement across the bridge encounters a clearly defined entranceway to the District. The recurring question is how to facilitate all the parking? Given the ability to create and foster economic development in that area into a true core of businesses, the recommendation is to take advantage of the topography and create a parking deck. They recommend:

- rehab or redevelopment of particular buildings that do not have the proper orientation or architectural qualities for the street to ensure a cohesive streetscape
- addition of frontage that mirrors the opposite side of Bridge Street to provide a sense of enclosure and architectural edge
- use topography to create a parking area that also provides ability for building footprints and pedestrian spaces that would link to the existing park under the bridge and provide views of the river and of the scenic bridge itself. To have primary access to go underneath, to have a building over the top that can be a mix of diverse residential and new building orientations that also create additional public spaces. So the buildings would not only share parking centrally but would also overlook common space that could accommodate activities or public art and other amenities.

Staff has repeatedly heard that because of the topography, there is an inability for the commercial buildings in this area to enjoy good visibility. Staff's concept proposes that in the long term that would turn around; the building footprint would re-develop as high-end condos. There are spectacular views of the ravine from this building. There is already a City access easement along the edge of the ravine. There would be the ability to include residential uses on this site and take advantage of the views.

Southeast Quadrant of the City

This section in the District is already clearly defined, and the challenge is to work off the existing development and achieve the most possible. The ability to maximum visibility and use of the space while respecting and limiting the impact on the existing residential along S. Riverview is important. That would have to be accomplished by the bridge and Bridge Street streetscape. An architectural edge could be accomplished by the use of fill-in architectural along Bridge Street to give a sense of enclosure. Shared parking would be added along South Blacksmith Alley, which runs along the rear of these buildings. A defined streetscape that is consistent, has common elements that tie the elements together, so that there is a clear change in the overall appearance of the streetscape. Areas would be targeted for future infill development of residential – along the alley, S. Riverview Street, and the particular property with the most development potential -- at the south end. There is the ability to add in the state and

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council Meeting

Page 12

Meeting

Held May 15, 2000

(YEAR)

implemented.

Mr. McCash noted that staff analysis should identify some of the short-term items within the next two Council meetings, while continuing analysis of the larger components of the report.

Mrs. Boring pointed out that there are few City staff available to do this review. Staff time is already over committed, particularly that of the Planning staff.

Ms. Chinnici-Zuercher noted that some of the issues could be addressed by staff in other departments, or maybe certain projects could be outsourced.

Mrs. Boring recommended addressing the parking situation immediately.

Ms. Chinnici-Zuercher agreed, pointing out that this is a short-term issue, in terms of investigating possible locations that could be used for additional parking and negotiating agreements with those property owners.

Mayor Kranstuber requested staff's recommendation.

Ms. Grigsby responded that staff would meet and identify items that can be begun or completed within three months. By the June 15 or July 10 Council meeting, staff can return with a list of the short-term items.

Mayor Kranstuber invited public comment.

Al Gleine, Ha'Penny Bridge store owner, commented regarding the suggestion of the Task Force to identify and negotiate additional parking space. He indicated it would not be difficult to obtain 60-70 parking spots by enforcing an existing two-hour parking restriction. While it may offend four or five individuals, another 100 citizens would be happy to see the problem resolved. He has discussed this with Chief Geis, and the existing law is easily enforceable. He added that there is adequate parking on South High behind most businesses. Those areas cannot be paved due to the water problem, but they could be graveled. It would solve the parking problem at least for the summer season. He noted several possibilities: there are 16 spaces between the Ha'Penny; Mr. Bassett at 35 South High has offered to sell the back of his property; and Mr. Grabill has offered to donate land behind his next project for a parking area, some of which could be turned into parking now. He concluded that the parking situation on South High could be resolved easily and relatively inexpensively this summer. He encouraged the City to approach the various businesses.

Mr. Adamek said that this recommendation is an example of one that senior staff can review and take action upon without further direction from Council.

Steven Prater, Director of Property Management, Columbus Metropolitan Library, noted that he is responsible for library facilities within the county and he is also a Dublin resident. The library's position on the bypass road is that the library views itself as a strong community partner. They are aware of the parking issues and traffic congestion around the library. Although they are not happy at the prospect of losing land for a bypass road, they would not resist it. If that is determined to be the best solution for the community, they support it with the contingency that the City be cognizant of the following: (1) that the library wants to continue to be a destination point; (2) that there is concern about what a loop road may do to pedestrian safety; (3) that a bikepath to the library would be desirable; (4) what type of traffic control devices could be implemented; (5) if consideration is given to closing a couple of the alleys around the town square, consideration should also be given to the impact on the library. Alleys are important accessways to the library.

Mayor Kranstuber inquired about any future library expansion plans.

Mr. Prater responded that there are no definite expansion plans. During the last

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council Meeting

Page 13

Meeting

DAYTON LEGAL BLANK, INC. FORM NO. 10148

Held May 15, 2000

(YEAR)

expansion in 1990, consideration was given to build towards the cemetery to the north or towards the school to the west. However, the close proximity of a possible bypass road would thwart any expansion to the north, leaving only a possibility for expansion toward the school. This area was also targeted as possible expansion for parking area. However, the Dublin library is close to the maximum size allowed for a regional library. It is currently at 20,000 square feet; branch libraries generally do not exceed 23,000 square feet.

Mr. Adamek moved to refer the report to staff for review and requested that staff be prepared to discuss the issues and implementation of the recommendations at a future town meeting, the date of which is to be decided upon within the next two Council meetings.

Mr. McCash seconded the motion.

Vote on the motion – Mrs. Boring, yes; Mayor Kranstuber, yes; Mr. Reiner, yes; Mr. Adamek, yes; Mr. McCash, yes; Mr. Peterson, yes; Ms. Chinnici-Zuercher, yes.

Mrs. Boring asked if specific direction could be given to staff regarding the parking situation.

Mayor Kranstuber moved to request that the City Manager direct the Police Division to enforce the existing two-hour parking limitation in Old Dublin.

Mr. Reiner seconded the motion.

Vote on the motion – Mr. Adamek, yes; Ms. Chinnici-Zuercher, yes; Mr. Peterson, yes; Mrs. Boring, yes; Mr. McCash, yes; Mr. Reiner, yes; Mayor Kranstuber, yes.

Mrs. Chinnici-Zuercher suggested staff also be given direction to proceed with preliminary discussion that has already been held with some property owners regarding use of parking areas.

Mr. Kindra noted that as part of the bikepath study, a parking study was conducted, an inventory was made of the existing parking spaces, and many property owners were contacted. There is a recommendation in the traffic study for the parking, as well. There are some new ideas that have not been fully evaluated, which could be incorporated in Council's direction for staff review.

Mr. Reiner asked if that evaluation could be done quickly, along with an evaluation of the stormwater component in the parking discussion.

Ms. Chinnici-Zuercher moved to direct the City Manager to have staff review the report that has already been done on the parking availability; add to it the urgent parking recommendations of this Task Force; and provide recommendations at the June 5 Council meeting.

Mr. McCash seconded the motion.

Mr. Smith inquired if part of that direction is that staff consider waiving the stormwater requirement for hard surfaces.

Mayor Kranstuber confirmed that this would be part of the scope of review.

Vote on the motion – Ms. Chinnici-Zuercher, yes; Mayor Kranstuber, yes; Mr. Peterson, yes; Mrs. Boring, yes; Mr. McCash, yes; Mr. Reiner, yes; Mr. Adamek, yes.

Recommendations of Finance Committee re Hotel/Motel Tax Grants

Mr. McCash, Committee chair, noted that an update was provided in tonight's meeting materials. The Finance Committee met briefly before tonight's Council meeting to review an additional application. Mr. McCash listed the following applications received for bed tax grants and the Committee's recommendations:

Dublin Kiwanis Club requests \$4,000 for the 35th Annual Frog Jump Festival, to be held in Old Dublin on June 24, 2000, to help offset the cost of City Services.

The Committee recommendation is to grant them actual cost of City services not to exceed \$4,000 with the following conditions: appropriate City of Dublin recognition must be certified to the Director of Taxation prior to funding and commencement of the event;