

17-097MSP – PENZONE SALON

Site Location

West of Village Parkway, north of the roundabout with Shamrock Crossing Boulevard.

Zoning

BSD-SRN, Bridge Street District – Sawmill Center Neighborhood District

Property Owner

Charles Penzone

Applicant/Representative

Christopher Meyers, AIA

Applicable Land Use Regulations

Zoning Code Sections 153.0065(H)(2)(e), 153.066 and the BSD Sign Guidelines

Request

Approval of a Master Sign Plan (MSP) for the 12,000-square-foot Charles Penzone Grand Salon and existing salon on a 1.8-acre parcel.

Staff Recommendation

Recommendation of approval of a MSP to Planning and Zoning Commission with two conditions.

Contents

- 1. Context Map 2
- 2. Overview 3
- 3. Site Plan..... 4
- 4. Criteria Analysis 5
- 5. Recommendation 6

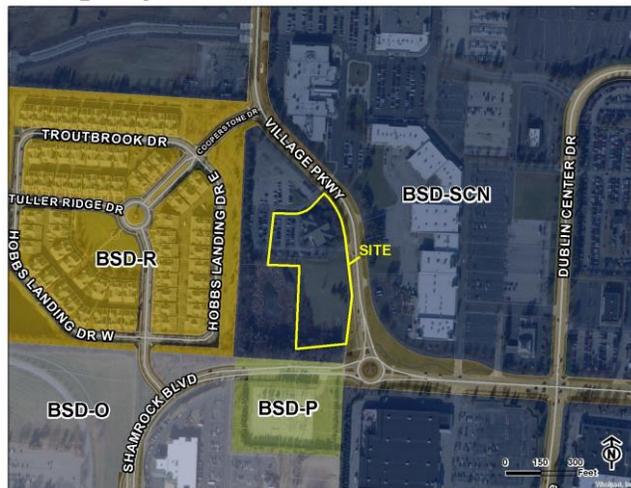
Case Manager

Lori Burchett, AICP, Planner II
(614) 410-4656
lburchett@dublin.oh.us

Summary

A Master Sign Plan for the 12,000-square-foot Charles Penzone Grand Salon and existing salon on a 1.8-acre parcel to allow for two wall signs, one ground sign, and a new sign type—a canopy edge sign.

Zoning Map

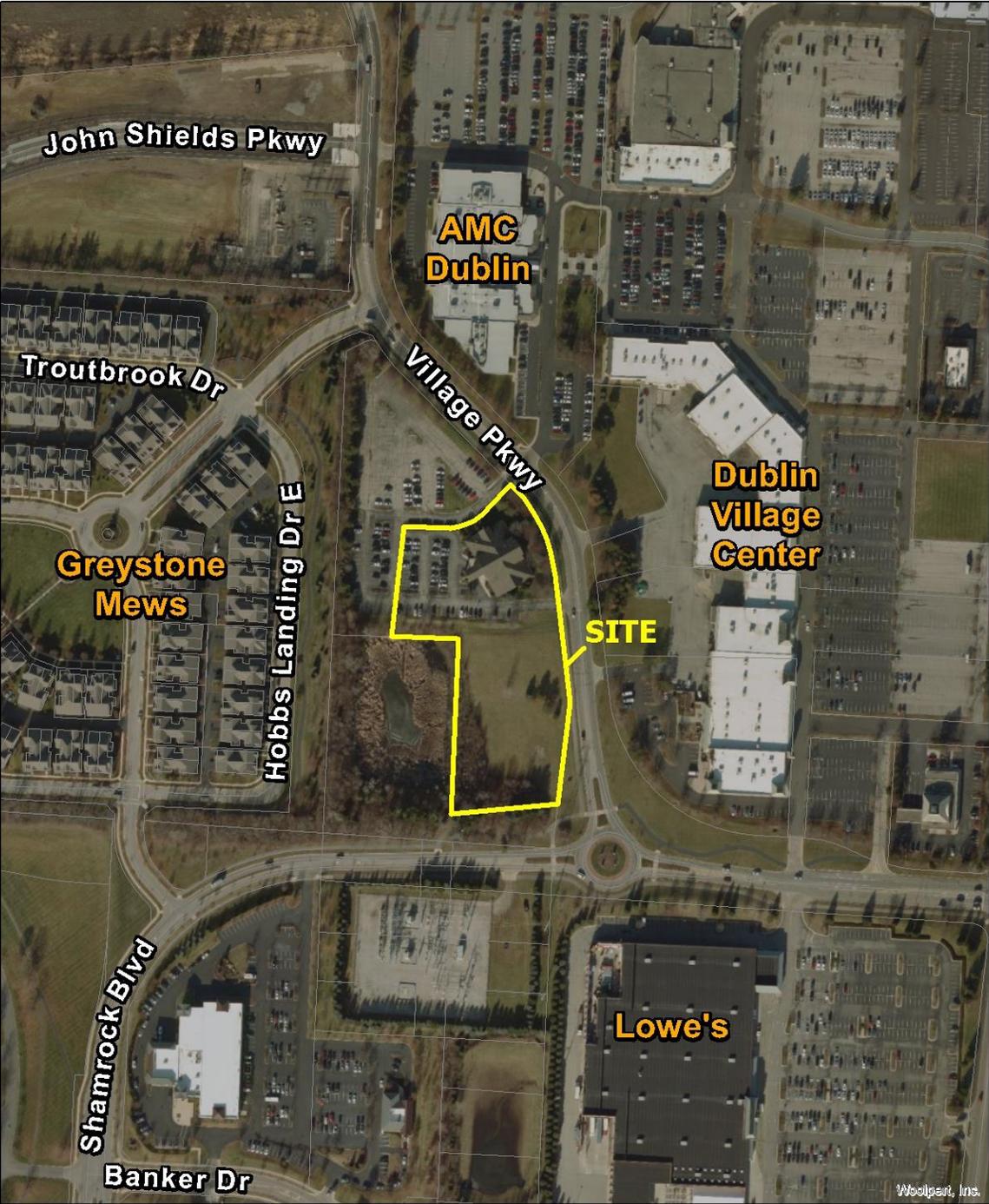


Next Steps

Upon a recommendation of approval for the Mater Sign Plan (MSP) from the Administrative Review Team, the application will be reviewed by the Planning and Zoning Commission who is the final reviewing body.

1. Context Map

The site is located west of Village Parkway, north of the roundabout with Shamrock Crossing Boulevard.



 <p>City of Dublin</p>	<p>17-097MSP Master Sign Plan Charles Penzone Grand Salon 6671 Village Parkway</p>	<p>0 150 300 Feet</p> 
---	--	---

2. Overview

A. Background

In 2016, the Planning and Zoning Commission approved a Site Plan for the construction of a 12,000-square-foot salon and spa and associated site improvements. Renderings for the facility showed general locations of signs under the Charles Penzone Salon's previous logo. The business has undergone a rebrand and this proposal uses the new branding.

The Administrative Review Team reviewed the proposed Master Sign Plan (MSP) at their regular meeting on October 19, 2017. ART expressed concerns with the size of the wall sign on the east elevation facing Village Parkway and questioned whether the proposal met the standards within the Bridge Street District's Sign Guidelines for creativity. The applicant has revised the wall sign to include a metal panel box and a light wash detail to add a modern architectural detail to complement contemporary architecture.

B. Site Characteristics

1) Natural Features

No natural features are present on the site.

2) Historic and Cultural Facilities

No historic and cultural facilities are present on the site.

3) Surrounding Land Use and Development Character

- North: BSD-SCN, Commercial – Existing Penzone Salon
- East: BSD-SCN, Commercial – Dublin Village Center
- South: BSD-SCN, Commercial – Lowe's
- West: BSD-R, Residential – Greystone Mews

4) Road, Pedestrian and Bike Network

The site has frontage on Village Parkway to the east. An existing shared use path extends from the roundabout at Shamrock Boulevard, north along Village Parkway. Pedestrian facilities are provided throughout the site.

5) Utilities

The site is served by public utilities which were extended as part of the development of the Penzone Salon, approved with the Site Plan Review (16-071SPR). None of the sign placements impact the existing utilities.

C. Proposal

1) Summary

The master sign plan proposal includes four new signs for the new salon building. The existing ground sign facing Village Parkway for the existing salon will be removed at the installation of a new ground sign. The four new signs include two wall signs, one ground sign, and a new sign type for a "canopy edge" sign. The master sign plan is requested to allow for more signs than are permitted by Code, the addition of a new sign type, and for one sign to exceed the maximum size.

Within the BSD, this site is permitted a total of two ground signs (one sign per building) and two wall signs (one sign per building). Existing buildings within the BSD zoning district are required to follow the standards within the City's standard Zoning Code.

Master Signs Plans are intended to allow for one-of-a-kind, whimsical, unique signs that employ the highest quality materials and construction while allowing for flexibility to deviate from the standards of the BSD Sign Code provisions.

2) **MSP Standards**

The applicant is proposing two new wall signs on the north and east elevations. The proposed sign on the north which faces the parking lot is proposed as a ±34-square-foot internally illuminated sign with individual white channel letters and black returns at a height of 16'6" from grade to the top of the sign. As proposed this sign meets the BSD Code requirements which permits a 50-square-foot sign located within the first story of the building.

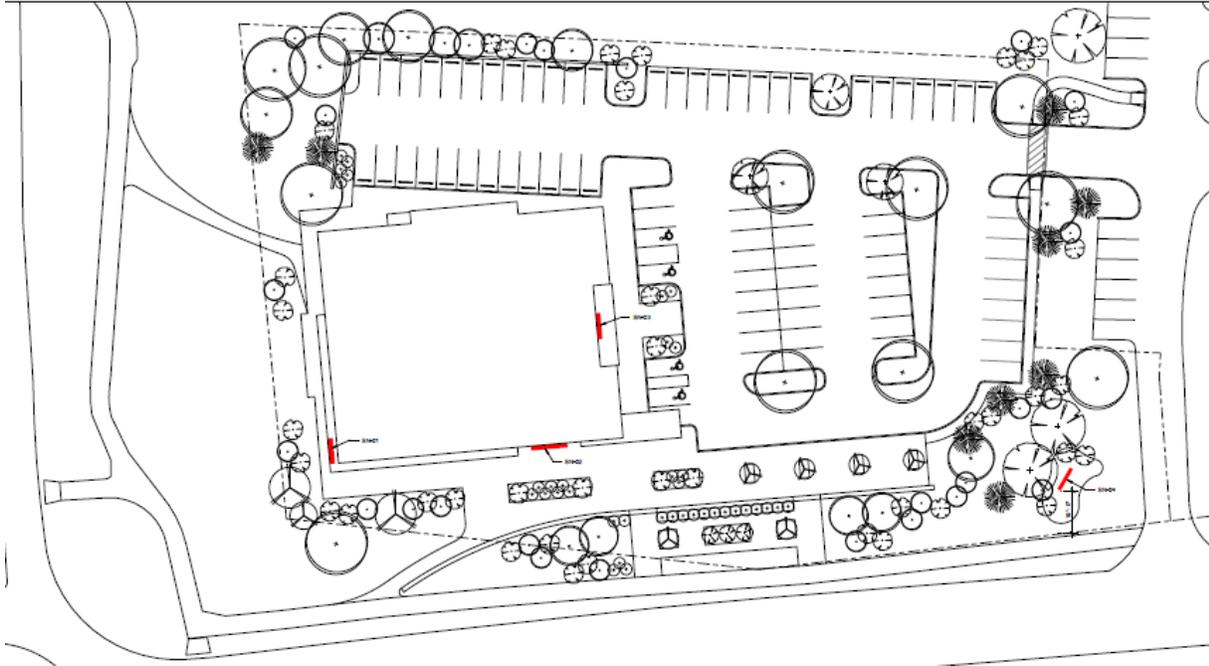
The second wall sign on the east elevation is proposed as a ±66-square-foot sign with channel-cut, back lit letters mounted on a 230-square-foot black metal panel cabinet which is lit around the edges. The letters are mounted 12-feet from grade within the panel. The metal cabinet is 14'4" from grade to top of cabinet. The metal cabinet will conceal gas meter mechanical equipment and the illumination light source equipment. A hinged access for the gas meter is located at the lower right corner of the cabinet and is approximately 37 square feet in size and designed of the same material.

The sign plan defines a new sign type, a Canopy Edge Sign, which is similar to other signs designated as this type in the Bridge Street District Master Sign Plans. This sign would be a ±34-square-foot internally lit individual white channel letters with black returns mounted vertically on top of the shade structure. It is proposed to be at a height of 20 feet from grade to the top of the sign. The individual letters will be 3 feet tall.

The proposed ground sign is located south of the access entrance from Village Parkway. The sign is proposed to be a ±18-square-foot monument sign with a painted black metal enclosure with white channel cut back lit letters on a cultured stone base to match the building. The sign is 4 feet high from grade to the top of the sign. Each letter is approximately 1'4" in height. The sign is setback 19 feet from the western property line. The BSD Code allows for one ground sign per street frontage at a maximum of 24 square feet in size, 8 feet in height, and setback 8 feet from the required building zone. The base must be of masonry or a material used in the principal structure. The proposed sign meets these requirements.

3. Site Plan

The site plan shows the locations of the proposed four signs.



4. Criteria Analysis

A. BSD Sign Design Guidelines

- 1) **Signs and graphics should contribute to the vibrancy of the area.**
Criteria Met. The proposal is consistent with the purpose and intent of the BSD Sign Design Guidelines to create a vibrant, walkable mixed use district by allowing additional flexibility and creativity in sign design.
- 2) **Signs should be highly pedestrian-focused while remaining visible to those traveling by car or bicycle.**
Criteria Met. The mix of signs is proposed in a manner that is pedestrian oriented while realizing the need for wayfinding at a variety of scales.
- 3) **Placement of signs and graphics should assist with navigation, provide information, and identify businesses.**
Criteria Met. The proposed sign plan includes a variety of types to identify the building for visitors for multiple modes and to differentiate the new building from the existing building on the same site.

B. Master Sign Plan [153.066]

- 1) **Allow a greater degree of flexibility in sign design and display.**

Criteria Met. The intent of a Master Sign Plan is not to simply allow large or more visible signs, but to create a flexible framework that allows for creativity in sign design and display. Through the use of alternative sign types and contemporary material finishes with unique lighting, the proposal exhibits high-quality, creative signs in keeping with the intent of the BSD.

2) Intended for multiple signs for a single building or a group of buildings to ensure the requested signs work in coordinated fashion.

Criteria Met with Condition. The requested modifications to the Master Sign Plan ensure the buildings are addressed in a cohesive and coordinated fashion. An updated plan reflecting the approved changes must be submitted to the City prior to issuance of additional sign permits.

3) Not intended to simply permit larger or more visible signs, or additional signs without consideration for unique sign design and display.

Criteria Met. The proposed modifications do not permit larger or more visible signs without consideration for unique, one-of-a-kind sign design, materials, and lighting.

4) Maintains the purpose and intent of the sign and graphics standards for the applicable BSD Zoning District.

Criteria Met. The intent of the BSD-Sawmill Neighborhood District, and BSD Sign Design Guidelines are upheld with the proposal through unique lighting and contemporary materials.

5. Recommendation

Master Sign Plan

The proposal complies with all applicable review criteria and existing development character of the area. Staff recommends **Approval** with two conditions:

- 1) The applicant provide an approved MSP containing all approved signs, locations, dimensions, lighting, and colors to Planning, prior to sign permitting.
- 2) That the applicant remove the existing ground sign at the time of installation of the proposed ground sign.