




City of Dublin

Office of the City Manager

5200 Emerald Parkway • Dublin, OH 43017-1090
Phone: 614-410-4400 • Fax: 614-410-4490

Memo

To: Members of Dublin City Council
From: Dana L. McDaniel, City Manager 
Date: September 7, 2017
Initiated By: Vincent A. Papsidero, FAICP, Planning Director
Jennifer M. Rauch, AICP, Planning Manager
Re: Development and Site Plan – CML Branch – (Case 17-088DP/SP)

Summary

This is a request for review and approval of a Development Plan and Site Plan for the construction of a 46,000-square-foot library and associated site improvements. The site is located on the west side of North High Street, north of the intersection with North Street. City Council has designated itself as the required reviewing body for these applications.

Background

The Basic Site Plan was approved by City Council on April 24, 2017 for the public parking garage and library applications. City Council designated themselves the required reviewing body for all subsequent applications related to these two projects. City Council requested the Architectural Review Board be invited to provide input at the Council meeting when these subsequent reviews occur. The Architectural Review Board was provided the City Council packet and invited to attend and provide comments regarding the Development Plan and Site Plan applications.

City Council included a condition of approval for the creation of a collaborative committee to define a signature transition element to be integrated within the Library's public space. A committee was formed and held several working group meetings and public input sessions to gain input regarding the creation of this element. The committee presented two design options for the signature transition element at Council's July 31, 2017 meeting. Following this meeting, the committee selected the representations of the historic township school wall along the plaza, adjacent to the entrance ramp and within the plaza's pavers. The design concept has been incorporated into this site plan submission for approval.

The Administrative Review Team reviewed and recommended approval to City Council of the Development Plan and Site Plan on August 31, 2017 with 13 Waivers and five conditions. The Administrative Review Team approved four administrative departures with their review.

Application Overview

Layout

The proposed site layout includes the library building located at the northeast corner of the intersection of future Rock Cress and N. High Street. The proposed building extends south along N. High Street and is bound on the south by a large plaza at the southeast corner of the intersection of North Street and N. High Street. The proposed plaza area runs along the southern edge of the

library. An additional open space area is proposed between the parking garage and the library, oriented north and south on the site. Mechanicals and service area for the library are shown at the northwest corner of the building along Rock Cress. The proposal includes two entrances for the library. The first is located along the N. High Street elevation at the building's northeast corner and the second at the southwest corner of the proposed building, adjacent to the parking garage pedestrian entrance and the plaza space to the south.

Materials

For Civic Buildings, Code permits stone, brick, and glass as primary building materials. Permitted secondary materials include glass, reinforced gypsum, wood siding, fiber cement siding, metal, and architectural metal panels and cladding. The proposed library utilizes stone, glass and metal panels for the primary materials. As part of the Basic Plan Review, City Council directed the applicant to use stone in lieu of the proposed brick at the base of the building to reflect the materials within the existing Historic District, which has been incorporated in the plans.

Parking

Parking is provided in the proposed parking garage located west of the library building. The proposed parking garage indicates 548 parking spaces. Code requires 152 parking spaces for the library. However, as part of the development agreement the library will be allocated 200 spaces. The remaining spaces will be public parking. An approved parking plan will be required with the Site Plan.

City Council Actions: Parking Garage

Council is required to take action (approve/approve with conditions/disapprove) on the Development Plan and Site Plan. ART and ARB (when required) have recommended approval of these applications with five conditions and 13 Waivers. Below is a summary of the required City Council actions:

- 1) Waivers
- 2) Development and Site Plan Review with conditions

Recommendation

The Administrative Review Team has reviewed the Development Plan and Site Plan and recommends City Council take the following actions:

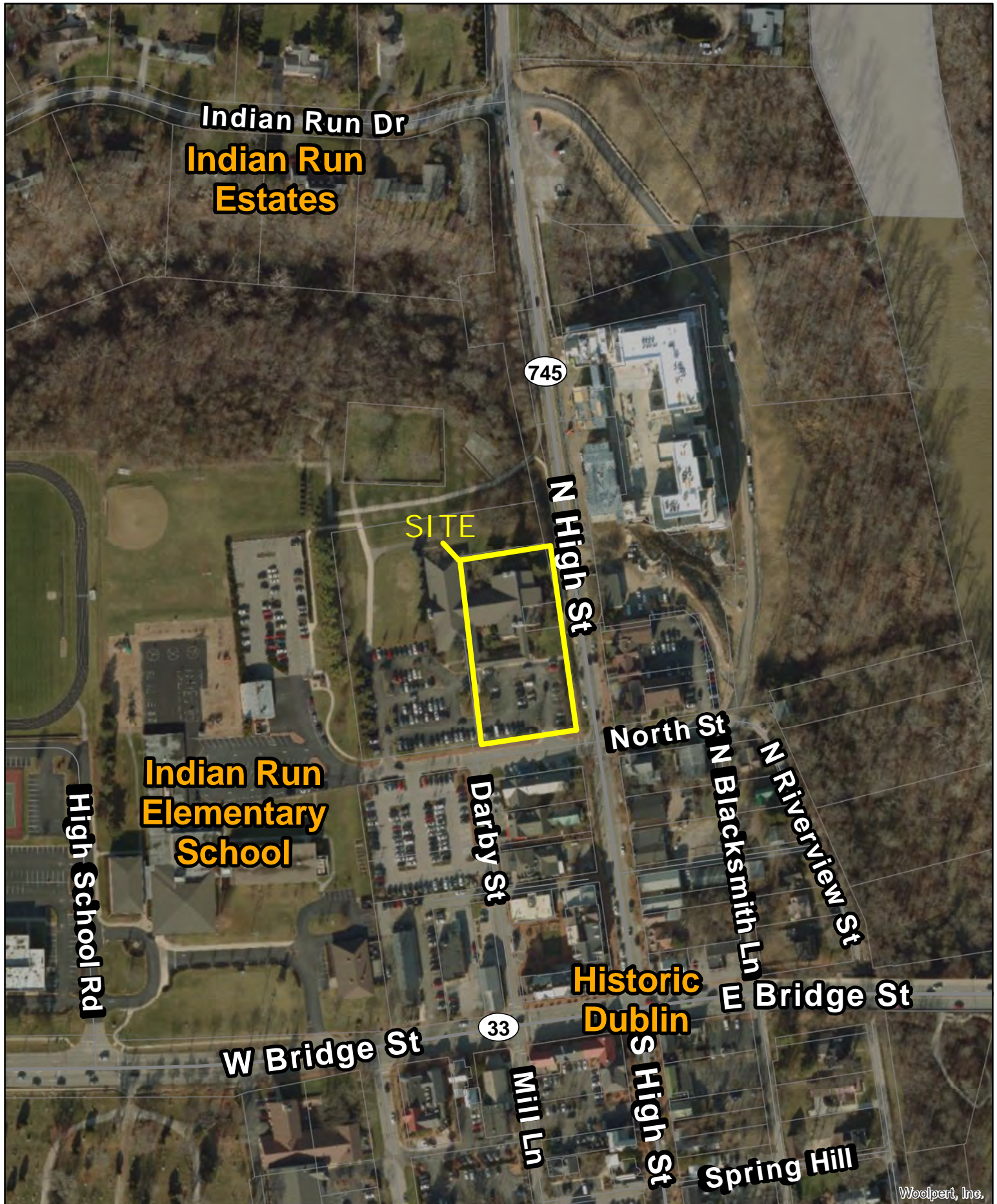
1) Approve the 13 Waivers:

1. **Story Articulation** – 153.062(G).
Required: Articulation required to delineate each story.
Proposed: Glazing spaces vertically across first and second stories.
2. **Treatment at Terminal Vista** - 153.062 (J).
Required: Vertical element when a street terminates into a parcel.
Proposed: None provided.

3. **Street Façade Transparency** – 153.062(O)(11)(d)(1).
Required: Minimum 25% transparency.
Proposed: 15% provided on Rock Cress Parkway.
4. **Blank Wall Limitations** – 153.062(O)(11)(d)(1).
Required: Architectural elements required.
Proposed: Blank wall at 1st story, west of the plaza entrance.
5. **Vertical Increments** – 153.062(O)(11)(d)(4).
Required: No greater than 60 feet.
Proposed: None provided.
6. **Minimum Primary Materials** – 153.062(O)(11)(d)(5).
Required: 80% primary material.
Proposed: 59.2% on the east façade, 64% on the south elevation, and 53.2% on west facade.
7. **Fences and Walls** - 153.064(G)(4)(h).
Required: Wall height max is three feet.
Proposed: Wall heights vary.
8. **Fences and Walls** - 153.065(E).
Required: Wall height maximum is four feet.
Proposed: Wall heights vary.
9. **Ground Mounted Mechanical Equipment** – 153.065(E)(3)(c).
Required: Fully screened from view.
Proposed: Partially screened.
10. **Utility Boxes** - 153.065(E)(4).
Required: Access doors oriented internally.
Proposed: Access doors oriented to public right-of-way.
11. **Gateway** – 153.063(D)(5)(c).
Required: Provision of a gateway.
Proposed: None provided.
12. **Gateway** – 153.063(D)(6)(d)(2)(G).
Required: Provision of open space nodes at gateway location.
Proposed: None provided.
13. **Foundation Planting Requirements** – §153.065(D)(7)(b).
Required: Foundation plantings require one shrub per 10 lineal feet of building.
Proposed: Variety of plant material is proposed in lieu of shrubs.

2) Approve the Development Plan and Site Plan with a Parking Plan with five Conditions:

1. All ground mounted mechanicals located along Rock Cress Parkway will be screened along the north side.
2. The applicant provide final site photometrics for the site and final lighting details that meet the lighting requirements of the Code with the submission of a building permit submission.
3. The applicant continue to work with Engineering to ensure adequate space is provided in the loading zone to minimize vehicle stacking into the right-of-way to the extent possible, subject to approval by the City Engineering.
4. The applicant continue to work with Parks and Open Space to ensure the tree selection meets the diversity requirements.
5. The applicant revise the landscape plan to provide plant material that meets the foundation planting requirements, subject to approval by Parks and Open Space.



Woolpert, Inc.



City of Dublin

17-088DP/SP
Development Plan/Site Plan
CML Dublin Branch
75 North High Street

0 125 250
Feet



Case # _____ - _____

PLANNING APPLICATION

This is the general application form for Boards and Commissions. In addition, applicants should submit a checklist with the requirements for the application type indicated below. Attach additional sheets if necessary.

I. REVIEW REQUESTED:

- ☐ Administrative Appeal
- ☐ Administrative Departure
- ☐ Amended Final Development Plan
- ☐ Amended Final Development Plan - Sign
- ☐ Basic Development Plan Review
- ☐ Basic Site Plan Review
- ☐ Community Plan Amendment
- ☐ Concept Plan
- ☐ Conditional Use
- ☐ Development Plan Review - Bridge Street District
- ☐ Development Plan Review - West Innovation District
- ☐ Final Development Plan
- ☐ Final Plat
- ☐ Informal Review
- ☐ Minor Modification
- ☐ Minor Project Review
- ☐ Minor Subdivision
- ☐ Non-Use (Area) Variance
- ☐ Preliminary Development Plan/PUD Rezoning
- ☐ Preliminary Plat
- ☒ Site Plan Review - Bridge Street District
- ☐ Site Plan Review - West Innovation District
- ☐ Special Permit
- ☐ Standard District Rezoning
- ☐ Use Variance
- ☐ Waiver Review
- ☐ Wireless Communications Facility
- ☐ Zoning Code Amendment

II. PROPERTY INFORMATION: Provide information about the property including existing and proposed development.

Property Address(es): 75 N High Street	
Tax ID/Parcel Number(s) (List All): 273-000010	Parcel Size(s) in Acres (List Each Separately): 1.15 Acres
Existing Land Use/Development: Library	Existing Zoning District: BSD Public
Proposed Land Use/Development: Library	Proposed Zoning District: BSD Historic Transitional Neighborhood

III. CURRENT PROPERTY OWNER(S): Indicate the person(s) or organization(s) who own the property proposed for development.

Name (Individual or Organization): Columbus Metropolitan Library Board of Trustees
Mailing Address (Street, City, State, ZIP): 96 S. Grant Street Columbus, OH 43215
Email/Phone Number: wtressler@columbuslibrary.com 614-849-1187



IV. APPLICANT(S): Complete this section if the person/organization representing the applicant/ property owner is different from the applicant.☐ **Not Applicable**

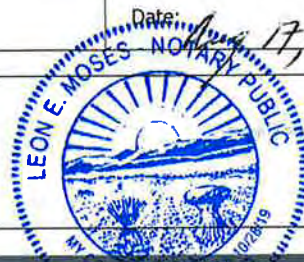
Name (Individual or Organization):	Tracy Perry (NBBJ)
Mailing Address (Street, City, State, ZIP):	250 South High Street Suite 300, Columbus, OH 43215
Phone Number:	614-232-3081
Email:	tperry@nbbj.com

V. REPRESENTATIVE(S): Complete this section if the person/ organization representing the applicant/ property owner is different from the applicant (such as the project manager or property owner's legal council).☐ **Not Applicable**

Name (Individual or Organization):	Wendy Tressler
Mailing Address (Street, City, State, ZIP):	96 S Grant Ave, Columbus OH 43215
Phone Number:	614-849-1087
Email:	wtressler@columbuslibrary.org

VI. PROPERTY OWNER'S AUTHORIZATION OF APPLICANT(S)/ AUTHORIZED REPRESENTATIVE: The Property Owner listed in Section III must authorize the Applicant listed in Section IV and/or the Authorized Representative listed in Section IV to act on the Owner's behalf with respect to this application.☐ **Not Applicable**

Paula Miller, CFO on behalf of the Columbus Metropolitan Library Board of Trustees, the property owner , hereby authorize <u>Tracy Perry</u> to act as my representative(s) in all matters pertaining to the processing and approval of this application, including modification to the application. I agree to be bound by all representations and agreements made by the designated representative (listed in Sections III and/or IV).	
Original Signature of Property Owner (listed in Section II):	Date: <u>Aug 17, 2017</u>
Subscribed and sworn before me this <u>17th</u> day of <u>August</u> , 20 <u>17</u> State of <u>Ohio</u> County of <u>Franklin</u> Notary Public: <u>[Signature]</u>	

**VI. AUTHORIZATION TO VISIT THE PROPERTY:** Site visits to the property by City representative are essential to process the application. The Property Owner/ Applicant/ Authorized Representative (listed in Section III), hereby authorizes City representatives to enter, photograph, and post a notice on the property described in this application. This is optional, but strongly recommended.

Paula Miller, CFO on behalf of the Columbus Metropolitan Library Board of Trustees, the property owner or authorized representative , hereby authorize City representatives to enter, photograph and post a notice on the property described in the application.	
Original Signature of Property Owner or Authorized Representative:	Date: <u>Aug 17, 2017</u>


For questions or more information, please contact Planning at 614.410.4600 | www.dublinohioUSA.gov

EVERYTHING GROWS HERE.

VI. APPLICANT'S AFFIDAVIT OF ACKNOWLEDGMENT: This section must be completed with an **original signature** and **notarized**.☐ **Original Document Attached**

I, Paula Miller, CFO on behalf of the Columbus Metropolitan Library Board of Trustees, the **property owner or authorized representative**, have read and understand the contents of this application. The information contained in this application, attached exhibits and other information submitted is complete and in all respects true and correct to best of my knowledge and belief.

Original Signature of Property Owner or Authorized Representative: Date: Aug 17 2017

Subscribed and sworn before me this 17th day of August, 20 17
 State of Ohio
 County of Franklin Notary Public 

**FOR OFFICE USE ONLY:**

Case Title:	Date Received:
Case Number:	
Amount Received:	Next Decision Due Date (If Applicable):
Receipt Number:	
Reviewing Body (Circle One): ART ARB BZA CC PZC	Final Date of Determination:
Map Zone:	
Determination or Action:	Related Cases:
Ordinance Number (If Applicable):	



17-069Z:
COLUMBUS METROPOLITAN
LIBRARY, DUBLIN BRANCH

*COLUMBUS METROPOLITAN
LIBRARY 96 S. GRANT ST.
COLUMBUS, OH 43215

DUBLIN CITY SCHOOL
DISTRICT
80 W. BRIDGE ST.
DUBLIN, OH 43017

25 NORTH COMPANY LTD.
56 N. HIGH ST.
DUBLIN, OH 43017

TRACEY GUTHRIE
32 W. BRIDGE ST.
DUBLIN, OH 43017

84 HIGH CO. LTD.
84 N. HIGH ST.
DUBLIN, OH 43017

72 NORTH HIGH LLC
72 N. HIGH ST.
DUBLIN, OH 43017

53 NORTH HIGH LLC
53 N. HIGH ST.
DUBLIN, OH 43017

SHANGHI ENTERPRISES LLC
38 W. BRIDGE ST.
DUBLIN, OH 43017

45 NORTH HIGH LLC
45 N. HIGH ST.
DUBLIN, OH 43017

THELMA HILL
35 N. HIGH ST.
DUBLIN, OH 43017

25 NORTH CO. LTD.
26 N. HIGH ST.
DUBLIN, OH 43017

BET INVESTMENTS LLC
45 N. RIVERVIEW ST.
DUBLIN, OH 43017

SHANGHI ENTERPRISES LLC
50 W. BRIDGE ST.
DUBLIN, OH 43017

COFFMAN COMPANY LTD.
53 N. RIVERVIEW ST.
DUBLIN, OH 43017

RALCO PROPERTIES LLC
36 N. HIGH ST.
DUBLIN, OH 43017

JAMES LAPIERRE
40 N. HIGH ST.
DUBLIN, OH 43017

THELMA HILL
24 DARBY ST.
DUBLIN, OH 43017

72 HIGH COMPANY LTD.
20 NORTH ST.
DUBLIN, OH 43017

SITE PLAN REVIEW SUBMITTAL **AUGUST 17, 2017**

COLUMBUS METROPOLITAN LIBRARY DUBLIN BRANCH LIBRARY

75 N HIGH STREET DUBLIN, OHIO 43017



GENERAL	
COVER INDEX CODE SUMMARY	
CIVIL SHEETS	
S100	SURVEY
C100	CIVIL TITLE SHEET
C200	GENERAL NOTES
C300	EXISTING CONDITIONS - DEMOLITION
C400	STAKING PLAN
C410	OVERALL SITE PLAN
C500	UTILITY PLAN
C510	WATER SERVICE PLAN
C610	GRADING PLAN SOUTH
C620	GRADING PLAN NORTH
LANDSCAPE SHEETS	
L01	NOTES, LEGENDS, AND FINISH SCHEDULE
L02	NOTES, LEGENDS, AND FINISH SCHEDULES
L03	SITE PLAN
L05	SITE PLAN - ZONES
LG101	SITE PLAN GRADING PLAN ZONE 1
LG102	SITE PLAN GRADING PLAN ZONE 2
LG103	SITE PLAN GRADING PLAN ZONE 3
LG104	SITE PLAN GRADING PLAN ZONE 4
LM101	SITE MATERIALS PLAN ZONE 1
LM102	SITE MATERIALS PLAN ZONE 2
LM103	SITE MATERIALS PLAN ZONE 3
LM104	SITE MATERIALS PLAN ZONE 4
LP101	SITE PLANTING PLAN ZONE 1
LP102	SITE PLANTING PLAN ZONE 2
LP103	SITE PLANTING PLAN ZONE 3
LP104	SITE PLANTING PLAN ZONE 4

ARCHITECTURAL SHEETS	
FSP-100	LEVEL 00 PLAN
FSP-101	LEVEL 01 PLAN
FSP-102	LEVEL 02 PLAN
FSP-103	LEVEL 01 ROOF PLAN
FSP-104	ROOF PLAN
FSP-200	ELEVATIONS
FSP-201	ELEVATIONS
FSP-210	LOADING DOCK DETAILS
FSP-300	BUILDING SECTIONS
FSP-400	WALL SECTIONS
FSP-401	WALL SECTIONS
ARCHITECTURAL RENDERINGS	
LANDSCAPE RENDERINGS/PLANTING	
SIGNATURE TRANSITIONAL ELEMENT	
CONCEPT DESIGN	
MATERIAL SHEETS	
MEP SHEETS	
E002	ELECTRICAL SITE PLAN
E003	SITE LIGHTING CALC
	LIGHTING CUT SHEETS

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LP104	SITE PLANTING PLAN ZONE 4

ARCHITECTURAL SHEETS	
FSP-100	LEVEL 00 PLAN
FSP-101	LEVEL 01 PLAN
FSP-102	LEVEL 02 PLAN
FSP-103	LEVEL 01 ROOF PLAN
FSP-104	ROOF PLAN
FSP-200	ELEVATIONS
FSP-201	ELEVATIONS
FSP-300	BUILDING SECTIONS
FSP-400	WALL SECTIONS
FSP-401	WALL SECTIONS
ARCHITECTURAL RENDERINGS	
LANDSCAPE RENDERINGS/PLANTING	
SIGNATURE TRANSITIONAL ELEMENT	
CONCEPT DESIGN	
MATERIAL SHEETS	
MEP SHEETS	
E002	ELECTRICAL SITE PLAN
E003	SITE LIGHTING CALC
	LIGHTING CUT SHEETS

CODE SUMMARY

INDIVIDUAL BUILDING TYPE SUMMARY TABLE - CIVIC BUILDING TYPE

	Required	Provided	Notes
Building Siting			
Occupation of Corner	Not Required		
Min. Front Setback	15'	5'	Waiver Approved Previously
Min. Corner Setback	15'	14.59'	
Setback Treatment	Landscape, Patio or Streetscape	Landscape	
ROW Encroachment	None	None	
Buildable Area			
Min. Side Yard Setback	10'	N/A	
Min. Rear Yard Setback	20'	35.9'	
Min/ Max Lot Width	50' / None	282' and 187'	
Maximum Impervious Coverage	65%	70%	Impervious area increased due to STE placement
Additional Semi Pervious Coverage	10%	None	
Parking Lot	NA	NA	
Height			
Min/ Max Height	1.5/ 2* stories	3 stories	*2 Stories per the Historic District Guidelines; Waiver Approved Previously
Ground Story	12'-24'	27.5'	Waiver Approved for 28.5' Previously
Upper Stories	9'-14'	14'	
Uses and Occupancies			All stories are public/ civic use.
Façade Requirements			
Street Façade - Transparency	Min 25%	High Street 72%; Rock Cress 19%	Counted façade story at street elevation only
Street Façade - Blank Wall Limitations	Required	Not Compliant	Only portion not complying is at loading dock on north façade.
Non-Street Façade - Transparency	Min 20%	South 67%; West 20%	Counted façade story at grade only
Non-Street Façade- Blank Wall Limitations	Required	Not Compliant	Only portion not complying is at exit stairs long west façade and at restrooms along south façade.
Building Entrances			
Principal Entrance Location	Principal Frontage Street	Complies	Entrance on High near Rock Cress intersection
Street Facades - # of entrances	1 per 75'	Not Compliant	Waiver Approved for 1 Per Façade Previously
Parking lot facades - # of entrances	1 per 100'	Not Compliant	Waiver Approved for 1 Per Façade Previously
Façade Divisions			
Vertical Increments	No greater than 60'	Not Compliant	
Horizontal Increments	With 3' of the top of the ground story	Complies	
Required Change in Roof	None	NA	
Façade Materials			
Permitted Materials	Brick, stone, glass	Metal Panel Soffit at Level 01 and Metal Panel in Curtain Wall	Other materials comply
Roof Types			
Permitted Types	Parapet, pitched, flat	Complies	

LIST OF ADDITIONAL VARIANCES REQUIRED:

153.062 N (B) A - SERVICE DRIVE WIDTH IS LARGER THAN 22'

153.062N - IMPERVIOUS AREA EXCEEDS 65%

153.062N - FACADE TRANSPARENCY REQUIREMENT ON NORTH FACADE

153.62N - BLANK WALL LIMITATIONS AT THE LOADING DOCK ON THE WEST AND NORTH ELEVATIONS AND AT THE RESTROOMS AT THE SOUTH ELEVATION.

153.62N - VERTICAL INCREMENTS ON LEVEL 01 AT THE NORTH ELEVATION

ADDITIONAL NOTES FROM OWNER:

LANDSCAPE MAINTENANCE PLAN:
WEEKLY MOWING, SPRING/ FALL CLEAN UP AND SNOW REMOVAL AS REQUIRED BY CML STAFF.

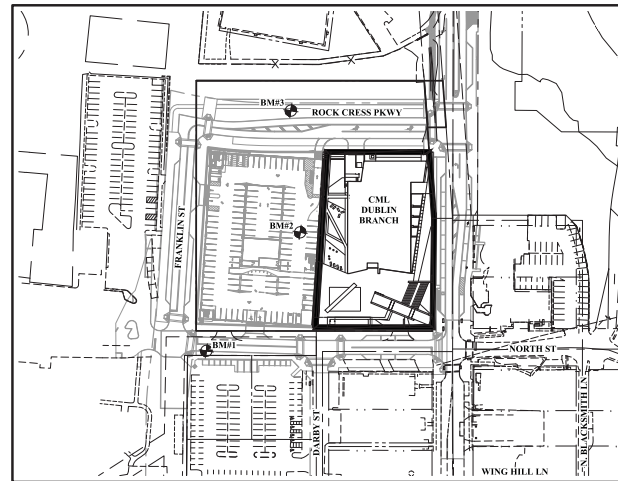
WASTE REMOVAL PLAN
8 YARD DUMPSTER TO BE PROVIDED IN THE LOADING DOCK AREA WITH ONCE WEEKLY REMOVAL. CML UTILIZES SINGLE STREAM RECYCLING SERVICES. ALL WASTE GOES TO A SORTING FACILITY WHERE 80 -90% OF THE WASTE RECYCLED.



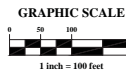
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
FINAL SITE PLAN
FOR
COLUMBUS
METROPOLITAN LIBRARY
DUBLIN BRANCH
2017



LOCATION MAP
Not to Scale



INDEX MAP
Scale: 1" = 100'



BENCH MARKS
(NAVD 1988)

Source BM	FRANK 73. Station is a stainless steel rod driven to a depth of 16 feet, in a triangular shaped grass median at the northwest corner of the intersection of Dublin-Granville Road and Riverside Drive, 59.9 feet southeast of the north corner of the median, 28.4 feet northwest of the southeast corner of the median, 20.2 feet northeast of the southwest corner of the median, 2 feet north of a witness post, access through aluminum access cover, level with the sidewalk. Elev. = 851.706
BM#1	Chiseled square with an "X" inside on the north rim of a storm manhole with a 36 inch lid, located 400 feet east of the centerline of North High Street and 2 feet south of the centerline of North Street. Elev. = 836.74
BM#2	Chiseled square with an "X" inside on the north rim of a sanitary manhole, located 10 feet southeast of the southwest building corner of the Columbus Metropolitan Library Dublin Branch and 14 feet northwest of the western concrete sidewalk entrance of the library. Elev. = 833.30
BM#3	Chiseled "X" on the northern flange bolt of a fire hydrant, located 2.5 feet south of the southerly edge of the asphalt service road north of the Columbus Metropolitan Library Dublin Branch and 6.5 feet northwest of the northwest corner of the block wall around the library air conditioning units. Elev. = 836.67

DEVELOPER/OWNER

Columbus Metropolitan Library
90 S. Grant Avenue
Columbus, Ohio 43215
Tel: (614) 775-4500
Fax: (614) 775-4800
Brian Guenther

ENGINEER

EM&T Inc.
5500 New Albany Road
Columbus, Ohio 43204
Tel: (614) 775-4500
Fax: (614) 775-4800
Brian Guenther

ARCHITECT

NBBJ Design
250 S. High Street, Suite 300
Columbus, Ohio 43215
Tel: (614) 224-7145
Fax: (614) 228-2771
Tracy Perry

LANDSCAPE ARCHITECT

NBBJ Design
250 S. High Street, Suite 300
Columbus, Ohio 43215
Tel: (614) 224-7145
Fax: (614) 228-2771
Tony Murry

PROJECT DESCRIPTION

This project is a proposal for development on approximately 1.15 Acres for the Columbus Metropolitan Library located west of N. High Street, south of Rock Creek Parkway, east of the proposed garage, and north of North Street.

SHEET INDEX

Title Sheet	C100
General Notes	C200
Existing Conditions, Tree Survey & Demolition Plan	C300
Site Plan	C400
Overall Site Plan	C410
Utility Plan	C500
Water Service Plan	C510
Grading Plan South	C610
Grading Plan North	C620

SITE DATA

Zoned: B5C-P, B5C Public
Proposed Zoning: Historic Transition
Site Area:1.15± Acres
See Sheet C410 for Open Space Calculations
Commercial Open Space Requirements
=45,560 SF/50 SF
=912 SF
=0.019 Acres

BUILDING SUMMARY TABLE	
Building	Library
Building Type	Civic
Building Area	45,560 SF
Parking Required	151 Spaces
Parking Provided	200 Dedicated Spaces in Parking Garage

nbbj

250 S. SOUTH HIGH STREET,
SUITE 300 COLUMBUS, OH 43215
PHONE 614 224 7145
FAX 614 224 0218

Turner

CONSTRUCTION MANAGER
303 HANCOCK ST.
COLUMBUS, OH 43215

KORDA

MECHANICAL, ELECTRICAL &
STRUCTURAL ENGINEER
KORDA
1000 WATERBURY DR.
COLUMBUS, OH 43215

EMHT

CIVIL ENGINEER
14111 E.
1500 NEW ALBANY RD W
NEW ALBANY, OH 43054

Dynamix

PLUMBING & FIRE PROTECTION
DYNAMIX ENGINEERING LTD.
1000 WATERBURY DR.
3RD FL COLUMBUS,
OH 43215

FINAL SITE PLAN

ISSUE

MARK	DATE	DESCRIPTION

DRAWN BY	NAV	PROJECT	JCP
PROJECT	20170068		
DATE	August 17, 2017		

DRG.
Title Sheet

DRG.
C100

1. City of Columbus and Ohio Department of Transportation Construction and Material Specifications, current editions, and any supplements thereto (hereafter referred to as Standard Specifications), shall govern all construction items unless otherwise noted. Any conflict between the above and the more strict specification will apply as decided by the City Engineer. Item Numbers listed refer to City of Columbus Item Numbers unless otherwise noted.

2. The City Engineer will not be responsible for means, methods, procedures, techniques, or sequences of construction that are not specified herein. The City Engineer will not be responsible for safety on the work site, or for failure by the Contractor to perform work according to contract documents.

- The City Engineer will not be responsible for means, methods, procedures, techniques, or sequences of construction that are not specified in the contract documents. The Contractor shall be responsible for safety on the work site, and for failure by the Contractor to perform in accordance with contract documents.
3. The Developer or Contractor shall be responsible to obtain all necessary permits including but not limited to Ohio EPA Permits to Discharge and Ohio Department of Natural Resources Permits.
4. The Contractor shall notify the City of Dublin of Engineering in writing at least 3 working days prior to beginning work.
5. The Contractor shall be solely responsible for complying with all federal, state and local safety requirements including the Occupational Safety and Health Act of 1970. The Contractor shall ensure proper safety gear for the protection of persons and property. The Contractor shall be responsible for the safety of all persons and property. The Contractor shall be responsible for safety requirements, procedures and programs in connection with the work, including the requirements for confined space entry and fall protection.
6. Following completion of construction of the site improvements and before releasing occupancy, a proof survey shall be provided to the City of Dublin. The proof survey shall be prepared, signed and submitted by the Professional Engineer who assisted the contractor with the project. The proof survey shall be prepared, signed and submitted by the Professional Engineer who assisted the contractor with the project.
7. The Contractor shall restrict construction activity to public right-of-way and areas deemed as permanent and/or temporary easements.
8. The Contractor shall carefully preserve bench marks, property corners, reference points, stations and other survey reference monuments or markers. In case of loss or damage destruction, the Contractor shall be responsible for restorations. Resurveying shall be at the Contractor's expense.

The Contractor shall give notice of intent to construct to Ohio Utilities Protection Service (telephone number 800-362-2764), Producer's Underground Protection Service (telephone number 419-587-0480), and to owners of all utilities that are not covered by the replanted underground protection service. Notice shall be given 10 working days before start of construction.

3. The Identity and locations of existing underground utilities in the construction area have been shown on the approved plan. The Contractor shall be responsible for the accuracy of the plan. If the Contractor determines that the City Engineer assumes no responsibility for the accuracy or depth of underground facilities shown on the approved plan, the Contractor shall be responsible for the accuracy of the plan. If the Contractor determines that the City Engineer assumes no responsibility for the accuracy or depth of underground facilities shown on the approved plan, the Contractor shall be responsible for the accuracy of the plan. If the Contractor determines that the City Engineer assumes no responsibility for the accuracy or depth of underground facilities shown on the approved plan, the Contractor shall be responsible for the accuracy of the plan.

4. Location, support, protection and restoration of all existing utilities and appurtenances, whether shown or not shown on the approved plan, shall be the responsibility of the Contractor.

5. When unknown or incorrectly located underground utilities are encountered during construction, the Contractor shall immediately notify the owner and the City Engineer.

6. Public street lighting may be in the vicinity of this project. Contact the City of Dublin, Division of Engineering at 614-265-3300 for more information.

1. Traffic control will be handled, directed, maintained, and removed by the Contractor according to Ohio Manual of Traffic Control (OMTC) and the Ohio Department of Transportation (ODOT) Traffic Control Manual.
2. All traffic lanes of public roadways shall be fully open from 7:00 AM to 9:00 AM and 4:00 PM to 6:00 PM unless otherwise authorized by the City Engineer. At all other hours the Contractor shall maintain minimum one-lane operation in each direction of travel. If the Contractor determines that a two-lane operation is necessary, it shall be approved by the City Engineer whenever a one-way, two-way traffic control is in effect. Police officers may be required as directed by the City Engineer.
3. If the City Engineer determines proper procedures for traffic control are not being provided by the Contractor, the City Engineer shall suspend approval of the project until the project is in compliance with the approved traffic control plan.
4. Steady-state traffic "type" flags shall be required on all barricades, drums, and similar traffic control devices in use at night.
5. Access from public roads to all adjoining properties for existing residents or businesses shall be maintained throughout the project. The Contractor shall be responsible for the design, construction, and maintenance of the access. The Contractor shall provide a traffic control plan detailing the proposed maintenance of traffic procedures. The traffic control plan must be approved by the City Engineer prior to construction. The traffic control plan proposed by the Contractor must be approved by the City Engineer prior to construction.

The Contractor or Developer is responsible for obtaining a Notice of Intent (NOI) to be reviewed and approved by the Ohio EPA. The NOI must be submitted to OEPA 45 days prior to the start of construction and may entitle coverage under the Ohio EPA's NPDES Construction Discharge permit. Once approved, the NOI must be submitted to the Ohio EPA map must be submitted with the NOI. A sediment and erosion control plan must be submitted to the City Engineer for review and approval. The plan must be submitted to the Ohio EPA and the City Engineer. A project location map must be made available at the project site at all times. The design of erosion control systems shall follow the requirements of the Ohio EPA, Item 207 of Ohio Department of Transportation's Standard Specifications, and the City Engineer. All erosion control systems shall be installed and maintained in accordance with the City Engineer's specifications.

The Contractor shall provide sediment control at all points where storm water runoff leaves the project, including waterways, overland sheet flow, and storm sewers.

Accepted methods of providing erosion/sediment control include but are not limited to: sediment basins, silt fence, aggregate check dams, and temporary ground cover. Hay or straw bales are not permitted.

The Contractor shall provide adequate drainage of the work area at all times consistent with erosion control practices.

1. The Contractor must obtain a blasting permit from Washington Township Fire Department prior to blasting for rock excavation. The Contractor shall submit blasting reports upon completion of blasting to the City Engineer, the Owner, and the Owner's engineer. Top of rock elevations shall be shown on "as-built" construction drawings.

1. Construction of the sanitary sewer will be permitted upon receiving an CEPA Permit to Install (PTI). The developer is responsible for obtaining all required Ohio EPA approvals and paying review fees.

- [illegible]

24. Any modification to the work shown on drawings must have prior written approval by the City Engineer, City of Dublin.
25. All brackets shall be channelized.
26. Park areas shall be fine-grained and seeded with the following mixture:
Improved Kentucky Bluegrass, 40% of weight (2 varieties in equal parts)
Improved Perennial Ryegrass, 60% of weight (2 varieties in equal parts)
Application Rate: 10 lbs per 1000 sq ft
Application Rate: 7 lbs per 1000 sq ft as directed by the Division of Parks & Recreation, City of Dublin, Ohio.
27. Traffic control and other regulatory signs shall be Type S with a square post anchor base installation and meet all requirements of 23 CFR 654.1-20 and applicable Ohio Department of Transportation specifications.
28. Street signs shall be brown in color and conform with the Type S, square post anchor base installation requirements of DOTD.

<p>1. The following utilities are known to be located within the limits of this project:</p>				
<p>Columbia Gas of Ohio Reg. Counsel - Chief Engineer 1601 Edison Road Columbus, Ohio 43212</p>	<p>City of Dublin Division of Engineering 5800 Lotus Ridge Road Dublin, Ohio 43016 (614) 410-4600</p>	<p>City of Columbus Division of Water 910 N. Dugan Road, 2nd Floor Columbus, Ohio 43215 (614) 645-7767</p>	<p>Verizon Bill Muehlner 5000 Lynders Street Columbus, Ohio 43002 (740) 383-0527</p>	
<p>American Electric Power Reg. Division 800 Tenth Center Drive Garysburg, Ohio 43230-6805 (614) 383-6809</p>	<p>Time Warner Cable Reg. Manager 3760 Interchange Road Columbus, Ohio 43204 (614) 383-6809</p>	<p>ATAK of Ohio Reg. Manager 111 North 14th Street Columbus, Ohio 43215 (614) 383-6809</p>	<p>Wide Open West Reg. Manager 3075 Corporate Drive Columbus, Ohio 43231 (614) 383-6809</p>	

15. All water lines shall be located at least 10 feet horizontally and 18 inches vertically from sanitary sewers and storm sewers, to the greatest extent practicable. Where sanitary sewers cross water mains or other sewers or other utilities, the water main shall be installed at least 18 inches above the sanitary sewer. See Section 05050, Part 1, Section 012 of the Standard Specifications. In the event that a water main must cross within 18 inches of a sanitary sewer, the water main shall be installed in a separate trench.
16. Service lines shall be installed where the depth from the surface to proposed ground elevation exceeds 10 feet. Tops of risers shall be no less than 9 feet below proposed ground elevation if basement service is intended.
17. Where service risers are not installed, a minimum 5-foot length of sanitary sewer service pipe of the same size as the sewer shall be installed.
18. The Contractor shall furnish and place, as directed, approved eye poles made of 2 inches x 2 inches lumber at all utility locations, ends of extended services, or at the end of each reach where risers are required. Eye poles shall be visible and conspicuously used by the City. The cost of these poles shall be included in the contract unit price for the various services.
19. Existing sanitary sewer flows shall be maintained at all times. Costs for pumping and bypassing shall be included in the contract unit price for the various services.

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7. No water pipes or service connection pipes (e.g., to dish sinks or meter pits) may be located until after substantial grading has been completed. All water pipes and service connections must be installed from the City of Clark and the City of Dublin Division of Public Works before making any other construction.
8. The Contractor shall notify the City of Clark/Columbus Division of Water at 645-7788 and the City of Dublin Division of Engineering at least 24 hours before tapping into existing water lines.
9. All water meter stationing shall be based on standard streetline stationing.
10. All bends, joint deflections and fittings shall be offset by concrete per City standards.
11. The Contractor shall give written notice to all affected property owners at least 1 working day but not more than 3 working days before installing any water service connection. The notice shall be in writing and shall be submitted and made available to be approved by the City Engineer.
12. Water meters shall be installed inside protected structures unless a meter pit installation is approved by the City of Dublin. Water lines shall be installed to the meter pit. Water pits must conform to standard drawings 1-7033, A&B for 8" or 6" through 1" meters or 1-E337, A&C/D for 1 1/2" or larger meters.
13. Water lines to be installed in embankment areas shall be placed after the embankment has been built and compacted according to the City standards.
14. Curb/stop boxes shall be located at least 2 feet inside the right-of-way or 1 foot inside of sidewalk towards the curb and set of finished grade.
15. The depth of the operating unit to which water is greater than 30 inches below finished grade, on an extension street shall be furnished to bring the top of the operating unit to within 24 inches of finished grade surface.
16. All water lines shall be placed to a minimum depth of 4 feet measured from top of finished grade down to top of water line. Water lines shall be set at least 18 inches from all public areas when necessary to clear existing or proposed utility lines or other underground restrictions by a minimum of 18 inches.
17. The 2 3/4 inch pipes shall be installed within 2 feet of the end of a line on an end-of-water line.

7. **Hydrolytic stability** – all items of the Standard Specification shall be constructed to resist mold and hygroscopic and hydrolytic degradation according to Items 203 and 609 of the Standard Specification.

8. **Where private storm sewers connect to public storm sewers, the last run of private storm sewer connecting to the public storm sewer shall be Reinforced Concrete Pipe conforming to ASTM Designation C76, Wall B, Class IV for pipe diameters 12 inches to 15 inches, Class E for 18 inches, Class F for 24 inches and larger pipe and Class G for 30 inches and larger pipe, unless otherwise shown on the approved construction drawing. Inspection is required by the City of Dallas's Division of Engineering.**

9. **Granular subbase** shall be compacted greater material according to Item 912 of the Standard Specifications or Controlled Density Subbase according to Item 912.1 of the Standard Specifications.

10. **All storm sewers shall be Reinforced Concrete Pipe conforming to ASTM Designation C76, Wall B, Class IV for pipe diameters 12 inches to 15 inches, Class E for 18 inches to 24 inches, and Class F for 30 inches and larger pipe and Class G for 36 inches and larger pipe, unless otherwise shown on the approved construction drawing.**

11. **Headwalls and endwalls** shall be required of all storm sewer inlets or outlets to and from all stormwater management facilities. Natural stone and/or brick applied by the City Engineer shall be provided on all visible headwalls and/or endwalls surfaces. Surfaces to be acid washed before approval of stone facing.

1. The Contractor shall be responsible to ensure that U.S. Mail delivery within the project limits is not disrupted by construction operations. This responsibility is limited to relocation of mailboxes to a temporary location that will allow the completion of the work and shall also include the restoration of mailboxes to their original location or approved new location. Any relocation of mailbox services must be first coordinated with the US Postal Service and the homeowner.

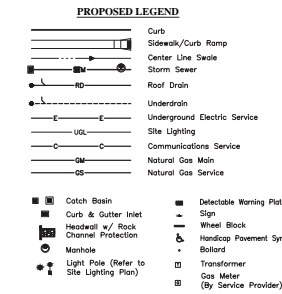
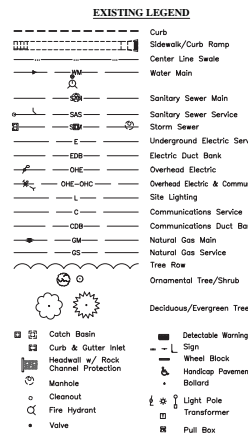
1. The Contractor shall make proper arrangements with the Dublin Service Department and the Columbus Division of Power and Water for the use of fire hydrants used for work performed under this contract and provide the City of Dublin a copy of the Hydrant Usage Permit obtained from the City of Columbus. The Contractor shall also send copies of permits obtained from Dublin and Columbus to the Washington and Perry Township Fire Department. Permits shall be kept at the construction site at all times.

2. Before the final estimate is paid, the Contractor shall submit a letter from the City of Columbus Division of Power and Water (Water) to the City Engineer stating that the Contractor has returned the Smease Valve to the City of Columbus and has paid all costs arising from the use of the fire hydrants.

MISCELLANEOUS NOTES

1. High Density Polyethylene (HDPE) concrete pipe with integrally formed smooth interior wall or approved equal, is an approved alternate to reinforced concrete in areas of non-impounded areas.
2. HDPE pipe joints shall be made using watertight couplers with "O"-ring gasket. AASHTO #1 approved equal, where rubber "O"-ring gasket couplers are not used, shall be approved equal.
3. All pipe shall be installed in accordance with the applicable design and construction specifications and shall be subject to inspection and approval by the Engineer.
4. All bedding material shall be in accordance with City of Columbia Standard Specification AAS-5149.
5. All pipe shall be installed in accordance with the applicable design and construction specifications (AAS-5149) and shall be subject to inspection and approval by the Engineer.
6. Box/culvert material in areas located outside the public right-of-way shall be placed in accordance with City of Columbia Standard Construction Specifications (AAS-5149) and shall be subject to inspection and approval by the Engineer.
7. Height of cover shall be in accordance with the Ohio Department of Transportation (ODOT) Location and Design (L&D) Manual, Volume Two.
8. All pipe shall be installed in accordance with City of Columbia Item 901.21, with the exception that the walking period prior to installation shall be in accordance with the applicable design and construction specifications (AAS-5149) and shall be subject to inspection and approval by the Engineer.
9. For any and all installations requiring the minimization of trench water migration, an approved equal shall be installed in accordance with the applicable design and construction specifications (AAS-5149) and shall be subject to inspection and approval by the Engineer.

1. As-builts of the site, utilities and stormwater management facilities shall be performed per requirements of the City of Dublin Administrative Policy & Procedure #05-030 prior to obtaining occupancy for the building.



nbbj
50 S. SOUTH HIGH STREET,
SUITE 300 COLUMBUS, OH 43215
PHONE 614 224 7145
FAX 614 224 0218

Turner

CONSTRUCTION MANAGER:
262 HANOVER ST.
COLUMBUS, OH 43215

K&B
MECHANICAL ELECTRICAL &

STRUCTURAL ENGINEER:
KORDA
1650 WATERMARK DR.
COLUMBUS, OH 43215

EMHT

CIVIL ENGINEER:
EMH&T
5500 NEW ALBANY RD W.
NEW ALBANY, OH 43054

DynamiX

PLUMBING & FIRE PROTECTION:
DYNAMIX ENGINEERING LTD.
355 GRANDVIEW AVE.
3RD FL COLUMBUS,
OH 43215

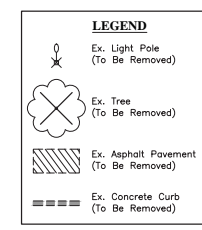
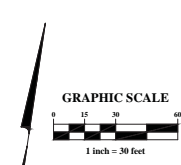
FINAL SITE PLAN

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General Notes

83.

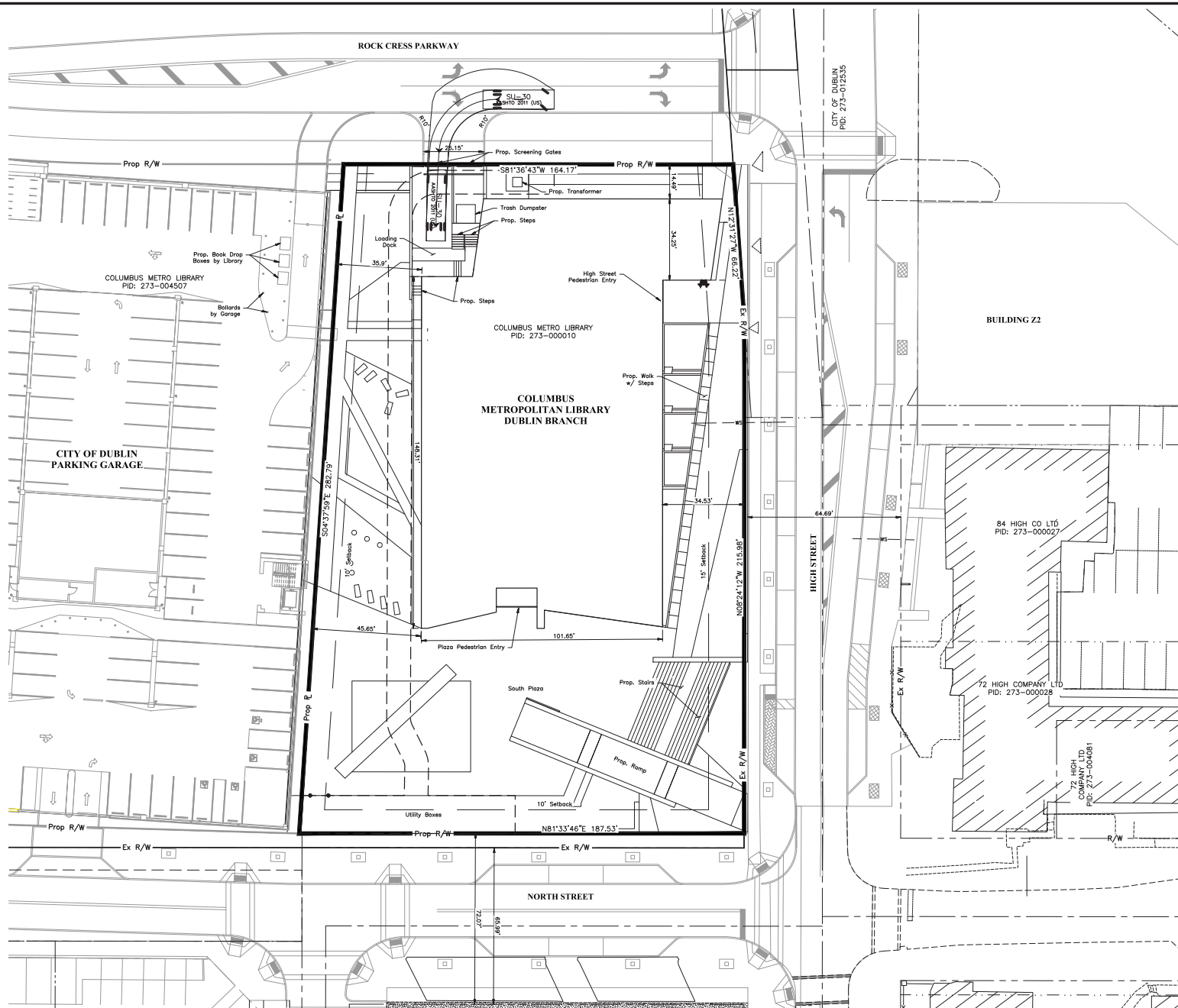
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PLUMBING & FIRE PROTECTION:
DYNAMIX ENGINEERING LTD.
855 GRANDVIEW AVE.
3RD FL COLUMBUS,
OH 43215

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NOTE:
Refer to Materials Plan
Sheets for all sidewalk finish
materials around building.

nbbj
250 S. SOUTH HIGH STREET,
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PHONE 614.224.1145
FAX 614.224.0218

Turner
CONSTRUCTION MANAGER:
303 HANCOCK ST.
COLUMBUS, OH 43215

KORSA
MECHANICAL, ELECTRICAL &
STRUCTURAL ENGINEER:
K. KORSA
600 WATERBURY DR.
COLUMBUS, OH 43215

EMHT
CIVIL ENGINEER:
J. EMHT
1501 NEW ALBANY RD W
NEW ALBANY, OH 43054

Dynamix
PLUMBING & FIRE PROTECTION:
DYNAMIX ENGINEERING LTD.
380 E. SPRINGFIELD AVE.
3RD FL COLUMBUS, OH 43215

FINAL SITE PLAN

Issue Date		
MARK	DATE	DESCRIPTION

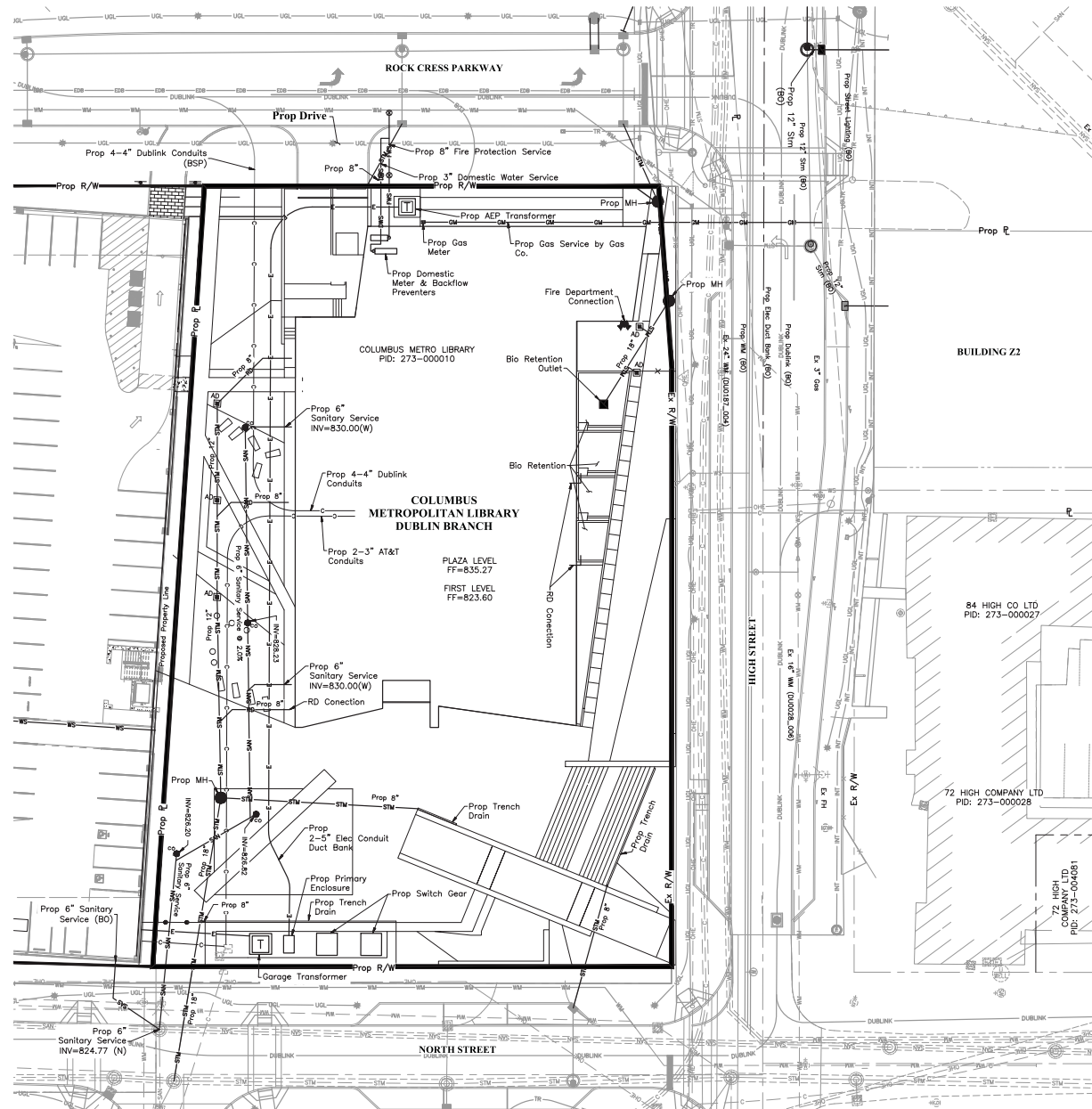
Drawn By	Nav	Proj. Eng.	JCP

Proj. No.	20170068
Date:	August 17, 2017

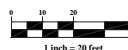
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GRAPHIC SCALE



LEGEND

— STM —	STM	Existing Storm Sewer
— SAN —	SAN	Existing Sanitary Sewer
— WM —	WM	Existing Watermain
— GAS —	GAS	Existing Gas Main
— OHE —	OHE	Existing Overhead Electric
— E —	E	Existing Underground Electric
— C —	C	Existing Communication
— STM —	STM	Proposed Storm Sewer (By Others)
— WM —	WM	Proposed Water Main (By Others)
— DUB —	DUB	Proposed Dublin (By Others)
— EDB —	EDB	Proposed AEP Duct Bank (By Others)
— UGL —	UGL	Proposed Underground Lighting (By Others)
— TR —	TR	Proposed Traffic Conduit (By Others)
— RD —	RD	Proposed Roof Drain
— SAS —	SAS	Proposed Sanitary Sewer Service
— DWS —	DWS	Proposed Domestic Water Service
— FWS —	FWS	Proposed Fire Water Service
— EDB —	EDB	Proposed Electric Duct Bank
— GAS —	GAS	Proposed Gas
(BSP)		By Separate Plan

Bioretention Water Quality Requirements

Library
(20% of existing impervious) = 0.95 ac* 0.2 = 0.19 Ac
100% of new impervious = 1.00 Ac* 0.95 Ac = 0.05 Ac
Total to treat = 0.24 Ac of impervious area
WDv = 593 c
Minimum filter bed Area = 550 square feet
(based on Filter Area = 5% pf contributing Impervious Area)

nbbj
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Turner

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302 HANCOCK ST.
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KORDEA

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KORDEA
1000 WATERBURY DR.
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EMHT

CIVIL ENGINEER:
1414 E. 15TH
SUITE 100 ALBANY, OH 45710
NEW ALBANY, OH 45759

Dynamix

PLUMBING & FIRE PROTECTION:
DYNAMIX ENGINEERING LTD.
1000 WATERBURY DR.
COLUMBUS, OH 43215

FINAL SITE PLAN

ISSUE

MARK	DATE	DESCRIPTION

DRAWN BY: NAV

PROJECT: 20170068

DATE: August 17, 2017

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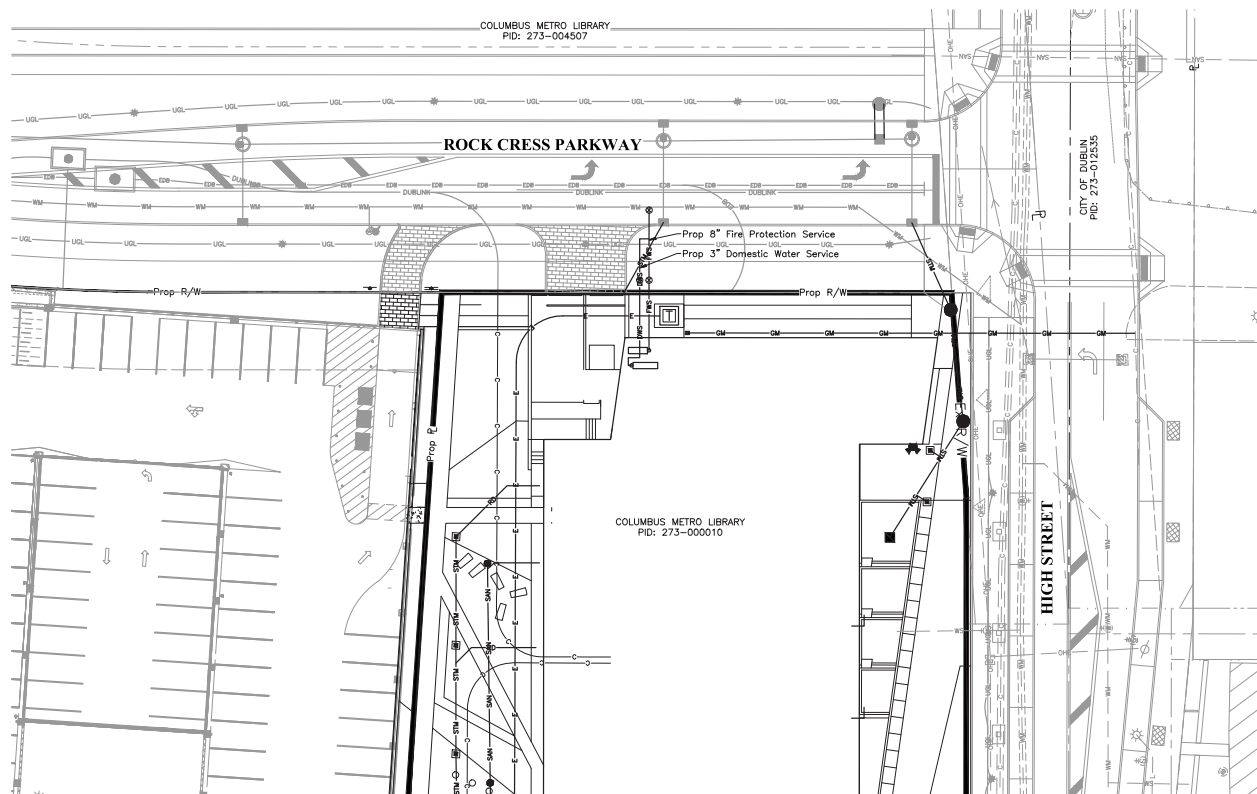
Utility Plan


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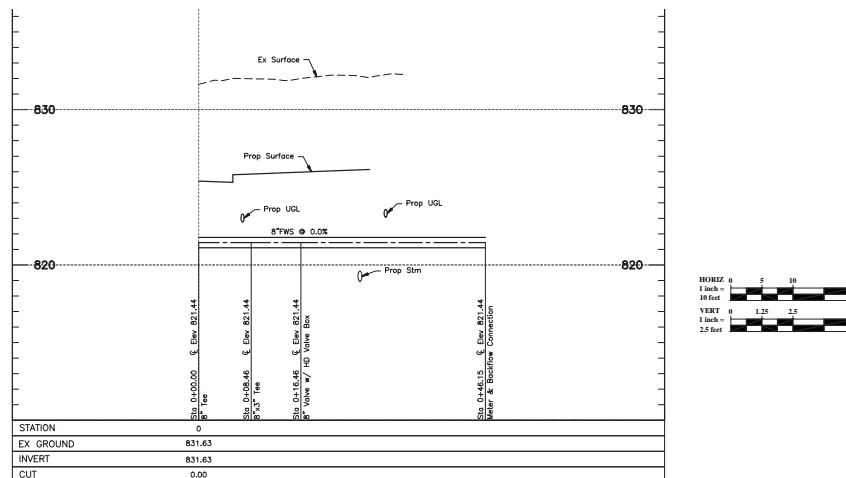
- CITY OF COLUMBUS WATER SERVICE PLAN NOTES**
1. No water service construction, ~~BEFORE OR AFTER METERS~~, shall be installed prior to the water service (main) being issued and the fire hydrant being installed. The City of Columbus will not be responsible for any damage to the water service.
2. Site utility contractor installing any water service pipe from water main through and after the meter shall have a current City of Columbus water service license per the Columbus City Code 1103 and 4114.
3. Site Utility Contractor shall obtain a City of Dublin Right of Way Permit (s) prior to beginning any water service construction or placement of ~~ANY~~ water service construction materials ~~AND/OR~~ construction equipment.
4. The City of Columbus C.M.S.C. 2012 Edition shall govern all water service work from the City water main including the City of Columbus water service appurtenant and backflow prevention assemblies.
5. There shall be a minimum ten (10') foot horizontal and eighteen (18") inch vertical separation between water (top), water service, private water system ~~AND/OR~~ sanitary ~~AND/OR~~ storm sewer structure (s) per the City of Columbus Standards & Specifications.
6. Where Ten Feet (10') of horizontal distance separation cannot be maintained from a sewer structure, the water service pipe shall be installed such that the structure is staggered by the pipe joints on a full length (18 foot minimum) piece of water pipe.
7. Site Utility Contractor shall call 614-645-5781 to request an inspection ~~AND/OR~~ pressure test of 3" and 4" domestic ~~AND/OR~~ 6" protection pipe and 12" water service pipe. The City will otherwise approve of any 7.5" size tube that the City water meter (s) call 614-248 advance notice is required.
8. All 3" and larger water service pipe shall be pressure tested per the C.M.S.C. Section B01 with the following exceptions: 150 psi of air pressure for 15 minutes for appurtenant and backflow prevention assemblies. The City of Columbus shall not approve any test lasting less than two hours regardless of the amount of leakage.
9. All 3" through 12" water service pipe shall be ductile iron from the City water main through the meter installation (s) including the meter bypass.
10. Water service pipe and all other water and all exposed water main shall be poly wrapped per the A.W.W.A. 1005.10.1. Beyond a point 10' beyond the right of way address.
11. Water service (s) can be flushed by the City water contractor PRIOR TO the City water meter (s) installation. ANY City water meter damage charge (s) due to non-flushing shall be paid by the utility contractor.
12. Existing right-of-way line(s) ~~AND/OR~~ water main easement line (s) shall be staked at 10 foot increments by a State of Ohio Licensed Surveyor when the water service ~~AND/OR~~ service(s) are installed and by the Contractor and Inspection requested by the Columbus Division of Water.
13. 2" and larger meter settings shall be per Columbus Division of Water standard detail drawings - E-5317 A through E dated 5/16/13.
14. Meter room shall require building permit review and approval from City of Dublin Department of Building and Zoning PRIOR TO any meter room construction.
15. 3" & 4" meter setting(s) shall be per Columbus Division of Water Standard Detail Drawings - E-5317 A,B,C and D dated 05/16/13. Meters 6" through 18" O.D. shall be called at pipe joints 614-465-8074 with backflow prevention installation. Questions, Call contractor shall call 614-645-5781 to request a backflow prevention installation. A 24 hour advance notice is required.
16. The 3" domestic water service meter shall be installed per the A.S.S.E. #1013 Approval/Standard. The 3" domestic water backflow preventer shall require a floor drain duct to manufacturer specs.
17. The 6" fire service meter shall be installed per the A.S.S.E. #1013 Approval/Standard. The 6" fire service backflow preventer shall have a detector meter that is Iron 100W(Tower) equipped, measures in 1/4" and 1/2" and has a 1/2" NPT outlet. The 6" fire service backflow preventer shall be installed per the A.S.S.E. #1013 Approval/Standard. The 6" fire service backflow preventer shall provide a 1" 1/4" reading control from both backflow preventers to the City thru to 6" beyond the final backflow preventer.
18. Water Service Survey Coordinate Note. Shall be provided by the water system designer and shall include the horizontal location (Northing, Easting) survey coordinates for the proposed water service improvement. The survey coordinates shall be provided for the proposed water service and shall include all tapping sleeves, valves, fire hydrants, service valves, and all other appurtenant equipment. The survey coordinates shall be from the main through the meter setting. Also, beyond the meter setting private hydrants shall be shown on the survey as well. All survey coordinates shall be referenced to the National Highway System (N.H.S.) with the (1986) adjustment, with further reference made to the Ohio State Plane South coordinate system, south zone. All coordinates (Northing, Easting) shall be referenced to the nearest hundred (N xxxxxxx, E xxxxxxx). All survey coordinates shall be referenced to the nearest hundred (N xxxxxxx, E xxxxxxx).
19. Meter room shall be heated with a wall or ceiling mounted gas or electric thermostatically operated heater, sized to maintain a 45 degree Fahrenheit inside temperature at an outside temperature of zero degrees Fahrenheit temperature.
20. Meter room shall be insulated to local region R-Factors in ceilings and walls.

CITY OF COLUMBUS WATER SERVICE PLAN NOTES



	<u>LEGEND</u>	
Existing Storm Sewer	—	STM
Existing Sanitary Sewer	—	SAN
Existing Water	—	WM
Existing Electric	—	E
Existing Gas	—	GAS
Existing Communication	—	C
Existing Waterline Easement		
Proposed 8" Fire Protection Water Main	—	FFPM
Proposed 4" Domestic Water Service	—	DWS
Proposed Gas Main	—	GM
Proposed Sanitary Service	—	SAS
Proposed Sanitary Sewer Main	—	SAN
Proposed Storm Sewer	—	STM
Trench Excavation and Pavement Replacement		

NOTE
Waterline shall be deflected around proposed utilities as needed to maintain a minimum 1.5' vertical clearance.

[illegible]



Plaza Level
FF=835.27
First Level
FF=823.60

Second Floor
FF=846.33

Lower Level
FF=835.00

-----824-----825-----	Existing Contours
X830.00	Existing Spot Elevation
x30.00	Proposed Spot Elevation
==--824--825==	Proposed Contours

FLOORING & FIRE PROTECTION
 DYNAMIX ENGINEERING LTD.
 855 GRANDVIEW AVE.
 3RD FL COLUMBUS,
 OH 43215

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nbbj

250 S. SOUTH HIGH STREET,
SUITE 300 COLUMBUS, OH 43215
PHONE 614 224 7145
FAX 614 224 0218

Turner

CONSTRUCTION MANAGER:

KORDA

MECHANICAL, ELECTRICAL &
STRUCTURAL ENGINEER:

EMHT

CIVIL ENGINEER:

1555 LAKE SHORE DRIVE
COLUMBUS, OH USA
1 614 224 7145

Dynamix

PLUMBING & FIRE PROTECTION:

101253.00

ISSUE

MARK	DATE	DESCRIPTION

DRAWN BY: **nbbj** PROJ. ARCH: **nbbj**

PROJ. NO.: **100% DESIGN
DEVELOPMENT**

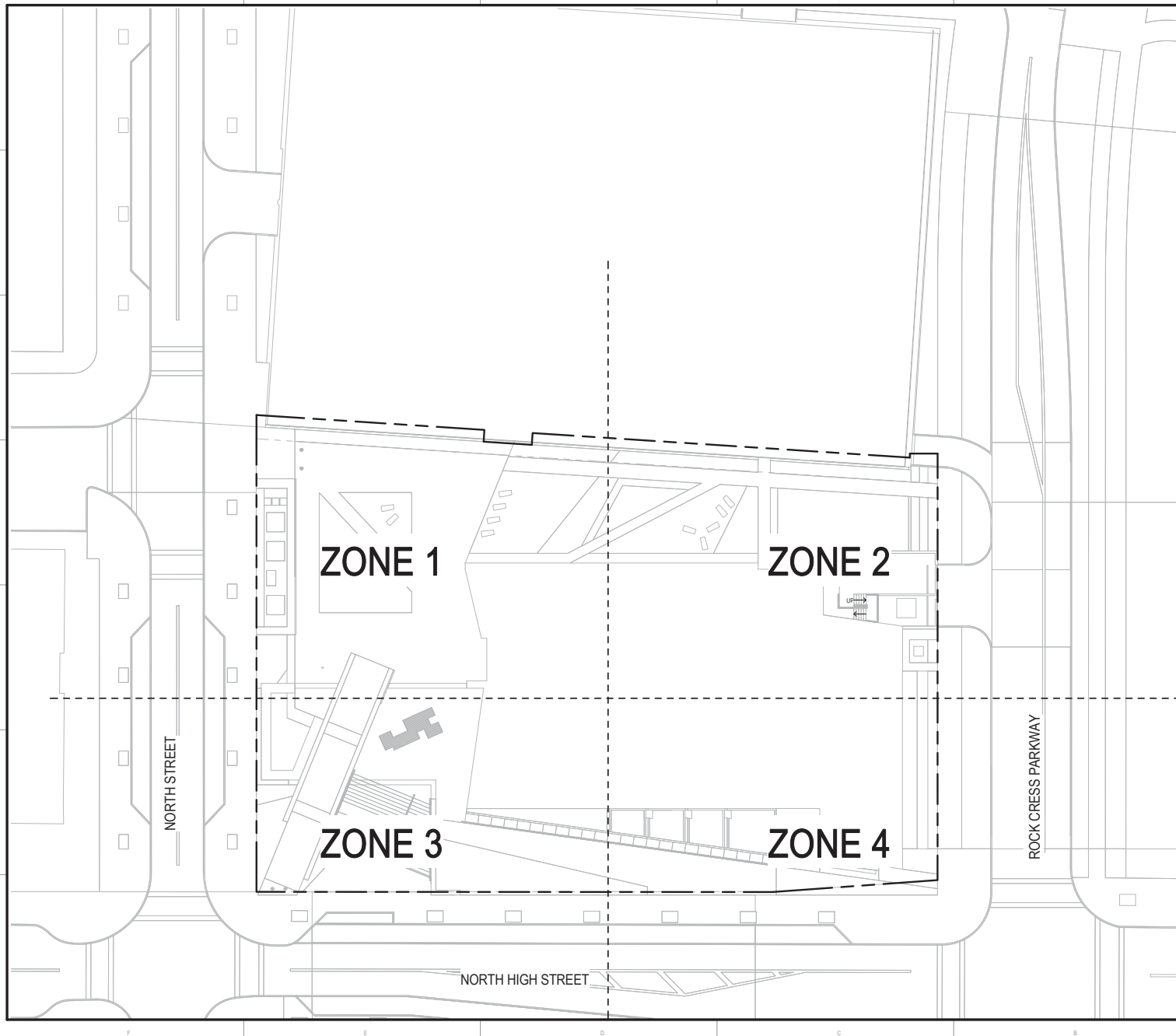
DATE: 08/17/2019

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SITE PLAN

DWG.

L03



nbbj

250 S. SOUTH HIGH STREET,
 SUITE 300 COLUMBUS, OH 43215
 PHONE 614 224 7145
 FAX 614 224 0218

Turner

CONSTRUCTION MANAGER:

KORDA

MECHANICAL, ELECTRICAL &
 STRUCTURAL ENGINEER:

EMHT

CIVIL ENGINEER:

1555 LAKE SHORE DRIVE
 COLUMBUS, OH USA
 1 614 224 7145

Dynamix

PLUMBING & FIRE PROTECTION:

101253.00

ISSUE

MARK	DATE	DESCRIPTION

DRAWN BY: **NBBJ**

PROJ ARCH: **NBBJ**

PROJ. NO.: **100% DESIGN DEVELOPMENT**

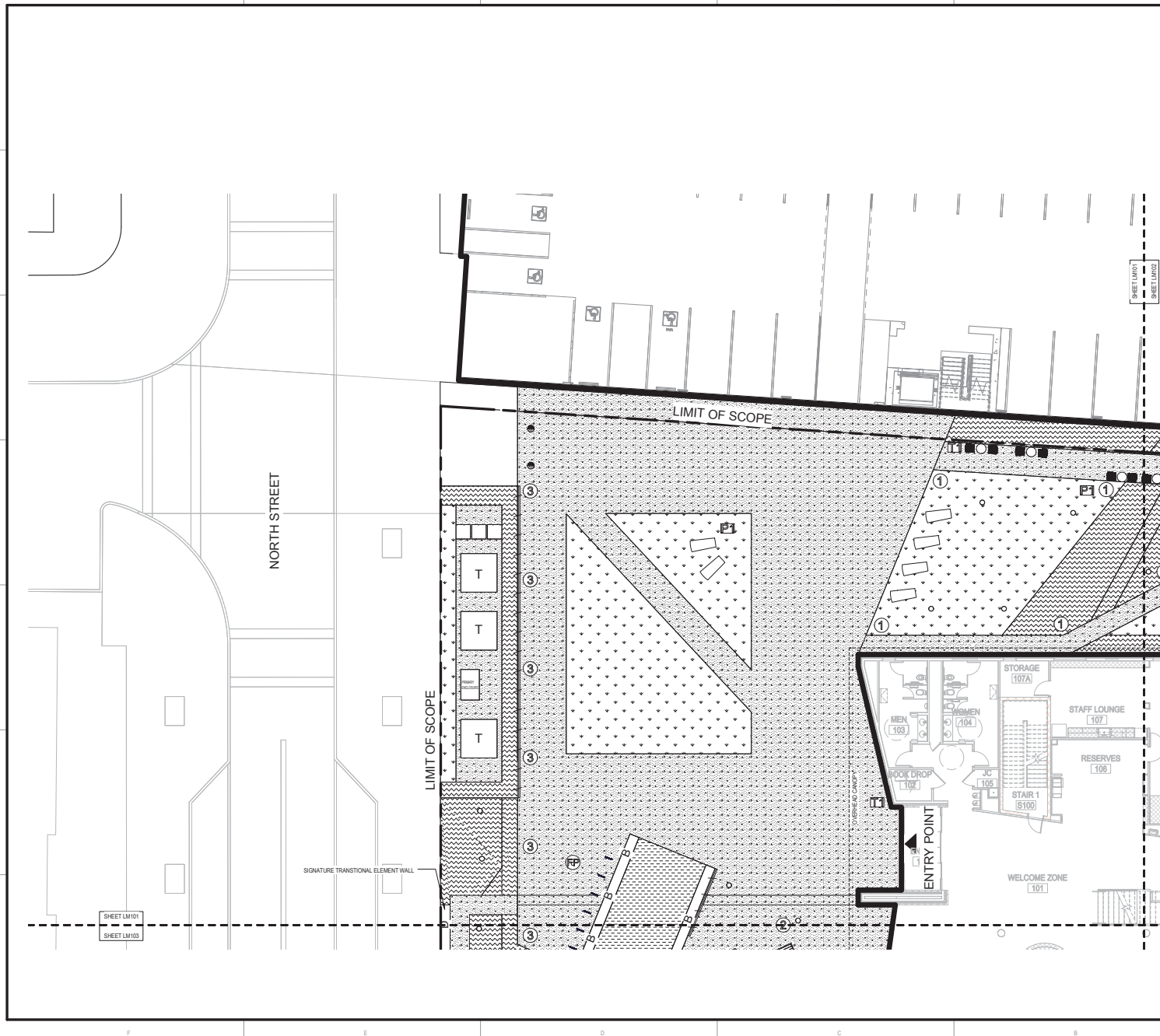
DATE: 08/17/2019

DWG.

**SITE PLAN -
 ZONES**

DWG.

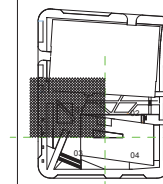
L05



CODING NOTES

GENERAL NOTES

KEYPLAN



SCALE: 1" = 10'-0"

nbbj

250 S. SOUTH HIGH STREET,
SUITE 300 COLUMBUS, OH 43215
PHONE 614 224 7145
FAX 614 224 0218

Turner

CONSTRUCTION MANAGER:

KORDA

MECHANICAL, ELECTRICAL &
STRUCTURAL ENGINEER:

EMHT

CIVIL ENGINEER:

1555 LAKE SHORE DRIVE
COLUMBUS, OH USA
1 614 224 7145

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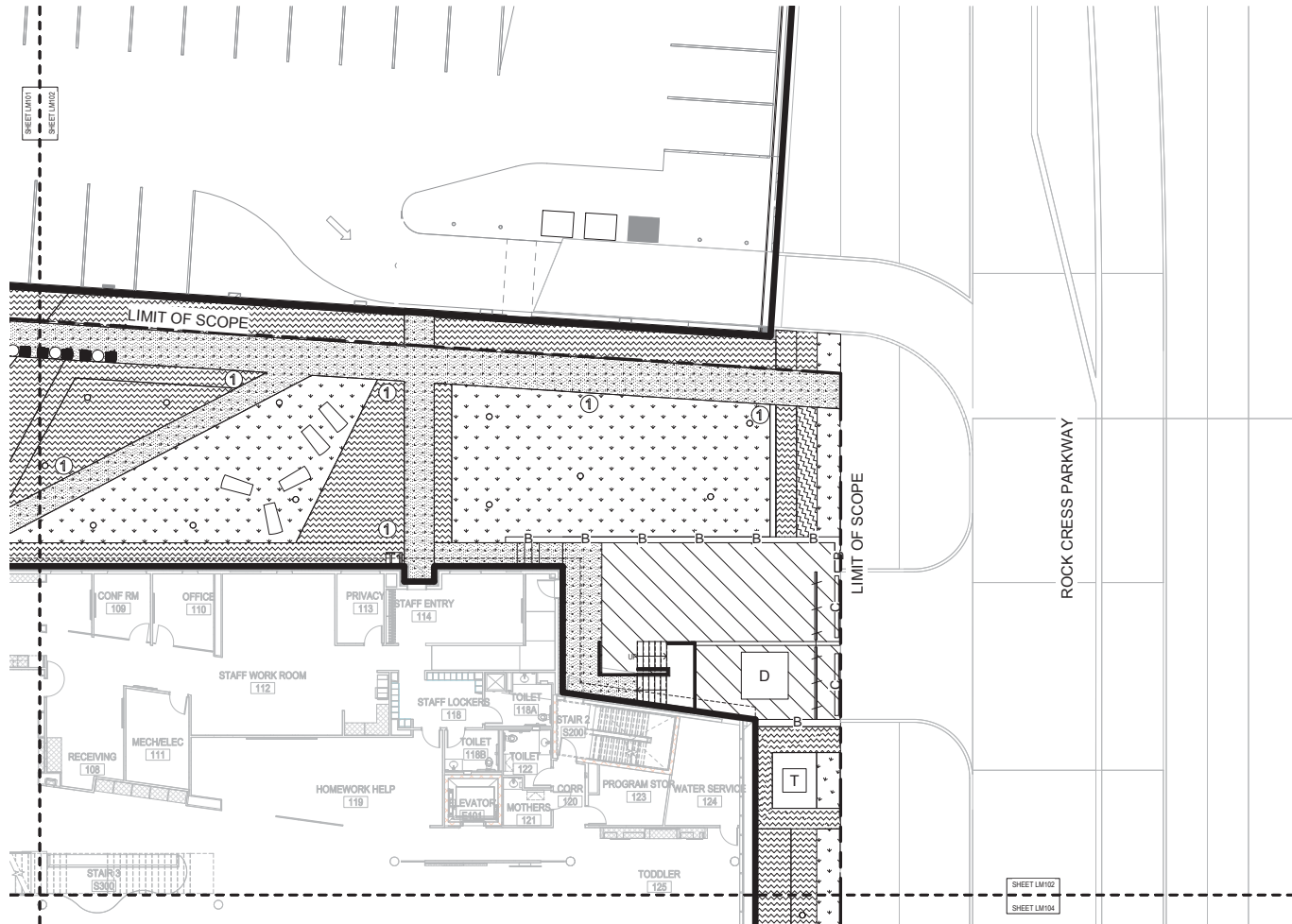
DATE: 08/17/2019

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**SITE MATERIALS
PLAN ZONE 1**

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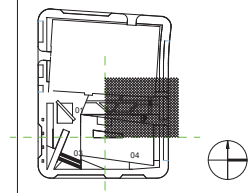
LM101



CODED NOTES

GENERAL NOTES

KEYPLAN



SCALE: 1" = 10'-0"

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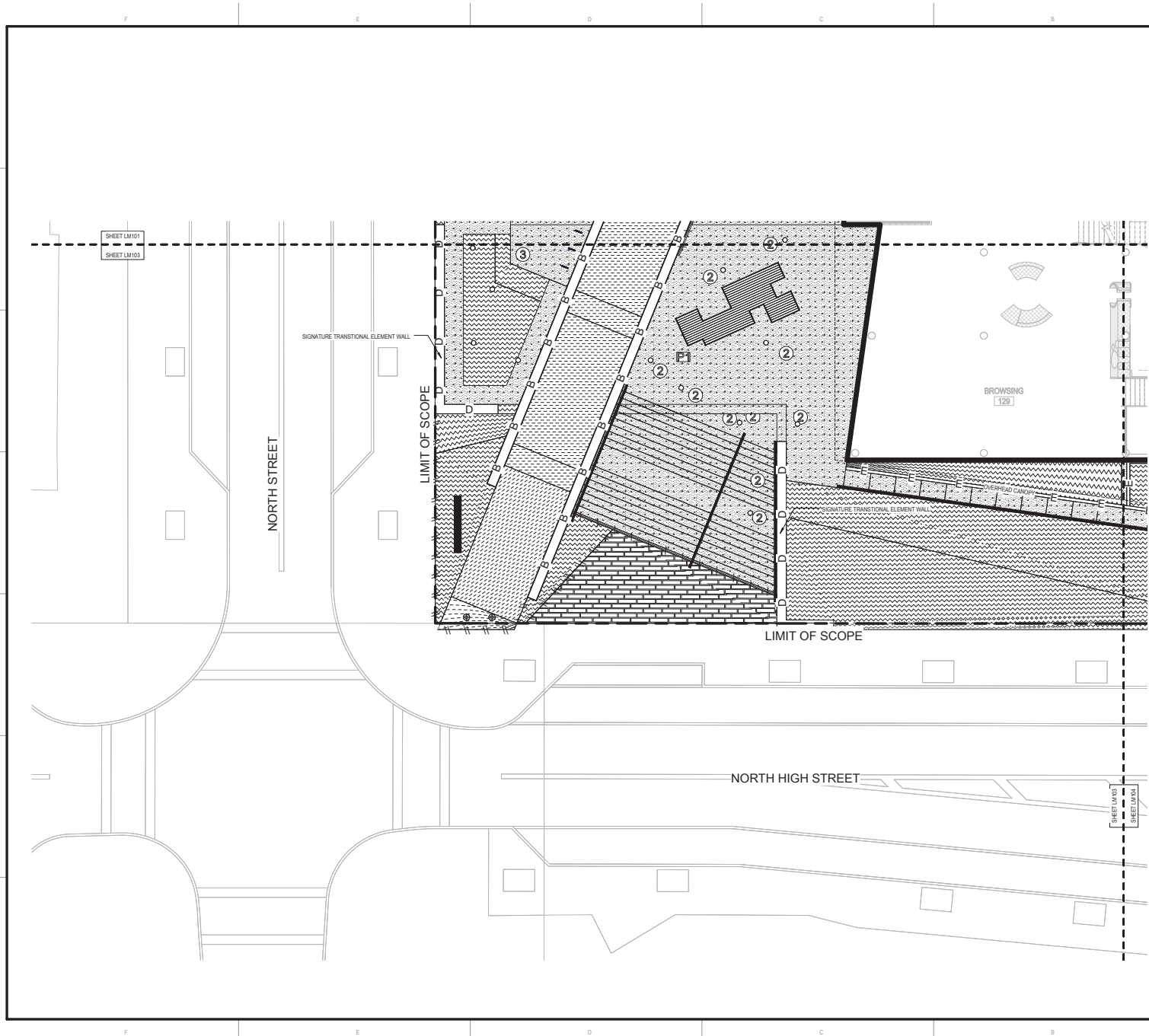
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DATE: 08/17/2019

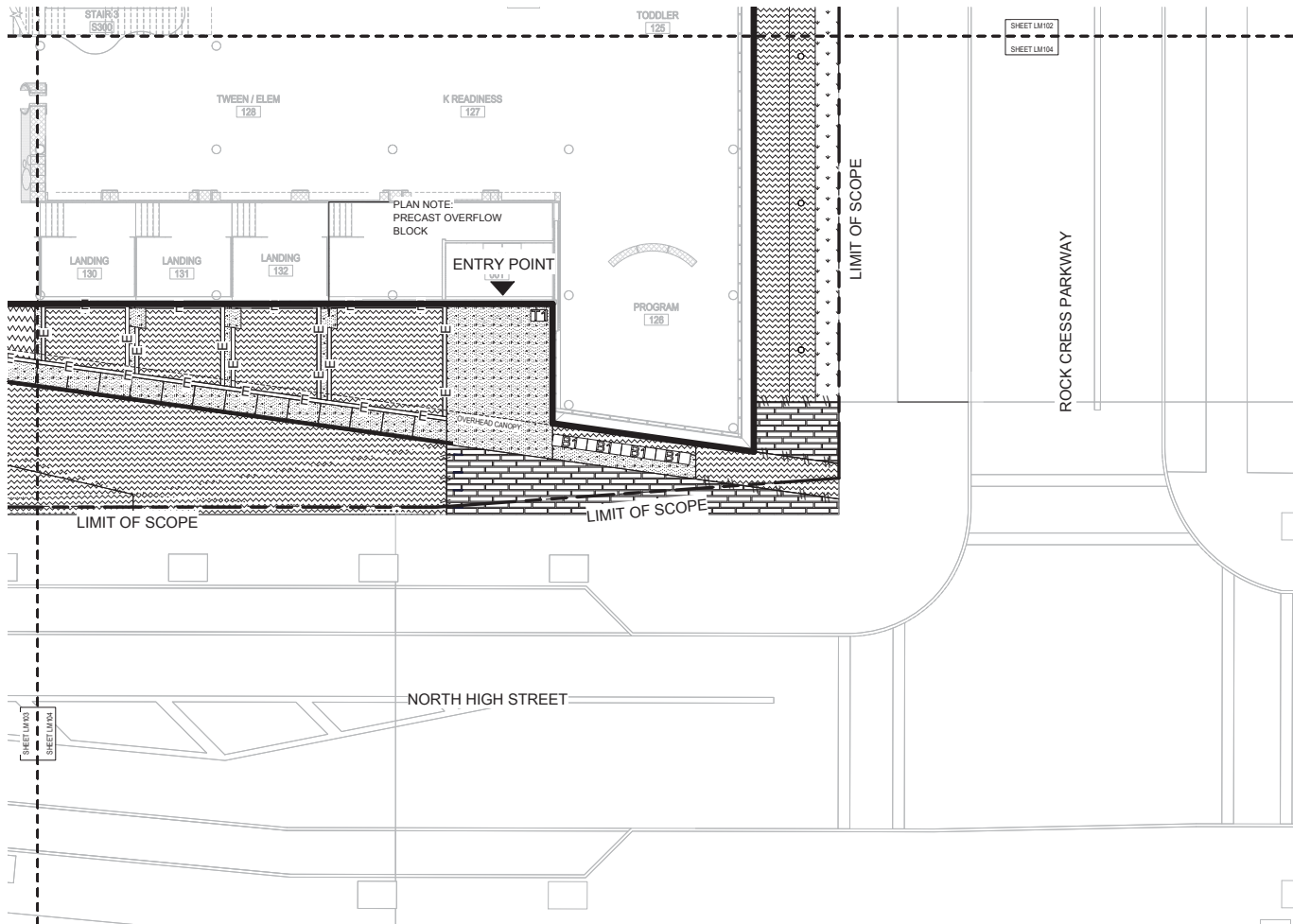
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**SITE MATERIALS
PLAN ZONE 2**

DWG.
LM102



LM103

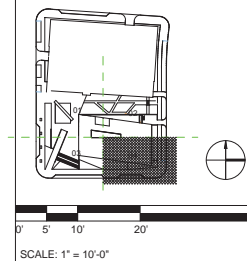
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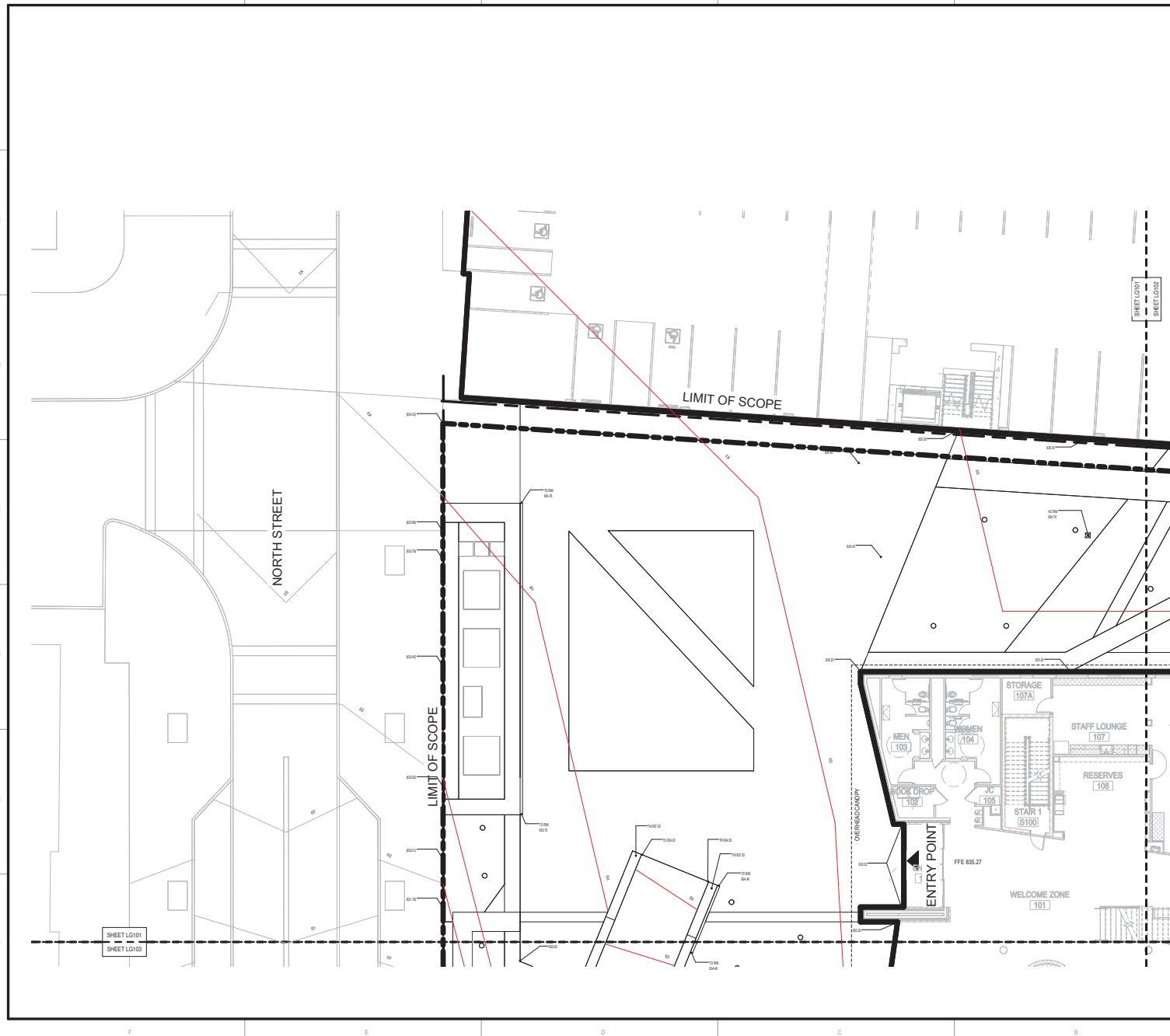
ISSUE

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DRAWN BY: **NBBJ** PROJ ARCH: **NBBJ**
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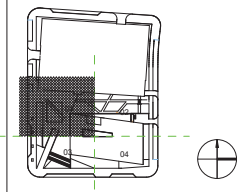
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CODED NOTES

GENERAL NOTES

KEYPLAN



SCALE: 1" = 10'-0"

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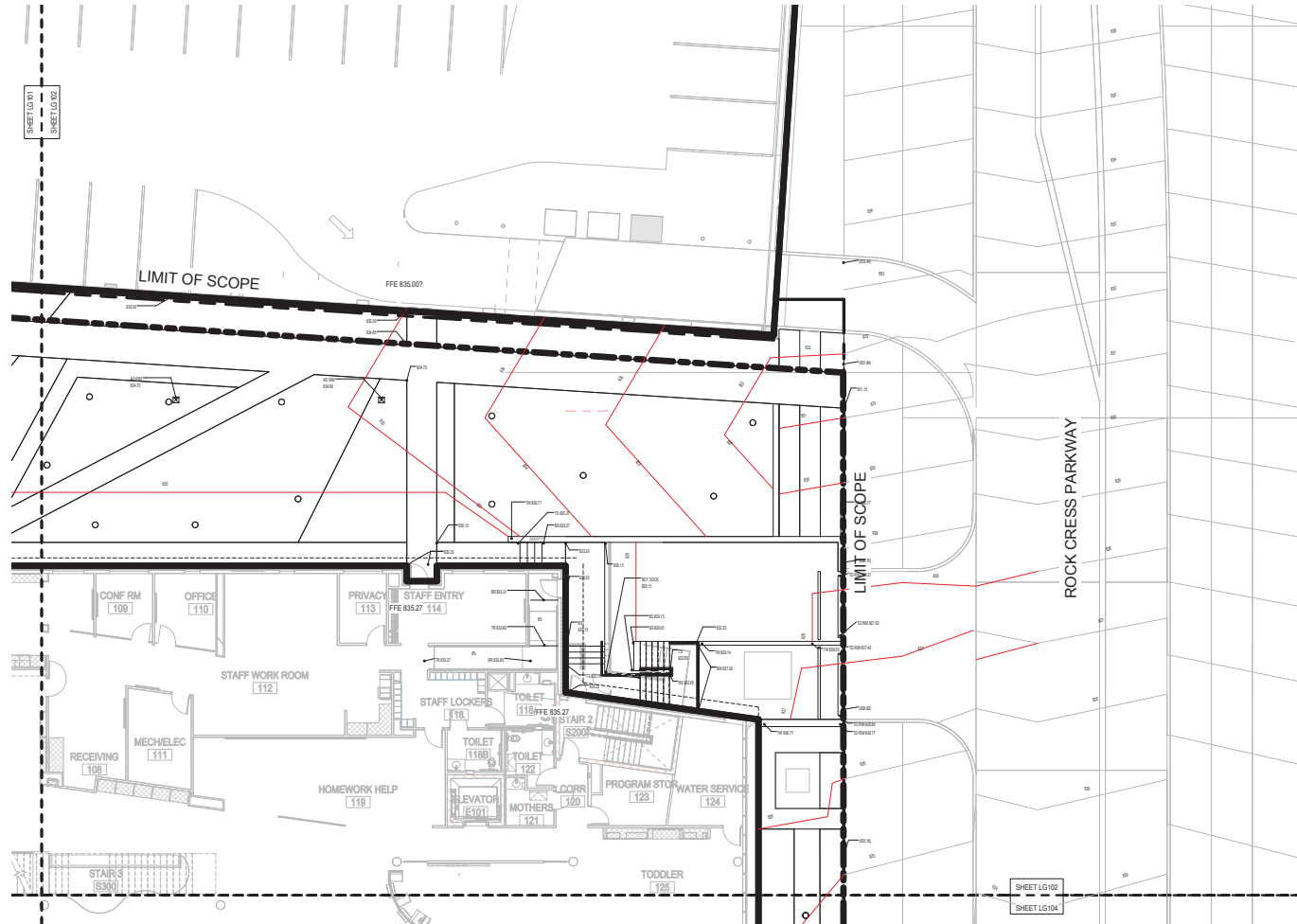
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PROJ. NO.: **100% DESIGN DEVELOPMENT**

DATE: 08/15/2017

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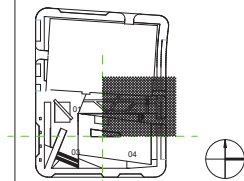
DWG: **LG101**



CODED NOTES

GENERAL NOTES

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Author Designer

PROJ. NO.: 100% DESIGN DEVELOPMENT

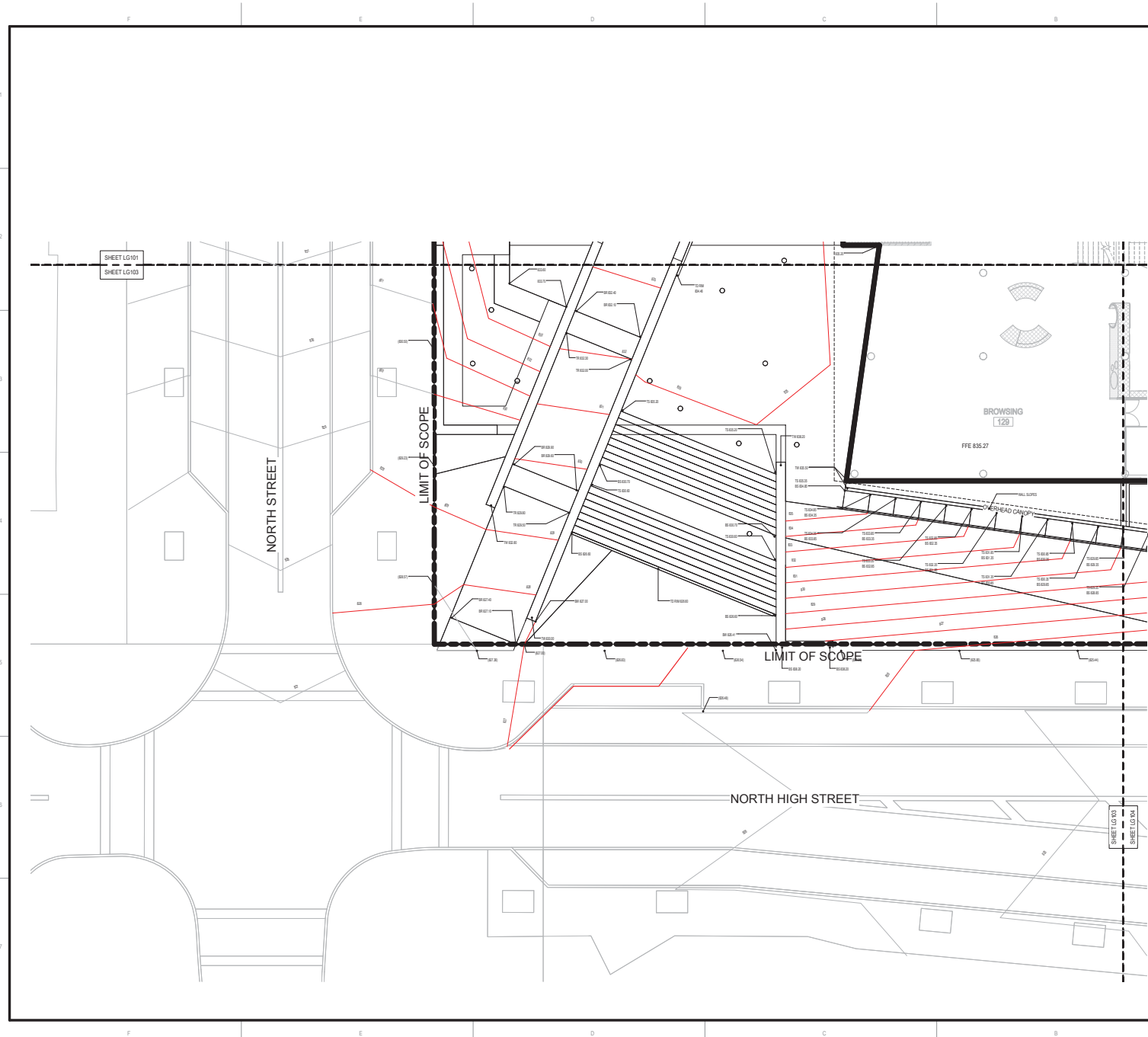
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**SITE GRADING
PLAN ZONE 2**

DWG:

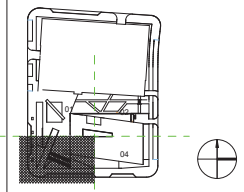
LG102



CODED NOTES

GENERAL NOTES

KEYPLAN



SCALE: 1" = 10'-0"

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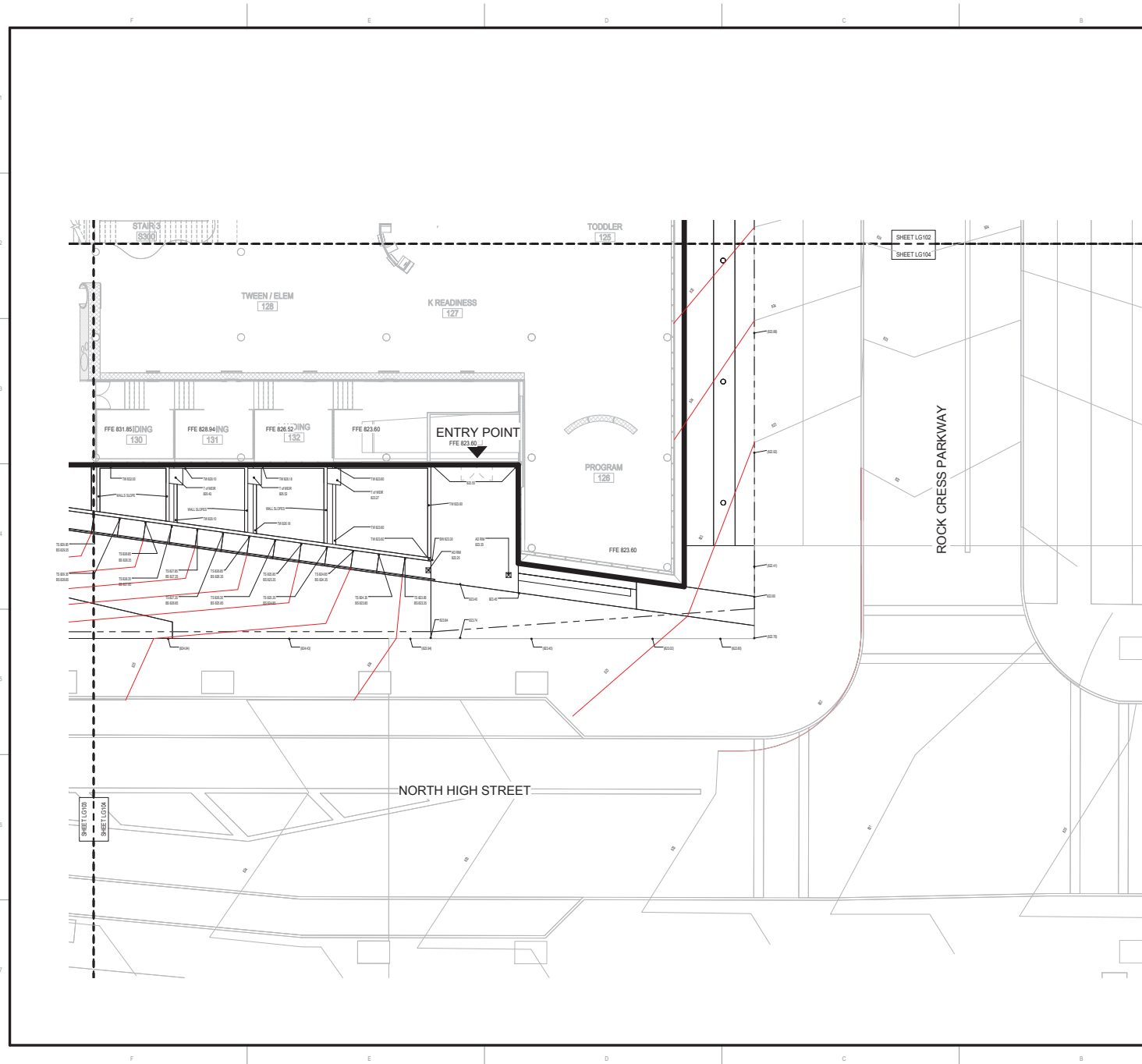
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PROJ. NO.: **100% DESIGN DEVELOPMENT**

DATE: 08/15/2017

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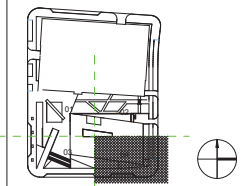
DWG: **LG103**



CODED NOTES

GENERAL NOTES

KEYPLAN



SCALE: 1" = 10'-0"

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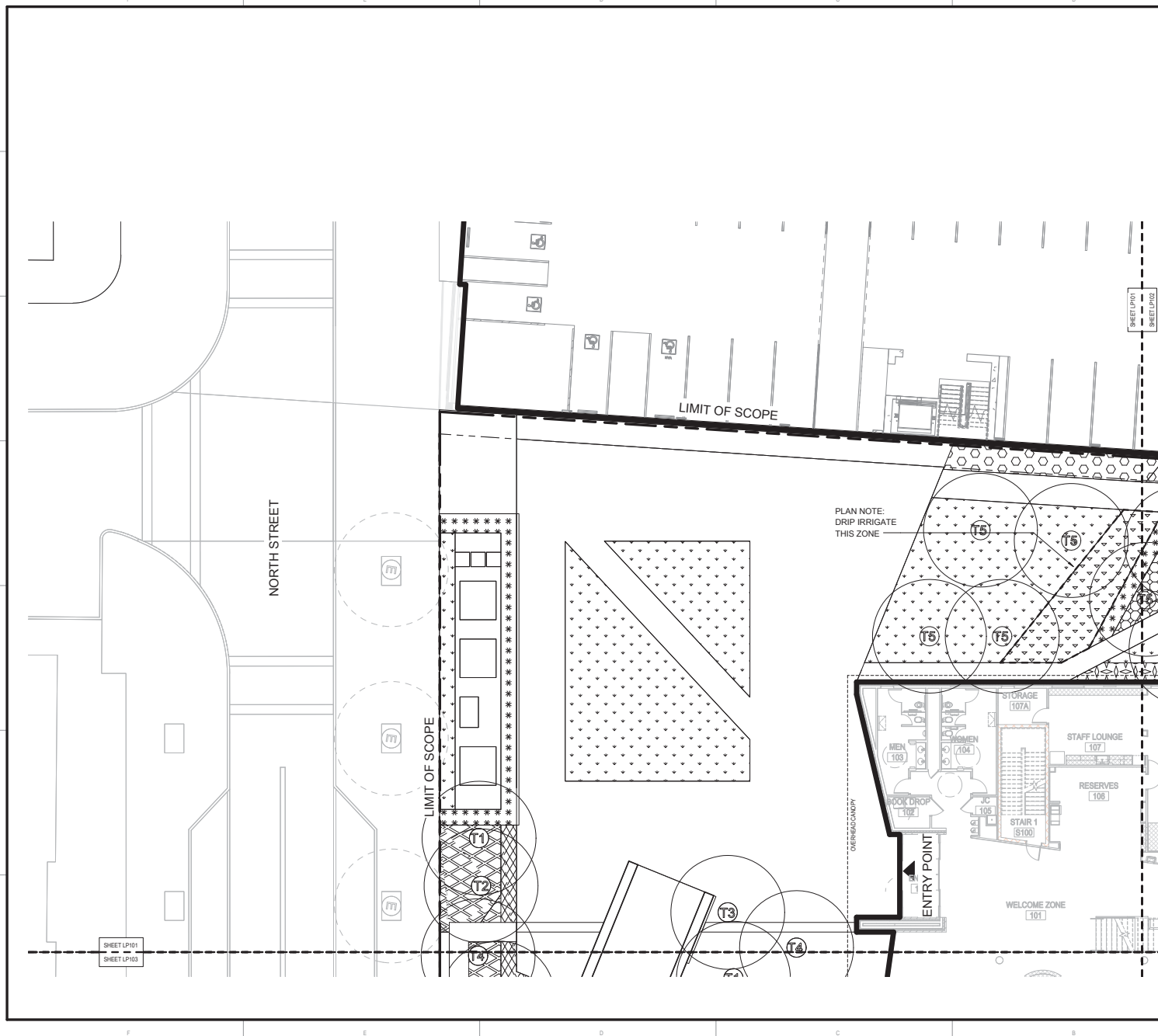
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PROJ. NO.: **100% DESIGN DEVELOPMENT**

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DWG:
**SITE GRADING
PLAN ZONE 4**

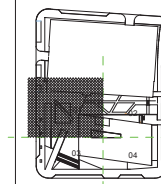
DWG:
LG104



CODING NOTES

GENERAL NOTES

KEYPLAN



SCALE: 1" = 10'-0"

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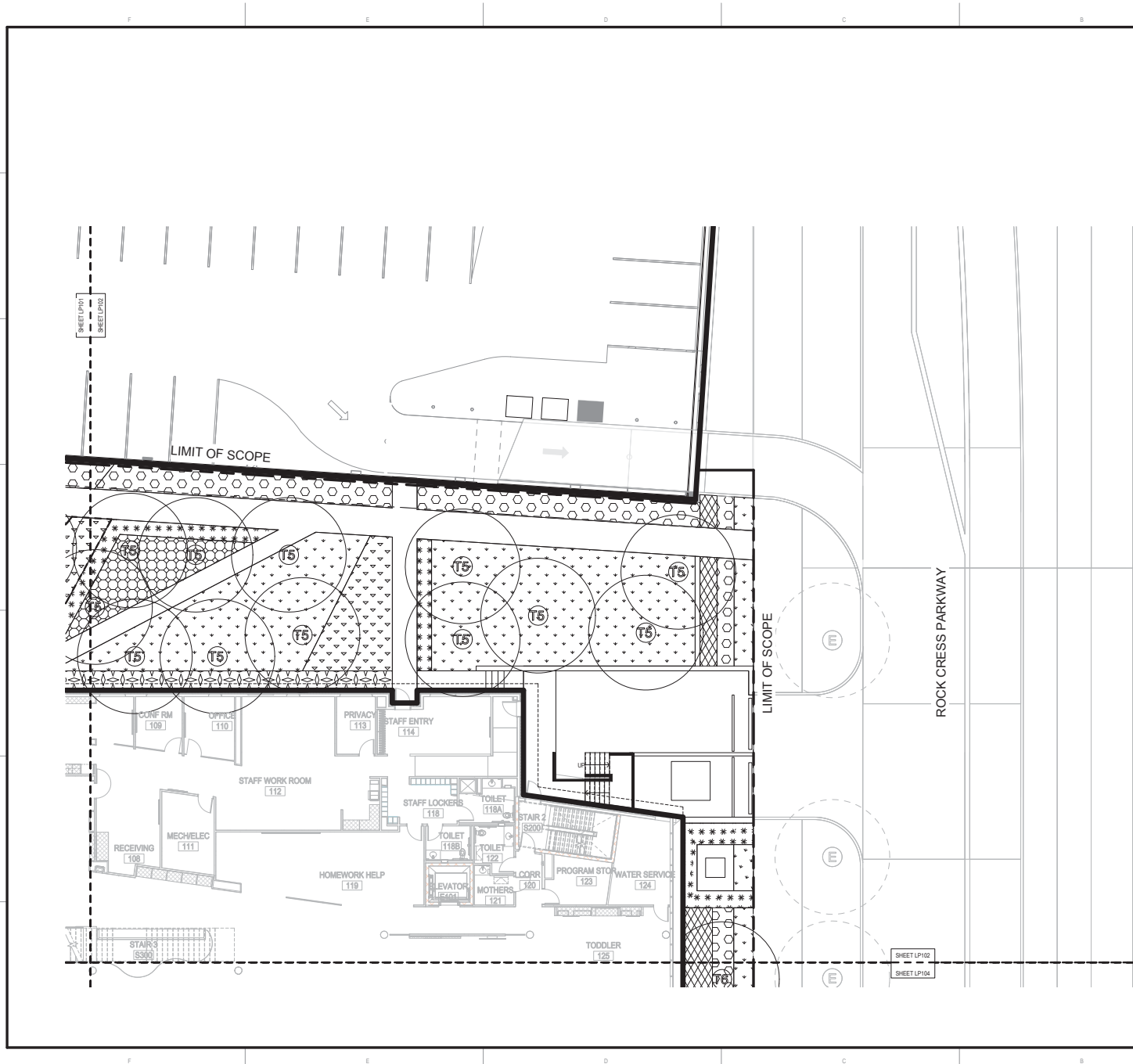
DATE: 08/17/2019

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**SITE PLANTING
PLAN ZONE 1**

DWG:

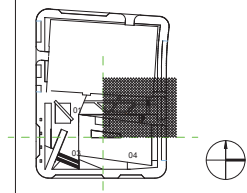
LP101



CODED NOTES

GENERAL NOTES

KEYPLAN



SCALE: 1" = 10'-0"

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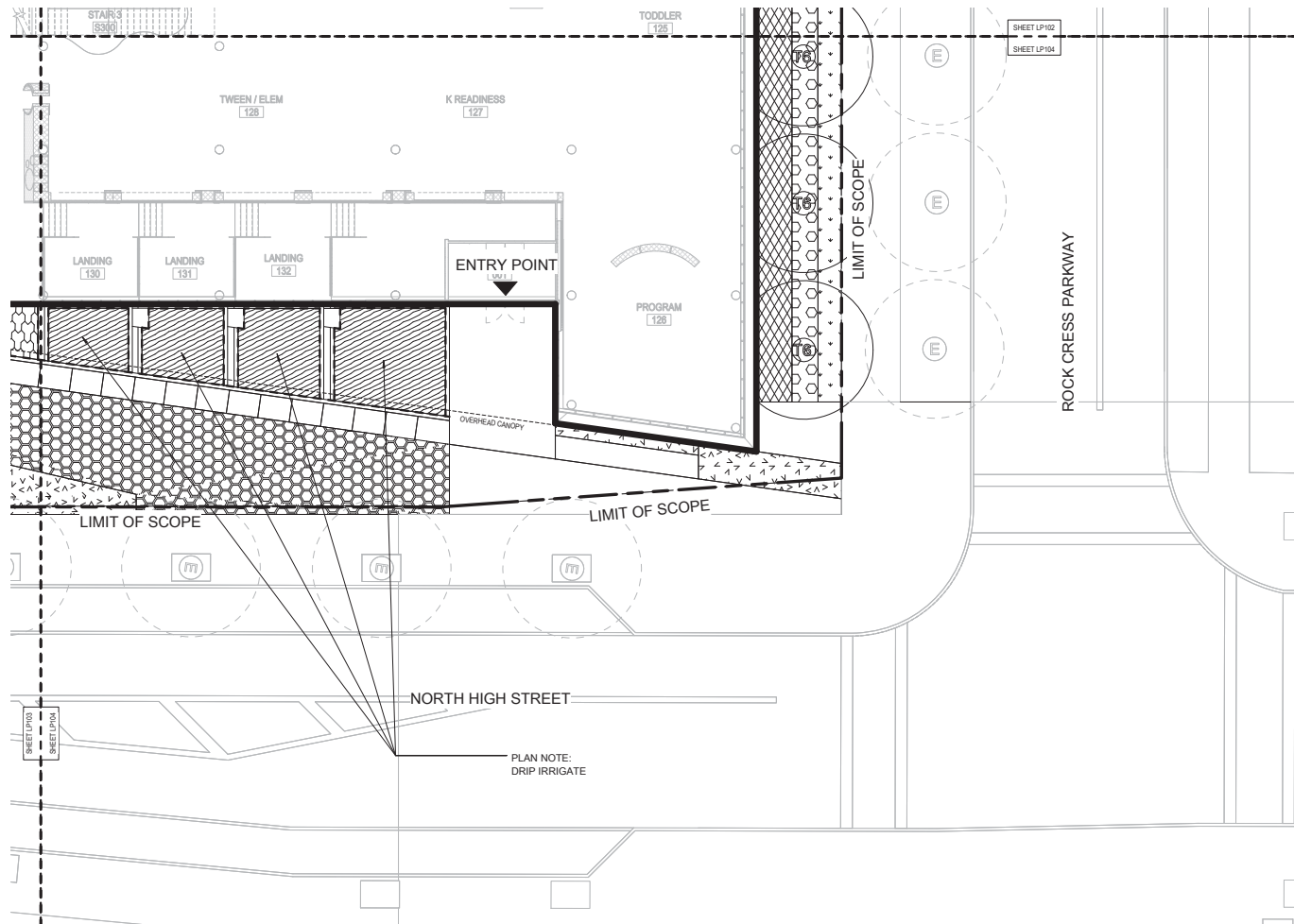
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DWG:

**SITE PLANTING
PLAN ZONE 2**

DWG:

LP102



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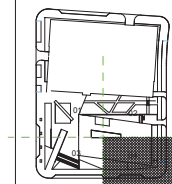
SITE PLANTING PLAN ZONE 4

DING.

LP104

GENERAL NOTES

KEYPLAN



0' 5' 10'

SCALE: 1" = 10'-0"

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FAX 614 224 0218

Turner
CONSTRUCTION MANAGER:

262 HANOVER ST.
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MECHANICAL, ELECTRICAL &
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KORDA
1650 WATERMARK DR.
COLUMBUS, OH 43215

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CIVIL ENGINEER:
EMH&T
5500 NEW ALBANY RD W.
NEW ALBANY, OH 43054

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3RD FL COLUMBUS, OH
43215

100% DESIGN
DEVELOPMENT

CML - DUBLIN BRANCH
75 N HIGH STREET

DUBLIN, OH 43017

8/10/17

DATE	DESCRIPTION

WIN BY:	PROJ. ARCH:
Author	Design

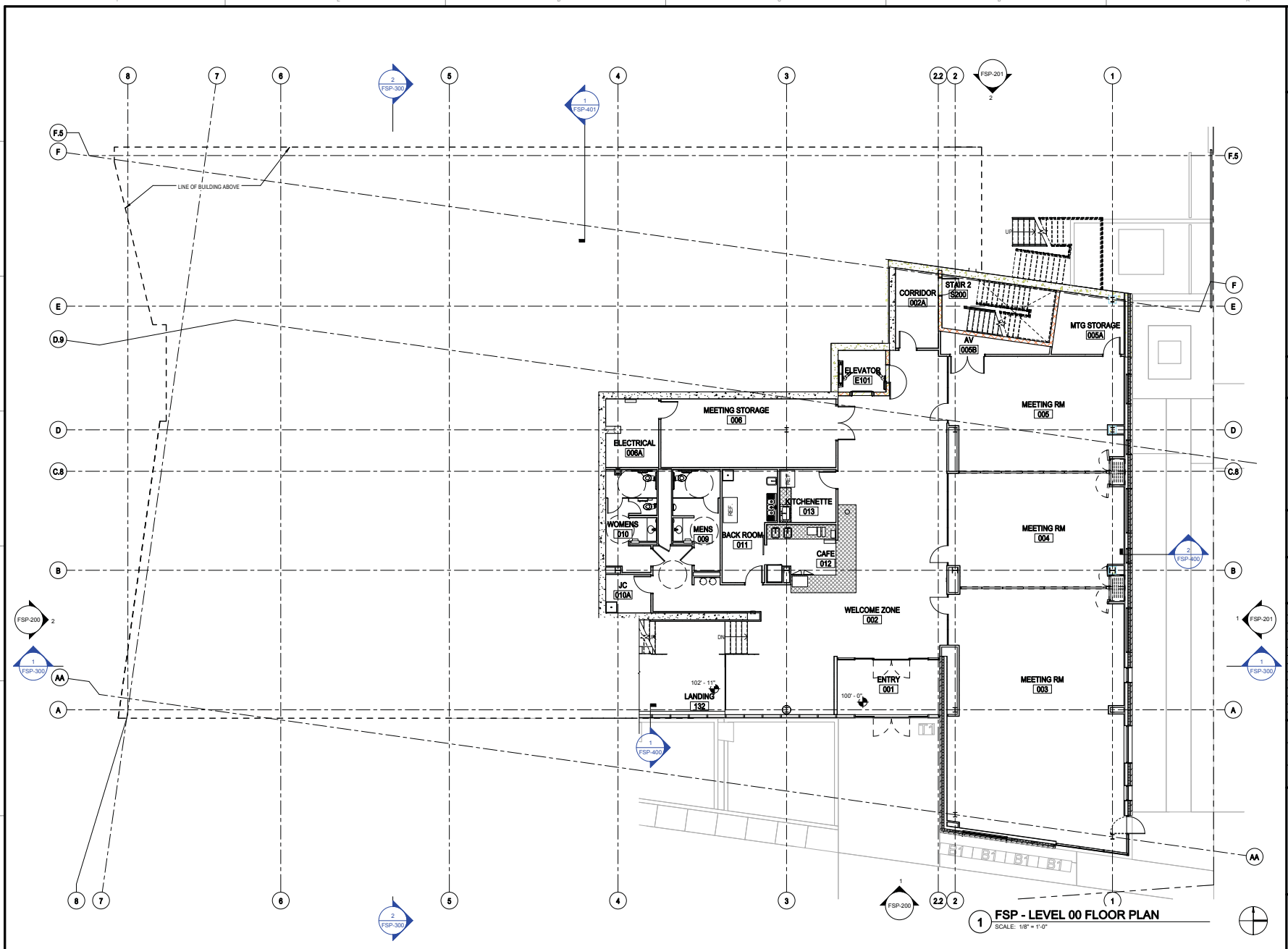
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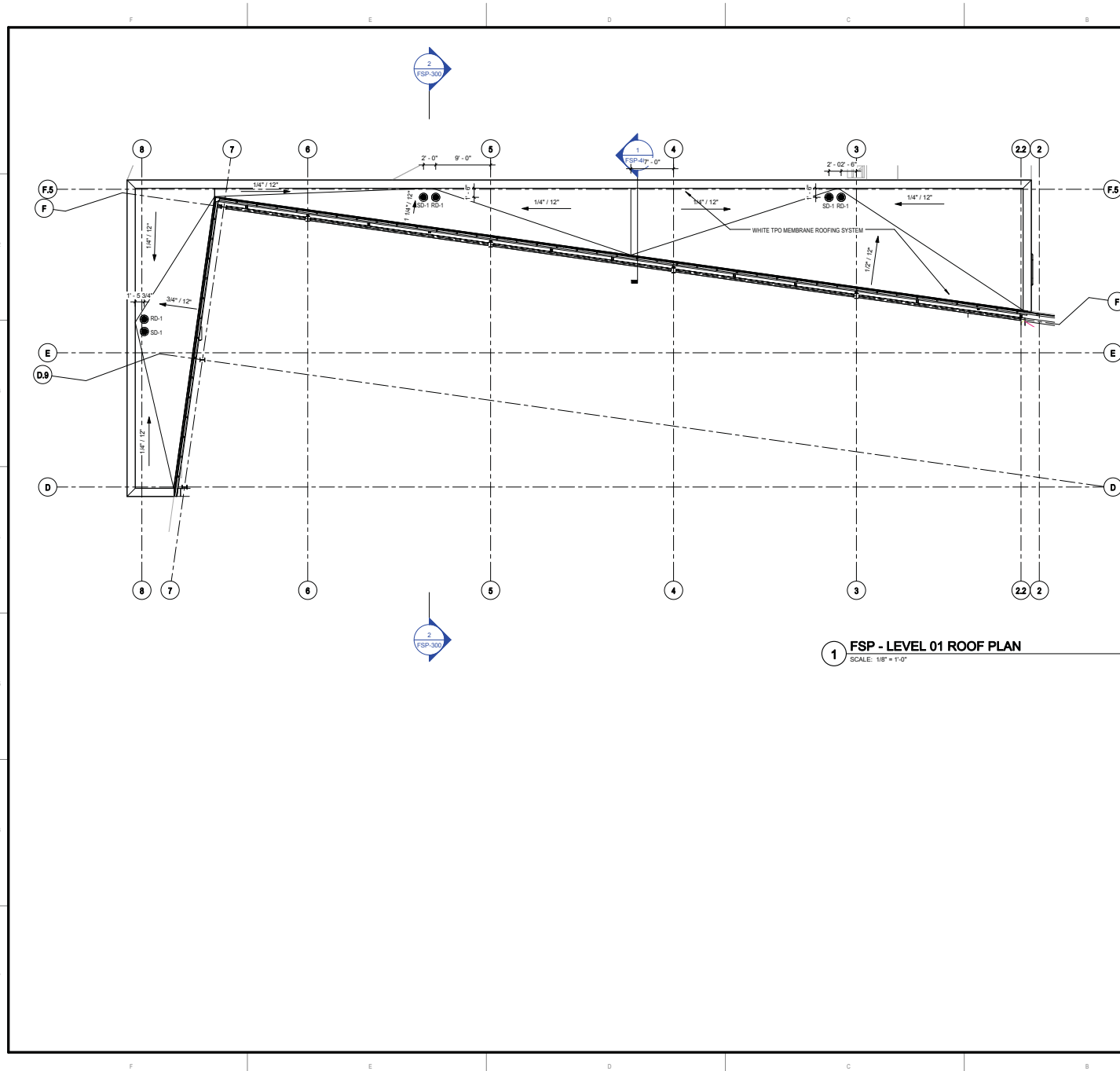
LEVEL 00 PLAN

SD 100

SP-100



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1 FSP - LEVEL 01 ROOF PLAN
SCALE: 1/8" = 1'-0"

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75 N HIGH STREET
DUBLIN, OH 43017

8/10/17

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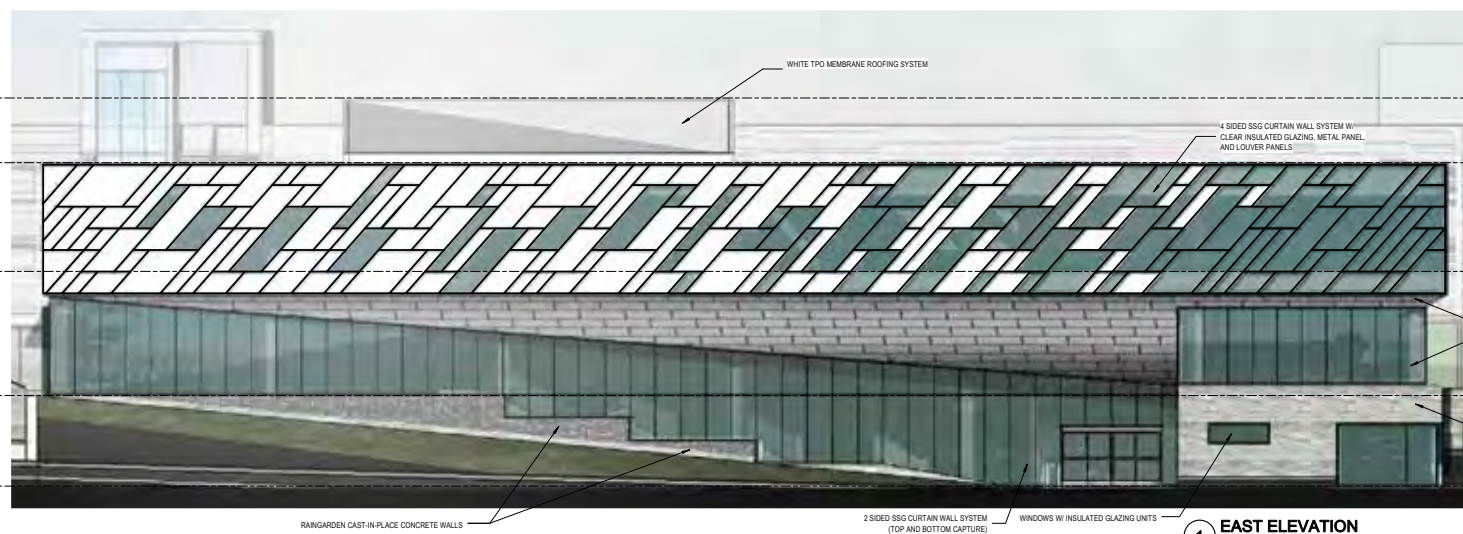
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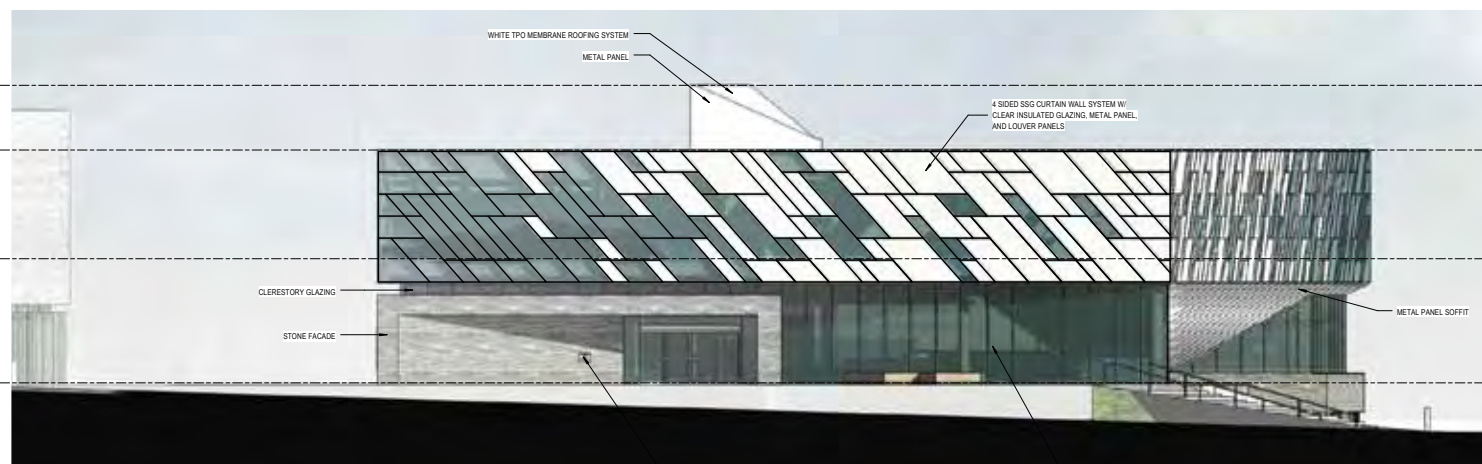
DATE: 08/17/17

DWG:
**LEVEL 01 ROOF
PLAN**

DWG:
FSP-103



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

		N			W			TOTAL		
ROOF	IS-1	%	N	%	W	%	W	%	W	TOTAL
	MCAP-2	%	56	97	125	435	209	435		
										325
LEVEL 2	IS-1	%	489	880	382	770	2,630			
	IS-1	%	296	336	330	305				
	IS-1	%	233	231	448	370				
	IS-1	%	136	135	336	330				
	IS-1	%	908	998	1,879	1,779	5,144			
LEVEL 3	IS-1	%	585	585	382	382				
	IS-1	%	976	927	1,178	1,178	4,371			
	IS-1	%	735	675	675	675				
	IS-1	%	21	21	21	21				
	IS-1	%	392	457	153	153	2,795			
LEVEL 4	IS-1	%	236	236	336	336				
	IS-1	%	223	223	448	448				
	IS-1	%	223	223	448	448				
	IS-1	%	145	145	336	336	2,040			
	IS-1	%	195	195	770	770				
LEVEL 5	IS-1	%	136	136	336	336				
	IS-1	%	856	856	2,020	2,020	5,197			
	IS-1	%	136	136	336	336				
TOTAL			1,542	2,202	1,200	1,200	10,665			
% TRANSFORM			42%	46%	42%	27%				
			58%	54%	58%	73%				

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CIVIL ENGINEER:
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100% DESIGN
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CML - DUBLIN BRANCH
75 N HIGH STREET
DUBLIN, OH 43017

8/10/17

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Author	Designer

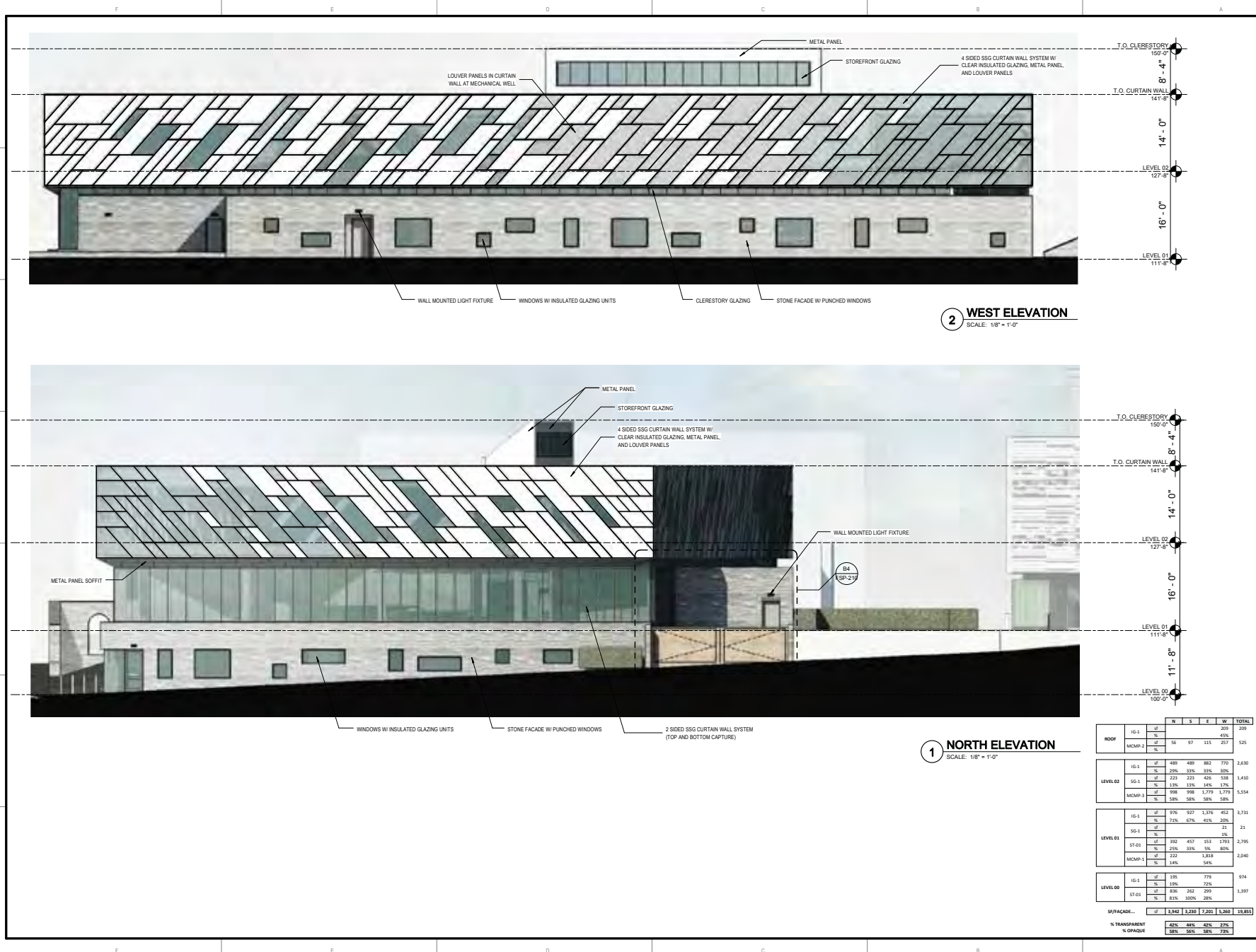
PROJ. NO.: **101253.03**

DATE: 08/15/17

ELEVATIONS

DWIG.

FSP-200



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

		N S E W				TOTAL
		sq ft	sq ft	sq ft	sq ft	
ROOF	H-1	47	56	97	115	209
	MCMP-2	56	97	115	257	525
LEVEL 02	H-1	47	489	489	852	779
	SS-1	29%	33%	33%	20%	2,630
LEVEL 01	H-1	47	223	223	426	538
	SS-1	12%	13%	14%	17%	1,430
LEVEL 00	H-1	47	998	998	1,779	1,779
	MCMP-1	58%	58%	58%	58%	5,554
LEVEL 03	H-1	47	976	927	1,376	462
	SS-1	71%	67%	41%	20%	71
LEVEL 04	H-1	47	392	457	513	1,369
	SS-1	25%	33%	3%	6%	2,795
LEVEL 05	H-1	47	222	1,818		2,040
	MCMP-1	14%	14%	54%		974
LEVEL 06	H-1	47	195	779		1,387
	SS-1	19%	72%			1,387
LEVEL 07	H-1	47	836	262	299	1,397
	SS-1	81%	50%	20%		1,397
SUBTOTAL		47	3,042	3,239	7,281	13,855
% TRANSPARENT			42%	48%	42%	47%
% OPAQUE			58%	52%	58%	53%

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CONSTRUCTION MANAGER

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DEVELOPMENT**

CML - DUBLIN BRANCH
75 N HIGH STREET
DUBLIN, OH 43017

8/10/17

MARK	DATE	DESCRIPTION

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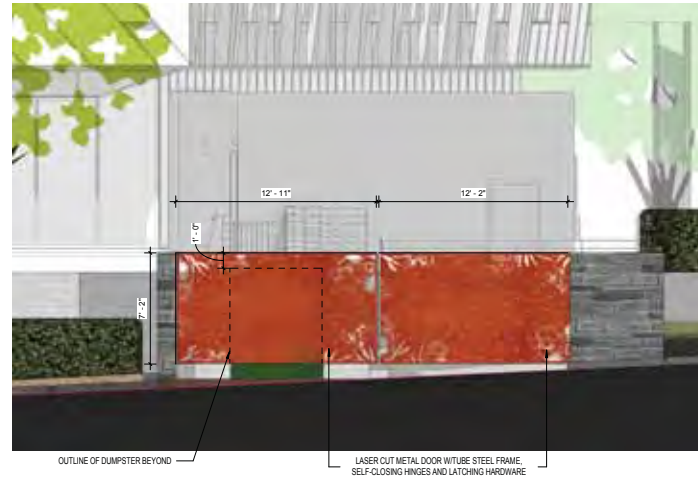
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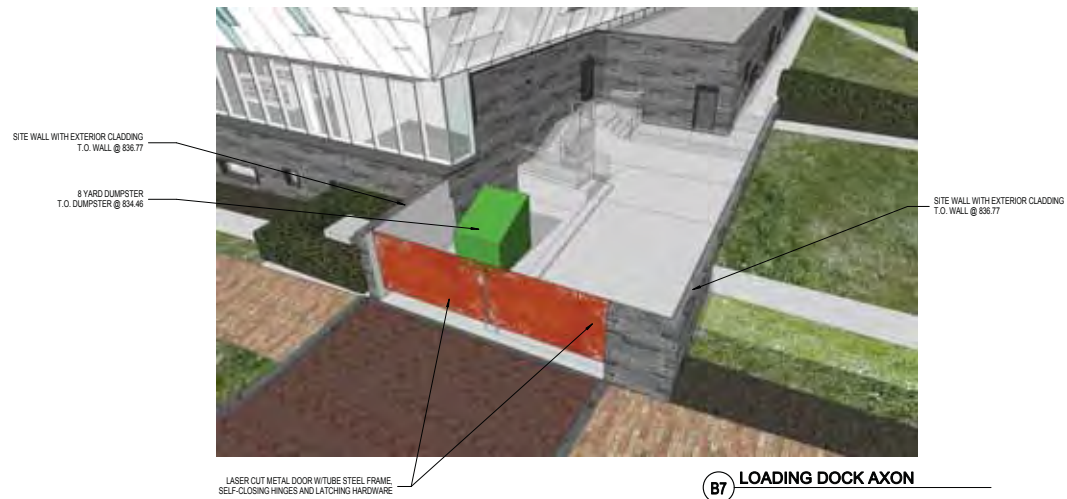
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DWG: FSP-201

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B4 **LOADING DOCK ELEVATION**
SCALE: 1/4" = 1'-0"



B7 **LOADING DOCK AXON**

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CML - DUBLIN BRANCH
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DUBLIN, OH 43017

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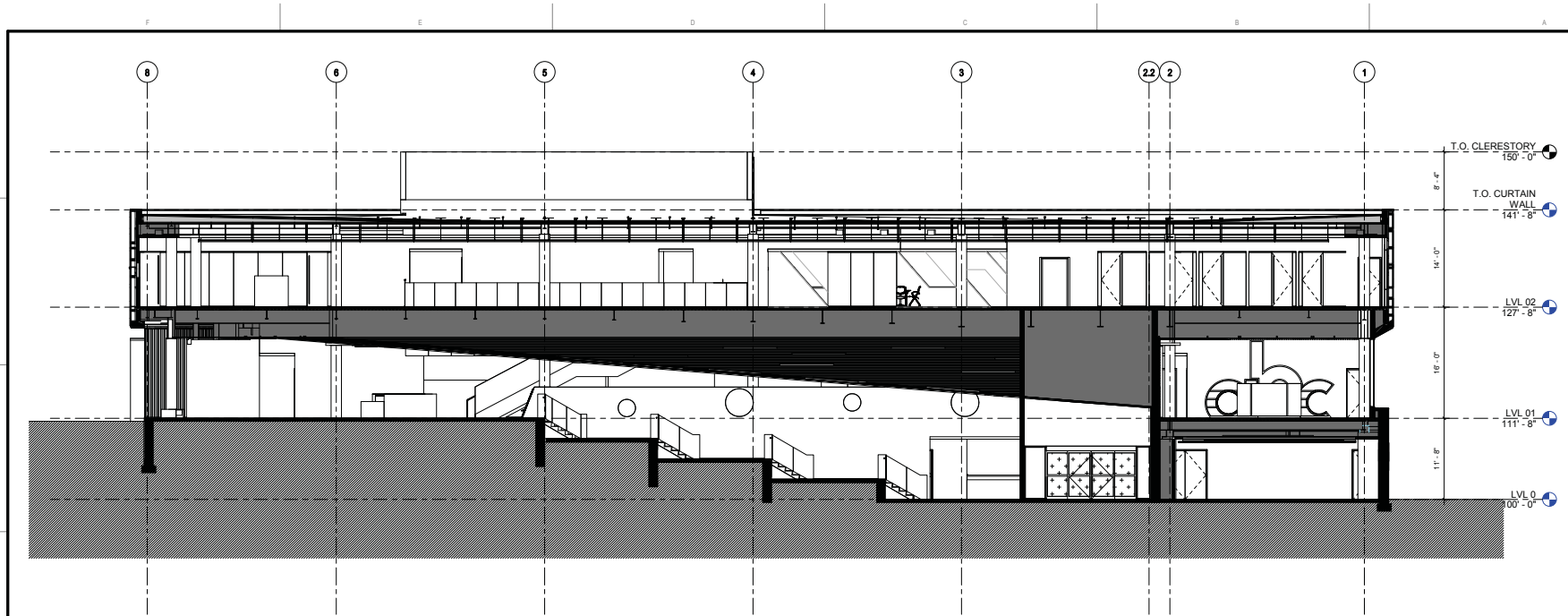
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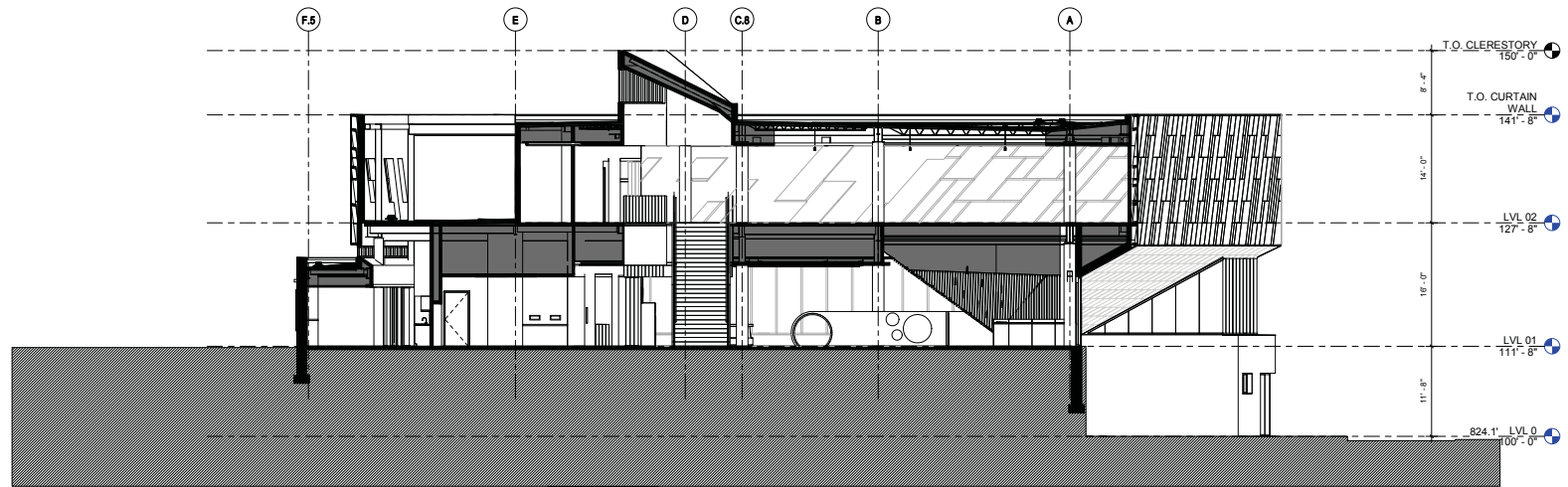
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**LOADING DOCK
DETAILS**

DWG:
FSP-210

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1 NORTH/SOUTH THRU PLATFORM
SCALE: 1/8" = 1'-0"



2 EAST/WEST BUILDING SECTION
SCALE: 1/8" = 1'-0"

nbbj

250 S. SOUTH HIGH STREET,
SUITE 300 COLUMBUS, OH 43215
PHONE 614 224 7145
FAX 614 224 0218

Turner

CONSTRUCTION MANAGER:

262 HANOVER ST.
COLUMBUS, OH 43215

KORDA

MECHANICAL, ELECTRICAL &
STRUCTURAL ENGINEER:

KORDA
1655 WATERMARK DR.
COLUMBUS, OH 43215

EMHT

CIVIL ENGINEER:

EMHT
5500 NEW ALBANY RD. W.
NEW ALBANY, OH 43054

Dynamix

PLUMBING & FIRE PROTECTION:

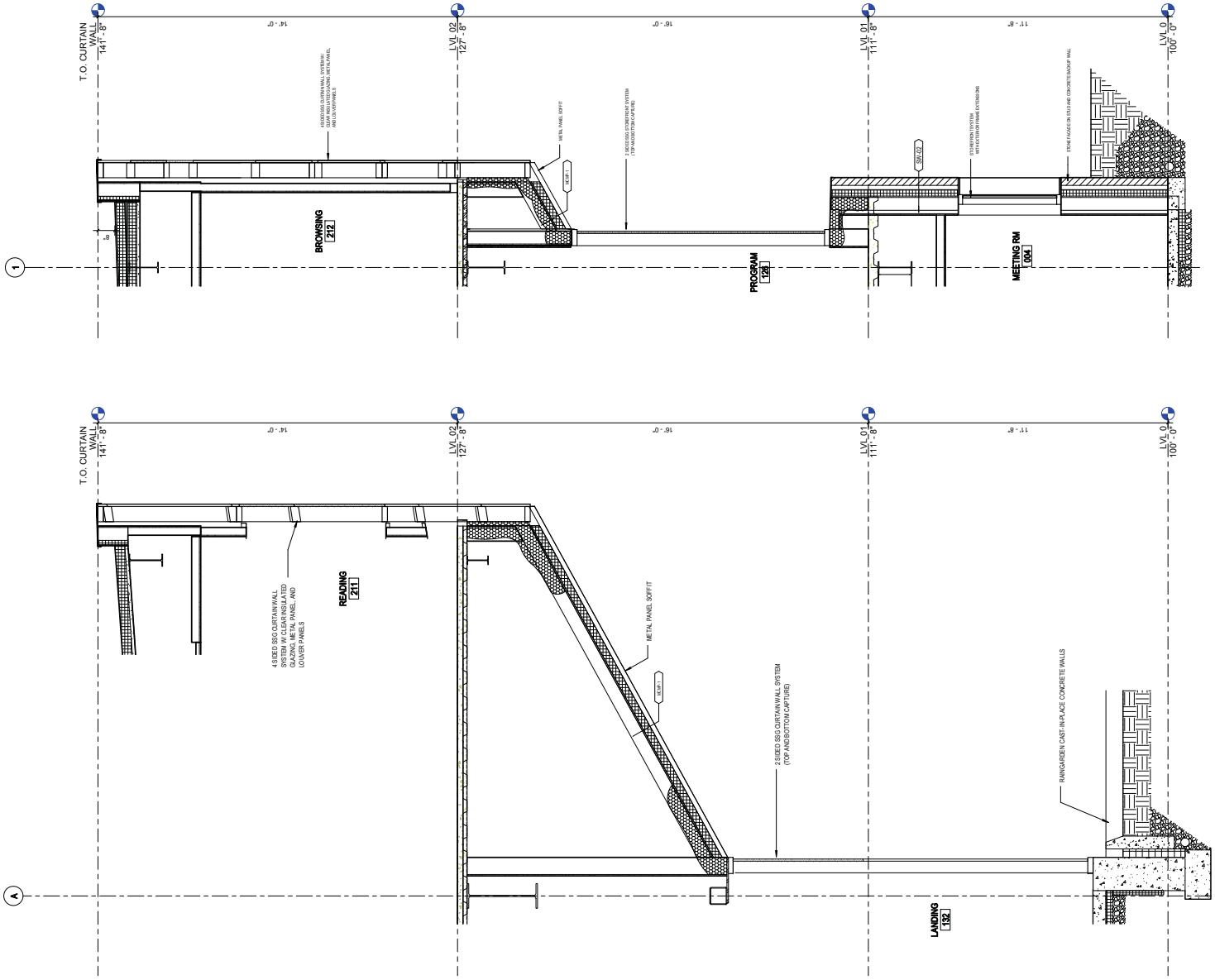
DYNAMIX ENGINEERING LTD.
855 GRANDVIEW AVE.
3RD FL COLUMBUS, OH
43215

100% DESIGN
DEVELOPMENT

CML - DUBLIN BRANCH
75 N HIGH STREET
DUBLIN, OH 43017

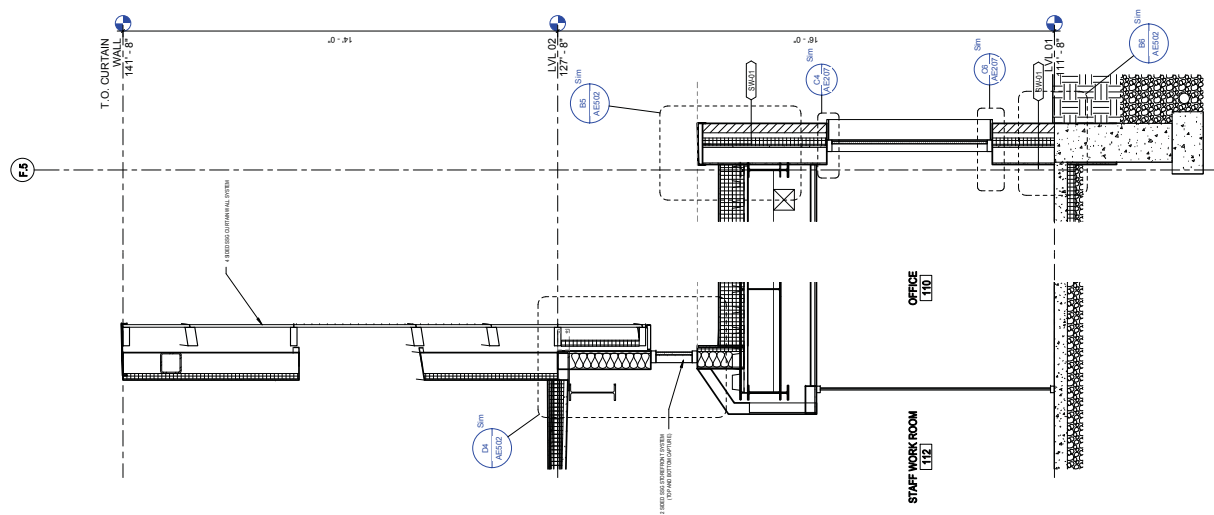
8/10/17

MARK DATE DESCRIPTION



1 SECTION @ LANDING
SCALE: 1/2" = 1'-0"

FSP-400



1 SECTION @ STAFF AREA/MECHANICAL WELL
SCALE: 1/2" = 1'-0"

nbbj
250 S. SOUTH HIGH STREET,
SUITE 300 COLUMBUS, OH 43215
PHONE 614 224 7145
FAX 614 224 0218

Turner
CONSTRUCTION MANAGER:

262 HANOVER ST.
COLUMBUS, OH 43215

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EMH&T
5500 NEW ALBANY RD W.
NEW ALBANY, OH 43054

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PLUMBING & FIRE PROTECTION:
DYNAMIX ENGINEERING LTD.

855 GRANDVIEW AVE.
3RD FL COLUMBUS, OH
43215

100% DESIGN
DEVELOPMENT

CML - DUBLIN BRANCH
75 N HIGH STREET
DUBLIN, OH 43017

8/10/17

MARK	DATE	DESCRIPTION

DRAWN BY:	PROJ. ARCH:
Author	Designer

PROJ. NO.: 101253.03

DATE: 08/15/17

DWG:
WALL SECTIONS

DWG:
FSP-401



RENDERING OF NORTHEAST CORNER AT ROCK CRESS AND HIGH (STREET TREES HAVE BEEN OMITTED)



RENDERING OF NORTHEAST CORNER AT ROCK CRESS AND HIGH



RENDERING OF SOUTH EAST CORNER AT NORTH AND HIGH (STREET TREES HAVE BEEN OMITTED)



RENDERING OF SOUTH EAST CORNER AT NORTH AND HIGH

NBBJ | COLUMBUS METROPOLITAN LIBRARY - DUBLIN BRANCH

SITE PLAN SUBMITTAL AUGUST 17, 2017



RENDERING OF ENTRY AT GARAGE AND PLAZA (SOUTHWEST CORNER)





















Butterfly Weed



Moudry Fountain Grass



Red Coneflower



Big Bluestem



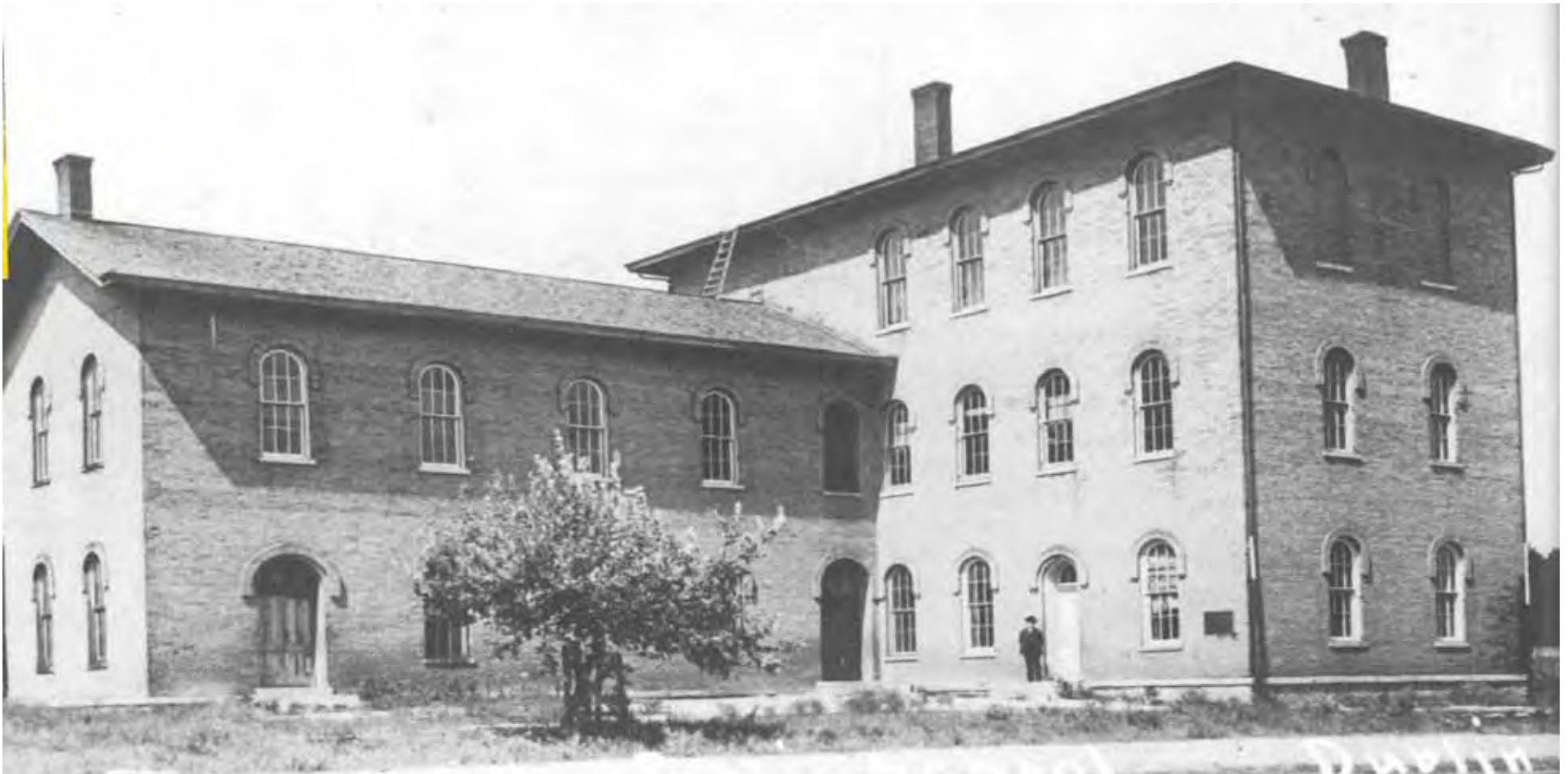
Threadleaf Blue Star



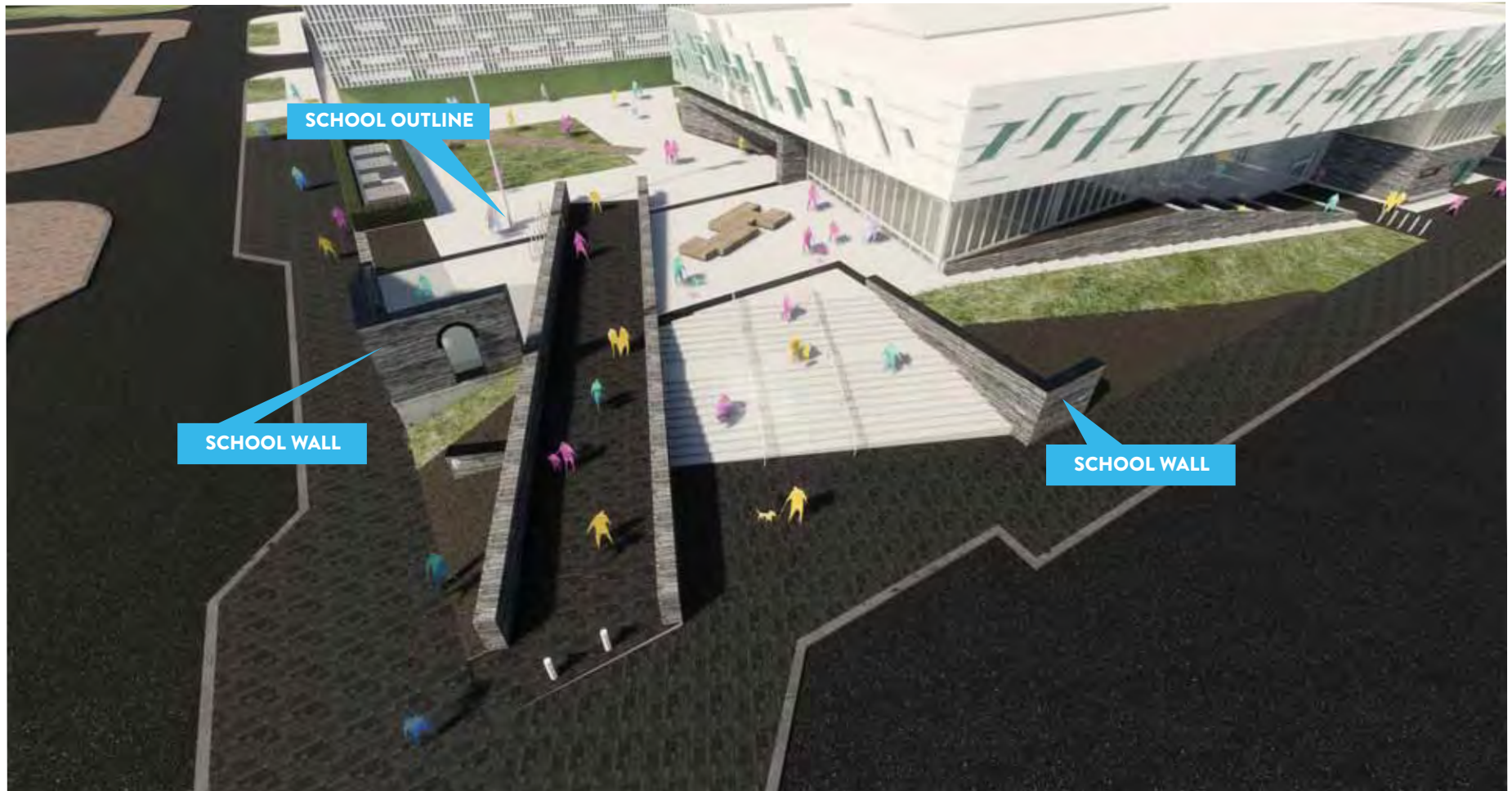


Of all exploration considered, recalling the school that once sat on the site represents an authentic physical connection to Dublin's historic context, recalls a lineage of learning on the site through time and interactively tells the story of a community where yesterday meets tomorrow.





SIGNATURE TRANSITIONAL ELEMENT



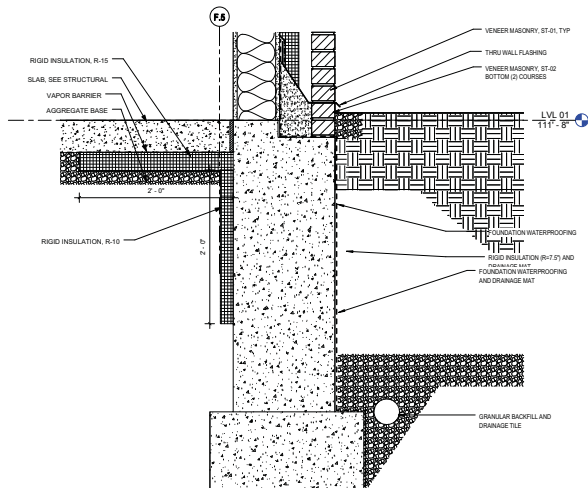
SIGNATURE TRANSITIONAL ELEMENT





STONE FACADE

- LOCATED ON LEVEL 00 AND LEVEL 01
- ARRISCRAFT - URBAN LEDGESTONE - DUSK (BASIS OF DESIGN) AS WALL MATERIAL WITH BASE COURSES OF NATURAL LIMESTONE
- ARRISCRAFT URBAN LEDGESTONE IS A CALCIUM SILICATE MASONRY UNIT - MAN MADE STONE WITH NATURAL INGREDIENTS CONSISTING OF: 93% SAND, 7% LIME, & FORMED W/ 1,000 TONS OF PRESSURE
- THE MANUFACTURER PROVIDES A LIFETIME WARRANTY
- LOW ABSORPTION RATE @ 8%-10%
- PRODUCT IS CURRENTLY INSTALLED ON MANY BUILDINGS IN DUBLIN, OH



BASE LIMESTONE COURSE



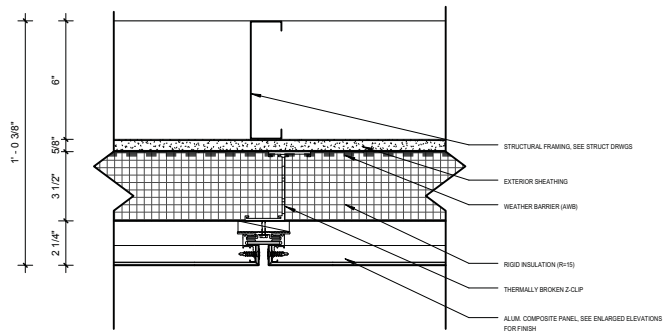
-
- The image contains two technical cross-section drawings of a window assembly, labeled (a) and (b).
- Drawing (a) - Sill Section:** This drawing shows the window sill assembly. On the left, a 'STEEL TUBE SEE STRUCTURAL' is shown. The main assembly consists of a 'CUSTOM MULLION CAP WITH EXTENSION' (7.316) and a 'THERMALLY BROKEN STOREFRONT SYSTEM'. The assembly is surrounded by 'RIGID INSULATION' and 'AIR/CVP SHEATHING'. A 'Cavity Drainage MTL' is shown with 'FLASING WITH LAP SEAL' and 'LAPL. SEE STRUCTURAL' at the joints. 'MINERAL WOOL' is also indicated. A 'STEEL PLATE SEE STRUCTURAL' is shown with 'SEALANT'.
- Drawing (b) - Jamb Section:** This drawing shows the window jamb assembly. It features a 'THERMALLY BROKEN STOREFRONT SYSTEM' and a 'THERMALLY BROKEN SILL AND BACKER ROD'. The assembly includes 'THIN WALL FLASHING WITH END FLANGE' and a 'CUSTOM MULLION CAP WITH EXTENSION'. A 'ALUM. SILL' is shown with a 'BOTTOM EDGE OF JAMB PROFILE' (7.316). The assembly is surrounded by 'RIGID INSULATION' and 'AIR/CVP SHEATHING'. A 'STEEL PLATE SEE STRUCTURAL' is shown with 'SEALANT'.

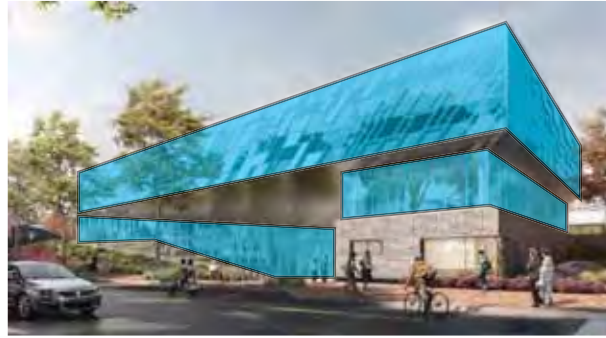




METAL PANEL @ SOFFIT

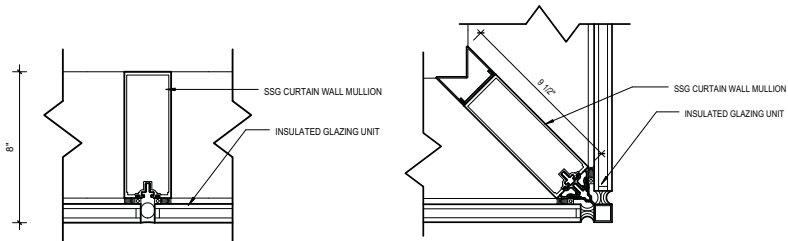
- ALUMINUM COMPOSITE MATERIAL RAINSCREEN - NATURAL BRUSHED 50 (BASIS OF DESIGN)
- COMPOSED OF TWO SHEETS OF SMOOTH .02" ALUMINUM THERMOBONDED TO A POLYETHYLENE CORE IN A CONTINUOUS PROCESS, SHEETS ARE MADE INTO PANELS THAT ARE MOUNTED TO A WATERPROOF EXTERIOR WALL
- EXTRAORDINARY FLATNESS & RIGIDITY, EXCELLENT FORMABILITY, LOW WEIGHT AND OUTSTANDING WEATHER RESISTENCE
- NATURAL, BRUSHED FINISH THAT SCATTERS COLOR AT CLOSE DISTANCES, BUT RETAINS SMOOTH ALUMINUM LOOK FROM AFAR





GLASS @ STOREFRONT & CURTAIN WALL (LEVEL 01 & 02)

- VIRACON - VE1-2M (BASIS OF DESIGN), VERY CLEAR INSULATED GLASS WITH LOW REFLECTIVITY
- 1/4" VE1-2M #2, 1/2" ARGON GAS FILLED AIRSPACE, 1/4" CLEAR
- TRANSMITTANCE: 70% VISIBLE LIGHT, 32% SOLAR ENERGY, 10% ULTRA-VIOLET
- REFLECTANCE: 11% VISIBLE LIGHT-EXTERIOR, 12% VISIBLE LIGHT-INTERIOR, 31% SOLAR ENERGY

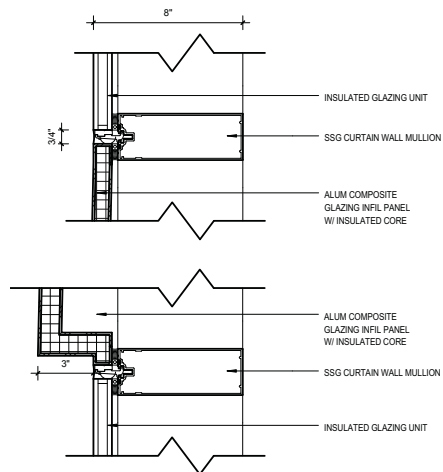


SAME GLASS SPEC USED @ CML NORTHSIDE LIBRARY



OPAQUE PANELS @ LEVEL 02 CURTAIN WALL

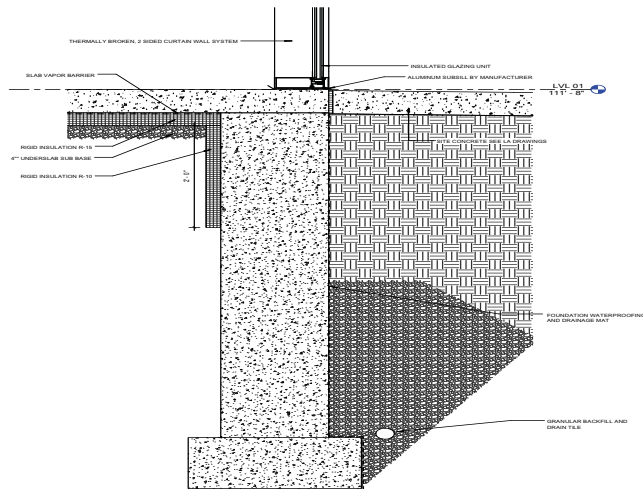
- ALUMINUM COMPOSITE MATERIAL - WHITE SILVER 884 (BASIS OF DESIGN)
- COMPOSED OF TWO SHEETS OF SMOOTH .02" ALUMINUM THERMOBONDED TO A POLYETHYLENE CORE IN A CONTINUOUS PROCESS, SHEETS ARE MADE INTO PANELS THAT ARE MOUNTED TO A WATERPROOF EXTERIOR WALL
- EXTRAORDINARY FLATNESS & RIGIDITY, EXCELLENT FORMABILITY, LOW WEIGHT AND OUTSTANDING WEATHER RESISTENCE
- WHITE COLOR W/ SPARKLE ACCENTS





CAST-IN-PLACE CONCRETE

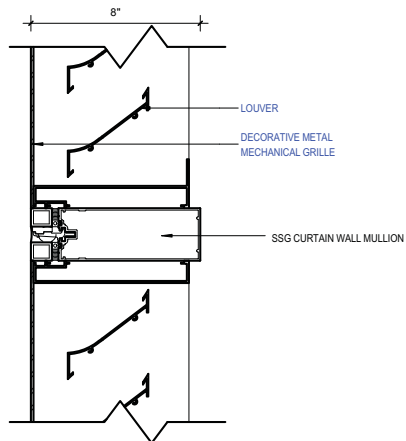
- LOCATED ALONG EAST FACADE @ RAIN GARDEN AND STAIR

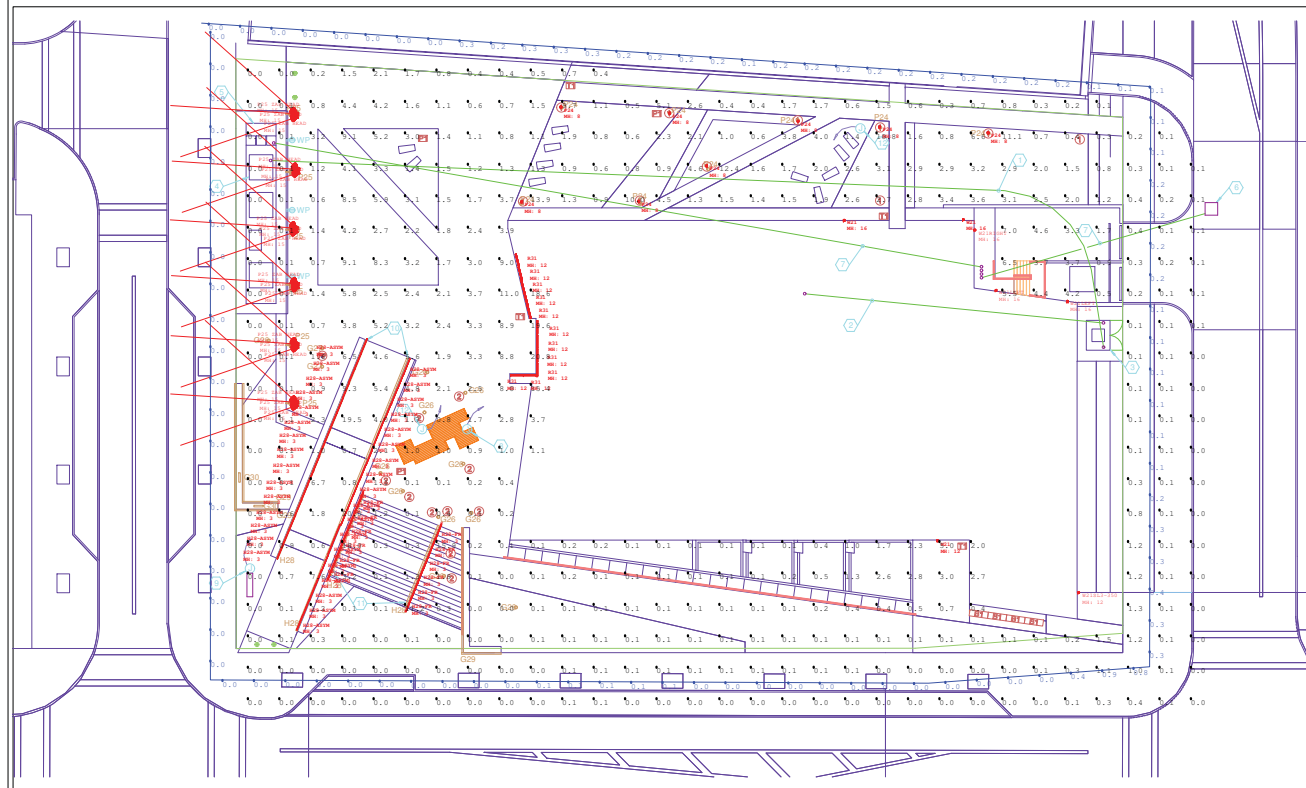




LOUVERS @ LEVEL 02 MECHANICAL WELL

- STRUCTURALLY GLAZED INTO LEVEL 02 CURTAIN WALL TO INCREASE MECHANICAL EQUIPMENT EFFICIENCY
- 6063-T6 ALLOY LOUVER W/ 3003 H14 PERFORATED ALUMINUM SHEET - C/S PERFORM LOUVER MODEL PL-4080 (BASIS OF DESIGN)
- PERFORATED ALUMINUM SHEET TO BE POWDERCOATED TO MATCH WHITE SILVER 884 ACM IN LEVEL 02 CURTAIN WALL





Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Description	Sum. Watts	Sum. Lumens
	33	H28-ASYM	SINGLE	0.900	COLE #1R6-CP1-LED-CLR-ASYM-48	9.28	321
	12	H28-FR	SINGLE	0.900	COLE #1R6-CP1-LED-FROSTED-48	9.28	456
	3	W21	SINGLE	0.900	MCGRAN #1ST-AF-600-LED-E1-SL2	33.7	3953
	8	R24	SINGLE	0.900	LIGMAN #AB-21012-W40	28.2	1827
	11	R31	SINGLE	0.900	BIRCHWOOD #2AR-LED-225-TR-RLO-4	36	2238
	18	F25 BAR HEAD	SINGLE	0.900	LIGMAN #EA-50011-W-W40	39.3	3681
	2	W21LEFT	SINGLE	0.900	MCGRAN #1ST-AF-600-LED-E1-SLL	33.7	3529
	1	W21RIGHT	SINGLE	0.900	MCGRAN #1ST-AF-600-LED-E1-SLR	33.7	3529
	1	W2123-350	SINGLE	0.900	MCGRAN #1ST-AF-350-LED-E1-SL3	20.09	2365

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PROP LINE +10FT	Illuminance	Fc	0.31	0.9	0.0	N.A.	N.A.
SITE	Illuminance	Fc	3.72	20.8	0.0	N.A.	N.A.

NOTES:
1. ALL CALC POINTS AT GRADE.
2. FIXTURE MTG HTS NOTED WITH LABEL.
3. PLAN VIEW SCALE AT 24X30: 1"=16'.

COLUMBUS METRO LIBRARY DUBLIN LED SITE LIGHTING ANALYSIS REV1

Prepared by:



SPECTRUM LIGHTING
700 TAYLOR AVE.
COLUMBUS, OH 43219
www.spectrumohio.com

nbbj

250 S. SOUTH HIGH STREET,
SUITE 300 COLUMBUS, OH 43215
PHONE 614 224 7145
FAX 614 224 0218

Turner
CONSTRUCTION MANAGER:

262 HANOVER ST.
COLUMBUS, OH 43215

KORDA
MECHANICAL, ELECTRICAL &
STRUCTURAL ENGINEER:

1650 WATERMARK DR.
COLUMBUS, OH 43215

EMHT

CIVIL ENGINEER:
EMHT & T

5505 NEW ALBANY RD. W.
NEW ALBANY, OH 43054

Dynamix

PLUMBING & FIRE PROTECTION:
DYNAMIX ENGINEERING LTD.
855 GRANDVIEW AVE.
3RD FL COLUMBUS, OH
43215

SITE PLAN REVIEW

CML - Dublin
75 N HIGH STREET
DUBLIN, OH 43017

8/15/2017

MARK	DATE	DESCRIPTION

DRAWN BY: **Garrett W.** PROJ ARCH: **Prairie S.**

PROJ. NO.: **Strauss 101253.0** Gallina

DATE: **08/15/17**

DWG:

ELECTRICAL SITE PLAN

DWG:

E003

KORDA
1650 WATERMARK DRIVE
SUITE 200
COLUMBUS, OHIO 43215
DRAWN BY:
DESIGNED BY:
CHECKED BY:
PROJECT NUMBER: 2014-0203

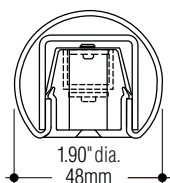
JOB NAME _____

TYPE _____

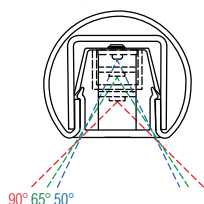
CATALOG NUMBER _____

Formed Stainless Steel

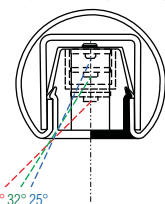
1.90"



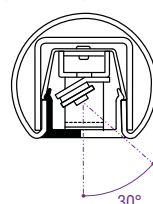
Symmetric



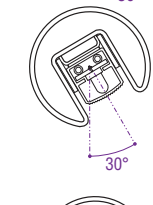
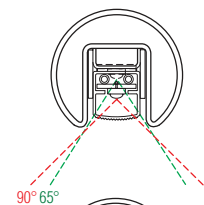
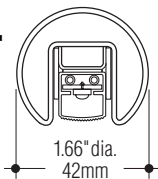
Asymmetric (-ASYM)



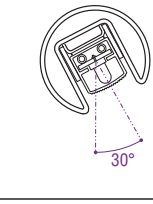
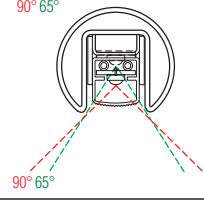
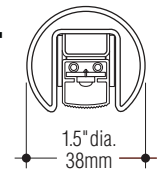
Asymmetric (-ASYM/30°)



1.66"

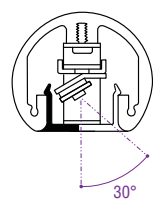
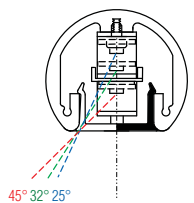
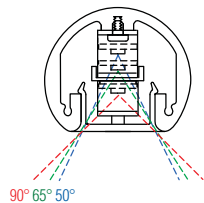
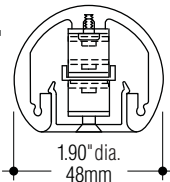


1.50"

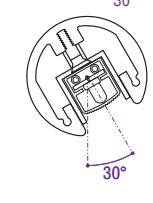
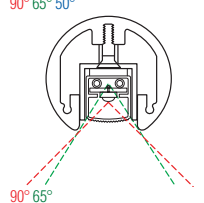
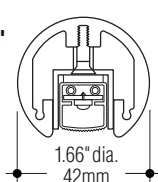


Extruded Aluminum

1.90"



1.66"



Lightrail - LR5

Construction

- Available in formed stainless steel with welded and blended joints for a seamless appearance or extruded aluminum
- A high impact extruded acrylic lens snaps into place and is further retained by fasteners at each end
- The flat lens design minimizes visible brightness at sides and is available in clear or frosted
- Each rail is tailored to fit existing stairs, ramps, and walkways
- Aluminum rails supplied with a powder coat or anodized finish
- Stainless steel rails supplied with a #4 satin finish, passivated

Electrical

- LED modules are 24 VDC constant voltage at 2.5 watts and 205 lumens per foot. Available in 3000°K or 4000°K color temperatures. Beam spreads in 50°, 65°, and 90° patterns
- LEDs are configured to allow uninterrupted illumination
- Electrical feed locations are pre-determined at time of submittal
- Universal voltage LED drivers may be integral in the posts or railing (120V only), or may be remote if required
- Dimmable drivers are available upon request

How to Specify

Every Lightrail is custom designed and fabricated to your specific project conditions. Drawings will be submitted on each project requesting specific dimensions to assure proper fit. Plans and elevation drawings are required for pricing and submittal drawing production.

1. Submit catalog number, options, and voltage; (example: LR5P-LED-SS/1.9-INT-RE-277).
2. Add special features and requirements necessary to complete specification.

Catalog Number	Stainless Steel (-SS)	Aluminum (-AL)
Post mounted, integral driver	<input type="checkbox"/> LR5P-LED-SS/*-INT	<input type="checkbox"/> LR5P-LED-AL/*-INT
Post mounted, remote driver	<input type="checkbox"/> LR5P-LED-SS/*-REM	<input type="checkbox"/> LR5P-LED-AL/*-REM
Wall mounted, integral driver**	<input type="checkbox"/> LR5W-LED-SS/1.9-INT	<input type="checkbox"/> LR5W-LED-AL/1.9-INT
Wall mounted, remote driver	<input type="checkbox"/> LR5W-LED-SS/*-REM	<input type="checkbox"/> LR5W-LED-AL/*-REM

* Insert choice of rail diameter after slash, 1.9", 1.66" or 1.5"

** Limited driver capacity allows for only 1.9" rail choice.

Options

Ends: Add suffix. Radius ☐ -RE. Loop ☐ -LE.

Miter ☐ -ME. Stub ☐ -SE.

Baseplate: 5" x 5" x 3/8" (Aluminum)

5" x 5" x 3/16" (Stainless Steel) baseplate with four 5/8" holes. Add suffix ☐ -BP.

Escutcheon: Add suffix ☐ -ES.

Frosted lens: (clear diffuser std.). Add suffix ☐ -FL.

Curved rail: Consult with factory.

Add suffix ☐ -CRV.

Emergency battery: Provides up to 90 min. operation for both LED and fluorescent models (remote only). Add suffix ☐ -EM.

Asymmetric distribution: One side blocked (not available on Prolume models). Add suffix ☐ -ASYM. 30° tilt. Add suffix ☐ -ASYM/30°

4000°K Color temperature: (3000°K std.).

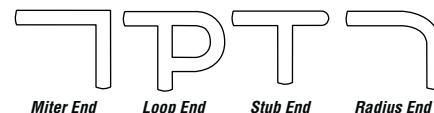
Add suffix ☐ -4K.

Beam spread: (90° std.). 65°, Add suffix ☐ -65. 50°, Add suffix ☐ -50. (1.9" rails only)

Dimming: Universal voltage 0-10V driver. Add suffix ☐ -DIM.

Color: FWC Turtle compliant, 590 nm, Amber. Add suffix ☐ -AMB.

End Treatments



COLE
Lighting

www.colelighting.com

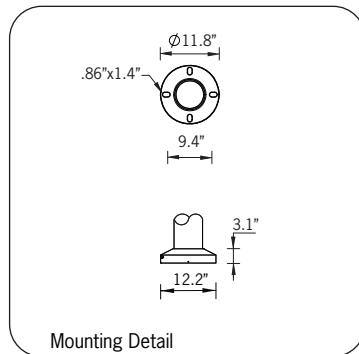
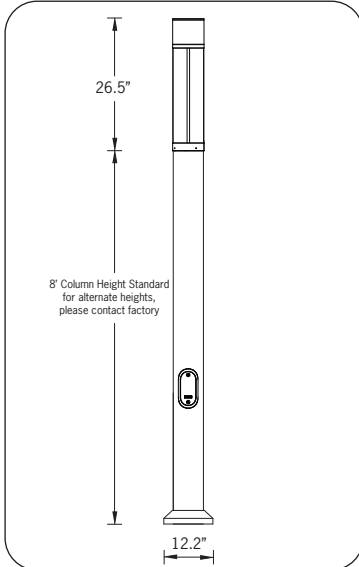
C.W. Cole & Company, Inc.
2560 N. Rosemead Blvd.
South El Monte, CA
91733-1593

T: (626) 443-2473
F: (626) 443-9253



IP55 • Suitable For Wet Locations

IK08 • Impact Resistant



Complementing the Arizona family of outdoor floodlight columns and wall mounted sconces, is the Arizona 1. The Arizona 1 is a 6" diameter column and incorporates precision optics that provides a type V distribution housed within a ultra high impact clear acrylic lens. This modern aesthetic design can be specified with different wattages if necessary to provide the perfect lighting solution and can be used to light areas, such as campuses, parks, recreational areas and public spaces.

This luminaire is provided with an integral driver housed within a waterproof electrical compartment secured inside the pole. The luminaire is pre-wired with power cord to the handhole to simplify installation. The Arizona is available with two different LED packages, namely COB (See UAR-20973) which is available with a very wide type V distribution and the HP LED version (see UAR-20974) for Type II, III & IV light distributions. Color temperature 2700K, 3000K and 4000K, LED CRI >80 and life time 50,000 Hours.

Reduced wattages can be provided to provide Title 24 compliance.

For non standard fixture variations, as well as specific perforated reflector requirements and decorative house side shields, please contact the factory.

This product is provided complete with anchor bolts and laser cut steel bolt template.

For alternate root mount installation, please specify.

Aluminum Casting

Less than 0.1% copper content – Marine Grade LM6 Aluminum High Pressure die casting provides excellent mechanical strength , clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket.

Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management.

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard 10kv surge suppresor provided with all fixtures.

Finishing.

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint.

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C.

This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware.

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

High Impact Acrylic Lens.

Manufactured with Ultra High Impact, Naturally UV Stabilized Injection Molded Acrylic.

Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life

L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Standard Options

Lamp

28w LED 1826lm

LED Color

W27 • 2700K
W30 • 3000K
W40 • 4000K

Finish Color

01 - Black - RAL 9011
02 - Dark Grey - RAL 7043
03 - White - RAL 9003
04 - Metallic Silver - RAL 9006
05 - Matte Silver - RAL 9006
06 - Bronze - RAL 6014
07 - Custom RAL



Options (Consult Factory for Pricing)

HGT • Custom Height (Specify)



A20691 - Root Mount Kit

Ordering Example : UAR - 21012 - 28w - W30 - 02 - 120/277v - Options

	Lamp	LED Color	Color	Voltage	Options
UAR	21012	28w LED			
		W27 2700K W30 3000K W40 4000K	01 Black 02 Dark Grey 03 White 04 Metallic Silver 05 Matte Silver 06 Bronze 07 Custom RAL	120/277v Other (Specify)	A20691 Root Mount Kit HGT Custom Height

PROJECT: DATE: QUANTITY:

TYPE: NOTE:

Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.

Head Office:

7144 NW Progress Ct
Hillsboro, Oregon 97124

Tel: 503-645-0500

Fax: 503-645-8100

www.ligmanlightingusa.com



Intertek



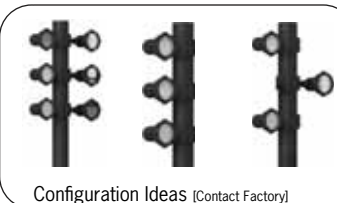
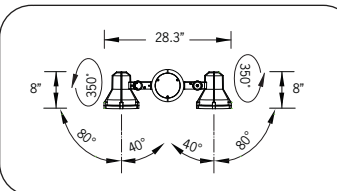
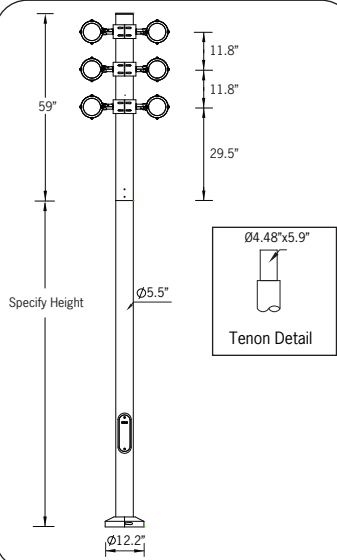
UMI-21051

Mic 3 Cluster



IP65 • Suitable For Wet Locations

IK08 • Impact Resistant



Configuration Ideas [Contact Factory]

A Decorative Event Column using a variety of LED floodlight wattages and beam spreads with a selection of accessories.

Ideal for precise lighting of facades, sculptures, signage and architectural details. The floodlights can be aimed in different directions to highlight specific features or elements in the environment, as well as provide security when illuminating dark areas on campuses and parks. This luminaire is configurable and allows the customer to specify Mic luminaires that vary in wattages from 20w, 30w, 40w & 50w luminaires to be mounted on the pole, as well as a variety of beam spreads to suit specific requirements. These fixtures can be individually wired and controlled.

These luminaires are available with a selection of optional attachments that include; anti-glare visors, anti-glare hoods, hexcell louvres, concentric ring louvre and linear spread lenses. To add color to the lighting design, we are also able to provide dichroic lenses.

As a standard product this is offered in a 6 fixture configuration, however the fixture quantities, positions, watts & beam spread can be manufactured to suit designer's specifications. Please contact the factory for your specific floodlight requirements.

The Mic Cluster adds to Ligman's comprehensive range of event pole cluster luminaires with different floodlight shapes, styles and wattages. [see Ligman website for other floodlight options including RGBW]

Extruded aluminum or painted galvanized steel column manufactured to customer height requirements provided with anchor bolts and aluminum bolt cover. The Mic Floodlights are fully rotational and adjustable with a secure locking mechanism. **For 40 & 50w option, see UMI-21052**

Aluminum Casting

Less than 0.1% copper content – Marine Grade LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket.

Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management.

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint.

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C.

This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware.

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens.

Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life

L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Standard Options

Lamp

6x20w LED
6x1478w Lumens
6x30w LED
6x2289w Lumens

Beam

N • Narrow 13°
M • Medium 26°
W • Wide 41°

LED Color

W27 • 2700K
W30 • 3000K
W40 • 4000K

Finish Color

01 - Black - RAL 9011
02 - Dark Grey - RAL 7043
03 - White - RAL 9003
04 - Metallic Silver - RAL 9006
05 - Matte Silver - RAL 9006
06 - Bronze - RAL 6014
07 - Custom RAL



Lens

C • Clear
F • Frosted

Options (Consult Factory for Pricing)



AGV -
Anti-Glare Visor



AGH -
Anti-Glare Hood

GFCI • GFCI Box

HEX • Hexcell Louvre
CRL • Concentric Ring LVR
LSL • Linear Spread Lens
DIM • 0-10v Dimming

Color Dichroic Filters

RD • Red Lens
BL • Blue Lens
AM • Amber Lens
GR • Green Lens
Specify Other Color _____

Ordering Example : UMI - 21051 - 6x30w - N - W30 - 02 - 120/277v - Options

UMI	21051	Lamp	Beam	LED Color	Color	Voltage	Options
		20 6x20w LED 30 6x30w LED	N Narrow M Medium W Wide	W27 2700K W30 3000K W40 4000K	01 Black 02 Dark Grey 03 White 04 Metallic Silver 05 Matte Silver 06 Bronze 07 Custom RAL	120/277v Other (Specify)	AGV Anti-Glare Visor AGH Anti-Glare Hood CRL Concentric Ring Louvre GFCI GFCI Box HEX Hexcell Louvre DIM 0-10v Dimming LSL Linear Spread Lens RD Red Lens BL Blue Lens AM Amber Lens GR Green Lens Specify Color

PROJECT: _____

DATE: _____

QUANTITY: _____

TYPE: _____

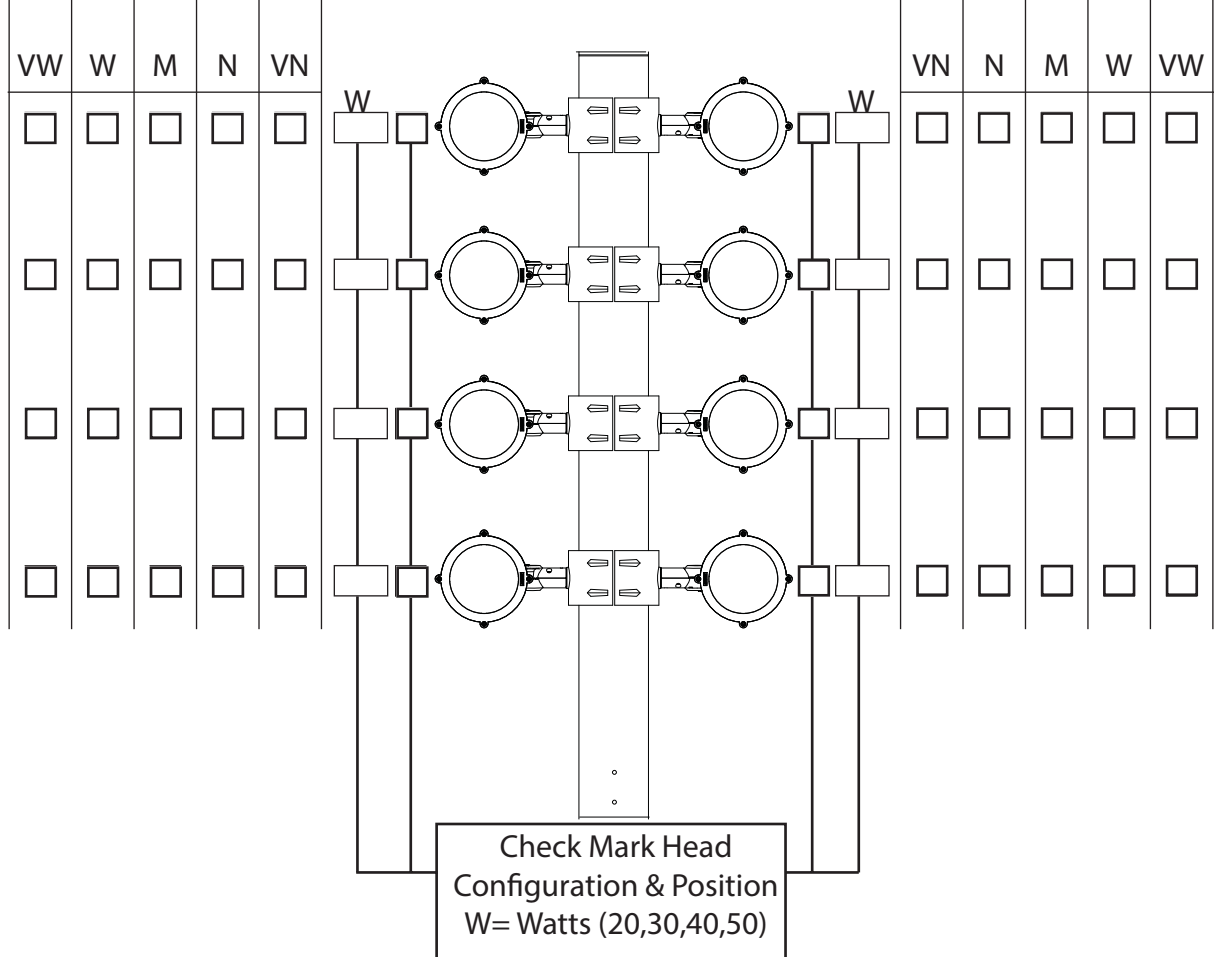
NOTE: _____

Head Office:
7144 NW Progress Ct
Hillsboro, Oregon 97124

Tel: 503-645-0500
Fax: 503-645-8100

www.ligmanlightingusa.com





Beam Spreads

VN • Very Narrow

N • Narrow

M • Medium

W • Wide

VW • Very Wide

Accessories

Specify Under Options

V • Visor

AGH • Anti-Glare Hood

HEX • Hexcell Louvre

CRL • Concentric Ring Louvre

LSL • Linear Spread Lens



Stacked



Straight



Staggered

Configuration Ideas [See Page 2 to Specify]



Mic Pole Options

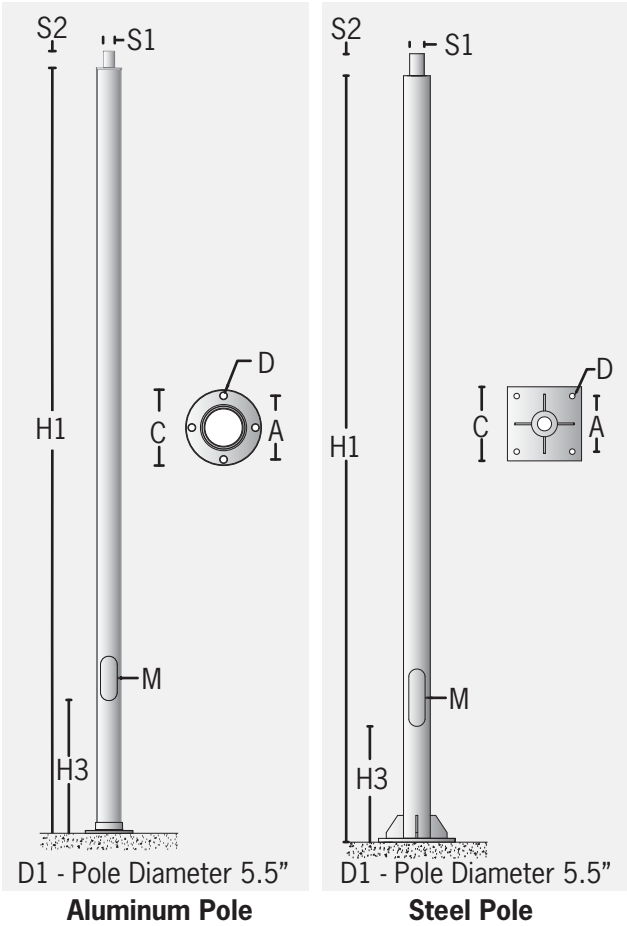
Model No.	Aluminum Pole						Base			Thickness	Weight
	H1	H3	S1	S2	D1	M	A	C	D		
APD-RSA-5510-14-.098	14'	23.6"	4.4"	5.9"	5.5"	3.3"x11.8"	10"	11.8"	.86"x1.5"	.098"	30.8 lb
APD-RSA-5510-16-.098	16'	23.6"	4.4"	5.9"	5.5"	3.3"x11.8"	10"	11.8"	.86"x1.5"	.098"	37.3 lb

Model No.	Steel Pole								Base			Thickness	Weight
	H1	H2	H3	S1	S2	D1	D2	M	A	C	D		
SPD-RSS-5512-20-5.5-.125	20'	5.5'	23.6"	4.4"	5.9"	5.5"	—	3.34"x11.8"	11.8"	15.7"	1.18"	.125"	195.2 lb
SPD-RSS-5512-23-5.5-.125	23'	5.5'	23.6"	4.4"	5.9"	5.5"	—	3.34"x11.8"	11.8"	15.7"	1.18"	.125"	207.2 lb
SPD-RSS-5512-26-5.5-.125	26'	5.5'	23.6"	4.4"	5.9"	5.5"	—	3.34"x11.8"	11.8"	15.7"	1.18"	.125"	224.8 lb

Poles are provided with laser cut steel anchor bolt template, anchor bolts and anchor covers.

NOTE: The Mic Pole Cluster is a flexible system that can be comprised of various fixture head configurations, as well as beam distributions and attachments.

Pole heights are also variable and therefore Ligman welcomes custom heights and configurations to suit the customer specifications. Please contact the factory for more details.



Pole base dimensions are for reference only and should not be used for construction. Contact the factory for accurate anchor bolt template and dimensions.

Ordering

Example - Aluminum - 12' - 01 - GFCI - SBA

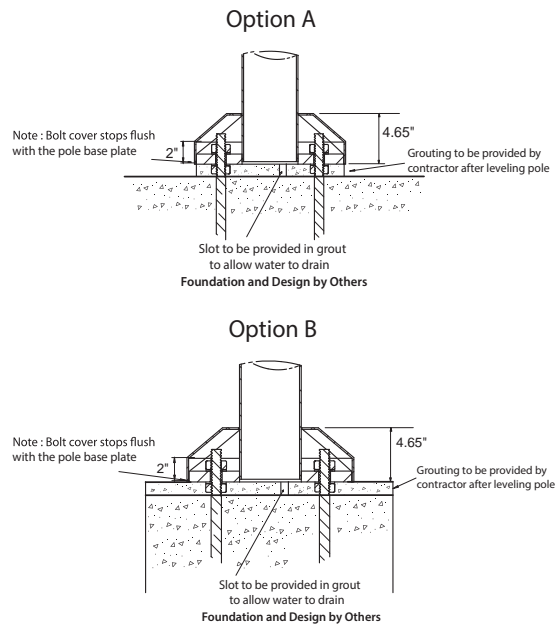
Aluminum
Steel

Pole Height

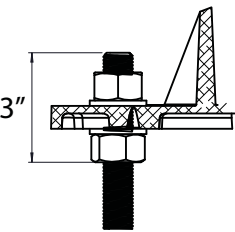
Finish Color
01 - Black - RAL 9011
02 - Dark Grey - RAL 7043
03 - White - RAL 9003
04 - Metallic Silver - RAL 9006
05 - Matte Silver - RAL 9006
06 - Bronze - RAL 6014
07 - Custom RAL

Options
GFCI - GFCI Receptacle
SBA - Single Banner Arm
DBA - Double Banner Arm

Pole Mount Install Notes



Bolt Projection



JAKE LED

1.65" 2.25" 3.25" 5.00"

Trim/Trimless

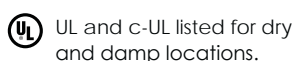
Recessed Linear LED Fixture



JAKE LED is a recessed linear luminaire comprised of various apertures, LED light source options and accessory options. JAKE LED 1.65", 2.25", 3.25" and 5.00" can be installed in gypsum ceilings or walls with either a 3/4" Trim (TR) or Trimless (TL) mud-over flange. T-grid models for drop ceilings are also available.

Offering various installations from wall to ceiling, or along the wall, JAKE LED qualifies as one of our most versatile fixtures yet. Optional 90° mitered angles allow the creation of endless transverse runs: Inside Corner wall to ceiling (IC90), Outside Corner (OC90), or Face surface (F90). JAKE LED accessory options are designed to fit your most sophisticated lighting applications via lenses, louvers, and distinctive finishes.

JAKE LED Light Engines and dimmable driver components which combined together provide optimal LED lighting system capabilities.



Made in the USA

FIXTURE SPECIFICATIONS

Construction

Fixture body is constructed of heavy gauge extruded aluminum. Fixtures are available in nominal lengths of 2, 3, 4, 6 and 8 feet, and continuous run lengths. Lenses are extruded acrylic.

Mounting

Recessed linear fixture for drywall or wood ceiling installations, or for mounting on the wall on a vertical plane. Available as continuous run mount. See installation information for specific details regarding installation guidelines. Various mounting clips provided for ease of installation.

LED Light Engine System

LED Light Engines are available as HLO (High Lumen Output) and SLO (Standard Lumen Output) providing efficient illumination. CLO (Custom Lumen Output) allows for end user specified lumen output or tailored wattage consumption for certain models. Consult factory for details.

Dimming

Dimming is available with a variety of control protocols and options. Consult factory for availability and specifications.

Finishes

Trim (TR) is standard Satin Clear (SC) anodized. Custom powder coat finishes available - consult factory.

Options

(FBLSS) Flat Blade Louver Semi-Specular. 90° corner angles for transverse-run applications: from wall to ceiling Inside Corner (IC90), Outside Corner (OC90), and Face surface (F90).

Custom and Mods

We proudly specialize in manufacturing custom and modified luminaires and have the ability to modify most of our standard fixtures. Please contact factory with any inquiries.

Type:

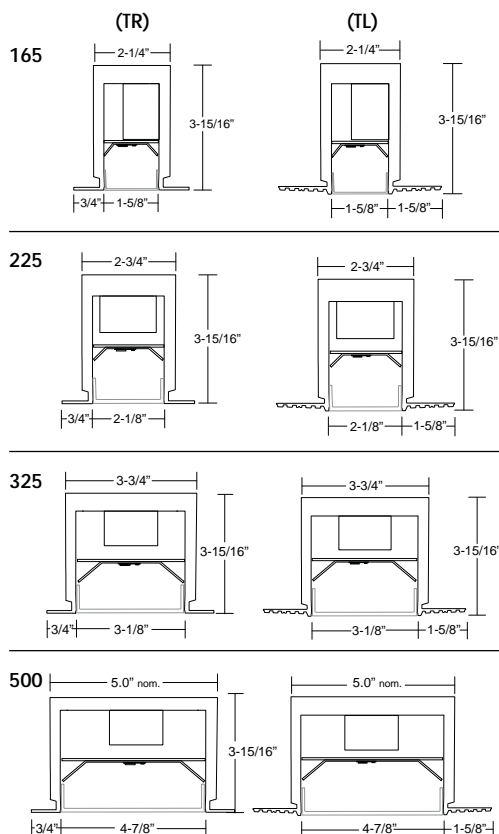
Job Name:

Recessed Linear LED Fixture

SPECIFICATION CODE

model	trim style	light engine	color temp	length	lens	voltage	driver	option	option
Model	Trim Style ²	Light Engine	Color Temp	Nominal Length	Lens	Voltage	Driver	Options	
JAK-LED-165 - 1.65" aperture	TR - 3/4" flanged trim	SLO - Standard Lumen Output	27 - 2700K 30 - 3000K 35 - 3500K 40 - 4000K	2 - 2' 3 - 3' 4 - 4'	FW - Frosted White	120 277 347 ⁸	EB - Electronic Dimming	EM ⁷ - Emergency battery pack	
JAK-LED-225 - 2.25" aperture	TL - Trimless Mud-over flange	HLO - High Lumen Output		6 - 6' 8 - 8'	FBLS ³ - Flat Blade Louver Semi-Specular		D1 - 1% (nom) 0-10V D10 - 10% 0-10V	CP ¹⁰ - Chicago Plenum	
JAK-LED-325 - 3.25" aperture		CLO ⁸ - Custom Lumen Output		CR ¹ - Continuous Run			HLA ² - Lutron 2 wire HLA3 - Lutron 3 wire HLH - Lutron H EcoSystem HL5 - Lutron 5 series EcoSystem DALI - DALI	Finishes ² FB - Flat Black MW - Matte White CUP - Custom powder coat	
JAK-LED-500 ⁹ - 5.00" aperture		CLO Calculator		MTR-R ⁴ - Miter Run MTR-REC ⁴ - Miter Rectangle				Mounting Options ⁵ OHMB - Overhead Mounting Bracket BF - Backer Flange HB - Hanger Bracket	

Dimensions



NOTES

- 1 specify lengths in nominal feet
- 2 TR standard is Satin Clear, T-Grid standard is Matte White, TL standard is Mill Finish. See [option sheet](#) for custom finishes
- 3 FBLS available for 225 and 325
- 4 see [miter worksheet](#) for specification (must provide detailed drawing for order)
- 5 see [instruction sheet](#) for mounting info
- 6 120V only
- 7 consult factory for EM options
- 8 available for EB, D1, D10 drivers only
- 9 JAK-LED-500 not available in 2700K color temp
- 10 compliant with CCEA Chicago Plenum code requirements

LED

165 (4000K FW lens)

SLO - 85.3 lm/watt delivered @ 2.9 w/ft fixture input watts, 248 lm/ft.
HLO - 83.8 lm/watt delivered @ 5.9 w/ft fixture input watts, 494 lm/ft.
CLO - refer to [CLO Calculator](#)
 165 LED [supplement info](#)

225 (4000K FW lens)

SLO - 68.5 lm/watt delivered @ 4.4 w/ft fixture input watts, 302 lm/ft.
HLO - 64.4 lm/watt delivered @ 9 w/ft fixture input watts, 580 lm/ft.
CLO - refer to [CLO Calculator](#)
 225 LED [supplement info](#)

325 (4000K FW lens)

SLO - 84.5 lm/watt delivered @ 4.4 w/ft fixture input watts, 372 lm/ft.
HLO - 79.4 lm/watt delivered @ 9 w/ft fixture input watts, 715 lm/ft.
CLO - refer to [CLO Calculator](#)
 325 LED [supplement info](#)

500 (4000K FW lens)

SLO - 91.3 lm/watt delivered @ 5.8 w/ft fixture input watts, 530 lm/ft.
HLO - 85.1 lm/watt delivered @ 12.1 w/ft fixture input watts, 1030 lm/ft.
CLO - refer to [CLO Calculator](#)
 500 LED [supplement info](#)

DESCRIPTION

The Impact Elite family of wall luminaires is the ideal complement to site design. Incorporating modular LightSquares technology, the Impact Elite luminaire provides outstanding uniformity and energy-conscious illumination. Combined with a rugged construction, the Impact Elite luminaire is the ideal facade and security luminaire for zones surrounding schools, office complexes, apartments and recreational facilities. UL/cUL listed for wet locations.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

Heavy-wall, die-cast aluminum housing and removable hinged door frame for precise tolerance control and repeatability. Hinged door inset for clean mating with housing surface and secured via two captive fasteners. Optional tamper-resistant Torx™ head fasteners offer vandal resistant access to the electrical chamber.

Optics

Choice of 10 patented, high-efficiency AccuLED Optics™ distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optics technology creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K, 5000K and 5700K CCT.

Electrical

LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation, greater than 0.9 power factor, less than 20% harmonic distortion, and are suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 10kV/10kA common – and differential – mode surge protection. LightSquares feature an IP66 enclosure rating and maintain greater than 90% lumen maintenance at 60,000 hours per IESNA TM-21. Emergency egress options for -20°C ambient environments and occupancy sensor available.

Mounting

Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" j-box or wall with the Impact Elite "Hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws concealed but accessible from bottom of fixture.

Finish

Cast components finished in a five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

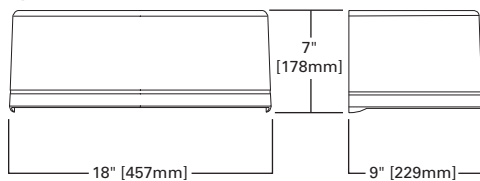
Warranty

Five-year warranty.

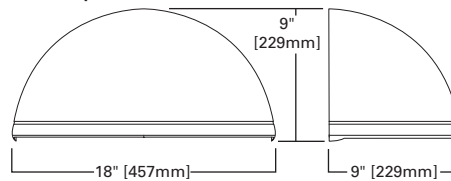


DIMENSIONS

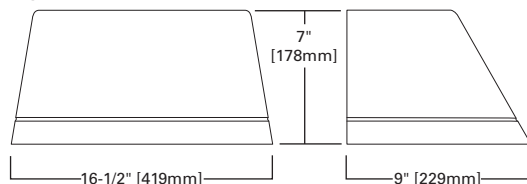
Cylinder



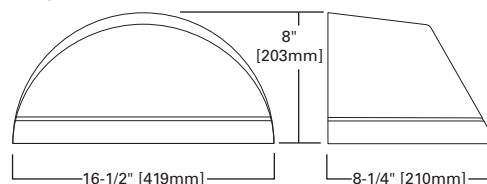
Quarter Sphere



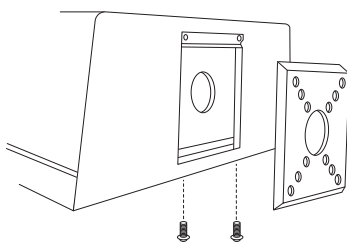
Trapezoid



Wedge



HOOK-N-LOCK MOUNTING



ISC/ISS/IST/ISW IMPACT ELITE LED

1 LightSquare
Solid State LED

WALL MOUNT LUMINAIRE

CERTIFICATION DATA

UL/cUL Listed
LM79 / LM80 Compliant
IP66 LightSquare
ISO 9001

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz,
480V/60Hz
-40°C Minimum Temperature
40°C Ambient Temperature Rating

SHIPPING DATA

Approximate Net Weight:
18 lbs. (8 kgs.)

POWER AND LUMENS

1 LightSquare (AF)		Cylinder (ISC) and Quarter Sphere (ISS)						Trapezoid (IST) and Wedge (ISW)					
Drive Current (mA)		350	450	600	800	1000	1200	350	450	600	800	1000	1200
Power (Watts)	120-277V	20.3	25.5	33.4	43.9	55.1	66.2	20.3	25.5	33.4	43.9	55.1	66.2
Current (A)	120V	0.17	0.22	0.29	0.38	0.48	0.56	0.17	0.22	0.29	0.38	0.48	0.56
	277V	0.09	0.10	0.13	0.17	0.21	0.25	0.09	0.10	0.13	0.17	0.21	0.25
Power (Watts)		23.3	28.7	36.6	49.5	60.7	70.1	23.3	28.7	36.6	49.5	60.7	70.1
Current (A)	347V	0.07	0.08	0.11	0.15	0.18	0.21	0.07	0.08	0.11	0.15	0.18	0.21
	480V	0.05	0.06	0.08	0.11	0.13	0.16	0.05	0.06	0.08	0.11	0.13	0.16
Optics													
T2	Lumens	2,336	2,934	3,827	4,791	5,663	6,444	2,498	3,136	4,091	5,122	6,054	6,889
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
T3	Lumens	2,385	2,994	3,906	4,889	5,779	6,577	2,504	3,144	4,101	5,133	6,068	6,905
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
T4FT	Lumens	2,360	2,963	3,866	4,839	5,720	6,509	2,530	3,177	4,145	5,188	6,133	6,979
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
T4W	Lumens	2,386	2,996	3,908	4,892	5,783	6,581	2,500	3,139	4,095	5,126	6,059	6,895
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
SL2	Lumens	2,257	2,834	3,697	4,628	5,470	6,225	2,413	3,030	3,953	4,948	5,849	6,656
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
SL3	Lumens	2,220	2,787	3,636	4,552	5,380	6,122	2,365	2,970	3,874	4,849	5,732	6,523
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
SL4	Lumens	2,110	2,649	3,456	4,326	5,113	5,818	2,234	2,805	3,660	4,581	5,415	6,162
	BUG Rating	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
SLL/SLR	Lumens	1,990	2,498	3,259	4,080	4,823	5,488	2,154	2,705	3,529	4,418	5,222	5,942
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
RW	Lumens	2,380	2,988	3,898	4,880	5,768	6,564	2,465	3,095	4,037	5,054	5,974	6,798
	BUG Rating	B2-U0-G0	B2-U0-G0	B2-U0-G0	B2-U0-G0	B2-U0-G0	B2-U0-G0	B3-U1-G1	B3-U1-G1	B3-U1-G1	B3-U1-G1	B3-U1-G1	B3-U1-G1

LUMEN MAINTENANCE

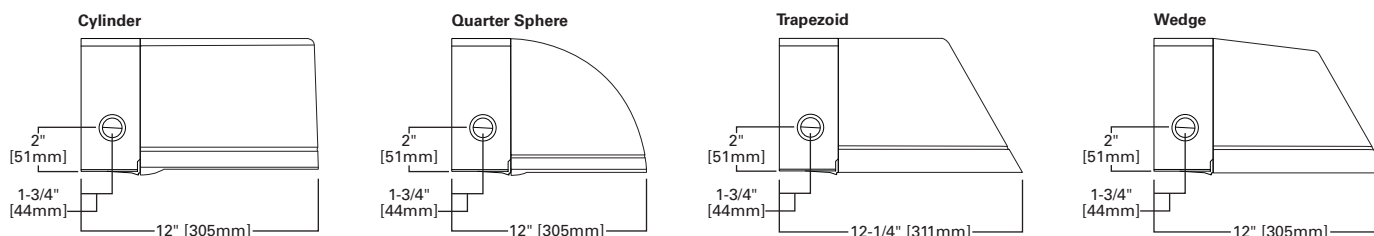
Current	Ambient Temperature	25000 Hours*	50000 Hours*	60000 Hours*	100000 Hours*	Theoretical L70 (Hours)*
Up to 1.2A	Up to 40°C	>95%	>91%	>90%	>83%	20,4000

*Data calculated based on TM-21 calculator.

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99

THRUWAY BACK BOX



ORDERING INFORMATION

Sample Number: ISC-AF-1200-LED-E1-T3-BZ

Product Family ¹	Light Engine	Drive Current	Lamp Type	Voltage	Distribution	Color
ISC =Impact Elite LED Small Cylinder ISS =Impact Elite LED Small Quarter Sphere IST =Impact Elite LED Small Trapezoid ISW =Impact Elite LED Small Wedge	AF =(1) LightSquare	350 =Drive Current Factory Set to 350mA 450 =Drive Current Factory Set to 450mA 600 =Drive Current Factory Set to 600mA 800 =Drive Current Factory Set to 800mA 1000 =Drive Current Factory Set to 1000mA 1200 =Drive Current Factory Set to 1200mA ²	LED =Solid State Light Emitting Diodes	E1 =Electronic (120-277V) 347 =347V ² 480 =480V ^{2,3}	T2 =Type II T3 =Type III T4FT =Type IV Forward Throw T4W =Type IV Wide SL2 =Type II w/Spill Control SL3 =Type III w/Spill Control SL4 =Type IV w/Spill Control SLL =90° Spill Light Eliminator Left SLR =90° Spill Light Eliminator Right RW =Rectangular Wide Type I	AP =Grey BZ =Bronze BK =Black DP =Dark Platinum GM =Graphite Metallic WH =White
Options (Add as Suffix)				Accessories (Order Separately) ¹⁷		
7030 =70 CRI / 3000K CCT ⁴ 7050 =70 CRI / 5000K CCT ⁴ 7060 =70 CRI / 5700K CCT ⁴ 8030 =80 CRI / 3000K CCT ⁴ PER7 =NEMA 7-PIN Twistlock Photocontrol Receptacle ^{2,5,6} P =Button Type Photocontrol (Available in 120, 208, 240 or 277V. Must Specify Voltage) HA =50°C High Ambient ⁷ AHD145 =After Hours Dim, 5 Hours, 50% ⁸ AHD245 =After Hours Dim, 6 Hours, 50% ⁸ AHD255 =After Hours Dim, 7 Hours, 50% ⁸ AHD355 =After Hours Dim, 8 Hours, 50% ⁸ MS/DIM-LXX =Motion Sensor for Dimming Operation ^{9,10,11} LWR-LW =LumaWatt Pro Wireless Sensor, Wide Lens for 8' - 16' Mounting Height ^{11,12} LWR-LN =LumaWatt Pro Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height ^{11,12} BBB =Battery Pack with Back Box (Specify 120V or 277V) ¹³ CWB =Cold Weather Battery Pack with Back Box (Specify 120V or 277V) ¹⁴ LCF =LightSquare Trim Plate Matches Housing Finish HSS =Factory Installed House Side Shield ¹⁵ ULG =Uplight Glow ^{5,6} TR =Tamper Resistant Hardware X =Driver Surge Protection (6kV) Only ¹⁶				MA1253 =10kV Circuit Module Replacement MA1254-XX =Thruway Back Box - Impact Elite Trapezoid MA1255-XX =Thruway Back Box - Impact Elite Cylinder MA1256-XX =Thruway Back Box - Impact Elite Quarter Sphere MA1257-XX =Thruway Back Box - Impact Elite Wedge FSIR-100 =Wireless Configuration Tool for Occupancy Sensor		

NOTES:

- Standard 4000K CCT and greater than 70 CRI.
- Not available with ULG option.
- Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
- Exextended lead times apply.
- Not available with ISS or ISW.
- Not available with LWR-XX or MS/DIM-LXX.
- Suitable for 50°C provided no options other than motion sensor are included and driver output set to 1.A or less.
- Requires the use of P photocontrol or the PER7 photocontrol receptacle with photocontrol accessory. Not available with 350mA drive current. See After Hours Dim supplemental guide for additional information.
- Specify lens in place of XX. Round to next highest option based on mounting height. Available options are 08, 20 and 40W.
- The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
- Includes integral photocell.
- LumaWatt Pro wireless sensors are factory installed and requiring network components in appropriate quantities. See www.eaton.com/lighting for LumaWatt Pro application information.
- LED standard integral battery pack is rated for minimum operating temperature 32°F (0°C). Operates downlight for 90-minutes.
- LED cold weather integral battery pack is rated for minimum operating temperature -4°F (-20°C). Operates downlight for 90-minutes.
- Only for use with SL2, SL3 and SL4 distributions. The LightSquare trim plate is painted black when the HSS option is selected.
- Removes additional surge module.
- Specify color in place of XX.



RECORD OF DETERMINATION

Administrative Review Team

Thursday, August 31, 2017

The Administrative Review Team made the following determinations at this meeting:

- 2. BSD P - Columbus Metropolitan Library, Dublin Branch 75 N. High Street
17-088DP/SPR Development and Site Plan Reviews**
- Proposal: Construction of a new 46,000-square-foot library and associated site improvements.
- Location: Northwest of the intersection of North High Street and North Street.
- Request: Review and recommendation of approval to City Council for a Development Plan and Site Plan Review under the provisions of the Zoning Code Section §153.066.
- Applicant: Paula Miller, Columbus Metropolitan Library represented by Tracy Perry, NBBJ
- Planning Contact: Jennifer M. Rauch, AICP, Planning Manager; (614) 410-4690, jrauch@dublin.oh.us

REQUEST 1: ADMINISTRATIVE DEPARTURES

1. Corner Side RBZ – §153.062(O)(12)(a)(1). Required: 15 feet along Rock Cress Parkway. Proposed: Building setback 14.49 foot.
2. Maximum Impervious Coverage – §153.062(O)(11)(a)(2). Required: 65% maximum coverage. Proposed: 68% coverage.
3. Non-Street Façade Transparency – §153.062(O)(11)(d)(2). Required: Minimum 20% transparency. Proposed: 18% at the first story on the west elevation.
4. Minimum Primary Materials – §153.062(O)(11)(d)(5). Required: 80% primary material. Proposed: 72.4 percent on the north façade.

Determination: The Administrative Departures were approved.



REQUEST 3: SITE PLAN WAIVERS

Request for an approval recommendation to City Council for 13 Development and Site Plan Waivers:

1. Story Articulation – §153.062(G). Required: Articulation required to delineate each story. Proposed: Glazing spaces vertically across first and second stories.
2. Treatment at Terminal Vista - §153.062 (J). Required: Vertical element when a street terminates into a parcel. Proposed: None provided.
3. Street Façade Transparency – §153.062(O)(11)(d)(1). Required: Minimum 25% transparency. Proposed: 15% provided on Rock Cress Parkway.
4. Blank Wall Limitations – §153.062(O)(11)(d)(1). Required: Architectural elements required. Proposed: Blank wall at 1st story, west of the plaza entrance.
5. Vertical Increments – §153.062(O)(11)(d)(4). Required: No greater than 60 feet. Proposed: None provided.
6. Minimum Primary Materials – §153.062(O)(11)(d)(5). Required: 80% primary material. Proposed: 59.2 percent on the east façade, 64% on the south elevation, and 53.2 percent on west facade.
7. Fences and Walls – §153.064(G)(4)(h). Required: Wall height max is three feet. Proposed: Wall heights vary.
8. Fences and Walls – §153.065(E). Required: Wall height max is four feet. Proposed: Wall heights vary.
9. Ground Mounted Mechanical Equipment – §153.065(E)(3)(c). Required: Fully screened from view. Proposed: Partially screened.
10. Utility Boxes - §153.065(E)(4). Required: Access doors oriented internally. Proposed: Access doors oriented to public right-of-way.
11. Gateway – §153.063(D)(5)(c). Required: Provision of a gateway. Proposed: None provided.
12. Gateway – §153.063(D)(6)(d)(2)(G). Required: Provision of open space nodes at gateway location. Proposed: None provided.
13. Foundation Planting Requirements - §153.063(D)(7)(b). Required: Foundation plantings require one shrub per 10 lineal feet of building. Proposed: Variety of plant material is proposed in lieu of shrubs.

Determination: The 13 Development and Site Plan Waivers were recommended for approval to City Council as part of the Development and Site Plan Reviews.

REQUEST 4: DEVELOPMENT AND SITE PLAN REVIEW

Request for a recommendation of approval to City Council for Development and Site Plan Reviews with a Parking Plan with five conditions:

- 1) That all ground mounted mechanicals located along Rock Cress Parkway will be screened to meet Code; and

2. **BSD P - Columbus Metropolitan Library, Dublin Branch**
17-088DP/SPR

75 N. High Street
Development and Site Plan Reviews

- 2) That the applicant will provide final site photometrics for the site and final lighting details that meet the lighting requirements of the Code with the submission of a building permit.
- 3) That the applicant continue to work with Engineering to ensure adequate space is provided in the loading area to minimize vehicle stacking into the right-of-way to the extent possible, subject to approval by the City Engineering.
- 4) That the applicant continue to work with Parks and Open Space to ensure the tree selection meets the diversity requirements.
- 5) That the applicant revise the landscape plan to provide plant material that meets the foundation planting requirements, subject to approval by Parks and Open Space.

Determination: The Development and Site Plan Reviews were recommended for approval to City Council with five conditions.

STAFF CERTIFICATION

Vince Papsidero, FAICP
Planning Director

DRAFT



MEETING MINUTES

Administrative Review Team

Thursday, August 31, 2017 | 2:00 pm

ART Members and Designees: Vince Papsidero, Planning Director; Donna Goss, Director of Development; Colleen Gilger, Director of Economic Development; Matt Earman, Director of Parks and Recreation; Ray Harpham, Interim Chief Building Official; Aaron Stanford, Senior Civil Engineer; Alan Perkins, Fire Plans Examiner; and Tim Hosterman, Police Sergeant.

Other Staff: Jennifer Rauch, Planning Manager; Claudia Husak, Senior Planner; Lori Burchett, Planner II; Logan Stang, Planner I; Nichole Martin, Planner I; Mike Kettler, Planning Technician; Tammy Noble, Senior Planner; and Laurie Wright, Administrative Support II.

Applicants: James Peltier, EMH&T (Cases 1, 2, & 5); Russ Hunter, Crawford Hoying Development Partners; and Teri Umbarger, Moody Nolan (Case 1); Brian Quackenbush, EMH&T (Cases 2 & 5); Tracy Perry, NBBJ; (Case 2) and Linda Menerey & Steve Nixon, EMH&T; Denise Valenta, Embree Asset Group, Inc. (Case 3).

Vince Papsidero called the meeting to order at 2:03 pm. He asked if there were any amendments to the August 24 meeting minutes. The minutes were accepted into the record as presented.

DETERMINATIONS

2. **BSD P - Columbus Metropolitan Library, Dublin Branch** **75 N. High Street** **17-088DP/SPR** **Development and Site Plan Reviews**

Jennifer Rauch said this is a proposal for the construction of a new 46,000-square-foot library and associated site improvements located on the northwest corner of the intersection of North High Street and North Street. She said this is a request for a review and recommendation of approval to City Council for a Development Plan and Site Plan Review under the provisions of the Zoning Code Section 153.066.

Ms. Rauch reported the applicant had provided updated information to resolve the outstanding issues from last week's meeting. She presented the site plan and noted most of the updates made had to do with walls, screening the mechanicals and dumpster, and addressing the Auto Turn.

Ms. Rauch said there were four Administrative Departures:

1. Corner Side RBZ
2. Maximum Impervious Coverage
3. Non-Street Façade Transparency
4. Minimum Primary Materials

Ms. Rauch said there were 12 Waivers that were identified and explained at the previous ART meeting:

1. Story Articulation – 153.062(G).
2. Treatment at Terminal Vista - 153.062 (J).
3. Street Façade Transparency – 153.062(O)(11)(d)(1).
4. Blank Wall Limitations – 153.062(O)(11)(d)(1).
5. Vertical Increments – 153.062(O)(11)(d)(4).
6. Minimum Primary Materials – 153.062(O)(11)(d)(5).
7. Fences and Walls. 153.064(G)(4)(h).



8. Fences and Walls. 153.065(E).
9. Ground Mounted Mechanical Equipment – 153.065(E)(3)(c).
10. Utility Boxes - 153.065(E)(4).
11. Gateway – 153.063(D)(5)(c).
12. Gateway – 153.063(D)(6)(d)(2)(G).

Ms. Rauch said a Parking Plan as part of the Development Plan and Site Plan Review should all be recommended for approval to City Council with two conditions:

- 1) That all ground mounted mechanicals located along Rock Cress Parkway be screened to meet Code; and
- 2) That the applicant provide final site photometrics and final lighting details that meet the lighting requirements of the Code with the submission of a building permit submission.

With that being said, Ms. Rauch said she still had some concerns she wanted to discuss further. She said the ground-mounted mechanicals located adjacent to the loading area show screening on three sides, with the Rock Cress Parkway side open. She recommended screening on all side. Brian Quackenbush, EMHT and said one side would have to remain unscreened to allow the required access. ART members and the applicant agreed to screen along Rock Cress Parkway and the south and east side. The west side would remain unscreened, which requires a waiver.

Ms. Rauch said there were outstanding concerns as the lighting fixtures and a condition of approval was added to ensure all details meet Code.

The ART discussed the Auto Turn data. Aaron Stanford confirmed the delivery trucks would need to back into the loading area and pull forward to depart the site. He asked about how the gates then would be opened and closed, He questioned whether the driver would have to leave the truck in the street during that time. He asked if there was enough room to pull into the loading zone apron and not block the street while opening and closing gate. The applicant agreed to look into that further. Ms. Rauch said a condition would be added to ensure the applicant would continue to work with Engineering to minimize vehicle stacking into the right-of-way in the loading area.

Ms. Rauch said recommended a condition be added to allow Parks Department to review the tree selection for diversity.

Ms. Rauch said the foundation plantings need to be altered to meet requirements because no shrub forms are on the plans. She said a condition would be added requesting the applicant to revise the landscape plan to provide plant material that meets the foundation planting requirements and if they could not meet that condition, a Waiver was also added so the applicant could retain some of the plant materials but add some modifications. She explained the requirement is for one shrub per 10 lineal feet of the building for foundation plantings but the applicant is proposing a variety of plant material in lieu of shrubs.

Ms. Rauch said a Parking Plan is included in the Development and Site Plan Reviews as all parking is provided off-site.

Ms. Rauch concluded approval is recommended for four Administrative Departures:

1. Corner Side RBZ – §153.062(O)(12)(a)(1). Required: 15 feet along Rock Cress Parkway. Proposed: Building setback 14.49 foot.
2. Maximum Impervious Coverage – §153.062(O)(11)(a)(2). Required: 65% maximum coverage. Proposed: 68% coverage.
3. Non-Street Façade Transparency – §153.062(O)(11)(d)(2). Required: Minimum 20% transparency. Proposed: 18% at the first story on the west elevation.

4. Minimum Primary Materials – §153.062(O)(11)(d)(5). Required: 80% primary material. Proposed: 72.4 percent on the north façade.

Ms. Rauch concluded approval is recommended to City Council for 13 Development and Site Plan Waivers:

1. Story Articulation – §153.062(G). Required: Articulation required to delineate each story. Proposed: Glazing spaces vertically across first and second stories.
2. Treatment at Terminal Vista - §153.062 (J). Required: Vertical element when a street terminates into a parcel. Proposed: None provided.
3. Street Façade Transparency – §153.062(O)(11)(d)(1). Required: Minimum 25% transparency. Proposed: 15% provided on Rock Cress Parkway.
4. Blank Wall Limitations – §153.062(O)(11)(d)(1). Required: Architectural elements required. Proposed: Blank wall at 1st story, west of the plaza entrance.
5. Vertical Increments – §153.062(O)(11)(d)(4). Required: No greater than 60 feet. Proposed: None provided.
6. Minimum Primary Materials – §153.062(O)(11)(d)(5). Required: 80% primary material. Proposed: 59.2 percent on the east façade, 64% on the south elevation, and 53.2 percent on west facade.
7. Fences and Walls – §153.064(G)(4)(h). Required: Wall height max is three feet. Proposed: Wall heights vary.
8. Fences and Walls – §153.065(E). Required: Wall height max is four feet. Proposed: Wall heights vary.
9. Ground Mounted Mechanical Equipment – §153.065(E)(3)(c). Required: Fully screened from view. Proposed: Partially screened.
10. Utility Boxes - §153.065(E)(4). Required: Access doors oriented internally. Proposed: Access doors oriented to public right-of-way.
11. Gateway – §153.063(D)(5)(c). Required: Provision of a gateway. Proposed: None provided.
12. Gateway – §153.063(D)(6)(d)(2)(G). Required: Provision of open space nodes at gateway location. Proposed: None provided.
13. Foundation Planting Requirements - §153.063(D)(7)(b). Required: Foundation plantings require one shrub per 10 lineal feet of building. Proposed: Variety of plant material is proposed in lieu of shrubs.

Ms. Rauch concluded approval is recommended to City Council for a Development Plan and Site Plan with five conditions:

- 1) That all ground mounted mechanicals located along Rock Cress Parkway will be screened to meet Code;
- 2) That the applicant will provide final site photometrics for the site and final lighting details that meet the lighting requirements of the Code with the submission of a building permit;
- 3) That the applicant continue to work with Engineering to ensure adequate space is provided in the loading area to minimize vehicle stacking into the right-of-way to the extent possible, subject to approval by the City Engineering;

- 4) That the applicant continue to work with Parks and Open Space to ensure the tree selection meets the diversity requirements; and
- 5) That the applicant revise the landscape plan to provide plant material that meets the foundation planting requirements, subject to approval by Parks and Open Space.

Vince Papsidero asked if there were any additional questions or concerns regarding this application. [There were none.] He called for a vote, the motion carried, and the four Administrative Departures were approved by the ART. He called for a vote, the motion carried, and the 13 Development Plan and Basic Plan Waivers were recommended for approval by the ART and forwarded on to City Council. He called for a vote, the motion carried, and the Parking Plan included in the Development Plan and Site Plan Reviews all be recommended for approval to City Council with five conditions and would also be forwarded on to City Council for their meeting on September 11, 2017.



PLANNING REPORT

Administrative Review Team

Thursday, August 31, 2017 | 2:00 pm

17-088DP/SP – CML Dublin Branch

Reviewing Board

Administrative Review Team

Site Location

West side of N. High Street, north of the intersection with North Street.

Proposal

Development and Site Plan Review

Zoning

Bridge Street District – Public District

Property Owner

Columbus Metropolitan Library Trustees

Applicant/Representative

Paula Miller, CFO, CML
Tracy Perry, NBBJ

Applicable Land Use Regulations

Zoning Code Sections 153.057-066

Staff Recommendation

- A. Approval of 4 Administrative Departure
- B. Approval of 12 Waivers
- C. Approval of DP and SP with 2 conditions

Contents

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B. Narrative.....	2
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D. Criteria Analysis	5
E. Recommendations	6

Case Managers

Jennifer M. Rauch, AICP, Planning Manager
(614) 410-4690
jrauch@dublin.oh.us

Summary

The construction of a new 46,000-square-foot library and associated site improvements.

Zoning Map



Next Steps

Upon recommendation of approval from Administrative Review Team, the applications will be forwarded to City Council for review and approval.

A. Context

The site is located on the west side of North High Street, north of the intersection with North Street.

B. Narrative

1. Site Characteristics

1. Natural Features

There is significant grade change across the site, with the largest change from west to east along the northern boundary.

2. Historic and Cultural Facilities

There are no historic or cultural facilities present on this site. The existing library building is located in the northeastern portion of the site with off-street parking located to the south and west of the existing building. The site was approved for demolition by the Architectural Review Board on June 28, 2017.

3. Surrounding Land Use and Development Character

- **North and West:** **BSD-P, Public District (Dublin City Schools and Grounds of Remembrance)**
- **East:** **BSD-HTN, Historic Transition Neighborhood District (Mixed use development and public plaza)**
- **South:** **BSD-HC, Historic Core District (Commercial uses)**

4. Road, Pedestrian and Bike Network

The overall site will be split into two parcels for the library and the parking garage. Future street improvements include future Rock Cress Parkway along the north, future Franklin Street extension along the west, and modifications to existing North Street to the south and North High Street to the east. Pedestrian and bike facilities are provided with the street network improvements.

C. Details

1. Process

The Zoning Code requires review by the Administrative Review Team with a recommendation forwarded to the City Council for a determination.

2. Proposal

The proposal is for the construction of a 46,000-square-foot library with associated site improvements.

3. Analysis

1. Uses

The Bridge Street District – Public District permits institutional use, such as libraries, schools, and parks. A future application to rezone the property from BSD-P, Public to

BSD-HT, Historic Transition, which permits similar uses is under review and will require review and approval by City Council.

2. Layout and Design

The proposed site layout includes the library building located at northeast corner of the intersection of future Rock Cress and N. High Street. The proposed building extends south along N. High Street and is bound on the south by a large plaza at the southeast corner of the intersection of North Street and N. High Street. The proposed plaza area runs along the southern edge of the library. An additional open space area is proposed between the parking garage and the library, oriented north and south on the site. Mechanicals and service area for the library are shown at the northwest corner of the building along Rock Cress. The proposal includes two entrances for the library. The first is located along the N. High Street elevation and the second at the southwest corner of the proposed building, adjacent to the parking garage pedestrian entrance and the plaza space to the south.

3. Materials

For Civic Buildings, Code permits stone, brick, and glass as primary building materials. Permitted secondary materials include glass, reinforced gypsum, wood siding, fiber cement siding, metal, and architectural metal panels and cladding. The proposed library utilizes stone, glass and metal panels for the primary materials. As part of the Basic Plan Review, City Council directed the applicant to use stone in lieu of the proposed brick at the base of the building to reflect the materials within the existing Historic District, which has been incorporated in the plans.

4. Parking

Parking is provided in the proposed parking garage located west of the library building. The proposed parking garage indicates 548 parking spaces. Code requires 152 parking spaces for the library. However, as part of the development agreement the library will be allocated 200 spaces. The remaining spaces will be public parking. An approved parking plan will be required with the Site Plan.

D. Review

4. Administrative Departures

- 1. Corner Side RBZ – 153.062(O)(12)(a)(1). Required: 15 feet along Rock Cress Parkway. Proposed: Building setback 14.49 foot.**
- 2. Maximum Impervious Coverage – 153.062(O)(11)(a)(2). Required: 65% maximum coverage. Proposed: 68% coverage.**
- 3. Non-Street Façade Transparency – 153.062(O)(11)(d)(2). Required: Minimum 20% transparency. Proposed: 18% at the first story on the west elevation.**
- 4. Minimum Primary Materials – 153.062(O)(11)(d)(5). Required: 80% primary material. Proposed: 72.4 percent on the north façade.**

5. Site Plan Waivers

1. **Story Articulation – 153.062(G). Required: Articulation required to delineate each story. Proposed: Glazing spaces vertically across first and second stories.**

Criterion met. The proposed building design is intended to be unified across all elevations and the need for articulation of stories is not compatible with the design.

2. **Treatment at Terminal Vista - 153.062 (J). Required: Vertical element when a street terminates into a parcel. Proposed: None provided.**

Criterion met. The terminal vista would be required within the plaza space, which incorporate a significant number of design features, including the Signature Transition Element. An additional vertical element is not compatible with the proposed design.

3. **Street Façade Transparency – 153.062(O)(11)(d)(1). Required: Minimum 25% transparency. Proposed: 15% provided on Rock Cress Parkway.**

Criterion met. The reduced transparency along Rock Cress Parkway is dictated by the function and needs of the meeting spaces that occur on the inside of the building.

4. **Blank Wall Limitations – 153.062(O)(11)(d)(1). Required: Architectural elements required. Proposed: Blank wall at 1st story, west of the plaza entrance.**

Criterion met. The reduction of the blank wall requirements in this area is appropriate for the overall architectural design.

5. **Vertical Increments – 153.062(O)(11)(d)(4). Required: No greater than 60 feet. Proposed: None provided.**

Criterion met. The reduction of the vertical increment requirements is appropriate for the overall architectural design.

6. **Minimum Primary Materials – 153.062(O)(11)(d)(5). Required: 80% primary material. Proposed: 59.2 percent on the east façade, 64% on the south elevation, and 53.2 percent on west facade.**

Criterion met. The proposed materials are applied appropriate to achieve the design intent, and the reduction in primary material is appropriate.

7. **Fences and Walls. 153.064(G)(4)(h). Required: Wall height max is three feet. Proposed: Wall heights vary.**

8. **Fences and Walls. 153.065(E). Required: Wall height max is four feet. Proposed: Wall heights vary.**

Criteria met. A number of the proposed wall heights exceed the requirements because they act a retaining wall for the site due to the grade change, or are due to the design of the selected Signature Transition Element.

9. Ground Mounted Mechanical Equipment – 153.065(E)(3)(c). Required: Fully screened from view. Proposed: Partially screened.

10. Utility Boxes - 153.065(E)(4). Required: Access doors oriented internally. Proposed: Access doors oriented to public right-of-way.

Criteria met. Screening is provided on three of the four sides. However, access to the ground mechanicals are required from the public right-of-way.

11. Gateway – 153.063(D)(5)(c). Required: Provision of a gateway. Proposed: None provided.

12. Gateway – 153.063(D)(6)(d)(2)(G). Required: Provision of open space nodes at gateway location. Proposed: None provided.

Criteria met. The proposed building location and prominence provide an adequate gateway and additional elements are inappropriate given the overall design.

Criteria Analysis

6. Development Plan

1. Street Network and Block Framework.

Criterion met. The street network and block layout were approved with the Basic Plan development application.

2. Street Types Consistent with Walkable Urbanism.

N/A

3. Open Spaces and Building Types meet Siting Requirements.

Criterion met with Waivers and Conditions. The building is located appropriately.

4. Infrastructure, Transportation and Environmental Requirements

Criterion met with Waivers and Conditions.

5. Creation of a Signature Place

Criterion met. The proposed library is designed to create a unique space that transitions between the Historic District and the new development across the river.

7. Site Plan

1. Similar to Basic Plan.

Criterion met. The site design approved with the Basic Plan is substantially similar to the design proposed with the Site Plan.

2. Consistent with Development Plan.

Criterion met. The site design is consistent with the development plan and coordinates with surrounding development.

3. Meets Sections 153.059 and 153.062-153.065.

Criterion met with Waivers and Conditions.

4. Safe and Efficient Circulation

Criterion met with Waivers and Conditions. The site has been designed to allow for safe pedestrian and vehicular circulation.

5. Relationship of Buildings

Criterion met. The proposed layout of the site provides for coordination and integration within the surrounding area.

6. Open Space

N/A

7. Adequate Services

Criterion met. This proposal connects to existing public utilities.

8. Stormwater Management

Criterion met. The proposal meets stormwater management.

9. Phasing

Criterion met. The site will be constructed in a single phase.

10. Consistency with BSD Principals

Criterion met. The proposed library meets the design principals outlined in the Bridge Street District Vision Plan.

E. Recommendations

The proposed Development Plan and Site Plan with Parking Plan is consistent with all of the applicable review criteria.

Approval is recommended of the Administrative Departures to the Administrative Review Team.

1. Corner Side RBZ
2. Maximum Impervious Coverage
3. Non-Street Façade Transparency
4. Minimum Primary Materials

Approval is recommended of the 12 Waivers to City Council.

1. Story Articulation – 153.062(G).
2. Treatment at Terminal Vista - 153.062 (J).
3. Street Façade Transparency – 153.062(O)(11)(d)(1).
4. Blank Wall Limitations – 153.062(O)(11)(d)(1).
5. Vertical Increments – 153.062(O)(11)(d)(4).
6. Minimum Primary Materials – 153.062(O)(11)(d)(5).
7. Fences and Walls. 153.064(G)(4)(h).
8. Fences and Walls. 153.065(E).
9. Ground Mounted Mechanical Equipment – 153.065(E)(3)(c).

10. Utility Boxes - 153.065(E)(4).
11. Gateway – 153.063(D)(5)(c).
12. Gateway – 153.063(D)(6)(d)(2)(G).

Approval is recommended of the Development Plan and Site Plan with a Parking Plan and 2 conditions.

1. All ground mounted mechanicals located along Rock Cress Parkway will be screened to meet Code.
2. The applicant provide Final site photometrics for the site and final lighting details that meet the lighting requirements of the Code with the submission of a building permit submission.

ANALYSIS & DETERMINATIONS – DEVELOPMENT PLAN

Applicable Development Plan Review Criteria

Includes §153.059 – Uses, §153.060 – Lots & Blocks, §153.061 – Street Types, §153.063 – Neighborhood Standards

153.059 – Uses		
Code Section	Proposed Uses	Permitted ?
Table 153.059-A	<i>Principal Use: Library (45,560 gross square feet)</i> <i>Accessory Uses: See below</i>	Yes
(C) Use Specific Standards		
(2)	Civic, Public, Institutional Uses	
(f)	Library, Museum, Gallery—Incidental sales of refreshments and items related to exhibits or activities at the facility are permitted. <ul style="list-style-type: none"> <i>Eating and Drinking (Café) is proposed.</i> 	Yes

153.060 – Lots & Blocks		
Code Section	Requirement • <i>Analysis</i>	Met?
(B) Applicability		
The requirements of this section shall apply to developments within all BSD zoning districts that require Development Plan Review in accordance with §153.066(E)(1)(b): 3. <i>The application includes the construction of two new streets (Franklin Street and Rock Cress Parkway), and improvements to North High Street and West North Street.</i> 4. <i>Subdivision of land is proposed as part of this application.</i>		Dev. Plan Required
(C) General Block and Lot Layout		
(1)	Interconnected Street Pattern	
(a)	The network of streets within the Bridge Street District is intended to form an interconnected pattern with multiple intersections and resulting block sizes as designated in 153.060(C)(2) <ul style="list-style-type: none"> <i>Darby Street is not extended north to the proposed Rock Cress Parkway from the existing intersection with North Street, as depicted on the Street Network Graphic.</i> 	Met via Waiver Below
(2)	Maximum Block Size—Historic Transition Neighborhood District	
(a)	Permitted Maximum Block Length: 300 ft. <ul style="list-style-type: none"> <i>Proposed Maximum Block Length: 379 ft.</i> Permitted Maximum Block Perimeter: 1,000 ft. <ul style="list-style-type: none"> <i>Proposed Maximum Block Perimeter: 1,308 ft.</i> 	Waiver Approved by Council 4.24.17
(3)	Block Configuration	

153.060 – Lots & Blocks		
(a)	Blocks shall be generally rectangular <ul style="list-style-type: none"> <i>Proposed block is rectangular</i> 	Met
(b)	Blocks shall be arranged with front property lines on at least two sides. <ul style="list-style-type: none"> <i>North High Street and Rock Cress Parkway are designated as front property lines, and North Street and Franklin Street are corner side property lines, based on 153.060(C)(9)—Street Frontage</i> 	Met
(5)	Block Access Configurations	
(a)	Access for alleys, service streets and driveways shall not be permitted from a Principal Frontage Street, unless City Engineer determines that access from any other street is impractical. <ul style="list-style-type: none"> <i>A loading dock/service area access drive is proposed at Rock Cress Parkway, a Principal Frontage Street.</i> 	Waiver Approved by Council 4.24.17
(6)	Mid-Block Pedestrianways	
	See Site Development Standards 153.065(1)(2)(a) for Mid-Block Pedestrianways	

153.061 – Street Types		
Code Section	Requirement <ul style="list-style-type: none"> <i>Analysis</i> 	Met?
(C) Street Network		
(3)	Existing Streets	
	Where existing streets are planned to be realigned, relocated or removed, the City shall reserve the right to maintain those rights-of-way and incorporate them into the street network, with a designation of street family and street type and required improvements. <ul style="list-style-type: none"> <i>Existing North High Street and North Street are both proposed to remain in place with minor realignments and improvements proposed.</i> 	Met
(4)	Street Network Map	
(a)	In addition to the Thoroughfare Plan, the Street Network Map shall be used as a guide in determining appropriate locations and alignments of new streets. Street families are designated based on the functional needs of the street, adjacent land use context and desired character of the range of street types. <ul style="list-style-type: none"> <i>The proposed street network is generally consistent with the Street Network Map, except for the absence of the extension of Darby Street subdividing the block.</i> 	Waiver Approved by Council 4.24.17
(d)	Illustrated Corridor Connector Streets <ul style="list-style-type: none"> <i>North High Street is a Corridor Connector and Principal Frontage Street</i> 	Met
(e)	Illustrated District Connector Streets <ul style="list-style-type: none"> <i>Rock Cress Parkway is a District Connector and Principal Frontage Street</i> 	Met
(f)	Illustrated Neighborhood Streets <ul style="list-style-type: none"> <i>Franklin Street and North Street are Neighborhood Streets</i> 	Met
(D) Principal Frontage Streets		
(2)	Vehicular Access	

153.061 – Street Types		
(a)	<p>Vehicular access shall not be permitted from a Principal Frontage Street, unless the City Engineer determines that access from any other street is impractical</p> <ul style="list-style-type: none"> <i>A loading dock/service area access drive is proposed at Rock Cress Parkway, a Principal Frontage Street.</i> 	<p>Waiver Approved by Council 4.24.17</p>
(3)	Multiple Principal Frontage Streets	
(c)	<p>Where a lot or block is fronted by multiple principal frontage streets, and where access from a principal frontage street is determined to be necessary as permitted by 1543.061(D)(2), the street family hierarchy shall be considered by the City Engineer in determining permitted vehicular access locations. Corridor Connector streets shall take precedence above all other street types in maintaining principal frontage street character.</p> <ul style="list-style-type: none"> <i>North High Street is a Corridor Connector and Rock Cress Boulevard is a District Connector. Access is proposed from Rock Cress Parkway. No vehicular access is proposed from North High Street.</i> 	<p>Met</p>
(E) Typical Street Elements		
(1)	Bicycle Facilities	
	<p>A variety of bicycle accommodations are permitted within the street right-of-way</p> <ul style="list-style-type: none"> <i>No bicycle accommodations have been depicted within the street right-of-way at this time</i> 	<p>Met</p>
(2)	Vehicular On-Street Parking	
	<p>The appropriate configuration and dimensions of on-street parking shall be determined by the City Engineer</p> <ul style="list-style-type: none"> <i>Vehicular on-street parking is proposed along the North High Street, North Street, and Franklin Street frontage.</i> 	<p>Met</p>
(F) Curb Radii at Intersections		
(2)	Permitted Radii	
	<p>Curb radii at intersections shall be minimized to the greatest extent practicable to shorten the pedestrian crossing distances, reduce vehicle turning speeds and improve sight distances. In this location, radii may range between 15 and 25 feet, as approved by the City Engineer</p> <ul style="list-style-type: none"> <i>Curb radii at Rock Cress Parkway and High Street are 25 feet radii</i> <i>Curb radii at North Street and High Street are ±32feet radii</i> 	<p>City Engineer Approval</p>
(G) Fire Access		
(2)	Building Access Zone	
(2)	<p>A building access zone within the right-of-way of 40 feet in length shall be provided for buildings with a height of 30 feet or greater and shall be located as close as practicable to the structure's principal entrance.</p> <ul style="list-style-type: none"> <i>An area along the north side of North Street meets the requirements for a Building Access Zone, but has not been designated as such on the Site Plan</i> 	<p>City Engineer Approved</p>

153.063(D) – Neighborhood Standards, Historic Transition Neighborhood District		
Code Section	Requirement	Met?
	<ul style="list-style-type: none"> <i>Analysis</i> 	

153.063(D) – Neighborhood Standards, Historic Transition Neighborhood District		
(3)	Blocks	
(a)	<p>2. Developable lots are not permitted between greenways and the street adjacent to the Indian Run west of North High Street.</p> <ul style="list-style-type: none"> <i>No developable lots are proposed on the north side of Rock Cress Parkway adjacent to the Indian Run.</i> 	Met
(4)	Building Height	
(b)	<p>Buildings located across the street from or adjacent to the BSD Historic Core District shall be limited to two and a half stories.</p> <ul style="list-style-type: none"> <i>Proposed building height is 2 stories at the South and West Elevations, and transitions to a maximum height of 3 stories at the northeast corner of the building due to the change in grade across the site.</i> 	Waiver Approved by Council 4.24.17
(5)	Historic Sites and Structures	
(a)	<p>Historic Sites and Structures. Historic Sites and Structures listed on the National Register and/or the Ohio Historic Inventory shall be preserved to the extent practicable</p> <ul style="list-style-type: none"> <i>The site is located within the Architectural Review District, but the existing structure and site are not included on the NRHP or OHI.</i> 	N/A
(c)	<p>Gateways. Gateways shall be provided in the approximate locations shown (in the Neighborhood Standards Illustration). Gateway designs shall be approved with the Site Plan Review, but locations shall be identified with the Development Plan Review.</p> <ul style="list-style-type: none"> <i>The intersection of Rock Cress Parkway and North High Street coincides with the gateway location shown in the Illustration.</i> <i>Gateway design elements are proposed on the east side of North High Street associated with the Pedestrian Bridge Plaza. No design elements are proposed on the west side of North High Street at Rock Cress Parkway adjacent to the site to create a unified gateway design on both sides of the intersection</i> 	Waiver
(6)	Open Spaces	
(c)	<p>Required Open Space. Open Space shall be provided in accordance with requirements of 153.064(C)</p> <ul style="list-style-type: none"> <i>No provision of Open Space is required for civic uses in Civic Buildings.</i> 	N/A
(d)	Open Space Network	
(d)	<p>1. Open Spaces are intended to be organized as a series of interconnected nodes and corridors appropriate to the scale and character of surrounding streets, buildings and land uses.</p> <ul style="list-style-type: none"> <i>No provision of Open Space is required for civic uses in Civic Buildings. The location of the proposed Open Space corresponds with the general location of an open space corridor in the Neighborhood Illustration</i> 	Met
	<p>2. The Open Space network shall be provided at a minimum in the approximate locations shown. Open Space design shall be approved with the Site Plan Review, but locations shall be identified with the Development Plan Review and shall meet the following criteria:</p>	

153.063(D) – Neighborhood Standards, Historic Transition Neighborhood District		
	<p>A. Open space corridors and nodes shall be coordinated with the street network and with gateways</p> <ul style="list-style-type: none"> <i>The open space provided coordinates with the street network, but does not coordinate with the gateway location</i> 	Met
	<p>B. Greenways are required along all branches of the Indian Run and shall be designed to facilitate pedestrian and bicycle travel.</p> <ul style="list-style-type: none"> <i>No designated open spaces are proposed along the Indian Run as part of this application</i> 	N/A
	<p>C. Greenways shall connect to existing or planned greenways within the vicinity</p> <ul style="list-style-type: none"> <i>The open space proposed with this application is not a greenway, but may establish the beginning of a future greenway extending to the west as depicted in the Neighborhood Illustration.</i> 	Met
	<p>D. Building frontage along a greenway with no intervening street shall be treated as street frontage.</p> <ul style="list-style-type: none"> <i>Rock Cress Parkway is located between the proposed building and the greenway.</i> 	N/A
	E. Other required open space corridors may be created using approved street types	N/A
	<p>F. A minimum of one permitted open space type shall be provided north of Bridge Street</p> <ul style="list-style-type: none"> <i>A .48 acre Pocket Park is proposed to the south of the proposed building, which is north of Bridge Street.</i> 	Met
	<p>G. Other open space nodes shall be provided at gateway locations as identified during the Development Plan and Site Plan Reviews, such as at prominent street intersections, with other appropriately scaled open space types integrated along the corridor.</p> <ul style="list-style-type: none"> <i>No open space is proposed at the intersection of North High Street and Rock Cress Parkway, a prominent street intersection which coincides with a Gateway location in the Neighborhood Illustration.</i> 	Waiver

ANALYSIS & DETERMINATIONS – SITE PLAN

Applicable Development Plan Review Criteria

Includes §153.062 – Building Types, §153.064 – Open Space Types, and §153.065 – Site Development Standards

153.062 – Building Types		
Code Section	Requirement <ul style="list-style-type: none"> <i>Analysis</i> 	Met?
(B) General Building Type Requirements		
(3)	General Requirements	

153.062 – Building Types		
(a)	Zoning Districts. Each building type shall be constructed only within its designated BSD zoning district. <ul style="list-style-type: none"> <i>The proposed structure is a Civic Building, and is permitted within the Historic Transition Neighborhood District</i> 	Met
(b)	Uses. Each building type may house the uses allowed in the district in which it is located. <ul style="list-style-type: none"> <i>The proposed uses are permitted within the proposed Civic Building.</i> 	Met
(c)	No Other Building Types. Principal buildings shall meet the requirements of <ul style="list-style-type: none"> <i>The proposed Civic Building is permitted within the Historic Transition Neighborhood District.</i> 	Met
(d)	Permanent Structures. All buildings constructed, including principal and accessory structures shall be permanent constructions. <ul style="list-style-type: none"> <i>The proposed Civic Building is a permanent structure.</i> 	Met
(e)	Accessory Structures: <ul style="list-style-type: none"> <i>No accessory structures are proposed.</i> 	N/A
(C) General Building Type Layout and Relationships		
(1)	Incompatible Building Types. No incompatible building types are permitted directly across the street from one another or on the same block face, unless otherwise permitted by the required reviewing body. <ul style="list-style-type: none"> <i>No building type incompatibilities are present.</i> 	Met
(D) Roof Type Requirements		
(3)	Flat Roof Type	
(b)	Eaves. Eaves are encouraged on street facing facades. <ul style="list-style-type: none"> <i>No eaves are proposed</i> 	N/A
(c)	Vertical Walls. Interrupting vertical walls may interrupt the eave and extend above the top of the eave with no discernable cap. <ul style="list-style-type: none"> <i>No eaves or interrupting vertical walls are proposed</i> 	N/A
(E) Materials		
(1)	Façade Materials	
(a)	Percentage of Primary Materials Required: <i>Please refer to 153.062(O) - Building Type Analysis.</i>	See Table Below
(c)	Permitted Primary Materials: <i>Please refer to 153.062(O) – Building Type Analysis</i>	See Table Below
(d)	Permitted Secondary Materials: <i>Please refer to 153.062(O) - Building Type Analysis.</i>	See Table Below
(f)	EIFS is permitted for trim only <ul style="list-style-type: none"> <i>No EIFS is proposed</i> 	Met
(h)	Other high quality synthetic materials may be approved as permitted primary or secondary materials by the required reviewing body. <ul style="list-style-type: none"> <i>No high quality synthetic materials are proposed.</i> 	Met
(2)	Façade Material Transitions	

153.062 – Building Types

(a)	Vertical transition shall occur at inside corners <ul style="list-style-type: none"> <i>All façade material transitions are at inside corners</i> 	Met
(b)	Multiple Materials Proposed Vertically: Where proposed, the 'heavier' material in appearance shall be incorporated below the 'lighter' material. <ul style="list-style-type: none"> <i>Stone is proposed at the base of the building, with glass and metal panels above.</i> 	Met
(c)	Transitions between different colors of same material: Shall occur at locations deemed architecturally appropriate by the required reviewing body. <ul style="list-style-type: none"> <i>There are no transitions in materials of the same type but different colors.</i> 	N/A
(3)	Roof Materials	
(b)	Flat roofs are permitted to use any roof material appropriate to maintain proper drainage. <ul style="list-style-type: none"> <i>White TPO Membrane roofing is proposed.</i> 	Met
(4)	Colors	
	Colors for all building materials shall be selected from appropriate historic color palettes, from any major paint manufacturer, or as determined appropriate by the required reviewing body. <ul style="list-style-type: none"> <i>No painted elements are proposed. Stone façade, glass and metal panels are primary materials.</i> 	N/A
(F) Entrances & Pedestrianways		
(1)	Entrances Quantities and Locations	
	See Building Type Requirements Table	
(2)	Recessed Entrances. Entry doors shall be recessed a minimum of three feet from property lines <ul style="list-style-type: none"> <i>All entrances are recessed at least three feet from property lines</i> 	Met
(3)	Entrance Design	
(a)	All principal entrances are to be at a pedestrian scale, effectively address the street and be given prominence on the façade through the use of architectural features. <ul style="list-style-type: none"> <i>Two principal entrances are provided—one on the south elevation facing the proposed Pocket Park/Plaza space, and one on the east elevation facing North High Street.</i> <i>The south entrance faces a proposed open space, as is appropriate for Civic Buildings with required 15' building setbacks. The entrance is recessed into the building façade, and includes transom and sidelite windows.</i> <i>The east entrance faces North High Street and is recessed under the upper stories of the building</i> 	Met
(G) Articulation of Stories on Street Facades		
	Façades shall be designed to follow the stories of the building with fenestration organized along and occupying each floor. Story heights are set to limit areas of the façade without fenestration. <ul style="list-style-type: none"> <i>The east facade does not follow the stories of the building. Glazing spans vertically across the first and second stories of the façade</i> 	Waiver
(H) Windows, Shutters, Awnings and Canopies		
(1)	Windows	

153.062 – Building Types

(a)	Transparency is required according to building type. <i>Please refer to Building Type Requirements</i>	See Table Below
(b)	Highly reflective glass is prohibited. Highly reflective glass has an exterior visible reflectance greater than 20% <ul style="list-style-type: none"> <i>All proposed clear glazing has an exterior visible light reflectance of 11%</i> 	Met
(c)	Spandrel or heavily tinted glass cannot be used to meet minimum transparency requirements <ul style="list-style-type: none"> <i>Portions of the elevations at the upper floor depict spandrel glass in areas where building structure is located. Please refer to Building Type Requirements</i> 	See Table Below
(d)	Windows may be wood, anodized aluminum, metal-clad or vinyl-clad wood, steel, or fiberglass. <ul style="list-style-type: none"> <i>The predominant glazing is an aluminum curtainwall system.</i> <i>Windows proposed within masonry portions of the elevations are individual glazing units within aluminum frames.</i> 	Met
(f)	Windows within masonry walls shall have architecturally appropriate lintels and sills. <ul style="list-style-type: none"> <i>Where windows are proposed within the masonry portion of elevations, they feature aluminum sills and mullion extensions that project beyond the face of the masonry. A determination will be required on the architectural appropriateness of this detail to the architectural style proposed.</i> 	Determ. of Arch. Approp.

(J) Treatments at Terminal Vistas

	When a street terminates at a parcel, the parcel shall be occupied by either an open space with a vertical element to terminate the view or by the front or corner side of a building. <ul style="list-style-type: none"> <i>A terminal vista will be created at the termination of the Darby Street with North High Street. A Pocket Park open space type is proposed at this terminal vista. No apparent vertical elements terminate the view in the proposed landscape plans.</i> 	Waiver
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(K) Building Variety

	Building design shall vary from adjacent buildings by the type of dominant material or color, scale, or orientation of that material. <ul style="list-style-type: none"> <i>The proposed building varies from all adjacent existing and approved buildings currently under construction in all aspects.</i> 	Met
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(M) Signs

	<i>A Ground Sign location is depicted on the Landscape Plans. No sign details have been submitted.</i>	Minor Project Approval Required
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(N) Individual Building Type Requirements

	<i>Refer to following section for detailed analysis of the building.</i>	
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153.062(O) – Individual Building Requirements Analysis

153.062(O)(11) – Civic Building			
Building Type Requirements	Code Requirement	Provided	Met?
(a) Building Siting			
1. Street Frontage			
Number of Principal Buildings Permitted (per Lot)	Multiple Permitted	1	Met
Occupation of Corner Required (Yes/No)	No	Not Required	Met
Front Setback Required	15 ft.	5.29 ft. Provided at North High Street	Waiver Approved by Council 4.24.17
Corner Side Setback Required	15 ft.	14.49 ft. Provided at Rock Cress Parkway	Admin. Departure
Setback Treatment	Landscape, Patio or Streetscape.	Landscape	Met
Right-of-Way Encroachments	None Permitted	None	Met
2. Buildable Area			
Minimum Side Yard Setback Required	10 ft.	N/A	N/A
Minimum Rear Yard Setback Required	20 ft.	35.9' Provided to the west property line	Met
Minimum Lot Width Required	50 ft.	282.2 ft.	Met
Maximum Lot Width Required	None	N/A	N/A
Maximum Impervious Lot Coverage	65%	68% Per Landscape Plans	Admin. Departure
Additional Semi-Pervious Lot Coverage Permitted (Beyond Max. 65% Impervious Coverage)	10%	No Semi-Pervious Coverage Proposed	N/A
3. Parking Location			
Parking Location	Rear & Side Yard; Within Building	Parking provided in adjacent off-site parking structure	Parking Plan Required
Loading Facility Permitted (location relative to principal structure)	Rear	Proposed at Corner Side of façade of building along Principal Frontage Street.	Waiver Approved by Council 4.24.17
Entry for Parking within Building (relative to principal structure)	Rear, side, corner side facades on non-	N/A	N/A

153.062(O)(11) – Civic Building			
Building Type Requirements	Code Requirement	Provided	Met?
	principal frontage streets		
Access	153.062 (N)(1)(c)	<i>No Vehicular Access is proposed</i>	N/A
(b) Height			
Minimum Building Height Permitted (ft.)	1.5 stories	<i>2 Story Minimum Height Proposed</i>	Met
Maximum Building Height Permitted (ft.)	5 stories; 3 Stories in BSD Historic Core District	<i>3 Story Maximum Height Proposed</i>	Waiver Approved by Council 4.24.17
Ground Story Height	12 ft. Minimum 24 ft. Maximum* (*Any ground story height ≥ 20 ft. counts as two stories)	<i>12.5 ft. minimum and 27.67 ft. maximum at North High Street 12.5 ft. at Rock Cress Parkway 16 ft. at North Street</i>	Waiver Approved by Council 4.24.17
Upper Story Height	9 ft. Minimum 14 ft. Maximum	<i>14 ft. Proposed</i>	Met
(c) Uses & Occupancy Requirements			
Ground Story Use Requirements	Civic, Public, Institutional only except day care as a principal use	<i>Library Use Proposed</i>	Met
Upper Story Use Requirements	Civic, Public, Institutional Only	<i>Library Use Proposed</i>	Met
Parking within Building	Permitted in the rear of the first 3 floors and fully in any basement(s)	<i>None Proposed</i>	N/A
Occupied Space Required	Min. 30' depth from the front and/or corner side facades	<i>Occupied Space provided through entire structure</i>	Met
(d) Façade Requirements			
1. Street Façade Transparency			
Street Façade Transparency (%)	Minimum 25% Transparency	<u>North (Rock Cress Parkway):</u> <i>1st Story: 15% 2nd Story: 49% 3rd Story: 41%</i> <u>East (North High Street):</u> <i>1st Story: 75% 2nd Story: 48% 3rd Story: 49%</i>	Waiver Met

153.062(O)(11) – Civic Building			
Building Type Requirements	Code Requirement	Provided	Met?
		<u>South (North Street):</u> 1st Story: 53% 2nd Story: 33%	
Street Façade Blank Wall Limitations	Required	<i>Blank Wall at 1st Story South Elevation to the west of Entrance</i>	Waiver
2. Non-Street Façade Transparency			
Non-Street Façade Transparency (%)	Minimum 20% Transparency	<u>West (Viewing Garden):</u> 1st Story: 18% 2nd Story: 29%	Admin. Departure Met
Non-Street Façade Blank Wall Limitations	Required	<i>None</i>	Met
3. Building Entrance			
Principal Entrance Location	Principal Frontage Street Façade of Building	<i>A Principal Entrance is provided on North High Street (PFS Façade)</i>	Met
Street Facades: Number of Entrances Required	1 per 75 ft. of façade minimum	Rock Cross Parkway: 2 Required, 1 Provided North High Street: 3 Required, 1 Provided North Street: 2 Required, 1 Provided	Waivers Approved by Council 4.24.17
Parking Lot Façade: Number of Entrances Required	1 per 100 ft. of façade, minimum	<i>N/A</i> <i>2 service entrances provided facing Parking Structure</i>	N/A
Mid-Building Pedestrianway	Not Required	<i>N/A</i>	N/A
4. Façade Divisions			
Vertical Increments Required	No greater than 60 ft.	<i>None Provided</i>	Waiver
Horizontal Façade Divisions Required (per ft. of façade)	On buildings 3 stories or taller, or where the maximum ground floor height is used; required within 3 feet of the top of the ground story	<i>The horizontal façade division is provided by material transitions between the 2nd and 3rd story.</i>	Met
Required Change in Roof Plane or Type	None	<i>N/A</i>	N/A
5. Façade Materials			
Permitted Primary Materials (types)	Brick, Stone, Glass	<i>Stone and Glass Proposed</i>	Met
Minimum Primary Façade Materials	80%	<u>North Elevation:</u> 72.4%	

153.062(O)(11) – Civic Building

Building Type Requirements	Code Requirement	Provided	Met?
		<ul style="list-style-type: none"> Stone: 28.6% Glass: 43.8% East Elevation: 59.2% <ul style="list-style-type: none"> Stone: 5.0% Glass: 54.2% South Elevation: 64.0% <ul style="list-style-type: none"> Stone: 14.2% Glass: 49.8% West Elevation: 53.2% <ul style="list-style-type: none"> Stone: 32.2% Glass: 21.0% 	Admin. Departure Waivers
Permitted Secondary Materials	Glass fiber reinforced gypsum, wood siding, fiber cement siding, metal and exterior architectural metal panels and cladding	<i>Architectural Metal Panels Proposed</i>	Met
6. Roof Types			
Roof Type(s) Permitted (types)	Parapet, Pitched roof, flat roof; other types permitted with approval	<i>Flat Roof Proposed</i>	Met
Tower	Permitted	<i>None Proposed</i>	N/A

153.064 – Open Space Types

Code Section	Requirement	Met?
	<ul style="list-style-type: none"> Analysis 	
(C) Provision of Open Space		
(4)	Civic	
	No open space is required for civic uses in civic building types, except as may be required by the landscape provisions of this chapter. <ul style="list-style-type: none"> A total of .48 acre of publicly accessible open space is proposed. It is comprised of a ±.14 acre Viewing Garden between the Library and the Parking Structure, a ±.17 acre Event Space at the southwest portion of the site, and a ±.17 acre Arrival Garden at the southeast portion of the site. 	(N/A)
(D) Suitability of Open Space		
(1)	The ART or required reviewing body shall determine the suitability of open space based on, but not limited to:	
(a)	The goals and objectives of the Community Plan and Parks and Recreation Master Plan	Met (N/A)

153.064 – Open Space Types		
Code Section	Requirement • <i>Analysis</i>	Met?
(b)	<p>Suitability of the space for active or passive recreational use or preservation of natural features;</p> <ul style="list-style-type: none"> <i>The proposed open spaces vary in character and function.</i> <i>The Event Space is principally an open hardscape area for gathering and pedestrian access between the Parking Structure and the Library.</i> <i>The Arrival Garden is a combination of planting areas, hardscape areas provided as steps and ramps providing access to and from High Street, and Signature Transitional Element Walls as entry amenities/public art.</i> <i>The Viewing Garden is primarily landscaped with sidewalks traversing the space, and it functions as a mid-block pedestrianway and informal seating area.</i> 	Met (N/A)
(c)	<p>The need for the specific type of open space and recreation in the Bridge Street District, particularly in the vicinity of the development taking into account the anticipated users;</p> <ul style="list-style-type: none"> <i>The proposed open space is integral to the flow of pedestrian activity to the library from the south and east and from the proposed parking structure to the west. As such, the primary users of the space are anticipated to be library patrons and other visitors to the area parking in the adjacent structure.</i> 	Met (N/A)
(d)	<p>The proximity or potential connectivity to other open space types.</p> <ul style="list-style-type: none"> <i>The proposed location creates a node along an open space corridor as part of the North High Street and North Street streetscapes.</i> 	Met (N/A)
(F) Open Space Types		
(1)	Pocket Plaza. Intended to provide a formal open space of relatively small scale to serve as an impromptu gathering space for civic, social, and commercial purposes. Designed as a well-defined refuge separate from the public sidewalk, possessing a greater amount of impervious coverage than other open space types. Seating areas are required, and special features such as fountains and public art are encouraged.	
(5)	Plaza. Intended to provide a formal open space of medium scale to serve as a gathering space for civic, social, and commercial purposes. Usually located in areas where land uses are more diverse and there is potential for a greater level of pedestrian activity. May have a greater amount of impervious coverage than any other open space type. Special features such as fountains and public art are encouraged.	
	<i>The Open Space provided is designated as a Pocket Plaza on the Civil Plans provided. However, based on its association with a civic use, size, proposed design, and the range of activities and pedestrian activity anticipated, it is more accurately defined as a Plaza open space type.</i>	
(G) General Requirements		
(1)	Size	
(a)	<p>Minimum/Maximum Acreage: .25 acre/1.0 acre</p> <ul style="list-style-type: none"> <i>Proposed: .48 acres</i> <p>Minimum Dimension: 60 feet</p> <ul style="list-style-type: none"> <i>Proposed: 187 ft.</i> 	Met (N/A)
(b)	<p>Proportion Requirement: not more than 3:1, length to width</p> <ul style="list-style-type: none"> <i>Proposed: 2:1 (282 ft.:187 ft.)</i> 	Met (N/A)

153.064 – Open Space Types		
Code Section	Requirement • <i>Analysis</i>	Met?
(2)	Access	
(a)	Minimum % of ROW Frontage Required: 30% along street/building. • <i>Proposed: 52% along ROW + Building</i>	Met (N/A)
(b)	Continuity: When open space abuts a parcel zoned BSD Public, pedestrian paths, sidewalks, cycletracks and multi-use paths shall connect to existing or planned paths or open space types. • <i>A sidewalk connection is proposed through this open space that will connect to a planned pedestrian and bicycle facilities to the north in a parcel zoned BSD Public.</i>	Met (N/A)
(3)	Districts Permitted	
(b)	Frontage Orientation of adjacent buildings preferred in relation to Open Space: Front or Corner • <i>Proposed: Corner Side (per property line designations)</i>	Met (N/A)
(4)	Improvements	
(c)	Site Furnishings: High quality, City-approved site furnishings are permitted and encouraged in all open spaces. • <i>Moveable café-style seating, chaise seating, bike racks, and seating walls are proposed.</i>	Met (N/A)
(d)	Public Art is highly encouraged as an amenity in all open space types: • <i>Two retaining walls and paving details are proposed that interpret the location/footprint and architecture of the former school building located on the site.</i>	Met (N/A)
(f)	Max. Impervious + Semi-Pervious Surface Permitted: Min. 40% Pervious required, Max. 80% + 10% • <i>Proposed: 59% Impervious + 0% Semi-Pervious</i>	Met (N/A)
(h)	Fencing and Walls: Walls shall not exceed 36 inches as measured from established grade. • <i>Several retaining walls and public art 'School Walls' are proposed of varying heights and exceed maximum height.</i>	Waiver

153.065 – Site Development Standards		
Code Section	Requirement • <i>Analysis</i>	Met?
(B) Parking and Loading		
(1)	General Provisions	
(b)	Parking Location	
2.	Off-Site Parking. Required off-street parking shall be provided either on-site, or in a parking structure or surface lot within 600 feet of the subject parcel.	
	A. Use of off-site parking to meet minimum parking requirements shall require an approved parking plan. • <i>Required parking is proposed off-site within in a Parking Structure (not part of this application).</i>	Parking Plan Approval

153.065 – Site Development Standards		
Code Section	Requirement • Analysis	Met?
	<p>C. If located off-site, distances to required parking areas shall be measured along a walkway from the nearest pedestrian entrance to the parking area to the main entrance of the building.</p> <ul style="list-style-type: none"> <i>The distance from the pedestrian entrance of the parking structure to a main library entrance is approximately 100 feet.</i> 	Met
3.	<p>On-Street Parking. On-street spaces may be counted toward meeting the minimum parking requirement, provided the spaces are on the same side of the street and within the lot lines of the parcel being served.</p> <ul style="list-style-type: none"> <i>3 parking spaces on North Street and 9 parking spaces on North High Street can be counted toward the minimum parking requirement.</i> 	
(2)	Required Vehicle Parking	
(a)	<p>Minimum Parking Required. Library Use requires 3.3 spaces per 1,000 s.f. of indoor gross floor area. Incidental Eating & Drinking (Accessory Use) is included in the parking calculation of for the Principal Use.</p> <ul style="list-style-type: none"> <i>45,560 square feet of Library Use proposed= 152 Spaces Required.</i> <i>200 Dedicated Spaces Provided within Parking Structure.</i> <p>Maximum Parking Permitted. Library Use may provide up to 125% of the Minimum Parking Required.</p> <ul style="list-style-type: none"> <i>45,560 square feet of Library Use proposed= 190 spaces are permitted.</i> 	Parking Plan Approval
(b)	<p>Adjustments to Required Vehicle Parking</p> <p>6. Demonstration of Parking Need. The required reviewing body may approve a parking plan for fewer than the minimum required parking spaces or more than the maximum based on a demonstration of parking need by the applicant.</p> <ul style="list-style-type: none"> <i>200 dedicated parking spaces are proposed within the proposed Parking Structure to the west (not part of this application).</i> <i>The maximum parking permitted is 190 spaces.</i> 	Parking Plan Approval
(c)	<p>Accessible Parking Spaces. Within the total number of off-street spaces provided, a minimum number of accessible parking spaces shall be provided consistent with Ohio Building Code.</p> <ul style="list-style-type: none"> <i>Based on the proposed provision of 200 spaces within the garage and 12 on-street parking spaces, 7 accessible parking spaces are required, of which 2 must be van-accessible spaces.</i> <i>Within the proposed Parking Structure, 12 accessible spaces are provided—3 of which are van accessible. One of the on-street spaces on North High Street is an accessible space.</i> 	Met
(3)	Required Bicycle Parking	
(a)	<p>Minimum Number of Bicycle Spaces Required. For civic/institutional uses, one space is required for every 20 vehicular spaces required.</p> <ul style="list-style-type: none"> <i>Based on 152 vehicular spaces required, 8 bicycle spaces are required.</i> <i>The Landscape Plans depict 10 bike racks provided at two locations, or 20 bicycle parking spaces. Additional sheltered bicycle parking is proposed within the Parking Structure in the Bike Hub.</i> 	Met

153.065 – Site Development Standards		
Code Section	Requirement • Analysis	Met?
(7)	Required Loading Spaces	
(a)	Applicability. Loading Spaces are required for uses contained within a principal structure with more than 25,000 gross square feet of floor area.	
(b)	1. Location. Off-street loading areas may only be located on areas of a lot that are not required to be occupied by a principal structure or accessory structure pursuant to 153.062(O). • <i>Loading areas for Civic Buildings are only permitted in the rear of the lot. The proposed off-street loading area is along a front property line.</i>	Waiver Approved by Council 4.24.17
(c)	Number Required. Number of loading spaces required is based on the gross floor area of the principal structure. • <i>Based on the gross building square footage of 45,560 g.s.f., one loading space is required. One loading space is proposed.</i>	Met
(d)	1. Design. All off-street loading spaces shall be at least 12 feet wide and 30 feet long with a height clearance of 14 feet. Unless required reviewing body determines that the dimensions can be reduces and still accommodate the typical delivery vehicle • <i>The proposed loading space dimension is 17 feet wide by 31 feet long, with no vertical height obstructions.</i>	Met
	2. Maneuvering. Truck loading and unloading areas shall be designed so that truck movements do not interfere with traffic on public streets. Loading areas requiring vehicles to back in from the street are prohibited on principal frontage streets, unless otherwise approved by City Engineer. • <i>The proposed loading area does not provide sufficient space for a typical vehicle to turn around internally. Vehicles will be required to back in to the loading area from the public street.</i>	Condition
(C) Stormwater Management		
	Stormwater Management is proposed via a Bio-Retention raingarden terraced along the east elevation of the Library and several trench drains throughout the site connected to the storm sewer system improvements as part of the roadway construction and improvements.	Met
(D) Landscaping and Tree Preservation		
(2)	General	
(b)	Each application for development shall include a landscape plan, and the siting of buildings shall avoid the removal of desirable trees in good or fair condition, where alternate building siting is available. • <i>An Existing Conditions Plan/Tree Survey and Landscape Plans have been provided.</i> • <i>Based on the required building setback and proposed roadway improvements, no existing trees could be preserved by and alternate building siting.</i>	Met
(c)	Protected trees shall be replaced in accordance with §153.146, except as provided by §153.065(D)(9) • <i>No Protected Trees are present on the Library site.</i>	Met

153.065 – Site Development Standards

Code Section	Requirement • <i>Analysis</i>	Met?
	<ul style="list-style-type: none"> Three Protected Trees are located in areas proposed as right-of-way for Rock Cress Parkway and Franklin Street. 	
(e)	<p>Landscape Plans shall exhibit diversity in tree selection, as determined by City Forester and Director of Parks & Open Space</p> <ul style="list-style-type: none"> The Landscape Plans specify Armstrong Red Maple (4), Common Hackberry (4), Elm Species (2), America Sycamore (4), Whitespire Birch (16), and Ginkgo (3) arranged in clusters of mixed species. 	Condition
(f)	<p>In all areas where landscaping is required, the surface area of the bed shall be predominantly covered within four years after installation by living materials, rather than by bark, mulch, gravel or non-living materials.</p> <ul style="list-style-type: none"> All landscape beds where double shredded hardwood mulch is proposed also include plant material. The proposed plant material will predominantly cover the bed within four years. 	Met
(7)	Foundation Planting	
(a)	<p>Building foundation landscaping is required along all sides of a building not otherwise occupied by entrances, sidewalk, parking or loading areas, or similar areas.</p> <ul style="list-style-type: none"> Foundation planting beds have been proposed in all required areas. 	Met
(b)	<p>Where foundation planting is required, at least one shrub shall be provided per each 10 linear feet of building façade or fraction thereof within a landscape bed or raised planter extending a minimum of 42 inches beyond the foundation.</p> <ul style="list-style-type: none"> All proposed foundation beds/planters meet the minimum size required. The proposed foundation plant palette consists of clustered plantings by species, several of which are not shrub forms (lack woody stems): <ul style="list-style-type: none"> Karl Foerester Feather Reed Grass (West Elevation) Boxwood (North Elevation at Transformer) Koreanspice Viburnum (North Elevation) Sedge (South Elevation Rain Garden) Liriope (Southeast Corner of Library). 	Met Waiver Condition
(11)	Alternate Landscaping	
	<p>In lieu of compliance with the specific requirements of §153.065(D)(3)-(9) an owner may propose alternative approaches consistent with the intent of §153.065(D)(2) to accommodate unique site conditions, abutting or surrounding uses, or other conditions, as deemed appropriate by the required reviewing body.</p>	Met
(E) Fences, Walls and Screening		
(1)	Fence and Wall Standards	
	<p>The provisions of this section are required for all fences, walls, and screening materials in the BSD zoning districts. Notwithstanding the provisions of this section, the provisions of 153.064(G)(4)(h) shall be met with respect to fencing and walls for open spaces.</p> <ul style="list-style-type: none"> A retaining wall is proposed along the east elevation of the Library which contains the bio-retention rain garden 	

153.065 – Site Development Standards		
Code Section	Requirement • Analysis	Met?
	<ul style="list-style-type: none"> • <i>Other retaining walls proposed within the Plaza are also intended as 'public art'</i> • <i>Several walls are proposed within the Plaza as elements of ramps and stairs.</i> • See Open Space Requirements for the walls proposed within the Plaza 	
(b)	Fence and Wall Height and Opacity	
	1. No fence or wall located between the principal structure on a lot and the front property line shall exceed four feet in height. These provisions apply to all street frontages on multiple frontage lots. <ul style="list-style-type: none"> • <i>A variable height wall is proposed between the Library and North High Street that exceeds maximum height.</i> 	Waiver
	2. No fence or wall located between the principal structure on a lot and the side or rear property line shall exceed six feet in height. <ul style="list-style-type: none"> • <i>Walls located between the Library and North Street are within the proposed Plaza.</i> • See Open Space Requirements for the walls proposed within the Plaza 	Waiver
(3)	Roof Mounted Mechanical Equipment	
(b)	All roof mounted mechanical equipment shall be fully screened from view at ground level on all side of the structure and to the extent practicable from adjacent buildings of similar height. <ul style="list-style-type: none"> • <i>The proposed flat roof includes a mechanical well along the west elevation in compliance with approved roof mounted mechanical screening methods (§153.065(E)(3)(b)1.A.).</i> • <i>Specifications for mechanical units have been provided.</i> 	Met
(3)	Screening	
(c)	Ground Mounted Mechanical Equipment	
1.	All ground mounted mechanical equipment shall be incorporated within the footprint of a principal structure or shall be fully screened from view on all sides by: <ol style="list-style-type: none"> A. Landscape material which provides a minimum 50% year round opacity B. A living wall or vertical garden covered with vegetation to provide a minimum 50% year-round opacity C. A decorative wall or fence that incorporates at least one of the primary materials and colors of the nearest wall of the principal structure. <ul style="list-style-type: none"> • <i>An AEP Transformer is proposed to the east of the Loading Dock/Refuse Enclosure at the north side of the Library. Little Leaf Boxwood shrubs are proposed to screen this unit, which may meet Screening Option A.</i> • <i>2 Switch Gear, the Parking Structure Transformer, and a Primary Electric Enclosure are proposed along North Street in a landscape bed. Little Leaf Boxwood shrubs are proposed to screen these units, which may meet Screening Option A.</i> 	Cond. Of Approval Waiver
4.	Utility boxes shall be oriented with access doors facing away from the street right-of-way to the maximum extent practicable. <ul style="list-style-type: none"> • <i>Based on the Landscape Plans, all access doors appear to face toward the North Street and Rock Cress Parkway rights-of-way.</i> 	Waiver

153.065 – Site Development Standards		
Code Section	Requirement • Analysis	Met?
(d)	Outdoor Waste and Storage Containers and Enclosures	
	<p>1. All waste, refuse and recycling containers shall be incorporated within the footprint of the principal structure to the maximum extent practicable. If impracticable, containers shall be screened from view on all sides by landscaping or a decorative wall finished to match the materials of the nearest wall of the principal structure and shall be fully opaque year round.</p> <ul style="list-style-type: none"> • A 10 yard front load dumpster is proposed within the Service/Trash/Loading Dock area on the north side of the building. • The proposed wall cladding is the stone façade material proposed elsewhere on the Library. 	Met
	<p>2. The wall or screen shall be at least one foot taller than the height of the waste or storage container being screened up to a maximum of 12 feet.</p> <ul style="list-style-type: none"> • Details provided show screening of dumpster. 	Met
(e)	<p>Off-Street loading areas shall be screened from view on all sides facing a street right-of-way or adjacent property, as practicable, by a decorative wall or fence between six and 12 feet in height as necessary to screen the area, and constructed and finished to match the materials and design of the nearest wall of the principal structure.</p> <ul style="list-style-type: none"> • The loading area is walled using the same stone façade material proposed elsewhere on the Library. • Wall height is shown meet requirements. 	Met
(3)	Access Doors	
(f)	<p>Access doors to screening structures shall be self-closing, and shall be constructed and coordinated with the materials and design of the nearest wall of the principal structure. Access doors shall remain closed when not being used.</p> <ul style="list-style-type: none"> • Proposed gate material and method of operation/self-closure is provided. 	Met
(F) Exterior Lighting		
(3)	Exemptions. The following types of lighting are exempt from the requirements of 153.065(F):	
(b)	<p>Pedestrian walkway ground lighting.</p> <ul style="list-style-type: none"> • Illuminated handrails are proposed at the steps in the southeast corner of the Plaza. 	Exempt
(4)	Fixture Power and Efficiency	
	<p>Maximum permitted initial lumens per square foot: 9.7 lumens per square foot Maximum lamp allowance: 44,000 lumens Minimum lumens per watt or energy consumed: 80 lumens per watt</p> <ul style="list-style-type: none"> • The exterior light specifications submitted do not provide the necessary information to determine if fixture power and efficiency is met for each fixture proposed. 	Condition Of Approval
(5)	Shielding	
(a)	<p>All exterior light sources and lamps that emit more than 900 lumens shall be concealed or shielded with an IESNA full cut-off style fixture with an angle not exceeding 90 degrees to minimize the potential for glare and unnecessary diffusion on adjacent property.</p>	Condition of Approval

153.065 – Site Development Standards		
Code Section	Requirement • Analysis	Met?
	<ul style="list-style-type: none"> Light poles proposed in the southwest portion of the plaza utilize 3 aimable floodlight heads per pole, each head contains a 1,000 lumen LED lamp, and are not full cut-off style fixtures and need to be revised. 	
(6)	<p>Lighting Uniformity. Lighting across a horizontal surface shall have an average range from one to three footcandles.</p> <ul style="list-style-type: none"> Several areas of the photometric plan are significantly below 1.0 footcandle. These are generally areas along the public right-of-way, and street light locations and photometric data have not been included, as required. 	Condition Of Approval
(8)	<p>Lighting Plans. Light plans submitted as part of Site Plan reviews shall include existing lighting from streets and adjacent buildings developed under these standards, and proposed lighting generated from light poles and building lighting.</p> <ul style="list-style-type: none"> Street lamps and lighting proposed as part of the Parking Structure Site Plan review, and North High Street/North Street/Rock Cress Parkway streetscapes must be included on the photometric plans submitted. 	Condition Of Approval
(G) Utility Undergrounding		
(1)	<p>In all BSD zoning districts, all utility lines shall be place underground</p> <ul style="list-style-type: none"> All utilities are proposed to be placed underground. 	Met
(2)	<p>All utility connections shall be kept to the rear or the side of the building, out of view or screened.</p> <ul style="list-style-type: none"> Natural gas and electric service enter the Library at the north elevation Koreanspice Viburnum (deciduous shrub) are proposed in the area of the gas meter, and Littleleaf Boxwood are proposed around the Transformer 	Met Condition
(3)	<p>Existing above-ground utility lines shall be required to be buried with the provision of new streets, or as otherwise required by the City Engineer.</p> <ul style="list-style-type: none"> All existing above ground utility lines are proposed to be buried. 	Met
(H) Signs		
	The Landscape Plans depict a Ground Sign location parallel to North Street toward the intersection with North High Street, but no sign details have been submitted.	Minor Project Approval Required
(I) Walkability Standards		
(2)	Walkability Objective: Connectivity	
(a)	<p>Mid-block Pedestrianways. Are required on all blocks exceeding 400 feet in length.</p> <ul style="list-style-type: none"> Block is 379.81 feet in length. 	N/A
(b)	<p>Mid-building Pedestrianways.</p> <ul style="list-style-type: none"> Not required on Civic Building Types. 	N/A
(4)	Walkability Objective: Comfort and Convenience	
(a)	RBZ Treatment: All areas between the front and corner side property lines and the back of the RBZ or setback not occupied by a building shall be treated with either a landscape, patio or streetscape treatment as required by building type.	Met

153.065 – Site Development Standards		
Code Section	Requirement • <i>Analysis</i>	Met?
	1. Where necessary to provide adequate sidewalk width in areas expected to have high volumes of pedestrian activity, a streetscape RBZ treatment may be required by the required reviewing body.	
	2. Building Entrances: A principal building entrance shall be on any principal frontage street or the front façade of the building. <ul style="list-style-type: none"> • <i>A Principal Entrance is provided on the east elevation of the building—the front façade.</i> 	Met



RECORD OF DETERMINATION

Administrative Review Team

Thursday, August 31, 2017

The Administrative Review Team made the following determinations at this meeting:

**2. BSD P - Columbus Metropolitan Library, Dublin Branch 75 N. High Street
17-088DP/SPR Development and Site Plan Reviews**

Proposal: Construction of a new 46,000-square-foot library and associated site improvements.

Location: Northwest of the intersection of North High Street and North Street.

Request: Review and recommendation of approval to City Council for a Development Plan and Site Plan Review under the provisions of the Zoning Code Section §153.066.

Applicant: Paula Miller, Columbus Metropolitan Library represented by Tracy Perry, NBBJ

Planning Contact: Jennifer M. Rauch, AICP, Planning Manager; (614) 410-4690, jrauch@dublin.oh.us

REQUEST 1: ADMINISTRATIVE DEPARTURES

1. Corner Side RBZ – §153.062(O)(12)(a)(1). Required: 15 feet along Rock Cress Parkway. Proposed: Building setback 14.49 foot.
2. Maximum Impervious Coverage – §153.062(O)(11)(a)(2). Required: 65% maximum coverage. Proposed: 68% coverage.
3. Non-Street Façade Transparency – §153.062(O)(11)(d)(2). Required: Minimum 20% transparency. Proposed: 18% at the first story on the west elevation.
4. Minimum Primary Materials – §153.062(O)(11)(d)(5). Required: 80% primary material. Proposed: 72.4 percent on the north façade.

Determination: The Administrative Departures were approved.

REQUEST 2: SITE PLAN WAIVERS

Request for an approval recommendation to City Council for 13 Development and Site Plan Waivers:

1. Story Articulation – §153.062(G). Required: Articulation required to delineate each story. Proposed: Glazing spaces vertically across first and second stories.



**2. BSD P - Columbus Metropolitan Library, Dublin Branch
17-088DP/SPR**

**75 N. High Street
Development and Site Plan Reviews**

2. Treatment at Terminal Vista - §153.062 (J). Required: Vertical element when a street terminates into a parcel. Proposed: None provided.
3. Street Façade Transparency – §153.062(O)(11)(d)(1). Required: Minimum 25% transparency. Proposed: 15% provided on Rock Cress Parkway.
4. Blank Wall Limitations – §153.062(O)(11)(d)(1). Required: Architectural elements required. Proposed: Blank wall at 1st story, west of the plaza entrance.
5. Vertical Increments – §153.062(O)(11)(d)(4). Required: No greater than 60 feet. Proposed: None provided.
6. Minimum Primary Materials – §153.062(O)(11)(d)(5). Required: 80% primary material. Proposed: 59.2 percent on the east façade, 64% on the south elevation, and 53.2 percent on west facade.
7. Fences and Walls – §153.064(G)(4)(h). Required: Wall height max is three feet. Proposed: Wall heights vary.
8. Fences and Walls – §153.065(E). Required: Wall height max is four feet. Proposed: Wall heights vary.
9. Ground Mounted Mechanical Equipment – §153.065(E)(3)(c). Required: Fully screened from view. Proposed: Partially screened.
10. Utility Boxes - §153.065(E)(4). Required: Access doors oriented internally. Proposed: Access doors oriented to public right-of-way.
11. Gateway – §153.063(D)(5)(c). Required: Provision of a gateway. Proposed: None provided.
12. Gateway – §153.063(D)(6)(d)(2)(G). Required: Provision of open space nodes at gateway location. Proposed: None provided.
13. Foundation Planting Requirements - §153.063(D)(7)(b). Required: Foundation plantings require one shrub per 10 lineal feet of building. Proposed: Variety of plant material is proposed in lieu of shrubs.

Determination: The 13 Development and Site Plan Waivers were recommended for approval to City Council as part of the Development and Site Plan Reviews.

REQUEST 3: DEVELOPMENT AND SITE PLAN REVIEW

Request for a recommendation of approval to City Council for Development and Site Plan Reviews with a Parking Plan with five conditions:

- 1) That all ground mounted mechanicals located along Rock Cress Parkway will be screened to meet Code;
- 2) That the applicant will provide final site photometrics for the site and final lighting details that meet the lighting requirements of the Code with the submission of a building permit;

2. **BSD P - Columbus Metropolitan Library, Dublin Branch** **75 N. High Street**
17-088DP/SPR **Development and Site Plan Reviews**

- 3) That the applicant continue to work with Engineering to ensure adequate space is provided in the loading area to minimize vehicle stacking into the right-of-way to the extent possible, subject to approval by the City Engineering;
- 4) That the applicant continue to work with Parks and Open Space to ensure the tree selection meets the diversity requirements; and
- 5) That the applicant revise the landscape plan to provide plant material that meets the foundation planting requirements, subject to approval by Parks and Open Space.

Determination: The Development and Site Plan Reviews were recommended for approval to City Council with five conditions.

STAFF CERTIFICATION

Vince Papsidero, FAICP
Planning Director

6. ~~§153.062(O)(6)(c) - Uses and Occupancy Requirements (requested: parking in ground story of D3) (required: parking within buildings permitted in rear of the first three floors or fully in any basement)~~
7. ~~§153.062(O)(6)(f) - Uses and Occupancy Requirements (requested: Parking on ground floor facing John Shields Parkway, Longshore Street, and Larimer Street for Building D3.) (required: Occupied space requirement a minimum of 30 feet depth facing streets)~~
8. ~~§153.062 (O)(5)(b)(5) - Buildable Area (requested: 90% for Building D4 and D5) (required: 80% maximum)~~
9. ~~§153.065(B)(5)(a)(1) - Entrance/Exit Lanes (requested: three exit lanes) (required: One exit lane shall be provided for each 200 spaces)~~

~~Ms. Burchett said approval is recommended to City Council for a Development Plan and Basic Plan Reviews with four conditions:~~

- ~~1) That the applicant record an easement for the encroachment of the bridges to the satisfaction of the City Engineer;~~
- ~~2) That the applicant revise the building plan to recess all entrances within 5-feet of the property line to meet the requirement of §153.062(O)(6)(3);~~
- ~~3) That the applicant file a conditional use application for the podium parking for buildings D3 and D5; and~~
- ~~4) That the applicant revise the building plan to ensure all door swing areas will not encroach into the public right-of-way to meet the requirement of §153.062(O)(5)(b)(4).~~

~~Ms. Burchett presented the overall open space for block D and stated the following:~~

- Based on the proposed square footage, 0.88 acres of publicly accessible open space is required with this application.
- A .20-acre segment of the John Shields Greenway is proposed on the north side of building D3.
- A .07-acre segment of the John Shields Greenway is proposed on the north side of building D2. This area coincides with a Gateway location as described and illustrated in the Scioto River Neighborhood Standards. The design of this open space will be developed in the future as the City explores design and functionality of the greenway space in its entirety.

Vince Papsidero asked if there were any questions or concerns regarding this application. [There were none.] He called for a vote, the motion carried, and the three Administrative Departures were approved by the ART. He called for a vote, the motion carried, and the nine Waivers were recommended for approval by the ART and forwarded on to City Council. He called for a vote, the motion carried, and the Development Plan and Basic Plan Reviews were recommended for approval to City Council with four conditions and would also be forwarded on to City Council for their meeting on September 11, 2017.

2. BSD P - Columbus Metropolitan Library, Dublin Branch **75 N. High Street**
17-088DP/SPR **Development and Site Plan Reviews**

Jennifer Rauch said this is a proposal for the construction of a new 46,000-square-foot library and associated site improvements located on the northwest corner of the intersection of North High Street and North Street. She said this is a request for a review and recommendation of approval to City Council for a Development Plan and Site Plan Review under the provisions of the Zoning Code Section 153.066.

Ms. Rauch reported the applicant had provided updated information to resolve the outstanding issues from last week's meeting. She presented the site plan and noted most of the updates made had to do with walls, screening the mechanicals and dumpster, and addressing the Auto Turn.

Ms. Rauch said there were four Administrative Departures:

1. Corner Side RBZ
2. Maximum Impervious Coverage
3. Non-Street Façade Transparency
4. Minimum Primary Materials

Ms. Rauch said there were 12 Waivers that were identified and explained at the previous ART meeting:

1. Story Articulation – 153.062(G).
2. Treatment at Terminal Vista - 153.062 (J).
3. Street Façade Transparency – 153.062(O)(11)(d)(1).
4. Blank Wall Limitations – 153.062(O)(11)(d)(1).
5. Vertical Increments – 153.062(O)(11)(d)(4).
6. Minimum Primary Materials – 153.062(O)(11)(d)(5).
7. Fences and Walls. 153.064(G)(4)(h).
8. Fences and Walls. 153.065(E).
9. Ground Mounted Mechanical Equipment – 153.065(E)(3)(c).
10. Utility Boxes - 153.065(E)(4).
11. Gateway – 153.063(D)(5)(c).
12. Gateway – 153.063(D)(6)(d)(2)(G).

Ms. Rauch said a Parking Plan as part of the Development Plan and Site Plan Review should all be recommended for approval to City Council with two conditions:

- 1) That all ground mounted mechanicals located along Rock Cross Parkway be screened to meet Code; and
- 2) That the applicant provide final site photometrics and final lighting details that meet the lighting requirements of the Code with the submission of a building permit submission.

With that being said, Ms. Rauch said she still had some concerns she wanted to discuss further. She said the loading area ground mechanicals are only showing screening on the back side. Because of the limit on space, she suggested either they try to screen and if not at that location, move location of the mechanicals on the west side.

Ms. Rauch said she still had lighting concerns as the fixtures still need to meet Code so that is why there is a condition of approval.

The ART discussed the Auto Turn data. Aaron Stanford confirmed the delivery trucks would need to back in to unload and pull forward to depart the site. He asked about how the gates then would be opened and closed because the driver then would have to leave the truck in the street during that time. He asked if there was enough room to pull off the street as to not block the street while opening and closing gate. He also inquired about stacking space as he would like to get the vehicle off the street. The applicant agreed to look into that further. Ms. Rauch said a condition would be added to ensure the applicant would continue to work with Engineering to minimize vehicle stacking into the right-of-way in the loading area.

Ray Harpham asked if there would be a similar issue at the dumpster.

Ms. Rauch said she had asked the Landscape Architect to review the tree selection for diversity. He was not in attendance so a condition would be added to ensure the applicant would continue to work with Parks and Recreation to meet the diversity requirements.

Ms. Rauch said the foundation plantings need to be altered to meet requirements because no shrub forms are on the plans. She said a condition would be added requesting the applicant to revise the landscape

plan to provide plant material that meets the foundation planting requirements and if they could not meet that condition, a Waiver was also added so the applicant could retain some of the plant materials but add some modifications. She explained the requirement is for one shrub per 10 lineal feet of the building for foundation plantings but the applicant is proposing a variety of plant material in lieu of shrubs.

Ms. Rauch said a Parking Plan would be included in the Development and Site Plan Reviews as all parking is off-site.

Ms. Rauch concluded approval is recommended for four Administrative Departures:

1. Corner Side RBZ – §153.062(O)(12)(a)(1). Required: 15 feet along Rock Cress Parkway. Proposed: Building setback 14.49 foot.
2. Maximum Impervious Coverage – §153.062(O)(11)(a)(2). Required: 65% maximum coverage. Proposed: 68% coverage.
3. Non-Street Façade Transparency – §153.062(O)(11)(d)(2). Required: Minimum 20% transparency. Proposed: 18% at the first story on the west elevation.
4. Minimum Primary Materials – §153.062(O)(11)(d)(5). Required: 80% primary material. Proposed: 72.4 percent on the north façade.

Ms. Rauch concluded approval is recommended to City Council for 13 Development and Site Plan Waivers:

1. Story Articulation – §153.062(G). Required: Articulation required to delineate each story. Proposed: Glazing spaces vertically across first and second stories.
2. Treatment at Terminal Vista - §153.062 (J). Required: Vertical element when a street terminates into a parcel. Proposed: None provided.
3. Street Façade Transparency – §153.062(O)(11)(d)(1). Required: Minimum 25% transparency. Proposed: 15% provided on Rock Cress Parkway.
4. Blank Wall Limitations – §153.062(O)(11)(d)(1). Required: Architectural elements required. Proposed: Blank wall at 1st story, west of the plaza entrance.
5. Vertical Increments – §153.062(O)(11)(d)(4). Required: No greater than 60 feet. Proposed: None provided.
6. Minimum Primary Materials – §153.062(O)(11)(d)(5). Required: 80% primary material. Proposed: 59.2 percent on the east façade, 64% on the south elevation, and 53.2 percent on west facade.
7. Fences and Walls – §153.064(G)(4)(h). Required: Wall height max is three feet. Proposed: Wall heights vary.
8. Fences and Walls – §153.065(E). Required: Wall height max is four feet. Proposed: Wall heights vary.
9. Ground Mounted Mechanical Equipment – §153.065(E)(3)(c). Required: Fully screened from view. Proposed: Partially screened.
10. Utility Boxes - §153.065(E)(4). Required: Access doors oriented internally. Proposed: Access doors oriented to public right-of-way.
11. Gateway – §153.063(D)(5)(c). Required: Provision of a gateway. Proposed: None provided.
12. Gateway – §153.063(D)(6)(d)(2)(G). Required: Provision of open space nodes at gateway location. Proposed: None provided.

13. Foundation Planting Requirements - §153.063(D)(7)(b). Required: Foundation plantings require one shrub per 10 lineal feet of building. Proposed: Variety of plant material is proposed in lieu of shrubs.

Ms. Rauch concluded approval is recommended to City Council for a Development Plan and Site Plan with five conditions:

- 1) That all ground mounted mechanicals located along Rock Cress Parkway will be screened to meet Code;
- 2) That the applicant will provide final site photometrics for the site and final lighting details that meet the lighting requirements of the Code with the submission of a building permit;
- 3) That the applicant continue to work with Engineering to ensure adequate space is provided in the loading area to minimize vehicle stacking into the right-of-way to the extent possible, subject to approval by the City Engineering;
- 4) That the applicant continue to work with Parks and Open Space to ensure the tree selection meets the diversity requirements; and
- 5) That the applicant revise the landscape plan to provide plant material that meets the foundation planting requirements, subject to approval by Parks and Open Space.

Vince Papsidero asked if there were any questions or concerns regarding this application. [There were none.] He called for a vote, the motion carried, and the four Administrative Departures were approved by the ART. He called for a vote, the motion carried, and the 13 Development Plan and Basic Plan Waivers were recommended for approval by the ART and forwarded on to City Council. He called for a vote, the motion carried, and the Parking Plan included in the Development Plan and Basic Plan Reviews all be recommended for approval to City Council with five conditions and would also be forwarded on to City Council for their meeting on September 11, 2017.

~~Mr. Harpham said if the applicant brings back the proposal with the lighting around the patio, he would not support it.~~

~~Mr. Bean said they would leave the white piping detail in for the ARB review. Ms. Martin noted the historic district awnings have all been a single color.~~

~~Mr. Bean explained the signs were added to the tenant space as to not mislead the ARB.~~

~~Vince Papsidero asked if there were any further questions or concerns regarding this application. [There were none.] He indicated the ART could make their recommendation to the Architectural Review Board at the meeting on September 21 to be forwarded to the Architectural Review Board for their meeting on September 27, 2017.~~

**4. BSD P - Columbus Metropolitan Library, Dublin Branch 75 N. High Street
17-088DP/SPR Development and Site Plan Reviews**

Jennifer Rauch said this is a proposal for the construction of a new 46,000-square-foot library and associated site improvements. She said the site is northwest of the intersection of North High Street and North Street. She said this is a request for a review and recommendation of approval to City Council for a Development Plan and Site Plan Review under the provisions of the Zoning Code Section 153.066.

Ms. Rauch presented the site plan with all the final details and noted it was similar to what was submitted for the Basic Plan Review with the following exceptions: signature transition element has been incorporated; loading area adjusted; open space reconfigured and yet there are still significant utilities to be located. She pointed out that the walls for the transition element, which is a replica of a school that was once on this site long ago and that the walkway from the public into the event space is the same.

Ms. Rauch said she had **19 outstanding topics to be discussed:**

1. **Bicycle parking** - Tracy Perry, NBBJ, said bike parking is located in the southeast corner of the plaza area south of the ramp from N. High Street, which includes seven double-sided racks that allows for 14 bikes to be parked there.
2. **Curb radii** – at 32 feet when 25 feet is required - Aaron Stanford said that would be fine.
3. **Building Access Zone** – 40 feet is required - Mr. Stanford said that was also okay.
4. **Gateway** – at the northeast corner of N. High Street and Rock Cress Parkway – Ms. Rauch asked if a gateway element is needed and if there was an opportunity for a gateway. Mr. Papsidero asked if the building could serve that purpose to which Ms. Rauch said she would investigate.
5. **Open Space Node** – the open space at N. High Street and Rock Cress Parkway - Ms. Rauch asked if this area is related to the gateway and could be met by the proposed design. Mr. Papsidero determined this open space meets the intent.
6. **Architectural Appropriateness** – Ms. Rauch noted the windows in the masonry wall are required to provide lintels.
7. **Parking Plan** – Ms. Rauch stated this will be required as all parking is technically provided off-site.
8. **Walls** – Ms. Rauch said the walls are not to exceed three feet in height but no details have been provided. Ms. Perry answered she would provide that information.

9. **Loading Zone Maneuver** – Mr. Stanford requested an Auto Turn Exhibit.
10. **Landscape Plans** – Ms. Rauch asked if the plant material was appropriate and if there was enough diversity of trees. Shawn Krawetzki asked if the sloped planter would contain any evergreens. Ms. Perry said library grounds are hard on plants as foot traffic and salt are the issues. She said they have learned they really need to use hardy grasses and barberry. Mr. Krawetzki encouraged other evergreens be used as well that are salt tolerant and to use evergreens wherever they can so there is foliage year round. Ms. Perry pointed out there is a variety of different garden areas. As an example, she said they intend to use a historic planting configuration by the school element. Ms. Rauch asked Mr. Krawetzki to review the detailed landscape plans for her.
11. **Foundation Plantings** – Ms. Rauch noted there are several species that are not shrubs and need to be revised.
12. **Roof-mounted mechanicals** – Ms. Rauch said no information on mechanical units have been provided to ensure screening requirements are met. Ms. Perry said there was a fence for exhaust and would provide an exhibit.
13. **Ground-mounted mechanicals** – Ms. Rauch said no information on a planting plan has been provided to ensure screening requirements are met. Donna Goss inquired about alternative locations for transformers. Mr. Stanford reported the City had looked at a number of options and settled with this location but some locations were dictated by AEP. He indicated other places considered were worse. Ms. Rauch inquired about the Utility box. Ms. Perry said she cannot provide screens on all sides as the utility companies will need access to the door. Mr. Stanford said AEP has restrictions as well. Ms. Rauch said she wanted to know how the door would swing as orientation has to be away from the right-of-way for any door opening. Ms. Perry said all the mechanicals are located in a well at the backside of the property and stated she would provide an exhibit to reflect same.
15. **Dumpster Screening** - Ms. Rauch said no information has been provided to ensure screening meets the height requirements of the dumpster. She said she would need the top of wall detail, the materials proposed, and evidence that the enclosure will be self-closing.
16. **Loading Area** – Ms. Rauch said a 6 to 12-foot high wall is required and no top of wall information has been provided.
17. **Access Doors** – Ms. Rauch noted she needs more information on the gate closure and materials.
18. **Lighting** – Ms. Rauch said lighting needs uniformity. Ms. Perry stated she would rectify that.
19. **RBZ treatment** – Ms. Rauch stated the applicant needs to show the RBZ streetscape is meeting the intent by providing more details. Ms. Perry indicated she could demonstrate that.

Ms. Rauch had identified three Administrative Departures:

1. Corner Side Setback – 15 feet required, 14.49 feet provided along Rock Cress Parkway.
2. Lot Coverage – 65% permitted, 68% provided.
3. Minimum Primary Materials – 80% required, 72.4% provided on Rock Cress Parkway.

Ms. Rauch had identified the following eight Waivers:

Landscape

1. \$153.062(J) - Terminal Vista – needed because adding landscaping would be too much.

2. §153.065(D)(7)(b) - Foundation Planting Requirements – needed if the plant material is not switched out as several are not shrubs.

Architecture

3. §153.062(G) - Story Articulation — Vertical glazing across the 1st and 2nd floors.
4. §153.062(O)(11)(d)(1) - Transparency — 25% minimum, 15% provided on the 1st story along Rock Cress Parkway.
5. §153.062(O)(11)(d)(2) - Non Street Transparency – 20% minimum, 18% provided on the 1st floor - west side. Ms. Rauch noted primary materials would be less but this is covered with the Administrative Departure. Windows and masonry elevations need lintel details she said.
6. §153.062(O)(11)(d)(1) - Blank Wall Limitations — No greater than 15 feet, 1st story - south elevation is not met.
7. §153.062(O)(11)(d)(4) - Vertical Increments — No greater than 60 feet, none provided.
8. §153.062(O)(11)(d)(5) - Minimum Primary Materials — 80% required, 59.2% (east), 64% (south), and 53.2% (west) provided.

Ms. Perry said she did a reflective study for the underside of the soffit on the front façade and decided on a brushed finish, which is still reflective but not as much. She explained this is a safer and more conservative approach. She said they also have glass specifications now.

Mr. Papsidero asked if there were any further questions or concerns regarding this application. [There were none.] He stated the ART would make their recommendation to City Council at the meeting on August 31 to be forwarded to City Council for their meeting on September 11, 2017.

ADJOURNMENT

Vince Papsidero asked if there were any additional administrative issues or other items for discussion. [There were none.] He adjourned the meeting at 3:13 pm.

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Item

July 31, 2017

CALL TO ORDER

Mayor Peterson called the Monday, July 31, 2017 Regular Meeting of Dublin City Council to order at 6:30 p.m. in Council Chambers at Dublin City Hall.

ROLL CALL

Present were Mayor Peterson, Vice Mayor Reiner, Ms. Alutto, Mr. Keenan, Ms. Amorose Groomes and Mr. Lecklider. (Ms. Salay arrived later and joined the executive session in progress.)

Staff members present were Mr. McDaniel, Ms. Crandall, Ms. Readler, Ms. Mumma, Ms. O'Callaghan, Ms. Goss, Mr. Earman, Chief von Eckartsberg, Mr. Rogers, Ms. Willis, Ms. Burness, Ms. Richison and Mr. Plouck.

ADJOURNMENT TO EXECUTIVE SESSION

Mayor Peterson moved to adjourn to executive session for the purpose of discussing land acquisition matters and for conferences with an attorney for the public body concerning disputes involving the public body that are the subject of pending or imminent court action.

Vice Mayor Reiner seconded the motion.

Vote on the motion: Mr. Lecklider, yes; Vice Mayor Reiner, yes; Mayor Peterson, yes; Mr. Keenan, yes; Ms. Alutto, yes. Ms. Salay arrived and joined the executive session in progress.

The meeting was reconvened at 7:04 p.m.

PLEDGE OF ALLEGIANCE

Vice Mayor Reiner led the Pledge of Allegiance.

SPECIAL PRESENTATIONS

Cricket Championship

Madhukar Marahani, representing the Dublin Cricket Club thanked the City for allowing them to use the Dublin field and build upon this sport in Ohio. Currently, there are 40 teams who compete in the Midwest Cricket Championship. This year, the team from Dublin won the Championship.

Mayor Peterson read a proclamation in support of the sport of Cricket in Dublin and presented it to the team. [A photo was taken of City Council members and the team.]

Transition Element (Library) Design Presentation

Mr. Papsidero stated that there are three options proposed for this design element. Council established an Advisory Committee to engage with the library, staff, the design team and the public to determine what would be the most appropriate transitional element for the library. The Committee has met six times, and two of those meetings have been opportunities for public input. The Committee is bringing three options to Council for feedback so that a final recommendation can be prepared. Mr. Papsidero introduced Tony Murry, Landscape Architect with NBBJ to present the options.

Mr. Murry provided a brief overview of what has taken place in the process since the design team first began its work on May 12. The team has settled on a theme and would like to show Council three variations of that theme, including: relics as transition, public artifact as transition and trace as transition.

In current design, not much has changed in that the library is still pushed to the north, open space to the south and the plaza generates a lot of circulation from the garage to the library. The plaza is a crossroads with a good deal of pedestrian circulation in a large flexible open space. The committee believes that this is the best place for the

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transitional element to live. It is the best location in terms of the most visibility from many different audiences walking the site. The plaza is an open space, but there is a lot going on in terms of ADA access that must be maintained, the grade change managed, signage needs, transformer elements and the tree canopy contributing to the urban fabric. The Committee explored this space in terms of three themes: chronology, perspective and mapping. The idea that resonated with everyone the most was the idea of mapping. The feedback consisted of the following priority principles:

- Strong interest in natural elements;
- Appeal for the ages;
- Visual buffer to the library;
- Others stated it should not be a buffer;
- Stories through time;
- Geographic space – it should be open ended;
- Less abstract – directly about history; and
- A great deal of interest in the historic school building that was on the site.

The historic school building was a recurring theme that the Committee wanted to explore as an authentic connection to a real historic asset.

Mr. Murry provided a presentation illustrating the thinking on the variations of transition as follows:

- Relics as transition: this thought centers around bringing back the actual walls from the historic school where they formerly existed. Using arches and windows as you walk up a ramp or stairs, you would walk through the historic school.
- Public artifact as transition: this thought questions whether public art can be a transition. The Committee believes it can.
- Trace as transition: the idea of discovery and learning, but in a subtle way such as tracing the outline of the old school in the plaza. The idea is knowledge and learning is about discovery and curiosity.

Mr. Murry summarized the next steps. They will take Council's feedback tonight, incorporate it into the information and submit their recommendation for final approval at the August 28 City Council Meeting.

Rick Gerber, Committee member, 109 S. High Street, stated that they do not have the final design yet, but have these final concepts for which they are seeking Council's feedback.

Ms. Alutto asked how the outline of the old school would be marked at the site.

Mr. Murry responded that there would be some type of signage to tell the story.

Ms. Amorose Groomes thanked the Committee for their work and stated that these are all good concepts.

Mr. Keenan mentioned a similar project at Homestead Park where the area was marked as it looked in 1900 at the back end of the park. He commented that all of the concepts are very impressive.

Mr. Lecklider thanked everyone for their contribution on this. There is a great cross section of individuals on this committee with great perspective, and he trusts in their wisdom. The overarching element is the outline of the school. He is pleased with the options presented.

Vice Mayor Reiner stated that because he knows those serving on this committee, the project is in good hands. He thanked them for bringing the history element into the project.

Mayor Peterson agreed that this is a fantastic place from which to draw inspiration and imagination of community and its history.

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Ms. Salay thanked the committee members for their contribution. She stated that the design in the floor -- if that is the only remembrance -- may be too subtle. She likes all of the design concepts.

AEP Follow up re. Electric System Upgrades for West Innovation District

Ms. O'Callaghan stated that during the June 26 City Council meeting, AEP representatives provided an overview of their plans to improve the electrical system in Dublin's West Innovation District. AEP representatives held an open house on July 11 and are present tonight to share the public input that was received at that meeting. Ms. O'Callaghan attended the July 11 open house as well and felt it was well done in terms of communication outreach and the information provided. Ms. O'Callaghan introduced Ron Howard, Transmission Line Siting Specialist with AEP and Mike Fackler, Project Manager.

Mr. Fackler provided a recap of what was presented at the June 26 City Council meeting. The increasing need for more power in Dublin requires electrical transmission infrastructure improvements. The benefits to this project would be increase of reliability to customers by adding an additional source in the Dublin station and meeting the needs to facilitate future economic development. There were four options evaluated. The best solution is to build steel, single pole structures of 90 feet tall and 100-foot right-of-way and upgrade two substations. Mr. Fackler illustrated the proposed line segments on a presentation to Council. A request City Council had at their June 26 meeting was to be able to visualize the proposal. Mr. Fackler provided a visual illustration of the proposed poles.

Mr. Howard summarized the public participation process. There was a meeting on July 11 and 600 people were invited. There were approximately 40 in attendance and feedback was received at the open house, via phone call and through e-mails. There were 25 comments received. They can be summarized as:

- Concern with visual impacts of steel poles;
- Suggestion to keep the line as far north as possible;
- Consideration be given to underground line placement;
- Concern with number of and spacing of power poles;
- Potential impacts to other development projects in the City; and
- Questions about property value impacts.

He noted that the next steps consist of right-of-way agents engaging landowners for permission to survey properties along the proposed area; ecological (wetland) and cultural surveys are in process. AEP Ohio will evaluate proposed line routes based on survey results and comments and continue coordination with stakeholders. The goal is to submit regulatory filing to the Ohio Power Siting Board by the end of August. He provided contact information for Erin Miller, the outreach representative.

Ms. Salay asked if the public comment influenced changes to what was previously reviewed by Council.

Mr. Brett Schmied (AEP Outreach Specialist) stated that there were no significant changes.

In response to Ms. Salay, Mr. Schmied stated that the line route will be completed by the end of August and notifications will take place; at that point, notifications to landowners and the City leadership will occur.

In response to Ms. Salay's question regarding when construction of the structures will begin, Mr. Fackler stated that the fall of 2018 is a fair estimate of when structures will begin to be replaced.

Mr. Lecklider asked if AEP engaged Traditions of America in this process.

Mr. Schmied responded that they have met with Traditions of America and are taking their comments and requests into account.

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INTRODUCTION/PUBLIC HEARING/VOTE – RESOLUTIONS

Resolution 38-17

Establishing the Citizens Advisory Committee, Which Shall Provide a Recommendation for a Transitional Design Element at the New Dublin Branch of the Columbus Metropolitan Library.

Mr. Lecklider introduced the resolution.

Mr. McDaniel stated that at the April 24, 2017 meeting, Dublin City Council approved the Basic Plan for the proposed Dublin branch of the Columbus Metropolitan Library (CML) with the following condition:

"The applicant and the City engage in a collaborative, committee-based process to define a transitional design element that is integrated within the Library's public space, which will be reviewed and approved by City Council with the Site Plan Review application."

This condition was a result of various discussions that occurred during the design review process that suggested this project include a transitional element to be incorporated into the civic and/or plaza space to the south of the new library building.

The CML and the City desire that an Advisory Committee of civic leaders be established to assist with and help inform the final recommended transitional element for this project. The Advisory Committee will need to work in an expeditious fashion in order to ensure that the recommended transitional element is concurrently reviewed and approved by Council with the final approvals for the overall library and garage projects.

The community-based committee will be limited to five persons, who would join with two CML representatives (CEO Patrick Losinski and Alison Circle, Chief Customer Experience Officer) in undertaking this task. These five proposed appointees are Dublin individuals with backgrounds in/representatives of public art (Dublin Arts Council), Dublin Historical Society, Historic District Business Association, Architectural Review Board, and Planning and Zoning Commission. The library design team (NBBJ) will lead the design and planning effort, with support from City staff. Based upon these considerations, the preliminarily identified committee members are:

- Chair of the Planning and Zoning Commission
- Chair of the Architectural Review Board
- Dublin Historical Society President
- Historic District Business Association President
- Dublin Arts Council Executive Director

NBBJ will serve as the lead design team and facilitator for this project. NBBJ will consult with Moody-Nolan to ensure integration with the parking garage design, as well as MKSK to ensure the element(s) relates appropriately to the planning and design of the adjacent City streetscape and public realm.

Vote on the Resolution: Mr. Keenan, yes; Ms. Amorose Groomes, yes; Vice Mayor Reiner, yes; Mr. Lecklider, yes; Ms. Alutto, yes; Mayor Peterson, yes; Ms. Salay, yes.

Mayor Peterson moved to appoint the following individuals to this Committee: David Gulon, Executive Director of the Dublin Arts Council; Victoria Newell, Chair of the Planning and Zoning Commission; David Rinaldi, Chair of the Architectural Review Board; Tom Holton, President of the Dublin Historical Society; and Rick Gerber, President of the Historic District Business Association.

Ms. Alutto seconded the motion.

Vote on the motion: Mr. Keenan, yes; Vice Mayor Reiner, yes; Mayor Peterson, yes; Ms. Salay, yes; Ms. Alutto, yes; Mr. Lecklider, yes; Ms. Amorose Groomes, yes.

Mayor Peterson moved to waive the Rules of Order and consider Resolutions 39-17 and 40-17 together.

Mr. Keenan seconded the motion.

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Vote on the Motion: Mayor Peterson, yes; Ms. Salay, yes; Mr. Lecklider, yes; Ms. Amorose Groomes, yes; Vice Mayor Reiner, yes; Ms. Alutto, yes; and Mr. Keenan, yes.

Resolution 39-17

Adopting a Statement of Services for a Proposed Annexation of 2.9 Acres, More or Less, from Washington Township, Franklin County to the City of Dublin. (Aaron L. Underhill, Esq. and/or David Hodge, Esq., Underhill & Hodge LLC, Agent for Petitioners. Walter L. Shier, Mary Ann Sorden, Robert E. Shier and Mark A. Shier)

Resolution 40-17

Adopting a Statement Regarding Possible Incompatible Land Uses and Zoning Buffer For a Proposed Annexation of 2.9 Acres, More or Less, from Washington Township, Franklin County to the City Of Dublin, Ohio as Required by Section 709.023(C) of the Ohio Revised Code.

Mr. Lecklider introduced the Resolutions.

Ms. Readler stated that on April 26, 2017, Aaron Underhill and David Hodge, Attorney/Agent for Petitioners, filed an annexation petition with the Franklin County Commissioners. The petition is for 2.9 acres, more or less. This property is part of a larger residential development currently being planned by Kaufman Development. The development proposal has been viewed informally twice by Planning and Zoning Commission and was viewed favorably. The petition was filed as an Expedited Type II annexation petition. Under this process the City must first, within 20 days after the petition is filed, adopt an ordinance or resolution relating to municipal services. Then, the City must adopt an ordinance or resolution relating to land uses and zoning buffers, if the territory proposed to be annexed is currently subject to either county or township zoning.

The Franklin County Commissioners will grant the proposed annexation, without a hearing, if neither the municipality nor the township object to the annexation by ordinance or resolution within 25 days of the petition being filed. If neither the municipality nor the township object, the Commissioners must grant the proposed annexation without hearing, if certain criteria in R.C. 709.023 have been established.

Staff recommends approval of Resolutions 39-17 and 40-17.

Vote on Resolutions 39-17 and 40-17: Ms. Salay, yes; Mayor Peterson, yes; Ms. Amorose Groomes, yes; Mr. Lecklider, yes; Ms. Alutto, yes; Mr. Keenan, yes; Vice Mayor Reiner, yes.

OTHER

Request for Waivers related to Tantrum Theater – Ohio University

Ms. Crandall stated that Tantrum Theater is set to begin their second season in Abbey Theater. Similar to last year, they are requesting two waivers – one relating to the serving of alcohol and the second related to the extension of Dublin Community Recreation Center (DCRC) rental hours to accommodate evening rehearsals and performances.

The first waiver would allow for alcohol to be served in the theater lobby, the lobby area adjacent to the theater and in the second floor open area following the opening night performance of each of the three shows.

The second waiver request is for Ohio University to rent the Abbey Theater up to midnight, seven days/week, as needed and communicated with City staff in order to accommodate rehearsal and performance times.

Rachel Cornish, Director of External Relations for OU's College of Fine Arts briefed Council on the three different shows in the upcoming Tantrum Theater season. There are 130 members in their company this season and they operate with a budget of about \$1.3 million.

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- **Ordinance 24-17 (Introduction/first reading)**
Amending the Dublin Codified Ordinances to Prohibit the Sale or Other Distribution of Cigarettes, Other Tobacco Products, or Alternative Nicotine Products to Persons Under 21 Years Old. (Second reading/public hearing May 8 Council meeting)
- **Resolution 23-17 (Introduction/public hearing/vote)**
Accepting the Lowest/Best Bid for the Avery/Brand Roundabout Project.
- **Resolution 24-17 (Introduction/public hearing/vote)**
Accepting the Lowest and Best Bid for the 2017 Street Maintenance Program.
- **Resolution 25-17 (Introduction/public hearing/vote)**
Accepting the Lowest/Best Bid for the Frantz/Bradenton Traffic Signal Upgrade.

TABLED ITEMS SCHEDULED FOR HEARING

- Basic Plan Review - Columbus Metropolitan Library, Dublin Branch (Case 17-002ARB-BPR)

Ms. Rauch presented an overview of the timeline for this project:

- On January 10, 2017, the Columbus Metropolitan Library Dublin Branch and Garage previews were introduced to Council. Subsequently, a zoning application – basic plan submission – was made to staff and an informal review was conducted by the Architectural Review Board.
- In February 2017, staff and the Administrative Review Team and design group reviews occurred.
- On March 6, 2017, more detail was provided at City Council's work session.
- On March 9, the Administrative Review Team conducted its review and provided recommendations.
- Public comments on the proposed plans were taken at the March 13 and March 20 Council meetings. Basic Plan applications were tabled by City Council.
- The Basic Plan reviews were rescheduled to the Council meeting of April 24.

The overall review process:

- Because these projects include a development agreement, an optional informal review by ARB was conducted.
- Basic Plan review and approval by City Council, including approval of the waivers requested by the applicant and designation of the required reviewing body.
- Final site plan with details was reviewed by the designated reviewing body.

The current site proposal provides for a 45,560 square foot library in the northeast corner of the site, on the west side of North High Street, between North Street and future Rock Cress. A public plaza area would be located between the library and North Street, and a viewing garden would be located between the proposed library and the proposed parking garage.

The ART recommended approval of the application with eight conditions and eight waivers. As the Site Plan details are developed, there could be additional waivers. At this point, ART recommends approval of the following eight waivers:

1. §153.060(C)(5)(a): Block Access Limitations– No vehicular access permitted on Principal Frontage Street (Rock Cress Parkway) required; Vehicular access provided at northwest corner for service area (requested).
2. §153.061(D)(2): Vehicular Access – No vehicular access permitted on Principal Frontage Street (Rock Cress Parkway) required; Vehicular access provided at northwest corner for service area (requested).

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BARRETT BROTHERS - DARTMOUTH, OHIO

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3. §153.060(C)(2)(a): Maximum Block Size – Permitted Maximum Block Length: 300 feet. North Street: 379 feet (requested); Permitted Maximum Block Perimeter: 1,000 feet; 1,308 feet (requested).
4. §153.062(O)(11)(a): Loading Facility – Loading facilities are to be located to the rear of a principal structure (required); Loading area at the corner side façade along a Principal Frontage Street (requested).
5. §153.063(D)(4)(b): Building Height – Building height limited to 2.5 stories adjacent to the Historic Core District (required); 3 stories at the northeast corner of the building (requested).
6. §153.062(O)(11)(b): Story Height – Ground Story maximum is 24 feet (required); 28.5 feet at the northeast corner of the building (requested).
7. §153.062(O)(11)(a): Front Setback –15 feet required along N. High Street. Proposal: 5 feet is shown at the northwest corner of the building.
8. §153.062(O)(11)(d): Building Type - Street Facades: Number of Entrances Required – 1 per 75 feet of façade for buildings. Rock Cress: 2, 1 provided; North High Street: 3, 1 provided; and North Street: 2, 1 provided.

ART recommends approval of the following eight conditions:

1. That the applicant file a Demolition request, prior to the approval of the Site Plan;
2. That the applicant investigate the use of stone in lieu of brick on the lower portions of the building;
3. That the applicant continue to refine the architectural details and Building Type requirements, as part of the Site Plan;
4. That the applicant update the required parking information and submit a Parking Plan with the Site Plan;
5. That the open space, gateway, and terminal vista details be addressed with the Site Plan;
6. That the applicant provide the final details regarding landscaping, lighting, utilities, and stormwater with the Site Plan; and
7. That the design not require the construction of Darby Street between North Street and Rock Cress Parkway as reflected on the Street Network Map and for staff to update the Street Network Map accordingly.
8. The applicant and the City engage in a collaborative, committee-based process to define a transitional design element that is integrated within the Library's public space, which will be reviewed and approved by City Council with the Site Plan.

Also requested is Council determination of the required reviewing body for future Development Plan Review and Site Plan Review applications (City Council, ARB or ART)

Tim Frommeyer, President, Board of Trustees, Columbus Metropolitan Library, stated that he and his wife have been Dublin residents for 27 years. They have four children, who enjoy participating in Library programs. The Dublin Library and its staff are outstanding. The Library Board of Trustees and leadership have been excited about this project. The Columbus Metropolitan Library is in the second half of its program to fully renovate 10 of its 23 library branches. To support this program and vision, it was necessary to raise \$135 million. This was accomplished by issuing financing notes and by soliciting funds from the public. Their program expanded the square footage, adds

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community space and meeting rooms, expanded computer and internet access and provided training programs for children, teens and adults. They have built these libraries considering today's demographics and how they will change in the future. The communities -- its leaders and customers -- have fully supported their united efforts. Their libraries and the library leadership have received local, national and international recognition and awards. Dublin is one of their signature projects. They recognize the passion of the Dublin community. This project is necessarily very complex. Their engagement and partnership with the City at each step has been very active and participative. The project is now at the point of moving forward so that certainty of timing, scope and cost can be established. Their request tonight is that City Council approve the Basic Plan. This library will be a civic highlight for Dublin residents today and in the future.

Pat Losinski, CEO, Columbus Metropolitan Library stated that Columbus Metropolitan, among all urban libraries in the nation, been designated the #1 Library three times in a decade, and is the only urban library to receive five star rating for the first seven years in their trade publication, Library Journal. In 2010, they were the National Library of the Year, and in 2011, the Library received the national medal from the Institute for Museum and Library Service. That is an asset to the community, as they recognize the caliber of their library system, which is the result of the great support they have enjoyed for many years. This August, they were able to host the World Library Information Congress. The nine guiding principles of the Library have provided guidance throughout the design and master planning process, which began in 2008 and included representatives of Dublin. [Showed slide presentation of the proposed new Dublin Library branch.]

Mr. Losinski stated:

- They have heard feedback that the new library is imposing from the northeast corner. They want to recognize the significant grade change and the importance of having an access point in the northeast corner, which will greet residents who come over from the pedestrian bridge.
- In response to Council's request, the height of the building has been lowered three feet, and it is in line with the other buildings on the same side of High Street.
- Also discussed was the possibility of transitioning from the originally proposed brick to a stone base material.
- They have also been looking at transition materials for the sidewalk, particularly the plaza area.
- A historical transition element will also be added.
- Ten days ago, they were notified that the American Institute of Architects and the American Library Association had announced their seven award-winning libraries for 2017, one of which was the Columbus Metropolitan Whitehall branch. [Showed images of the seven award-winning libraries.] He noted that a renovation to the east side of the main library downtown has been completed -- moving from three stories of concrete to three stories of glass. Libraries are moving from housing collections only to making important connections, and Columbus Metropolitan has the ability to do just that in Dublin.
- Tonight is the Basic Plan review of the Library. Fund-raising conversations are beginning, and design completion is anticipated in the summer of 2017. They are actively seeking a temporary location for the library, which will be maintained during construction. If the Basic Plan were approved tonight, construction would begin in November 2017 with an opening of the new library in 2019. Construction would be coordinated with the joint effort for construction of the parking structure, which is a great example of two public entities partnering to accomplish much more than either could do alone to serve the community.
- The City of Dublin seal displayed on Council Chambers wall states, "Where yesterday meets tomorrow." They believe their library represents tomorrow.

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A.J. Montero, NBBJ partner, highlighted a few specific features that have been discussed recently.

- There have been some adjustments to the design. The design challenge has been moving from the existing library building on a larger site to a larger building on a smaller site. Libraries today are less about the assets, although books are still vital. Libraries are also about collaboration and team learning. This library will be both a place for books and a place for people. Moving from an introverted to an extroverted building was the goal. Libraries have always been ahead of the curve, not only in seeking knowledge but also in how that knowledge and interaction is contained. Early on, NBBJ tried to pair the Library's guiding principles and the City of Dublin's aspirations for the Library. Dublin has a revered past but also a compelling future. This library attempts to be a part of both.
- They have heard feedback that the Library should seek to be more responsive to the context; that it should use materials that exist in close proximity. The changes made to the design recognize those important factors. The surroundings to this site have beauty, character, materiality and a landscape befitting this library, as well. It is impossible to mimic those elements in quaint, smaller buildings in this large facility, but they desired to appropriate some of those elements into this design. They are investigating all those elements in terms of materiality. A stone base will be in keeping with the character of the original design and they will work with the City to determine exactly what that stone masonry material might be.
- There should be more understanding that the Library is a transition point, not a total break from old to new. The library is literally a transition point from the older neighborhoods and their materials. Through landscaping and the placement of the building, the Library will be the perfect launch point to the new development in the area. In fact, the Library is closer to some of the new development. The plaza area to the south of the Library would be the best area in which to incorporate an historical element, as a transition from north to south occurs in that plaza.
- Add a signature historical transition element. They look forward to collaborating with the City in this attempt to establish a strong visual connection or transition between Dublin's historical identity and its dynamic future. That collaborative process would include Council, other members of City government and the public.

The Mayor invited public testimony.

Kris Hickey, 6872 Gullway Bay Drive, Dublin, OH 43017 shared her thoughts on the design of the new building.

1. Historic Dublin has deep meaning to her and her family. Her mother taught at Indian Run Elementary for more than 30 years. When she and her sister helped her in the classroom, they would be rewarded with a trip to Biddies. When Biddie's closed its doors for good, that was painful for her. Therefore, she can understand that members of the community are emotional about the changes occurring in Historic Dublin. Change is difficult, and the new design is different. However, she believes this design is the right direction for the community.

2. In the interest of full disclosure, she is an employee of the Whetstone branch of the Columbus Metropolitan Library, and previously assisted in the opening of the Whitehall branch – the second building built in the Library's 20-20 vision plan. She witnessed first-hand how much the customers liked the modern look and ambitious design. Similarly, the design of the new Dublin branch provides a large building, full of natural light. The new Northside branch will open in June. She recommends that people visit one of Columbus Metropolitan Library new branches, preferably in the evenings, when the communities' families utilize these libraries – they are vibrant spaces. She had hoped that the design for the new Dublin branch would also have clean lines and plenty of natural light, and it is everything she had hoped it would be.

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3. She moved back to Dublin eight years ago. Dublin's schools are the best, and the community offers many activities and a fantastic Recreation Center. The "Dublin Difference" means that our children receive the best start in life so that they can accomplish great things. The young mind strategy of Columbus Metropolitan Library states, "We create a foundation for a successful life." The Library's values match this community's values, and we need a library building that matches our vision. When her 12-year old saw the library design, she responded, "That's a library? That's awesome!"

Jerry Kosicki, 4313 Wyandotte Woods Drive, Dublin, OH 43016 stated:

1. Sometimes a relatively few loud voices create the impression that they speak for everyone. The manner in which the public debate regarding the Library has shaped is an example. When CML unveiled the design, there were grumblings on social media and Council received citizen emails and calls.

2. As he, Chris Cooper, Kris Aldemie and Andrew Graham watched this unfold, they realized that the other view on the Library issue was not being presented. They started a petition on Change.org for people who liked the proposed design. They wanted to challenge the false impression that the Dublin community as a whole was opposed to this contemporary library project. In just over four weeks, 506 people have signed the petition in favor of a contemporary library. That is 56% more than the critics of the project collected in 12 weeks. That suggests that a greater number of people support the library project. These expressed opinions of Dublin community members should serve as important data for Council's decision-making. They do fully understand that the decision is ultimately Council's, as the community's elected officials.

3. Council's considerations will include their longstanding Council goals and priorities; economic development needs of the City; the well-being and intellectual advancement of Dublin's citizens; the needs of the business community; the health of the City's continued partnership with CML. In addition to those considerations, he believes Council will also want to consider the fit of the project with the City's vision for the redevelopment of the Bridge Street District, including Bridge Park East and West and the pedestrian bridge. Those criteria support going forward with the Library project. The project is too important to the City and community to be decided on narrow criteria, such as personal aesthetic tastes and preference of a small number of individuals.

4. Rejecting this proposal may lead to a number of unintended, negative consequences for future development. He hopes Council will agree with many Dublin residents and approve this strategically significant Dublin library. The entire community will benefit for years to come.

5. As a long-time Dublin resident, over the years he has seen a transformation of a decrepit strip shopping center and the declining golf driving range into an exciting development at Bridge Park East. This positions the City well to remain an economic and intellectual powerhouse in the coming decades. As some consultants pointed out at Council's recent work session, the amount of high-quality development that has been accomplished so quickly is astonishing. That suggests that the City's forward-thinking and strategic planning efforts have been successful. The upcoming pedestrian bridge project will unite the areas east and west of the river and encourage the economic revitalization of the Old Dublin area, as well -- a very big priority for Council. Considerable private investment leveraged by substantial but relatively modest and affordable public investments have made this ambitious vision become reality. We all benefit from this. The buildings nearing completion on the west side of the river will fit perfectly with the proposed library design. He asks that Council support this strategically important library project. The positive benefits will be experienced by the residents well into the future.

Andrew Graham, 5678 Duddingston Drive, Dublin, OH 43017 thanked the Columbus Metropolitan Library for their work. He realizes that they have devoted many resources to this project. He is in favor of this current library design. He believes in the preservation of Historic Dublin, but how that is achieved is the question. The images of the libraries shown in the presentation tonight show that the blending of modern and historical buildings can be done beautifully within the most beautiful capitols of Europe -- London, Paris and Madrid. He likes the design concept incorporating stonework. We live in the 21st century, and we need to build buildings that reflect that. The current library is woefully inadequate for the size of Dublin; it needs to be expanded. There is also a

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serious parking problem in Dublin that is only going to be exacerbated by the increased development. For that reason, he likes the idea that the library and the parking garage will be constructed simultaneously. He asks that Council approve this project.

Linda Childs, 5382 Crossing Lane, Dublin, OH 43016:

1. Thanked Council for all their work. She moved here to be near family and because Dublin has zoning laws. Unlike other areas, in Dublin gas stations are not built next to an apartment building. When she moved here, she left a 115-year old house, so she understands the difficulty in trying to determine how to update a lovely area of Dublin. She loves the current library in Dublin. It is easy to use and is in a beautiful setting. However, she understands that a new library is needed.

2. However, it seems that they are trying to build a convention center, not a library. Rock Cress Parkway is also a concern. The proposal seems to be for a library, a parking garage and another major road that are tightly coupled. Is it possible to build the library without Rock Cress Parkway?

3. The proposed road has received significant negative response, because it would extend through the Indian Runs Falls Park. Does the EPA permit the road to be constructed in that location? The school property with its existing two schools is in this location. Is it worth building a road, which would end at Franklin Street, unless all these other problems are resolved? Referring to her 115-year old house analogy – changing one thing usually leads to a need to replace other things. She does not have as much concern with the large library or even the garage, which could have an attractive façade, as she does with Rock Cress Parkway. The City will be spending a significant amount of tax revenue for this road, which may end at Franklin Street forever. As she suggested to Ms. Groomes in an email, without Rock Cress Parkway, a better transition for the project is possible.

4. In summary, she moved to this community because of its zoning laws. With this proposed project, she sees many exceptions being made, and many other issues created. She requests that Council closely evaluate the requested exemptions. She would prefer that the Library be required to meet Code requirements, even if it means the project has to be tweaked.

Kris Aldemie, 4337 Oak Wood Court, Dublin, OH 43016, stated that she has lived in many old cities throughout the world, including Istanbul, Paris and Milan. She has observed new buildings added where there are old buildings in a complementary manner and blend well. She appreciates that Dublin is using NBBJ, a local company that is first class and world known. She appreciates that this project will anchor the east and the west in Dublin and complement the old and the new. In 2002, she observed the work done by NBBJ in renovating the Beijing Hotel, which is an historical hotel. She has full faith that NBBJ will do a fantastic job in Dublin, providing the same high caliber of work.

Nancy St. Clair, 6164 Karrer Place, Dublin, OH 43017 stated she takes the opposite position on this issue. She and her family have lived on Karrer Place for 32 years. They love being adjacent to the Historic District and the fact that the library is a short walk from their home. They use the library often. Initially, she was very excited to hear that Dublin would have a new library building, but then was very surprised to see the rendering of that building and its radical departure from everything occurring in the Historic District. She has seen many changes over 32 years and believes Dublin has done a great job with redevelopment. A perfect example are the buildings along Bridge and High Street. She knows those buildings have only been there a few years, but visitors think that they have been there for many years and have been well maintained. That is a success story. It shows that new construction can respect what is around it, and that is what has given the Historic District a sense of unity and harmony that is special and should be preserved. She has no issues with contemporary design. That design would be wonderful on the other side of the river. However, she does believe that if the proposed building is built in the Historic District, it will be a jarring and discordant presence. She understands that the easiest path is to just approve this and move on, so that the schedules can be maintained. Before she came tonight, she looked at a City of Dublin document, "The Historic Dublin Design Guidelines." Those guidelines state under the heading of new construction that "the successful design of new buildings take

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important queues from what exists around them. The most appropriate designs for a new building make an effort to fit in visually, and new construction must be compatible with the existing historic setting." This building does not meet those criteria. So her question to Council is, why do those guidelines not apply to this project?

Amy Krumb, 7511 Riverside Drive, Dublin, OH 43016 stated:

1. Although Columbus Metropolitan Library has worked with City staff for years on this design, it was only recently brought to the public view. She is very disappointed in the applicant's lack of interest in the local Dublin citizens' views. This application has been tabled twice over the last month under the guise of considering Dublin citizens' comments. Although time has been allowed for comments, those comments have not been addressed.

2. The exterior of the building before Council tonight is exactly the same as that presented in January. It makes little difference if the brick is changed to stone in one or two locations, when the overall design does not meet Dublin's existing Code. The applicant has disregarded the public's comments and City Code, but City Council should not.

3. City Council is elected to be the voice for all of its citizens and to protect the voters' interests and the taxpayers' money. City Council has a duty to uphold the City's standards and values in the Code. That is why Council should deny all the waivers that are being sought tonight by the applicant, and at a minimum, require the applicant to meet the Code without the waivers. If that requires the applicant to make tweaks to the design or delays their schedule, so be it. Council needs to stand strong, abide by the Code and deny these waivers. The application before Council tonight does not meet Code, as evidenced by the numerous waivers requested, and Planning staff has indicated more waiver requests may follow. Council, staff and citizen volunteers have spent years developing the Bridge Street Code. That Code was created to ensure high standards and that growth and new development would be compatible with existing Dublin. This Code was set as the minimum requirement to which applicants are held. Often, Council and its boards and commissions have required applicants to go beyond what the Code requires.

4. Tonight, the applicant requests waivers for block length and perimeter, for ground story height, building stories, setback and more. The Planning report minimizes the significance of the ground story height and the building story waivers by suggesting that it is only the portion of the building on the northeast corner. The northeast corner is the most prominent portion of the building. It is what is viewed as a driver travels south on Dublin Road and entering the Historic District. It is the first thing that is seen, and at street level, it will be the highest point that pedestrians will pass – a very tall façade is not pedestrian friendly. This is a very important requirement of the Bridge Street Code. When the highest point of this building is next to the Grounds of Remembrance and the pedestrian environment – that requirement should not be minimized.

5. The applicant has made it clear that they do not want to redesign this building, so they need these waivers. However, the Code has review criteria for granting these waivers, and the applicant fails to meet the review criteria. These waivers are not being sought because of unique conditions or circumstances beyond their control. It is because they do not want to re-design it. Four or five of the waiver requests completely fail. It is unbelievable that the City would consider requesting waivers of its Code for its own garage. The City is paying for this garage, is responsible for designing it, and yet asking to not follow its own Code – that sets an extremely bad precedent. The Bridge Street Code is still new and the City should not be making all these exceptions and granting all these waivers. At a minimum, the applicant should be held to the existing Code, which the plan before Council tonight fails. Considering the level of public interest in this project and the controversy surrounding the applicant, regardless of your position, these requests should not be taken lightly. She requests that Council deny all the waivers.

Tony Gugliemotto, 5693 Lismore Court, Dublin, OH 43017 stated that he has been a resident of Dublin for 21 years. His family has used the library thousands of times. When Dublin's historic buildings were built, someone was forward thinking. With regard to this library, it will be a beautiful juxtaposition to the historic part of the town. In other cities, it is a delight to the eye to see what was and then, what is. He asks that Council

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consider approving a project that will be worthy of being a historic marker 100 years from now, as are the existing historical buildings.

Claire Wolfe, 5521 Indian Hill Road, Dublin, OH 43017 stated that she has been a Dublin resident for 44 years, moving here when Dublin was a village. There have been innumerable changes in the last 44 years. Dublin is no longer a village. They have liked some of the changes and not others. However, she believes the new library design is wonderful. It provides an excellent transition. The south part of Historic Dublin is beautiful; the north part is not. The library transitions to the new architecture on the east side. She likes the design as presented.

Linda Rudy, 129 S. Riverview Street, Dublin, OH 43017 stated:

1. The proposed library is a beautiful building. The problem is the size and character of the two structures on the current library site. It has been said many times that modern and historical structures can co-exist, but in what manner? Instead of honoring the surrounding area and its charm, this design imposes in a way that detracts from the environment. The stated architectural intent of dominating the Historic District is explicitly arrogant and wrong for the District. By contrast, the existing library, although an updated library is needed, has been a part of the District and a very good neighbor. "Tomorrow" needs to be across the river. There has been an attempt to talk about transition, but there is no room for any real transition between old and something so modern.

2. There are ways to address the District's parking issues without a parking garage. As a resident, she has noticed that any time of day or evening, there are plenty of parking spaces available, if some sort of cooperation were forged. At any rate, the garage need not be so large, tall or modern. She and her husband recently saw some great examples in Yorktown, Virginia – a community concerned about historic preservation – and they can furnish pictures upon request.

3. The Columbus Metropolitan Library's need for more space is falsely conflated by all its proponents with the contextually jarring design and institutional scope creep that is proposed. An architecturally interesting, but not imposing, CML 2 design could easily arise from a competitive process with public input or voting. There are ways to have an iconic building that is a work of art itself, while still honoring, or even celebrating the District's history and character. This could be done by mimicking scale and roof lines that exist in the District, even while employing more modern materials, like glass and metal and combining with stone, brick etc. in creative ways.

4. Many people would like to see the library remain where it is. If so, the site is simply not conducive to being a large community center with a café and lots of gathering and entertainment options in a walkable district that already has an array of coffee shops and restaurants. The library should complement that, rather than compete with them. The new style of libraries that the architect has described in these meetings may have a greater need to be all things in order to attract foot traffic, because libraries often are not situated in a district such as Dublin's that already offers those amenities. CML is evincing a mis-use of recently approved tax levy funds by expanding the library's scope to include civic center functions – a classic case of "scope creep." The money should go to the facility – not to a palace, staff, salaries and actual materials.

5. The Bridge Street Corridor is a large canvas with other choice locations for a new community center, even one that enhances rather than detracts from its surroundings by drawing attention to itself. Perhaps that was the goal of being iconic. Some of these other sites would be quite walkable to the Historic District. Earlier plans for the Bridge Street corridor showed a civic center just across the river, which would have provided access and drawn the public to the river bank, and could have been quite accessible to the Historic District via the pedestrian bridge.

6. The Columbus Metropolitan Library must obey the laws as they stand, not as they or Council desire them to be. For decades, every other business and property owner has been made to submit to the existing guidelines, down to choosing color from an historic palette. Once the Historic District is fundamentally transformed, we can never get it back. The Dublin Historic District has been a labor of love that the public wants to see preserved. This is not simply about a library, but its impact on everything else around it. We can continue the infill development of the Historic District in a positive way with appropriate, sensitive designs for both the Garage and the Library.

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7. City Council might have an easier time if it pursued true, informed public input before advancing too far with projects like these. She has to believe that such input has not been pursued in a real way, when she witnesses the incredulity people feel with putting this design right in the Historic District. A different site, a different vision, perhaps a different architectural firm that a different signature style could have been more conducive to the type of legacy a body of true elected public officials would wish to leave, not to mention fewer delays, less money wasted and better publicity.

Scott Haring, 3280 LilyMar Court, Dublin, OH 43017, stated that his residence is off of Martin Road, which is a very walkable location to the Library.

1. He is so glad to hear some of his comments stated by others tonight, including, the question of why we have laws? In 20 years, he has attended many Planning and Zoning Commission (PZC) meetings and Council meetings on all sorts of developments and projects. He has seen many people interrogated and sent back to the drawing board multiple times. There was the grocery store example, where there was an argument over the color of the panels on the gasoline pump. In very broad view, this site has an existing library and that is an approved use.
2. It is great that a new library is proposed, but he is concerned to hear about the eight waivers requested. There have been some genuine concerns on other projects in the past, which are typically related to geography or hardships. However, he doesn't see any hardships in this case and the exemptions should be denied. One of the slides shown indicated "proposed" 41,000 square feet. "Perhaps it is not possible to accommodate a 41,000 square foot building on this site. He believes the appropriate answer is to say "no" to all these waivers, not for this building on this site.
3. The design is not appealing to him at any location. However, he did attend a meeting several weeks ago, where approximately 15 people spoke and said that they did not object to the design, but not in this location. That was the consensus view. At that meeting, there was a lot of discussion about this landing point and being close to the bridge. There might be another site that is available in the future at the end of the existing bridge and on the circle – the old Wendy's parcel, which the City purchased to help facilitate construction of the traffic circle. Others have also suggested putting the library on the other side of the river. Perhaps a funky design like this library on two acres with a graded hill and some parking decks is possible. However, the project proposed for this site does not match the spirit of Dublin's zoning laws. Significant waivers, as those requested, seem unnecessary. Reference is made to a transition occurring, but three trees, a little monument and a change of pavers serving as a transition from historic to this is insufficient.

Garrick Daft, 21 Indian Run Drive, Dublin, OH 43017, stated:

1. He would likely be the most impacted by this new library design, given his property's location. He does not have objections to the design. It is cool, but not iconic, and it is in the wrong place. It should be on the east side of the river. There is plenty of land on the other side. This site is likely one of the most valuable pieces of land in Old Dublin, and Council is considering using it for a massive library and massive parking space. It doesn't make sense to him why Council would do that, especially since it will require all these variances. Moreover, it doesn't look right on this site.
2. His concerns, should Council decide to go forward with this is, are with what kind of lighting will be used, and what kind of shielding will be provided for the ravine and the animals in the ravine, and for his property? The current library creates little intrusion with its lights. He would request that some type of barrier be provided; the design looks very reflective to him.
3. He is disappointed with the new condominium development. He was assured at the ARB review meeting, where the developer requested another floor, that the floor would match the level because of the way in which the elevation changes. However, now, the top floor of that penthouse is looking directly into his windows.

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4. He believes it would be foolish to proceed with the proposed building on this site, because it is a very valuable location. They could have an even bigger library across the river and could be made even more iconic. CML is trying to limit the new building to the small area that they have in this location. It doesn't make sense, and the four-story parking garage does not make sense in this location.
5. However, if Council does permit this to move forward, he does not believe they should grant so many variances. He also requests that they be respectful to the existing neighbors by providing lighting barrier and by providing more notifications to the neighbors. He just found about this meeting tonight.
6. In summary, the proposed building does not belong on this site, and he believes Council knows that, as well. In this area with little shops where people like to go to dine and meet – it does not make sense to put a massive library in the middle of it.

Michelle Cramer, President and CEO, Cramer & Associates, 555 Metro Place N., Dublin, OH 43017, stated that Cramer & Associates is a fundraising consulting firm. They have been working with nonprofit organizations around the country. She believes that the opportunity to bring this iconic, world-class library to this community is unheard of. She has worked with the Des Moines Public Library and other libraries, and very rarely does a library system hand a community an iconic library such as this one. Typically, the library system asks for a public-private partnership. It is very rare that it is already 100% funded. In addition, as president of the Board of the Dublin Foundation, she wants to express the Foundation's full support of the incredible opportunity for the education of our children. Should the proposed library move forward, they would like to partner with the library system. Mr. Losinski is one of the top three, most respected non-profit leaders in the region, and his, and his staff's accomplishments are remarkable. Dublin is fortunate to have this opportunity. She urged Council to approve the project.

Dave Kirkley, 6025 Holywell Drive, Dublin, OH stated that he is not a fan of the proposed design. He has heard suggestions to move it to a different location. Because of the existing level of traffic in Old Dublin, that would be a good idea. Everyone agrees that a new library is needed, and very grateful that CML is willing to build it. The issue is the design, which he also believes does not fit in Old Dublin.

Council questions:

Mr. Lecklider:

1. Inquired if the proposed library height is 40 feet to the east on High Street. Ms. Rauch responded that the height is 42.5 feet. Mr. Lecklider inquired if, due to the change in grade, the height at the west is 30 feet. Ms. Rauch responded affirmatively. Mr. Lecklider inquired the height of the Bri-Hi buildings at the northwest corner of Bridge and High. Ms. Rauch responded that she does not know the height of those buildings. The applicant provided an appropriately scaled graphic, which Mr. Losinsky had shared. It indicated that the height range is similar to the proposed library building. Mr. Lecklider inquired if the typical peak height in the City's subdivisions is 35 feet. Mr. Rauch responded affirmatively. Mr. Lecklider noted that he was attempting to add perspective. Ms. Rauch responded that Bridge Street is different, as well, due to rearranged floors and stories. In an urban environment, the appropriate ratio is considered, so it is somewhat different.
2. In regard to waivers, he does not recall another Bridge Street project that was approved without waivers. Ms. Rauch responded that there are some projects that have had a significant number of waivers. The purpose of waivers is to be flexible where there is opportunity to be flexible. Mr. Lecklider noted that he recalls that Council contemplated the anticipated waivers with adopting the Bridge Street Code. However, Council is not obligated to approve the requested waivers.

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Ms. Amorose Groomes:

1. Stated that the design is a skillfully done example of contemporary architecture. She does not question that. The question is whether this building's architecture is appropriate for this site. The Bridge Street District Vision Statement states that the history of our community has been to preserve and build upon the adjacent historic core. Based on the Code that governs this site, this project is not appropriate. This is the wrong building on the wrong site. The Code changes that occurred nearly four years ago require this body to serve essentially as the ARB. Therefore, she will make her best effort tonight to be a good steward of the rules that govern ARB decisions. She has with her tonight the Bridge Street District Zoning Code. It is a lengthy document that contains a tremendous number of details. It is what has been used to forge the District.

2. Building height - The most egregious item about this building is the 12.5-foot plinth on which it is perched; the entire north edge of the building is raised 12.5 feet above the sidewalk. The public meeting rooms along Rock Cress and North High Street are nearly windowless, with a few random punch-outs. There is an outdoor space adjacent to the kids' area that is also raised 12 feet-6 inches above the sidewalk. All this represents a design approach of an object on a podium, which is the antithesis of the overall intent of the Bridge Street District - not just the Code, but the vision and the intent of the entire District. There are countless references in the Bridge Street District documents requiring projects to be pedestrian-focused, engaged with the street, maximized transparency, etc. -- all of which apply, regardless of what Bridge Street District subarea the project lies in. This project does not do any of that. It completely inactivates the streetscape. In addition to the first floor of the Library having a 12-foot-6-inch floor height, the top level is 14 feet. A typical office building would have a 14-15 feet floor-to-floor height. Additionally, in the renderings, there is no evidence of a parapet. She indicates those facts because she believes this building is going to become significantly taller as the project progresses. She anticipates approximately 6-10 feet will be added to the overall height of the Library by the time the details evolve.

3. Maximum block size - The proposed block size is larger in both directions. What is permitted is 300,000 square feet; what they propose is 495,732 square feet. The City is trying to create a pedestrian-oriented block. There have been extensive studies done on what a walkable block is and the appropriate block size. The City has spent hundreds of thousands of dollars to hire consultants to tell what those numbers are and we included those numbers in the Code. The proposed block is 300% larger than what is permitted by this Code in Section 153.060(C)(2)(a).

4. Principal frontage streets - Code Section 153.060(C)(4) addresses principal frontage streets. One of the requirements is for continuous pedestrian-oriented block faces on the front of the building and toward the public space.

5. Block access configuration - Code Section §153.060(C)(5)(a), and having multiple principal frontage streets. This building has two principal frontage streets - on High Street and Rock Cress. The Code details how those streets should be constructed and the ways in which the pedestrian is engaged with those. Waivers have been proposed for the distance between door accesses and a number of other things, all of which significantly impact the pedestrian experience.

6. Code Section §153.062(D)(3) addresses roof types and in section (b), eaves are encouraged on street-facing facades. In (c) and (d), walls that interrupt the eave are only permitted on one-half of the vertical wall. §153.060(G) indicates that, "Facades shall be designed to follow the story of the building with fenestration organized along and occupying each floor. Floor to floor heights are set to limit areas of the façade without fenestration." On the Rock Cress and North Street facades, this building has very little fenestration.

7. Code Section §153.062(H)(b) states specifically, "highly reflective glass is prohibited".

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8. Council was not provided any sign packages, vent penetrations, or many of the details that she suspects will require more variances. The documents provided reference only to the District's newest buildings; they do not reference any of the historical buildings. The two buildings that are namely referenced in this document are the Bridge & High II project, where Mezzo is located, and the condominium building that is under construction. If Council allows this pattern of only referencing our newest buildings without having any historical reference to the older buildings, we will get further and further away from the historic core that the City values.

9. Council needs to enforce the ARB's historic guidelines. Council needs to enforce all of the guidelines with which every other applicant that has come before any City review body has been required to comply. This project should not be handled any differently.

10. She has heard the comment that this project is 100% funded. However, this is a private-public partnership. The City is subsidizing each of their 200 parking spaces, \$8,000 to \$13,000 per space. The City has a lot of investment in this, and she believes the City deserves to have a voice.

11. There are not many constraints on this building site. There is a topography change, but there will be a topography change on every site that is developed in Historic Dublin. To make these early exceptions to this degree would certainly set a dangerous precedent moving forward.

12. References were made to the Louvre, etc., but the problem with this building is its size and scale. If the carousel glass pyramid that sits in front of the Louvre were 30% taller than the Louvre, she believes people would object. It is the reference to the Louvre itself that makes the pyramid palatable and interesting. This building will be 42 feet at its northeast corner -- 42 feet that is not buffered in any way for those travelling from the north. If the building were tiered down and made to come up to grade, it might be more palatable, but it is not; it comes directly out of the ground at 42 feet on the corner. That is not fitting into a District; that's being obtrusive to a District.

13. It is a lovely building, but she is saddened that the issue of this library has been made one of "all or nothing," because life isn't "all or nothing." Life is about compromise, teamwork, supporting one another, working together and a sense of community. This building doesn't bring a sense of community, or a sense of working together, of respect. It really ignores the process of how we got to this point. The library was before Council in early March and there was talk of "rolling up our sleeves" and working together. There was talk of listening to our community and engagement, but she has seen very little of that to this point. She does not want the choice to be all or nothing. This isn't about whether we want our kids to be able to have a library or not. This is about whether we are going to be respectful of one another, and whether we are going to hold everyone to the same standard. We need to treat everyone that wants to come into Dublin to do business equally. The playing field has to be level. We can't break the rules when we want to. She served on the Planning and Zoning Commission and is aware that City staff spent thousands of hours writing the Bridge Street Code. The Planning and Zoning Commissioners spent another thousand hours reviewing this Code. This body spent hundreds of hours reading through it and confirming that it was the vision desired for this part of our community. This will set a precedent for those who follow in terms of meeting Code.

14. She does not believe that this building cannot be contemporary. There is nothing in the Code that precludes contemporary architecture. Similarly, she does not buy into the idea that creative thought only happens in a contemporary building. Creative thought happens when minds feel free and when they are in a comfortable setting. That comfortable setting is different for different people. The City has some contemporary buildings. Most of the buildings that have been constructed in this community recently have been very contemporary. This body and this community are not opposed to contemporary architecture. It doesn't matter what style of architecture they build, but the City has zoning regulations, and it has those for a reason. Many who testified tonight

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shared that they have lived in Dublin for many years, and the reason they have lived in Dublin, she assumes, is because the built environment is lovely -- that has resulted in a tremendous financial resource, which, in turn, provides the public with great services. That is what the Code has done for the City, and she sees no justification for turning our back on that at this time.

Ms. Alutto stated:

1. She agrees that a contemporary solution is possible, if that is for the greater good.
2. Part of the reason the Library wants to stay on this site is that if it moves, it no longer owns the land, nor does the City own it. It then reverts to the Dublin Schools. It would be financially challenging for the Library to find another location. This Council agrees that the preference would be to build this building in another location, but from a financial perspective, that is challenging for the Library to do.
3. She, too, has an issue with so many Code waivers requested. As she has stated before, it presents a challenge when a body begins to manage by exception.
4. She has an issue with the process. The Library, the Schools and City worked a long time to create something that all can live with. It is unfortunate to have such consternation over a design, but that could have been avoided if the process had permitted an earlier and longer engagement with the public. The design was presented after little public involvement. She does not see that there has been much "rolling up our sleeves and working together." A new library is needed, and she does not object to that occurring on the current site. She believes it is possible to come up with a contemporary design that would be much more acceptable to people. Because it did not occur at the beginning of the process, she has little confidence in the honesty of its relationship with the public as the process moves forward. Previously, the City has developed many projects that involved public input opportunities and charrettes. Council was told that was not wanted in this case because of the desire to move forward on the project. However, this is a public space and a public building; so the public should be involved. It is a benefit to learn of the public's different opinions, and within that process, it is possible to find a solution that works best for everyone. The difficulty in this case is a result of that collaboration not occurring on the design. Although it was lengthy, appropriate collaboration did occur on the development agreement, and the result was excellent. However, a struggle exists now, due to the lack of collaboration on the rest of the project. Council does not take the public's opinion lightly. Although it is not possible to please everyone in the public sphere, she would have preferred to have greater public satisfaction with this project. This project has brought more angst and negative public feedback than any other she has experienced. She continues to have a struggle with the proposal. In summary, her issue has been primarily with the lack of appropriate public process in the design.

Mr. Keenan:

1. Stated that the initial process with Council began years ago at a goal setting retreat, which a CML representative attended. This current site is not what Council initially desired, and the City explored a number of other sites -- across the river, across from the Recreation Center, and sites that might be close to Dublin Coffman High School. However, the Library wanted to be on this site and part of the area that was developing rapidly -- a part of that synergy and dynamic activity.
2. He prefers not to wait until 2025 to build a library. Elected officials have the duty to look after the healthy, safety and welfare of our citizens -- that is the body's primary charge. The Library contributes to the general welfare of our citizens. We are divided over an exterior appearance. He hopes that Council does not lose sight of the most important function of the Library, which is to promote the general welfare of the community, including education, and serve as a gathering space and resource to the community.

Mayor Peterson:

Stated that he has questions about the recommended conditions.

1. "That the applicant investigate the use of stone in lieu of brick on the lower portions of the building." Is the City asking them to investigate it or to incorporate it?

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Ms. Rauch responded that it is Council's discretion to make that a more solid condition. The Library has indicated it is considering various options. Mayor Peterson stated that he defers to experts who believe that the use of stone could change that dynamic. Ms. Rauch responded that, without samples of the materials on hand, the intent was to have the Library provide those for the final detail review.

Ms. Readler clarified that there is another level of review to be conducted by the body that Council designates. That body will have the opportunity to approve the final selection.

2. A signature transitional element. An ad hoc committee will be tasked with identifying a recommendation. What occurs if the ad hoc committee cannot identify a recommendation or if CML does not want to include the recommended element? Is the condition considered satisfied, or does the condition require that the element must be included for the condition to be satisfied?

Ms. Rauch responded, as the condition is written, that recommendation must be brought to Council for formal approval.

Mayor Peterson inquired if there would be another approval process for this.

Ms. Rauch responded affirmatively.

Mayor Peterson inquired if the brick is not replaced with stone or the transitional element is not incorporated into the final design, does the final reviewing body have authority to vote to disapprove the project because of the absence of those two items?

Ms. Rauch responded affirmatively.

Ms. Amorose Groomes inquired what impact would a "no" vote have at that point.

Ms. Readler responded, that depending on which reviewing body is designated by Council, the final development and final site plan applications must be approved by that body before any construction could begin.

Mr. Peterson inquired what results if that approval does not occur.

Ms. Readler responded that the project would not move forward.

Ms. Amorose Groomes stated that there is criteria that determines what is reviewed at each level of review.

Ms. Readler responded that there is criteria for each application. A criterion for each – the development plan and site plan applications – is that they comply with the Basic Plan. Therefore, if Council puts a condition in the Basic Plan approval with which they do not comply, that is a reason for disapproval.

Ms. Amorose Groomes stated that this design could proceed further and still be disapproved.

Ms. Readler stated that the purpose of the Basic Plan is review the concept. This one is unusual because it is a more developed plan than what is typically seen in the Basic Plan review stage. Compliance with the conditions is required, but the plan is also more advanced with the other elements.

Mayor Peterson:

1. Stated that the conditions therefore need to be substantive and have "teeth," and the final reviewing body needs to be able to say those have not worked and disapprove the plan. He commented that he has wavered back and forth on this plan significantly. He has a tremendous amount of respect for the people who serve and who have served on this Council previous to him and the staff work that has gone into this plan. However, as a member of Council, he now must make a decision. He takes this charge seriously. He must do what he believes is best for the residents. Sometimes, the decisions relate to economic development agreements, road closures, or dealing with the federal government. Whatever it is, his single focus is to do what is best for all the residents, not just those in a particular area. He has to consider all the information Council receives. Council does not know how much information the people signing the petitions have been given. He respects their position; it is valuable feedback, but they may not be totally informed. There are probably some who are not aware of the value of this land. The

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current Library site is worth several million dollars. If the Library goes to another site, they must start over with acquisition of land, which is costly.

2. Council must choose from the options in front of them. With respect to the new Library project, everyone agrees that it is a wonderful asset that will benefit our community. The question is what issues stand between us and getting the project done. There is no solution that the entire community will support, so Council must pick from the options provided to us. It is an important project, and we need to minimize as many of the controversies as possible.

3. Council does value Historic Dublin. There is a tremendous City commitment to the Historic District as a whole, to preserving everything possible. The Historic core is our identity and we must remember that.

4. Council also has to look at the bigger picture, and this is a piece of a much bigger puzzle. If this project fails, he cannot predict the impact that may have on so many other important aspects of this community. The traffic and parking issues for the District do need to be addressed. This project meets some of those needs of the Bridge Street District and the changing demographics. Voting "no" on this application due to the waivers from Code requested would not be responsible without also considering the far-reaching impact of that decision on so many other components. He would not be carrying out the responsibilities of a Council member effectively.

5. Process. He, too, did not like this process. Although there may have been past Council discussions about the library, the first time he viewed a rendering of the proposed building was at the January 10, 2017 Council meeting. He wishes the process would have been different, but he cannot change history or the facts. He must now choose from the options before him. Some good results came from the process, however. The development agreement that was ultimately reached with Dublin City Schools will provide many of the Dublin Schools with broadband access. If the project now fails, the provisions of the agreement are nullified. He is therefore willing to put the flawed process behind him. He appreciates Dr. Hoadley's and the Library's foresight in working with Council on these issues. However, he does not believe that it was unreasonable for Council to have required the pause in the process after the January 10 reveal of the proposal. That pause was warranted, as it allowed time to hear and consider the public's concerns and feedback.

6. He must now choose from the options before him and vote. He will choose a middle position – voting "yes" -- but the conditions that are intended to address some of the issues must be met. He does not know what exactly the different materials should be, but the communication must be improved going forward. Nor does he know what the transitional element should be, but his intent is that it be something that captures the public's interest. We are capable of doing that.

Ms. Amorose Groomes:

1. Inquired if the proposed height would be accepted with the approval of the waiver as requested

Ms. Readler responded if that waiver were approved, the height would be approved.

Mr. Lecklider inquired if the height would be limited to the waiver that is requested, which would be to 42.5 feet. He inquired if the language of the waiver specifies a height limit.

Ms. Amorose Groomes stated that it actually is not listed in the conditions; the applicant would be receiving a waiver of the required building height.

Ms. Rauch responded that there are two different waivers – first is related to the number of stories and the second related to the story height, which ultimately equate to 42.5 feet.

Ms. Amorose Groomes stated that it is possible for the applicant to have three stories that would be taller than 42.5 feet. It limits them to three stories, and it gives them a waiver on height.

Ms. Rauch responded that they would receive a waiver to the number of stories, which is three stories. The building type requirements outline the maximum height of those stories. In addition, they are exceeding the ground story height by 4.5 feet. Therefore, they will be receiving two waivers.

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Ms. Amorose Groomes clarified that Conditions 5 and 6 do not limit them to 42.5 feet. It limits them to three stories. At present, one of those stories is 12.5 feet, floor to floor, which she expects will increase to at least 15 feet as the design process progresses. Ms. Rauch responded that the applicant would then need to request an additional waiver. Ms. Amorose Groomes stated that it would still be three stories, however. Ms. Rauch responded that there is a maximum height for each of the stories. Ms. Amorose Groomes responded that, per the Code, the maximum height is 15 feet. Ms. Rauch stated that the ground story maximum height is 24 feet. They are requesting 28.5 feet. They are already receiving a waiver for that. The upper story height is 14 feet, which is the maximum, and that is what they are requesting. So they are at the maximum and are getting a waiver for the additional height for the ground story. If they wanted any of those stories to be more, they would need to obtain approval of another waiver.

Vice Mayor Reiner cautioned that this is an architectural solution. When Council toured a Bridge Street-type building along Lane Avenue in Upper Arlington a few years ago, inside the building, it was evident that the ceilings were too low. The low ceilings ruined the architecture of the space, because the rooms were very small. With depressing the ceilings to a lower height, the effect was that of being in a cubicle. It is important to be cautious of how space is defined in the architectural world. When we attempt to legislate architecture, we must be cautious. It is possible to ruin the very building we are considering.

Ms. Amorose Groomes responded that she does not disagree with that point. However, she anticipates this building height to become greater, unless limitations are included.

Mr. Lecklider re-stated his earlier question: If these waivers as requested are approved, is the maximum height limited to 42.5 feet?

Ms. Rauch responded that the Code does not specify that; however, by default, it is.

Ms. Amorose Groomes continued:

2. If the waiver is approved, is the five-foot setback then approved.

Ms. Rauch responded affirmatively.

3. In terms of the building types and street facades, there is no other opportunity to engage the streetscape, once these waivers are approved. What she is trying to confirm is that, with approval of these waivers, there will be many things that Council will no longer be able to change. The design elements could be discussed, as would stone in lieu of brick. Aside from those, once this Basic Plan Review is approved, all of the other details presented tonight are locked in. Council will be limiting our input to those two options.

Ms. Rauch responded that is correct. Tonight's approval of the waivers will give those assurances to the applicant.

Ms. Salay:

1. Stated that she appreciates what all of her colleagues have said and the amount of community input on this issue. The petitions and the public engagement demonstrate that architecture, beauty and appropriateness of style are all a matter of personal taste, and are all subjective. It is not possible for everyone to love this building and its location. It is certainly a very contemporary building, but to her, it is not being placed next to an historic building. This site is at the northernmost end of the Historic District, and the buildings that surround it are not significantly historical. The new buildings across the street are more contemporary, and the pedestrian bridge will come across to this building. The first time she viewed the renderings, she thought it was very cool, but acknowledged that is her taste. Her concern is if it is possible to make this contemporary building blend with the historic buildings. It is a difficult decision, but other great historical cities have successfully blended a contemporary building with historical structures. She does not want to detract from this great building to make it match what is historic in the District.

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2. She acknowledged that the process could have been better in terms of inviting more public input for the proposed architecture. However, Council has to consider the big picture – what the new library will mean to our built, economic and cultural environments. She believes this building will be an enhancement to all of those aspects. She will be proud to have been able to vote on this building. The current library facility and its staff are wonderful, but the facility is limited. The new library will be unlimited.

3. The idea of a transitional element to blend the old with the new is exciting. She views this as a public art project – both the building and the transition element. She is excited and enthusiastic to support it.

Ms. Alutto:

As referred to earlier, she prefers that the conditions have more “teeth.” “Investigate” [in Condition #2] is a weak word, and Condition #8 [define a transitional design element that is integrated within the Library’s public space] needs to be worded more strongly, as well.

Vice Mayor Reiner:

1. Stated that he was unhappy to see something as wonderful as a library arouse so much controversy in our community. He believes a library is more important than a sports field for the development of civilization, minds and a community. He agrees with Ms. Salay’s comment – when he first viewed the architecture, he also thought it was a cool building. However, that was followed by the realization that there were many people concerned about the negative impact on the Historic District.

2. When he inquired about potential changes to the design, the architects told him that only the Library, the owner of record, could make changes. The architects must respond to their client – the Library.

3. He was upset by the fact that the Library design does not respond as well as it could to the aspect of the historic community in that part of the City. He agrees that a transitional element that will bridge the contemporary library to the historic area is needed. Although the Library has agreed to put some stone on the building, which is a nice feature, what is needed is a transitional design element to help that building fit in better with the Historic District. We haven’t seen that element yet.

4. He agrees that the design overall will create a beautiful space. He is hesitant to attempt to re-design spaces, ceiling heights and square footage – that is the role of the architect.

5. Typically, social media doesn’t provide reliable and complete information, often being driven by emotion rather than knowledge. That is difficult for anyone who is seriously interested in an issue. The local government is trying to present the facts and have public input opportunities. Unfortunately, people do not become engaged until near the end of the process.

6. In regard to the transitional element, an appropriate committee will be formed to work with the Library to identify a possible transitional element that will help incorporate this structure within the Historic District. He is hoping for a middle ground solution.

Mr. Lecklider:

1. Stated that he appreciates the public input from those in support and those opposed. The City is fortunate to have this issue to debate. He agrees that there is subjectivity that exists in our various views of the architecture.

2. He was somewhat concerned about the Library’s presentation this evening. One of the early slides listed that one of the primary aspirations of the City of Dublin was to achieve an “iconic, contemporary design.” He has been involved in this process as a Council member from the beginning. He, along with other Council members at that time, was present at the goal setting retreat where this was discussed. The Library provided a very limited presentation – very brief and not very interactive. Images were shown of some very contemporary libraries throughout the country and around the world. Those images were flashed on the screen for 3-4 seconds at a time, and there was little dialogue between the Council members and the Library staff providing the presentation. His recollection of the Council members’ reactions was that all were thrilled to learn that the Library was thinking about providing the Dublin community with an upgraded library, but, beyond that, there was no discussion about the architecture that we supported.

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Council talked about different sites, and at that point in time, the need focused on more square footage. He did not imagine that a library that might double in size, regardless of what the architecture might be, would remain at its present location. Frankly, he did not believe that could be done and parking also provided, and that has proven to be the case. That is why there is now a proposed parking structure and a partnership between the City and the Library. It is not possible to provide sufficient surface parking in this location for a 40,000-square-foot library. There was no public meeting where he expressed any preference with respect to architecture, whether it should more closely match the existing architecture in Historic Dublin or that it be something much more contemporary, similar to library architecture elsewhere in the country. However, he is not surprised at what the Library ultimately presented. However, it has been stated publicly at Council meetings by critics of the architecture that what the Library has done is execute the vision of City Council. However, that is not the case. The first time that Council saw the proposed architecture was January 10, 2017. The reference to iconic has been over-used, and CML's translation of iconic appears to be "contemporary." Perhaps that is also the translation of some of his colleagues. That is not necessarily a pro or con of the proposed architecture.

3. Council is always interested in public opinion and feedback. Council is more accustomed to a greater interactive process; from January to April, that was not the case. Only last month, Council asked CML to meet in a workshop setting with Council to discuss further these considerations, but CML declined. That is not the process to which most Council members are accustomed, and that is a disappointment to him.

4. Additionally, the fact sheet that was distributed by CML has a statement that could be perceived as a veiled threat – indicating they want the vote called for either a "thumbs up or thumbs down." No further workshop or discussion is desired, just a vote. So this is where we find ourselves this evening.

5. He concurs with respect to making the conditions more specific.

6. He has been influenced by some of the feedback he has heard and less by his own personal preference with respect to the architecture. He has tried to view it through the eyes of others, both pro and con. From the critics, he has not seen a concept of what would be more fitting in this location. He tried to view this from the perspective of the future users –the youth of our community. Their view is more important to him than his own personal views. He also is taking into account all the public testimony that has been offered, either electronically or as public testimony at Council meetings.

7. He is a little perplexed that the critics of the proposal have not directed any of their petitions to CML and their board of directors. We all pay taxes that support the Library; he urges the members of the public to review their property tax bill. They will notice that they pay more taxes to CML than to the City of Dublin. There is accountability all around. If the public is disappointed in what they view as a lack of collaboration, there are other opportunities for advocacy.

8. He and his family are long-time supporters of CML and he expects to continue to be in the future.

Ms. Amorose-Groomes stated that one point Mr. Lecklider made was excellent, that Council members' individual preferences for architecture are left behind when they serve in this role. What protects Council members from interjecting their own personal preferences into issues is the Code. The Code also protects Council from approving things that are too big or don't fit. She may have opinions, but she will not bring those into architectural considerations. The Code is designed to provide protection against biases.

Mayor Peterson inquired about amendment to the verbiage, per Council's input. Ms. Rauch suggested the following modifications:

Condition #2 - "That the applicant will use stone in lieu of brick on the lower portions of the building," and

Condition #8 - "Council will create a collaborative committee to provide a design recommendation for a significant transitional element, which shall be subject to final review and approval by City Council with the Site Plan Review Application."

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Ms. Readler stated that the applicant is typically asked if they concur with the revised conditions.

Condition #2:

Mr. Losinsky indicated that he believes they are fine with moving forward with the revised language, but they are investigating the stone options to ensure that it will work. If it moves the project forward, they concur.

Mayor Peterson indicated that if for some reason it were determined to be impractical, Council would have the ability to re-visit that condition.

A.J. Montero, Architect, NBBJ indicated that they are comfortable with the general aesthetic that stone or a masonry material would provide, so they concur with the revision.

Condition #8:

Mr. Losinsky stated that their understanding was that Council would appoint a committee to work with the CML design team and architect to advise in the process. They are supportive of that.

Mayor Peterson stated that it is anticipated that proposed membership for that committee, including CML, will be submitted for the next Council meeting.

Mr. Losinsky responded that it was their understanding that CML would not be on the committee; the committee that will advise the Library and its architect.

Mr. Keenan stated that what was discussed is that there would be two representatives from CML, which he assumes could be the architect and another CML member.

Mr. McDaniel stated that the memo that was provided in Council's packet suggested the committee composition, including two CML members.

Mr. Losinsky stated that their information as of last Thursday was that this would be a five-member committee appointed to work with the two members of CML.

Mayor Peterson stated that it is vital that CML be at the table.

Mr. Losinsky concurred.

Mayor Peterson moved to amend the language of Condition #2 and #8 to state:

Condition #2 - "That the applicant will use stone in lieu of brick on the lower portions of the building," and

Condition #8 - "Council will create a collaborative committee to provide a design recommendation for a significant transitional element, which shall be subject to final review and approval by City Council with the Site Plan Review Application."

Ms. Alutto seconded the motion.

Vote on the motion: Ms. Salay, yes; Mr. Keenan, yes; Mr. Lecklider, yes; Mayor Peterson, yes; Ms. Amorose Groomes, yes; Vice Mayor Reiner, yes; Ms. Alutto, yes.

Ms. Amorose Groomes inquired if the first vote will be to approve the Basic Plan with the conditions as amended; the second will be to approve the requested waivers; and the third vote will be to define the next reviewing body.

Mayor Peterson responded affirmatively.

Mayor Peterson moved to approve the Basic Plan - Columbus Metropolitan Library, Dublin Branch (Case 17-002ARB-BPR) with the eight conditions as amended.

Vice Mayor Reiner seconded the motion.

Vote on the motion: Mr. Keenan, yes; Mr. Lecklider, yes; Ms. Salay, yes; Ms. Amorose Groomes, yes; Mayor Peterson, yes; Vice Mayor Reiner, yes; Ms. Alutto, yes.

Mayor Peterson moved to approve the eight waivers as outlined in the staff memo.

Ms. Salay seconded the motion.

Vote on the motion: Vice Mayor Reiner, yes; Ms. Amorose Groomes, no; Mayor Peterson, yes; Mr. Lecklider, yes; Mr. Keenan, yes; Ms. Salay, yes; Ms. Alutto, no.

Ms. Amorose Groomes stated that for consistency and integrity, she believes it is important to have ARB review the project.

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Ms. Salay stated that she believes the review body going forward should be City Council.

Ms. Salay moved to designate City Council as the reviewing body for future Development Plan review and Site Plan review applications for the Library.

Mr. Keenan seconded the motion.

Ms. Alutto stated that she would prefer to have a joint review by Council and the ARB.

Ms. Readler stated that the Code provides three options for that review body.

Mayor Peterson inquired if it would be possible to request that ARB attend the Council review meeting and provide informal input.

Ms. Readler responded that would be appropriate.

Mayor Peterson stated that it would be good to have ARB's input.

Mr. McDaniel stated that the question then is which body would have the final vote.

Ms. Salay stated that she believes that Council should have that responsibility.

Ms. Rauch stated that, historically, ARB has also reviewed the applications informally at each step, so ARB could do the same in this case.

Ms. Amorose Groomes stated that everyone has stated their dissatisfaction with the process thus far, because of the inability for Council and others to provide input along the way. Is Council now eliminating yet another body from providing their level of review?

Ms. Salay stated that she believes the final review should be conducted by Council, but if Council believes ARB should be involved in the discussion, that is fine. This is not an historic building, although it lies on the edge of the Historic District.

Ms. Amorose Groomes responded that this project is similar to the condominium development across the street. A building that was not historic was demolished and replaced with a building with which we are satisfied. ARB has proven that they can do such review.

Mayor Peterson called the vote on the motion on the floor that has been seconded: to designate City Council as the reviewing body for future Development Plan review and Site Plan review applications for the Library.

Vote on the motion: Mr. Lecklider, yes; Mr. Keenan, yes; Ms. Salay, yes; Ms. Amorose Groomes, no; Mayor Peterson, yes; Vice Mayor Reiner, yes; Ms. Alutto, no.

- Basic Plan Review - Library Parking Garage (Case 17-003ARB-BPR)

Ms. Rauch stated that this structure will be located on the same site, to the west. The history for the Garage is the same as for the Library, including the review process. The same type of actions are requested on the recommended conditions, waivers and designation of the required reviewing body moving forward. The proposal is for a new 549-space parking garage with associated site improvements, including three pedestrian entrances, with stairs and elevator where needed, two vehicular access points and one exit only.

The Administrative Review Team has reviewed the Basic Plan and recommends approval with the following eight conditions:

1. That the applicant file a Demolition request prior to the approval of the Site Plan;
2. That the applicant investigate the use of stone in lieu of brick on the lower portions of the building and at the tower elements;
3. That staff should continue to work with the applicant on the provision of additional entrances;
4. That the applicant continue to refine the architectural details and Building Type requirements, as part of the Site Plan;
5. That the applicant provide the final details regarding landscaping, lighting, utilities, and stormwater with the Site Plan;

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6. That the design not require the construction of Darby Street between North Street and Rock Cress Parkway as reflected on the Street Network Map and for staff to update the Street Network Map accordingly;
7. That the applicant continue to work with Engineering to refine the geometry of the book drop exit onto Rock Cress Parkway; and
8. That the applicant continue to work with staff on the internal circulation and dimensions within the garage.

The ART also recommends approval of the following 11 Waivers:

1. §153.060(C)(2)(a): Maximum Block Size – Permitted Maximum Block Length: 300 feet. North Street: 379 feet (requested); Permitted Maximum Block Perimeter: 1,000 feet; 1,308 feet (requested).
2. §153.060(C)(5)(a): Block Access Limitations – No vehicular access permitted on Principal Frontage Street (Rock Cress Parkway) required; Vehicular access provided at northeast corner for book drop exit (requested)
3. §153.061(D)(2): Vehicular Access – No vehicular access permitted on Principal Frontage Street (Rock Cress Parkway) required; Vehicular access provided at northeast corner for book drop exist (requested).
4. §153.063(D)(4)(b): Building Height – Building height limited to 2.5 stories adjacent to the Historic Core District (required); 3 stories at the north, east, and south elevations (requested).
5. §153.062(O)(12)(b): Story Height – Ground Story minimum and minimum clearance is 12 feet (required); 11 feet (requested).
6. §153.065(B)(5)(c): Story Height – Minimum clearance is 12 feet (required); 11 feet (requested).
7. §153.062(D)(4): One tower permitted per building (required); three (requested).
8. §153.062(O)(12)(d)(6): One tower permitted per building (required); three (requested).
9. §153.062(O)(12)(c): Use and Occupancy Requirements – Commercial uses required; No commercial uses is provided (requested).
10. §153.062(O)(12)(c): Use and Occupancy Requirements – Occupied space (required); No occupied space is provided (requested).
11. §153.062(O)(12)(c): Use and Occupancy Requirements – Parking is not permitted in an area of the structure with frontage on a PFS and a greenway (required); Parking is provided in an area of the structure with frontage on a PFS and a greenway (requested).

Also requested is determination of the required reviewing body determination for future Development Plan Review and Site Plan Review applications (City Council, Architectural Review Board, or Administrative Review Team).

Miguel Gonzalez, Moody Nolan, presented slide images of the exterior components of the Garage, including: incorporation of stone in lieu of brick to be more appropriate to the specific site; a green screen (examples of successful projects shown); a metal fin system to provide texture (metal fin recommendations were reached following studies on options related to spacing patterns and color); and application of a horizontal terra cotta element. They will continue to study the options and refinements to the design. The intent is to make a final recommendation this summer. He requested that the record

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show that this is the Dublin City Garage, not the Library Garage. Although some spaces will be used by the Library, it will be a public garage.

Mayor Peterson moved to amend the Basic Plan - Parking Garage Condition #2 to be consistent with the same amendment made to the Basic Plan - Library Condition #2, to read:

"That the applicant will use stone in lieu of brick on the lower portions of the building."

Mr. Keenan seconded the motion.

Vote on the motion: Ms. Salay, yes; Mr. Lecklider, yes; Ms. Amorose Groomes, yes; Ms. Alutto, yes; Mr. Keenan, yes; Vice Mayor Reiner, yes; Mayor Peterson, yes.

Ms. Amorose Groomes:

1. Inquired the height of the tallest tower.

Mr. Gonzalez responded that the tallest point is at North Street and is 45.9 feet. The reason for that is the elevators and over-run. There are two towers with elevators and a third with stairs; the decision was to keep them all consistent.

2. Stated that many of her comments will be the same. City Code limits this to 2.5 stories and this is four stories. Council just reviewed a building that was 42.5 feet in height, and now this building is 45.9 feet in height. Development in the area is just beginning; there are more blocks proposed for redevelopment.

3. In perpetuity, Rock Cress won't dead-end at this parking garage, as it does today. We have disengaged the street network completely. There is probably nothing more pedestrian-unfriendly than the treatment at the base of a parking garage. No one will walk in and out of this along Rock Cress, so Rock Cress will become a pedestrian-dead street. We approved waivers to make this block too big, and now we have a block that is too big and disengaged from the pedestrian activity. We have a parking garage located on the streetscape of Rock Cress.

4. How are we going to move from this to a more appropriate scale? We have genuine historic buildings across the street and immediately to the south. How are we going to make this not look like the movie, "Up," or are we going to make it look like that - where the historic buildings go away so that subsequent things come in? How and where will this get back to scale? Where is the transition from an incredibly contemporary architecture Library? It will have to be big. How about behind it. How about where the Darby Street lot exists today? I suspect we are not going to want to put a shorter building behind these tall buildings, so how tall will we allow it to be? She does not believe anyone is going to want a building that will just look into the side of a parking garage in perpetuity. How are we going to make those transitions? All of her previous comments about height, and scale and massing stand.

Mr. Lecklider:

1. This parking garage presents a real challenge, but he doesn't see how it can be made smaller, or how a waiver can be avoided with respect to the block size. It doesn't make sense to do other than what we are doing with respect to the size of the garage, which makes maximum use of the land that is available to the City. Essentially, this is being accomplished without having to invest in land. Council has heard public comment that this isn't the place for this. Most of us agree that a parking garage has been necessary for some time. If it wasn't in this location, it wouldn't be far away. Unless the City builds it on the lot that it already owns, which isn't large enough, the City would have to purchase more land. Perhaps the City has not sufficiently acknowledged the benefit of having this free land.

2. Stated that he is not a fan of the metal fins. The vertical treatment accentuates the height, and he would like to see everything possible be done to bring the eyes down. What is proposed is creative, and he appreciates that, but he would like to see further exploration of a more horizontal treatment and the terra cotta option.

Vice Mayor Reiner:

1. Stated that it was essential to provide the parking that the Library would lose as a result of the loss of their surface parking lot. On nearly any night, it is almost impossible to find parking in the downtown Dublin area. With the new development, including restaurants and other activities that will need parking, the City would be

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foolish not to build this size garage. The parking will be needed. If there were sufficient space, trees could be added to diminish the impression of the building size.

Ms. Amorose Groomes continued:

1. The City does have other opportunities. It has the Darby Street parking lot. Because there is other land that the City owns, it is not essential to make the Garage of this scale. We don't have to solve the entire downtown parking problem with one structure. We have the opportunity to make more pedestrian-friendly, more human-scale buildings that park cars, which could be built sequentially. We could start the construction of this Garage to serve all of the Library's needs and probably accommodate as many parking spots as we have in the Darby lot, and then construct another, more appropriately scaled parking garage on the Darby lot. She wants to solve the parking problem but to a scale that is appropriate to the area. We worked so hard to try to build a pedestrian-friendly environment in that part of our community. We are dismantling the pedestrian scale. She would prefer to solve the parking space with two, smaller buildings than one gigantic building, and the City already owns additional space that could accommodate that.

Mayor Peterson moved to approve the Basic Site Plan for the Library Parking Garage with the seven original conditions and the one amended condition.

Vice Mayor Reiner seconded the motion.

Vote on the motion: Mr. Keenan, yes; Mayor Peterson, yes; Ms. Alutto, yes; Vice Mayor Reiner, yes; Ms. Amorose Groomes, yes; Mr. Lecklider, yes; Ms. Salay, yes.

Mayor Peterson moved to approve the 11 waivers as requested.

Vice Mayor Reiner seconded the motion.

Vote on the motion: Vice Mayor Reiner, yes; Mayor Peterson, yes; Ms. Salay, yes; Mr. Lecklider, yes; Ms. Amorose Groomes, no; Mr. Keenan, yes; Ms. Alutto, no.

Mayor Peterson moved to designate City Council as the required reviewing body for future development plan review and site plan review applications. The desire was expressed that ARB participate in an informal way to provide feedback.

Ms. Alutto seconded the motion.

Vote on the motion: Mr. Lecklider, yes; Mayor Peterson, yes; Vice Mayor Reiner, yes; Mr. Keenan, yes; Ms. Amorose Groomes, no; Ms. Salay, yes; Ms. Alutto, no.

SECOND READING/PUBLIC HEARING – ORDINANCES

Ordinance 18-17

Authorizing the City Manager to Execute Necessary Conveyance Documents to Dedicate a 0.657-Acre Portion; a 0.224-Acre Portion; and a 0.397-Acre Portion of Dublin-Owned Reserve Area Property, Located at the Intersection of Avery Road and Brand Road, to Public Right-of-Way for the Public Purpose of Constructing Roadway Improvements.

Mr. McDaniel stated that ordinance relates to the proposed construction of a roundabout at the intersection of Avery Road and Brand Road. The City owns adjacent property, and this will authorize the conveyance of that public property.

Council had no questions.

Vote on the Ordinance: Mayor Peterson, yes; Ms. Alutto, yes; Mr. Lecklider, yes; Ms. Salay, yes; Vice Mayor Reiner, yes.

Ordinance 19-17

Amending Section 2 (Wage & Salary Structure/Administration) of Ordinance No. 15-17 ("Compensation Plan for Non-Union Personnel").

Mr. McDaniel stated that there are no changes since the introduction of the ordinance. Council had no questions.

Vote on the Ordinance: Ms. Salay, yes; Mr. Lecklider, yes; Vice Mayor Reiner, yes; Ms. Alutto, yes; Mayor Peterson, yes.



BOARD DISCUSSION

Architectural Review Board

Wednesday, January 25, 2017 | 6:30 pm

The Architectural Review Board had the following discussion at this meeting:

1. BSD P – Columbus Metropolitan Library, Dublin Branch **75 N. High Street**
17-002ARB-BPR **Informal Review**

Proposal: Construction of a new 41,000-square-foot library and associated site improvements located at the northeast corner of the intersection of North High Street and North Street.

Request: Informal review of a Basic Plan Review under the provisions of Zoning Code §153.066 and §153.070, and the *Historic Dublin Design Guidelines*.

Applicant: Paula Miller, Columbus Metropolitan Library; represented by Tracy Perry, NBBJ

Planning Contact: Jennifer M. Rauch, AICP, Planning Manager; (614) 410-4690, jrauch@dublin.oh.us

2. BSD P – Library Parking Garage **75 N. High Street**
17-003ARB-BPR **Informal Review**

Proposal: Construction of a new parking garage with associated site improvements located at the northeast corner of the intersection of North High Street and North Street.

Request: Informal review of a Basic Plan Review under the provisions of Zoning Code §153.066 and §153.070, and the *Historic Dublin Design Guidelines*.

Applicant: Dana McDaniel, City of Dublin; represented by Teri Umbarger, Moody Nolan.

Planning Contact: Jennifer M. Rauch, AICP, Planning Manager; (614) 410-4690, jrauch@dublin.oh.us

RESULT: The Board informally reviewed the Basic Plan applications for the proposed library and parking garage. Some members expressed concerns that the proposed contemporary design of the buildings did not fit the character of the District and requested modifications be made to the proposal to be more sensitive to the character of the District in design, scale and materials. Another member stated the proposal provided contrast to the District in its design and use of materials, which appropriately set the proposal apart from the historic structures. The Board discussed the reduction in the size and scale of the garage, as well as improvements to the north and west elevations to address the school and the Grounds of Remembrance. The Board encouraged an increased connection, physically and visually, to the Grounds of Remembrance. The members supported the plaza and open spaces as an opportunity for community engagement in the District.



MEMBERS PRESENT:

David Rinaldi	Yes
Thomas Munhall	Yes
Everett Musser	Yes
Jane Fox	Yes
Shannon Stenberg	Yes

STAFF CERTIFICATION

Jennifer M. Rauch, AICP, Planning Manager

DRAFT



**1. BSD P – Columbus Metropolitan Library, Dublin Branch
17-002ARB-BPR**

**75 N. High Street
Informal Review**

**2. BSD P – Library Parking Garage
17-003ARB-BPR**

**75 N. High Street
Informal Review**

The Chair, David Rinaldi, said the following application is a request for the construction of a new 41,000-square-foot library and associated site improvements located at the northwest corner of the intersection of North High Street and North Street. He said this is a request for an informal review of a Basic Plan Review under the provisions of Zoning Code §153.066 and §153.070 and the *Historic Dublin Design Guidelines*. He stated the second application is a request for the construction of a new parking garage with associated site improvements located at the northwest corner of the intersection of North High Street and North Street. He said this is a request for an informal review of a Basic Plan Review under the provisions of Zoning Code §153.066 and §153.070 and the *Historic Dublin Design Guidelines*.

The Chair said cases 1 and 2 would be reviewed together as an informal review for the Basic Plan Review this evening. As such, he said no formal vote or action will be taken by this Board and their comments will be forwarded to City Council as they will make the final determination on these applications. He explained public comment will be taken and forwarded to City Council as part of this record.

Jennifer Rauch provided a background of the case that started in April 2014 through the present. She noted the application process and presented an aerial view of the site to provide context. She pointed out the location of the pedestrian bridge and its landing site at the public plaza. She presented several photographs of the area to provide context and to orient everyone.

Ms. Rauch presented the proposed site plan layout noting the location of the library with its frontage along North High Street and the parking garage to the west. She said access for the parking garage is provided at ground level on North Street and the second floor on Franklin Street, given the grade change. She explained Rock Cress Parkway is on the northern boundary with Veteran's Park located on the north side of that.

Ms. Rauch presented the discussion questions:

1. How does the proposal carry out City Council's vision of iconic architecture for this civic facility?
2. How does the proposal transition between the contemporary design of the existing civic elements in the area and the more traditional properties to the south?
3. How do you envision the proposed plaza as a civic space? What elements should be incorporated in this space to engage users?
4. What design solutions could be incorporated to further engage with the surrounding civic spaces to the north and west?
5. Are there other considerations by the Board?

Patrick Losinski said he was happy to present on behalf of the Columbus Metropolitan Library. He explained his role this evening is to present the service area of the library and some of the rationale around determining to stay on the current site. He said this project goes back to 2008 and has involved City Council along the way. For context, he presented a map that showed the location of the Dublin cardholders, not all residing in the City of Dublin. He said within the City of Dublin alone, there are 41,000 card holders. He presented a map that showed 10 weeks of activity where people are coming in to check out materials at the Dublin branch; this proves that proximity matters. He said they have found that their customers may live in one area but often times they are using four or five libraries.

Mr. Losinski said the gift of this land for a public library in perpetuity and if at any time they were to abandon this property, the sale proceeds would go to the schools so they cannot monetize the site and would walk away from a very important asset. He said they looked at four or five additional sites around Dublin and for a host of reasons, including the other sites not being large enough, they came back to this site. He said the Library Board believes that a location in the heart of the civic center of Dublin for a library makes great sense. This location, he indicated would connect with the commerce and residential around it and it is also at the point of the new pedestrian bridge.

Mike Suriano, NBBJ, an architect on the project team, said this is the third project they are working on with Columbus Metropolitan Library. He said the Northside Branch is under construction and the previous project was the new Driving Park Branch, which incorporates a “racetrack” concept.

Mr. Suriano said they look at three buckets when determining design: Library evolution - how branch libraries are developing and how they deliver visions; Unique context architecturally – how the library would benefit the community; and Project parameters – square footages and targets.

After researching libraries over time, Mr. Suriano said libraries have become increasingly social. He presented a timeline showcasing various libraries including the Trinity College Library in Dublin, Ireland from 1732 to 2004 with the Seattle Public Library in Seattle, Washington, USA. He explained libraries are transitioning from housing physical materials to more of a community and people based institution. He stated libraries were the sole institution for housing knowledge and increasingly, libraries are just part of a larger network of where information is derived. As a result, the physical spaces of libraries have changed. In the past, he said libraries had an inward focus with the materials/assets on the perimeters of the building and transitioned to an outward focus where materials/assets are centralized and more flexible spaces are on the outside perimeter, externally focused.

Mr. Suriano said when NBBJ looked at the library/client and the City of Dublin, they had discussions to determine what was important. He said the library has guiding principles they use to develop branches and the City has some goals to accomplish; they found commonalities. He said both were interested in iconic and contemporary architecture and how these physical spaces benefit/supported or were good stewards of the environment. He stated the proposed library reflects those commonalities.

Mr. Suriano presented a map of Dublin in 1872. He pointed out the site and said that High Street at that time was not a through street and it housed the Old Dublin School, which was a three-story structure that is relevant for what they are doing today.

Mr. Suriano presented the library as it exists now in a discrete profile in its relationship to the City. He said the exterior and the interior experiences are insular and centrally focused. He said the proposed library is more externally focused, holds a high profile, and is more iconic within the context of the community.

Mr. Suriano presented a zoning map and noted their site and the Historic Core District to provide relevance to Bridge Street. The aerial view that he presented shows the proposed library and garage site and that is dictated by (future) Rock Cress Parkway and Franklin Street. He presented a rendering showing the proposed library and garage as it would be oriented on the site and the relation to the Pedestrian Bridge landing and Veteran’s Memorial Park. He said this makes for a significant landing site for the bridge across from the street where the library occupies the corner; the library will be highly visible as one comes across the water on the pedestrian bridge and on High Street, as well.

Mr. Suriano presented the general site plan and noted the intended active public plaza to the south; the civic stair on the east accounts for circulation and permits generous streetscape for movement; and the garden respite between the library and the parking garage on the west side. A blow up of the plaza revealed the civic stair, seating, event lawn, and garden. He provided multiple views of the elevation to

show the experience at the pedestrian level and the grade changes across the site; walls to punctuate the plaza and the trees to provide shade. He explained this area provides a space for lots of people to gather and perhaps watch a movie being projected on the side of the garage. He showed the connection from the interior to the outside from the first level. He said the space between the library and the garage could serve as a softer buffer by using gardens, trees, and sculpture.

Mr. Suriano presented the site design base plan, which serves as a placeholder alongside the site design alternate with fundraising.

The significant amount of grade changes across the site was demonstrated by Mr. Suriano. From east to west on the north corner the site goes from 0 to 24 feet, from north to south – 0 to 6 feet, from east to west on the south corner – 6 feet to 17 feet and south to north across the middle of the site is 11 to 10 feet. As a result, he said the majority of the bottom level of the three-story building could be buried to reveal a two-story building but it would be without windows and that is not conducive to reading or any amount of function that is sustainable.

Mr. Suriano said NBBJ tried to be sensitive to what is happening in and around this site by incorporating like exterior materials: roof patina, textured facades, glazing, wild green, dry-laid stone walls, shingles, metal panels, and masonry. He said this translates to renderings showing: the exterior at dusk and daytime on High Street; the exterior in the daytime from the plaza; and views that included mature trees.

Mr. Suriano focused on the interior design that includes:

- An increased area from 20,000 square feet to 41,000 square feet
- Increase in parking spaces from 115 to approximately 200 parking spaces in the garage designated for the library
- Sustainable building design
- Robust collection of materials
- Three meeting rooms
- Seven study rooms
- Children's area
- Programming space
- Teen area
- Homework help center
- Public computing area
- Café

Mr. Suriano presented Level 1 that includes:

- Welcome zone/Entry from garage
- Browsing/Seating area
- Children's area with programmable space
- Staff/Service/Utility areas

Mr. Suriano presented Level 0 at High Street that includes:

- Welcome zone/Entry
- Meeting rooms
- Café
- Service area

Mr. Suriano presented Level 2 that is the upper volume that includes:

- Browsing/Collection areas
- Teen area
- Computing area
- Quiet lounge/Study rooms
- Service area

Mr. Suriano said they limited the footprint on the first floor because there is a lot of bedrock on this site; it is very shallow soil and they tried to limit the amount of disruption to the site. He said they incorporated a lot of natural light so the space is bright. He concluded from a sustainability standpoint, they are focusing on water efficiency, self-shading, renewable materials, and natural light to supplement artificial light.

Mr. Suriano introduced Miguel Gonzales to discuss the Parking Garage.

Miguel Gonzales, Moody Nolan, said the parking garage occupies the western side of the site and they share the garden and plaza with the library. He said there are two entries and exits to the garage, one is on the first level off North Street, and the second is on the second floor off of Franklin Street. He said the building reads as a three-level building due to the topography. He pointed out the main pedestrian entry/exit between the library and the parking garage on the first floor as well as the pedestrian and vehicular book drops. The second pedestrian entry/exit is from the second floor off of (future) Rock Cress Parkway at the Bike Hub and the third pedestrian entry/exit is off North Street. A central ramp connects all four floors.

Mr. Gonzales reiterated the reinterpreted materials incorporated into the parking garage design have a lot of synergy with the library. He presented the metal fin system, the green screen to be used on the pedestrian level, and grey roman brick proposed. Lastly, he presented the different facades and noted the open covered stairway to provide a playful element for the plaza and break up that façade.

Ms. Rauch presented the discussion questions:

1. How does the proposal carry out City Council's vision of iconic architecture for this civic facility?
2. How does the proposal transition between the contemporary design of the existing civic elements in the area and the more traditional properties to the south?
3. How do you envision the proposed plaza as a civic space? What elements should be incorporated in this space to engage users?
4. What design solutions could be incorporated to further engage with the surrounding civic spaces to the north and west?
5. Are there other considerations by the Board?

Ms. Rauch noted the library and the parking garage are located at a convergence of other civic spaces (future public plaza, future pedestrian bridge, and Veteran's Memorial). She stated the northern portion of the district transitions into the Historic Core District with smaller scale buildings. She reiterated the applicant would like to gain feedback on how this proposal carries out the vision for this area and how contemporary designs can be transitioned appropriately. She said the applicant would also like to hear the Board members' comments and design solutions on how to engage the public visually or otherwise.

The Chair invited the public to comment on either case. He said he would like to hear the public's brief comments but there would be no debate on those comments as this is an informal review and no vote is being taken tonight.

Rich Taylor, 48 S. High Street, Ste. B, said he wished we were discussing the citizens' vision and not just Council's vision. As a Historic District business owner and a Board Member of the Historic Dublin Business Association, he said he has heard a lot of public comment about this project. He thanked Ms. Rauch for presenting the process but what he did not see from the chart was the ARB is only going to have two opportunities at most to look at these buildings and one includes this evening's review, which is non-binding. He said the next review will be after City Council does a Basic Plan Review. He stressed to the public that the important thing here as to whether these buildings are appropriate, is to attend the City Council meeting, which is tentatively scheduled for February 27th to make their voices heard.

Mr. Taylor said he attended the public presentation of this project at the library two weeks ago and had asked "given the site is in the Historic District, what the plan is to present this decidedly not historic structure to the Architecture Review Board". He said the answer he received was along the lines of "we are just doing what the City told us they wanted to see on this site". He said the library may have heard what City Council and City Planning wants but tonight he hopes the library hears what the citizens of the Historic District want.

Mr. Taylor said he considers the people that have houses and businesses in this area, some of them for decades or longer. He demonstrated how the residents also are patrons at each other's' businesses. He said people that reside in the Historic District have to take a lot more time and effort to maintain the normal because the houses are 100 years old. He said that is part of the sacrifice they make to keep it special. He said they also have to endure having the streets closed five or six days a year to accommodate the St. Patrick's Day Parade, the Independence Day Parade, the Bread Festival, the Street Bazaar, and one year, the President's Cup Party. He said they had one of the main roads in/out of the City closed for one year while the City built a roundabout. He indicated that was hard for the businesses to bear. He said next week, Dublin Road northbound will be closed for the next 10 months. He stated that when we all bought our homes or businesses in the Historic District, we all agreed to abide by the *Old Dublin Historic Guidelines*, which was published a long time ago. Additionally, we all agreed to respect the decisions of this reviewing body, he said because we were confident that these *Guidelines* and the rulings of this Board would be equally applied to everyone in the Historic District. And yet today, he said we are being asked to accept two buildings that completely and utterly ignore these *Guidelines* and circumvent any meaningful input from the ARB. He asked how in good conscience that can be relayed to these residents that cannot go to Lowe's to buy a can of paint without first getting written permission from this Board for the color.

Mr. Taylor said he is not opposed to contemporary architecture and stated these buildings would look fine on Frantz Road, Blazer Parkway, or some other area of town where there is little context and no long standing *Historic Dublin Design Guidelines* required to be followed. He said the library belongs in the Historic District and they want to keep it there. He said the library wants to be iconic and distinctive and we just want the library to be a good neighbor. Those two things he said, are not architecturally incompatible. He indicated that the design does not have to incorporate gables, double-hung windows, and wood but the proposed designs are a long way from what they should be.

He said as friends and neighbors that want the library on this site, they ask the library to go back to the drawing board and create a building that respects, enhances, and connects with the existing architectural fabric of Historic Dublin. He added buildings should be created that set the proper historic architectural context as they turn west along (future) Rock Cress Parkway and North Street towards the school property, which is also in the Historic District and subject to this Board's purview.

Steve Rudy, 129 S. Riverview Street, asked where the alternative locations were for the library. He indicated there are properties within the BSD that are completely appropriate for this type of building. He said the City is being entirely unfair to this Board to pose some of these questions because it is not in the Board's purview to decide if something is iconic. He again suggested other sites would be more appropriate for this building. He emphasized to the Planners that they need to stop trying to cram

everything in the Historic District. He said the 500+ space parking garage with the addition of (future) Rock Cress Parkway will violate the ravine.

Jane Fox said she knows the Board would like the comments to be kept brief but she does not want anyone to hesitate to speak just because it has been said before. She said in all fairness, it is a public meeting and everyone should have the opportunity to state what they came to say. She asked that everyone keep it brief so everyone has the same opportunity to speak.

Linda Rudy, 129 S. Riverview Street, said everything she wanted to say was beautifully stated by Mr. Taylor. She said she is concerned with covering the falls with (future) Rock Cress Parkway. She asked the City to consider a different location.

David Hahm, 83 S. Riverview Street, said he wanted to underscore everything that has been said before. He stated the new library does not have to be where the old library was. He said he is hearing it is all about the money. He emphasized that “iconic” is being interpreted as having to be contemporary or in some way, calling attention to itself in a very aggressive way. He said that is not appropriate for the transitional area next to the Historic Core District. He indicated he likes the building as proposed but would like to see it constructed someplace else. He said this proposal is aesthetically, conceptually, and perceptually in conflict with the Historic District and the treasure that area is. He said it is an aggressive and ‘in your face’ design. He pointed out that the NW Quadrant permits contemporary architectural design features by deconstructing/cutting up traditional historic architectural features into little pieces and then cementing them back together again in a novel way; at least that type of design pays homage to the historical character. He concluded this proposal is in hostile confrontation with the Historic District.

Sterling Reaverly, 136 S. Riverview Street, said this is a beautiful building but he would like to see it across the river in the new development. He questioned why 536 parking spaces are needed. He said he did not understand why a huge parking garage was proposed when this is all supposed to be a walkable area.

Carl Karrer, 319 Canyon Drive, S., Columbus, OH, said he is no longer a resident of Dublin. He explained he has been out of town for about five years. However, he said he was a past member of the ARB and their charge is to preserve the character of the Historic District. He said this is a special area that needs to be protected. He indicated he hoped that a building like this could be constructed in an area that could support this civic center and type of architecture. He reported that several years ago, the civic center was not approved for this area as they determined the Historic District was too fragile. He concluded it is up to the people here to make sure the Historic District does not get bulldozed.

Amy Kramb, 7511 Riverside Drive, said she was here to ensure that City Council hears from the residents that the exterior design of this new building is not appropriate for Historic Dublin. She said a lot of us want an improved library in Historic Dublin along with parking to accommodate all of the businesses. She indicated that everyone can win if City Council requests that the library’s exterior design is redesigned. She emphasized the contemporary design is incompatible with Historic Dublin.

Ms. Kramb stated she has been a historic preservation consultant for over 20 years. She reported she currently sits on the Ohio Historic Preservation Advisory Board, who determine which properties in the state of Ohio should be listed on the National Register of Historic Places. She said she is extremely familiar with what it takes to get properties listed on the National Register and what it takes to have properties removed from the National Register. She stated that when properties are no longer eligible for the National Register, they are also no longer eligible to receive federal and state historic tax credits. She said the current library is surrounded by many properties listed on the National Register including the Dublin Historic District, which is listed on the National Register as a district. She said a district for this purpose is defined as “buildings that represent a significant and distinguishable entity whose components may lack in individual distinction”. She indicated that as buildings are demolished within a Historic

District, and immediately adjacent, and build new buildings within a Historic District, the whole district loses integrity and it eventually reaches a point where it no longer can portray that historic design, material, scale, and setting for which it was significant to begin with. When there is enough loss to the integrity, she stated the district can be delisted and the buildings that are left in the district would no longer be entitled to those state and federal tax credits. She concluded that if the City continues to destroy the historic aspects of its downtown core, the businesses in the Historic District may also suffer financially. She asked the Board to reconsider adding a contemporary structure within the Historic District.

Kay Walker, 7103 Fitzgerald Road, Dublin, said at the urging of many people on Nextdoor.com to start a petition, she did last night. She reported the last she checked the site about 1.5 hours ago, there were 114 signatures, which she realizes is relatively small. She reported the petition states "We, the signed residents of Dublin, wish to preserve the historic nature of downtown Dublin. Please reconsider the proposed exterior design of the new Dublin library so it will reflect the historic charm of surrounding buildings, separate from the modern buildings across the river, where the bridge to the future, leads."

Ms. Walker said the building was gorgeous; she absolutely loved it but believes it is better suited for the Dublin of the future, across the river. She suggested the design be reworked so it would better fit into the charm of the Historic District. She said she likes the stunning, contemporary design, and that it is environmentally friendly but not appropriate for the place it is being proposed.

Janet Stone, 5608 Fawnbrook Lane in Bristol Commons, indicated she agreed with everything that has been said. When the gas station in downtown Dublin was demolished, she said the buildings that replaced it added so much value, keeping with the colonial appearance. She said she votes the same thing be done with the library. She pointed out that in New Albany, one would not find a contemporary building next to a colonial building. She said New Albany is consistent with their architecture and it is easy to see when one is in New Albany as the same character is carried throughout. She suggested the same thing should happen in Dublin's Historic District.

Tom Holton, 5957 Roundstone Place, said it is difficult to understand where in the Historic District the architects saw many of the materials they plan to incorporate. He said he could get along with many of them until he saw the twisted fins; those are too much and not appropriate for the garage. He indicated the Board is familiar with the *Historic Dublin Design Guidelines*, which they have had to interpret several times for the Bridge Park West project in particular, across the street ± 100 feet from this project. He reported a lot of designs were disapproved and this Board asked the applicant to go back and do it again because the design was not historic enough. He said it seems clear to him that this Board is obligated to recommend to City Council, that this application be resubmitted with different materials and a different design that is contextually relevant while still iconic. Otherwise, to provide a positive recommendation is to suspend the Board's responsibilities as stated by this chair at the opening of this and every other meeting, to accommodate special circumstances.

Gina Forsberg, 5897 Ballymead Blvd, said she has been a resident for 10 years and loves Dublin and the library. She believes the library is a destination for a huge range of ages. She recalled what they wanted when the library was being considered for just remodeling, years ago. At that time, she said a lot of ideas were being considered. She reported she has a design background and helped the Sells Middle School renovate their library so she has done a lot of research on libraries. She said she agrees with the vision for the future of libraries. She stated the concept of using the natural daylight is wonderful. From a design concept, she said we are surrounded by water – Scioto River and Indian Run Falls. She noted that is what she tried to do in the Sell's library along with using stone. She indicated she considered the outside elements coming in. Historic Dublin has so much charm she said as everyone has stated. She indicated that modern can be mixed with historic and make everyone happy based on the materials proposed. No matter how far in the future we go, she suggested we will always love and respect really good historical design. She said even though we are talking about a library that will last into the next 50

years, at the same time, we still like to visit historical buildings such as in Chicago, Illinois and Paris, France, that are surrounded by other modern buildings. She embraces the message that the Historic District of Dublin is on the west side of the river to embrace the past and once one crosses the (future) pedestrian bridge, one sees all the futuristic type buildings on the other side; she is fine with the way Dublin is growing. She stated she agrees with the other Dublin residents that we can have the historical charm.

Ms. Forsberg said when she uses the library, she wants to get in and out fast; she would like to see a drive-through. She recalled how excited everyone was about the new drive-through Starbucks on Sawmill Road because they have sleeping babies in the back and they do not want to get out of the car. She said she uses the library's app and gets her reserves by zipping in and out; she does not want to enter the library and use their computers to find what she is looking for.

Ms. Forsberg said if (future) Rock Cress Parkway is constructed over Indian Run Falls, she is not a fan. However, she said she supports the parking garage because there are so many events in downtown Dublin that there is insufficient parking. She said there is not enough parking in Sell's Middle School and Indian Run so drivers intrude on other businesses.

Ms. Forsberg said there are some features for children in the current library but the branch library on Hard Road has a much more charming children's section. She said so many moms bring their kids to get out of the house. She suggested that playable structures/sculptures be built in the garden for children to climb on, and not necessarily creating a playground. She said something to climb on in the library would also be a benefit or a puppet area to engage the children in different ways.

A resident on Fawnbrook Lane, said the Historic District is truly a destination for him; he lives in the suburbs and works all around the beltway. He stated this is a destination he proudly brings his family and friends to. He noted Dublin is very expansive and he likes pointing out the core.

The Fawnbrook Lane resident said he loves the design and a lot of good work has gone into the proposal but the mandate is for such a large footprint of a library and really does not seem to fit this part of the historic community. He suggested a better fit would be across the river or maybe closer to Tuttle. He said we are fortunate to have green space available within the beltway and we have a parkway and driveways for future buildings and future growth. He noted he has come from the Washington, DC area and it has grown, and it has exceeded its space. He said the proposed library and garage will serve the community very well but it is not appropriate in the Historic District. He indicated he would be embarrassed to take any friends or family to the library if constructed per this proposal. He said we need the parking and he would park there and go to the restaurants where the charm is the draw. He concluded he hopes the Board heed the comments that have come forward.

Jeff Blasinski, 7511 Bardston Drive, said he is a longtime resident of Dublin. He said he is considering the customers that will use the library. He said he has young children and the library is on par with any amusement park; it is a destination for kids to really expand their imagination and learn. He indicated the first time he saw this proposal was one week ago. He suggested the City gain input from kids before we get to the final structure. He said the functionality should reflect the kids needs/wants of all ages. He said the way the buildings are positioned on the site, it appears it is too much of a structure to fit on too little of a lot. He suggested the existing structure gets revitalized and improved and then consider a more futuristic library or smaller satellite libraries on other parts of town where the kids like to bike to.

The Chair asked if there were any more public comments. [Hearing none.] He closed the public portion of the meeting. He suggested an order to the Board's conversation by addressing the Planner's questions, first.

Jane Fox said she looked up the definition of “iconic” and it was a religious symbol. She also found “it is an image that produces significant representation of a place or person that is valued, that have characteristics that have a long-term value”. She also found “iconic” is often misunderstood to be contemporary or idealistic. She said if we are looking for an iconic piece of architecture in Historic Dublin, we have to decide what it is about Historic Dublin that represents us that we see as rooting us that has a long term important characteristic that we value. As beautiful as this proposed design is, she said it is incompatible with the valuable characteristics of Historic Dublin. She indicated “iconic” is a subjective term and she would say the word iconic in the Historic District would have to be something that better represents what we value as a community as a whole. She said contemporary architecture could go in the Historic District but as a Board Member, she has to go by the Zoning Code and the *Historic Dublin Design Guidelines*. In Code §153.174, “contemporary should not be discouraged when the design is compatible with the size, scale, color, material, and character of a property, neighborhood, and the environment. She clarified that for the building to be iconic, it has to be defined as something we see as a representation of the Historic District and not something we just pull out using the word iconic.

Tom Munhall said “iconic” to him is why we recognize the well-established, not especially for distinction. He said he does not understand why this word is being put in here because he does not think it is the only word City Council wanted us to use.

Shannon Stenberg said she agreed with Ms. Fox and Mr. Munhall. She said the *Historic Dublin Design Guidelines* suggest we continue with the materials, scale, and massing and that can make the building iconic to fit into the district as a whole; that is what defines our City and that is what defines us as Board Members and community members. She said the design itself is beautiful.

Mr. Rinaldi indicated the City's direction was iconic and thought it specifically said contemporary. He said the Thompson Library is a good example of how a historic piece of architecture has been modernized and in his mind it is an iconic structure and is also very contemporary today. He said there is that possibility to have both. He indicated this can fit into the Historic District and in a historical architectural manner. He suggested there is going to be a lot of debate on whether or not this project does that or not. He said he would agree they have gotten into the historic principles - the base, middle, top and a modern interpretation of materials and liked that idea. He said we have heard for the most part tonight the public loves the building but does not love the proposed location. We said NBBJ is taking materials and reusing them in a modern way that ties back to historic and what is there. Again, he said we have a lot of questions on whether that is the specific structure and specific location it should be. He indicated for his vision of iconic – that building is it. He said it is definitely a landmark, something that will be a focal point in that area of town for sure.

The Chair asked the Board how this proposal transitions through the contemporary design that it is and then the more historic or contextual components that are to the south and to the west.

Ms. Fox stated transition is so important. She indicated there is a lot of pressure on the Historic District with the contemporary developments that are coming. As a Board member, she said she feels strongly that we have a duty, as it states in the Code, that we have to look at how we can preserve the historic and architectural character of the Historic District. When it comes to transition, she said she really struggles as we move from the north to the south with these contemporary buildings that we will slowly erode the edges of the Historic District to the point that there will not be a Historic District left. She noted as we get closer and closer to the core of the district we must be so very sensitive to not erode the district to the point that it is not recognizable as a historic district anymore. She stated she strongly believes the library needs to stay on this site because what is so great about the Historic District is that it draws everyone because of the wide demographic it attracts. She explained we have an elementary and middle school and children love to walk the Historic District; she said on a Friday afternoon, they are all down there. She said they love their library. She said we do not want to see the library move, we just want it to be the best neighbor possible to the Historic District and that requires sensitivity and design.

She said transitioning contemporary design is tough but it is doable. She said with collaborative and collective opinion brought to the applicant, redesigning this to be more sensitive is a home run for everybody including the library, public, and the Historic District. She said if the City wants iconic and the applicant is able to pull that off, and a beautiful, historic, iconic library is a result, everybody wins.

Ms. Stenberg said in terms of transitions, she liked the walkability aspect, especially the plaza. She loves the idea of bringing people in from the other side, other streets, and restaurants. She said she liked how people are brought in on different levels and different parts because of the grade changes. She said there are a lot of transitions within that building that the applicant did very well. She said the transition between inside and outside is a very good feature. She said she likes the glass and having it open with community spaces. She said she found the northeast corner challenging where the building is near grade 0. She said this feel very massive specifically because many people will come from Dublin Road, approaching the Historic District and this will be the first thing they see entering the Historic Core. She said it is also the tallest part of the building. She suggested that the building be set back and make more use of that public open space with seating areas.

Mr. Munhall said he likes to be pragmatic and try to get to a solution. He said he is okay with the site plan, plazas, and gardens but he is not okay with the exterior design. He questioned how the Board could get something done but keep the exterior design on the agenda for further review.

Mr. Rinaldi said, in terms of transition, being the property that is the furthest north on that side of High Street, it is in the Historic Transition District and a break has been created between the properties to the south in the Historic Core. He said as the plaza wanders in making that transition in that direction rather than having this modern structure adjacent to Historic Core structures; that is a much harsher transition. He said the plaza will entail a fundraising effort and is not guaranteed in this proposal. He asked how the plaza would function in the interim if it is not part of construction. He asked if it would just be a grassy knoll.

Mr. Suriano said the plaza as it stands is still flat, graded at level one but is mostly lawn with stairs leading up to the library but the hardscape of walls and seating would not be completed.

The Chair said we have heard a lot of positive comments on the plaza this evening. He asked the Board what they want to see happen in the plaza space and how it can be more engaging, if it is not already. He asked what the plaza space might be lacking.

Ms. Stenberg said she loves the plaza idea whether it is a grassy area or we are able to do the fundraising to get it completed. She recalled one of the residents mentioned a children's space and making it more engaging for children. She said offering something to climb on like signage or offering something interactive that children could learn from could be exciting to incorporate into the plaza, as well as inside.

Mr. Munhall stated the plaza space is great. He indicated the Dublin Arts Council or other organizations could help program the space.

Ms. Fox said she likes using the indoor/outdoor aspect; she likes the glass so patrons inside can see out. She said the applicant needs to be sensitive to the landscape design of the plaza because when one walks through the Historic District, there is a ballet rhythm of little green spaces, intimate spots, and seating areas. She said this plaza seems contemporary like something that would be found downtown Columbus. She said she loves the idea of a plaza and a seating area but again it has to be sensitive to the style of the Historic District gathering spaces.

Ms. Fox said the parking garage is so much larger than the library. She said the area between the library and the garage is very narrow (± 20 feet) and she sees that as being a dark corridor and would not be

very inviting to sit in. She said incorporating the library, the green spaces, and the parking garage, she would like to see the parking garage cut back by at least 20 or 30% so it is not quite so massive. And then maybe that civic space could be a little larger across the south side of the property. She emphasized that the landscape of the Historic District is so organic with the Scioto River, Indian Run Falls, and the riverfront parks that the applicant needs to provide an organic space that would better fit.

Mr. Rinaldi said the site design is very important here despite the architecture. He said he is lacking in information on how this project is engaging surrounding civic spaces. He said he does not understand how the contemplative space between the garage and the library does that or how it can connect to the Grounds of Remembrance. He indicated that would be an important connection to be made there. He said he is not seeing that on paper as that park is important to a lot of our residents. Likewise, he asked how that would connect to the Bridge Park property on the east side of High Street. He noted that obviously this is further south, the plaza landing is north of this project. He said he would like to see more engagement on that northeast corner piece. He stated he would like to see an elevated plaza there, something that introduces some vitality. He noted the rendering makes it feel heavy-handed at that corner. He said he likes the idea of pulling the people from the plaza across the street into that area and there are great opportunities there to make it more engaging.

Ms. Stenberg asked the applicant how the project was determined to be two separate structures and the garage could not be incorporated into the bottom where you do not want people to be - where they would feel as though they are in a basement.

Mr. Losinski answered one of the primary reasons is the bedrock on the site and the cost involved in putting in underground parking in that site.

Ms. Fox asked if there was ever any a discussion about a parking deck attached to the library and not separate structures. Vince Papsidero answered this site will be two separate parcels at the end of the day; the City will own the parcel where the garage sits. Physically connecting the garage to the library, he said has never been part of the program. For a host of reasons, he said it was not considered including ownership and the fire code that mandates a certain amount of separation, which affects the west elevation.

Ms. Fox said, even when it comes to two structures, incorporating civic spaces, she would really like to see a redesign because of the Grounds of Remembrance and Indian Run Falls. She said the Historic District is not just buildings. She said we have been talking about how buildings connect to each other. She said the Historic District is about the surrounding areas such as Veteran's Park, Indian Run Falls, the quarries, the Scioto River, etc. are valued as much as it is about the little houses. She suggested that if the applicant redesigns for the site that they consider the landscapes that this site is adjacent to. She indicated this is important to the inside out look and concluded there are many more opportunities to relate to the outdoors. She restated that the garage is overwhelming.

Mr. Munhall indicated he thinks the details in the landscaping will happen over time.

Ms. Fox emphasized that since the garage is such a large structure, that it be decreased by at least a third to get it back a little bit. So when one is on the plaza they are not looking at the side of the garage. She noted the applicant talked about projecting movies on the side of the garage but that would only be a small period of time the garage facade could be used for that purpose. Whereas, if there is a much larger civic space that ran across the entire south side, there would be a lot more activity all the time – possibly art fairs, have room for booths and that kind of thing. With such a large garage, it limits civic/green space. She said the north side of the library does not relate to Veteran's Park at all. It is a beautiful walk now beside the library, which connects with the Veteran's Park and she is afraid this will be lost with the new proposal.

Mr. Munhall said he would be willing to compromise on the size of the garage if the applicant redesigns the exterior of both buildings.

Mr. Rinaldi asked if anyone knew what the school districts thoughts are with the use of their land to the west. Mr. Papsidero answered that we do not know their thoughts.

Mr. Rinaldi said he does not envy any architect that has to design a garage; no matter how you slice it, it is the proverbial 'lipstick on a pig'. He said the applicant did a great job on the plaza side; he is intrigued by the green screen and the twisting fins, which decomposes that elevation. He said he is more concerned with the west elevation as it appears very stark and a hard edge. He said whatever happens on that school property, the west elevation is what they will be looking at. He said he would prefer a softer feel that the green screens and the twisted metal fins provide. Again, he said a parking garage is tough. He said when a parking garage has to provide that many spaces, it is going to be large and so the treatment of the facades is important.

Mr. Papsidero said the administration's goal was to always have a garage in the 400 – 500 space range - built to serve the library's needs as part of the Economic Development Agreement as well as the businesses in the Historic District, to provide parking for the restaurants and retail spaces within walking distance. He said the footprint and design of the garage is probably a function of the grade of the ramp on the interior of the structure. He noted the garage meets the size requirements in terms of the number of spaces. He said we have been debating some value engineering options because as currently proposed, the cost exceeds the budget that has been set aside by Council. He indicated one option was to consider shrinking the footprint but it creates design issues.

Mr. Gonzalez said it is because it is designed for parking on the garage but he said they have some strategies to address that so the ramp would not be compromised. As proposed, he said the 538 spaces total (200 spaces between the first and second floors dedicated to the library) and the rest would be public parking.

Mr. Papsidero said the ADA spaces have been distributed on the first level for library patrons and on the second level for Veteran's who would be accessing the Grounds of Remembrance which puts them right at that ground level exit on the northwest corner. He said ADA spaces also affect the height of the structure because they require an additional foot or so higher on that floor in order to meet van requirements, which also raises the cost of the garage but obviously a reasonable trade off in order to serve and support the veteran population in the community.

Mr. Rinaldi asked that the exterior stair be explained.

Mr. Gonzalez said it is a little harder to see now because the colors and materials are not completely defined. He said the library has a stair that is very visible from North High Street and the designers of the garage were trying to recollect this element in another way in the garage; therefore, it became an accent of that and they really wanted a more playful element on that garden side to allow people to be more connected instead of coming down a regular egress stair within a corner.

Ms. Stenberg indicated she likes the idea of the staircase but the blue is a little hard to support not knowing what materials would be used. She said she likes that the plaza and library would be visible while descending the stairs.

Ms. Fox stated she wanted to go on record so City Council would hear her say that it is important that we think the design style (contemporary) for the Historic District is not at all appropriate. She restated the size of the garage is large. She said she appreciates that the applicant tried to use materials already being used in the Historic District but she would rather they used them then rather than pretending to try and find materials that might look like them. She said everyone that wants to preserve the Historic

District yearns for that charm, the historical ambiance, sense of a tourist attraction, a place where one feels warm and embraced by. As beautiful as this proposed building is, she said it belongs somewhere else. She said the materials for the garage would become the overwhelming factor as one enters the district because of the finish and everything. She said she is concerned if one entered the district with this garage before them, they would not be sure where they were; the transition is not being addressed at all. She indicated she fears that the direction the applicant was encouraged to take for an iconic structure was so far from what the public or the members of the ARB would want. She said she feels bad for the applicant because she knows how much time this takes and work is involved to pull together a proposal like this. She concluded it is really important to the Historic District that these buildings feel good and will last the test of time.

Mr. Munhall asked for a view from the northeast second floor facing east. He said he does not want to look at the building they just approved 18 months ago and see their air conditioners and the top of roofs from this new library. Mr. Suriano answered he did not believe they would be visible because the view is predominantly looking north and not east.

Mr. Munhall questioned the height of the elevations. Mr. Suriano answered the height of the building on the plaza side is 31 feet and the overall height at the northeast corner is 43 feet.

Mr. Munhall asked where one's sight would land if someone was standing, looking across the street at buildings Z1 or Z2. Mr. Suriano said he was not sure where those buildings would hit height wise. Mr. Munhall said they are at a height of 32 feet and he was trying to figure out what the view would be.

Teri Umbarger, Moody Nolan, said building Z2 has a pitched roof at that corner. She said the mechanical area will not be visible from the library's second floor because it is down in a pit, hidden. She said just the roof will be visible and currently it is metal.

Mr. Munhall said he wants the view to be as nice as possible. Ms. Umbarger said one will be able to see over part of the building to the (future) pedestrian bridge because the pedestrian bridge will come up from behind building Z2 and the entire west side will also be visible from that vantage point.

Ms. Fox complimented the applicant on utilizing glass to enable people to look from the inside of the library out, making it a really pleasant environment. She said it is the exterior effect that contributes to the contemporary style and massing of it. She encouraged the applicant that if they redesign the exterior, to maintain the beautiful views out. She said she loves the terraces that invite the civic charm and makes it a destination. With the right design here that fits into the Historic District, this would become one of the primary destinations for thousands of people, she said. She stands firm that the design is too contemporary, too tall, too massive, and will overwhelm the district along with the size, massing, and materials of the garage.

As an ARB Member, Ms. Fox said if this came back for review, she would want to go back down to the *Historic Dublin Design Guidelines* because ARB Members are obligated to not only utilize the Bridge Street Code of Economic Development and trying to bring some vitality but they have to play fair with everybody and the *Historic Dublin Design Guidelines* are pretty clear that the City has certain parameters that the Board and staff have to abide by as they review an infill. She said now, if she uses that criteria, 75% of this proposal would not fit into the *Historic Dublin Design Guidelines*.

Mr. Munhall said the exterior design is a fit issue. He recalled the applicant presentation that included a photograph of the library in Egypt. He said we are asking for a library to fit in a little village in Dublin. He said the place is the most important, not the time/era. He said the architecture today is different. He said the current library sits down low like Muirfield Village's Clubhouse.

Ms. Stenberg agreed with Mr. Munhall. She referenced the Seattle Library, which was very similar to this proposal but it detracts from that iconic structure as there is already a building like it. She said we have the opportunity here to create a building that is unique and different than any other design that has been built.

Ms. Fox said one of the comments at the BSD public meeting last night, which was a great meeting because NBBJ did a great job at that meeting. She reported that people said that we have an identity here in Dublin of being sort of 'Irish is an attitude'. She asked the applicant to consider our iconic image. She said we are progressive, we have a wonderful old Irish feel, we are community oriented, we love our outdoor spaces, we love our festivals, we love our old Historic District, and someone said when they were talking about designs in Bridge Street, they suggested that if it was made to look like old Ireland, everybody would love it. She admits she is not certain that is practical but it is certainly an idea if everyone feels as if they are looking for intimate charm, that we should consider what is Dublin's iconic image; what is it that we all value and love; and design around that. She said she has read what makes the most walkable cities is *"...you can design all kinds of buildings and people will walk around them, but what they really love is the land they walk on."* She encouraged the applicant to design around the land and people will come to the buildings. She asked them to consider the precious landscapes Dublin has to offer, and design a building so that people are drawn to both and not just a piece of architecture.

Ms. Stenberg asked if the applicant was not already doing that with the plaza space, but they could better incorporate the Veteran's Memorial.

Ms. Fox answered she thinks they can but the architecture also has to be sensitive to the environment as the environment has to be able to reach out to the people using the architecture; the applicant needs to find that balance. She said there can be a significantly different building because time allows that as neighborhoods change, one can expect new architecture. She emphasized we do not want to pretend to rebuild old Dublin.

For the purpose of the Board discussion, Mr. Rinaldi said he would throw out a contrarian point to the Board's discussion. He said this can also be viewed as by being a more modern piece of architecture that it highlights the contrast between the modern and the historic and then also highlights the historic. He said this is clearly not a historic piece. Set into the plaza and the north edge of the district, maybe this is the place for this. He said certainly it would not fit south of Bridge Street. He indicated we might all have a different opinion as to how far the contemporary is acceptable for this site. He said he would prefer this over faux historic. Again, this clearly tells us, this is not historic, which highlights what is around it.

Ms. Fox indicated she is not opposed to something unusual or different. She said she likes the idea that the (future) pedestrian bridge is this connection and there is a lot of brand new contemporary architecture on the other side of the river. As you come into the Historic District, she said we have to remember that this is a federally recognized historic district and we have to make sure we maintain that. She said she is concerned that when coming from the north towards the south, we begin to erode and shrink that district. She noted she does not have the solution as to what the design should be but it cannot overwhelm the Historic District and it must be complimentary.

Mr. Rinaldi said it is not the goal of this Board to come up with the answer; we want Council to hear our concerns; and we want Council to hear the public's concerns regarding the proposal. He said there are some things that are going to be decided outside this Board and whether the library is on this piece of property or not is not the decision of this Board. He said he wants to make sure Council hears their concerns.

Mr. Rinaldi indicated he is concerned because there has to be a back end to any building, and is the proposed service entry respectful to the Grounds of Remembrance, for example. He asked if there will be

ground level AC units that will be making noise and to consider trash pick-up, etc. He asked if the height of this building will cast a shadow too far, which is also something to be mindful of.

Ms. Stenberg said this Board does not have the ability to decide where (future) Rock Cress Parkway is going. She suggested the Board discuss what materials they like and which ones they do not that directly relate to the *Guidelines*.

Mr. Munhall restated he likes everything but the exterior design. He said he does not mind the footprint or (future) Rock Cress Parkway. He said obviously, the detailed landscaping, and some of the details just brought up are important but he is not concerned about that at the moment; we can resolve those things later. He indicated he could hit a golf ball there almost on a good day and he does not want to walk into downtown Dublin and this would be the first building, at least on the west side. He recalled the public's comment about the New Albany Library, which is an interesting conversation. He said we cannot build a building that does both. As an architect, he would want to build something on the bleeding edge but would want to make sure it was in context of where it would be sited. If not, that is not what he would want to build. He said he does not like the height of 43 feet; he would rather stair-step the elevation a little bit.

Mr. Rinaldi indicated if this proposal were to come back to this Board, they will all be struggling, trying to apply the Code requirements to this and there would be a lot of exceptions to the Code. He said Ms. Rauch did a good job at highlighting how this applies to the Code and where there would need to be Waivers; it is going to be a struggle to put through all those Waivers. Material wise, he said he is concerned with the amount of metal; however, the amount of glass is fine and the base helps.

Ms. Fox restated she likes being inside and able to look out, especially on the first floor but she is concerned at night, whether this building is going to be all lit up from the inside out and be too bright at night.

Mr. Suriano said the top portion of the base is predominantly glass on the east face and at the top of the building there is glass at the northeast and southwest corners. He clarified it is 33% glass on the upper floor and 66% solid panel. Ms. Fox said she was uncertain where the glass is and where the solid panels are. Mr. Suriano pointed out the shingled panel and the glass panels. Ms. Fox verified that the light would be emitted at different variations. Mr. Suriano said it will be a glow, not panes of light.

Ms. Fox said the contemporary materials become the focus of the area and takes away from the surroundings; she would like to see traditional materials used in a unique way. She said she is not opposed to a glow because that can also draw people and bring a sense of vitality on the street in the evening. She said it is the contemporary straight lines that she has difficulty with.

Ms. Stenberg said material wise, she likes the green screen for the parking garage. However, she said the west elevation for the garage feels like a punch of concrete and it seems to detract from several of the parts we really like about Dublin.

Mr. Munhall asked the applicants if they ever had competing ideas within NBBJ. He asked them to share some general ideas and why they settled on the current proposal.

Mr. Suriano said they always have competing ideas but felt like this satisfied the vision for the library, balancing all the different components of those three buckets he brought up earlier: where the library vision lives; the overall project parameters; and what they are doing with the challenges of bedrock and grade. He said this was the solution that stood out.

Ms. Fox asked if the applicants had any questions for the Board. [There were none.]

The Chair asked if there were any communications for the Board. [There were none.] He adjourned the meeting at 9:02 pm.

As approved by the Architectural Review Board on February 22, 2017.

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other current members of Council did not serve at that time – but that is not to say that they would not have supported it, as well.

Tom Holton, 5957 Roundstone Place, Dublin expressed appreciation to the firefighters and first responders who were on the scene today of the tragic tanker truck fire on US 33 at the 270 interchange. He clarified that he is speaking tonight as a resident, not as a representative of the Dublin Historical Society. The Dublin community has enjoyed a history of public participation in community projects and the City is better because of that. He cited many examples where there has been great opportunity for public participation. He does not believe that the public had any input on this highly public library building. There was a period of 18 months between the two meetings at the library regarding the new library building where there could have been input opportunities. He looks forward to the new library building, but believes that public participation should have been a large part of the process.

CONSENT AGENDA

Ms. Amorose Groomes stated that a minor correction was made to one of her comments in the minutes on page 19, and Council has been provided with the corrected version in the electronic packet.

Mayor Peterson moved approval of the five items on the Consent Agenda.

Mr. Lecklider seconded the motion.

Vote on the motion: Ms. Salay, yes; Mr. Lecklider, yes; Vice Mayor Reiner, yes; Mayor Peterson, yes; Ms. Alutto, yes; Ms. Amorose Groomes, yes.

- Approval of Minutes of Council meeting of January 10, 2017
- **Ordinance 11-17 (Introduction/first reading)**
Amending the Annual Appropriations for the Fiscal Year Ending December 31, 2017. (Second reading/public hearing February 13 Council meeting)
- **Resolution 03-17 (Introduction/public hearing/vote)**
Accepting the Lowest and Best Bid for Rings Road Water Line Extension/Tuswell Waterline Relocation Project.
- **Resolution 04-17 (Introduction/public hearing/vote)**
Declaring Certain City-Owned Property as Surplus and Authorizing the City Manager to Dispose of Said Property in Accordance with Section 37.07 of the Dublin Codified Ordinances.
- **Resolution 05-17 (Introduction/public hearing/vote)**
Authorizing the City Manager to Execute a Contract with the Franklin County Public Defender Commission for the Defense of Indigent Defendants.

POSTPONED ITEMS

Ordinance 57-16 (Amended)

Authorizing the City Manager to Execute a Development Agreement and Other Necessary Documents with the Columbus Metropolitan Library ("CML") to Facilitate the Building of a Parking Garage, Library and Adjacent Streets on the Current Library Site in the Historic District.

Mr. McDaniel stated that this Ordinance relates to real estate and operational issues for the library; it does not relate to architecture. The architecture piece will follow another process separate from this.

Ms. Amorose Groomes asked staff to confirm that the library project will be reviewed by the Architectural Review Board on Wednesday, January 25.

Mr. McDaniel responded that the library review process relative to the design will go through the ARB process. Council referred this matter to them at the January 10 meeting.

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Ms. Amorose Grooms asked if this Ordinance will be back before Council prior to the time that feedback is received from the ARB.

Mr. McDaniel responded that this Ordinance relates to real estate matters and how the buildings are accommodated on the site versus the ARB process.

Ms. Amorose Grooms stated that her concern is with the City getting too far along in the development agreement in terms of land acquisitions and real estate matters in case changes would be made in the design through the review process.

Mr. McDaniel responded that these development agreements are always subject to the final development plan review. This ordinance does not dictate those matters, it is more related to operational and real estate matters.

Mayor Peterson moved to postpone Ordinance No. 57-16 until the February 13, 2017 Council meeting.

Mr. Lecklider seconded the motion.

Vote on the motion: Ms. Salay, yes; Mr. Lecklider, yes; Mayor Peterson, yes; Ms. Amorose Grooms, yes; Vice Mayor Reiner; Ms. Alutto, yes.

SECOND READING/PUBLIC HEARING - ORDINANCES

Ordinance 01-17

Authorizing the City Manager to Execute Necessary Conveyance Documents to Acquire a 0.198 Acre, More or Less, Permanent Easement from Vincent P. and Cynthia B. Lombardo, from the Property Located at 7100 Avery Road for the Public Purpose of Constructing a Sanitary Sewer.

Mr. McDaniel stated that the City is preparing to construct a sanitary sewer across Avery Road and Mr. and Mrs. Lombardo have agreed to donate the easement to the City at no cost.

Vote on the Ordinance: Ms. Alutto, yes; Mayor Peterson, yes; Ms. Amorose Grooms, yes; Vice Mayor Reiner, yes; Ms. Salay, yes; Mr. Lecklider, yes.

Ordinance 02-17

Authorizing the City Manager to Execute Necessary Conveyance Documents to Acquire a 0.038-Acre, More or Less, Permanent Easement from Ashland LLC for Constructing a Shared-Use Path.

Mr. McDaniel stated that the City is preparing to construct the Smiley Park shared-use path project, which will include the construction of a shared-use path and related public improvements connecting to Smiley Park. The City and the Grantor participated in good faith discussions and have come to mutually agreeable terms for the acquisition of the necessary easement for the sum of \$2,300.00, which is the appraised value of the easement.

Vote on the Ordinance: Ms. Alutto, yes; Mayor Peterson, yes; Vice Mayor Reiner, yes; Ms. Amorose Grooms, yes; Ms. Salay, yes; Mr. Lecklider, yes.

Ordinance 03-17

Amending Section 2 (Wage & Salary Structure/Administration) of Ordinance No. 73-06 ("Compensation Plan for Non-Union Personnel").

Mr. McDaniel stated that with a recent vacancy in the Human Resources Division, the Director of Human Resources has taken the opportunity to review the operations of the Division. As a result of this review, it has been determined that the duties and responsibilities of the vacated position can be dispersed and absorbed by other current positions within the Division. Also, not filling this vacancy allows for cost savings in the HR payroll while creating an opportunity to restore the part-time position of Human Resources Coordinator to its previous full-time Status, which will significantly improve the administration of the City's seasonal and part-time staff recruiting efforts. The cost savings amounts to approximately \$63,000 a year.

Vice Mayor Reiner asked about the function of the Wellness Coordinator position.

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concepts proposed for the purpose of access and circulation do not work without Rock Cress.

Ms. Alutto stated that there seems to be little margin for change in the roadway location.

Mr. Foegler stated that is correct.

Ms. Alutto stated the roadway appears to be landlocked.

Mr. Foegler responded that with the roadway pushed south, the Library lost one-third of an acre. That strip of land is now located between the Library and the Grounds of Remembrance. The edge of the Grounds of Remembrance is formed by the scenic easement boundary. That is all that protects it; the City does not own that land. Added now is the additional one-third acre that the City owns.

Ms. Alutto inquired how much preparation for Rock Cress is included with the North High Street widening.

Mr. Foegler responded that the intersection for that is part of what is included in the construction drawings.

Mr. Keenan stated that the issue is more than just road circulation in this area. For many years, Council has discussed the school property and additional land between this site and Shawan Falls. Council has seen other iterations that show possibilities for development in that area. In his view, there will be other significant development in some future timeframe. Rock Cress is part of that vision, as well.

Ms. Amorose Groomes stated that North Street is to the south of Rock Cress. The block length there is relatively short when contrasted with the mixed-use development building that is currently under construction on Dublin Road – Bridge Park Building Z. She requested that Council delay action on this resolution until there is more certainty of what will occur on this property. North Street could be eliminated altogether, and perhaps, Rock Cress could be shifted further to the south, thereby providing additional buffer to the Grounds of Remembrance.

Mr. Keenan recommended that Council delay action on this resolution until after the Library presentation.

Mayor Peterson responded that the item has already been removed from the Consent Agenda, and the remaining discussion and action on Resolution 01-17 will occur immediately following the Library presentation.

POSTPONED ITEM

Ordinance 57-16

Authorizing the City Manager to Execute a Development Agreement and Other Necessary Documents with the Columbus Metropolitan Library ("CML") to Facilitate the Building of a Parking Garage, Library and Adjacent Streets on the Current Library Site in the Historic District.

Mr. McDaniel thanked CML Executive Director Pat Losinski for the ongoing negotiation on this development agreement. Staff requests that the ordinance be postponed to the meeting of January 23, 2017. Staff believes a final form of the agreement can be ready for that meeting.

Mayor Peterson moved to postpone Ordinance 57-16 to the January 23, 2017 Council meeting.

Vice Mayor Reiner seconded the motion.

Vote on the motion: Ms. Salay, yes; Mr. Keenan, yes; Mr. Lecklider, yes; Mayor Peterson, yes; Ms. Amorose Groomes, yes; Vice Mayor Reiner, yes; Ms. Alutto, yes.

SECOND READING/PUBLIC HEARING – ORDINANCES

Ordinance 59-16

Authorizing the City Manager to Enter into a Cooperative Development Agreement with the City of Marysville and Union County.

Mr. McDaniel stated that a very productive dialogue continues between Dublin and the City of Marysville and Union County. He requests that Ordinance 59-16 be tabled until further notice.

Mayor Peterson moved to table Ordinance 59-16.

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impact on bees is one of his concerns. The report provided information that some of the chemicals are toxic to bees.

Ms. Carr responded that CSAC was advised by Franklin County that the chemical that is sprayed is not as harmful to bees. In addition, bees go into their hives at night, which is when the spraying is conducted. The other chemical is applied in a different way, and their instructions prohibit application to flowering plants and to areas where there are known aviaries. Mr. Brushard can provide more information.

Mr. Lecklider stated that homeowners install plants that attract butterflies, bees, bird, etc.

Ms. Carr stated that she is involved in the City's beehive program at Darree Fields, and that was her concern, as well. She is reassured by the information shared.

Ms. Amorose Groomes inquired if her hives are in good health.

Ms. Carr stated that an earlier set of bees absconded; it had nothing to do with the pesticide program. They have a new set, which are in good health. However, there was no spraying in their neighborhood this year, which might have been helpful.

Mr. Brushard stated that the concern with beekeeping and other non-target insects are always a concern of mosquito control. The products that they used for the adulticiding program is a synthetic pyrethroid, which are natural-occurring pesticides that are from chrysanthemums. Those do have warning labels that they are toxic to bees and aquatic life, so application is prohibited near bodies of water or areas of active bees. Their spray periods – dusk to midnight, are times when there is inactivity with the bees; they are typically in their hives at night. When the pesticides are applied in the daytime, the application is restricted to areas with which pollinators would have no contact. Daytime application occurs only under restricted times or conditions, when a barrier to daytime mosquitos is desired. As pest control applicators, they are aware of their responsibility not to mis-apply the pesticides.

Mayor Peterson moved to approve the CSAC mosquito management program recommendations, as outlined.

Vice Mayor Reiner seconded the motion.

Vote on the motion: Ms. Salay, no; Vice Mayor Reiner, yes; Mayor Peterson, yes; Ms. Amorose Groomes, yes; Ms. Alutto, yes; Mr. Lecklider, yes. [Mr. Keenan was absent from the room.]

• Columbus Metropolitan Library Dublin Branch and Garage Preview

Mr. Foegler stated that, after many years of effort, staff is pleased to share with Council the first design concepts for the new library as well as the new garage facility. This is a preview only; it is not scheduled for any formal Council action. As Council is aware, many elements of complexity have gone hand-in-hand with this process between the Dublin City Schools, the Columbus Metropolitan Library and Dublin city staff.

In previous discussions with Council, feedback was received that this new library had to be iconic and special. The team was encouraged to consider contemporary concepts. Staff has worked closely with members of the library staff, as well as architectural consultants NBBJ and Moody Nolan, to bring forward this concept to Council. Although it is not part of the formal review process, feedback from Council is critical to determine schedule and design efforts moving forward.

Mr. Foegler introduced Mr. Losinski, CEO of the Columbus Metropolitan Library (CML), to introduce the library concept.

Mr. Losinski expressed his excitement for the project and stated that two of the seven members of the Library Board of Trustees have strong ties to the City of Dublin. He thanked the City Manager and staff who have been great partners through this process. It is a library project, but it is also a civic project.

Mr. Losinski proceeded with a slide presentation.

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- Currently there are 43,000 library cardholders in the Dublin area. It is also a destination place for many people outside of Dublin.
- An information session will be held Wednesday, January 11, 2017 at the current Dublin Library so the public can come and view the concepts for the new library and offer feedback. He added that there will be a fundraising component to the project as well.

He introduced A.J. Montero, Architect, NBBJ to present.

Mr. Montero:

- Reiterated that this project is not only a library project, but a civic project. As a civic building, it has special considerations -- not only to the library program, but also to the community it inhabits.
- Offered a comparison between the currently library site and where the new library will be situated on that property.
- Noted that this concept not only houses the library building, but also gathering areas.
- Provided a graph depicting the height of the building in comparison to other buildings within Historic Dublin. He stated that the goal is to have it fit into the area aesthetically, but at the same time be an iconic structure that provides views of the area from inside as well. The new library will not be a skyscraper, but it will take advantage of the elevational changes on the property.

There are three areas of focus on the site in addition to the building:

- The civic stair arrival;
- The Plaza gathering; and
- The garden respite, which is the space between the garage and library.

All these areas need to be considered holistically because they all play a part in the total library experience.

He offered an illustration showing the civic plaza area. This area will be a gathering area for events, activity zones and serves as one of the main entrances to the library. Not only does it properly align the garage entries with the library, but it gives the opportunity to create views, hold events and creates a territory in front of the library. Illustrations were provided to show multiple potential uses of the plaza area. Two considerations in this area: within the budget is a green space, landscaped and well manicured, but not the plaza that was shown in previous slides of the presentation. The plaza is part of the design concept, but will require a separate fundraising campaign that Mr. Losinski referenced earlier.

Mr. Montero stated that there were some challenges with the elevations and sloping of the property. Entries needed to be created on several sides for both vehicular and pedestrian traffic. More will be discussed later in the presentation.

He showed some examples of how the materials in the design will complement the materials used in the Historic Dublin area and keep the iconic feel of the structure. The library will stand out, yet be a part of the community. A base will be of stone or brick-type material while the upper levels are more glassy and open allowing for an expansive program in the space, surrounded by the plaza and gardens. The existing treescape will enhance the space at the pedestrian level.

The design concept uses the elevations on the property to be advantageous to the library and their programming, offering three levels, while minimizing the need to carve into the rock. The library will go from 20,000 square feet in size to 41,000 square feet. Parking will be increased from 119 to 200 spaces.

The plaza level is the entry level from the parking garage. The High Street level will be used for more conference space and classrooms.

In response to a question from Mr. Keenan regarding programmable space, Mr. Montero stated that the first level is 6,000 square feet, each other level is approximately 15,000

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square feet. The top floor requires the larger footprint with denser room-by-room programming. It is the glassy area that creates views. It is an expansive area, more open, allowing people to move around and create their own experiences.

Mr. Reiner asked for a brief description of the interior spaces.

Mr. Montero responded that there has always been an emphasis on children's spaces. The library wants to establish interest in the library at a young age so programming and children spaces are very important. There are less book stacks. Libraries are evolving into public spaces with innovation and gathering opportunities to create one's own experiences. Library design and usage is moving away from the quiet areas, although there will be quiet and respite areas included.

Mr. Losinski added that this concept allows them to be flexible and evolve more in the future as needed. Expanded homework area, life skills, computer areas, and offering wireless service throughout the building and plaza, etc. All meeting rooms will have expandable walls to accommodate larger groups. He pointed out the walkout garden area that is close to the pedestrian bridge. The placement of the plaza on the south allows activities to take place without disturbing the serenity of the Grounds of Remembrance.

In response to Ms. Amorose Groomes, Mr. Montero stated that there is an alcove on the north side, but the larger plaza is on the south side of the building.

In response to Mr. Reiner, Mr. Losinski stated that this size more than doubles the current library space.

Mr. Reiner stated that many libraries offer a relaxed area for seating and gathering.

Mr. Montero noted that there are seating areas on the first level off High Street as well as smaller, more intimate seating areas cascading off the stair landings.

Mr. Losinski added that the glass is a deliberate material to create views out and in.

In response to Mr. Peterson, Mr. Montero stated that the height of the building is not incompatible with the other buildings represented in Historic Dublin.

• Garage Preview

Mr. Foegler stated that \$10 million has been programmed in the City's Capital budget for the garage. There is an additional contribution being made toward the garage by Columbus Metropolitan Library, which brings the total to \$11 million. Hard and soft costs for the garage concept that Council will view tonight total around \$12.5 million, so staff will continue to look for additional cost savings. There are approximately 537 spaces in the parking structure. The library will have a lease for 200 of the spaces, with the balance to be used for Historic Dublin visitors.

Mr. Foegler introduced Mr. Miguel Gonzales, Architect and Project Designer with Moody Nolan.

Mr. Gonzales stated that there are four stories to the garage. However, there is a considerable change in grade from the southeast façade to the northwest façade. It is about 11-13 feet, which substantially reduces the appearance of the mass of the building. The main vehicular entry is on the south side, off North Street with a book drop lane that exits onto Rock Cress Parkway (right turn only). The first level of the garage is actually on the second level of the library so there is a common level of entry at that elevation. The second floor offers another vehicular entry off Franklin Street on the west side with a pedestrian entry on the north and south sides. The second level also offers a bike hub.

Mr. Gonzales illustrated the materials being considered for the garage and stated that they are an interpretation of the materials found in the surrounding area. The garage will complement the library's design in look and materials so the site is a whole incorporated design. For the east and turning the corner to the south facades, the design will take advantage of the green (shown in the plaza area of the library) to create

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a green screen at the ground level. The upper screen will be manmade and composed of fins that essentially twist to create different patterns. A series of benches and planters creating a pedestrian and respite zone are planned. A screen could be incorporated to allow for movies, etc. He shared many different views of the illustrations showing green space and continuity between the buildings. Two types of facades, the screen façade or otherwise known as the library façade is more open and transparent. The street façade is more of a precast panel that has a form liner applied to it with different textures. The pattern itself of the concrete recalls some of the upper façade of the library.

Mr. Reiner inquired about the construction schedule.

Mr. Gonzales responded it could begin yet this year in 2017.

Mr. Foegler clarified that it will be hand-in-hand with the entire site development. Both parties intend to use Turner Construction to do all of the road systems, as well as both buildings. Development review and design times going forward will have an impact on the timeframe. Turner Construction has stated that they believe they will begin on the western side of the site with the garage and transition to the east. Assuming everything goes smoothly with permitting, reviews and approvals, aspects of the garage could proceed yet this year.

Mr. Reiner inquired about the content of the green wall.

Mr. Gonzales stated that it will consist of different types of ivy that grow in the area.

Mr. Reiner stated that ivy can be purchased already pre-trained in trellises that are six feet tall.

Ms. Salay stated that she is very impressed with the library building and is very excited about the project.

Mr. Keenan stated that at a past goal setting session, Council discussed a new library and the consensus was that Council desired that it have a "wow" factor. He believes this concept achieves that.

Mr. Lecklider recalled the same goal setting session, adding that this concept makes a statement. Relative to the garage, Mr. Lecklider stated that materials and the effect is important and he appreciates the architects being sensitive to that. He also stated that being able to achieve over 500 spaces in the garage serves the community well.

Mr. Reiner complimented the presenters on the garage, the building and its different shapes, angles and forms that make a beautiful piece of work.

Mr. Keenan stated that the screening is very important and Council will be paying particular attention to these details.

Mr. Lecklider stated that the multiple options for entering and exiting the garage are very beneficial.

Ms. Salay stated that she likes the idea of the screen and the opportunity for an art installation. She recalled Millennium Park in Chicago and the concept of having a screen to accommodate a broadcast would be very interesting.

Mr. Keenan stated that an Art in Public Places project will be due before this project is done. Perhaps an Art in Public Places installation could be incorporated into the design.

Mr. Reiner stated that the Dublin Arts Council is exploring possibilities with a Japanese artist who does tile work. This artist has an exhibit coming up of smaller scale pieces that will be on display. The Arts Council was considering having this artist do a wall or mural of some sort. He is highly skilled in small piece ceramics.

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Ms. Amorose Groomes stated that it is a lovely building. She looks forward to hearing from the City's boards, commissions, and the public on whether or not it fits. She believes that is the key question.

Ms. Amorose Groomes asked about the elevation from the northeast corner to the very top of the library building.

Mr. Montero responded that it is approximately 43 feet.

She noted that what is important is what the public thinks. She looks forward to hearing that feedback and navigating through the board and commission process and collecting community input. She reiterated that the building is beautiful, but the question is does it fit in Historic Dublin? She looks forward to hearing those answers.

Mr. Peterson asked Mr. Losinski for the details surrounding the public meeting that will be held at the library on Wednesday, January 11.

Mr. Losinski stated that it will be essentially the same presentation as tonight's. The meeting begins at 5:30 p.m., and will take place in the Dublin branch library. A community session was held 18 months ago and the attendees offered feedback about what they would like to see. This meeting is for the purpose of coming back to the community and letting them see the current status.

Ms. Alutto asked if a summary could be provided of the comments from tomorrow evening's meeting.

Mr. Losinski responded that he could do so.

In response to Ms. Alutto, Mr. Losinski stated that the Historic Dublin businesses were notified of tomorrow evening's meeting.

In response to Ms. Amorose Groomes' question about how the meeting notice was communicated by the Library, Mr. Keenan stated that this Council meeting is live streamed and would be one vehicle of communication with the public.

Mr. Losinski stated that there is a notice about the meeting at the branch and Business First has mentioned it in their newspaper. In addition, the 43,000 cardholders received an e-mail announcing the meeting as well.

Mr. Peterson asked about the fundraising efforts that are planned, and the timing. Mr. Losinski is hopeful that the fundraising will be initiated soon. Since the construction is starting on the garage side, he is hopeful that by the time the plaza is ready to be built the fundraising will be well underway.

Mr. Peterson thanked Mr. Losinski and staff for all the hard work in bringing this forward and the ongoing partnership.

Mr. Losinski thanked Council, Mr. McDaniel and staff for the partnership and support.

Mr. Foegler provided an illustration showing the elevation to the Grounds of Remembrance and where exactly the scenic easement stops and the end of the park area. The landscaped area on the illustration represents the land that will be attained by virtue of this new agreement. More details will be coming on landscaping options.

Ms. Amorose Groomes inquired about the ownership of the property.

Mr. Foegler responded that the City doesn't own any of the land except for the cemetery. There is no lease for the Grounds of Remembrance property; it seems to have been done cooperatively with the Schools. Only a scenic easement has been granted at this time on the School property.

Ms. Amorose Groomes asked about the portion underlying the future Rock Cress Parkway as it stands today.

Mr. McDaniel clarified that the portion under Rock Cress as it stands today is on School/Library property. In the City's transaction with the Schools, the right-of-way and utility easements for Rock Cress will be obtained.

RECORD OF PROCEEDINGS

Minutes of

Dublin City Council

Meeting

HARBUTT BROTHERS - DUBLIN, OHIO

Form 5101

Held

January 10, 2017

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Mr. Foegler added that there are several real estate transactions necessary for all of this to work. He is pleased that it is near a successful end.

Mayor Peterson asked if the City Manager needs any direction from Council to re-engage the Veterans Committee.

Mr. McDaniel stated that, unless Council objects, he would like to reconvene that Committee as an informal sounding board and to secure their input regarding the adequacy of screening/buffering between the Grounds of Remembrance in Veterans Park and the future Rock Cress Parkway.

(There was no objection from Council to this course of action.)

Mayor Peterson noted that Resolution 01-17 can now be considered.

Resolution 01-17

Accepting the Lowest and Best Bid for the North High Street Widening Project.

(Project No. 16-016.0-CIP)

Mr. Keenan moved to approve Resolution 01-17.

Ms. Salay seconded the motion.

Mr. Reiner noted that the additional green space secured will be adequate barrier needed for privacy in the Grounds of Remembrance for the Veterans programs, so his concerns have been addressed.

Ms. Amorose Groomes stated her concern is with the significant amount of public input and public process that this site will be navigating between now and the time when it comes to fruition. If it is built now, it will be difficult to make adjustments if needed. She is concerned that the City will be locked in on the plan. She asked that Council table the Resolution until the framework of this site is complete.

Ms. Alutto asked about the delays that would result from tabling this resolution.

Mr. McDaniel stated that there has been discussion for a long period of time about the Thoroughfare Plan and the street grid. That began the framework. The priority was on the road network, and that framework then set forth how the site would be framed. Last July, staff checked in with Council on the pedestrian bridge alignment, the alignment location of North Riverview, the extension of North High Street as well as the general alignment of the roadway system around the new library. These pieces are all coming together at a critical time. Delaying the Resolution adoption at this point would impact the sequencing of the library project and may further impact the City's ability to have North High Street improved in front of the Bridge Park West project. He does not believe that Council has been "boxed into" this plan. There has been a very sequential, thoughtful process over a long period of time. It is always Council's decision, but staff has been building off the platform of these sequenced decisions. His concern is that delaying the North High Street improvements will result in a construction timeframe that pushes into the winter of 2017 and into 2018.

Ms. Amorose Groomes stated that she understood, however, that if the City were to adhere to the Code and the ARB review criteria, this building is too tall and some of the materials are not approved in the percentages they appear to be. She is concerned with placing the boards and commissions into a corner by saying that this building has to go on this site and therefore, it must be approved. She would like to have the public process play out and ensure that the public is supportive of the building. If the building is too tall and a bigger footprint is needed, what could be done if the roads are already built?

Mr. Reiner agreed with Mr. McDaniel that the road network goes back years and years. There is not a considerable amount of area to work with, and the architects do not have much of a choice in terms of shifting things.