

BEHAL SAMPSON DIETZ

990 WEST THIRD AVE.
COLUMBUS, OHIO 43212

30 & 32 S. High

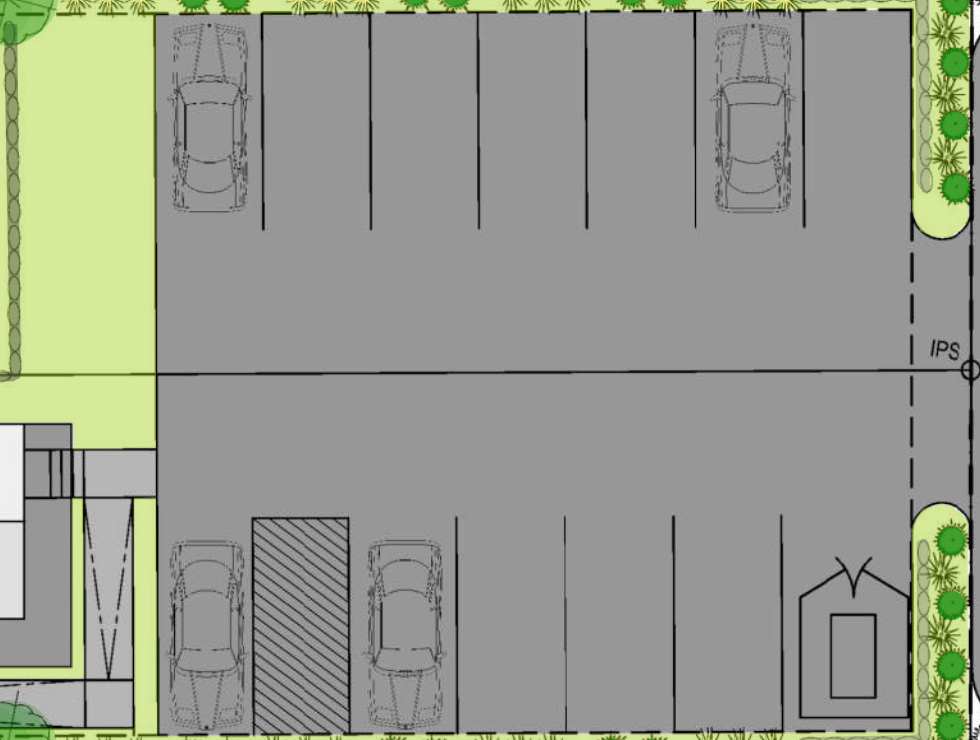
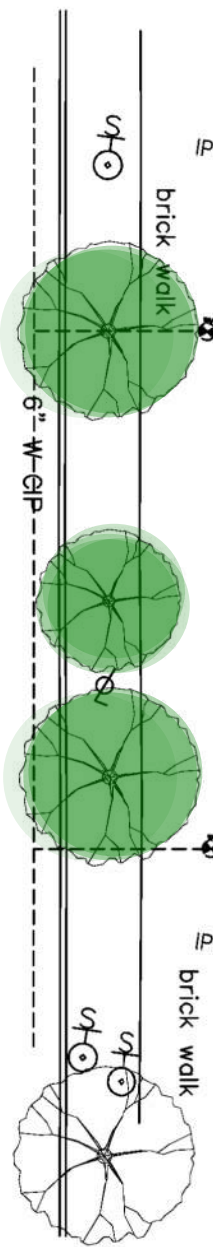
- Lot Area
 - o 30 S. High: 5,462 sf
 - o 32 S. High: 5,462 sf
 - o Total: 10,924 sf
- Existing Building Foot Prints:
 - o 30 S. High: 705 sf
 - o 32 S. High: 1,008 sf
 - o Total: 1,713 sf
- Proposed Building Foot Prints:
 - o 30 S. High: 790 sf
 - o 32 S. High: 1,591 sf
 - o Total: 2,381 sf
- Maximum Impervious Coverage (total): 75% (8,193 sf)
- Actual Impervious Coverage: 66% (7,163 sf)
 - o Buildings: 2,381 sf
 - o Parking: 3,907 sf
 - o Porches: 175 sf + 195 sf = 370 sf
 - o Walks: 505 sf (potential for semi-permeable)
 - o Possible semi-permeable credit: 10% (1,092 sf)
- Parking
 - o 30 S. High: Office Use: 2.5 spaces/1,000gsf
 - 1. $726 + 736 = 1,462 / 1000 = 1.462 \times 2.5 = 3.655 = 4$ spaces required
 - 2. Utilize street parking space for 1 of 4 required spaces
 - 3. 3 onsite parking spaces required
 - o 32 S. High: Restaurant Use: 10 spaces/1,000gsf
 - 1. $415 + 1591 = 2010 / 1000 = 2.01 \times 10 = 20$ spaces required
 - 2. Utilize street parking space for 1 of 20 required
 - 3. 19 onsite parking spaces required
 - o 19+3=22 spaces required for on-site parking
 - o 12 provided, request waiver for 10 space reduction
- Other Info
 - o Frontage: 50% required/met existing building on site
 - o RBZ treatment: landscaping/streetscape
 - o Sideyards: existing to remain
 - o Building length:
 - 1. 30 S. High: 41'-6"
 - 2. 32 S. High: 87'-6"
 - o Parking located at rear of the site
 - o Maximum Height: permitted: 2 stories
 - 1. Proposed is 1.5 (30) and 1 (32) stories
 - 2. Ground story height is 7'-6" (30) and 9'-4" (vaulted)
 - 3. 1/2 story height is vaulted, 6' on the low side and 9'-4" at the peak
 - 4. Building height is
 - 1.1. 30 S. High: 14'-11", when measured from grade at the building
 - 1.2. 32 S. High: 14'-2", when measured from grade at the building
 - 5. Transparency: Street Façade
 - 1.1. 30 S. High: Required waiver as building is existing
 - 1.2. 32 S. High: existing building meets requirement
 - 6. Principal Entrance:
 - 1.1. 30 S. High
 - 1.1.1. Original door found on High Street Façade, need approval for step
 - 1.2. 32 S. High
 - 1.2.1. Existing condition meets requirement
 - 9. Entrances: additional entrances proposed
 - 10. Façade Divisions: existing building at 32 S. High does not comply
 - 11. Roof plane change: meets requirement
 - 12. Façade Materials: Wood siding, painted
 - 13. Roof Type: Gable, standing seam metal

BENCHMARK: Elev. -827.8
Top of iron pin at south west corner of site.

Spring Hill E.

blacktop concrete
S. Blacksmith Ln.
vinyl tile blacktop

SITE PLAN
SCALE: 1/16" = 1'-0"



IPF
brick walk
6" W-GIP
IPF
IPF
IPF

IPS
IPS
IPS
IPS

blacktop

blacktop

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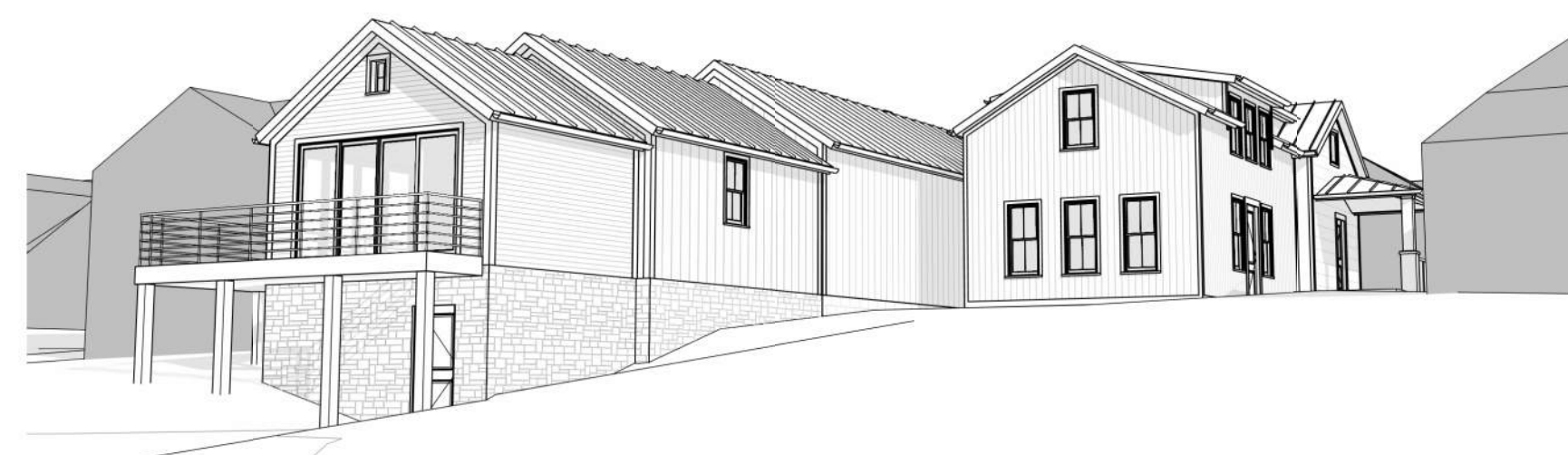
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3D View 1



3D View 2



3D View 3



3D View 4



SITE PLAN
1" = 50'-0"



SCHEMATIC DESIGN DRAWINGS FOR
TACKETT BAKERY & OFFICE

30 & 32 S. HIGH STREET
DUBLIN, OHIO

3.19.2018



WEST ELEVATION
1/8" = 1'-0"

- ROOF BEARING - OFFICE
111' - 3 1/2"
- SECOND FLOOR - OFFICE
108' - 3"
- FIRST FLOOR - OFFICE
100' - 0"
- FIRST FLOOR - BAKERY
99' - 0 3/4"
- LOWER LEVEL - OFFICE
98' - 3"



EAST ELEVATION
1/8" = 1'-0"

- ROOF BEARING - OFFICE
111' - 3 1/2"
- SECOND FLOOR - OFFICE
108' - 3"
- FIRST FLOOR - OFFICE
100' - 0"
- FIRST FLOOR - BAKERY
99' - 0 3/4"
- LOWER LEVEL - OFFICE
98' - 3"
- LOWER LEVEL - BAKERY
89' - 10 1/4"



SOUTH ELEVATION
1/8" = 1'-0"

- FIRST FLOOR - BAKERY
99' - 0 3/4"
- LOWER LEVEL - BAKERY
89' - 10 1/4"



NORTH ELEVATION
1/8" = 1'-0"

- ROOF BEARING - OFFICE
111' - 3 1/2"
- SECOND FLOOR - OFFICE
108' - 3"
- FIRST FLOOR - OFFICE
100' - 0"
- FIRST FLOOR - BAKERY
99' - 0 3/4"
- LOWER LEVEL - OFFICE
98' - 3"

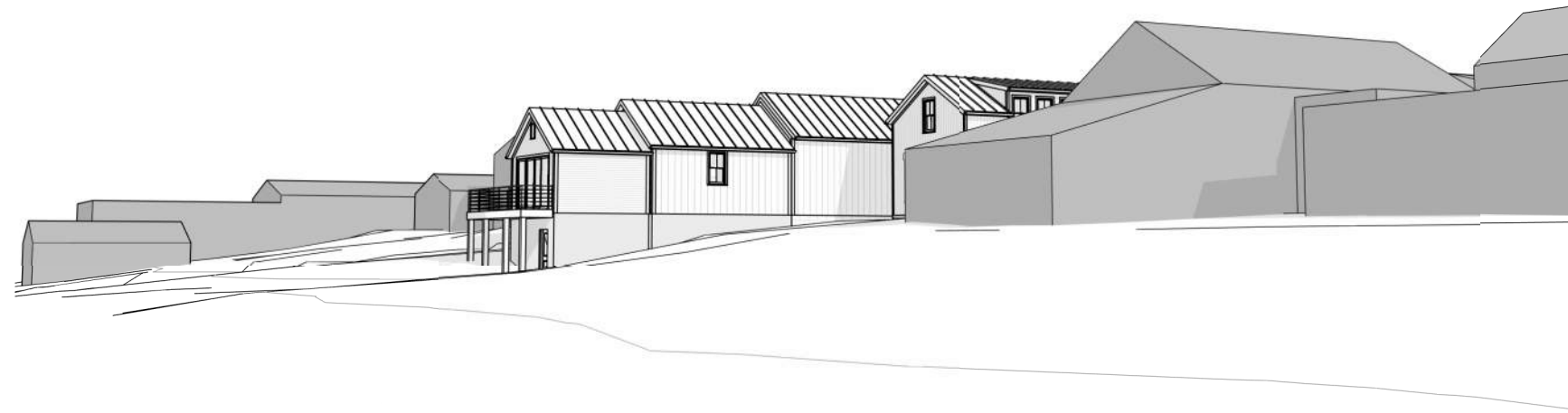
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3D View 5



3D View 6



3D View 7

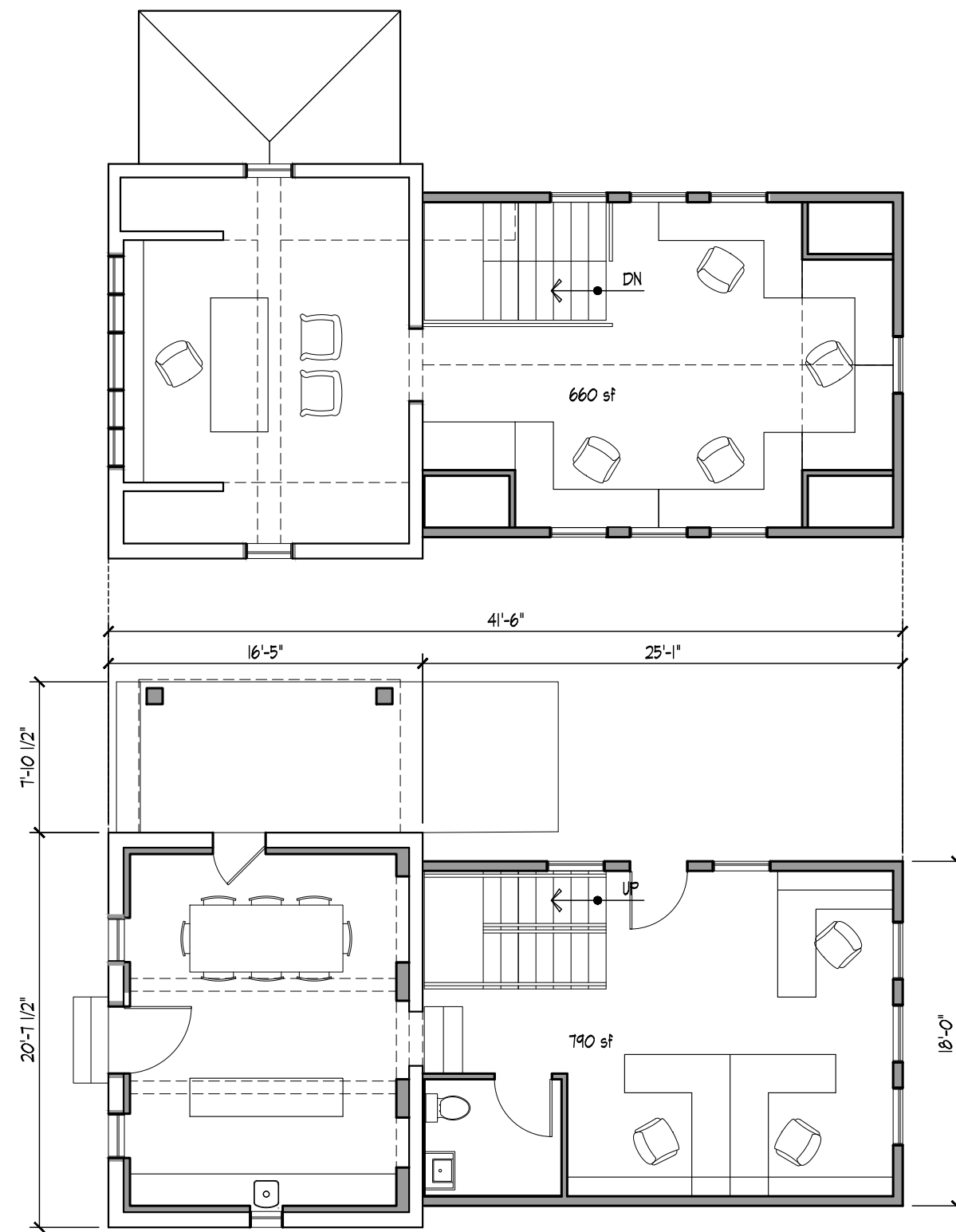


3D View 8

SCHEMATIC DESIGN DRAWINGS FOR
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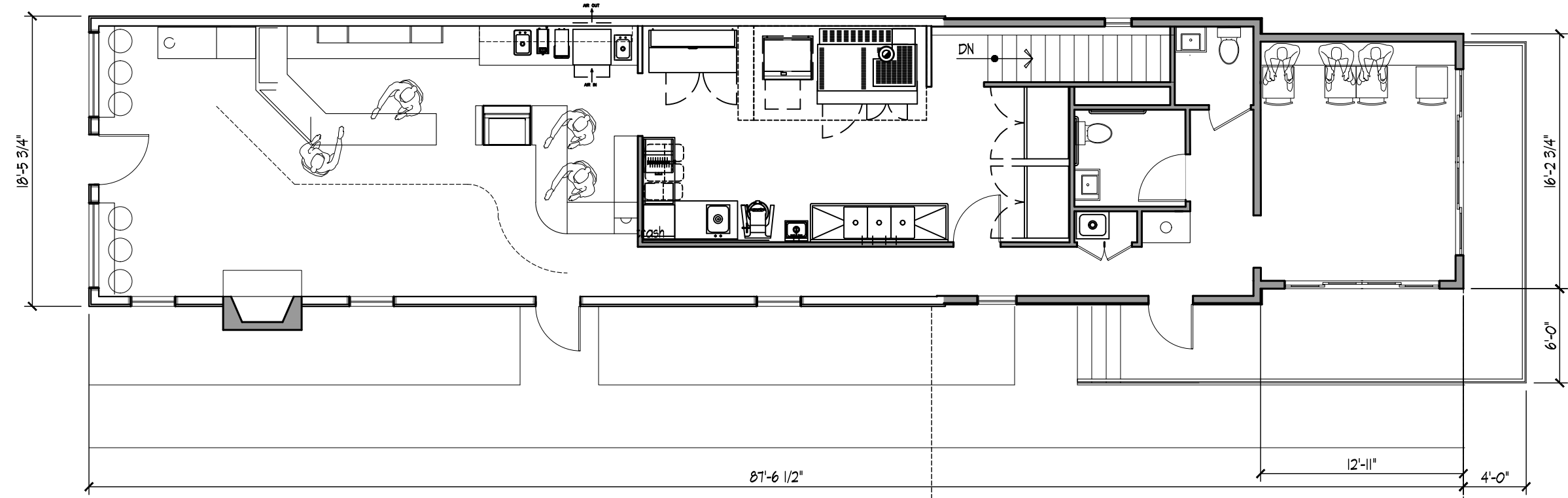
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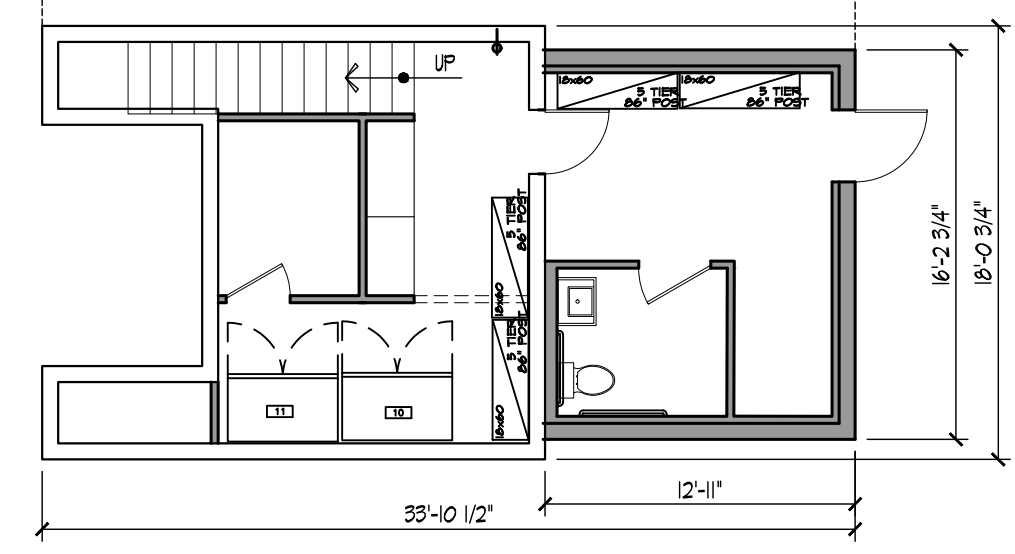


OFFICE - SECOND FLOOR
SCALE: 1/8" = 1'-0"

OFFICE - FIRST FLOOR
SCALE: 1/8" = 1'-0"



BAKERY - FIRST FLOOR
SCALE: 1/8" = 1'-0"



BAKERY - LOWER LEVEL
SCALE: 1/8" = 1'-0"