

MINOR PROJECT REVIEW CHECKLIST

The purpose of the Minor Project Review is to provide an efficient review process for smaller projects that do not have significant community effects. The Minor Project Review is necessary to ensure that applications meet the requirements of Chapter 153 of the Dublin Code of Ordinances.

I. REVIEW REQUEST

<input type="checkbox"/> Single-family detached building	<input type="checkbox"/> Multiple-family/single-family attached buildings (eight dwelling units or fewer)
<input checked="" type="checkbox"/> Non-residential structures 10,000 square feet or less	<input checked="" type="checkbox"/> Principal structure additions of less than 10,000 square feet or 25%, whichever is less
<input type="checkbox"/> Exterior modifications involving not more than 25% of the total façade area of the structure	<input type="checkbox"/> Signs, landscaping, parking, and other site improvements with out a principal structure
<input type="checkbox"/> Accessory structures and uses	<input checked="" type="checkbox"/> Modifications to an Existing Structure
<input checked="" type="checkbox"/> Parking Plan	

II. APPLICATION REQUIREMENTS

- APPLICATION FEE**
- PLANNING APPLICATION**
- APPLICATION CONTENTS LIST**
- PROJECT DESCRIPTION**
 - Description of conformance to the Bridge Street Corridor Vision Report, Zoning Code Sections 153.057 - 153.065, and any approved Development Plans and/or Site Plans, where applicable

III. MINOR PROJECT PLAN: All plans shall be labeled and include the name of the development, developer, plan scale, plan date, date(s) of revisions, location key map, and north arrow on each page. Additional copies of materials may be requested prior to the case being placed on the agenda. Plans shall include the following information, unless otherwise waived by the Director for items determined to be unnecessary to the application.

General Site Plan Elements

<input checked="" type="checkbox"/>	Existing conditions and site features drawn to scale, including rights-of-way, vehicular and pedestrian access points, all known easements, utilities, buildings and structures, pavement, topographical features, vegetation, bodies of water, and any other relevant existing site features
<input checked="" type="checkbox"/>	Proposed site plan, including project area and dimensions, area of approved Development Plan and/or Site Plan with which the project is associated, and proposed vehicular and pedestrian lot and block access configurations



Site Development	
A. Use	
<input checked="" type="checkbox"/>	List the proposed uses (refer to §153.059), number of dwelling units, and square footage of each use. Identify whether any use specific standards apply (refer to §153.059(C)).
B. Open Space	
<input type="checkbox"/>	Required open space computation and method(s) of provision identified on the plans (refer to §153.064)
<input type="checkbox"/>	Open Space Types proposed (refer to §153.064(F))
<input checked="" type="checkbox"/>	Request for fee-in-lieu application Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> If yes, attach an Open Space Fee in Lieu Request form
<input type="checkbox"/>	For each Open Space Type, identify the total acreage and dimensions (refer to §153.064(G)(1)(a)); percentage perimeter of each Open Space Type along buildings and rights-of-way; percentage of impervious and semi-pervious surfaces; and any plans for proposed improvements, including structures, water features, site amenities, etc. Provide specification sheets for all prefabricated site amenities, and elevations and material specifications for all other site improvements
C. Parking and Loading	
<input checked="" type="checkbox"/>	Required parking computation (vehicular and bicycle) based on the proposed mix of uses (refer to § 153.065(B))
<input checked="" type="checkbox"/>	Parking location and layout, including all on-site, off-site, on-street and accessible vehicular spaces, and all bicycle parking
<input checked="" type="checkbox"/>	Required loading space computation (refer to § 153.065(B)(7)) and location and layout of all loading facilities
<input checked="" type="checkbox"/>	Parking plan proposed Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> If yes, provide a description and demonstration of all proposed Adjustments to Required Vehicle Parking (refer to § 153.065(B)(2)(b)), including a Demonstration of Parking Need, and evidence of any shared
D. Landscaping and Tree Preservation	
<input checked="" type="checkbox"/>	Tree survey, including location, sizes, and types of existing trees 6 inches or greater in diameter, measured at 3½ feet off the ground, and the general location of all other existing plant materials, with an identification of materials to be removed and materials to be preserved, including any landmark trees identified on the property
<input checked="" type="checkbox"/>	Tree preservation plan (refer to §153.065(D)(9))
<input checked="" type="checkbox"/>	Landscape plan, including calculations showing required landscaping, and location and type of all proposed shrubs, trees, and other live plant material (refer to §153.065(D)). Indicate the proposed perimeter landscape buffering, if applicable (refer to §153.065(D)(4)), proposed surface parking and circulation area landscape treatments (refer to §153.065(D)(5)), Required Building Zone treatment (refer to §153.065(D)(6)), and all building foundation landscaping (refer to §153.065(D)(7)). Indicate any landscape areas specifically dedicated for stormwater management purposes.
<input type="checkbox"/>	Planting list for proposed landscape materials with caliper size or height of material, method of installation, dates of plant installation, botanical and common names, and quantity
<input type="checkbox"/>	Landscape maintenance plan and schedule including contact information of the party responsible for maintenance
<input type="checkbox"/>	Street trees (refer to §153.065(D)(3)), including type, locations, and method of installation
E. Signs	
<input type="checkbox"/>	Number of proposed signs and proposed locations, including any potential ground signs or building-mounted signs. Provide elevations indicating all proposed and/or potential building-mounted signs and any other proposed signs (refer to §153.066(H))
<input type="checkbox"/>	Sign design and lighting, including dimensions for all sign copy, logos, and secondary text and/or images, colors, and material specifications
F. Site Management	
<input checked="" type="checkbox"/>	Dumpster location(s), including elevations and construction details, and waste removal plan including frequency and type of removal
<input checked="" type="checkbox"/>	Proposed fences, walls, and screening methods, including types, materials, and locations (refer to §153.065(E))
<input checked="" type="checkbox"/>	Site lighting plan (refer to §153.065(F)), including locations of all site, building, and pedestrian lighting, and pole and light fixture specification sheets



Access and Circulation		Not Applicable <input type="checkbox"/>
<input checked="" type="checkbox"/>	Proposed driveways (show all driveways and intersections within 250 feet of the site) and all vehicular circulation areas. Include sight visibility triangle measurements and curb radii for all driveways and parking lot islands	
<input checked="" type="checkbox"/>	Traffic regulatory signs and pavement markings	
<input type="checkbox"/>	Designation of fire lanes	
<input checked="" type="checkbox"/>	Location, width, and materials for proposed sidewalks and non-motorized paths within the site, rights of way, or easements	

Grading and Utilities		Not Applicable <input type="checkbox"/>
<input checked="" type="checkbox"/>	Site grading plan, including locations of existing drainage courses, floodplains, streams, and wetlands with elevations, and method of mitigation or protection	
<input checked="" type="checkbox"/>	Stormwater drainage and management consistent with the requirements of Chapter 53 of the Dublin City Codes	
<input checked="" type="checkbox"/>	Location(s) of sanitary sewers, existing and proposed	
<input checked="" type="checkbox"/>	Location(s) and size(s) of existing and proposed water mains, well sites, water service and fire hydrants	
<input checked="" type="checkbox"/>	Location(s) of above and below ground gas, electric and telephone lines, existing and proposed (refer to §153.065(G))	
<input checked="" type="checkbox"/>	Location(s) of transformers and utility boxes	

Building Types and Architecture		Not Applicable <input type="checkbox"/>
<input checked="" type="checkbox"/>	List and identify on the plans the building type(s) proposed (refer to §153.062). For each building type, complete and attach an Individual Building Type Requirement Table	
<input checked="" type="checkbox"/>	The proposal involves an Existing Structure (refer to §153.062(B)(2)) Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> If yes, provide the original gross floor area of the Existing Structure, any proposed expansions to the Existing Structure (percentage and square footage), and/or a description of any proposed exterior architectural modifications (including percentage of modifications to the original building façades)	
<input checked="" type="checkbox"/>	Roof plans (refer to §153.062(D)), including slopes of pitched roofs and parapet height where applicable	
<input checked="" type="checkbox"/>	Building sections indicating story height (refer to §153.062(N)(2))	
<input checked="" type="checkbox"/>	Building façade elevations for all sides, dimensioned and drawn at an appropriate scale. Include all proposed vents, gutters, downspouts, air conditioning units, and utility elements	
<input checked="" type="checkbox"/>	Building materials and colors labeled on all building elevations, including material specifications (refer to §153.062(E)). Identify the percentage of each type of material on each elevation, and the percentage used on the overall building	
<input checked="" type="checkbox"/>	Conceptual building floor plans	
<input checked="" type="checkbox"/>	Provision of architectural details and material specification sheets (as appropriate), including building entrance design, midbuilding pedestrianways, windows, shutters, awnings, canopies, balconies, porches, stoops, chimneys, vehicular canopies, etc. (refer to §153.062 for general building type requirements)	
<input type="checkbox"/>	Terminal vista treatments (if applicable) (refer to §153.062(J))	
<input type="checkbox"/>	Method of meeting building variety requirements (if applicable) (refer to §153.062(K))	



REVIEW CRITERIA**§153.066 MINOR PROJECT REVIEW CRITERIA**

1. The Site Plan shall be substantially similar to the approved Basic Plan;
2. If a Development Plan has been approved that includes the property, the application is consistent with the Development Plan;
3. The application meets all applicable requirements of §153.059 and §§153.062 through 153.065 except as may be authorized by Administrative Departure(s) pursuant to §153.066(H);
4. The internal circulation system and driveways provide safe and efficient access for residents, occupants, visitors, emergency vehicles, bicycles, and pedestrians;
5. The relationship of buildings and structures to each other and to other facilities provides for the coordination and integration of the development within the surrounding area and the larger community and maintains the image of Dublin as a high quality community;
6. The application is consistent with the requirements for types, distribution, and suitability of open space in §153.064 and the site design incorporates natural features and site topography to the maximum extent practicable;
7. The scale and design of the proposed development allows the adequate provision of services currently furnished by or that may be required by the City or other public agency including, but not limited to, fire and police protection, public water and sanitary sewage services, recreational activities, traffic control, waste management, and administrative services;
8. Stormwater management systems and facilities will not cause alterations that could increase flooding or water pollution on or off the site, and removal of surface waters will not adversely affect neighboring properties;
9. If the development is to be implemented in phases, each phase is able to be considered independently, without the need for further phased improvements; and
10. The application demonstrates consistency with the BSC Vision Report, Community Plan and other related policy documents adopted by the City.



INDIVIDUAL BUILDING TYPE REQUIREMENT TABLE

BUILDING TYPE REQUIREMENT (Refer to 153.062(O) for Building Types)	CODE REQUIREMENT	PROVIDED	MET, N.A., OR DEPARTURE/ WAIVER NEEDED
Proposed Building Type (Example: Mixed Use Building):	OFFICE (30) BAKERY/RESTAURANT (32)		
Example: Front Property Line Coverage (%)	Min. 95%	75%	Waiver
Number of Principal Buildings Provided (per lot)	MULTIPLE	1 (30) 1(32)	MET
Front Property Line Coverage (%)	50%	ETR (30) ETR(32)	MET
Occupation of Corner Required (Yes/No)	NA	NA	NA
Front Required Building Zone Required (range, ft)	0-25	ETR	NA
Corner Side RBZ Required (range, ft)	0-25	NA	NA
Front Setback Required (if no RBZ) (ft)	NA	0 (ETR)	NA
Corner Side Setback Required (if no RBZ) (ft)	NA	NA	NA
Side Yard Setback Required (ft)	3'	11 & 3 (30) 12 & 3(32)	MET
Rear Yard Setback Required (ft)	25'	100' (30) 79 (32)	MET
Minimum Lot Width Required (ft)	NA	33 (30) 33 (32)	MET
Maximum Lot Width Required (ft)	NA	33 (30) 33 (32)	MET
Maximum Building Length or Depth Required (ft)	50	21'-5" (30) 18'-6" (32)	MET
Minimum Lot Depth (Single Family Detached Building Types only) (ft)	NA	NA	NA
Maximum Impervious Lot Coverage (%)	65%	65%	MET
Semi-Pervious Lot Coverage (%)	10%	6%	MET
Parking Permitted (location relative to principal structure)	REAR	REAR	MET
Loading Facility Permitted (location relative to principal structure)	NA	NA	NA
Entry for Parking Within Building (relative to principal structure)	NA	NA	NA
Permitted Vehicular Access Location (relative to principal structure)	REAR	REAR	MET
Minimum Building Height Permitted (ft)	1 STORY	1 1/2 (30) 1(32)	MET
Maximum Building Height Permitted (ft)	2 STORIES	1 1/2 (30) 1(32)	MET
Accessory Structure Height (number of stories)	NA	NA	NA
Minimum Finished Floor Elevation Permitted (ft)	8'	8'8" (30) 9'(32)	MET
Minimum Occupied Space Required (ft)	NA	NA	NA
Ground Story Street Façade Transparency Required (%)	20%	ETR	MET
Upper Story Street Façade Transparency Required (%)	YES	SEE ELEVATIONS	MET
Ground Story Non-Street Façade Transparency (%)	YES	SEE ELEVATIONS	WAIVER
Upper Story Non-Street Façade Transparency (%)	YES	SEE ELEVATIONS	WAIVER
Parking Lot Ground Story Transparency Requirement (%)	NA	NA	NA
Blank Wall Limitations (Yes/No)	YES	SEE ELEVATIONS	WAIVER
Principal Entrance Location Required (relative to principal structure)	ETR	STREET & SIDE	MET
Number of Street Façade Entrances Required (per ft of façade)	ETR	STREET & SIDE	MET
Number of Parking Lot Entrances Required (per ft of façade)	1	1	WAIVER
Mid-Building Pedestrianways Required (# per ft of façade)	NA	NA	NA
Vertical Increments Required (location on principal structure)	NA	NA	NA
Horizontal Façade Divisions Required (per ft of façade)	YES	COMPLIES	MET
Permitted Primary Materials (types)	STONE/BRICK/WOOD	COMPLIES	MET
Changes in Roof Plane/Type Required (per ft of façade)	YES	COMPLIES	MET
Roof Type(s) Permitted (types)	PITCHED	COMPLIES	MET
Tower(s) Permitted (Y/N)	NO	NA	NA



Case # _____

PLANNING APPLICATION

This is the general application form for Boards and Commissions. In addition, applicants should submit a checklist with the requirements for the application type indicated below. Attach additional sheets if necessary.

I. REVIEW REQUESTED:

- Administrative Appeal
- Administrative Departure
- Amended Final Development Plan
- Amended Final Development Plan - Sign
- Architectural Review Board
- Basic Development Plan Review
- Basic Site Plan Review
- Building Code Appeal
- Community Plan Amendment
- Concept Plan
- Conditional Use
- Development Plan Review - Bridge Street District
- Development Plan Review - West Innovation District
- Demolition
- Final Development Plan
- Final Plat
- Informal Review
- Master Sign Plan
- Minor Modification
- Minor Project Review
- Minor Subdivision
- Non-Use (Area) Variance
- Preliminary Development Plan/PUD Rezoning
- Preliminary Plat
- Site Plan Review - Bridge Street District
- Site Plan Review - West Innovation District
- Special Permit
- Standard District Rezoning
- Use Variance
- Waiver Review
- Wireless Communications Facility
- Zoning Code Amendment

II. PROPERTY INFORMATION: Provide information about the property including existing and proposed development.

Property Address(es): 30 and 32 S. High Street	
Tax ID/Parcel Number(s) (List All): (30 S. High) 273-000008-00 (32 S. High) 273-000089-00	Parcel Size(s) in Acres (List Each Separately): (30 S. High) 0.12 (32 S. High) 0.13
Existing Land Use/Development: (30 S. High) Office (32 S. High) General Store	Existing Zoning District: Bridge Street Historic Commercial
Proposed Land Use/Development: (30 S. High) Office (32 S. High) Restaurant	Proposed Zoning District: Bridge Street Historic Commercial

III. CURRENT PROPERTY OWNER(S): Indicate the person(s) or organization(s) who own the property proposed for development.

Name (Individual or Organization): Bluebird Consulting Group LLC
Mailing Address (Street, City, State, ZIP): 200 S. High Street Dublin, Ohio 43017
Email/Phone Number: sst@tackettweb.com

For questions or more information, please contact Planning at 614.410.4600 | www.dublinohioUSA.gov



IV. APPLICANT(S): Complete this section if the person/organization representing the applicant/property owner is different from the applicant.

Not Applicable

Name (Individual or Organization): Sharon Tackett (Bluebird Consulting Group) **BEHALSAMPSON DIETZ**

Mailing Address (Street, City, State, ZIP): **ARCHITECTURE & CONSTRUCTION**
200 S. High Street, Dublin, OH 43017

Phone Number: 614-438-4895 or 614-507-1146

Email: sst@tackettweb.com

V. REPRESENTATIVE(S): Complete this section if the person/organization representing the applicant/property owner is different from the applicant (such as the project manager or property owner's legal council).

Not Applicable

Name (Individual or Organization): Dan Morgan (behal sampson dietz)

Mailing Address (Street, City, State, ZIP): 990 W. 3rd Avenue, Columbus, OH 43212

Phone Number: 614-464-1933

Email: dmorgan@bsdarchitects.com


VI. PROPERTY OWNER'S AUTHORIZATION OF APPLICANT(S)/ AUTHORIZED REPRESENTATIVE: The Property Owner listed in Section III must authorize the Applicant listed in Section IV and/or the Authorized Representative listed in Section V to act on the Owner's behalf with respect to this application.

Not Applicable

I Sharon Tackett (Bluebird Consulting Group), the property owner, hereby authorize Dan Morgan (Behal Sampson Dietz)
To act as my representative(s) in all matters pertaining to the processing and approval of this application, including modification to the application. I agree to be bound by all representations and agreements made by the designated representative (listed in Sections III and/or IV).

Original Signature of Property Owner (listed in Section II): *[Signature]* Date: 4/10/18

Subscribed and sworn before me this 10 day of April, 2018
State of OH
County of Franklin Notary Public *[Signature]*

 **ALSHARARI RAWAHNEH**
Notary Public, State of Ohio
My Comm. Expires 10-03-2021
Recorded in the County of Franklin

VII. AUTHORIZATION TO VISIT THE PROPERTY: Site visits to the property by City representative are essential to process the application. The Property Owner/ Applicant/ Authorized Representative (listed in Section II), hereby authorizes City representatives to enter, photograph, and post a notice on the property described in this application. This is optional, but strongly recommended.

I Sharon Tackett, the property owner or authorized representative, hereby authorize City representatives to enter, photograph and post a notice on the property described in the application.

Original Signature of Property Owner or Authorized Representative: *[Signature]* Date: 4/10/18

For questions or more information, please contact Planning at 614.410.4600 | www.dublinohioUSA.gov




VIII. APPLICANT'S AFFIDAVIT OF ACKNOWLEDGMENT: This section must be completed with an original signature and notarized.

Original Document Attached

I Sharon Tackett (Bluebird Consulting Group), the property owner or authorized representative, have read and understand the contents of this application. The information contained in this application, attached exhibits and other information submitted is complete and in all respects true and correct to best of my knowledge and belief.

Original Signature of Property Owner or Authorized Representative: S. Tackett Date: 4/10/18

Subscribed and sworn before me this 10 day of April, 2018
 State of OH Notary Public [Signature]
 County of Franklin

 ALSHARARI RAWAHNEH
 Notary Public, State of Ohio
 My Comm. Expires 10-03-2021
 Recorded in the County of Franklin

FOR OFFICE USE ONLY:

Case Title:	Date Received:
Case Number:	
Amount Received:	Next Decision Due Date (If Applicable):
Receipt Number:	
Reviewing Body (Circle One): ART ARB BZA CC PZC	Final Date of Determination:
Map Zone:	
Determination or Action:	Related Cases:
Ordinance Number (If Applicable):	

For questions or more information, please contact Planning at 614.410.4600 | www.dublinohioUSA.gov





BEHAL || SAMPSON || DIETZ
ARCHITECTURE & CONSTRUCTION

Project Description
30 & 32 S. High Street

The proposal includes the retention of two historic structures along South High Street and the proposed additions to each structure with a shared parking plan in the rear of the lot. The proposed building additions are to the rear of each structure as shown on the attached drawing submittal.

30 S. High:

The existing building consists of a log structure having two later shed-type additions. Proposed is the removal of both additions, returning the main structure to the original form, clad in the original cladding, and believed to be vertical. Exploratory demolition will lead to the final determination of the cladding treatment. A new addition is proposed to the east, consisting of a small single story hyphen connector and a larger 1 ½ story addition to support a small office use. While early clean up did reveal a covered up window that was once a door; the current design returns the opening to a window, as the existing side door (accessed via the side porch) and new accessible entry on the north of the addition will provide the main means of accessing the building. The design of this addition is in keeping with the vernacular of the Bridge Street Historic Core, simple design and simple materials.

32 S. High:

The existing building consists of a framed structure having two later framed additions, one to the east, and one to the west. Proposed is the renovation of all three components, and the addition of a third addition in a similar vernacular. The original main structures will be re-clad, salvaging existing materials as possible (matched if not) to help distinguish between old and new. The latest addition will have a service basement for the business operations and staff, which will be accessed from the parking lot at the rear (east) of the building. The existing concrete block foundation is planned to be resurfaced with stone veneer to match closely the stone foundations in the district. The existing front entrance will be retained, while a second side door will be added on the south façade for accessibility. This property has two small out buildings which will be documented and removed as part of this project.

Site Improvements:

Accessing the required parking lot has posed design challenges in its own right, the site falls significantly from High Street to Blacksmith Alley (+/- 14'). Code requires an ADA accessible route from the parking lot to the building entrance; in order to achieve this, a long circuitous ramp is required having landings and handrails to meet code. Further, to achieve the required grading, retaining walls will be required, which are proposed to be faced in matching stone veneer to the building foundations.

The existing site wall which separates the properties is to be repurposed to provide necessary screening of the parking lot from Blacksmith alley and to compliment the site design.

In all 12 on-site parking spaces are proposed while 2 street spaces will be utilized to reach a total of 14 parking spaces for the combined parking plan.

BEHAL SAMPSON DIETZ

990 WEST THIRD AVE.
COLUMBUS, OHIO 43212

S. Blacksmith Ln.

blacktop

blacktop

blacktop

blacktop

blacktop

blacktop

SCHEMATIC DRAWINGS FOR
30 & 32 S. HIGH STREET

BRIDGE STREET DISTRICT
DUBLIN, OHIO

8.28.2018

Spring Hill E.

EXISTING SITE PLAN

SCALE: 1/16" = 1'-0"

EXISTING BUILDING (LOG STRUCTURE)

EXISTING BUILDING (FRAME STRUCTURE)

PREVIOUS ADDITION TO REMAIN (FRAME STRUCTURE)

PREVIOUS ADDITIONS TO BE REMOVED (FRAME STRUCTURE)

OUT BUILDINGS TO BE REMOVED

BENCHMARK: Elev. -827.8
Top of iron pin at south west corner of site.

concrete walk

blacktop

blacktop

IPS

IPS

IPS

IPS

IPS

IPF

IPF

IPF

IPF

12" oak

10" gum

12" gum

20" pine

18" pine

30" ash

10" ash

12" ash

12" hackberry

10" walnut

8" elderberry

10" elderberry

10" hackberry

10" hackberry

4" elm

14" elderberry

10" ash

14" walnut

walnut

14" walnut

walnut

10" walnut

stone wall

hackberry

8" walnut

14" locust

14" hackberry

10" walnut

14" hackberry

8" hackberry

24" maple

10" walnut

12" hackberry

cluster elderberry

6" W-GIP

brick walk

brick walk

brick walk

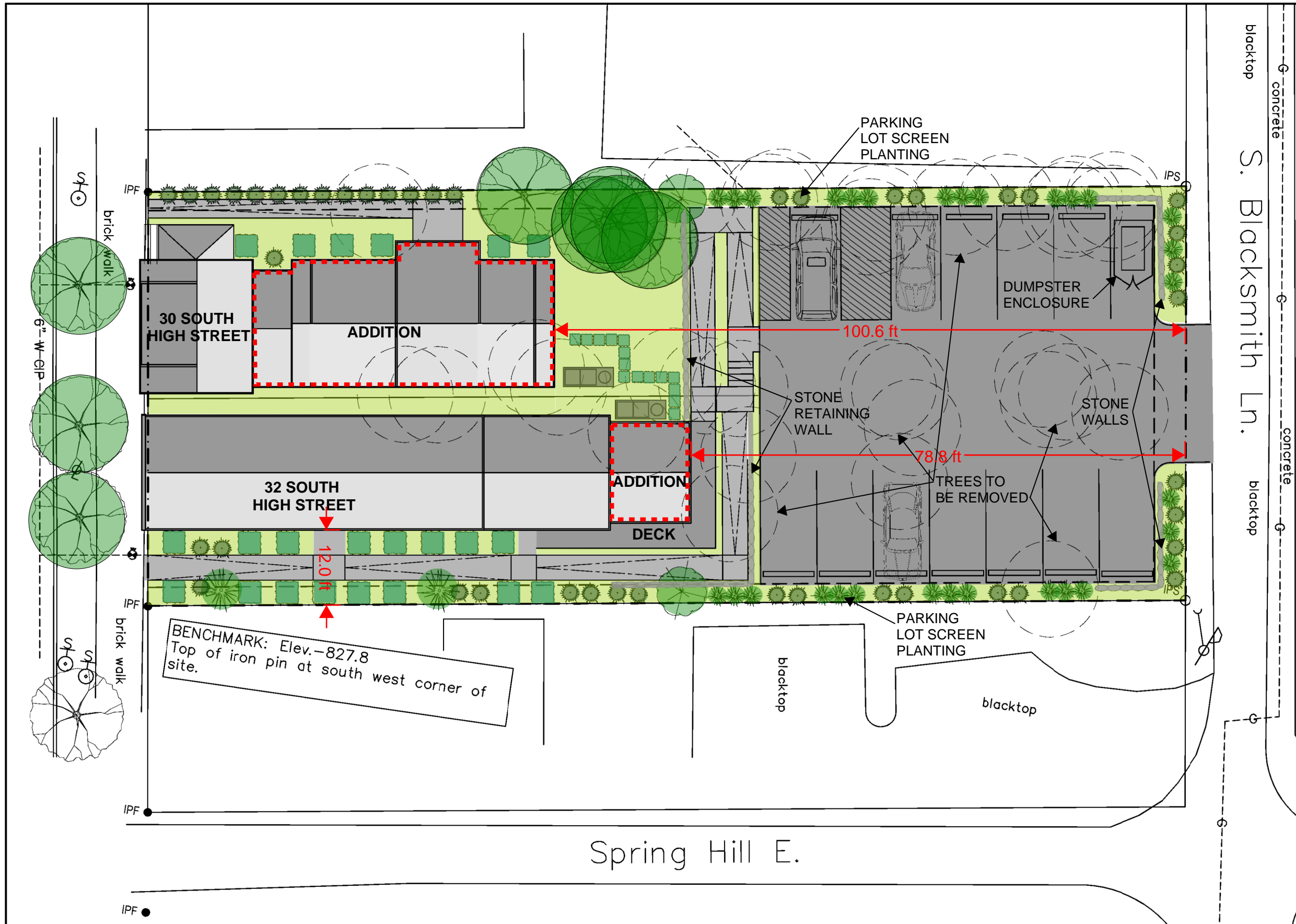
brick walk

brick walk

brick walk

BEHAL SAMPSON DIETZ
 990 WEST THIRD AVE.
 COLUMBUS, OHIO 43212

- 32 S. High**
- Lot Area : 5,460sf
 - Existing Building Foot Print : 1,376sf
 - Maximum Building Coverage: 50% (2,730sf)
 - Actual Building Coverage: 25% (1,376sf)
 - Maximum Impervious Coverage: 65% (3,549sf)
 - Actual Impervious Coverage: 87% (4,775sf)
 - o Building: 1,376sf
 - o Parking: 2,733sf
 - o Deck: 296sf (potential for semi-permeable)
 - o Walks: 370sf (potential for semi-permeable)
 - o Possible semi-permeable credit: 10% (546sf)
 - Parking
 - o Commercial Eating & Drinking (bakery) : 10 spaces/1,000sqf
 - o 137% (first floor) + 28% (lower level) = 1,662/1,000 = 16.62 = 17 spaces required
 - o Utilize 1 street parking space for 1 of 17 required spaces
 - o 16 spaces required for on-site parking
- 30 S. High**
- Lot Area : 5,461sf
 - Existing Building Foot Print : +/- 705sf
 - Maximum Building Coverage: 50% (2,730sf)
 - Existing Building Coverage (log structure + first addition): 13% (705sf)
 - Available Additional Building Coverage: 2,025sf
 - Maximum Impervious Coverage: 65% (3,556sf)
 - Proposed Impervious Coverage: 59% (3,813sf) w/credit
 - o Building: 630sf + 630sf (addition) + 175sf (connector) = 1435sf
 - o Parking & walk: 2,378sf
 - o Possible semi-permeable credit: 10% (546sf)
 - Parking
 - o Business/Office: 2.5spaces/1000sf
 - o 1. 2065sf/1000sf=2.065x2.5=5.16=5 spaces req'd
 - o Limit building use to require 4 spaces
 - o Utilize 1 street parking space for 1 of 4 required spaces
 - o 3 spaces required for on-site parking
- 30 & 32 S. High**
- Lot Area :
 - o 30 S. High: 5,462 sf
 - o 32 S. High: 5,462 sf
 - o Total: 10,924 sf
 - Existing Building Foot Prints:
 - o 30 S. High: 705 sf
 - o 32 S. High: 1008 sf
 - o Total: 1,713 sf
 - Proposed Building Foot Prints:
 - o 30 S. High: 1241 sf
 - o 32 S. High: 1581 sf
 - o Total: 2,822 sf
 - Maximum Impervious Coverage (total): 65% (7,100sf)
 - Actual Impervious Coverage: 65% (7,100sf)
 - o Building: 2,822 sf
 - o Parking: 3,890 sf
 - o Porches: 175sf + 195sf = 370 sf
 - o Walks: 792 sf (potential for semi-permeable)
 - o Possible semi-permeable credit: 10% (1,092 sf)
 - Parking
 - o 30 S. High: Office Use : 2.5 spaces/1,000sqf
 - 1. 726 + 736 = 1,462/1,000 = 1.462x2.5=3.655= 4 spaces required
 - 2. Utilize street parking space for 1 of 4 required spaces
 - 3. 3 on-site parking spaces required
 - o 32 S. High: Restaurant Use: 10 spaces/1,000sqf
 - 1. 419 + 1591 = 2010/1000 = 2.01x10 = 20 spaces required
 - 2. Utilize street parking space for 1 of 20 required
 - 3. 19 on-site parking spaces required
 - o 19+3=22 spaces required for on-site parking
 - o 12 provided, request waiver for 10 space reduction
 - Other info
 - o Frontage: 50% required/met existing building on site
 - o RBZ treatment: landscaping/streetscape
 - o Sideyards: existing to remain
 - o Building length:
 - 1. 30 S. High: 21'-5"
 - 2. 32 S. High: 18'-6"
 - o Parking located at rear of the site
 - o Maximum Height permitted: 2 stories
 - 1. Proposed is 1.5 (30) and 1 (32) stories
 - 2. Ground story height is 7'6" (30) and 9'4" / vaulted
 - 3. 1/2 story height is vaulted, 5'6" on the low side and 9'-0" at the peak
 - 4. Building height is
 - 1. 30 S. High: 17'-4", when measured from grade at the building
 - 2. 32 S. High: 14'-2", when measured from grade at the building
 - 5. Transparency: Street Façade
 - 1. 30 S. High: Required waiver as building is existing
 - 2. 32 S. High: existing building meets requirement
 - 6. Transparency : 15% minimum
 - 1. North:
 - 1. 30 S. High: 31%
 - 2. 32 S. High: 0%
 - 2. South:
 - 1. 30 S. High: 0%
 - 2. 32 S. High: 11%
 - 3. East:
 - 1. 30 S. High: 16%
 - 2. 32 S. High: 65%
 - 4. West:
 - 1. 30 S. High: 13%
 - 2. 32 S. High: 61%
 - 7. Blank Wall Limitations:
 - 1. South wall on 30 S. High
 - 2. North wall on 32 S. High
 - 8. Principal Entrance:
 - 1. 30 S. High
 - 1. Original door found on High Street Façade, need approval for step
 - 2. 32 S. High
 - 1. Existing condition meets requirement
 - 9. Entrances: additional entrances proposed
 - 10. Façade Divisions: existing building at 32 S. High does not comply
 - 11. Roof plane change: meets requirement
 - 12. Façade Materials: Wood siding, painted
 - 13. Roof Type: Gable, standing seam metal



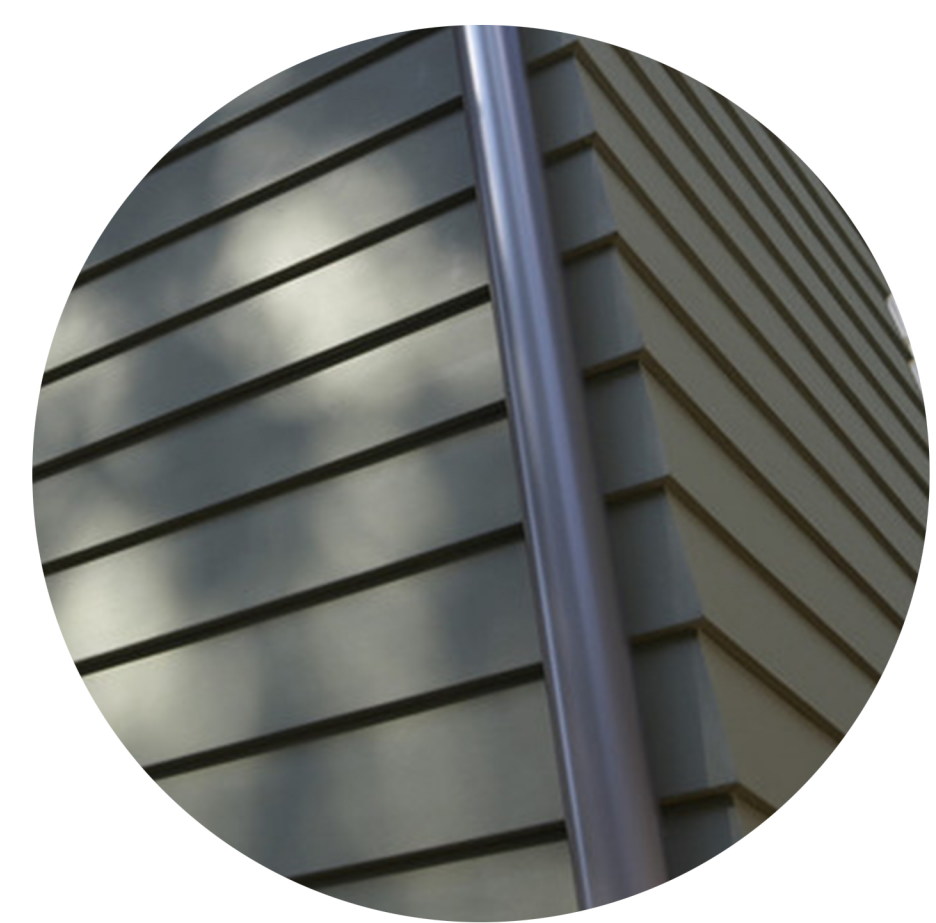
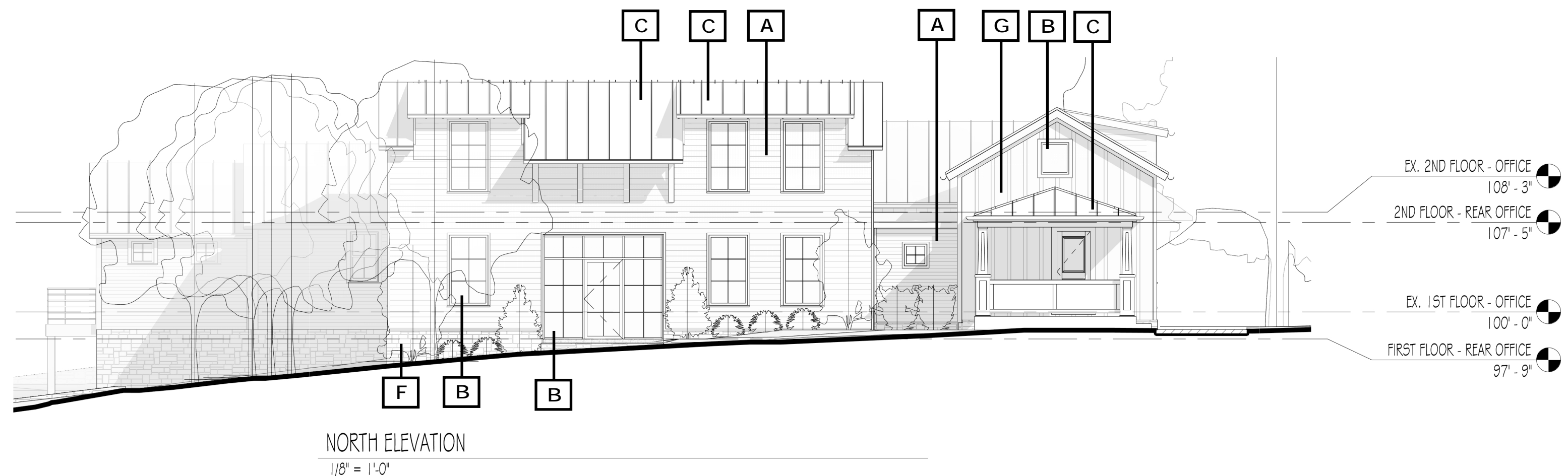
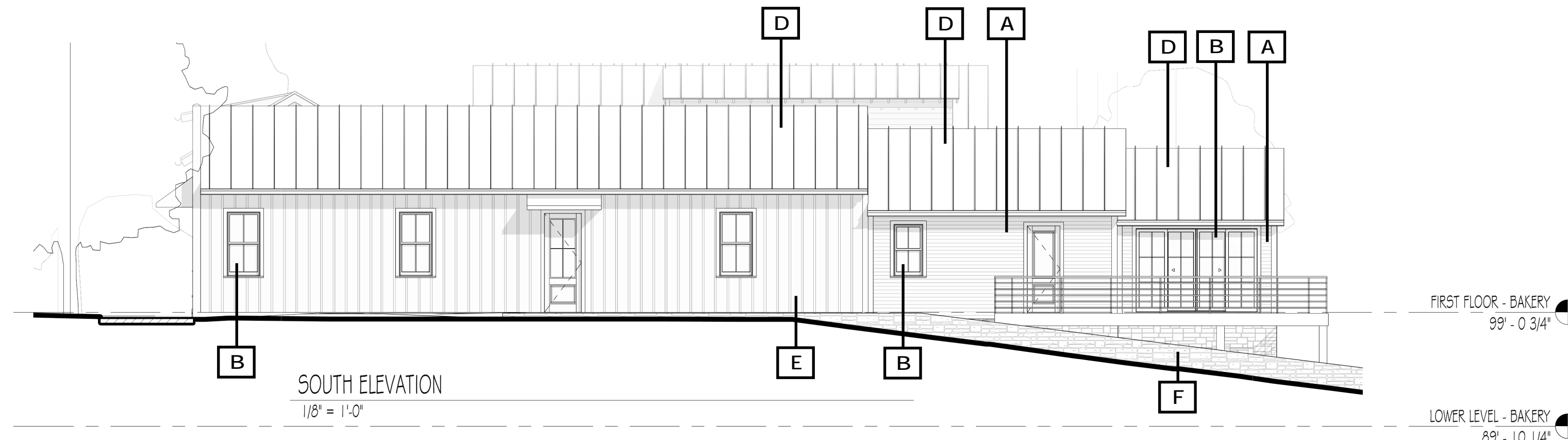
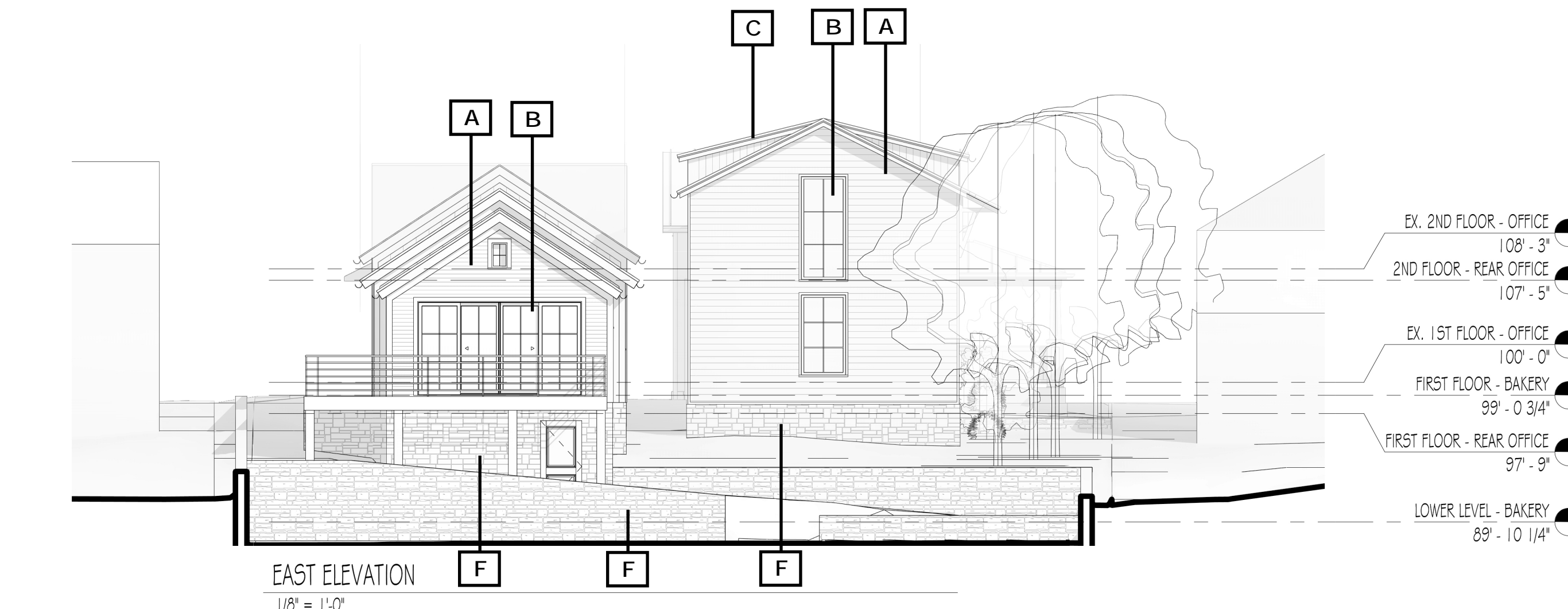
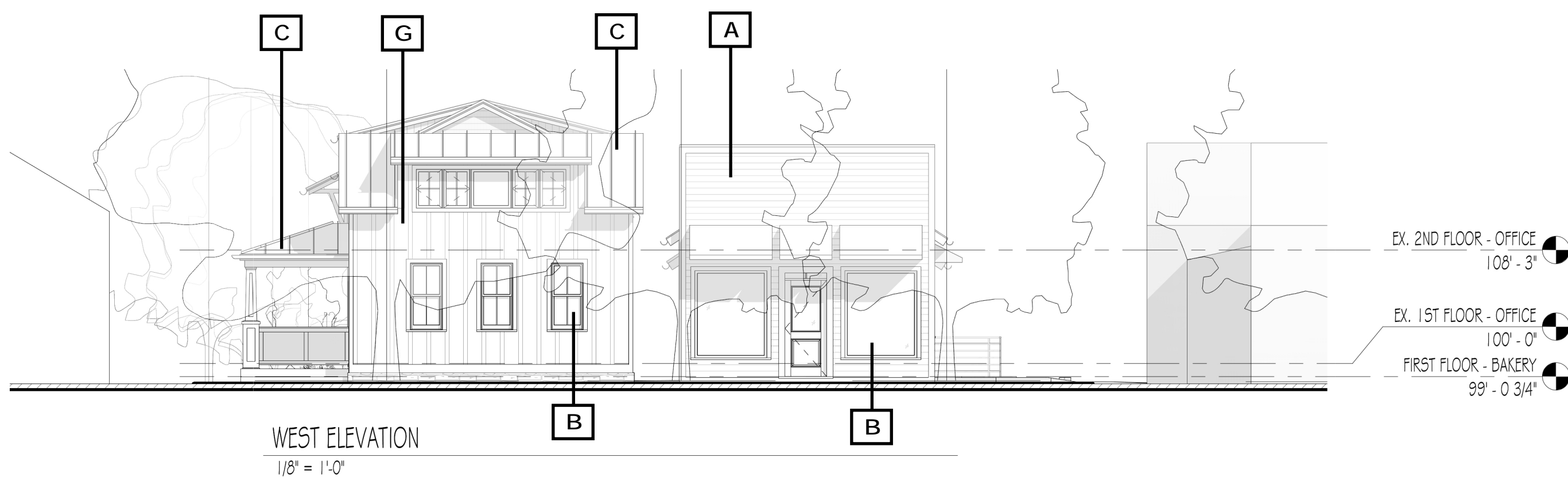
SITE PLAN
 SCALE: 1/16" = 1'-0"



30 & 32 S. HIGH STREET
 BRIDGE STREET DISTRICT
 DUBLIN, OHIO
 8.28.2018

MATERIAL CALCULATIONS

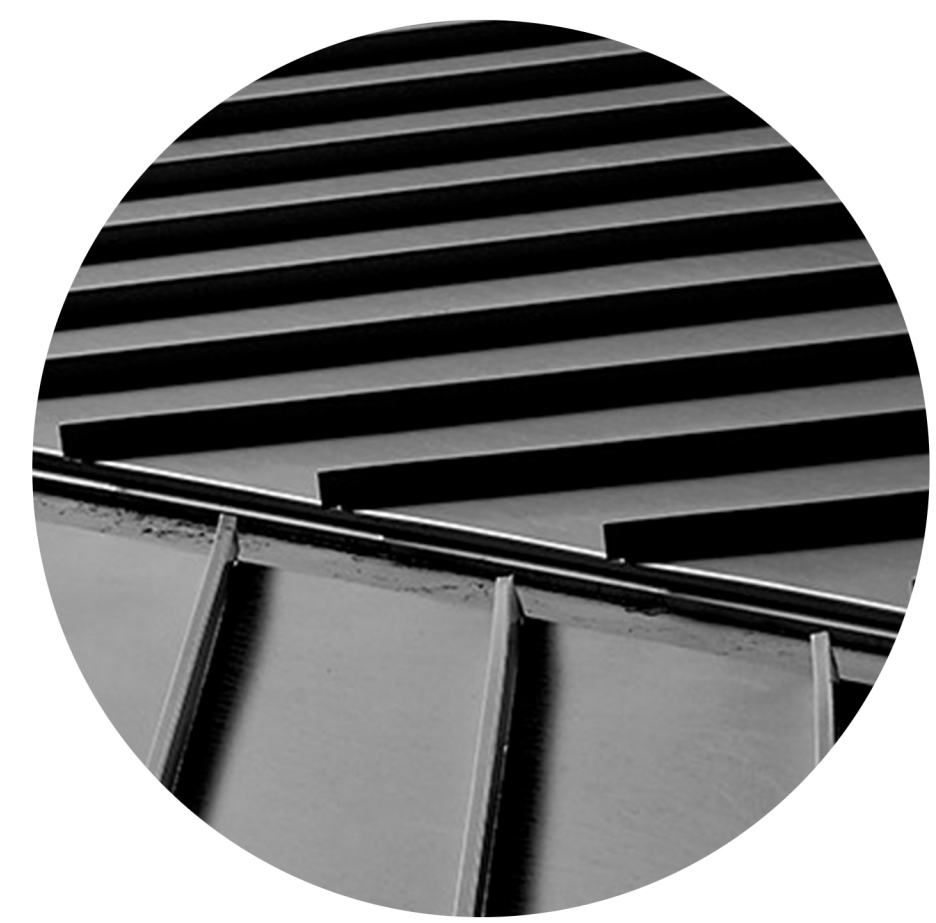
30 S. HIGH STREET	32 S. HIGH STREET
WEST ELEVATION: 355 SF	WEST ELEVATION: 322 SF
• STONE - 17 SF (4.8%)	• WOOD SIDING - 233 SF (72.4%)
• WOOD SIDING - 233 SF (65.9%)	• GLASS - 75 SF (23.3%)
• GLASS - 64 SF (18.3%)	• WOOD DOOR - 14 SF (4.3%)
• METAL - 62 SF (17.6%)	
EAST ELEVATION: 311 SF	EAST ELEVATION: 434 SF
• STONE - 104 SF (33.4%)	• WOOD SIDING - 54 SF (12.4%)
• WOOD SIDING - 104 SF (33.4%)	• WOOD SIDING - 337 SF (77.6%)
• GLASS - 83 SF (26.7%)	• GLASS - 43 SF (9.9%)
• WOOD DOOR - 20 SF (6.4%)	
SOUTH ELEVATION: 1,528 SF	SOUTH ELEVATION: 1,211 SF
• STONE - 122 SF (8.0%)	• STONE - 40 SF (3.3%)
• WOOD SIDING - 628 SF (41.1%)	• WOOD SIDING - 991 SF (81.8%)
• GLASS - 127 SF (8.3%)	• METAL - 8 SF (0.7%)
• METAL - 618 SF (40.4%)	• METAL - 166 SF (13.7%)
• WOOD DOOR - 33 SF (2.2%)	• TPO - 6 SF (0.5%)
NORTH ELEVATION: 1,564 SF	NORTH ELEVATION: 1,234 SF
• STONE - 133 SF (8.5%)	• STONE - 71 SF (5.8%)
• WOOD SIDING - 796 SF (50.9%)	• WOOD SIDING - 719 SF (58.3%)
• METAL - 618 SF (39.5%)	• METAL - 211 SF (17.1%)
• GLASS - 17 SF (1.1%)	• GLASS - 213 SF (17.3%)
	• WOOD DOOR - 14 SF (1.1%)
	• TPO - 6 SF (0.5%)



A
 WOOD LAP SIDING WITH 5" & 3"
 EXPOSURES - PAINTED



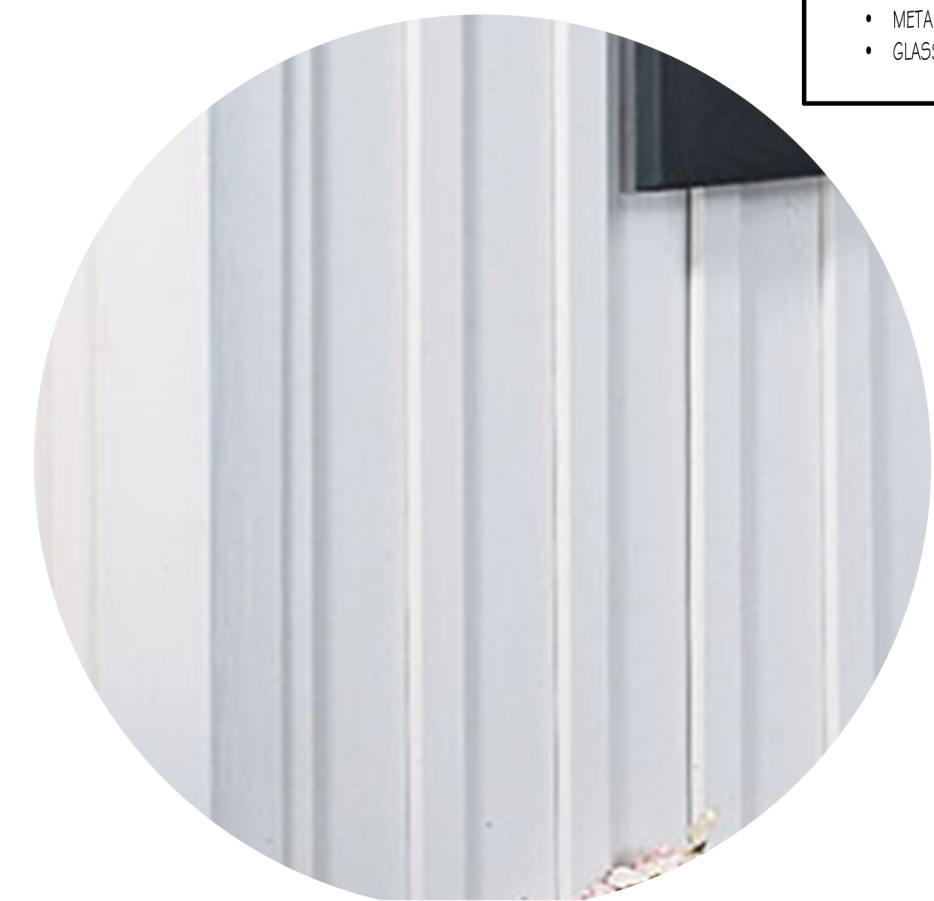
B
 ALUMINUM CLAD WINDOWS,
 DOUBLE HUNG, CASEMENT AND
 PICTURE - BLACK



C
 STANDING SEAM METAL ROOF -
 BLACK & DARK GRAY WITH
 MATCHING HALF ROUNDS &
 DOWNSPOUTS



D
 STANDING SEAM - GALVALUME
 WITH MATCHING HALF ROUNDS
 & DOWNSPOUTS



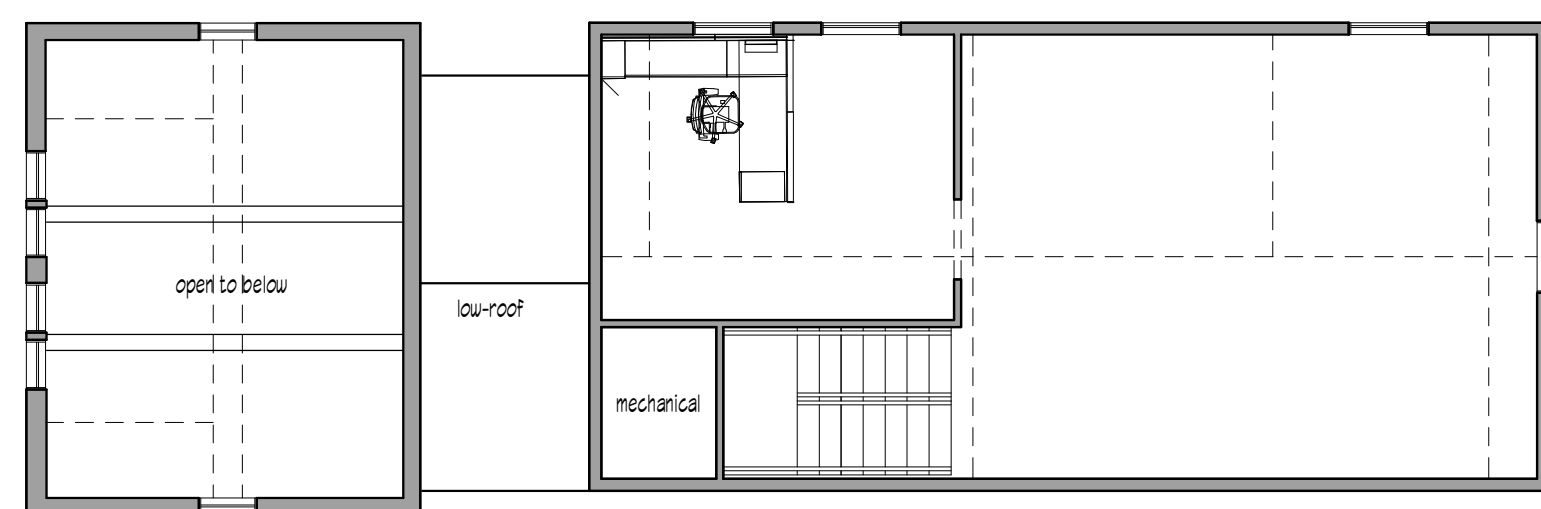
E
 BOARD & BATTEN WOOD SIDING, 8"
 BOARDS AND 4" BATTENS TO MATCH
 EXISTING - PAINT



F
 STONE VENEER

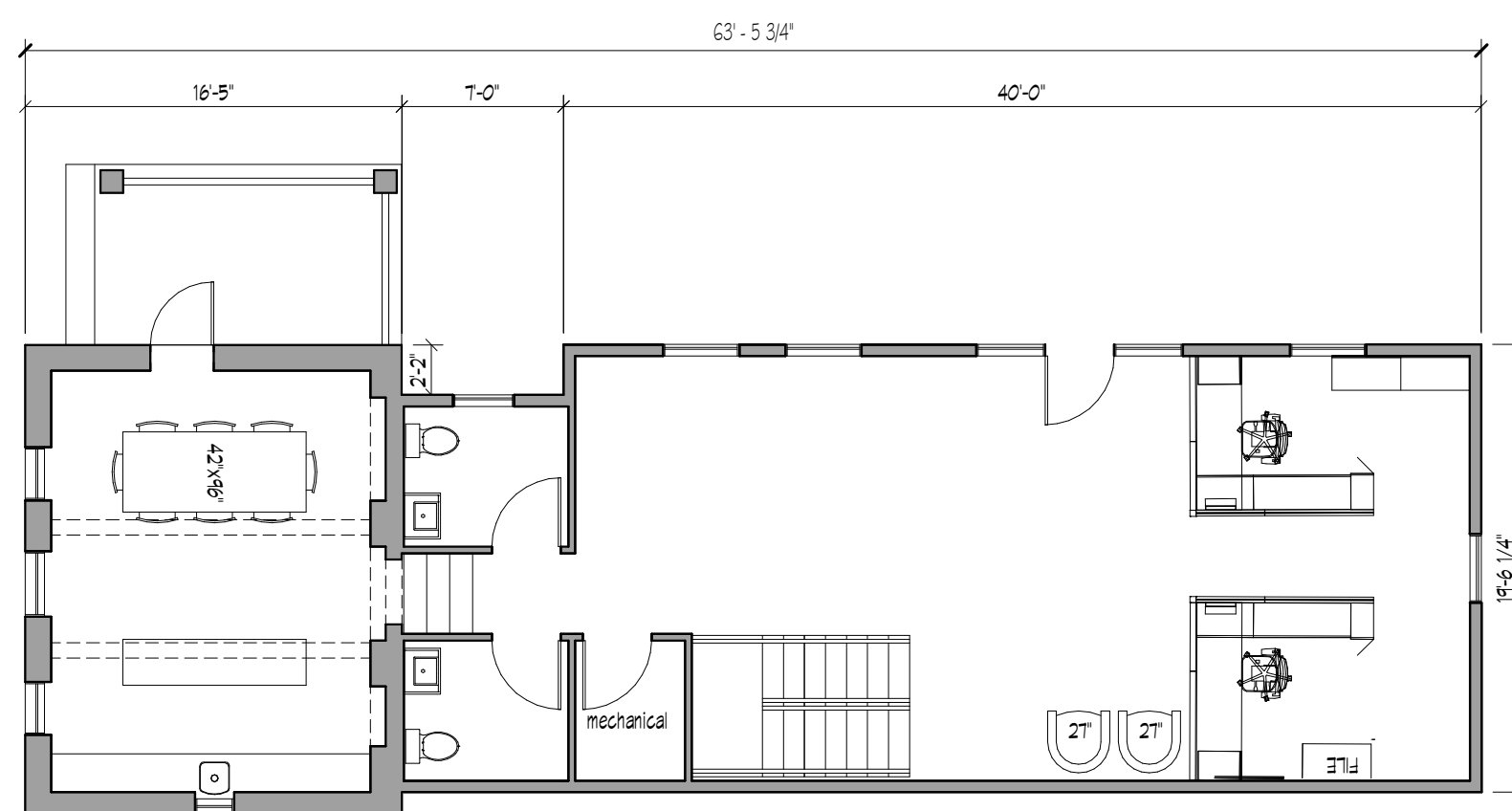


G
 BOARD & BATTEN WOOD SIDING, 14"
 BOARDS AND 2" BATTENS - PAINT



32 S. HIGH - SECOND FLOOR

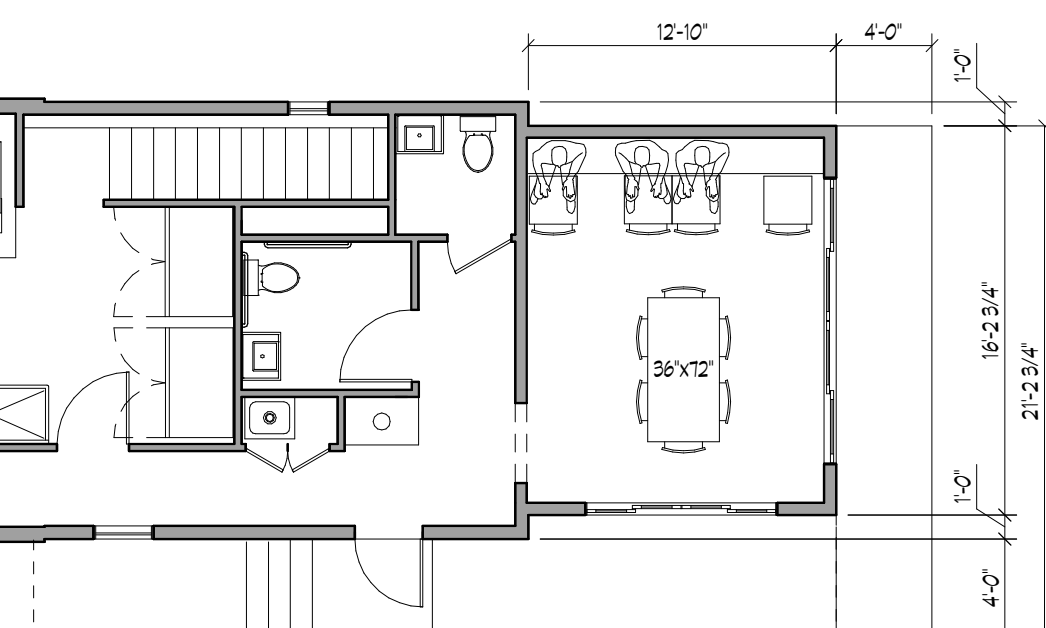
SCALE: 1/8" = 1'-0"



30 & 32 S. HIGH - FIRST FLOOR

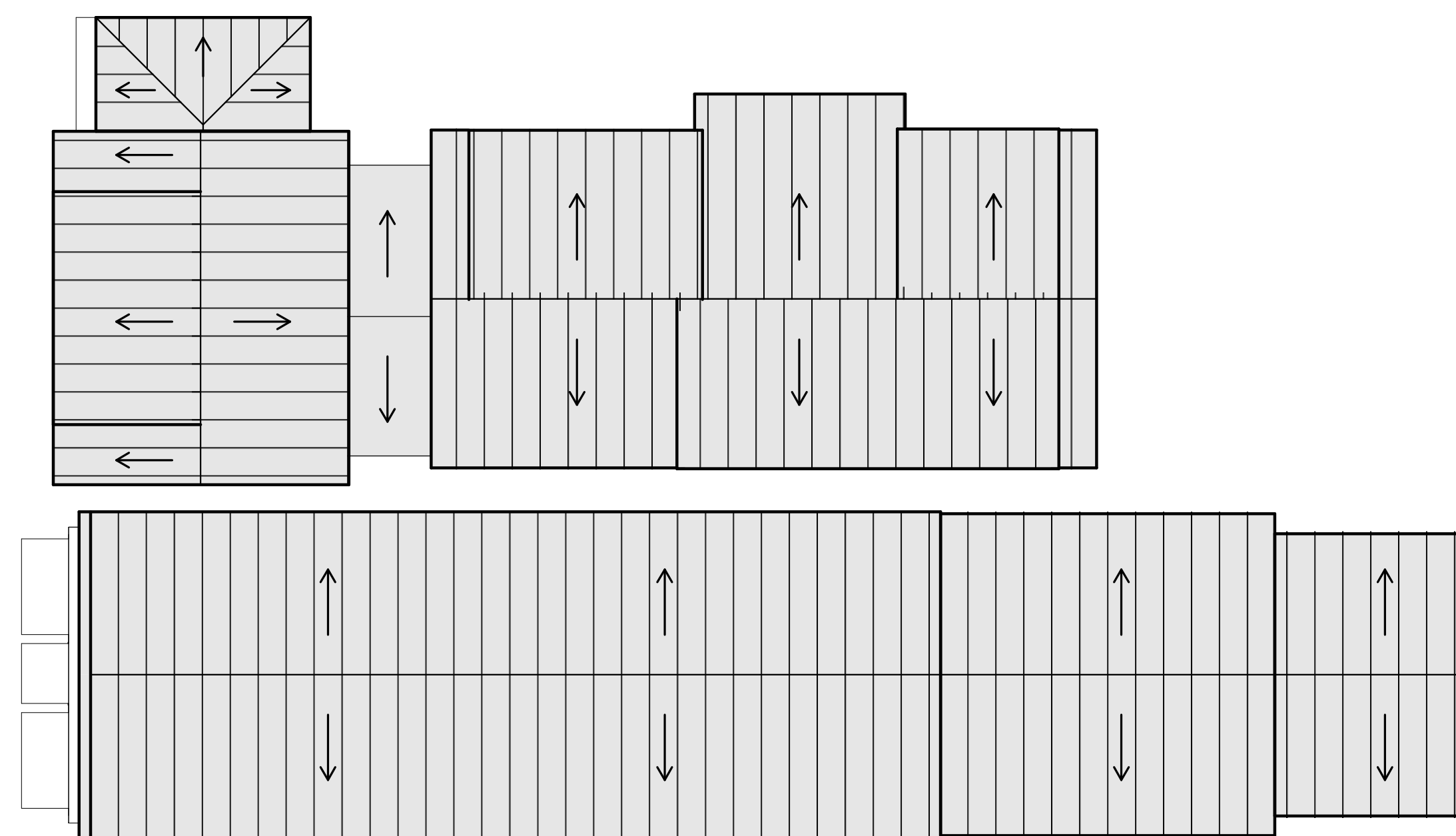
SCALE: 1/8" = 1'-0"

87'-6 1/2"



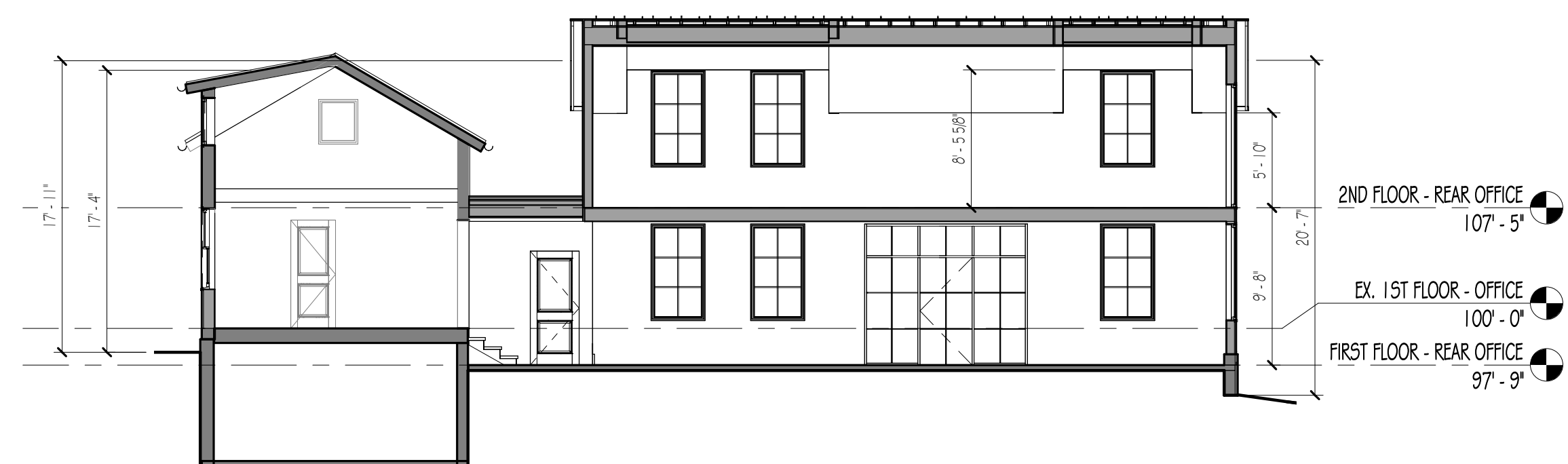
32 S. HIGH - LOWER LEVEL

SCALE: 1/8" = 1'-0"



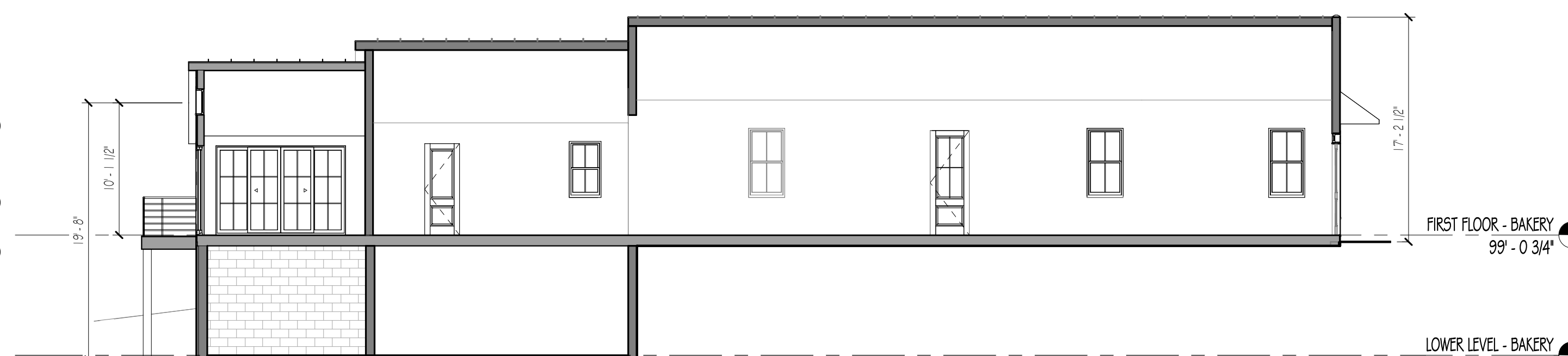
30 & 32 S. HIGH - ROOF PLAN

1/8" = 1'-0"



30 S. HIGH - BUILDING SECTION

1/8" = 1'-0"



32 S. HIGH - BUILDING SECTION

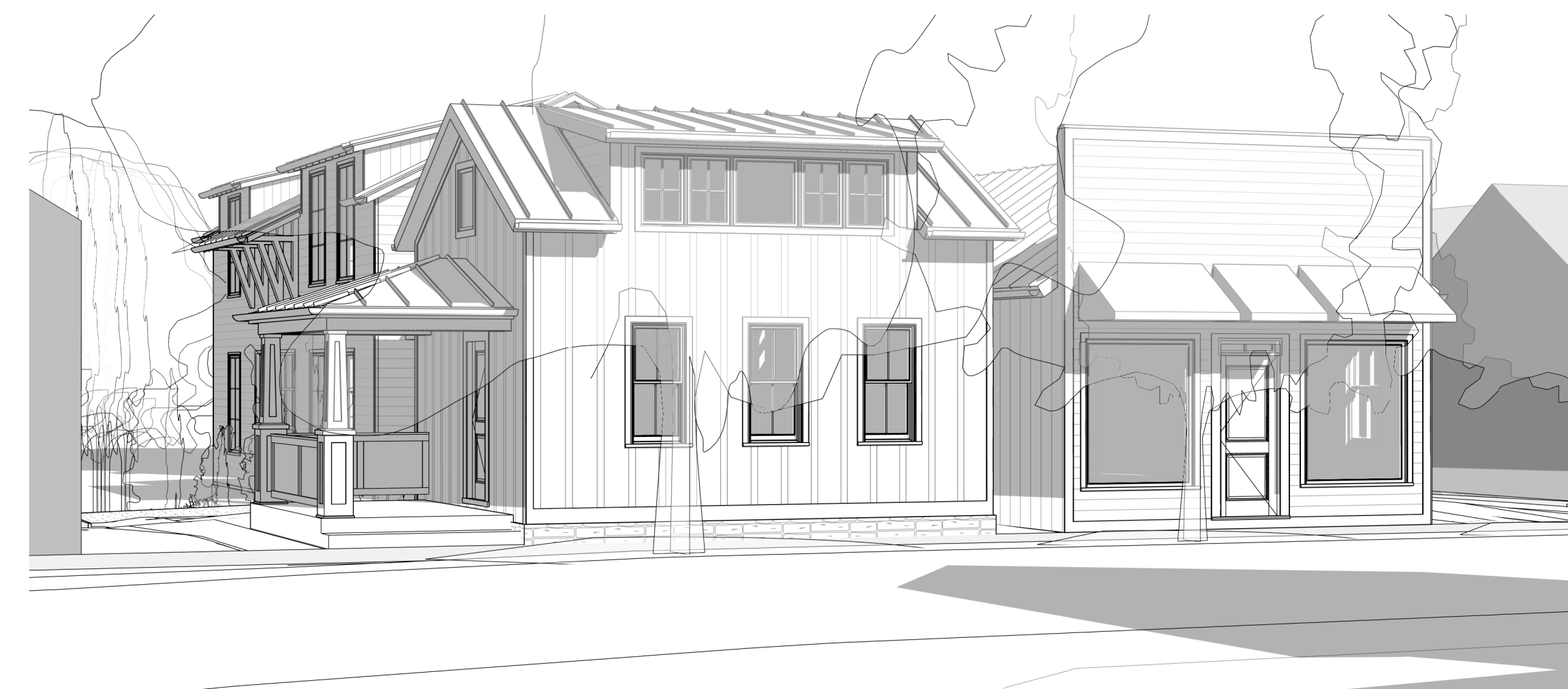
1/8" = 1'-0"



SITE PLAN
 1" = 30'-0"



3D View 1



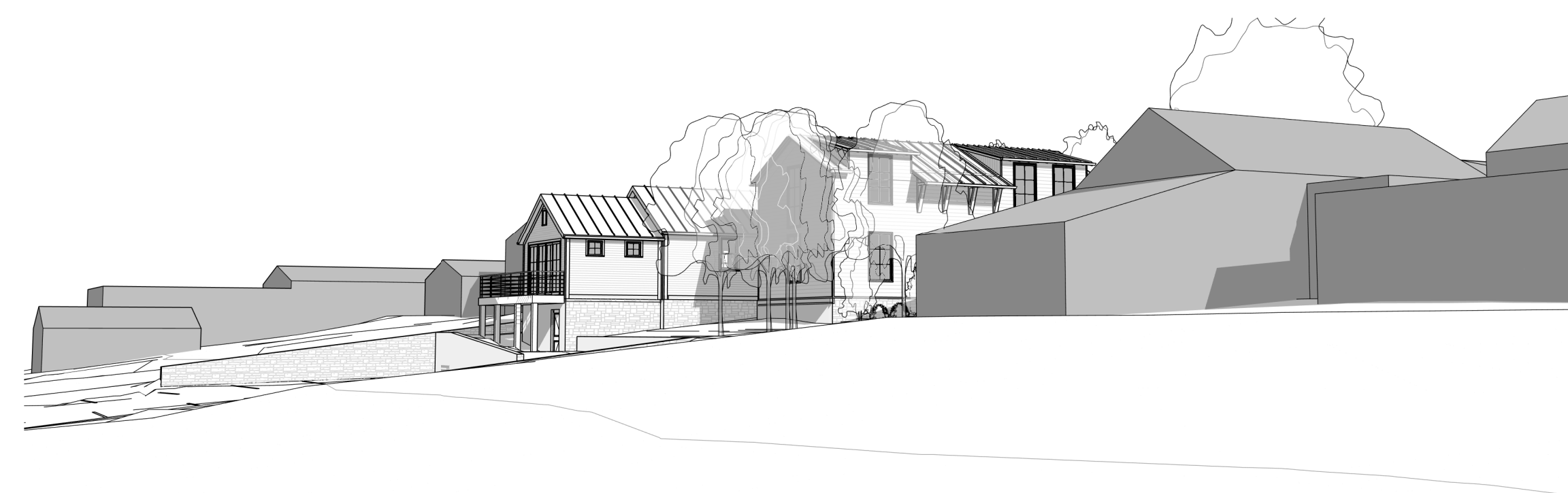
3D View 2



3D View 3



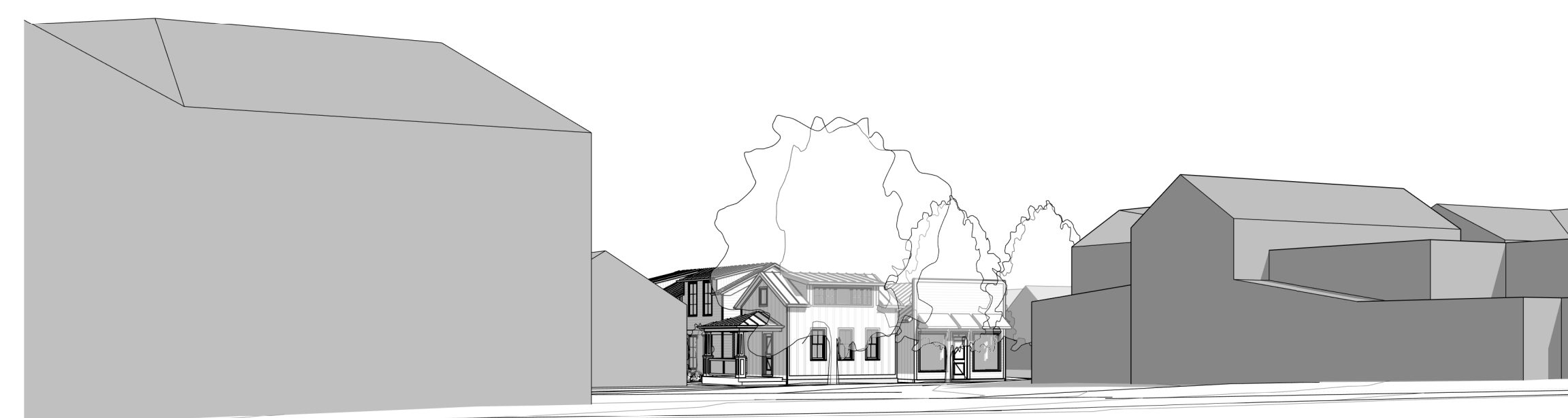
3D View 4



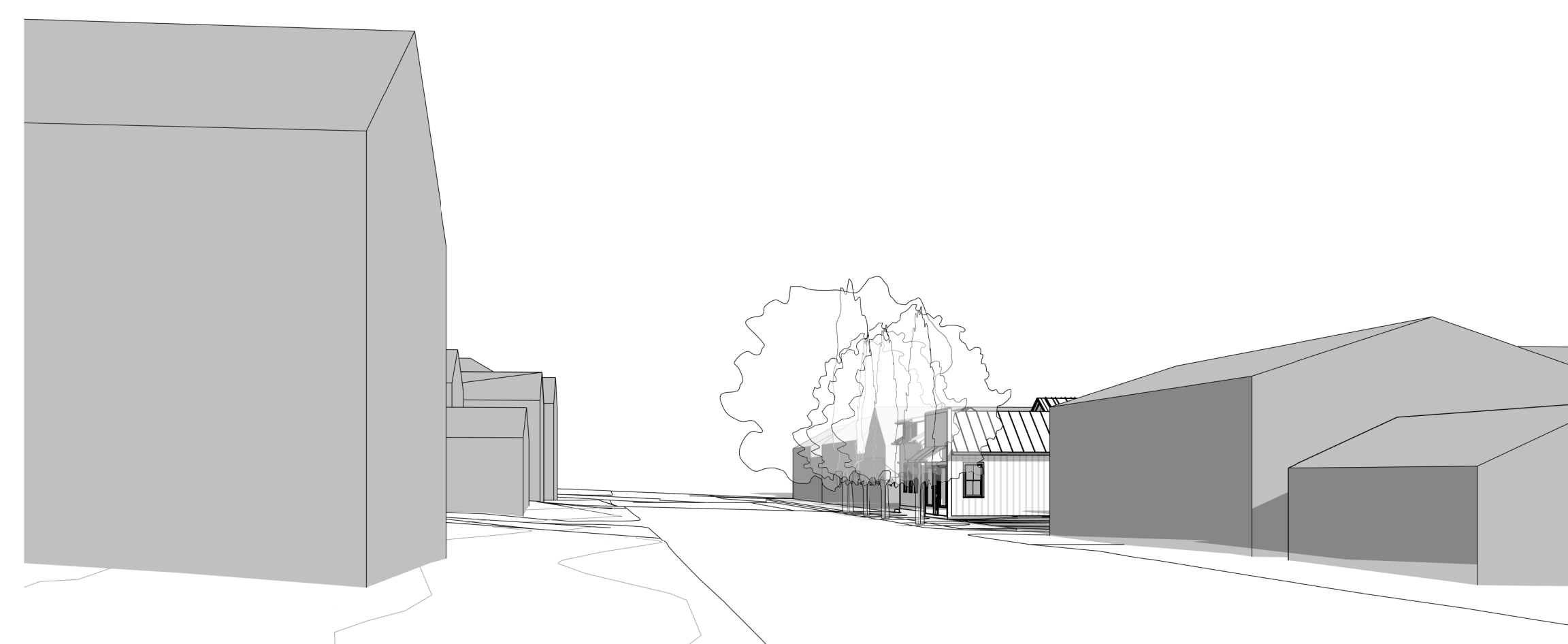
3D View 5



3D View 6



3D View 7



3D View 8

DEVELOPMENT PLAN FOR BLUEBIRD CONSULTING GROUP NEW OFFICE AND RETAIL BUILDINGS 30-32 SOUTH HIGH STREET CITY OF DUBLIN, OHIO 43017 2018

SITE DATA:

OWNER/DEVELOPER: BLUEBIRD CONSULTING GROUP
200 S. HIGH ST.
CITY OF DUBLIN, OH 43017
SHERI TACKETT (ONSITE CONTACT)
PHONE: 614-638-4895
EMAIL: SST@TACKETTWEB.COM

PLAN DESIGNER: OSBORN ENGINEERING
990 WEST THIRD AVE. - SUITE 200
COLUMBUS, OH 43212
PHONE: 614-556-4272
EMAIL: BLUNDGREN@OSBORN-ENG.COM

PID NO: 273-000008-00, 273-000089-00
ADDRESS: 30, 32 SOUTH HIGH STREET
CITY OF DUBLIN, OHIO 43017

DEVELOPMENT: OFFICE AND RETAIN BUILDINGS
SITE GROUND COVER: AGGREGATE AND GRASS

SITE DRAINS TO: SITE GENERALLY SHEET FLOWS FROM THE WEST TO THE EAST

ADJACENT AREAS: COMMERCIAL, RESIDENTIAL

ZONING INFORMATION:

ZONING DISTRICT: BSC-HC: BRIDGE STREET DISTRICT - HISTORIC CORE
BUILDING HEIGHT: 2 STORIES MAXIMUM

GROSS BUILDING AREA: EXISTING BUILDING = 600 SF, 1,292 SF
PROPOSED BUILDING = 2,335 SF
TOTAL GROSS AREA = 3,435 SF

FRONT BUILDING SETBACK: 30 FT FROM C/L
SIDE SETBACK: 3 FT
REAR SETBACK: 5 FT

ZONING CALCULATIONS:

- ONSITE PARKING CALCULATIONS**
 - REQUIRED:** 30 S. HIGH; OFFICE USE
1,462 * (2.5 SPACES / 1,000 SF) = 4 SPACES
(UTILIZE STREET PARKING FOR 1 OF 4 SPACES) = 3 ONSITE SPACES
32 S. HIGH; RESTAURANT USE
2,010 * (10 SPACES / 1,000 SF) = 20 SPACES
(UTILIZE STREET PARKING FOR 1 OF 20 SPACES) = 19 ONSITE SPACES
24 TOTAL SPACES REQUIRED (2 STREET SPACES, 22 ONSITE)
12 SPACES TOTAL (2 STREET SPACES, 10 ONSITE SPACES)
(INCLUDES 1 STANDARD ADA SPACE AND 1 VAN ACCESSIBLE ADA SPACE)
 - PROPOSED:** 12 SPACES TOTAL (2 STREET SPACES, 10 ONSITE SPACES)
- BICYCLE PARKING CALCULATIONS**
 - REQUIRED:** REQUIRED PARKING * (1 BIKE / 10 SPACES) * (1 RACK / 2 BIKES) = 12 SPACES * (1 BIKE / 10 SPACES) * (1 RACK / 2 BIKES) = 1 RACK
 - PROPOSED:** 1 RACK
- MINIMUM LOT SIZE**
 - REQUIRED:** N/A
 - EXISTING:** 0.12 (30 SOUTH HIGH), 0.13 (32 SOUTH HIGH) ACRES
 - PROPOSED:** 0.12 (30 SOUTH HIGH), 0.13 (32 SOUTH HIGH) ACRES
- MAXIMUM LOT COVERAGE**
 - REQUIRED:** 75% MAX (0.19 ACRES)
 - PROPOSED:** 72% (0.18 ACRES)

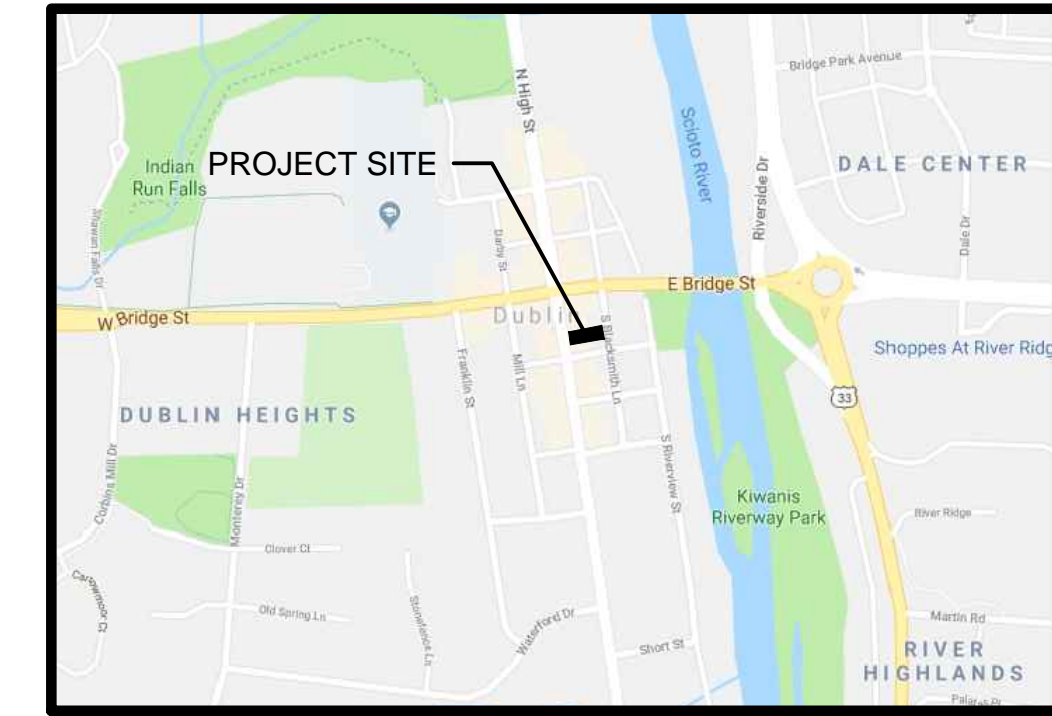
REFUSE:

65 GALLON LANDFILL AND RECYCLING TOTES WILL BE UTILIZED FOR REFUSE
OWNER TO COORDINATE WITH SCHEDULED PICKUP

STANDARD DRAWINGS:

THE STANDARD DRAWINGS LISTED ON THIS PLAN SHALL BE CONSIDERED A PART THEREOF:

CITY OF DUBLIN
N/A



VICINITY MAP
NO SCALE



SURVEY NOTE:

A TOPOGRAPHIC SURVEY PROVIDED BY LANDMARK SURVEY GROUP
INCORPORATED DATED NOVEMBER 2017.

BENCHMARK:

BENCHMARK #1 - TOP OF IRON PIN AT SOUTH WEST CORNER OF SITE
N = 765,037.78 E = 1,796,861.74 ELEV = 827.80

BENCHMARK #2 - RIM OF SANITARY SEWER 100 +/- NORTH OF SITE IN
BLACKSMITH LANE
N = 765,229.15 E = 1,797,007.86 ELEV = 813.52

BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED ON THE OHIO STATE PLANE
COORDINATE SYSTEM, SOUTH ZONE, NAD 83 DATUM (2011), TAKEN FROM
GPS OBSERVATION

FLOOD DESIGNATION

ACCORDING TO F.E.M.A. FLOOD INSURANCE RATE MAP
#39049C0151K, DATED JUNE 17, 2008 FOR COMMUNITY NUMBER 390673, THIS
PROPERTY IS IN ZONE X, AREA OF MINIMAL FLOOD HAZARD

INDEX OF SHEETS

- G-101 TITLE SHEET
- C-101 EXISTING CONDITIONS/DEMOLITION PLAN
- C-102 SITE LAYOUT PLAN
- C-103 UTILITY PLAN
- C-104 STORM & GRADING PLAN
- C-105 EROSION CONTROL PLAN
- C-106 PHOTOMETRIC PLAN
- C-501 CONSTRUCTION DETAILS
- C-502 EROSION CONTROL DETAILS

**BLUEBIRD
CONSULTING GROUP**

30-32 South High Street
Dublin, OH 43017
(614) 389-3672



**OSBORN
ENGINEERING**

990 West Third Avenue - Suite 200 | Columbus, OH 43212
1100 Superior Ave. - Suite 300 | Cleveland, OH 44114
441 Wolf Ledges Pkwy - Suite 300 | Akron, OH 44311

**NEW OFFICE
AND RETAIL
BUILDINGS**

**CITY OF DUBLIN
FRANKLIN COUNTY
OHIO**

TAG	ISSUED	DATE
A	PRELIMINARY	8/27/18

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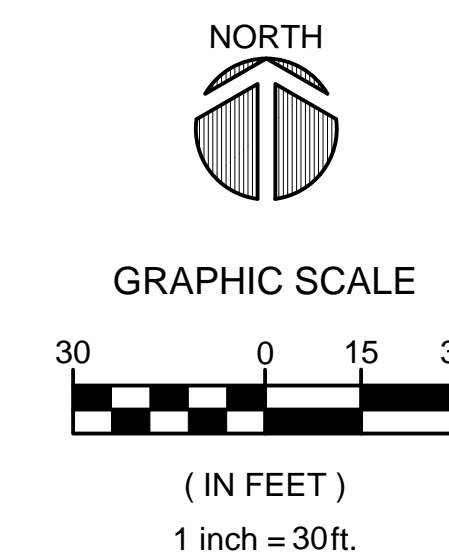
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OSBORN PROJ. NO.
J20180010.000

TITLE SHEET

DRAWING NO.

G-001



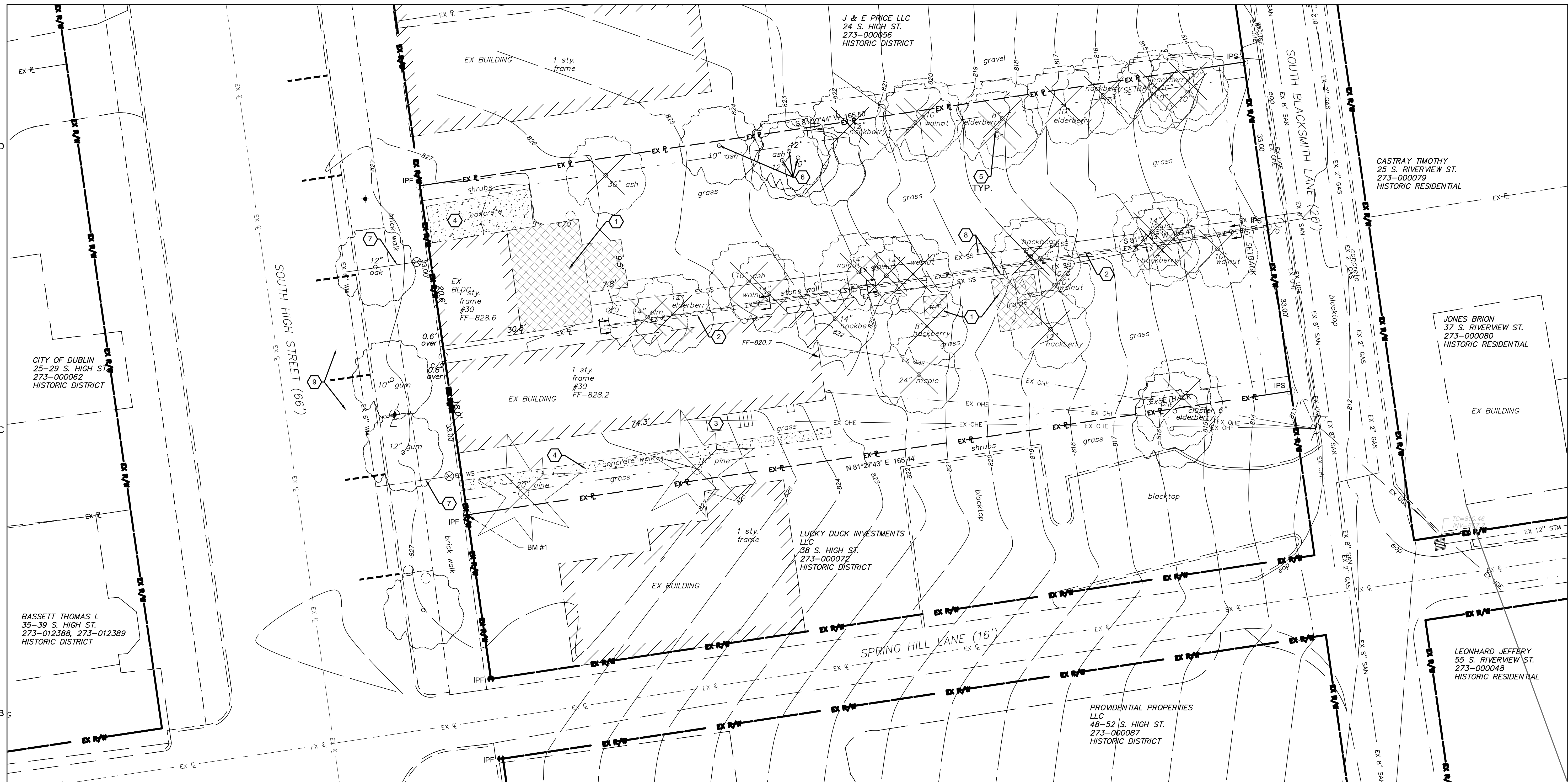
REPLACE IF WORKING OUTSIDE OF OHIO

UNDERGROUND UTILITIES
2 WORKING DAYS
BEFORE YOU DIG
CALL 800-362-2764 (TOLL FREE)
OHIO UTILITIES
PROTECTION SERVICE
NON-MEMBER
MUST BE CALLED DIRECTLY



NEW OFFICE AND RETAIL BUILDINGS

CITY OF DUBLIN FRANKLIN COUNTY OHIO



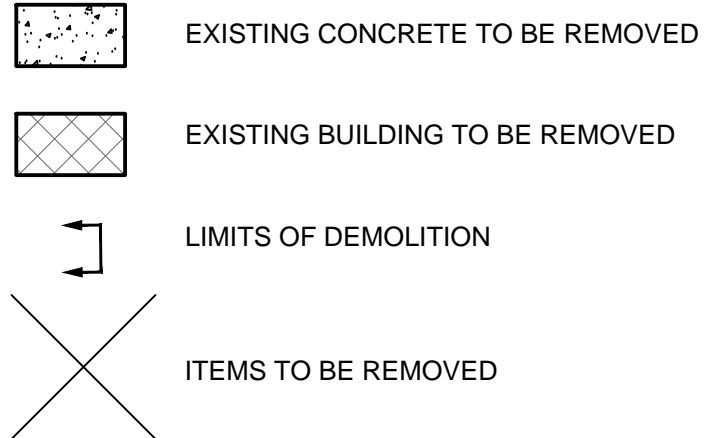
SITE DEMOLITION PLAN CODED NOTES:

1. EXISTING BUILDING TO BE REMOVED
2. EXISTING DECORATIVE WALL TO BE REMOVED
3. EXISTING STEPS TO BE REMOVED
4. EXISTING CONCRETE WALK TO BE REMOVED
5. EXISTING TREE TO BE REMOVED (TYP.)
6. EXISTING TREES TO BE PROTECTED IN PLACE (TYP.)
7. EXISTING WATER SERVICE TAPS
8. ASSUMED LOCATION OF EXISTING SANITARY SERVICE LINE. CONTRACTOR TO FIELD VERIFY LOCATION BEFORE CONSTRUCTION.
9. EXISTING STREET PARKING SPACES TO BE UTILIZED

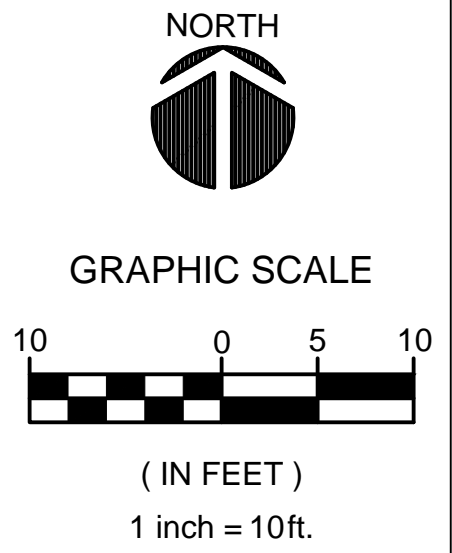
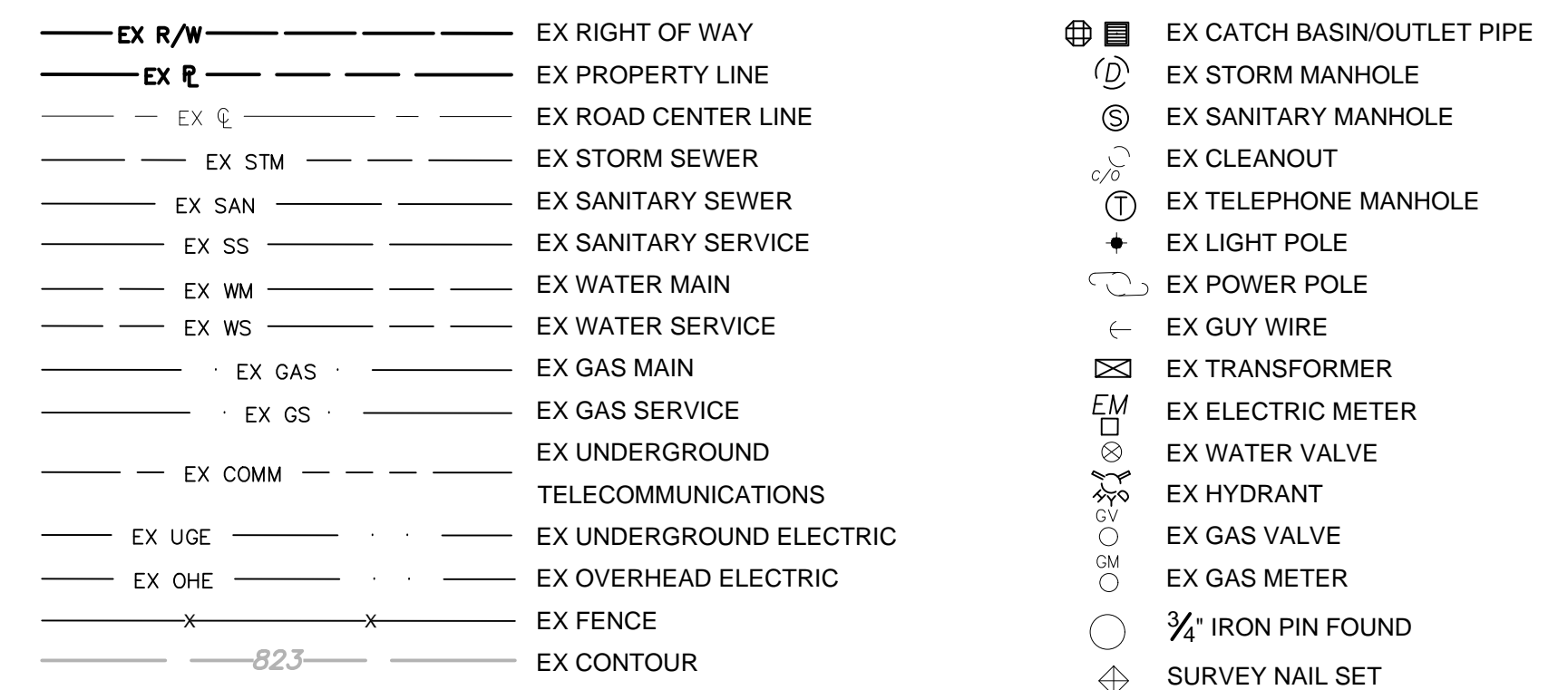
SITE DEMOLITION PLAN NOTES:

1. ALL ITEMS TO BE TRANSPORTED TO A LEGAL DUMPSITE.
2. CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO REMOVE CONCRETE TO NEAREST JOINT, WHERE APPLICABLE.

SITE DEMOLITION LEGEND



SURVEY LEGEND



TAG	ISSUED	DATE
A	PRELIMINARY	8/27/18

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OSBORN PROJ. NO. J20180010.000

EXISTING CONDITIONS/DEMOLITION PLAN

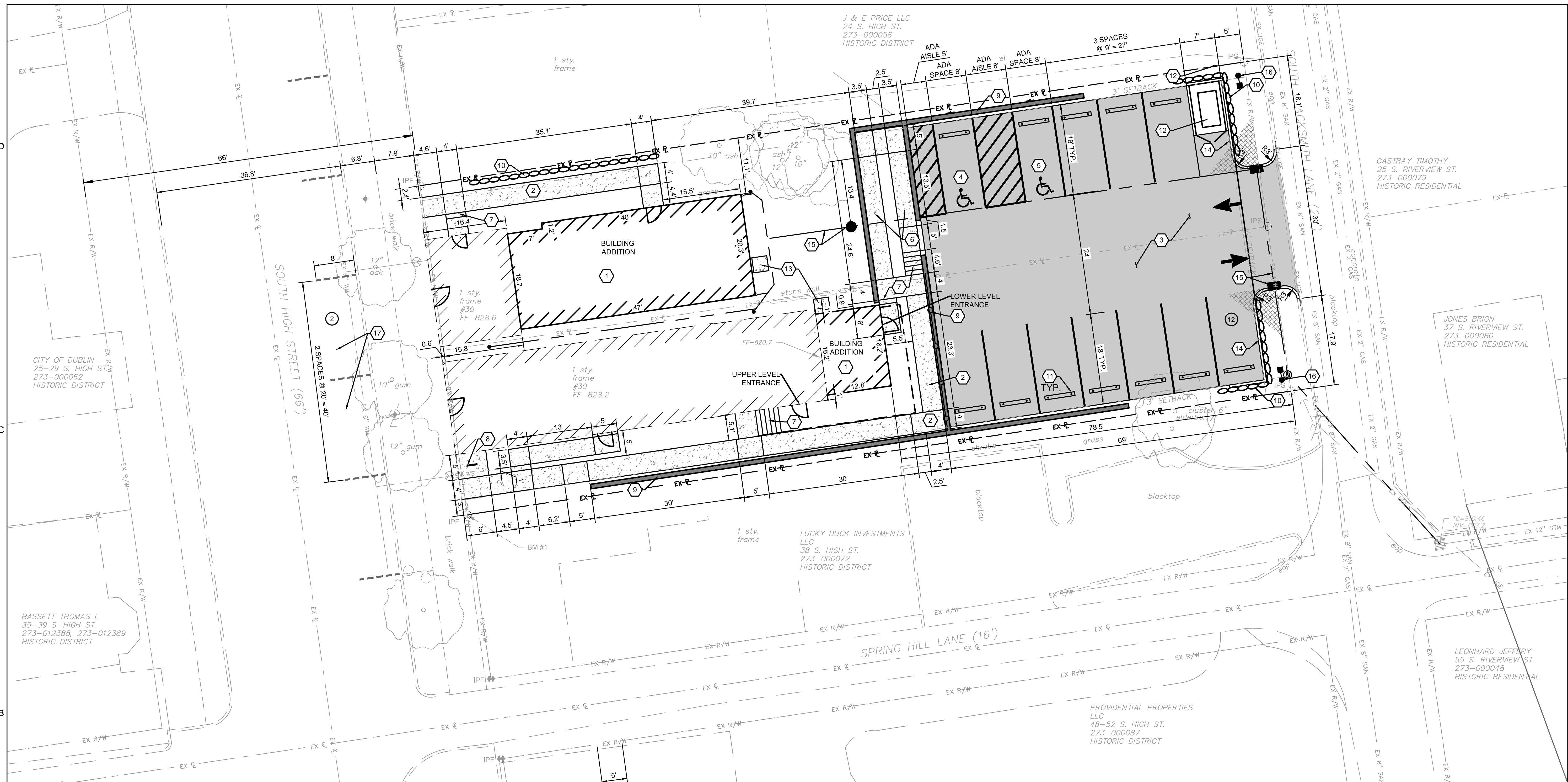
DRAWING NO.

C-101



NEW OFFICE AND RETAIL BUILDINGS

**CITY OF DUBLIN
FRANKLIN COUNTY
OHIO**



SITE NOTES

- DIMENSIONS ARE FROM EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
- UNDIMENSIONED RADIUSSES TO BE 5'.
- EXISTING PAVEMENT GRADES TO MATCH (FLUSH) WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
- ASPHALT PAVEMENT JOINT WHERE NEW ASPHALT PAVEMENT MEETS EXISTING PAVEMENT TO BE SEALED WITH HOT APPLIED JOINT SEALER.
- ALL PROPOSED PAVEMENT MARKINGS TO BE 4" IN WIDTH AND WHITE IN COLOR, UNLESS OTHERWISE NOTED.
- REFERENCE SURVEY LEGEND ON SHEET C-101.

SITE LAYOUT PLAN CODED NOTES:

- PROPOSED BUILDING ADDITIONS (REFER TO ARCHITECTURAL PLANS FOR DETAILS)
- PROPOSED CONCRETE WALK (SEE SHEET C-501)
- PROPOSED ASPHALT PAVEMENT (SEE SHEET C-501)
- VAN ACCESSIBLE ADA PARKING SPACE WITH ADA PARKING SYMBOL, WHEEL STOP AND PARKING SIGN (SEE SHEET C-501)
- STANDARD ADA PARKING SPACE WITH ADA PARKING SYMBOL, WHEEL STOP AND PARKING SIGN (SEE SHEET C-501)
- PROPOSED ADA SWITCHBACK RAMP
- PROPOSED STEPS
- PROPOSED BIKE RACK (1 TOTAL) (SEE SHEET C-501)
- PROPOSED RETAINING WALL WITH FENCE (SEE SHEET C-501)
- PROPOSED DECORATIVE WALL (REFER TO ARCHITECTURAL PLANS FOR DETAILS)
- PROPOSED CONCRETE WHEEL STOP (SEE SHEET C-501)
- PROPOSED CONCRETE PAD FOR TRASH (65 GALLON BIN) (REFER TO ARCHITECTURAL PLANS FOR SCREENING DETAILS)
- PROPOSED CONCRETE PAD FOR AC UNITS.
- PROPOSED CONCRETE CURB (SEE SHEET C-501)
- PROPOSED CATCH BASIN AND STORM SYSTEM (SEE SHEET C-104)
- PROPOSED SITE LIGHTING. (REFER TO SHEET C-106 FOR PHOTOMETRIC PLAN)
- EXISTING STREET PARKING SPACES TO BE UTILIZED

SITE PLAN LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- 10' SIGHT TRIANGLE
- DIRECTIONAL ARROW (FOR REFERENCE ONLY)
- PROPOSED PARKING SPACE COUNT
- PROPOSED RETAINING WALL (SEE SHEET C-501)
- PROPOSED DECORATIVE WALL (REFER TO ARCHITECTURAL PLANS FOR DETAILS)

TAG	ISSUED	DATE
A	PRELIMINARY	8/27/18

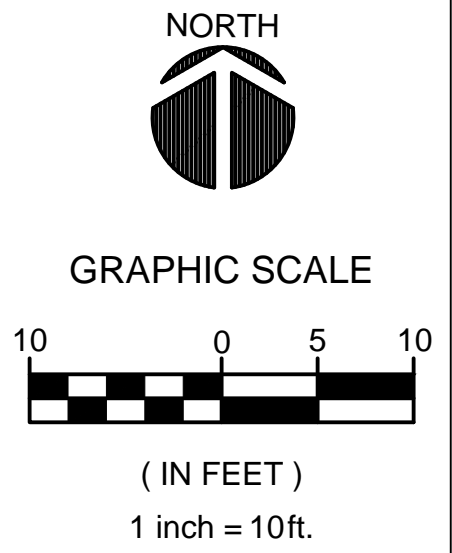
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SITE LAYOUT PLAN

DRAWING NO.
C-102





NEW OFFICE AND RETAIL BUILDINGS

**CITY OF DUBLIN
FRANKLIN COUNTY
OHIO**

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A	PRELIMINARY	8/27/18

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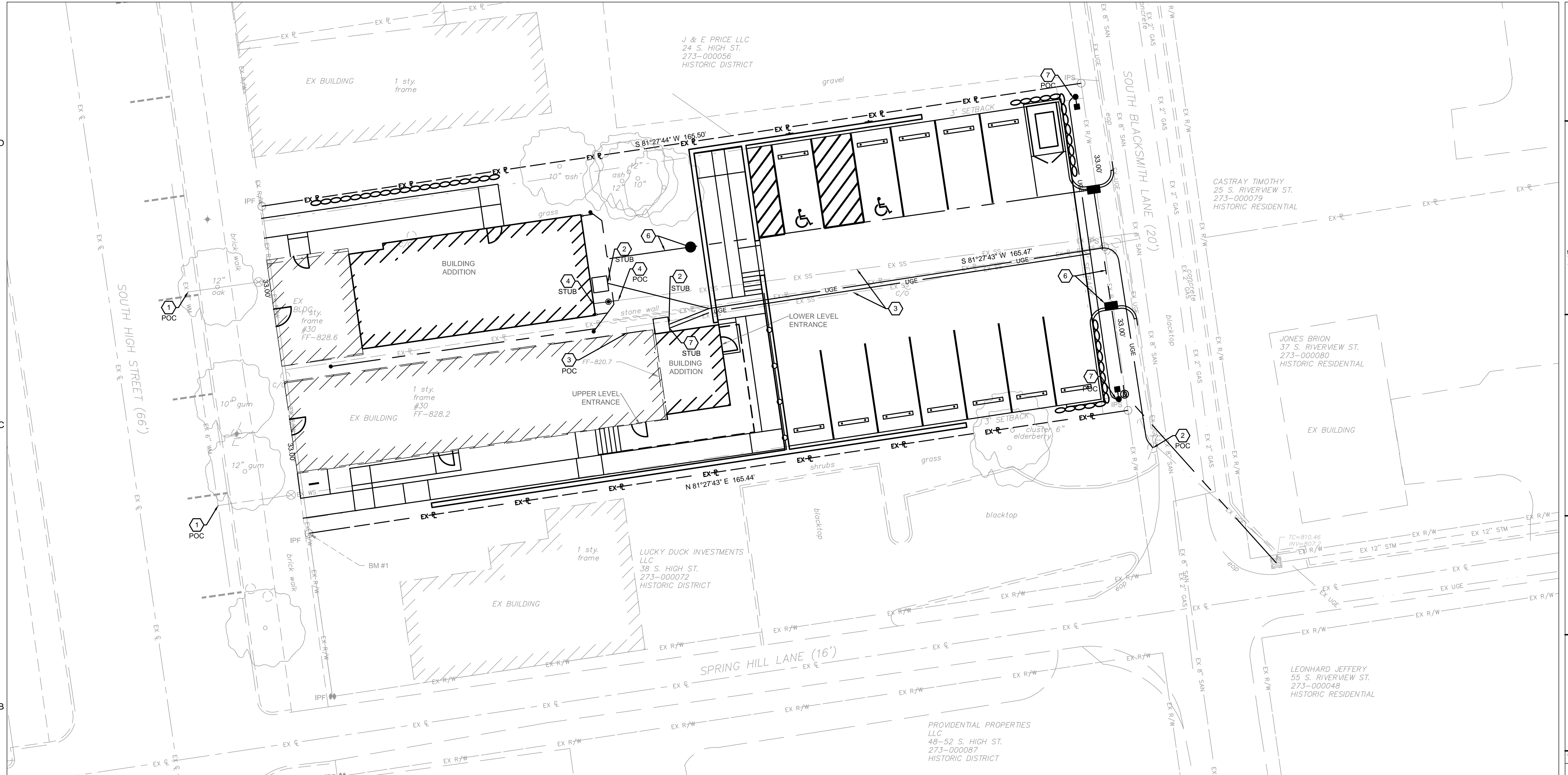
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CLIENT PROJ. NO.:

OSBORN PROJ. NO. J20180010.000

UTILITY PLAN

DRAWING NO.

C-103



UTILITY PLAN CODED NOTES:

- EXISTING DOMESTIC SERVICE
- PROPOSED ELECTRIC AND COMMUNICATIONS SERVICES. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES BEFORE CONSTRUCTION
- ASSUMED LOCATION OF EXISTING SANITARY SERVICE LINE. CONTRACTOR TO FIELD VERIFY LOCATION BEFORE CONSTRUCTION.
- PROPOSED 6" SANITARY SERVICE @ 2.08%. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY BEFORE CONSTRUCTION
- PROPOSED GAS SERVICE. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY BEFORE CONSTRUCTION
- REFERENCE SHEET C-104 FOR STORM SEWER INFORMATION
- PROPOSED ELECTRICAL LIGHTING FEED
- COORDINATE BUILDING UTILITY SERVICES WITH MEP BUILDING DRAWINGS

UTILITY NOTES:

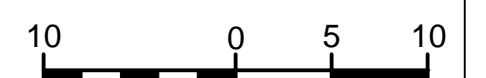
- REFERENCE SURVEY LEGEND ON SHEET C-101
- REFERENCE STORM SEWER INFORMATION ON SHEET C-104

UTILITY LEGEND

- EXISTING SANITARY MANHOLE
- STORM MANHOLE
- STORM CATCH BASIN
- STORM CLEANOUT
- LIGHT POLE
- TYP TYPICAL
- POC POINT OF CONNECTION
- STUB APPROXIMATE STUB IN LOCATION. REFER TO ARCHITECTURAL PLANS FOR EXACT STUB IN LOCATIONS



GRAPHIC SCALE

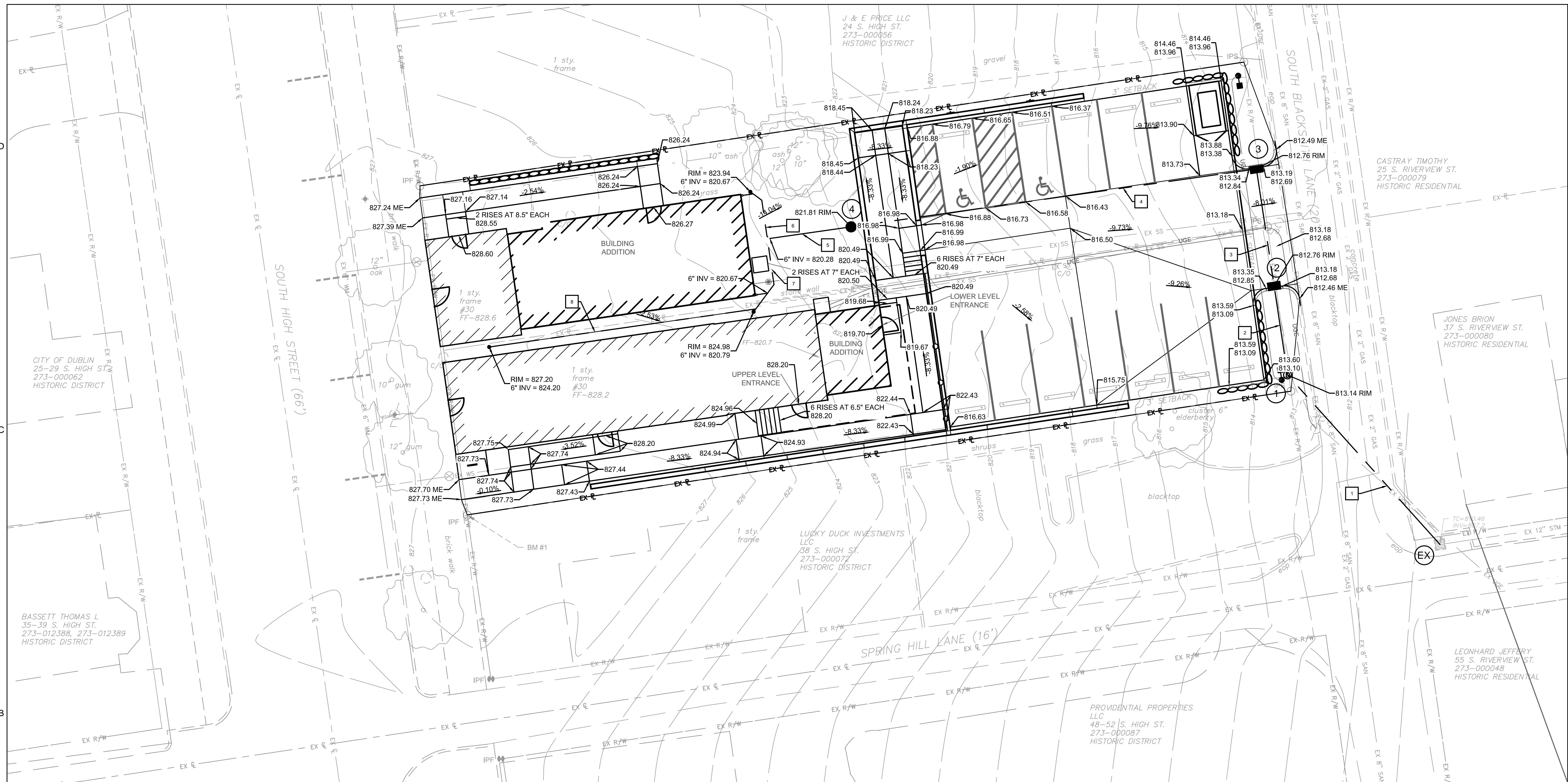


(IN FEET)
1 inch = 10ft.



NEW OFFICE AND RETAIL BUILDINGS

**CITY OF DUBLIN
FRANKLIN COUNTY
OHIO**



GRADING LEGEND

- 801.88 PROPOSED ELEVATION
- 793.95 ME MEET EXISTING ELEVATION
- 1.5% PROPOSED SLOPE
- 795 PROPOSED CONTOUR
- 795 EXISTING CONTOUR

SITE GRADING PLAN NOTES:

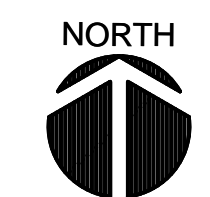
1. ALL GRADES ARE FINISH PAVEMENT GRADES UNLESS OTHERWISE NOTED.
2. REFER TO SHEET C-101 FOR SURVEY LEGEND.

PROPOSED STORM PIPE TABLE

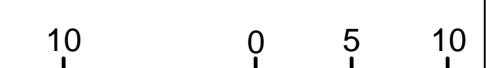
ID	SIZE	LENGTH	SLOPE	MATERIAL
1	12"	45	1.0%	RCP STORM
2	12"	18	1.0%	RCP STORM
3	12"	23	1.0%	RCP STORM
4	12"	81	6.9%	RCP STORM
5	8"	17	8.7%	PVC
6	6"	13	3.0%	PVC
7	6"	17	3.0%	PVC
8	6"	54	6.3%	PERFORATED PVC UNDERDRAIN

PROPOSED STORM STRUCTURE TABLE

ID	STRUCT.	NORTHING	EASTING	RIM ELEV.	INVERT
EX	EXISTING CATCH BASIN	765031.95	1797054.65	810.46	EX 12" INV = 807.2 (E) PR 12" INV = 807.2 (NW)
1	MAN HOLE	765065.63	1797024.37	813.14	PR 12" INV = 807.65 (SW&N)
2	CATCH BASIN	765083.28	1797021.70	812.76	PR 12" INV = 807.83 (S&N)
3	CATCH BASIN	765106.51	1797018.18	812.76	PR 12" INV = 808.06 (S&W)
4	YARD DRAIN	765095.02	1796937.67	821.81	PR 12" INV = 813.67 (E) PR 8" INV = 818.80 (W)



GRAPHIC SCALE



(IN FEET)
1 inch = 10ft.

TAG	ISSUED	DATE
A	PRELIMINARY	8/27/18

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OSBORN PROJ. NO. J20180010.000

STORM & GRADING PLAN

DRAWING NO.

C-104



NEW OFFICE AND RETAIL BUILDINGS

**CITY OF DUBLIN
FRANKLIN COUNTY
OHIO**

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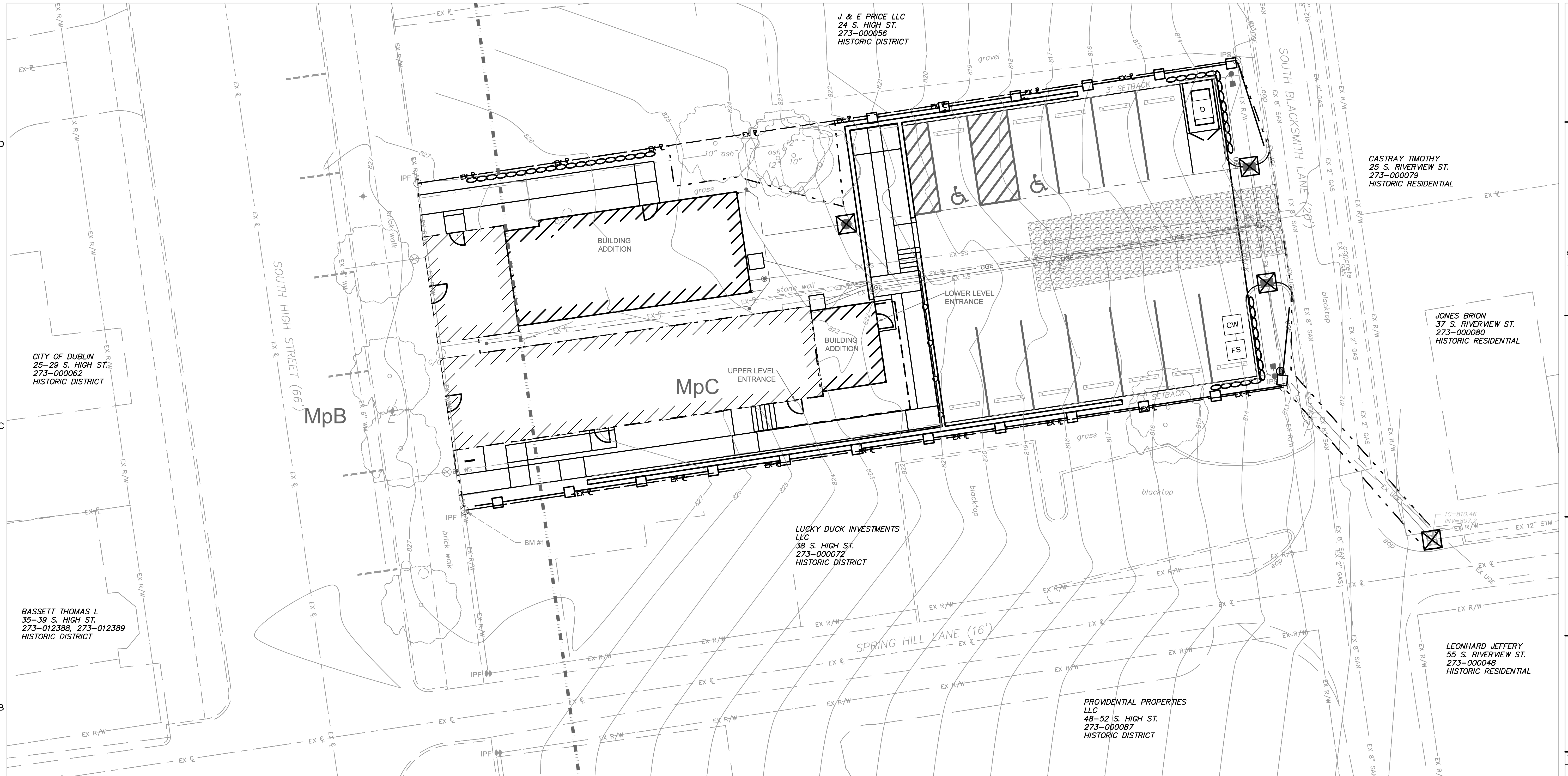
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OSBORN PROJ. NO. J20180010.000

EROSION CONTROL PLAN

DRAWING NO.

C-105



- A. **PROJECT DESCRIPTION:** NEW OFFICE AND RETAIL BUILDINGS
- B. **PROJECT ADDRESS:** 30-32 SOUTH HIGH STREET
- C. **PID:** 273-000008-00, 273-000089-00
- D. **OWNER:** BLUEBIRD CONSULTING GROUP
30-32 SOUTH HIGH STREET
200 S. HIGH ST.
CITY OF DUBLIN, OH 43017
SHERI TACKETT (ONSITE CONTACT)
PHONE: 614-638-4895
EMAIL: SST@TACKETTWEB.COM
- E. **PLAN DESIGNER:** OSBORN ENGINEERING
990 WEST THIRD AVENUE, SUITE 200
COLUMBUS, OH 43212
PHONE: 614-556-4272
EMAIL: BLUNDGREN@OSBORN-ENG.COM
- F. **DISTURBED AREA:** 0.21 AC
- G. **TOTAL ON-SITE AREA:** 0.25 AC
- H. **RUNOFF CALCULATIONS:**

PRE-CONSTRUCTION RUNOFF COEFFICIENTS

EXISTING IMPERVIOUS AREA	
• ON-SITE IMPERVIOUS =	0.05 AC
• R/W IMPERVIOUS =	0.00 AC
EXISTING PERVIOUS AREA	
• ON-SITE PERVIOUS =	0.20 AC
• R/W PERVIOUS =	0.00 AC
TOTAL AREA =	0.25 AC
CN	83

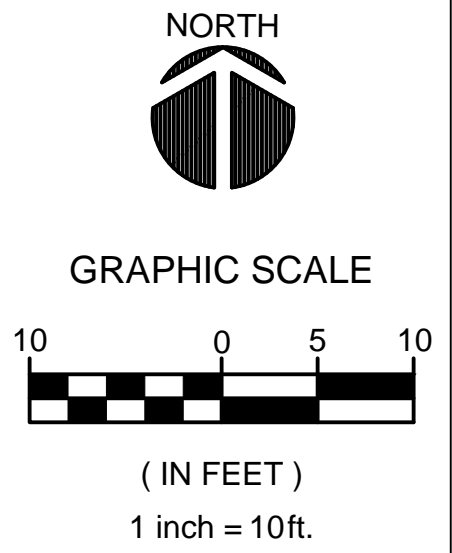
POST-CONSTRUCTION RUNOFF COEFFICIENTS

PROPOSED IMPERVIOUS AREA	
• ON-SITE IMPERVIOUS =	0.19 AC
• R/W IMPERVIOUS =	0.00 AC
PROPOSED PERVIOUS AREA	
• ON-SITE PERVIOUS =	0.06 AC
• R/W PERVIOUS =	0.00 AC
TOTAL AREA =	0.25 AC
CN	93

- I. **EXISTING SOILS:** MPB - MILTON-URBAN LAND COMPLEX, 2-6% SLOPES
MPC - MILTON-URBAN LAND COMPLEX, 6-12% SLOPES
- J. **PRIOR LAND USE:** AGGREGATE AND GRASS
- K. **ESTIMATED START DATE:** JANUARY 2019
- L. **ESTIMATED COMPLETION DATE:** JUNE 2019
- M. **CONSTRUCTION SITE OPERATORS:** TBD
ADDRESS TBD
TBD (ON SITE CONTACT)
PHONE: XXX-XXX-XXXX
BRYAN LUNDGREN (614-556-4272)
- N. **PERSON RESPONSIBLE FOR AUTHORIZING & AMENDING THE SWPPP:**
- O. **CONSTRUCTION SEQUENCE:**
 - STAKE AND/OR FLAG LIMITS OF CLEARING
 - DURING PRE-CONSTRUCTION MEETING ALL EROSION AND SEDIMENT CONTROL SHALL BE DISCUSSED.
 - INSTALL SILT FENCE PERIMETER CONTROLS AS SHOWN ON THE PLANS AND INLET PROTECTION ON EXISTING INLET STRUCTURES WITHIN 7 DAYS OF CLEARING/GRUBBING AND PRIOR TO GRADING ACTIVITIES.
 - INSTALL CONSTRUCTION ENTRANCE, IF CONDITIONS ARE SUCH THAT MUD IS COLLECTING ON VEHICLE TIRES, THE TIRES MUST BE CLEANED BEFORE THE VEHICLES ENTER THE PUBLIC ROADWAY. THE SITE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOW OF MUD INTO THE PUBLIC RIGHT-OF-WAY. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO THE ROADWAY MUST BE REMOVED PROMPTLY.
 - CONSTRUCT STORM DRAIN. DURING CONSTRUCTION OF STORM DRAINS THE ENDS OF ALL OPEN PIPES SHALL BE PROTECTED BY FILTER BARRIERS OR OTHER APPROVED MEANS.
 - A.) PROMPTLY UPON BACKFILL OF STORM STRUCTURES, FILTER BARRIERS SHALL BE PLACED.
 - B.) CONSTRUCT TEMPORARY SWALES TO DRAINAGE STRUCTURES.
 - ANY REMAINING EXPOSED AREAS SHALL BE SEEDED AND MULCHED OR SODDED WITHIN 7 DAYS OF FINAL GRADE.
 - MAINTAIN EROSION & SEDIMENT CONTROL MEASURES UNTIL THE SITE HAS BEEN COMPLETELY STABILIZED & APPROVED BY CITY OF DUBLIN.
 - REMOVE SEDIMENT CONTROLS.
 - CONSTRUCTION WASTE (INCLUDING CONCRETE WASHOUT) WILL NEED TO BE TRANSPORTED TO A LEGAL DUMP SITE.
- Q. **STORM WATER DISCHARGE:** SITE GENERALLY SHEET FLOWS FROM WEST TO EAST.

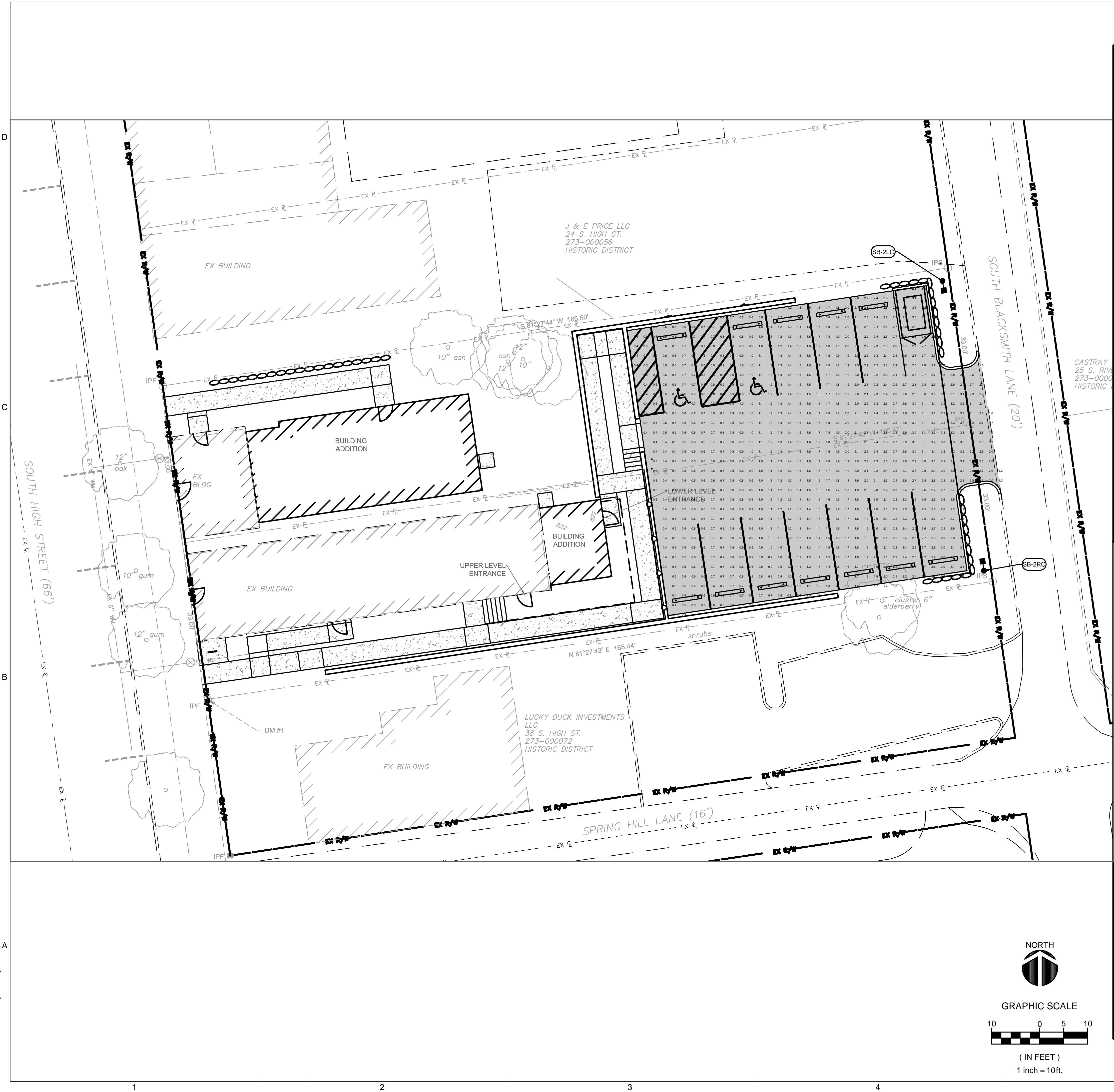
EROSION CONTROL LEGEND

- CONCRETE WASHOUT (SEE SHEET C-502 FOR DETAIL)
- FUEL STORAGE
- DUMPSTER
- INLET PROTECTION (SEE SHEET C-502 FOR DETAIL)
- 15' x 50' STABILIZED CONSTRUCTION ENTRANCE (SEE SHEET C-502 FOR DETAIL)
- SILT FENCE
- LIMITS OF CONSTRUCTION
- SOIL TYPE BOUNDARY



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 Outley, Anthony



D-Series Size 1 LED Area Luminaire

Specifications

- EPA: 1.01 (1.0)
- Length: 33" (846)
- Width: 13" (330)
- Height: 7.52" (190)
- Weight (max): 27 lbs (12.2)

Ordering Information

EXAMPLE: D6X1 LED P7 40K T3M MVOLT SPA DDBXD

Series	LEDs	Color temperature	Production	Voltage	Mounting
D6X1	P7	4000K	T3M Type I short	120V	Shipped included
	P8	3000K	T3M Type II short	208V	Shipped separately
	P9	AMPC Amber phosphor converted	T3M Type III short	240V	Shipped separately
	P10		T3M Type IV short	277V	Shipped separately
	P11		T3M Type V short	347V	Shipped separately
	P12		T3M Type VI short	480V	Shipped separately
	P13		T3M Type VII short	540V	Shipped separately

Ordering Information

Series	LEDs	Color temperature	Production	Voltage	Mounting
D6X1	P7	4000K	T3M Type I short	120V	Shipped included
	P8	3000K	T3M Type II short	208V	Shipped separately
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	P11		T3M Type V short	347V	Shipped separately
	P12		T3M Type VI short	480V	Shipped separately
	P13		T3M Type VII short	540V	Shipped separately

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

INTENDED USE — Square Straight Aluminum is a general purpose light pole for up to 35-foot mounting heights. This pole provides a lighter and naturally corrosion-resistant option for mounting area light fixtures and floodlights.

CONSTRUCTION — Pole shaft: The pole shaft is of uniform wall thickness and is made of extruded 6061 series aluminum alloy tubing that is heat treated to a T6 temper to provide maximum strength. The shaft is uniformly square in cross-section with flat sides, small corner radii and excellent torsional qualities. Available shaft widths are 4", 5", 6", and 8".

CONSTRUCTION — Pole shaft: The pole shaft is of uniform wall thickness and is made of extruded 6061 series aluminum alloy tubing that is heat treated to a T6 temper to provide maximum strength. The shaft is uniformly square in cross-section with flat sides, small corner radii and excellent torsional qualities. Available shaft widths are 4", 5", 6", and 8".

Pole Top: Options include an open top, drilled for side mount fixtures, or an open top (PT) system. The top cap resists intrusion of moisture and environmental contaminants.

Handle: A handle opening with grounding provision is provided near the base. Standard positioning varies with shaft width as follows: 4" shaft, handle at 12'-5" shaft, handle at 14'-6" and 6'-7" shaft, handle at 18". Positioning the handle lower than standard may not be possible and requires engineering review; consult Back Support Outdoor for further information. Every handle includes a cover and cover attachment hardware. The handle for a pole specified with a 4" or 5" shaft width has a nominal dimension of 2'-4"; the handle for a pole specified with a 6" or 6'-7" shaft width has a nominal dimension of 2'-8" x 4".

Anchor Base Cover: Rubber Anchor base is cast from 356 alloy aluminum and is supplied with 4 nut cover disks. A full 2 piece cast aluminum anchor base cover is available as an option.

Anchor bolts are manufactured to ASTM 1554 Standard Grade 55 (SS5) minimum yield strength and tensile strength of 75-95 KSI. Upper portion of anchor bolts is galvanized per ASTM A-153; bolts have an "L" bend on bottom end and are galvanized a minimum of 12" on the threaded end.

FINISH — Painted finish is coated with TFC (Fluoropolymer) Polyester powder that meets SA and SB classifications of ASTM D3359. Standard powder-coat finishes include Dark Bronze, White, Black, Medium Bronze and Natural Aluminum colors. Classic finishes include Sandstone, Charcoal Gray, Swiss Green, Bright Red and Steel Blue colors. Other finishes include Brushed Aluminum, and Anodized Dark Bronze, Anodized Natural Aluminum and Anodized Black. Architectural Colors and Special Finishes are available by quote and include, but are not limited to, RAL Colors, Custom Colors and Extended Warranty Finishes. Factory-applied primer paint finish is available for customer field-paint applications.

Series	Nominal fixture mounting height	Nominal shaft base (SH) wall thickness	Mounting	Options	Finish
SSA	Use technical information table for complete ordering information	Use technical information table for complete ordering information	Open top T20 2-3/8" O.D. (2" NPS) T25 2-3/8" O.D. (2-1/2" NPS) T30 3-1/2" O.D. (3" NPS) T35 4" O.D. (3-1/2" NPS)	Shipped included LAB Less anchor bolts (include when anchor bolts are not needed) VD Vibration damper TP Taper proof HK Horizontal arm bracket (1 fixture) FDKky Ferruson outlet less electrical CFL12ky 1/2" coupling CFL14ky 3/4" coupling CFL17ky 1" coupling NPL12ky 1/2" threaded nipple NPL14ky 3/4" threaded nipple NPL17ky 1" threaded nipple EHRky Extra handle MAXX Match existing USPOM United States point of manufacture UL UL listed wet location (includes NEC compliant cover) MEC NEC 410.10 compliant gasketed handle (Not UL Listed) Shipped separately (product not available) Blank BLK Blank cap FBC Full base cover (open aluminum) Blank TC Top cap (with drill-mount poles) Blank HHC Handle cover	Standard color DBR Dark bronze DWB White DBL Black DMB Medium bronze DMA Natural aluminum Brushed Finish BA Brushed aluminum Classics SSS Sandstone DCC Charcoal gray DTG Tennis green DBR Bright red DSB Steel blue Class 3 architectural anodized ABL Black ADB Dark bronze ANL Natural MEC NEC 410.10 compliant gasketed handle (Not UL Listed) Architectural colors (see color finish)

OUTDOOR

GRAPHIC SCALE
10 0 5 10
(IN FEET)
1 inch = 10ft.

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NEW OFFICE AND RETAIL BUILDINGS

CITY OF DUBLIN FRANKLIN COUNTY OHIO

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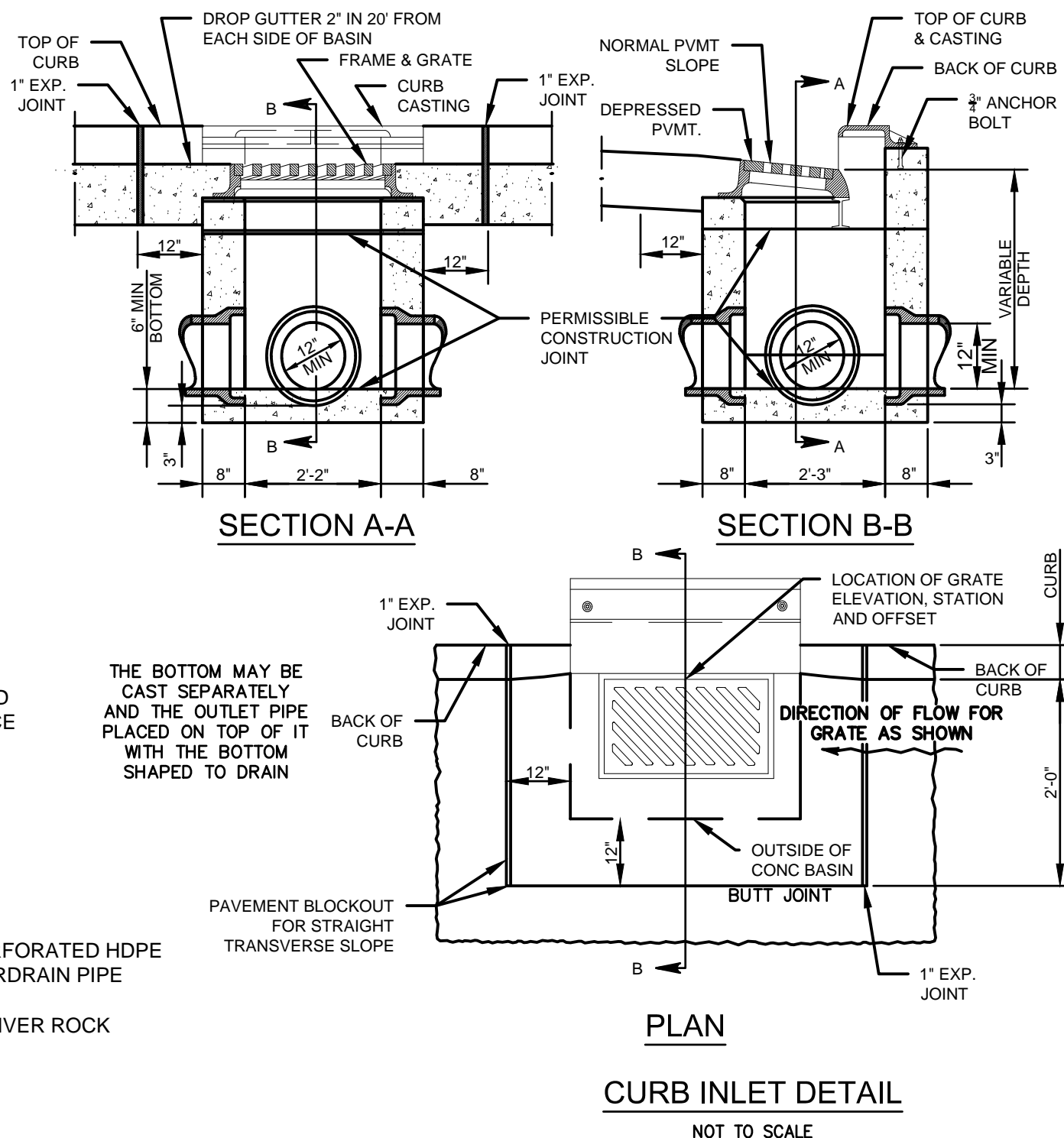
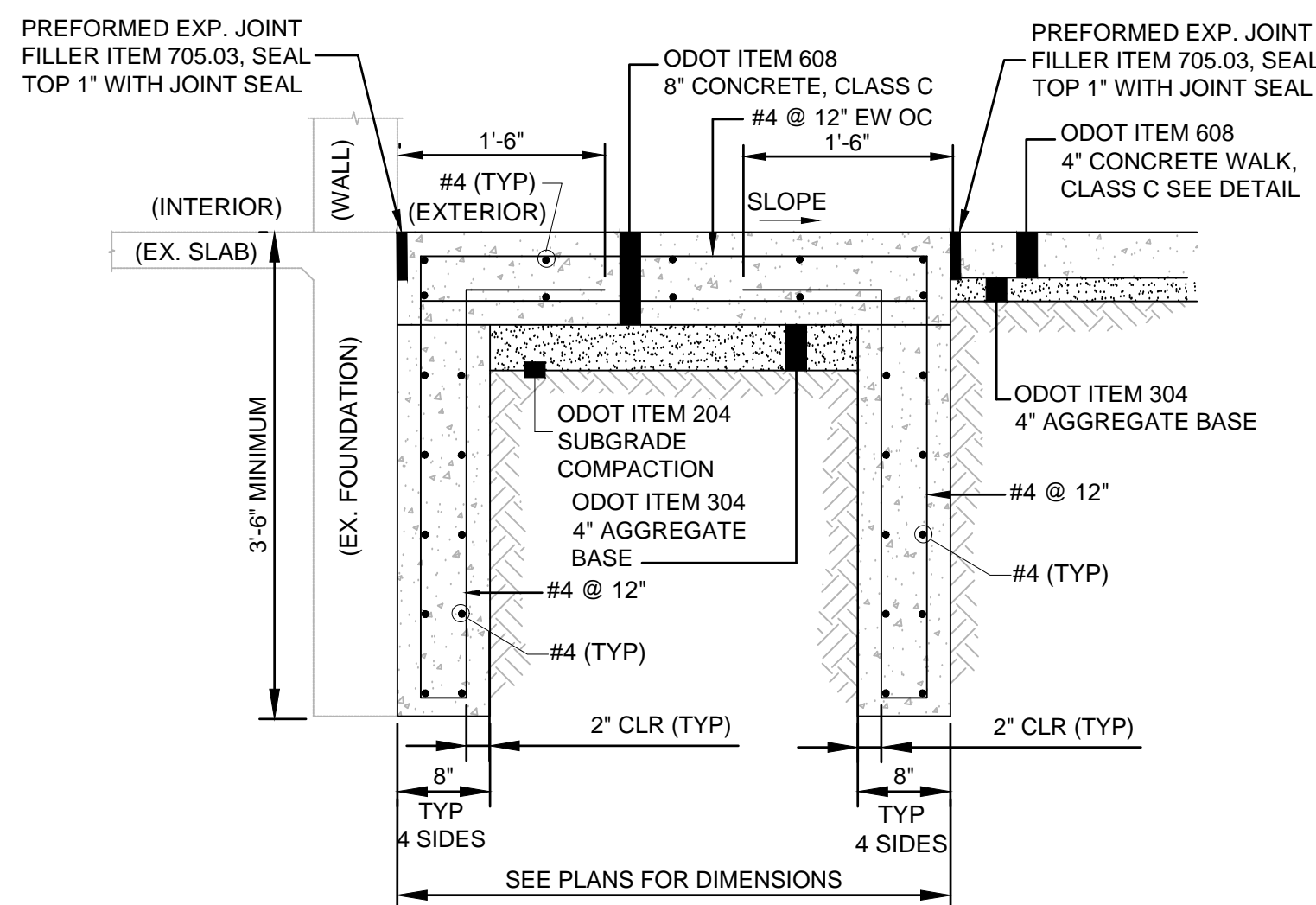
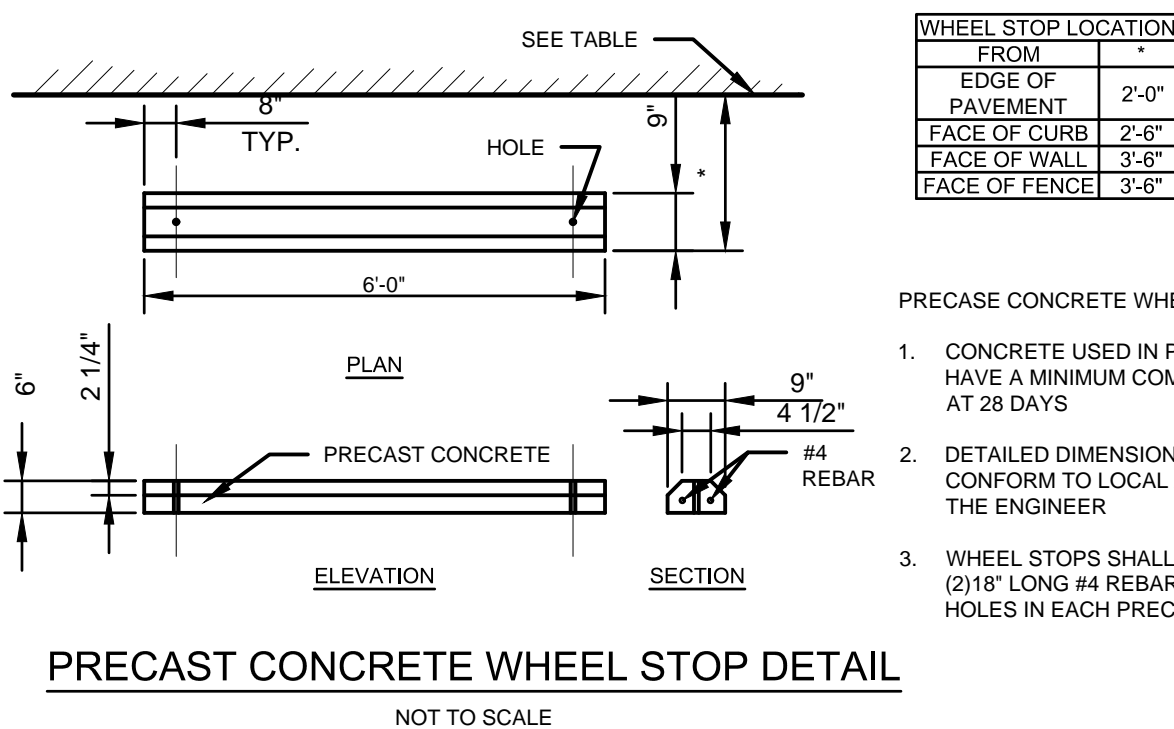
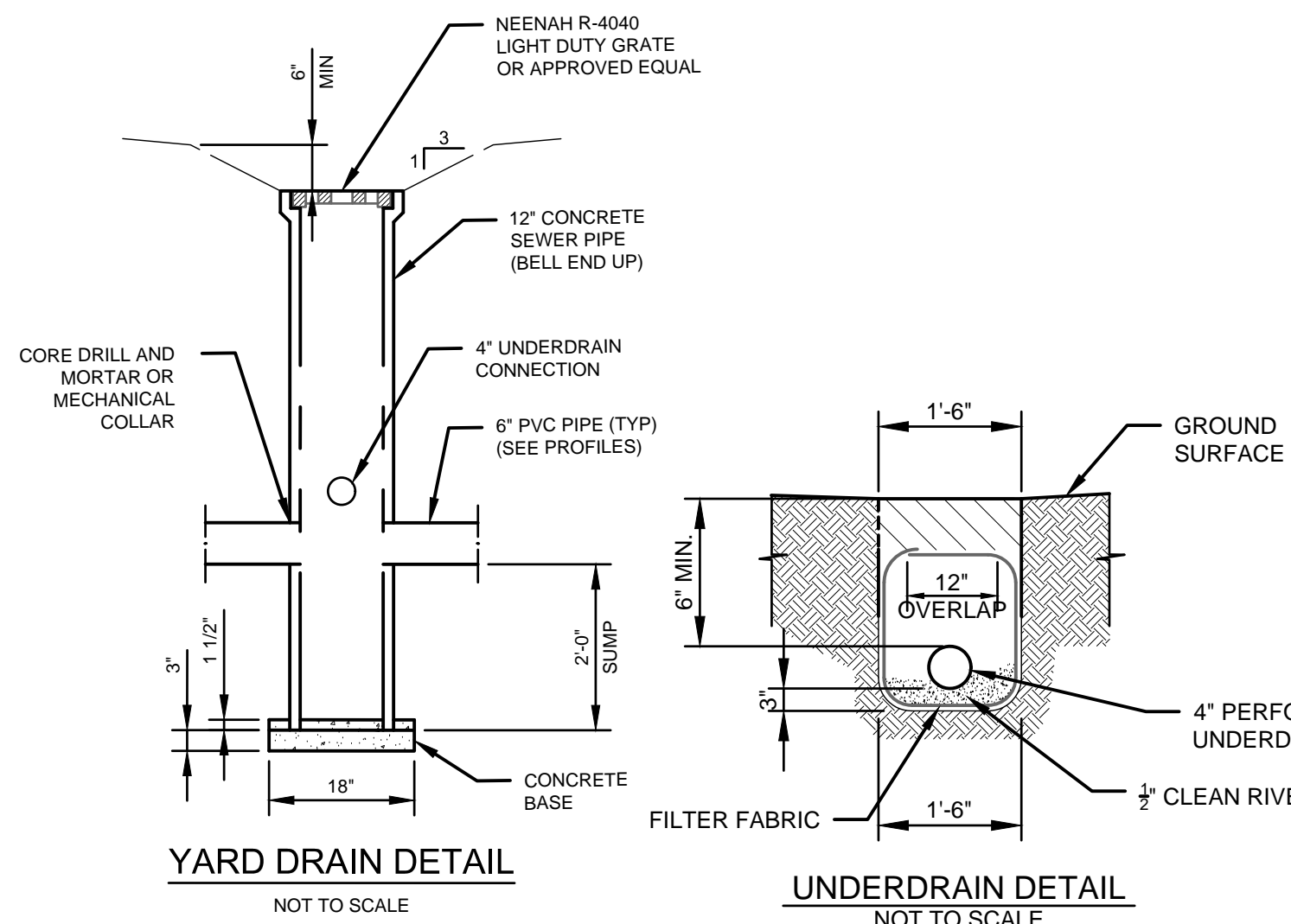
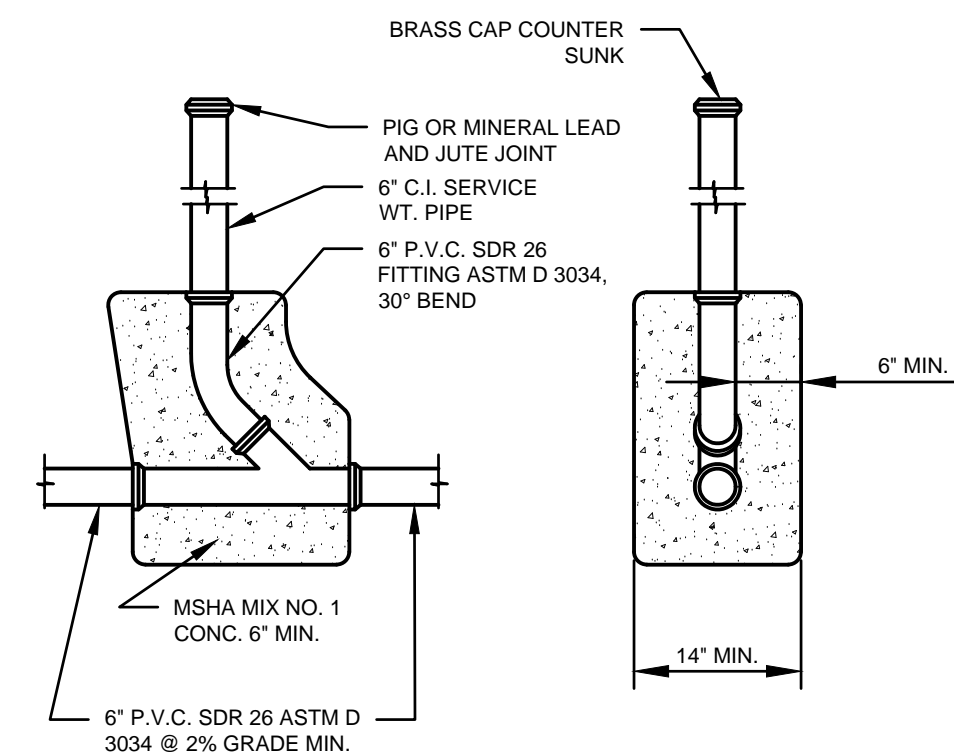
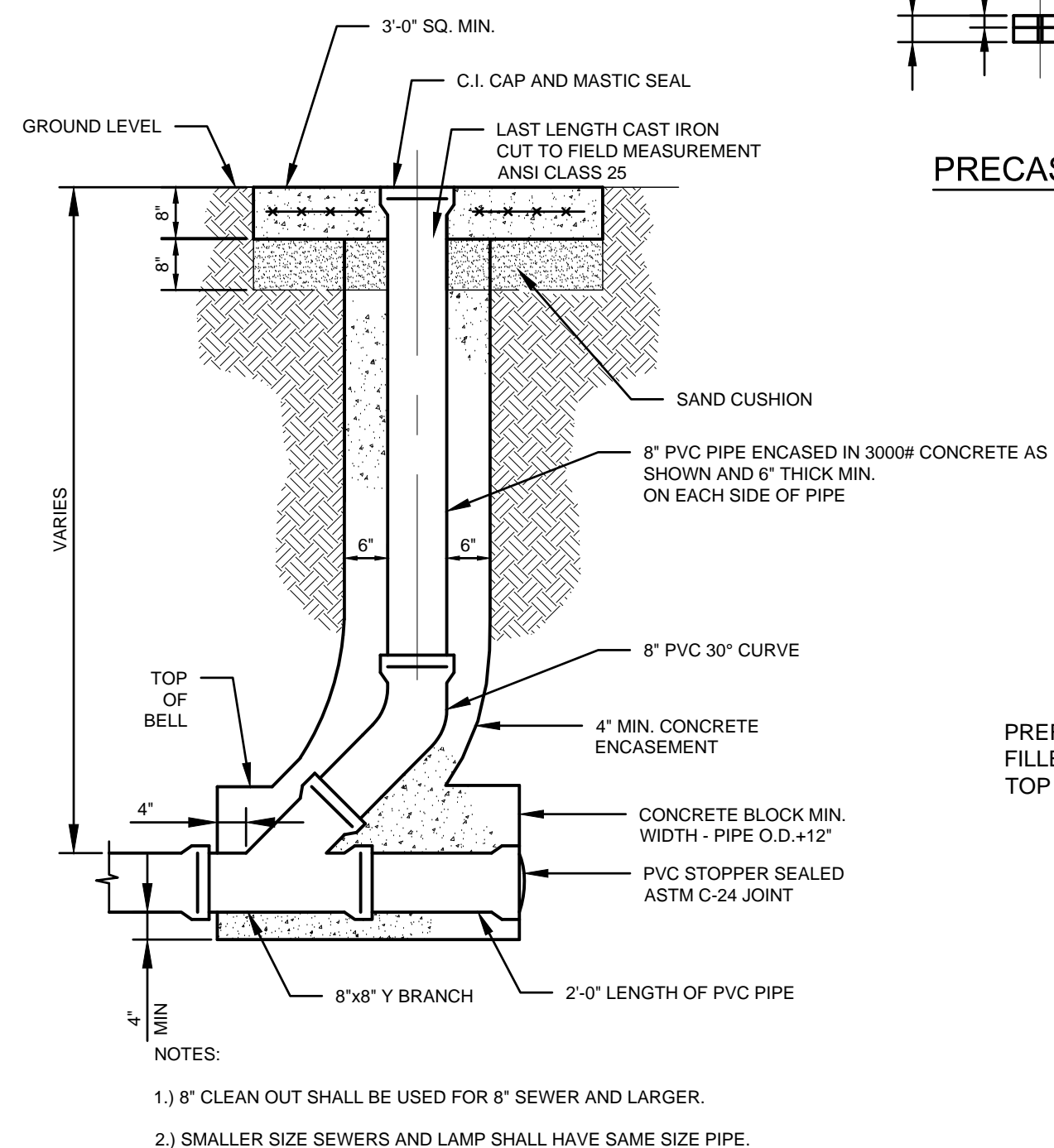
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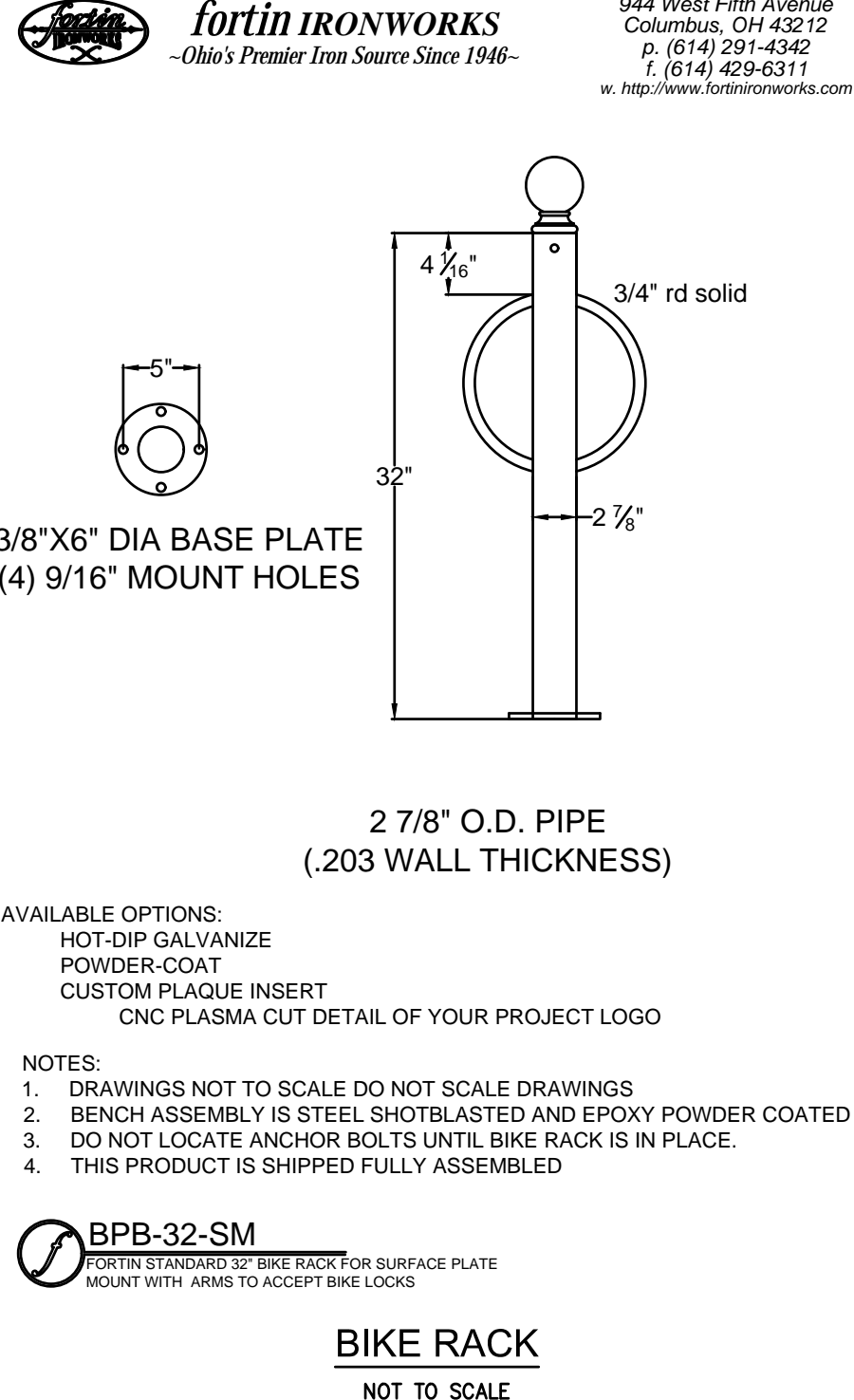
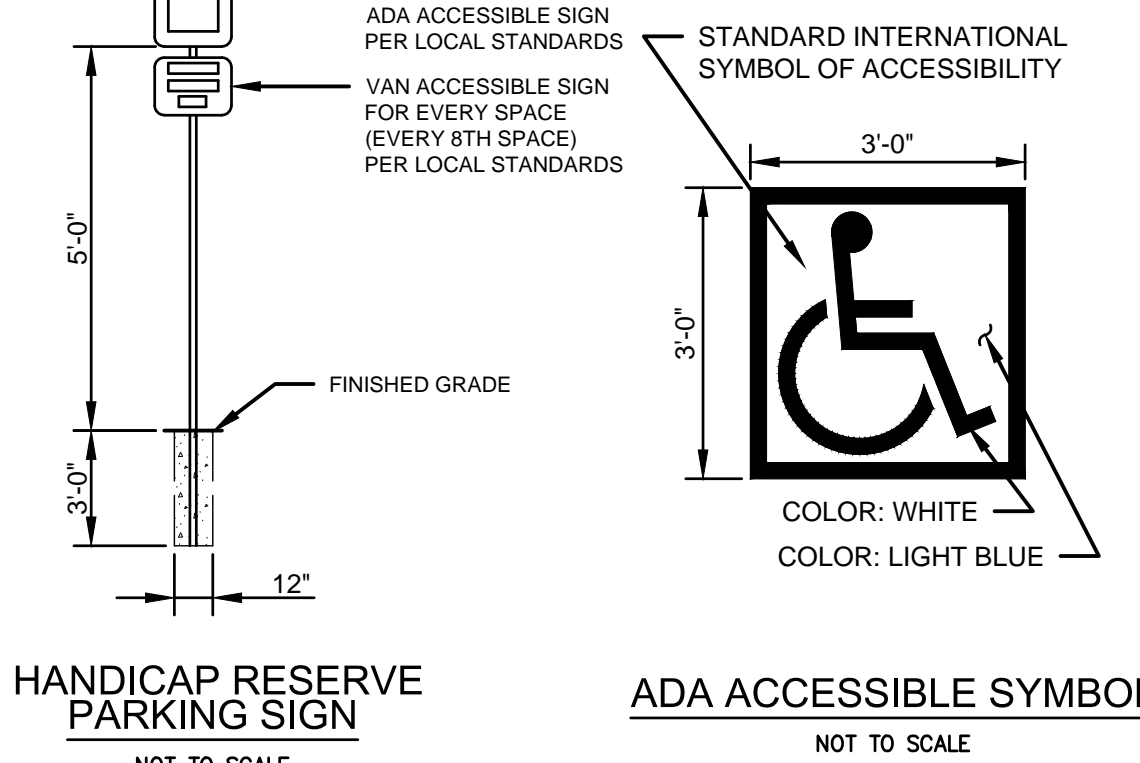
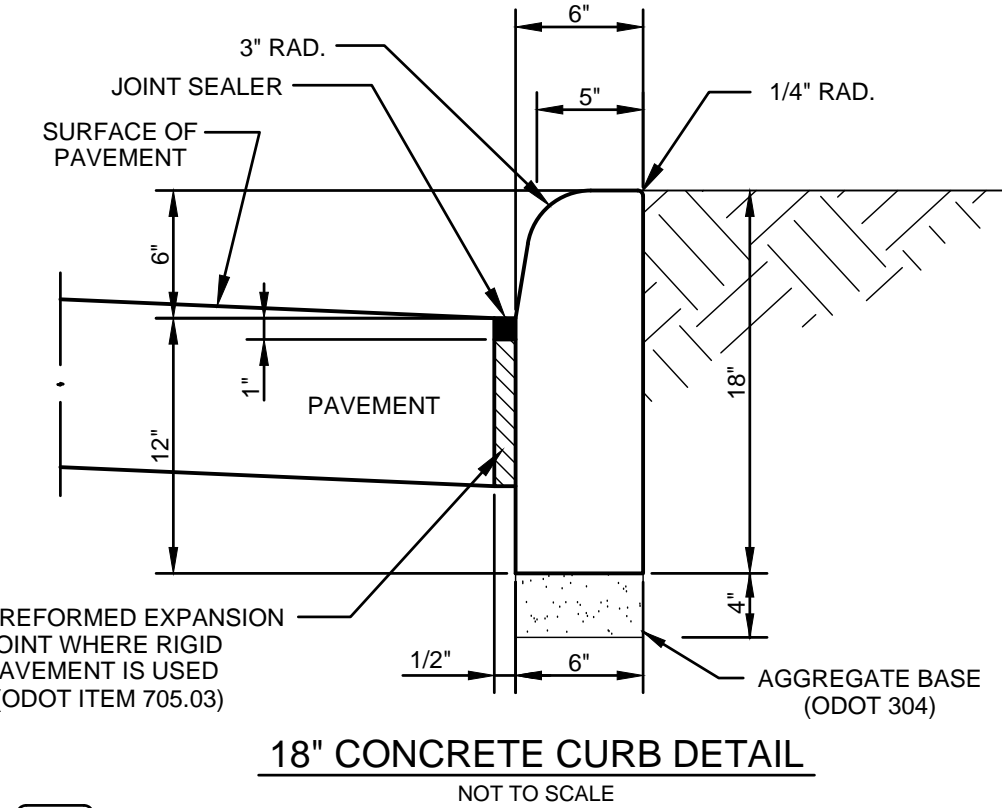
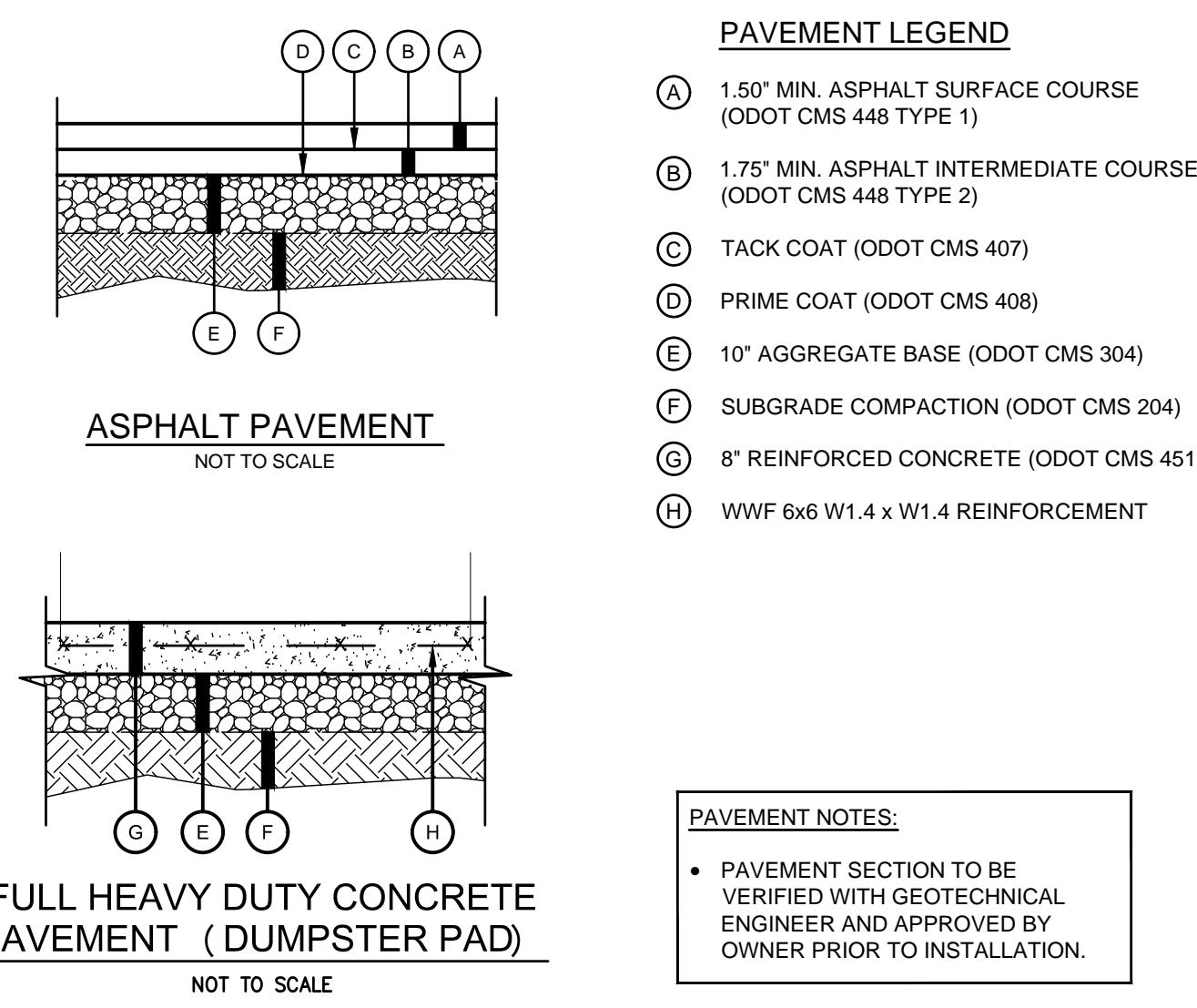
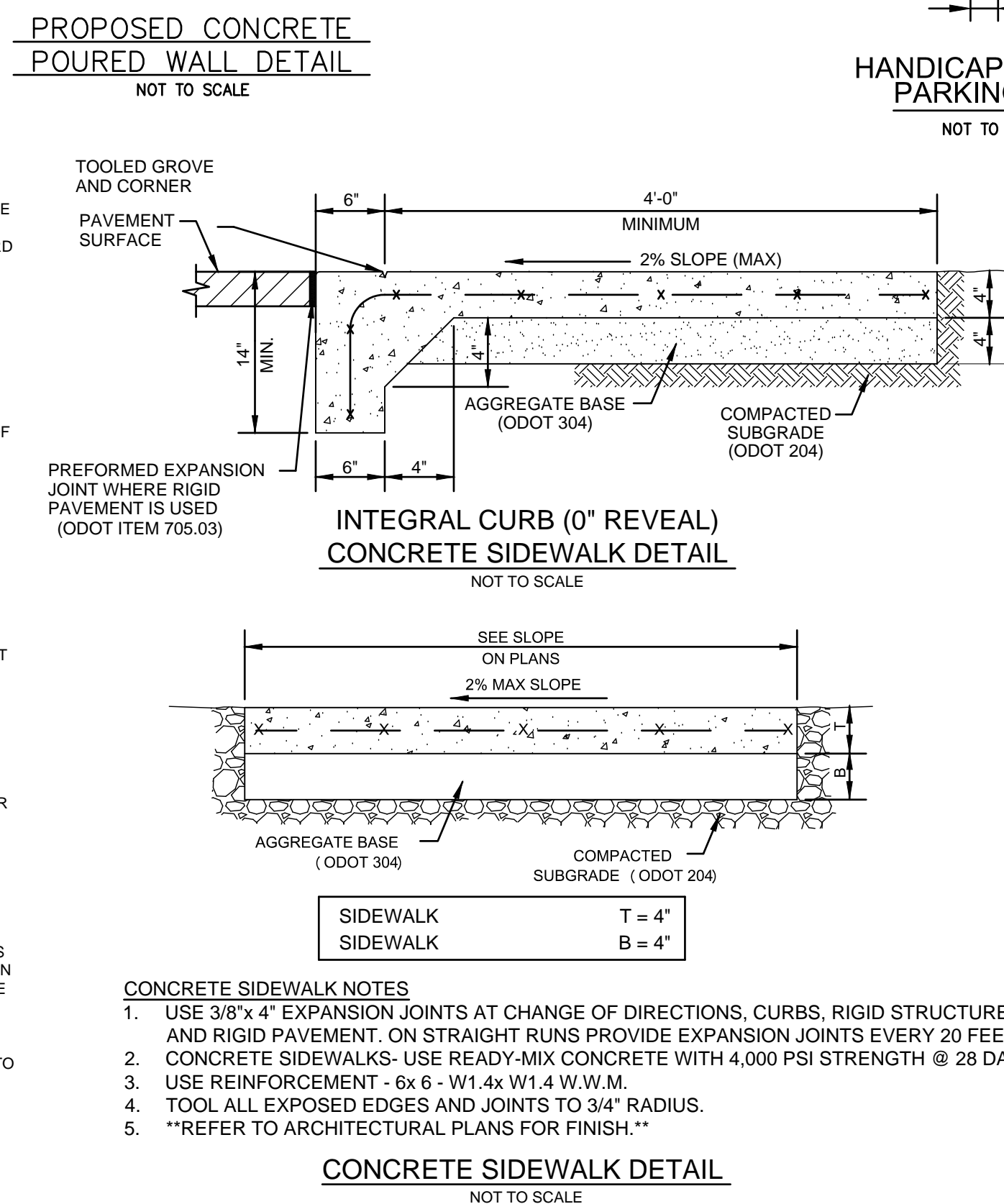
PHOTOMETRIC PLAN

DRAWING NO. **C-106**

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NOTES:
 GRATE: THE "V" GRATE SHALL BE PROVIDED UNLESS THE PLANS SPECIFICALLY REQUIRE THE DIAGONAL GRATE. IF THE DIAGONAL GRATE IS SPECIFIED, IT SHALL BE PLACED SO THAT THE DIAGONAL BARS DIRECT DRAINAGE FLOW TOWARD THE CURB.
 CASTINGS: THE DESIGN SHALL BE ESSENTIALLY THE SAME AND EQUALLY AS STRONG AS THOSE SHOWN. MINIMUM MASS: CURB CASTING 170 lbs., STANDARD GRATE 125 lbs., FRAME 320 lbs., AND "V" GRATE 104 lbs.
 BEARING AREAS: THE FRAME AND GRATE SHALL BE SO FITTED AND FINISHED AS TO PROVIDE A FIRM AND EVEN SEAT. NO PROJECTIONS SHALL EXIST ON BEARING AREAS OF EITHER CASTING AND THE GRATE SHALL SEAT IN ITS FRAME WITHOUT ROCKING.
 WALLS: WHEN USED IN PLACE OF CONCRETE, BRICK SIDE WALLS SHALL BE 8" NOMINAL THICKNESS.
 PRECAST CONSTRUCTION: PERMITTED, EXCEPT FOR THE APRON. CONCRETE SHALL MEET THE REQUIREMENTS OF CMS 706.13 WITH A MINIMUM OF 4% ENTRAINED AIR IN THE HARDENED CONCRETE. PRECAST WALLS SHALL HAVE A MINIMUM THICKNESS OF 8" AND REINFORCING SHALL BE SUFFICIENT TO PERMIT SHIPPING AND PLACEMENT WITHOUT DAMAGE.
 MINIMUM DEPTH: THE MINIMUM DEPTH SHALL BE THE OUTSIDE DIAMETER (O.D.) OF THE OUTLET PIPE PLUS 12".
 OPENINGS: PIPE OPENINGS SHALL BE THE O.D. OF THE PIPE BEING SUPPLIED PLUS 2" WHEN FABRICATED OR FIELD CUT. THE INTERSTITIAL SPACE SHALL BE FILLED WITH GROUT PER CMS 601.
 DOWELS: FOUR 1" x 18" DOWELS ARE REQUIRED FOR CONCRETE PAVEMENT OR GUTTER BLOCKOUT. SEE STD. CONST. DWG. BP-2.2 FOR DOWEL DETAILS.
 BLOCKOUT: BLOCKOUTS SHALL BE PAVED WITH CLASS C CONCRETE IN PCC PAVEMENT OR GUTTER AND PAID FOR AS PART OF THE PAVEMENT OR GUTTER WITH NO DEDUCTION IN PAVEMENT. CURB OR GUTTER QUANTITIES BECAUSE OF THE CASTINGS: A CLASS C CONCRETE APRON THE SIZE OF THE 2'-0" GUTTER SHALL BE CAST IN PLACE IN ASPHALT PAVEMENT (NO DOWELS REQUIRED) WITH THE COST INCLUDED IN THE CATCH BASIN BID PRICE. NO DEDUCTION TO BE MADE IN CURB QUANTITIES.



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NEW OFFICE AND RETAIL BUILDINGS

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CONSTRUCTION DETAILS

DRAWING NO. **C-501**

EROSION AND SEDIMENT CONTROL

QUALITY CONTROL

- 1. LAND-DISTURBING ACTIVITIES MUST COMPLY WITH ALL APPLICABLE LOCAL CODES, REGULATIONS AND ORDINANCES...

GENERAL

- 1. ALL DEWATERING FLOWS SHALL BE SILT-FREE PRIOR TO DISCHARGE, AND DISCHARGE SHALL BE DIRECTED TO STABILIZED SITES...

SILT FENCE

- 1. FILTER FABRIC MATERIAL FOR SILT FENCE SHALL BE PURCHASED IN A CONTINUOUS ROLL. CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS...

SILT FENCE MAINTENANCE

- 1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL...

GENERAL NOTES

- 5. ALL GRADES SHOWN ARE FINAL FINISH GRADES. 6. MEET ALL EXISTING GRADES FLUSH, INCLUDING EXISTING CURBS.

- 10. ALL SPOT ELEVATIONS AT CURBS ARE AT BOTTOM OF CURB, UNLESS NOTED OTHERWISE ON PLAN. 11. FOR ALL CURBS THAT DO NOT TERMINATE INTO A WALL OR ANOTHER CURB...

SPECIFICATIONS FOR MULCH

- 1. MULCH AND/OR OTHER APPROPRIATE VEGETATIVE PRACTICES SHALL BE APPLIED TO DISTURBED AREAS WITHIN 7 DAYS OF GRADING...

SPECIFICATIONS FOR TEMPORARY SEEDING

Table with columns: SEEDING DATES, SPECIES, LB/1,000 SQ.FT., PER ACRE. Lists species like OATS, TALL FESCUE, etc.

- 1. STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS AND SEDIMENT TRAPS SHALL BE INSTALLED...

SPECIFICATIONS FOR PERMANENT SEEDING

- 1. PLANTING TIME: PROCEED WITH - AND COMPLETE - LAWN WORK AS RAPIDLY A PORTIONS OF THE SITE BECOME AVAILABLE...

AND GERMINATION ESTABLISHED BY THE OFFICIAL SEED ANALYSTS OF MINIMUM PERCENTAGES OF PURITY, GERMINATION AND MAXIMUM PERCENTAGES OF WEED SEED, AS FOLLOWS:

Table with columns: BOTANICAL AND COMMON NAME SEED, PERCENTAGE BY WEIGHT (MINIMUM), PERCENTAGE PURITY (MINIMUM), PERCENTAGE GERMINATION (MINIMUM), PERCENTAGE WEED. Lists seeds like TALL FESCUE, etc.

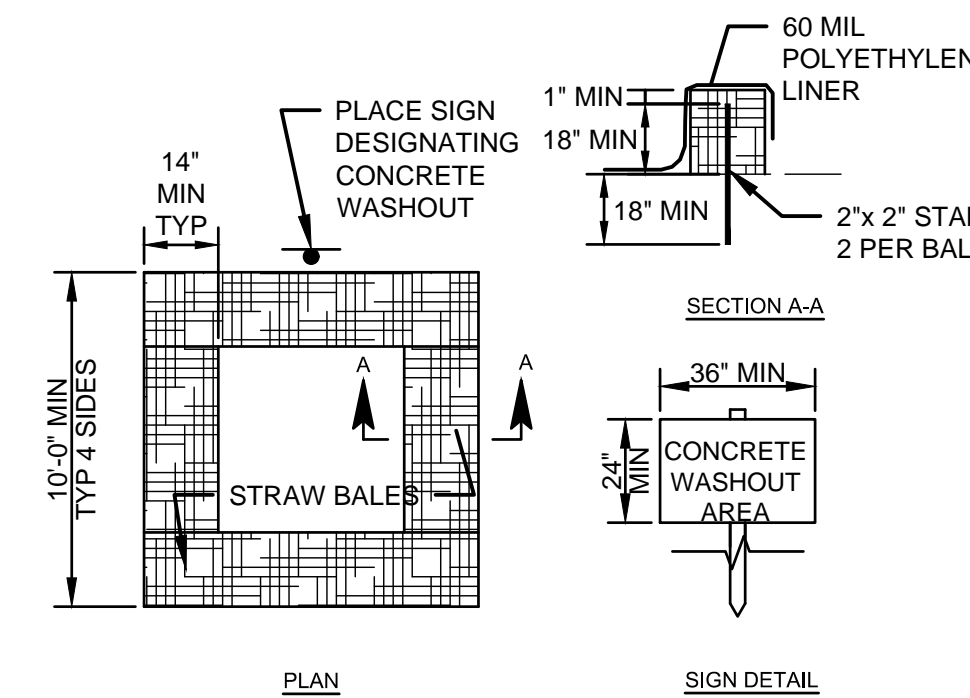
PERFORM ALL LIMING, FERTILIZING, RAKING, AND COMPACTING OPERATIONS ONLY AT TIMES WHEN LOCAL WEATHER AND OTHER CONDITIONS AFFECTING SUCH WORK ARE NORMAL...

FERTILIZING AND LIMING: THE CONTRACTOR SHALL INTRODUCE A 10-20-10 FERTILIZER AT THE RATE OF 20 POUNDS PER 100 SQUARE FEET...

SOW SEED AT THE RATE OF 5 POUNDS PER 1000 SQUARE FEET FOR EACH AREA, UNIFORMLY, AND BY BROADCAST, DRILL, OR HAND SEEDING METHOD...

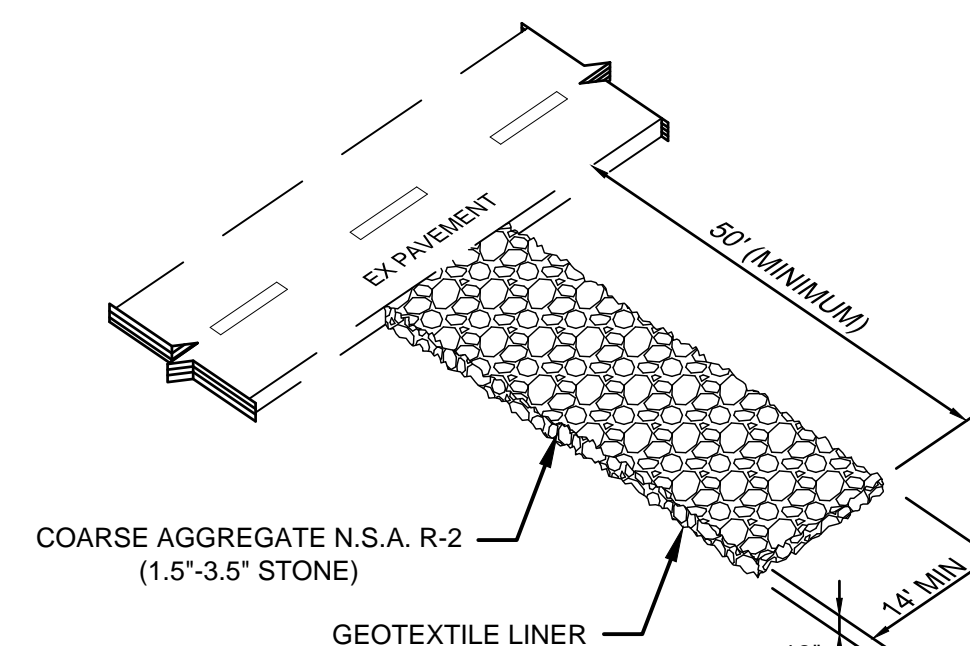
NO SEEDING SHALL BE DONE DURING WINDY WEATHER, OR WHEN THE GROUND SURFACE IS MUDDY, FROZEN OR OTHERWISE NON-TILLABLE.

WHEN LANDSCAPE WORK IS COMPLETED, INCLUDING MAINTENANCE, THE LANDSCAPE ARCHITECT WILL MAKE AN INSPECTION TO DETERMINE ACCEPTABILITY.



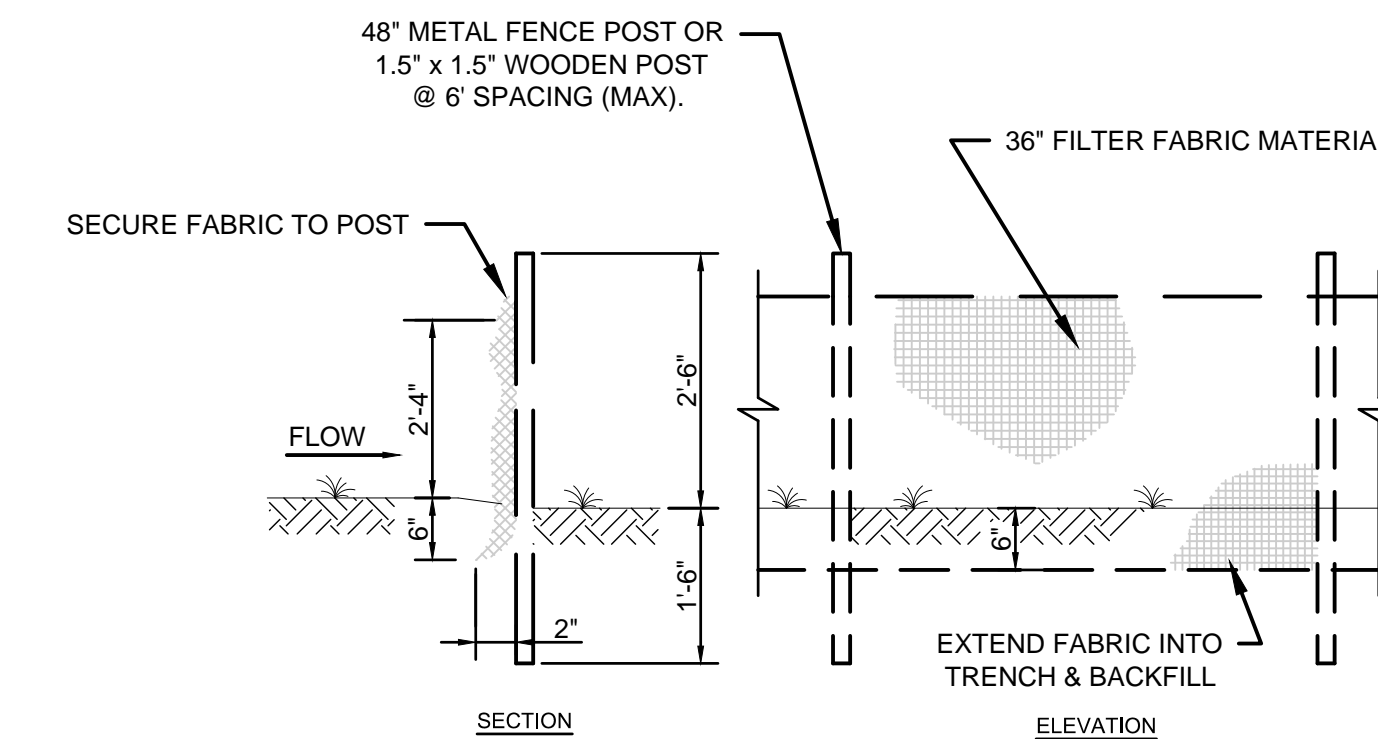
NOTE: A CONCRETE WASHOUT AREASHALL BE DESIGNATED TO CLEAN CONCRETE TRUCKS AND TOOLS. AT NO TIME SHALL CONCRETE PRODUCTS BE ALLOWED TO ENTER STREAMS OR DRAINS.

CONCRETE WASHOUT BASIN DETAIL NOT TO SCALE



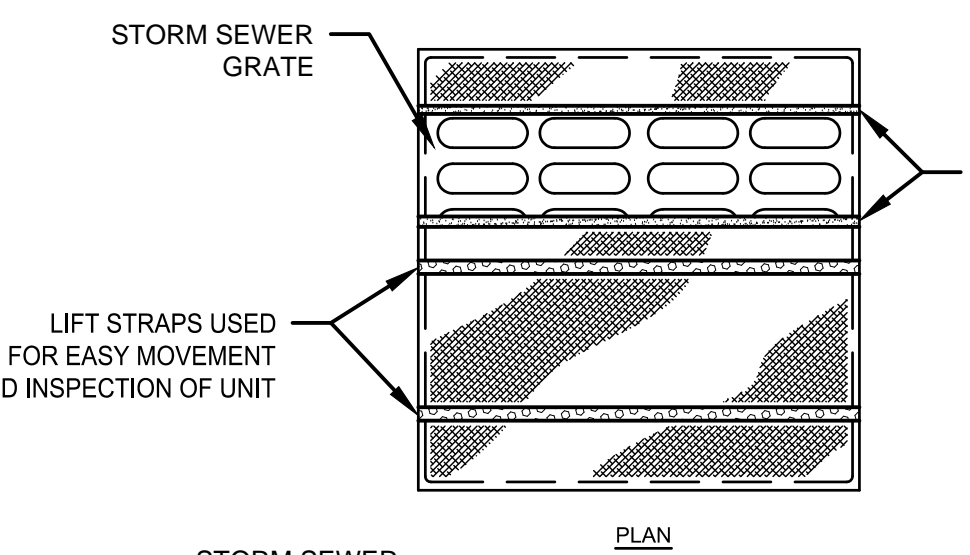
EROSION CONTROL DETAILS CONSTRUCTION DRIVE STABILIZATION

- 1. LOCATE STONE PAD AT ANY POINT WHERE VEHICULAR TRAFFIC WILL BE LEAVING THE SITE ONTO A PUBLIC RIGHT-OF-WAY STREET, ROADWAY, OR PARKING AREA.



EROSION CONTROL DETAILS SEDIMENT BARRIERS NOT TO SCALE

EROSION CONTROL DETAILS CONSTRUCTION DRIVE STABILIZATION NOT TO SCALE



DANDY BAG INLET PROTECTION NOT TO SCALE



EROSION CONTROL DETAILS INLET PROTECTION DETAIL NOT TO SCALE

Table with columns: MECHANICAL PROPERTIES, TEST METHOD, UNITS, MARV. Lists properties like GRAB TENSILE STRENGTH, PUNCTURE STRENGTH, etc.

- NOTES: THE DANDY BAG WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOFILAMENT FABRIC THAT MEETS OR EXCEEDS THE INCLUDED SPECIFICATIONS...

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NEW OFFICE AND RETAIL BUILDINGS

CITY OF DUBLIN FRANKLIN COUNTY OHIO

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OSBORN PROJ. NO. J20180010.000

EROSION CONTROL DETAILS

DRAWING NO. C-502