

**Myers Surveying Company, Inc.**  
 2740 East Main Street, Columbus 43209 (Bexley), Ohio  
 614-235-8677 FAX: 614-235-4559

A Topographical Survey prepared for and certified to:  
**Andy Keeler**

Legal Description: Situated in The State of Ohio, County of Franklin, City of Columbus, Being 1.224 Acres in V.M.S. 2543.

Applicant: 5281 Brand Road, Columbus, Ohio

Note:  
 1) F.E.M.A Flood Zone Designation: Site is in Zones "X & AE", subject house and proposed garage in Zone "X" as per F.I.R.M. 39049C 0132K, map revised date: 06/17/2008.

Site/Source Benchmark:  
 FCE Designation H-43 - Aluminum plug in N.E. corner of north abutment of Coffman Rd. Bridge  
 WAS 161-1.05 over North Fork Indian Run.  
 Elev. = 885.986 (NAVD 88)

We hereby certify that the foregoing Boundary Survey was prepared from actual field measurements in accordance with Chapter 4733-37 Ohio Administrative Code. Iron pipes set are 30"x1" O.D. with an orange plastic plug inscribed "MYERS P.S. 6579", unless otherwise noted.

Myers Surveying Co., Inc.  
 By: *Joseph P. Myers*  
 Professional Surveyor

Myers Order No. -8-02/20/2019

Rec.	Field	DWG.	Ltr.	Chk.
	PO	JK		

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A Topographical Survey prepared for and certified to:  
**Andy Keeler**

Legal Description: Situated in The State of Ohio, County of Franklin, City of Dublin Being 1.224 Acres in V.M.S. 2543.

Applicant: 5281 Brand Road, Dublin, Ohio

Note: F.E.M.A Flood Zone Designation: Site is in Zones "X & AE", as per F.I.R.M. 39049C 0132K, map revised date: 06/17/2008. Base Flood Elevation at Proposed Garage = 882.6' (NAVD 88)

ex. 1 story brick

Scale 1" = 20'

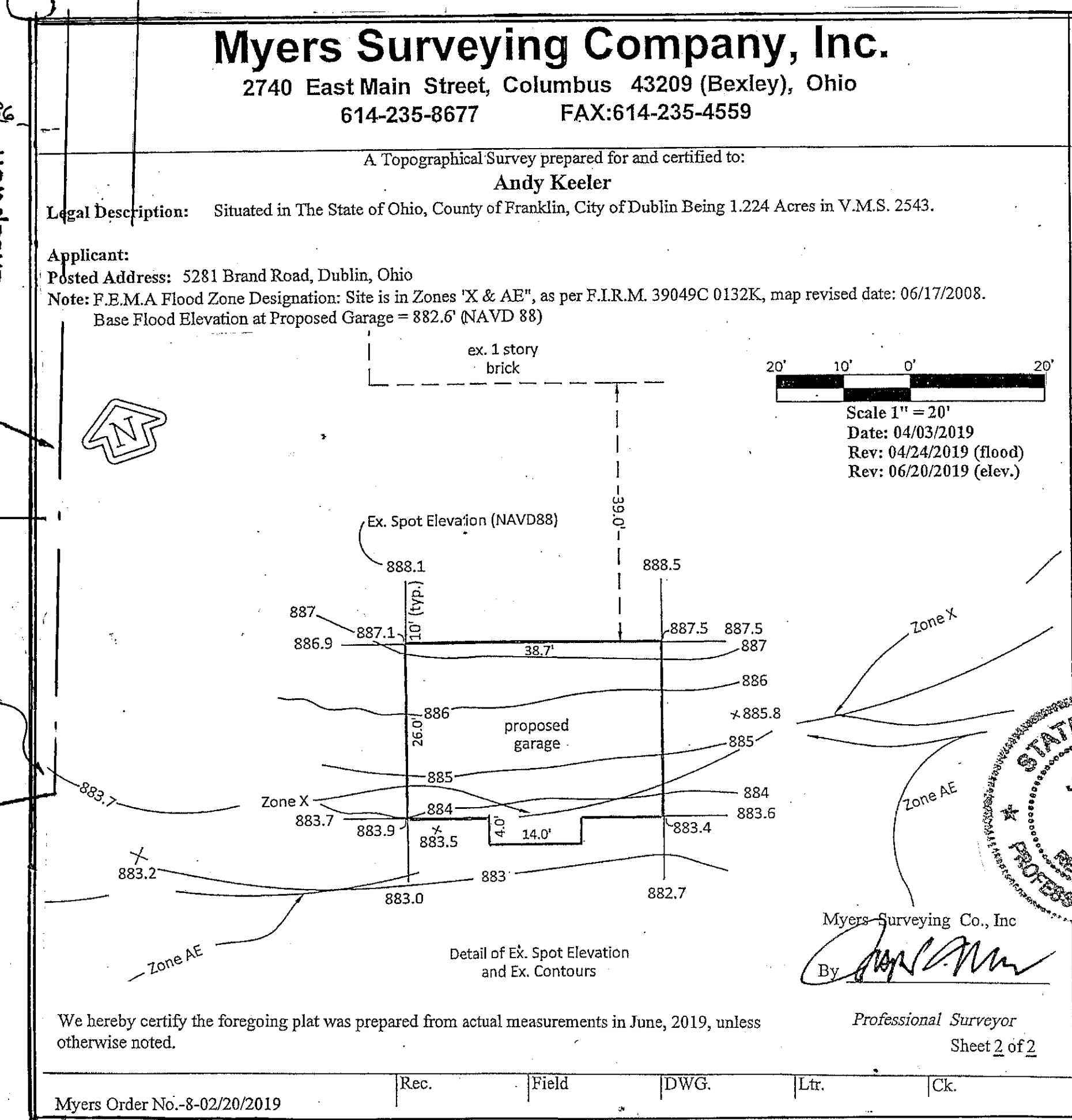
Date: 04/03/2019  
 Rev: 04/24/2019 (flood)  
 Rev: 06/20/2019 (elev.)

Myers Surveying Co., Inc.  
 By: *Joseph P. Myers*  
 Professional Surveyor

We hereby certify the foregoing plat was prepared from actual measurements in June, 2019, unless otherwise noted.

Myers Order No. -8-02/20/2019

Rec.	Field	DWG.	Ltr.	Chk.



**1A**  
**A-1**

**'Partial Property' Site Plan**

Scale: 1" = 20'-0" (NOTE: Architect Building Plans 'superimposed' over homeowner provided 'Boundary/Topo/Flood' survey (as provided by Myers Surveying 4.24.19) w/ additional overlays of 'interpolated' contours, abstracted from online Auditor's website & FEMA website aerial documents. 'Accuracy' per said 'sources' disclaimers.

**1B**  
**A-1**

**'Partial Topo/Survey' Plan**

Scale: 1" = 20'-0" NOTE: 'Partial Topo/Survey' of grounds adjacent to proposed new Carriage House. ('Revised Supplement' as provided by Myers Surveying 6.20.19) w/ additional 'spot elevations; contours; & location information regarding proposed Carriage House/Garage.

**Permit Set- Table of Contents:**

- A-1 COVER [SITE PLAN/TOPO
- A-2 FOUND PLAN/3-D'S
- A-3 FLOOR & STRUCT PLANS
- A-4 ELEVATIONS/BLDG SECT
- A-5 ELEVATIONS/BLDG SECT
- A-6 STRUCT GNI/SECT DETS

**NOTE: BUILDER IS REQD TO SUPPLEMENT THIS ARCHITECTURAL PERMIT CD SET WITH: 1) MODEL ENERGY CODE CALCULATIONS AND 2) SUPPLEMENTAL MECHANICAL PLUMBING LAYOUTS/SERVICE INFO, AS NEEDED FOR PERMIT REVIEW.**

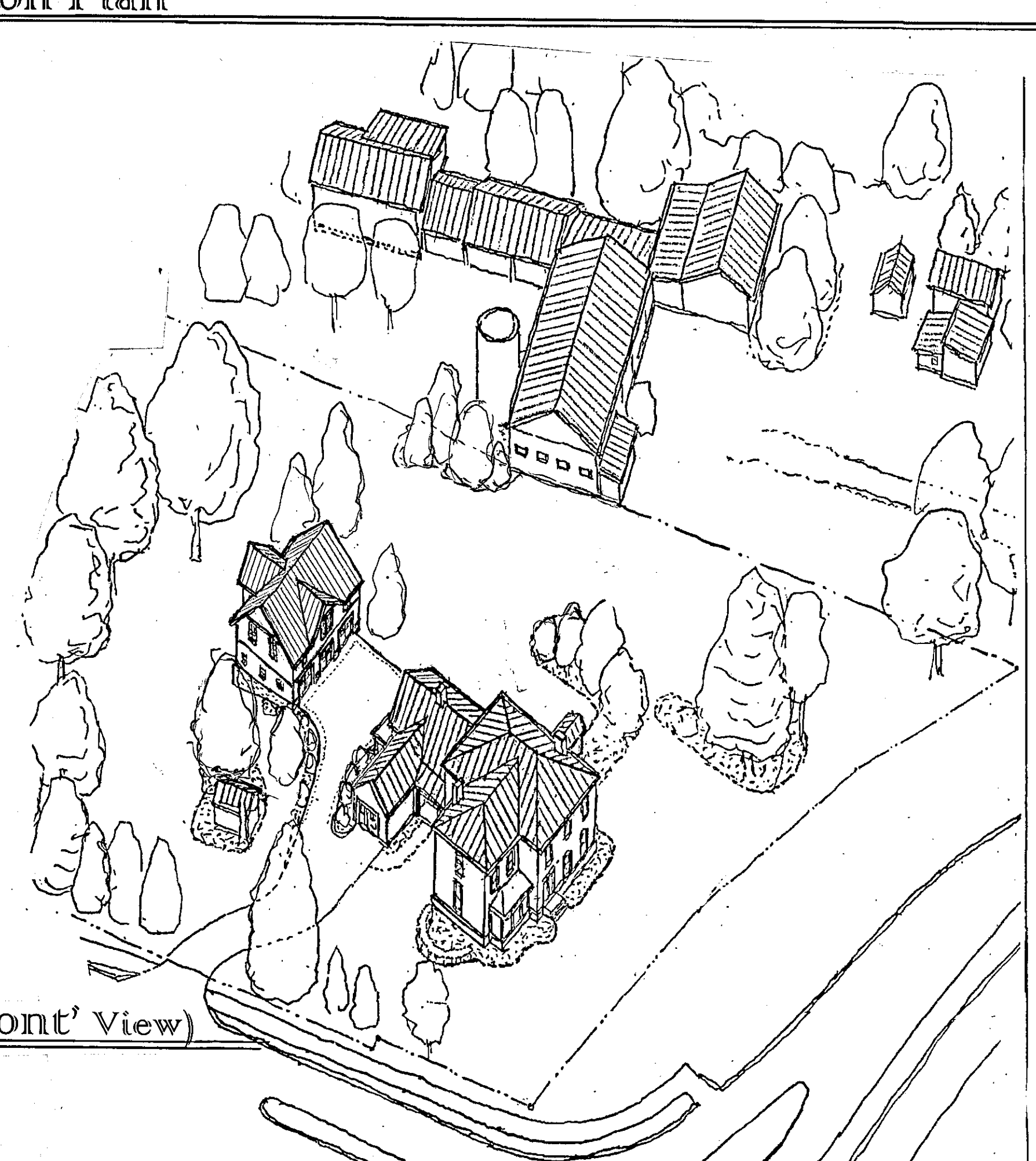
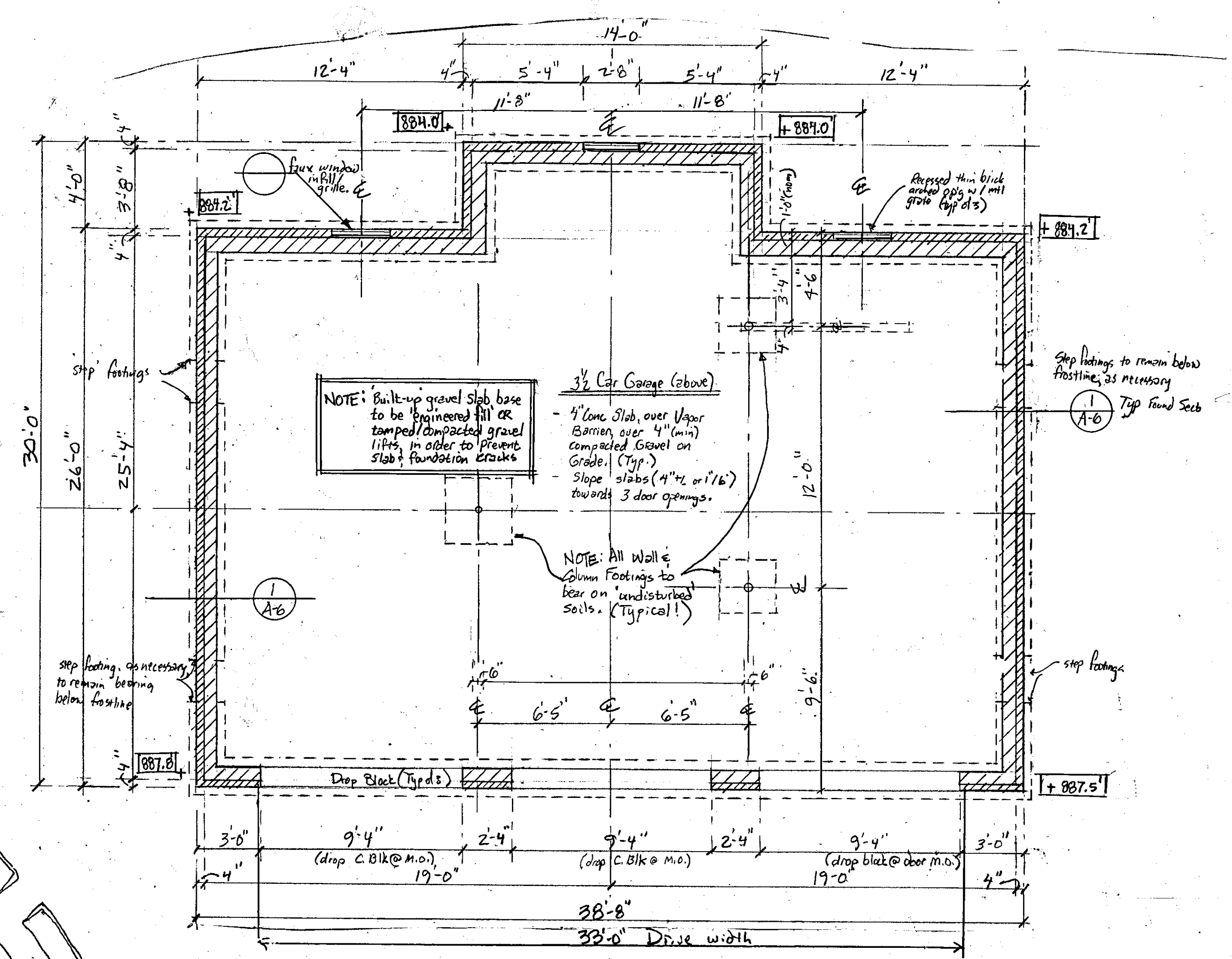
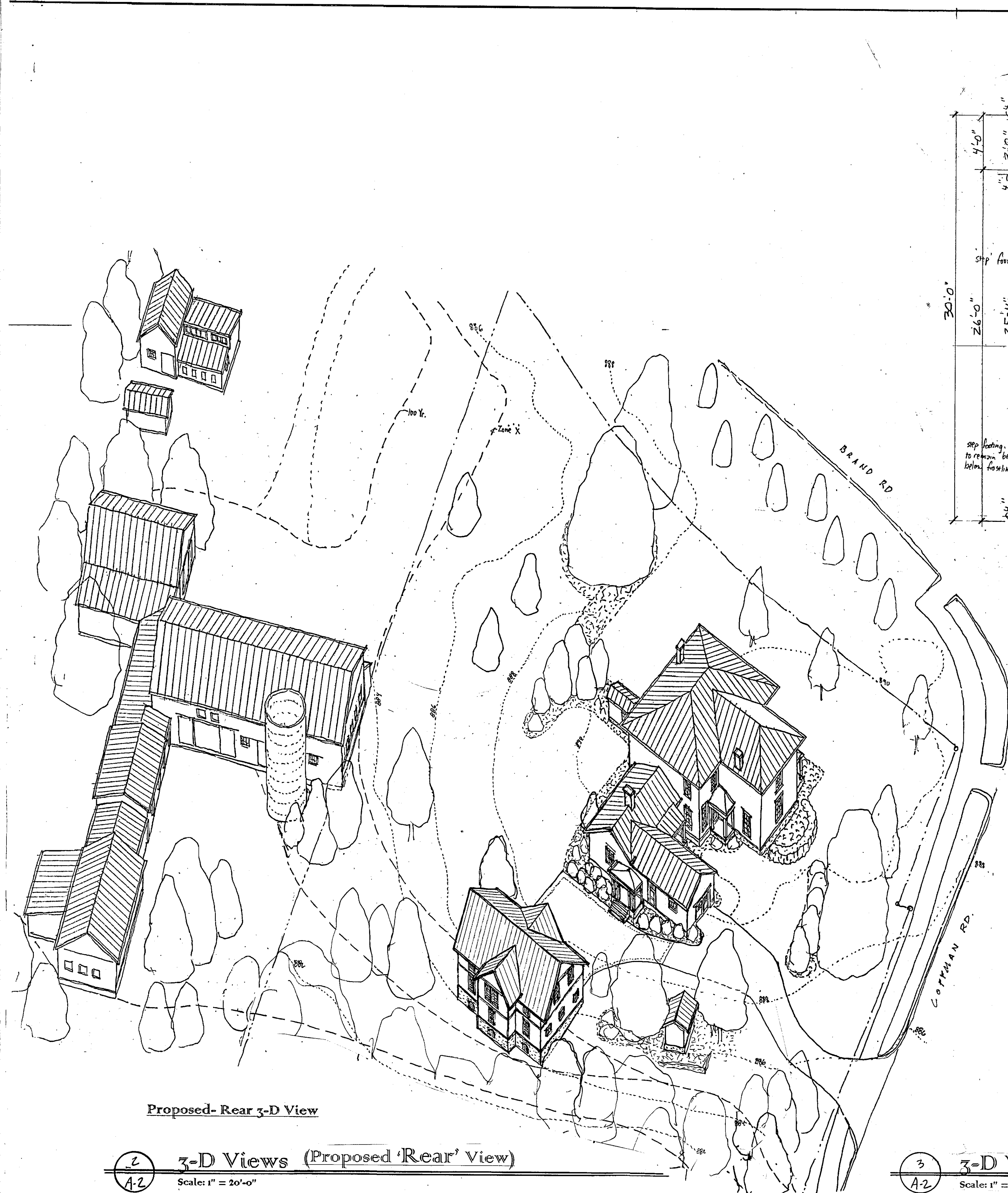
Project Status: Progress Set  
 Issue Date: 1<sup>st</sup>, July 2019

Revisions:  
 ---NOT FOR CONSTRUCTION!!

**Keeler Residence**  
 5281 Brand Rd  
 Addition/Remodel  
 Dublin, OH 43017

**A-1**

**Nau & Bullock Architects**  
 544 N High St. Worthington, Ohio 43085



Typical Section

Section

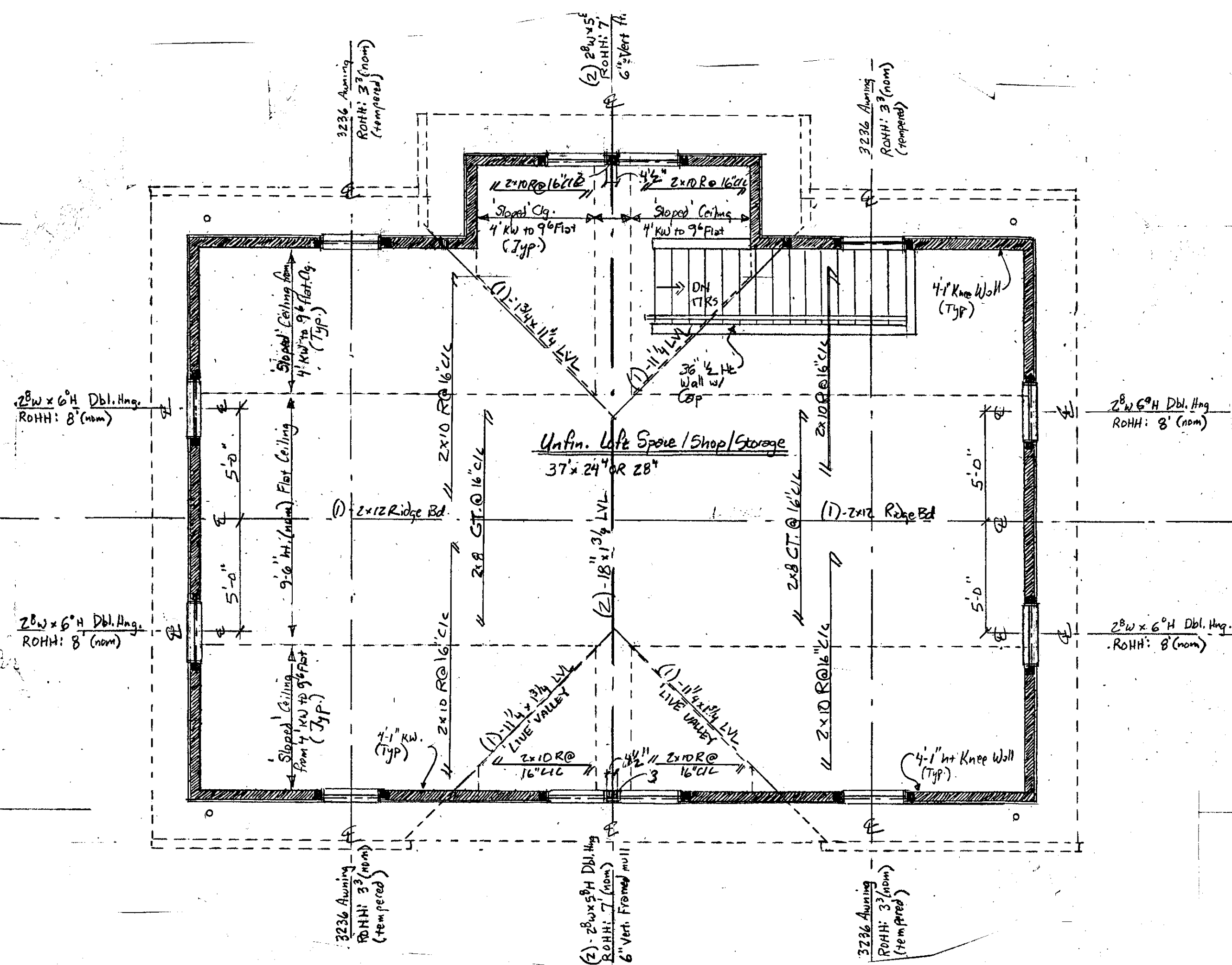
Project Status: Progress Set  
Issue Date: 1<sup>st</sup>, July 2019

Revisions: ---NOT FOR CONSTRUCTION!!

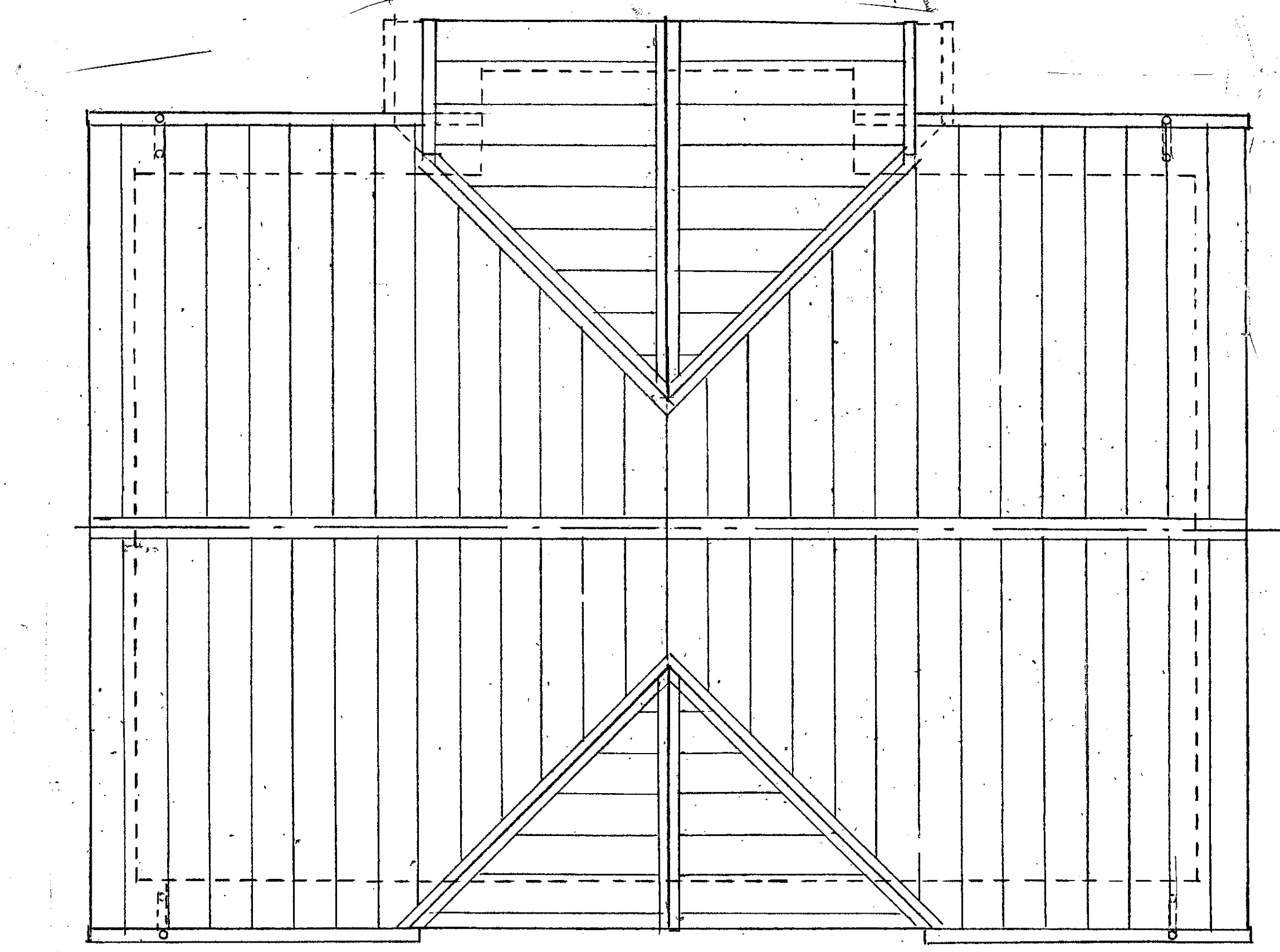
**Keeler Residence**  
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**A-2**

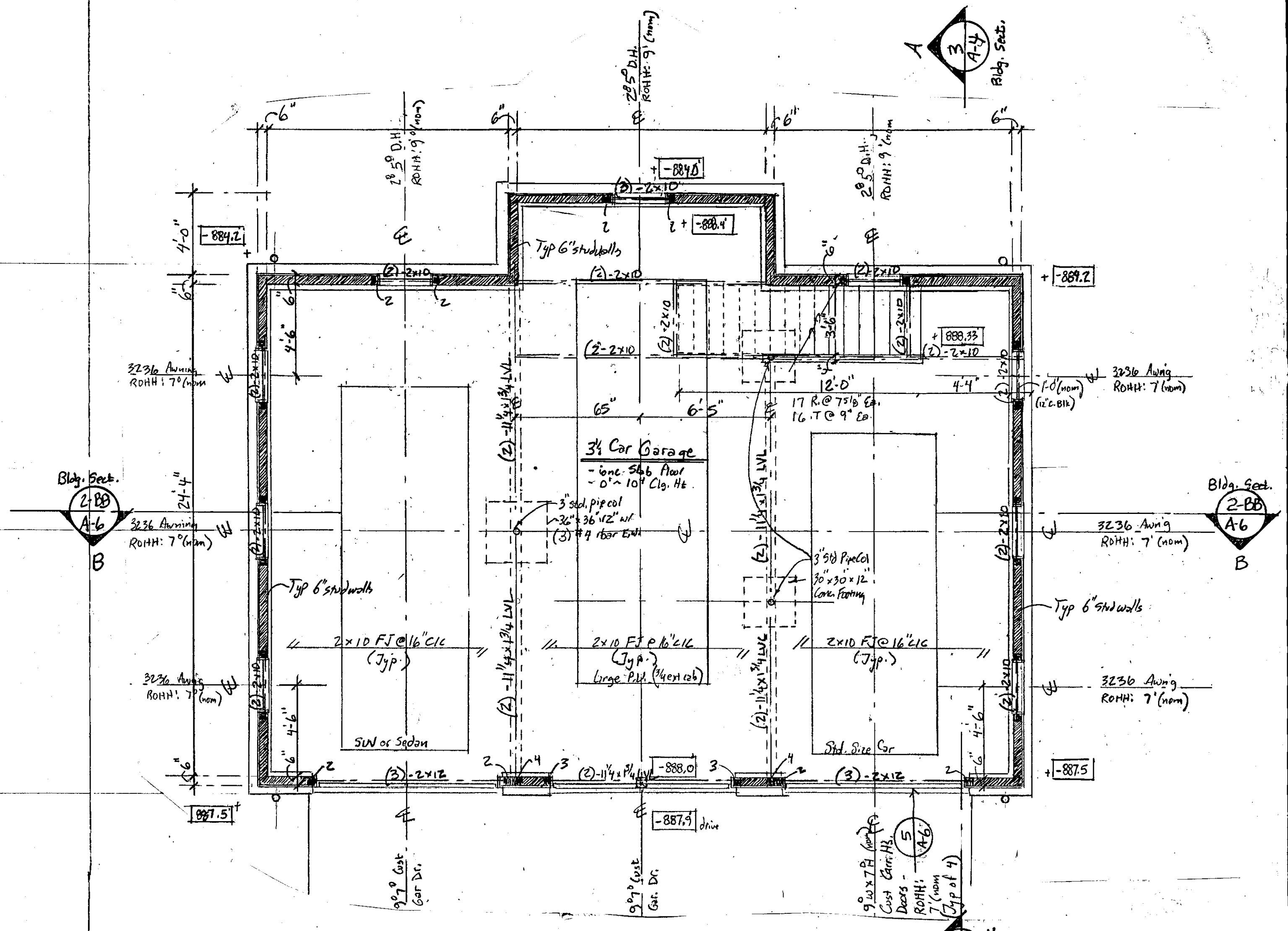
Nau & Bullock Architects  
5844 N High St. Worthington, Ohio 43085



2 Second Floor Plan  
Scale: 1/4" = 1'-0"



3 Roof Plan  
Scale: 1/4" = 1'-0"



1 First Floor Plan  
Scale: 1/4" = 1'-0"

Reference Icon Legend	Add'n/Remodel Wall Legend
refers to drawing #	EXISTING WALLS
refers to sheet #	NEW STUD WALL
Wall Section Reference Icon	PASSAGEWAY / SURROUND
refers to drawing #	WALL TO BE DEMOLISHED
refers to sheet #	CONCRETE BLOCK (NEW)
Detail Reference Icon	BRICK MASONRY (NEW)
refers to written note # in attached coded notes legend or general notes section	PRECAST CONCRETE (NEW)
Coded Note Reference Icon(s)	

Normal Wall Pat needed?

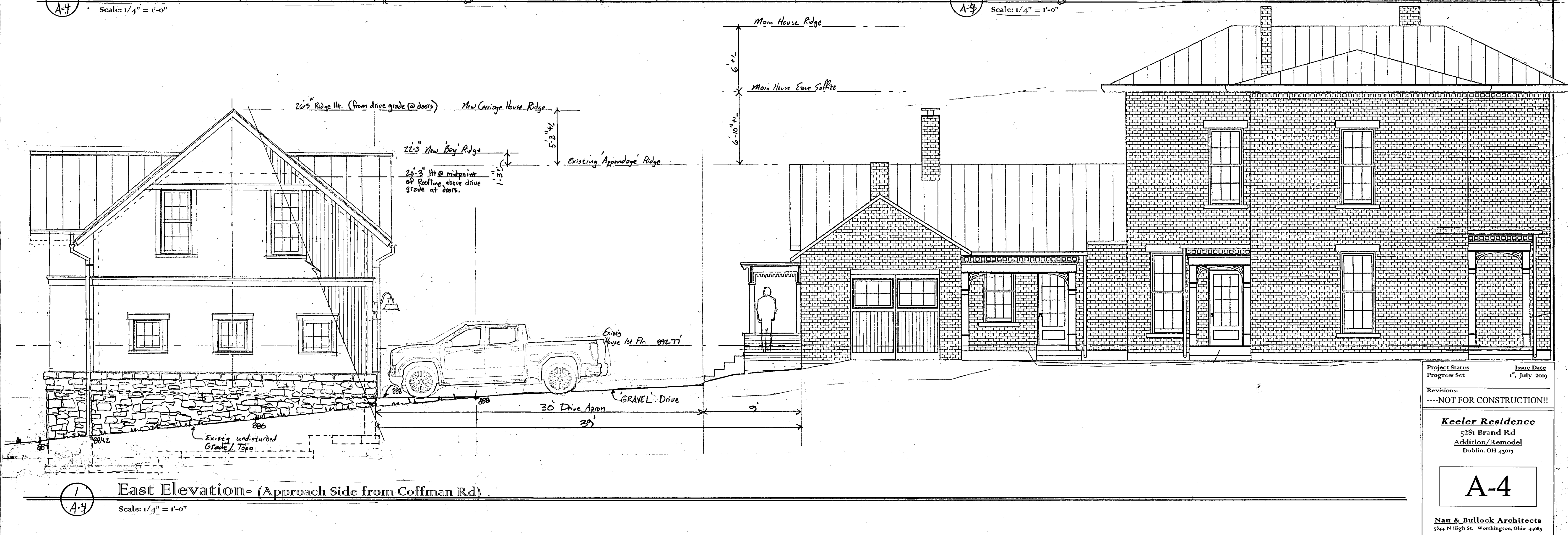
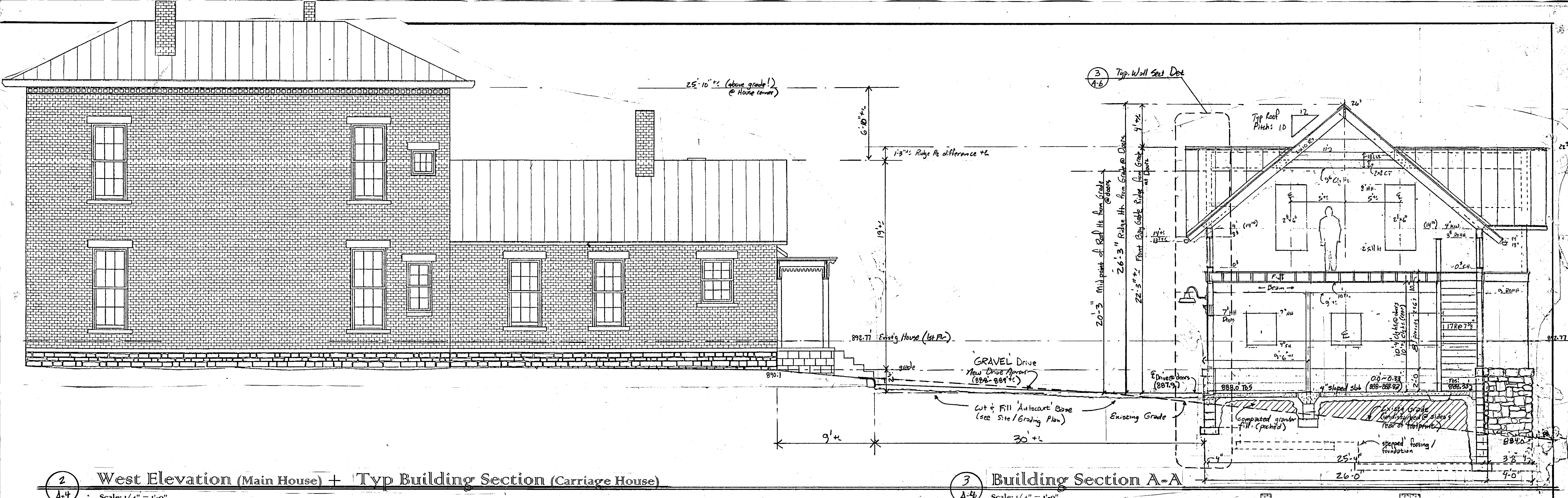
Project Status: Progress Set  
Issue Date: 1<sup>st</sup>, July 2019

Revisions:  
**Keeler Residence**  
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Dublin, OH 43017

**A-3**

Nau & Bullock Architects  
5844 N High St. Worthington, Ohio 43085

Preliminary Drawings ONLY!!



**Project Status**  
 Progress Set

**Issue Date**  
 1<sup>st</sup>, July 2019

**Revisions:**  
 ---NOT FOR CONSTRUCTION---

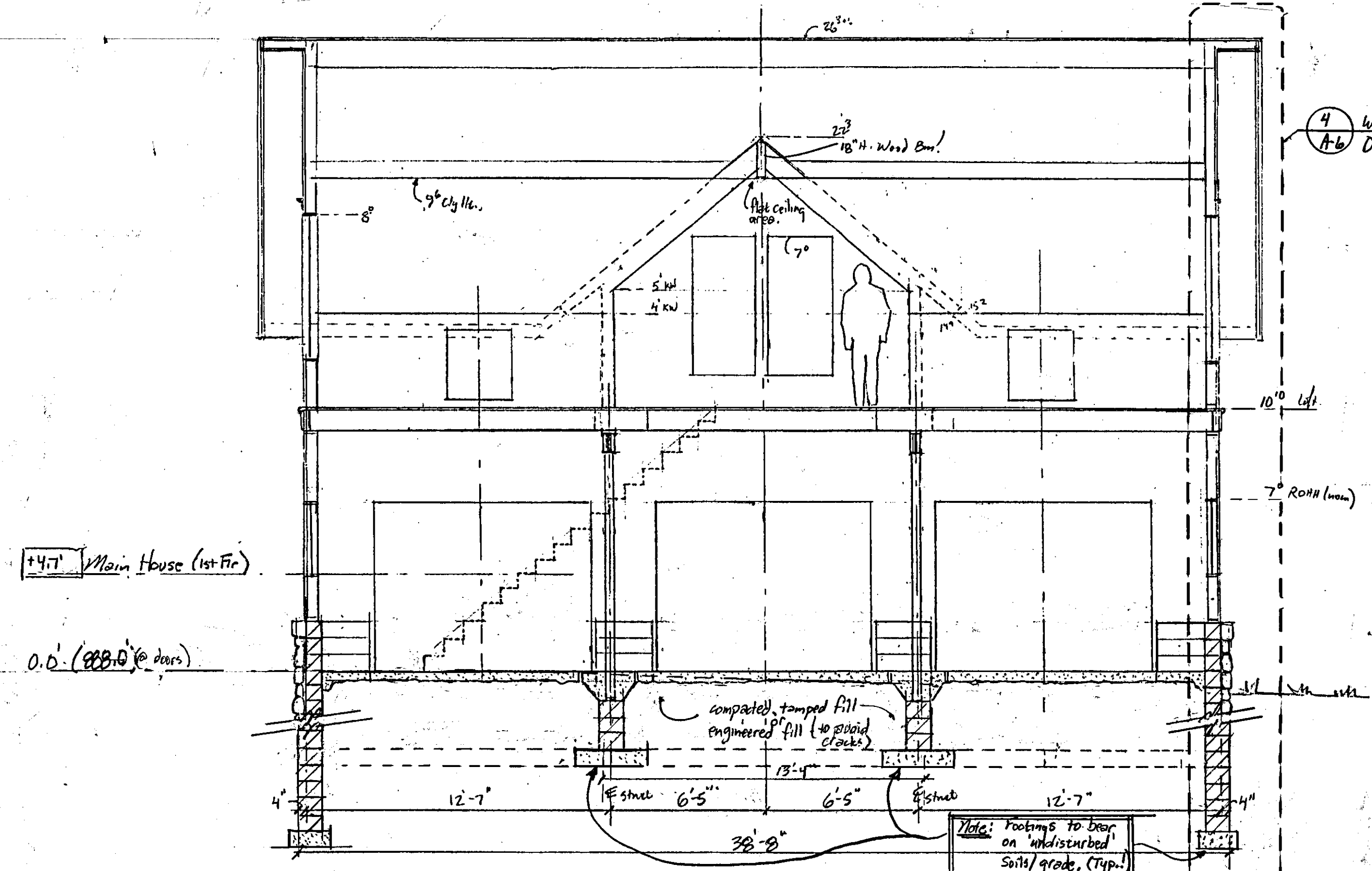
**Keeler Residence**  
 5281 Brand Rd  
 Addition/Remodel  
 Dublin, OH 43017

**A-4**

**Nau & Bullock Architects**  
 5844 N High St. Worthington, Ohio 43085



4  
A-5  
**Front Elevation (Autocourt side)**  
Scale: 1/4" = 1'-0"



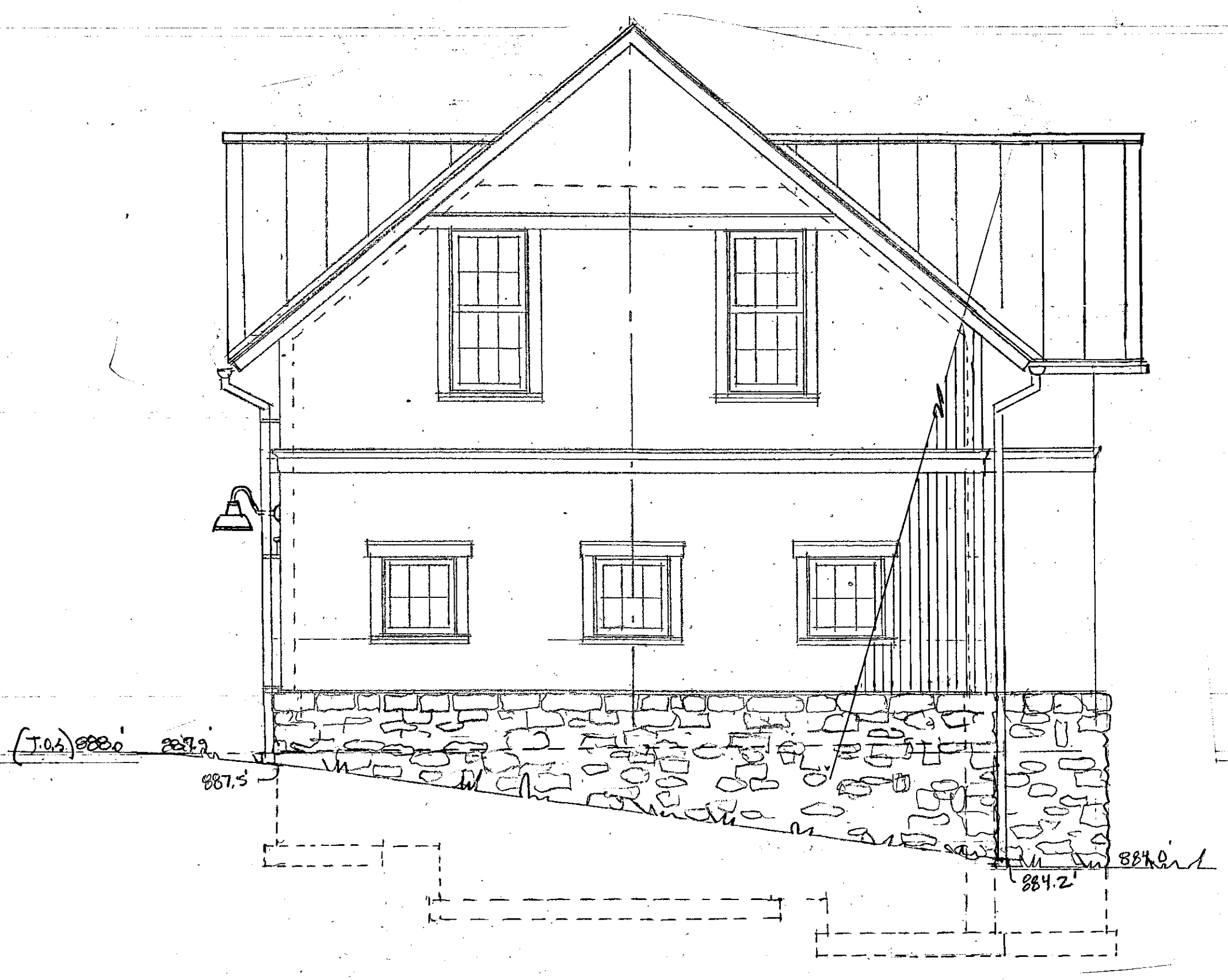
2  
A-5  
**Building Section B-B**  
Scale: 1/4" = 1'-0"

**Exterior Materials Legend:**

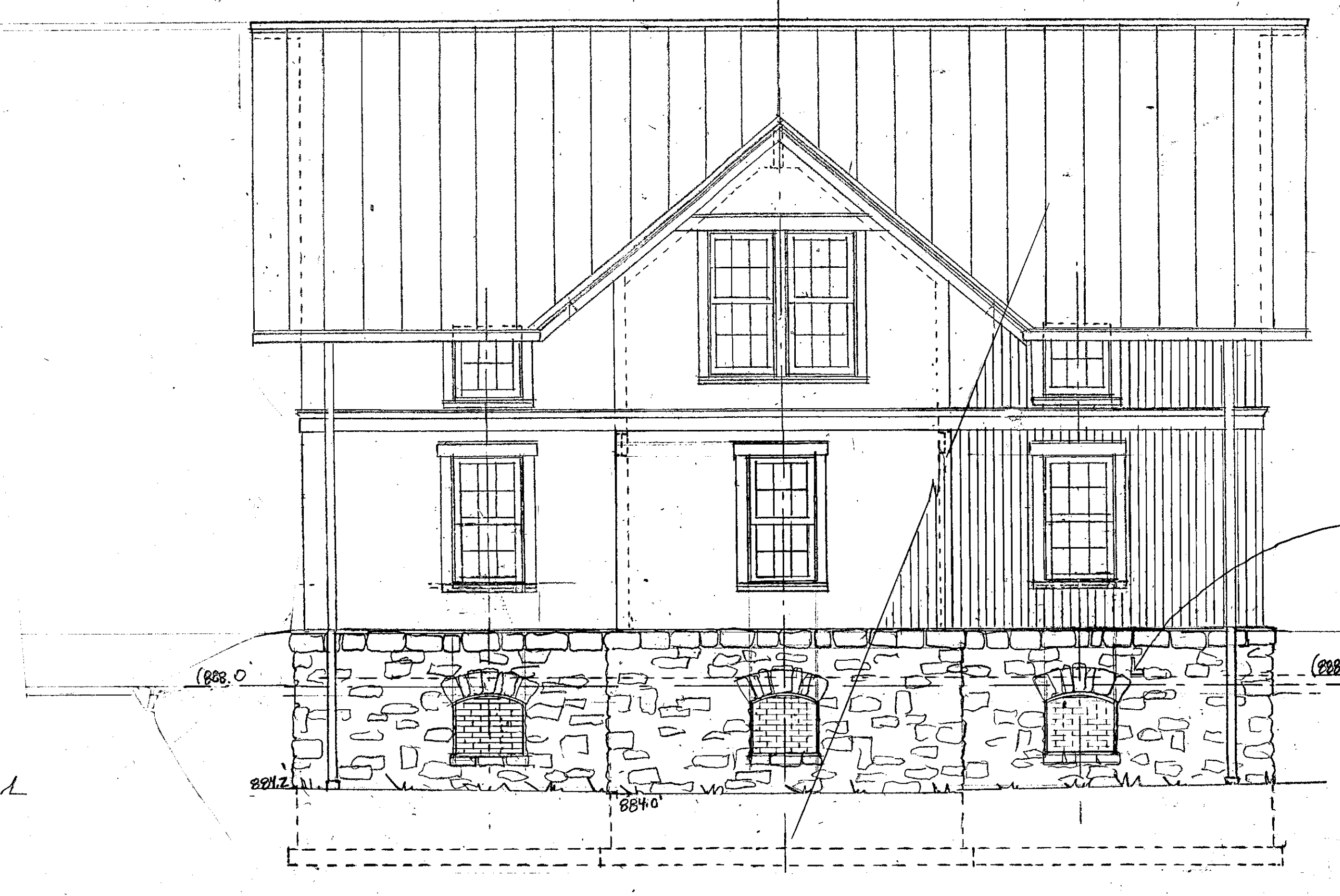
- General Theme:**
- 'Historically themed' New, 3 car, Garage/Loft addition to exist'g Farmstead compound.
  - Stair to 'unfinished' Loft.
  - Architectural 'Theme-ing' similar to existing Barn, in terms of simple 'massing', roof shapes, overhangs, eaves, siding, roofing, gutters/downspouts, & stone masonry foundations.
  - Fenestration similar to both exist'g Main House & Barn, in terms of proportions & scale of doors/windows.
  - New Drive extension & Garage apron: Gravel
  - Alignments/Placement, relative to house, per offset dimensions. (Site Plan)

**- Exterior Materials Legend:**

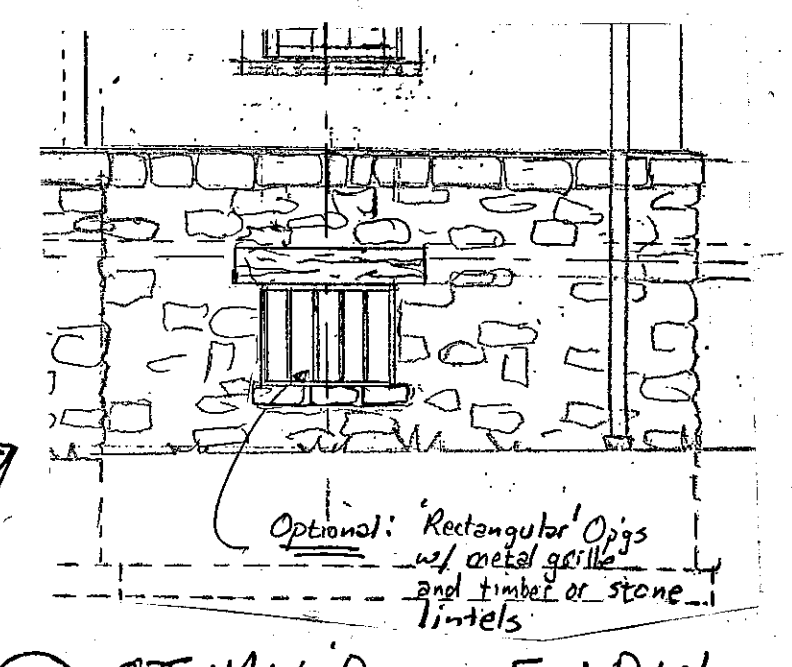
- ① Vert board siding; T&G, V-Groove barn siding (sim to existing barns)
- ② Stone foundation; Traditional Rubble stone w/ cap. (sim to exist'g main house)
- ③ Window: Simulated divided light units. Large scale, tall openings. (sim to Main House) or 'square-ish' (sim to Barns)
- ④ Surrounds/Casement: Typ Surrounds- (mimic existing barn) w/ 4.5" flat vert casements, & head casings (5/4" cap/horn overhangs) w/ 3x chamfered sills. Garage Doors: 5" wide legs & 0.25" heads w/ 5/4" caps. (see design intent detail)
- ⑤ Beltcourses: 1x10's w/ chamfered 2x caps & optional bed mold. (see design intent detail)
- ⑥ Roofing: Standing seam metal roof w/ seams/pan widths & color. (sim to exist'g Barns)
- ⑦ Gutters & Downspouts: 1/2 rd gutters & round downspouts. (sim to exist'g Barns)
- ⑧ Garage doors: dec Carriage House style. Similar to existing House Garage door. (Custom built per owner) (see design intent detail)
- ⑨ Color Scheme: Match barns wall, trim, & roof color scheme.
- ⑩ Drive: Gravel.



3  
A-5  
**West Elevation (Barn side)**  
Scale: 1/4" = 1'-0"



1  
A-5  
**Rear Elevation (Stream side)**  
Scale: 1/4" = 1'-0"



5  
A-5  
**OPTIONAL: Decorative Found Detail**

Project Status: Issue Date  
Progress Set: 1, July 2019

Revisions:  
---NOT FOR CONSTRUCTION!!

**Keeler Residence**  
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Dublin, OH 43017

**A-5**

**Nau & Bullock Architects**  
5844 N High St. Worthington, Ohio 43085

PRELIMINARY DRAWINGS ONLY!!

**Structural General Notes**

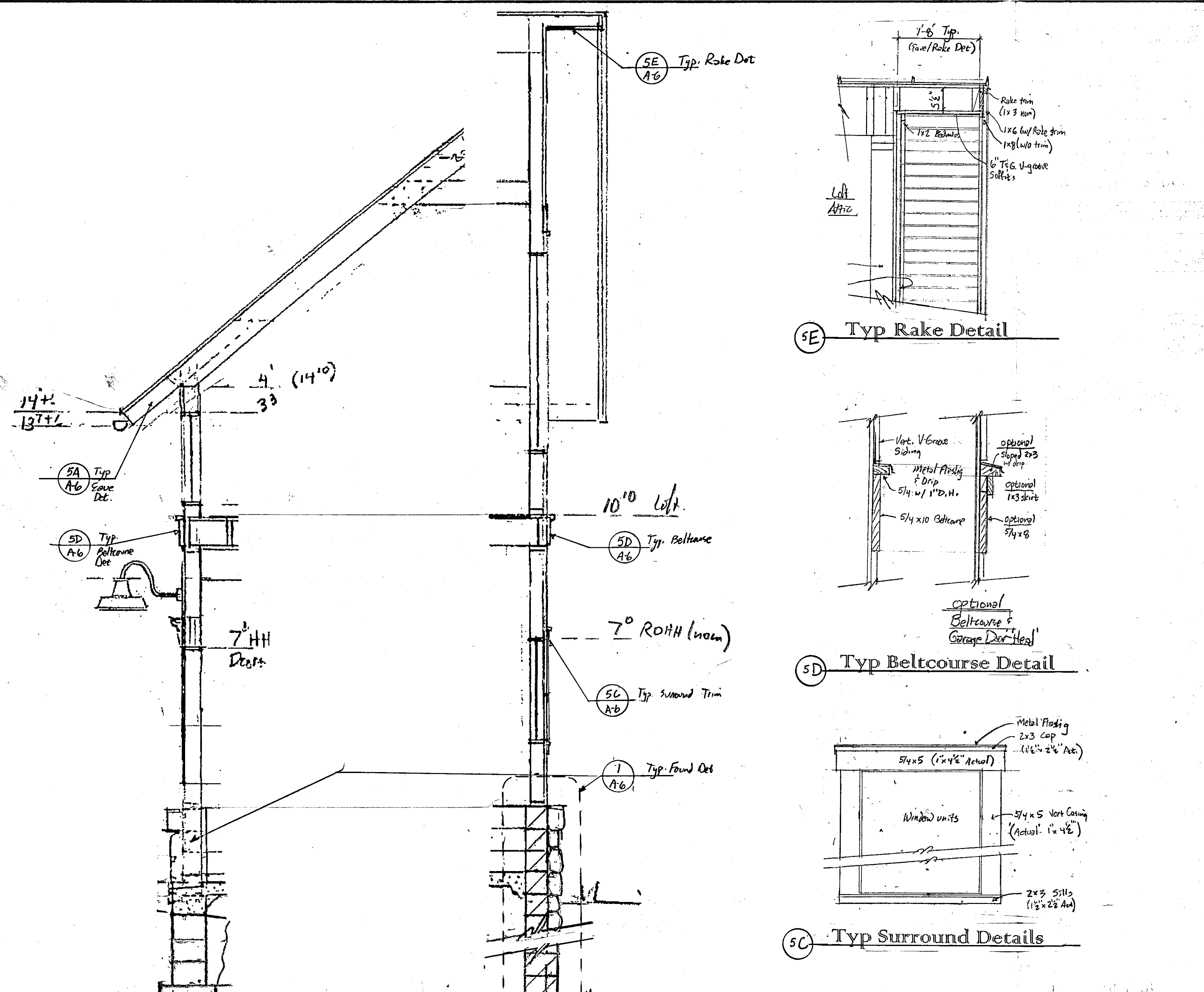
- A. GENERAL**
- THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FURNISH ERECTION PROCEDURES AND SEQUENCING, AND TO ENSURE THE STABILITY OF THE BUILDING AND ITS COMPONENT PARTS, AND THE ADEQUACY OF TEMPORARY OR INCOMPLETE CONNECTIONS, DURING ERECTION. THIS INCLUDES THE ADJUSTMENT OF ANY BRACING, SHEETING, TEMPORARY GUSBS, BRACING OR TENSIONERS THAT MAY BE NECESSARY. SUCH MATERIAL IS NOT SHOWN ON THE DRAWINGS. IF APPLIED, THEY SHALL BE REMOVED AS CONDITIONS PERMIT, AND SHALL REMAIN THE CONTRACTOR'S PROPERTY. THE ENGINEER HAS NO LIABILITY IN, AND TAKES NO RESPONSIBILITY FOR, CONSTRUCTION MEANS AND METHODS OR JOB SITE SAFETY DURING CONSTRUCTION.
  - IT IS SOLELY THE RESPONSIBILITY OF EACH CONTRACTOR TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION. THE ENGINEER IS NOT ENGAGED IN, AND DOES NOT SUPERVISE, CONSTRUCTION.
  - SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE PLANS CONFLICT WITH THESE STRUCTURAL NOTES, THE SPECIFICATIONS, OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN.
  - GOVERNING CODES: OHIO BUILDING CODE.
  - DESIGN ROOF SNOW LOAD: 25 PSF PLUS THE EFFECTS OF DRIPPING SNOW PER CBC.
  - GROUND SNOW LOAD (P<sub>g</sub>) = 25 PSF
  - FLAT ROOF SNOW LOAD = 20 PSF
  - SNOW REDUCTION FACTOR (C<sub>s</sub>) = 1.0
  - SNOW LOAD IMPORTANCE FACTOR (I<sub>s</sub>) = 1.0
  - DESIGN LIVE LOADS:
    - FLOOR FLOOR = 40 PSF
    - SECOND FLOOR = 40 PSF
    - ATTIC = 20 PSF (BASED WHERE HEIGHT IS 30' OR GREATER)
    - EXTERIOR BALCONIES AND DECKS = 60 PSF OR OCCUPANCY SERVED.
    - ROOF = 25 PSF
  - WIND DESIGN PARAMETERS:
    - BASIC WIND SPEED = 90 MPH
    - WIND LOAD IMPORTANCE FACTOR = 1.0
    - WIND EXPOSURE = EXPOSURE B
  - SEISMIC DESIGN PARAMETERS:
    - SEISMIC USE CATEGORY = 2
    - SITE CLASS = D
  - SOIL DESIGN ASSUMPTIONS:
    - ASSIGNED ALLOWABLE SOIL BEARING PRESSURE FOR FOUNDATIONS = 1500 PSF
    - EQUIVALENT FLUID PRESSURE FOR WALL LOADINGS = 55 PCF
    - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE SOIL IS ADEQUATE TO SUPPORT THE STRUCTURE AND THAT THE ASSIGNED WALL LOADINGS IS CORRECT.
  - REINFORCED CONCRETE:
    - MATERIALS:
      - SPECIFICATIONS: IN GENERAL, CONFORM WITH ACI 301-99
      - SPECIFICATIONS FOR STRUCTURAL CONCRETE:
    - CLASS LOCATION:
 

CLASS	LOCATION	f'c
I	FOOTINGS, PILES, AND UNDERPINNINGS	3000
II	INTERIOR SLABS ON GRADE, WALLS, AND ALL INTERIOR CONCRETE NOT OTHERWISE IDENTIFIED.	3500
III	EXTERIOR SLABS ON GRADE, RETAINING WALLS, BALCONY WALLS, PILES AND COLUMNS PLACED INTEGRALLY WITH REINFORCED WALLS, AND ALL EXTERIOR CONCRETE NOT OTHERWISE IDENTIFIED.	4000 (4143 psi)
    - ALL REINFORCED REINFORCING BARS: #4 = 60,000
  - DO NOT BACKFILL AGAINST EXTERIOR WALLS UNTIL BOTH THE SLAB-ON-GRADE AND THE FLOOR ABOVE ARE IN PLACE AND CURED.
  - MASONRY:
    - SPECIFICATIONS: MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF "SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1-99/ASCE 5-99)", PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE, DETROIT, MICHIGAN, EXCEPT AS MODIFIED BY THE REQUIREMENTS OF THESE CONTRACT DOCUMENTS.
    - MATERIALS:
      - CONCRETE BLOCK: ASTM C90. MINIMUM NET AREA COMPRESSIVE STRENGTH OF C.M.U. = 1500 PSI.
      - MORTAR: ASTM C270 USING THE PROPER SPECIFICATION METHOD, PARAGRAPH 3.2.1, TYPE S, MINIMUM COMPRESSIVE STRENGTH = 1800 PSI.
      - JOINT FILL: ASTM C176, COARSE OR FINE TYPE, FLEXIBLE PER ACI 530.1, TABLE 7.
      - JOINT REINFORCING: HOT-DIPPED GALVANIZED FIBERGLASS, 5 GAUGE MESHES SIDE WIRE AND CROSS WIRE. MEET THE 3/16" INCH DIAMETER SIDE WIRE WHERE "HEAVY-WIRE" IS REQUIRED.
      - BAR REINFORCING: ASTM A618 GRADE 60, UNLESS NOTED OTHERWISE.
      - WIRE TIES AND ANCHORS: RECTANGULAR TYPE, 3/16" DIAMETER WIRE TIES (NOT DIPPED GALVANIZED).
      - PROVIDE 100% SOLID BEARING, MINIMUM THREE COURSES UNDER BEAMS, TWO COURSES UNDER LINTELS.
      - FILL COVE SOLID AROUND ANCHOR BOLTS.
      - PROVIDE 100% SOLID BLOCKS OR SOLID-FILLED HOLLOW BLOCKS FOR AT LEAST 4" ALL AROUND ALL EXPANSION BOLTS.
    - LINTELS: PROVIDE LINTELS OVER ALL MASONRY OPENINGS AS INDICATED ON THE DRAWINGS OR WHERE NOT NOTED AS PER THE TABLE BELOW. PROVIDE MINIMUM 6" BEARING EACH SID.
    - MASONRY OPENINGS:
 

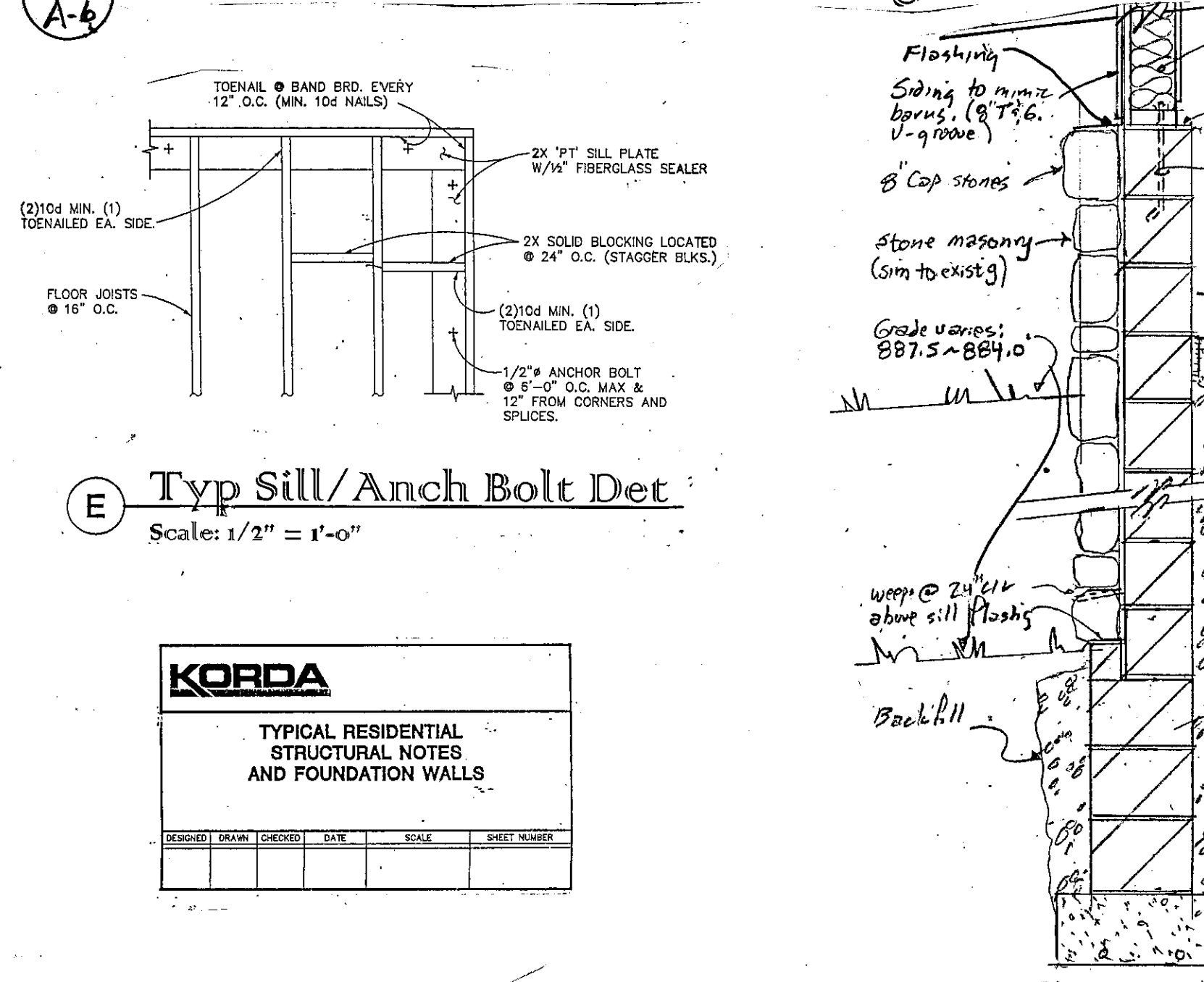
SECTION	SECTION
L 3'-1/2" X 3'-1/2" X 5/16"	L 3'-1/2" X 3'-1/2" X 5/16"
4'-1" X 5'-6"	L 4' X 3'-1/2" X 5/16" L24
5'-7" X 6'-0"	L 5' X 3'-1/2" X 5/16" L24
- PRECAST CONCRETE:
  - SPECIFICATIONS: IN GENERAL, CONFORM WITH ACI 301-99
  - SPECIFICATIONS FOR STRUCTURAL CONCRETE:
- MISCELLANEOUS:
  - USE ONE LINE OF SOLID BLOCKING OR CROSS BRACING AT 8'-0" O/C MAX. FOR ALL BEAMS AND RAFTERS. USE SOLID BLOCKING AT JOINTS AND RAFTER BEARING.
  - IT IS ASSUMED THAT THE STRUCTURAL SHEATHING WILL PROVIDE LATERAL BRACING FOR THE STUDS AND ENTIRE STRUCTURE IF SHEATHING IS NOT PROVIDED, USE SOLID BLOCKING AT MID-HEIGHT FOR ALL EXTERIOR STUDS AND INTERIOR BEARING PARTITIONS AND METAL DIAGONAL BRACING AS REQUIRED FOR LATERAL STABILITY OF THE STRUCTURE.
  - USE DOUBLE JOIST UNDER INTERIOR PARTITIONS, UNLESS SHOWN OTHERWISE.
  - USE DOUBLE JOIST UNDER BEAM AND LINTEL BEARING, UNLESS SHOWN OTHERWISE.
  - APPLY CONTINUOUS BEAD OF ADHESIVE ON JOISTS AND GROOVE OF TONGUE-AND-GROOVE PANELS.
  - IN AREAS WHERE TOP CHORDS OF TRUSSES DO NOT RECEIVE FINISH OR JOB SHEATHING, PROVIDE 1" X 4" CONTINUOUS BRACING PERPENDICULAR TO TOP CHORDS AND SPACED AT 3'-0" O.C.
  - BEFORE APPLYING FINISH FLOORING, SET WALLS 1/8" INCH BUT DO NOT FILL, AND LIGHTLY SAND ANY SURFACE ROUGHNESS, PARTICULARLY AT JOINTS AND AROUND WALLS.
  - PROVIDE AND INSTALL BRACING FOR PREFABRICATED WOOD TRUSSES AS INDICATED ON THE TRUSS MANUFACTURER'S APPROVED SHOP DRAWINGS.

**STRUCTURAL LEGEND**

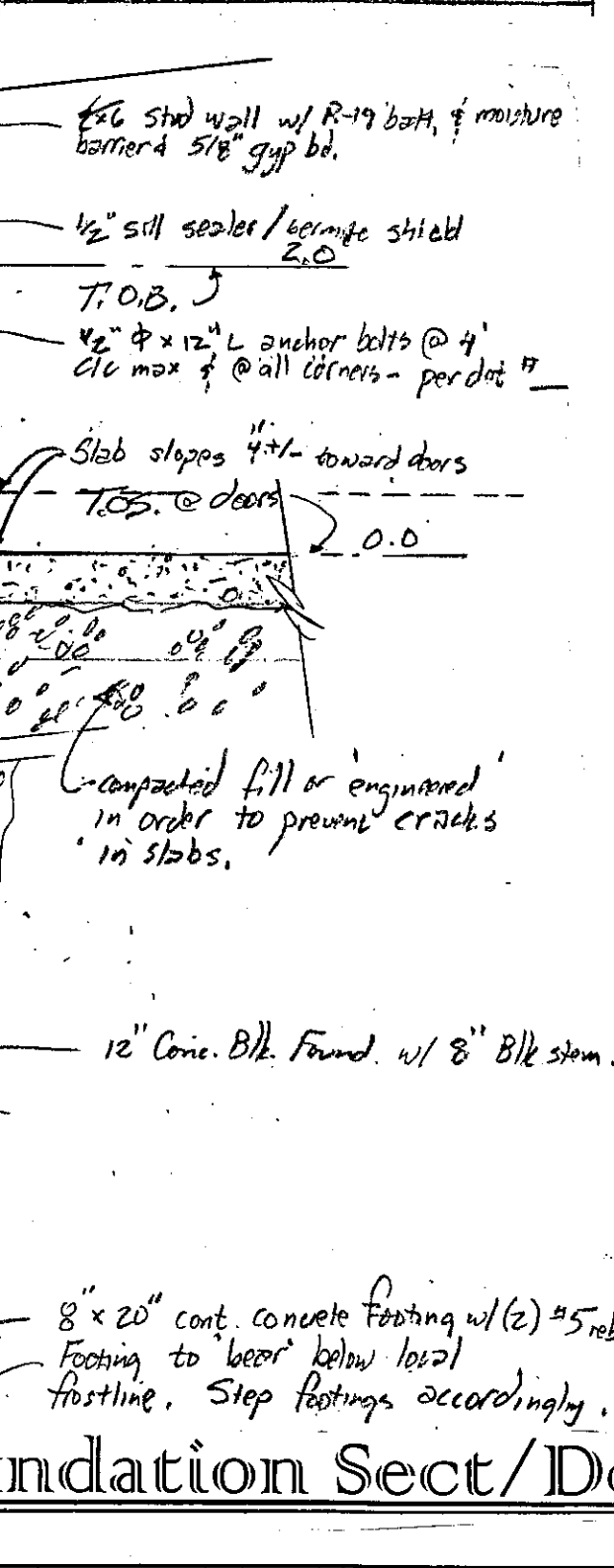
R	RAFTER OR RIDGE
V	ROOF VALLEY
C	CEILING JOIST
LVL	LAMINATED VENEER LUMBER (MICRO-LAM. ETC.)
PSL	PARALLEL STRAND LUMBER (PARALLAM)
CT	COLLAR TIE
GN	GLUE & NAIL
RBS	REMOVE BY SANDING
BEARING WALL (BW)	BEARING WALL FROM ABOVE
ROUND COLUMN FROM ABOVE	POINT LOAD FROM ABOVE
CLEAD AND NAIL MULTI STUD WOOD COLUMN	THIS NUMBER REPRESENTS THE NUMBER OF BEARING STUDS REQUIRED USE 2x4 STUDS FOR 2x4 WALLS AND 2x6 STUDS FOR 2x6 WALLS.
STEEL PIPE COLUMN	<ol style="list-style-type: none"> <li>5" Ø ADJUSTABLE PIPE COL.</li> <li>4" Ø ADJUSTABLE PIPE COL.</li> <li>3" Ø STD. PIPE COL. (7.56 lb./ft.)</li> <li>3" Ø X-STD. PIPE COL. (10.25 lb./ft.)</li> <li>4" Ø STD. PIPE COL. (10.76 lb./ft.)</li> <li>4" Ø X-STD. PIPE COL. (14.88 lb./ft.)</li> </ol>
STEEL TUBE COLUMN	<ol style="list-style-type: none"> <li>3.5" x 3.5" x 0.25" (10.51 lb./ft.)</li> <li>4" x 4" x 0.25" (12.21 lb./ft.)</li> <li>4.5" x 4.5" x 0.25" (13.91 lb./ft.)</li> <li>5" x 5" x 0.25" (15.82 lb./ft.)</li> <li>6" x 6" x 0.25" (19.02 lb./ft.)</li> <li>6" x 6" x 0.25" (17.32 lb./ft.)</li> </ol>
COLUMN FOOTING	<ol style="list-style-type: none"> <li>3'-0" x 3'-0" x 1'-0"</li> <li>3'-5" x 2'-0" ea. way bottom</li> <li>3'-8" x 3'-8" x 1'-0"</li> <li>3'-5" x 3'-0" ea. way bottom</li> <li>4'-0" x 4'-0" x 1'-0"</li> <li>4'-5" x 3'-0" ea. way bottom</li> <li>4'-0" x 4'-0" x 1'-0"</li> <li>4'-5" x 4'-0" ea. way bottom</li> <li>5'-0" x 5'-0" x 1'-0"</li> <li>5'-5" x 4'-0" ea. way bottom</li> <li>5'-0" x 5'-0" x 1'-0"</li> <li>6'-5" x 5'-0" ea. way bottom</li> <li>6'-0" x 6'-0" x 1'-0"</li> <li>6'-5" x 5'-0" ea. way bottom</li> <li>6'-0" x 6'-0" x 1'-0"</li> <li>6'-5" x 5'-0" ea. way bottom</li> </ol>
CRAWL SPACE BEAM SUPPORT	8"x16" STACK BOND CROUT FILLED MASONRY PIER FOOTING 3'-0" x 3'-0" x 8" (NO REINFORCING)



**2 Structural General Notes/Legend**



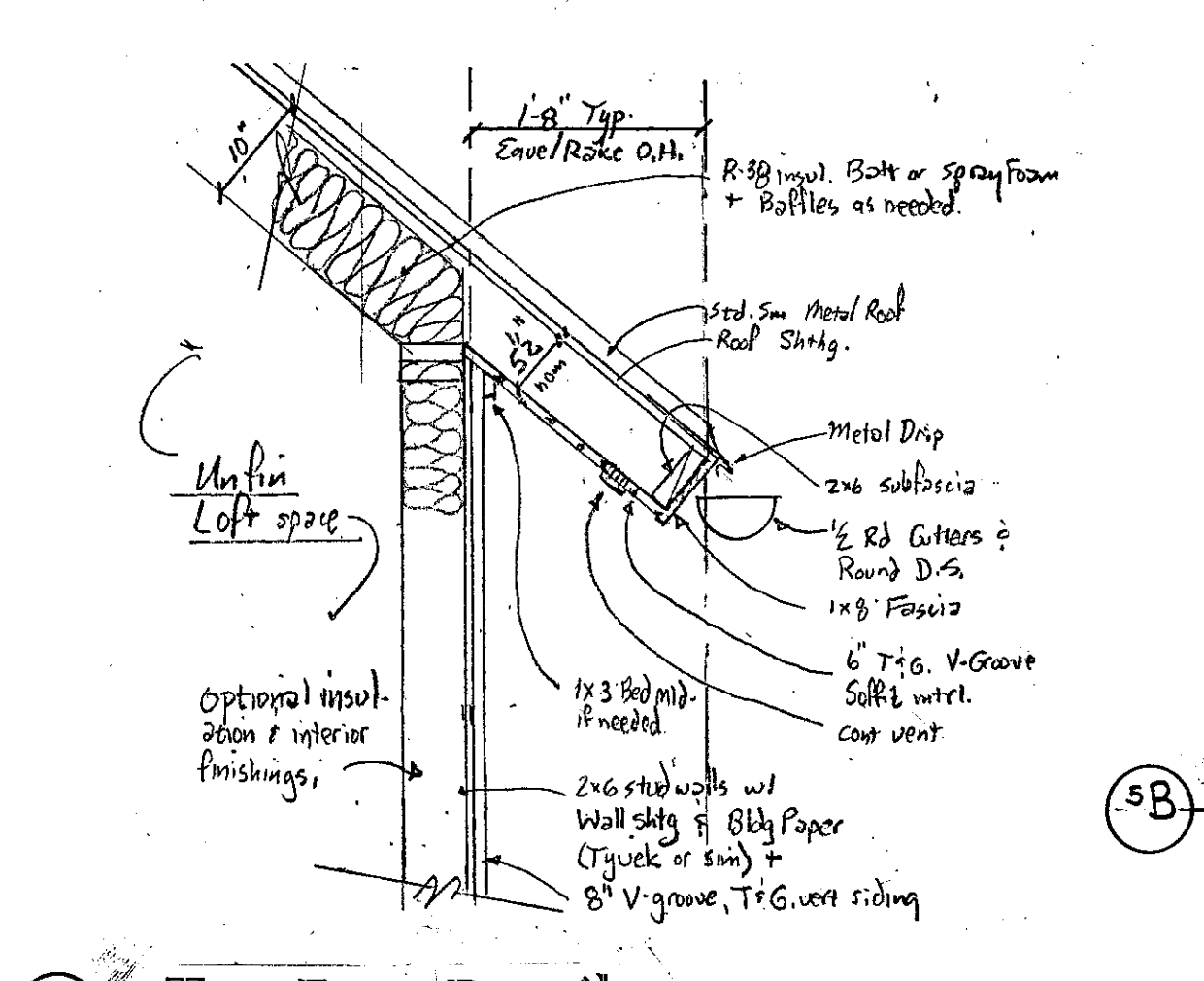
**E Typ Sill/Anch Bolt Det**  
Scale: 1/2" = 1'-0"



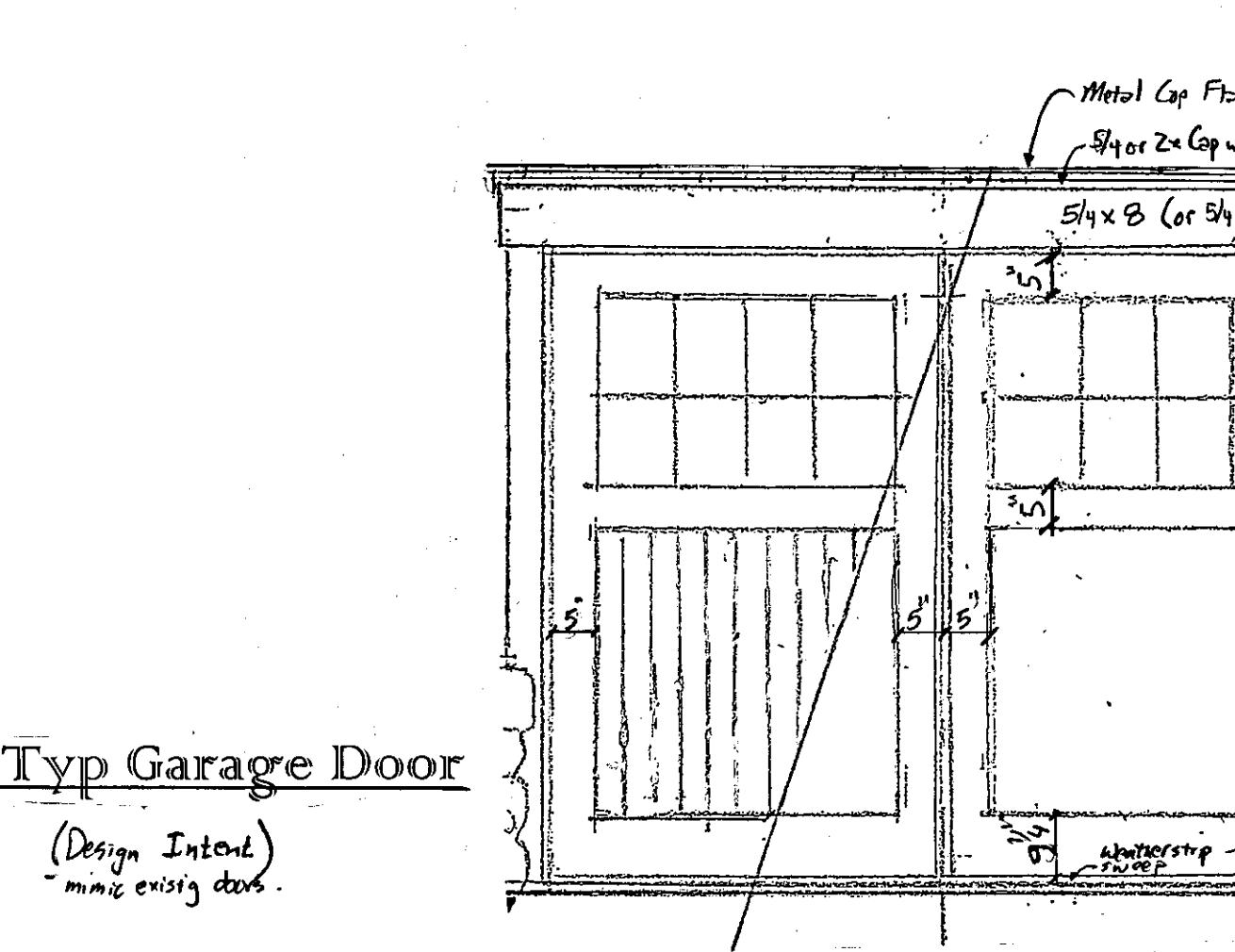
**1 Typical Foundation Sect/Det**  
Scale: 3/4" = 1'-0"

**3 Typ Front/Rear Wall Sect/Det**  
Scale: 1/2" = 1'-0"

**4 Typ Side Wall Sect/Det**  
Scale: 1/2" = 1'-0"



**5 Typ Garage Door**  
(Design Intent - masonry existing door)



**5 Typ Exterior Trim Details**  
Scale:

PRELIMINARY DRAWINGS ONLY

Project Status Progress Set	Issue Date 1 <sup>st</sup> , July 2019
Revisions: ---NOT FOR CONSTRUCTION!--	
<p><b>Keeler Residence</b> 5281 Brand Rd Addition/Remodel Dublin, OH 43017</p>	
<p><b>A-6</b></p>	
<p>Nau &amp; Bullock Architects 5544 N High St. Worthington, Ohio 43085</p>	