

BRIDGE PARK BUILDING B4

TENANT IMPROVEMENTS

TENANT SPACE 4

6558 LONGSHORE STREET

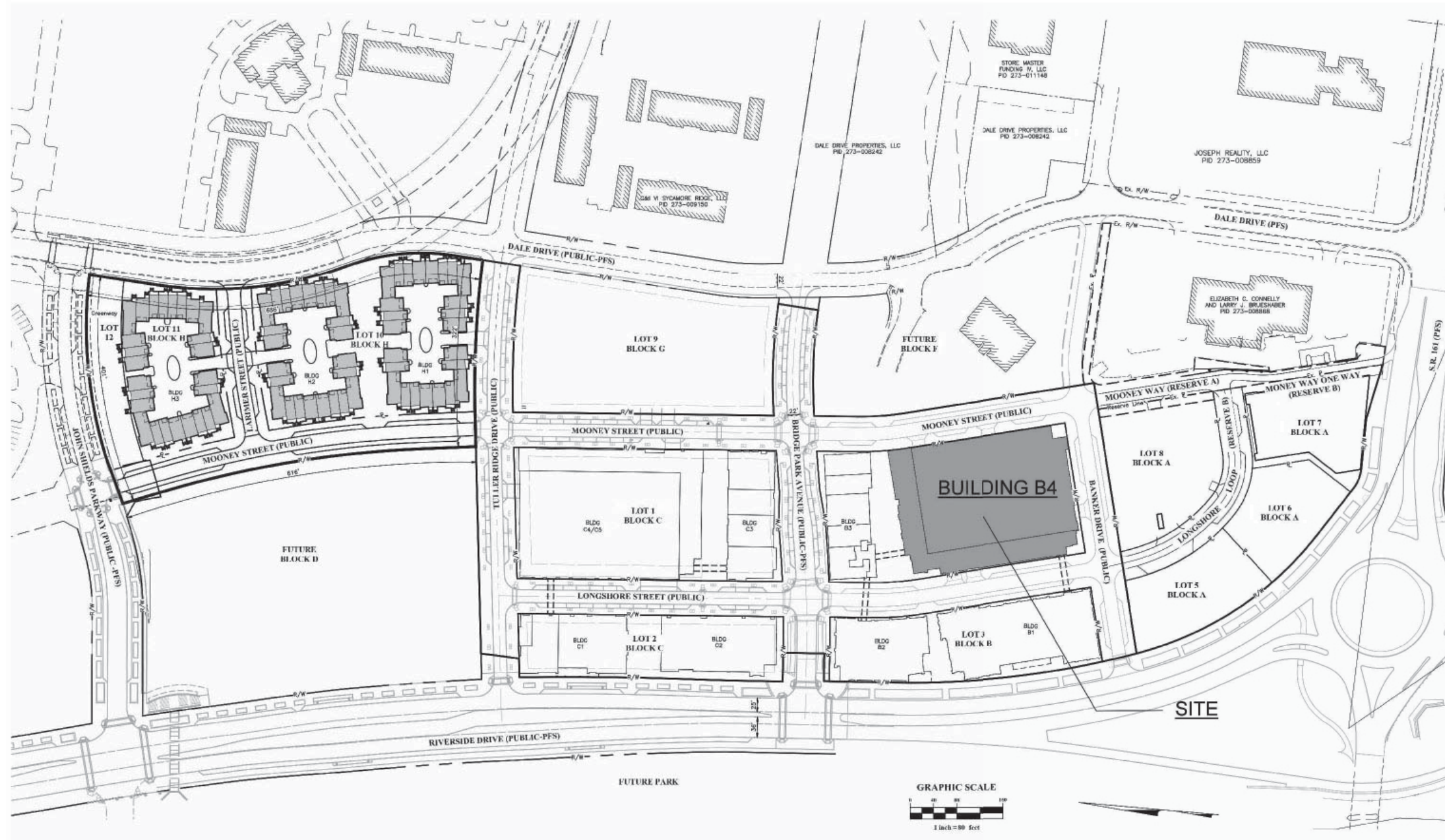
DUBLIN, OHIO



26 August 2019

INDEX OF DRAWINGS:

A-1	LOCATION MAP
A-2	BUILDING KEY PLAN
A-3	TENANT FLOOR PLANS
A-4	EXISTING BUILDING ELEVATION
A-5	PROPOSED STOREFRONT ELEVATION
A-6	EXISTING SITE PHOTOS
-	PROPOSED SIGN CONCEPT



L O C A T I O N M A P



26 August 19

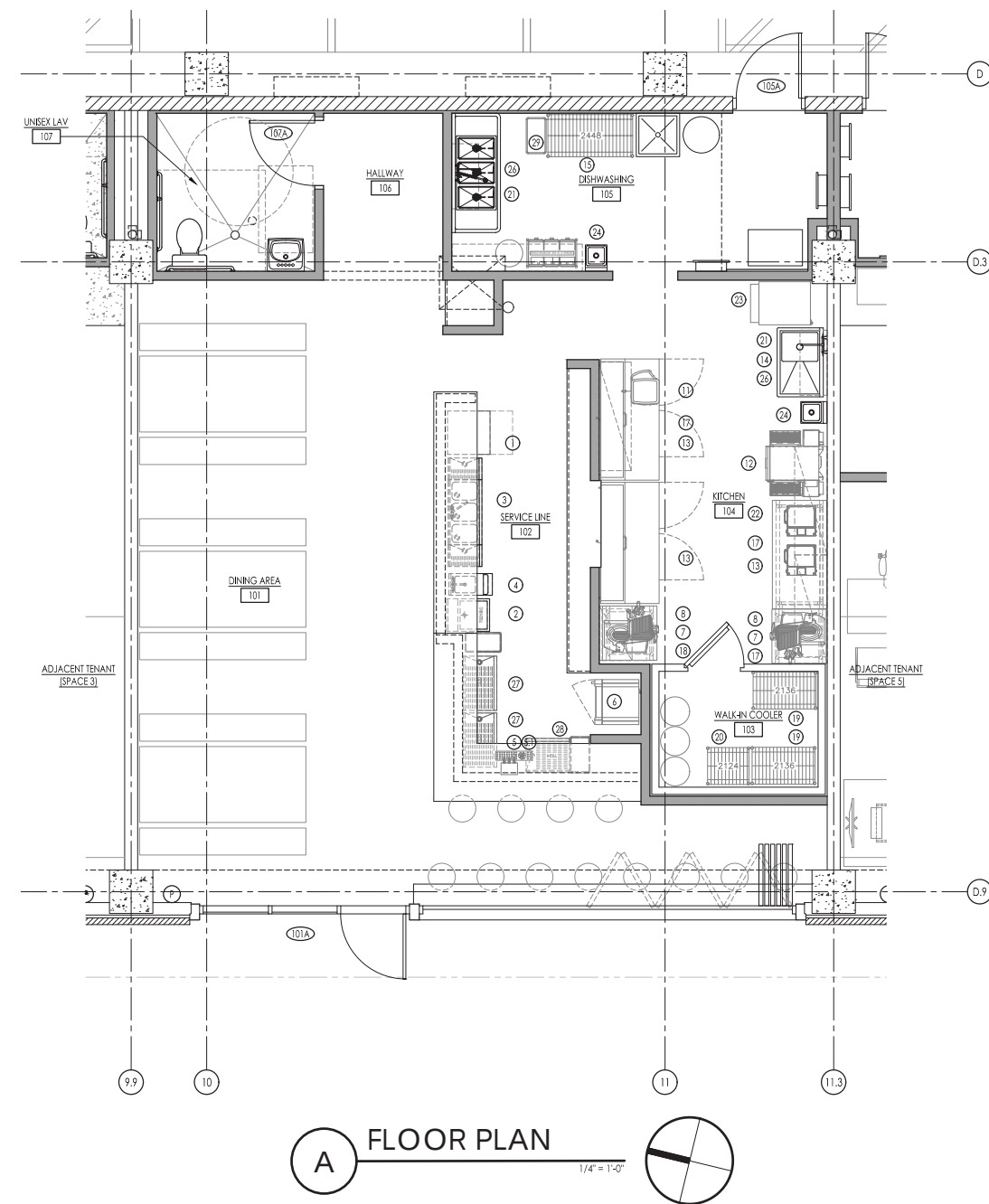


0 16 32 ft

BUILDING KEY PLAN



26 August 19




26 August 19

**STREET FACADE
TRANSPARENCY - CORRIDOR BUILDING**

1st Story	2nd Story	3rd Story
Story Area: 1,476 sf	Story Area: 3,229 sf	Story Area: 3,352 sf
Transparency: 1,020 sf	Transparency: 1,017 sf	Transparency: 1,110 sf
Required: 60%	Required: 30%	Required: 30%
Provided: 69%	Provided: 31%	Provided: 33%

4th Story	5th Story	6th Story
Story Area: 3,352 sf	Story Area: 3,352 sf	Story Area: 327 sf
Transparency: 1,064 sf	Transparency: 1,075 sf	Transparency: 170 sf
Required: 30%	Required: 30%	Required: 30%
Provided: 32%	Provided: 32%	Provided: 52%

**STREET FACADE
TRANSPARENCY - PARKING STRUCTURE**

1st Story	2nd Story	3rd Story
Story Area: 504 sf	Story Area: 506 sf	Story Area: 506 sf
Transparency: 196 sf	Transparency: 333 sf	Transparency: 333 sf
Required: 65%	Required: N/A	Required: N/A
Provided: 39%	Provided: 66%	Provided: 66%

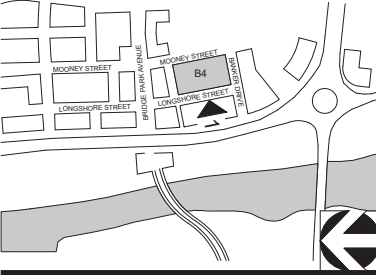
4th Story	5th Story	6th Story
Story Area: 506 sf	Story Area: 506 sf	Story Area: 570 sf
Transparency: 333 sf	Transparency: 333 sf	Transparency: 316 sf
Required: N/A	Required: N/A	Required: N/A
Provided: 66%	Provided: 65%	Provided: 55%

**VERTICAL FACADE DIVISIONS
(45' OR LESS REQUIRED)**



11-04-2016

KEY PLAN



PRINCIPAL ENTRANCE LOCATION
(Corridor Building - As applicable along any primary street frontage facade / Parking Structure - all street facades of building)

FACADE MATERIALS - CORRIDOR BUILDING

Overall Area of elevations: 17,249 sf
Area of Windows/Doors: - 3,106 sf
Net Area of Elevation: 14,143 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	7,673 sf	54%		
Glass	Primary	2,012 sf	14%		
Composite Metal Panel	Primary	809 sf	6%		
		10,494 sf	74%	80%	
Fiber Cement	Secondary	3,487 sf	25%		
Misc. Elements	Permitted As Trim	162 sf	1%		
		3,649 sf	26%	<20%	

1 WEST ELEVATION
3/64" = 1'-0"

FACADE MATERIALS - PARKING STRUCTURE

Overall Area of elevations: 2,997 sf

Material	Primary/Secondary	Area (SF)	Percentage	Required	Met?
Brick	Primary	747 sf	25%		
Glass	Primary	1,746 sf	58%		
Composite Metal Panel	Primary	378 sf	13%		
		2,493 sf	96%	80%	
Misc. Elements	Permitted As Trim	126 sf	4%		
		126 sf	4%	<20%	

PRINCIPAL ENTRANCE LOCATION
(Corridor Building - As applicable along any primary street frontage facade / Parking Structure - all street facades of building)

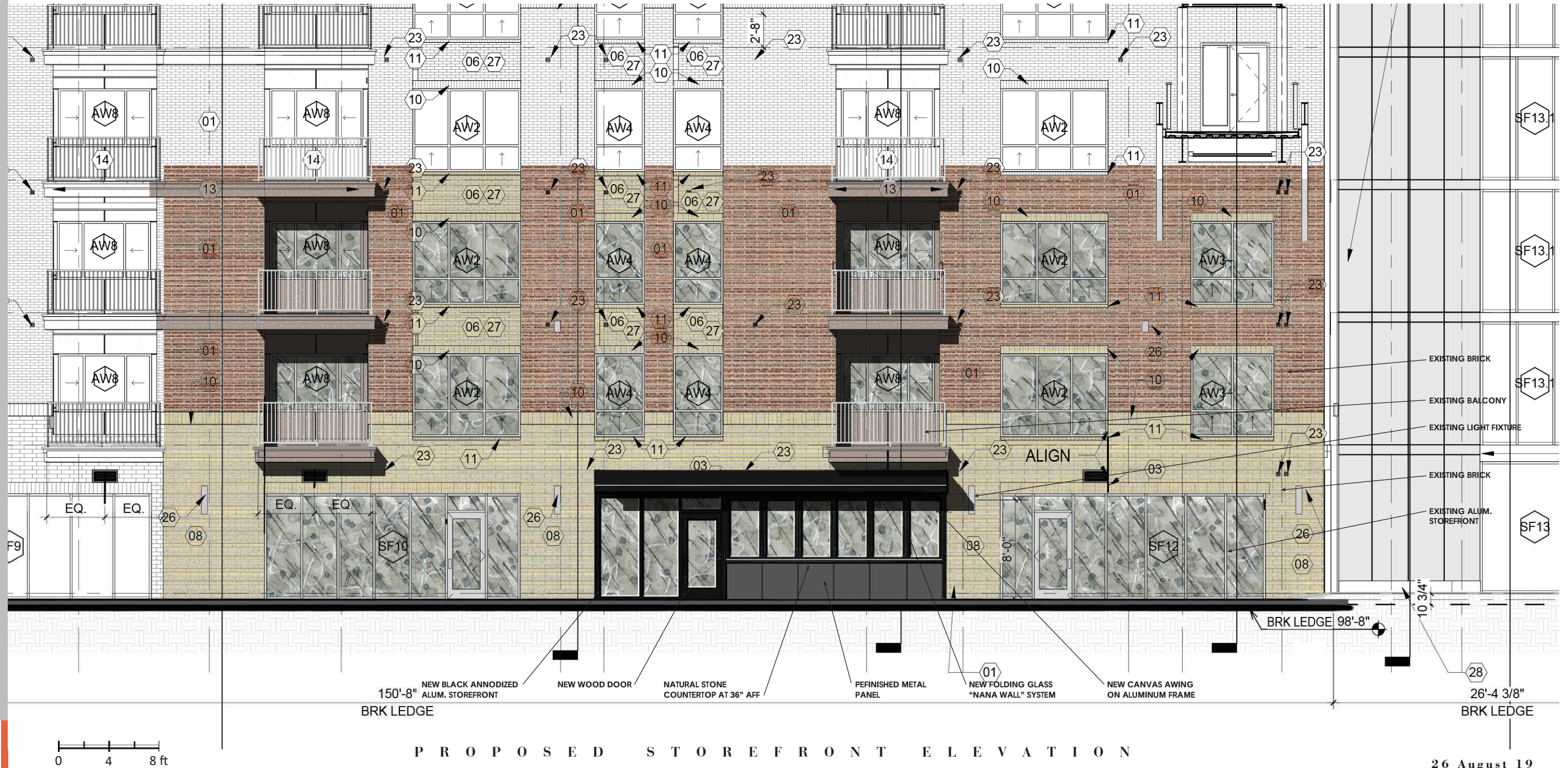
E X I S T I N G B U I L D I N G E L E V A T I O N

26 August 19

STREET FACADE TRANSPARENCY - CORRIDOR BUILDING:

1ST STORY
EXISTING:
STORY AREA: 1,476SF.
TRANSPARENCY: 1,020SF.
REQUIRED: 60%
PROVIDED: 69%

PROPOSED:
STORY AREA: 1476SF.
TRANSPARENCY: 969SF.
REQUIRED: 60%
PROVIDED: 66%

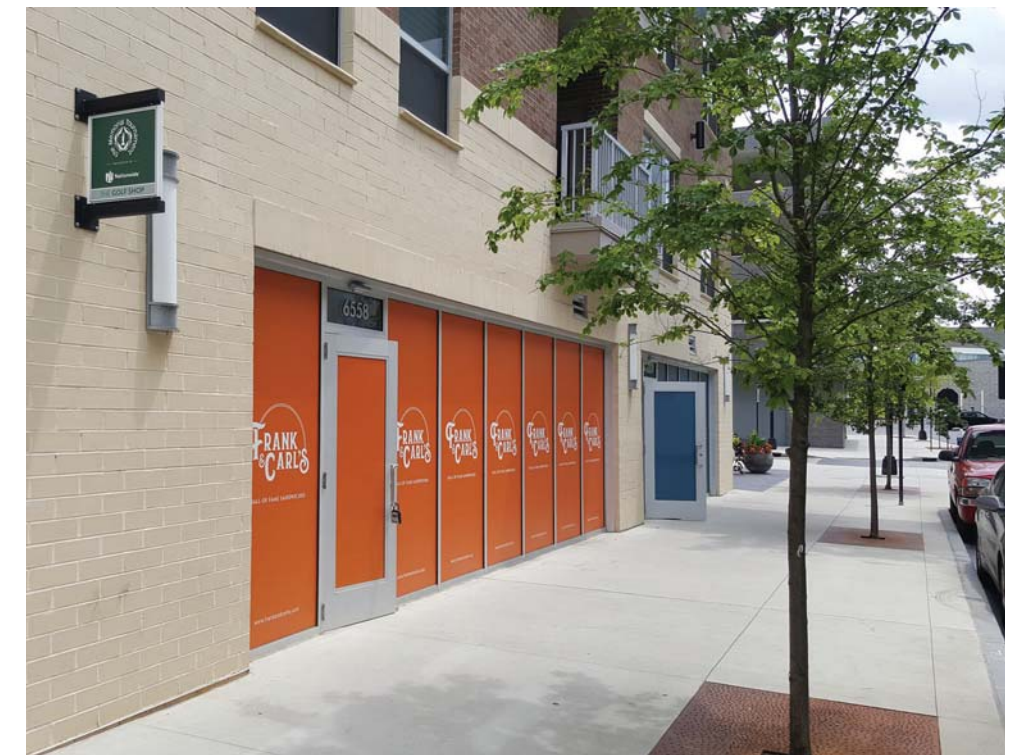




STOREFRONT LOOKING NORTH EAST



STOREFRONT LOOKING EAST



STOREFRONT LOOING SOUTH



STOREFRONT LOOKING EAST



INTERIOR LOOKING WEST



BRIDGE LOOKING SOUTH

EXISTING CONDITIONS PHOTOS

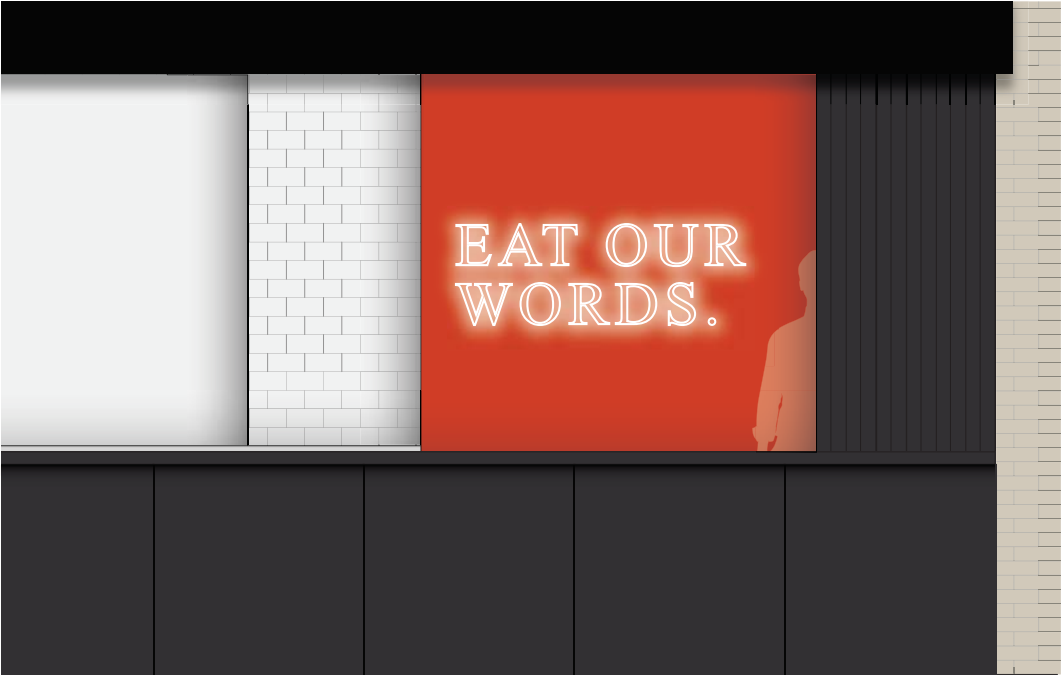
26 August 19



Accordion windows, closed. Black and orange window film words. Black metal paneling under the nano wall, to be same color as window frames.



Square butcher block sign with etched/burned logo Illuminated. Branded metal anchor to match black metal panel under nano wall.



Accordion windows, open.



Black metal panel under window reference



Dimensional Sign reference



Window film reference