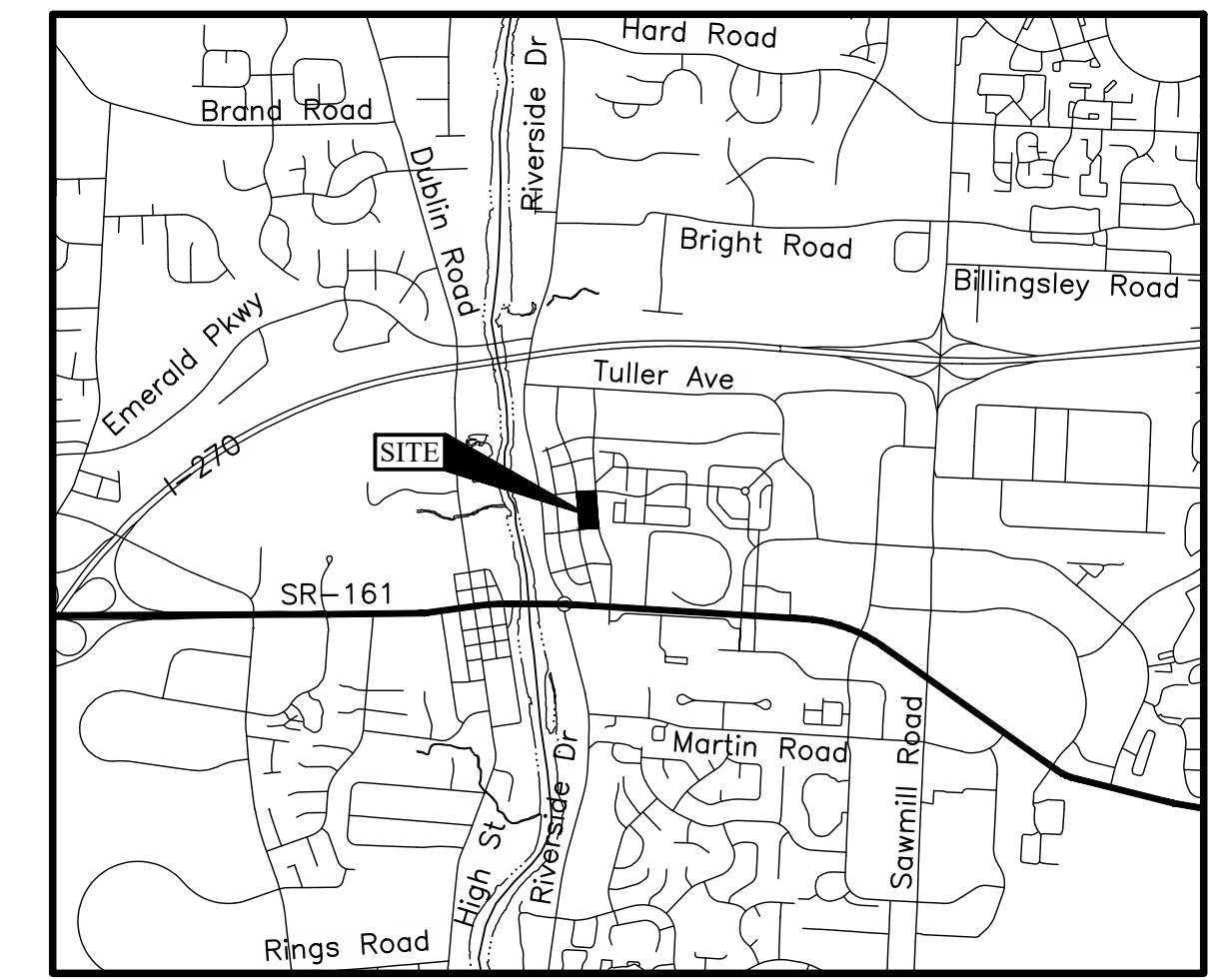


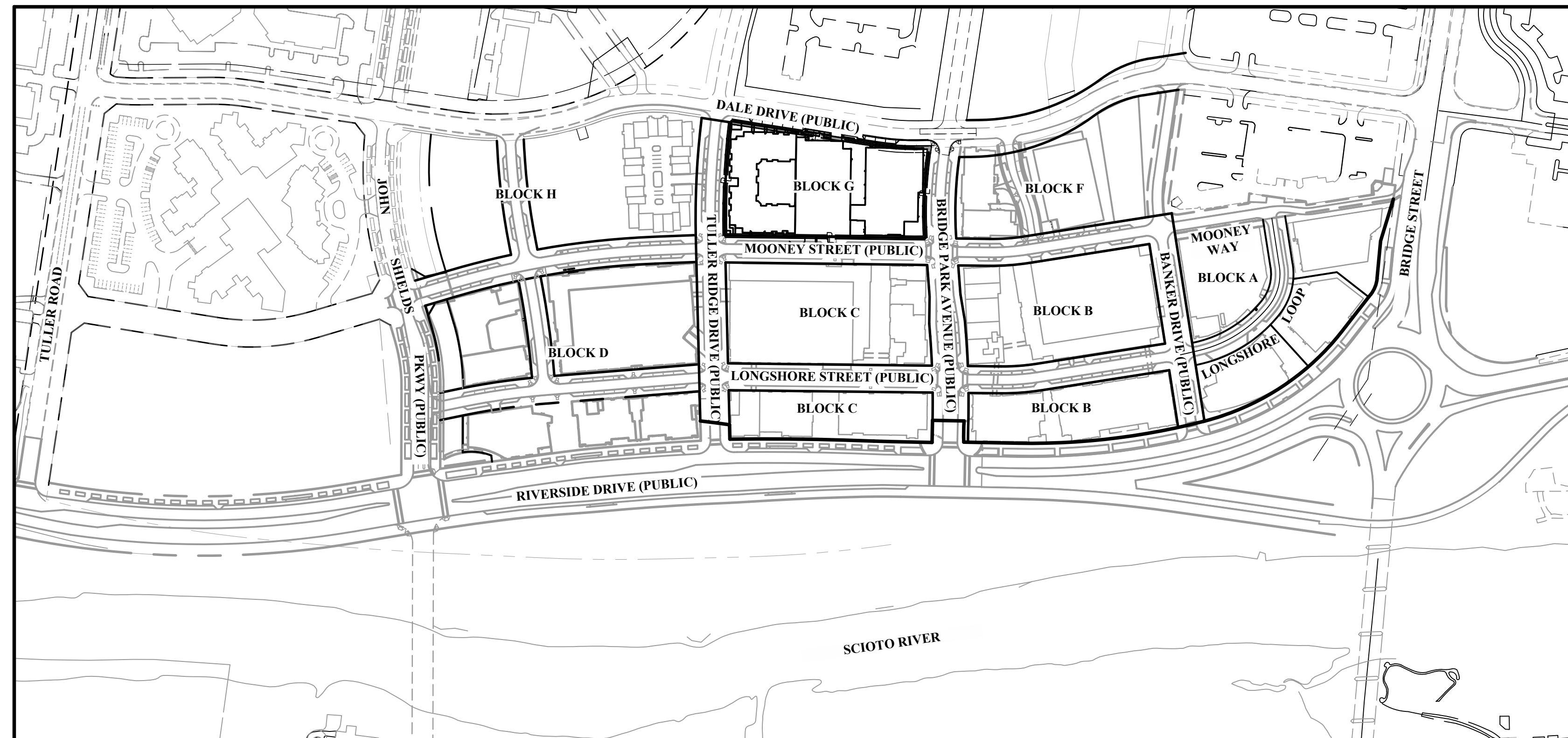
CITY OF DUBLIN, FRANKLIN COUNTY, OHIO FINAL DEVELOPMENT PLAN FOR **BRIDGE PARK BLOCK G** 2021



LOCATION MAP
Not to Scale

SHEET INDEX

| | |
|----------------------------------|------|
| Title Sheet | C101 |
| Existing Conditions Plan | C102 |
| Overall Site Plan & Parking Plan | C103 |
| Site Plan | C104 |
| Dog Park - Site Plan | C105 |
| Grading & Utility Plan | C106 |
| Open Area Plan | C107 |
| Typical Sections | C108 |



INDEX MAP
Scale: 1" = 200'

List of Property Owners within 150' of Property

| PID# | Owner | Address |
|------------|--|----------------------------|
| 273-013080 | CHY Hotel LLC | Mooney Street |
| 273-012659 | BP CBlock 3&4 LLC | 6636 Longshore Street |
| 273-012669 | Bridge Park BBlock LLC | 6604-6608 Longshore Street |
| 273-012704 | Bridge Park East Section 1 | 6650 Longshore Street |
| 273-012705 | Bridge Park Block C 3&4 Condominium | 6645 Mooney Street |
| 273-013051 | Bridge Park DBlock Commercial Investments, LLC | 6736 Longshore Street |
| 273-012751 | Bridge Park HBlock LLC | Mooney Street |
| 273-009079 | Sycamore Ridge Gardens LLC | 6700 Sycamore Ridge Lane |
| 273-009096 | Sycamore Ridge Gardens LLC | 6700 Tuller Ridge Drive |
| 273-009150 | Sycamore Ridge Gardens LLC | 6700 Tuller Ridge Drive |
| 273-012911 | BP Extension I Acquisition LLC | Dale Drive |

Front Property Line Coverage

| | |
|----|-----|
| G1 | 93% |
| G2 | 90% |
| G3 | 91% |

| | Lot Size (Acre) | Existing Impervious Area (Acre) | Proposed Impervious Area (Acres) | Total Impervious Area (Acres) | Proposed Semi Impervious (Acre) | Existing Percent Impervious | Proposed Percent Impervious | Proposed Percent Semi Impervious |
|--------------|-----------------|---------------------------------|----------------------------------|-------------------------------|---------------------------------|-----------------------------|-----------------------------|----------------------------------|
| Block G | 2.29 | 0.08 | 2.00 | 2.08 | 0.02 | 3.5% | 90% | 1.0% |
| Dog Park Lot | 0.39 | 0.19 | 0.11 | 0.11 | 0.16 | 49% | 28% | 41% |
| Total | 2.68 | 0.27 | 2.11 | 2.19 | 0.18 | 10% | 82% | 6.7% |

| Street Families | | |
|-----------------------------------|---------------------------|-----------------------------------|
| Riverside Drive (Public-PFS) | Corridor Connector Street | Varies 114 ft-138 ft Right of Way |
| S.R. 161 (Public-PFS) | Corridor Connector Street | |
| John Shields Parkway (Public-PFS) | District Connector Street | Varies 76 ft-87 ft Right of Way |
| Dale Drive (Public-PFS) | District Connector Street | Varies 60 ft-65 ft Right of Way |
| Bridge Park Avenue (Public-PFS) | District Connector Street | Varies 69 ft-80 ft Right of Way |
| Tuller Ridge Drive (Public) | Neighborhood Street | 65 ft Right of Way |
| Mooney Street (Public) | Neighborhood Street | 60 ft Right of Way |
| Banker Drive (Public) | Neighborhood Street | 60 ft Right of Way |
| Longshore Street (Public) | Neighborhood Street | 60 ft Right of Way |
| Longshore Loop (Private) | Service Street | Public Access Easement |
| Mooney Way (Private) | Service Street | Public Access Easement |

| Block Dimensions | | | | | | | |
|-------------------|-------|-------|------|------|------------------------|-----------------|---------------------------|
| Side Length (ft.) | | | | | | | |
| | North | South | East | West | Allowable Length (ft.) | Perimeter (ft.) | Allowable Perimeter (ft.) |
| Block G | 253 | 203 | 449 | 447 | 500 | 1352 | 1750 |

DEVELOPER/OWNER

Crawford Haying Development Partners
6640 Riverside Drive, Suite 500
Dublin, Ohio 43017
Tel: (614) 335-2020
Fax: (614) 850-9191
Nelson Yoder

ENGINEER

EMH&T Inc.
5500 New Albany Road
Columbus, Ohio 43054
Tel: (614) 775-4500
Fax: (614) 775-4800
James Pelletier

ZONING

Zoned BSD Scioto River
Neighborhood District

LANDSCAPE ARCHITECT

MKSK
462 South Ludlow Alley
Columbus, Ohio 43215
Tel: (614) 621-2796
Fax: (614) 621-3604
John Woods

PROJECT DESCRIPTION

This project is a proposal for development on approximately 2.29 acres, for a mixed-use development located on the east side of Mooney Street, south of Tuller Ridge Drive, west of Dale Drive, and north of Bridge Park Avenue.

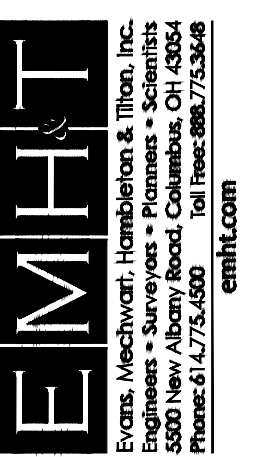
REVISIONS
MARK DATE DESCRIPTION

CRAWFORD HOYING
development

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN

**BRIDGE PARK
BLOCK G**

TITLE SHEET



DATE

March 8, 2021

SCALE

As Noted

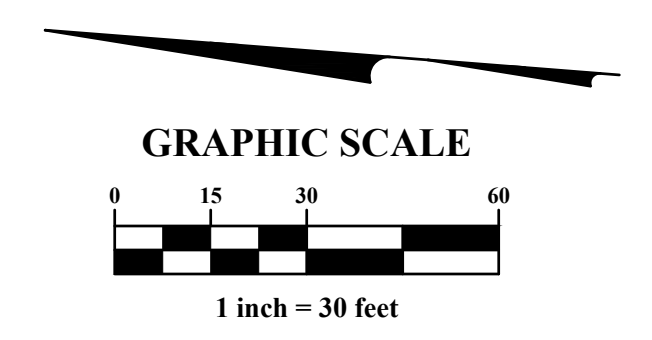
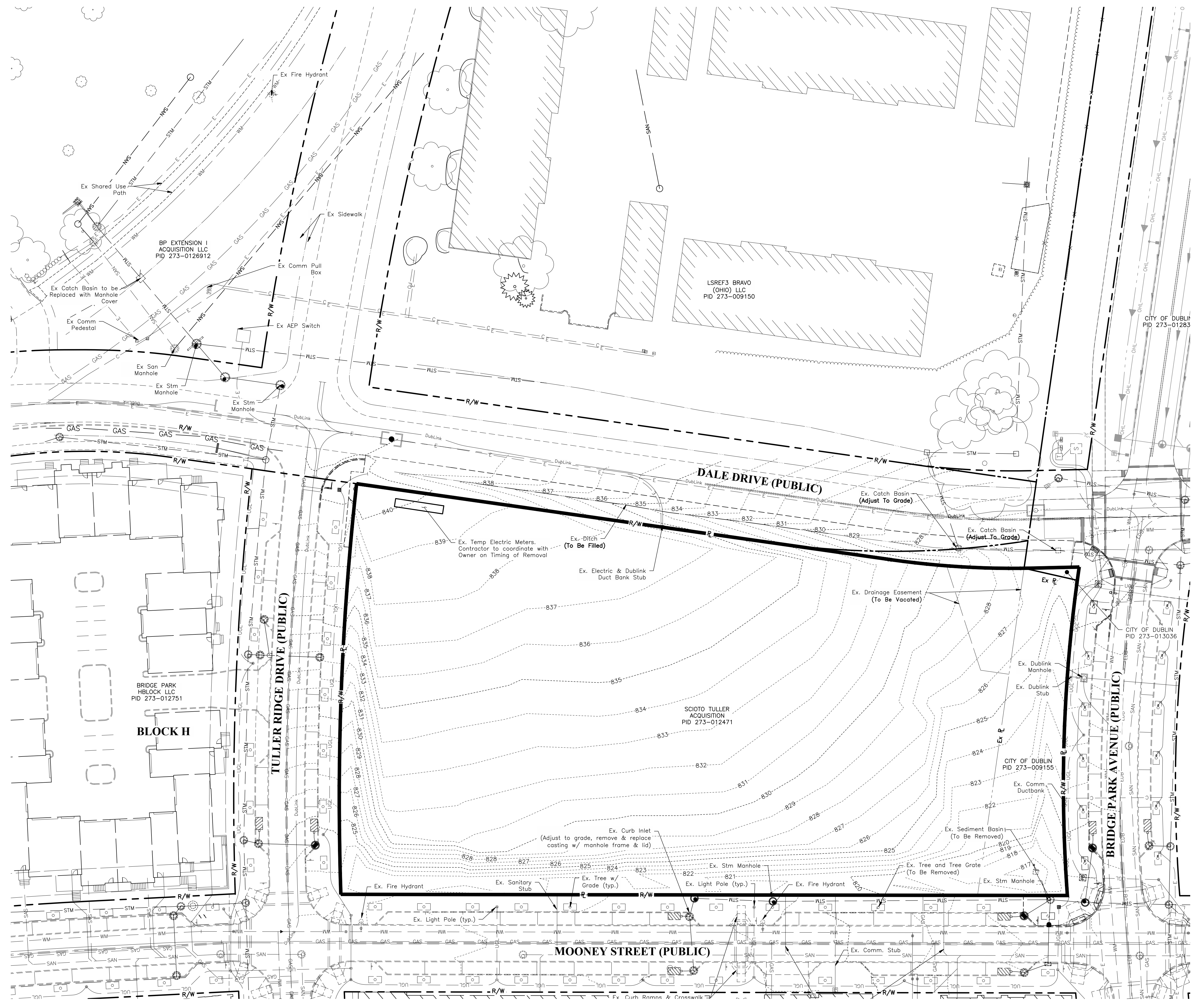
JOB NO.

2016-0575

SHEET

C101

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 (No Xrefs)



LEGEND

| | |
|--|-------------------------------|
| | Existing Watermain |
| | Existing Storm Sewer |
| | Existing Sanitary Sewer |
| | Existing Gas Main |
| | Existing Overhead Electric |
| | Existing Underground Electric |
| | Existing Communication |
| | Existing Underground Lighting |
| | Existing DubLink |

| MARK | DATE | DESCRIPTION |
|------|------|-------------|
| | | |
| | | |
| | | |

CRAWFORD HOYING
 development

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
 FINAL DEVELOPMENT PLAN
BRIDGE PARK
 FOR
BLOCK G
 EXISTING CONDITIONS PLAN

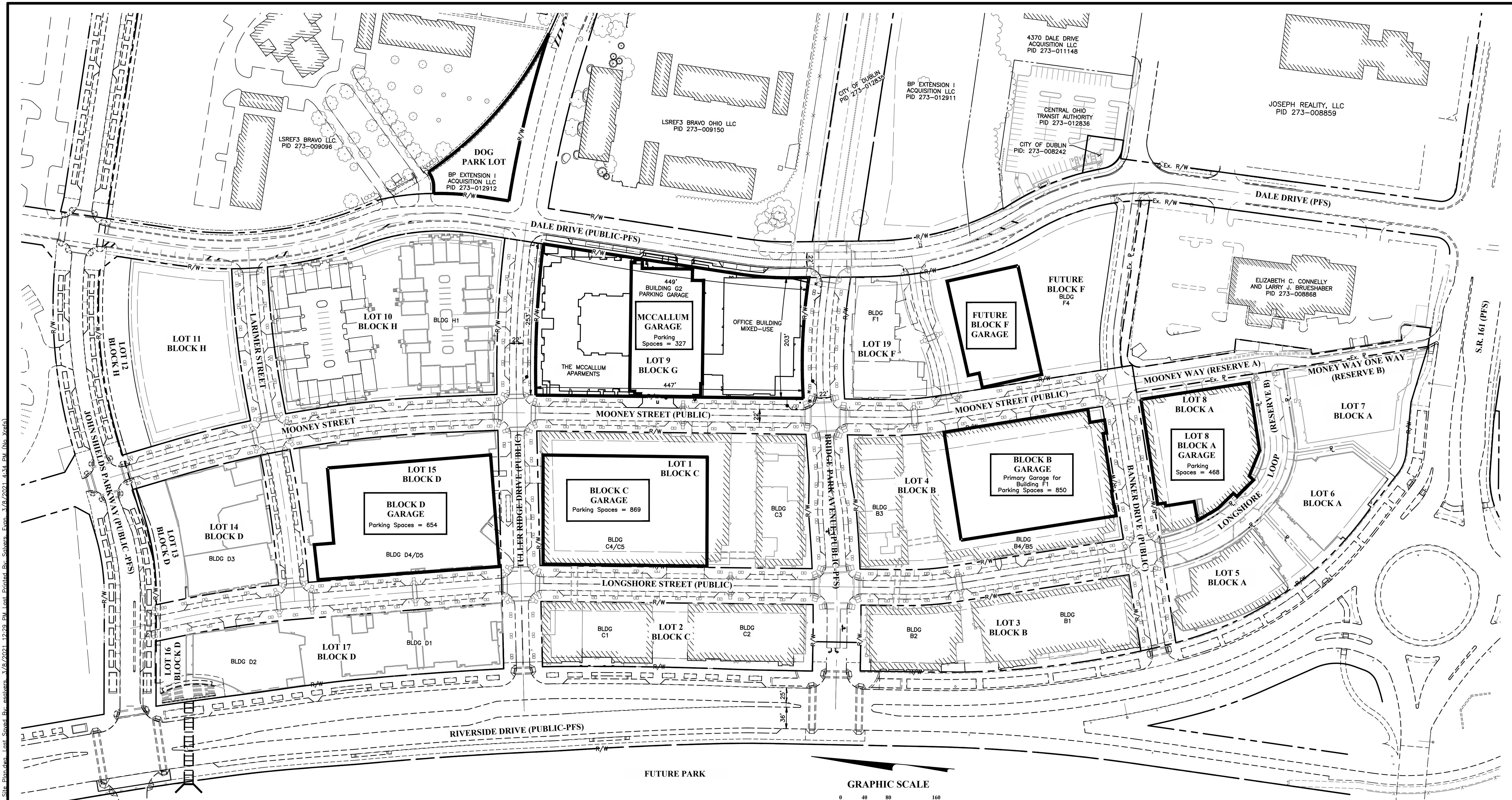
EMHT
 Engineers • Surveyors • Planners • Scientists
 5000 New Albany Road, Columbus, OH 43264
 Phone: 614.775.5500 Fax: 614.775.5505
emht.com

DATE
March 8, 2021

SCALE
1" = 30'

JOB NO.
2016-0575

SHEET
C102



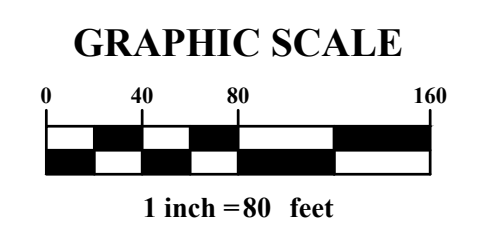
| Residential Required Parking | | | | |
|------------------------------|------|------|------|-------|
| Building | 3 BR | 2 BR | 1 BR | Total |
| G3 | 8 | 22 | 56 | 86 |
| Min. Required Parking/Unit | 2 | 1.5 | 1 | 4.5 |
| Max Allowable Parking/Unit | 2 | 2 | 2 | 6 |
| Min. Parking Required | 16 | 23 | 77 | 116 |
| Max Parking Allowed | 16 | 30 | 154 | 200 |
| Bicycle Parking Required | | | | 43 |

Note: Total number of Existing Structural Parking Spaces = 2,841
(Excludes Blocks G and F)

| Commercial Required Parking | | | | |
|-----------------------------|------------|-----------|-----------|-------|
| Building | Restaurant | Office | Retail | Total |
| G1 | 5,748 | 98,537 | 13,886 | |
| Min. Required Parking | 10/1000 SF | 3/1000 SF | 3/1000 SF | |
| Max Allowable | 125% | 125% | 125% | |
| Min. Parking Required | 58 | 296 | 42 | 396 |
| Max Parking Allowed | 73 | 370 | 53 | 496 |
| Bicycle Parking Required | | | | 40 |

| Parking Provided | | | |
|---------------------------------|-----------|-------------------|-------|
| | On Street | Parking Structure | Total |
| Block G | 33 | - | |
| Building G2 Garage | - | 327 | |
| *Block C Garage | - | # | |
| Total | 0 | 0 | |
| Total Parking Provided | | | # |
| Minimum Parking Required | | | 512 |
| Max Parking Allowed | | | 696 |
| Bicycle Parking Required | | | 83 |
| Bicycle Parking Provided | | | 83 |
| ADA Accessible Parking Required | | | 9 |
| ADA Accessible Parking Provided | | | 9 |
| Loading Spaces Required | | | 3 |
| Loading Spaces Provided | | | 3 |

Note #: See Attached UI Shared Parking Analysis of proposed improvements and existing Block C parking for clarifications on total parking provided



| MARK | DATE | DESCRIPTION |
|------|------|-------------|
| | | |
| | | |

CRAWFORD HOYING
development

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN
**BRIDGE PARK
BLOCK G**
OVERALL SITE PLAN & PARKING PLAN

EMHT
ENGINEERS & ARCHITECTS
5000 New Albany Road, Columbus, OH 43264
Phone: 614.775.5500 Fax: 614.775.5501 emht.com

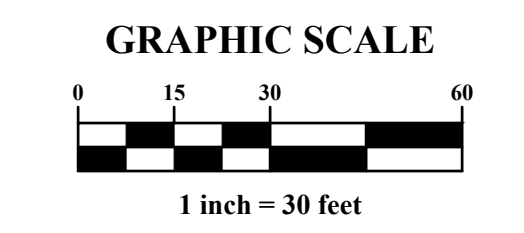
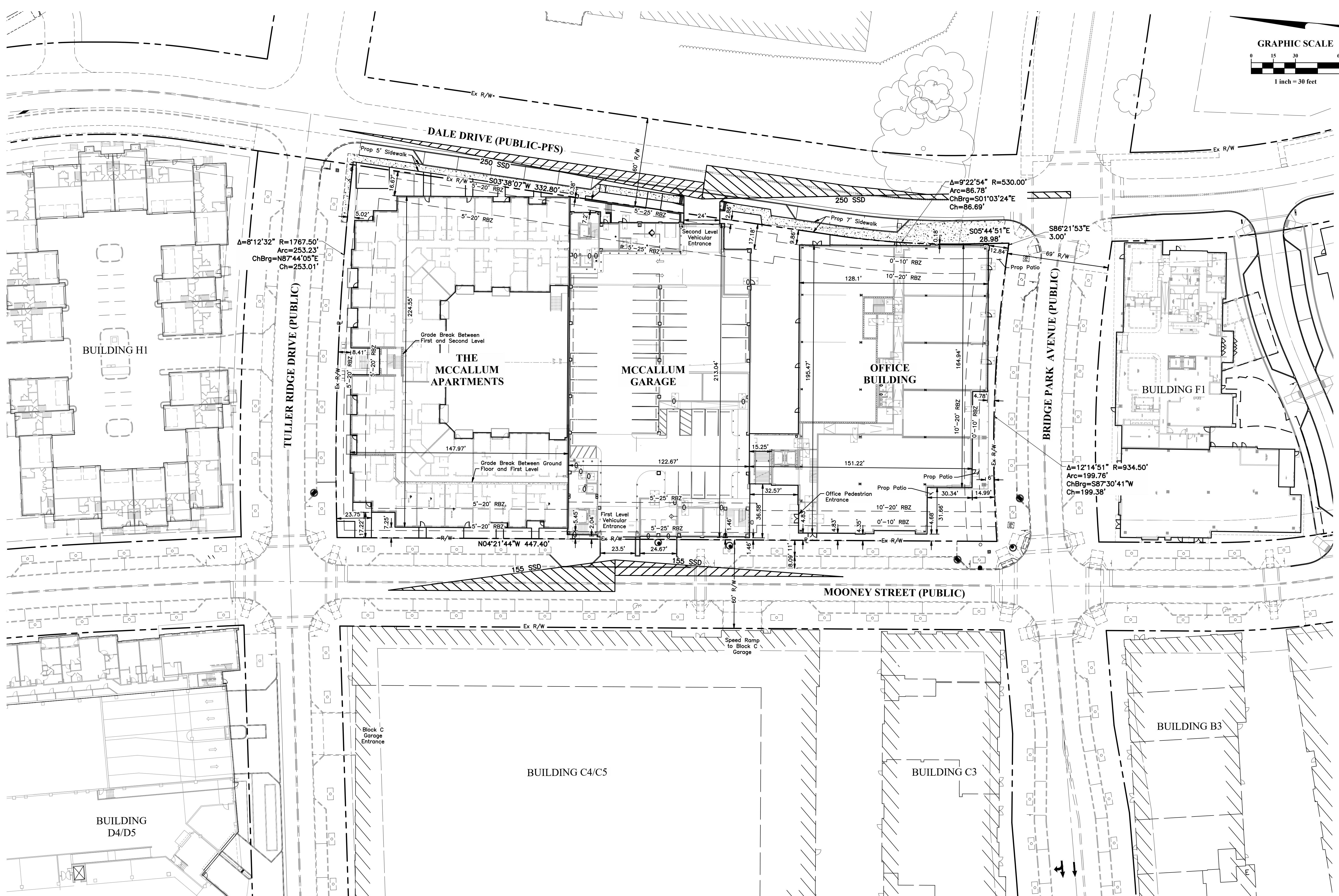
DATE
March 8, 2021

SCALE
1" = 80'

JOB NO.
2016-0575

SHEET
C103

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| MARK | DATE | DESCRIPTION |
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| | | |
| | | |
| | | |

CRAWFORD HOYING
development

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
FINAL DEVELOPMENT PLAN
FOR
BRIDGE PARK BLOCK
SITE PLAN

EMHT
EMHT Engineering & Architecture, Inc.
Engineers • Surveyors • Planners • Scientists
5000 New Albany Road, Columbus, OH 43264
Phone: 614.757.5500 Fax: 614.757.5500
emht.com

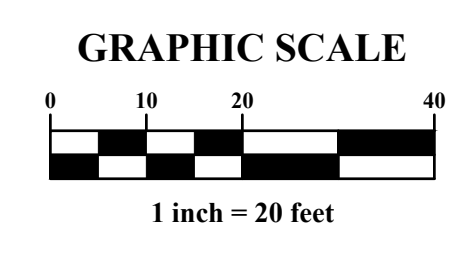
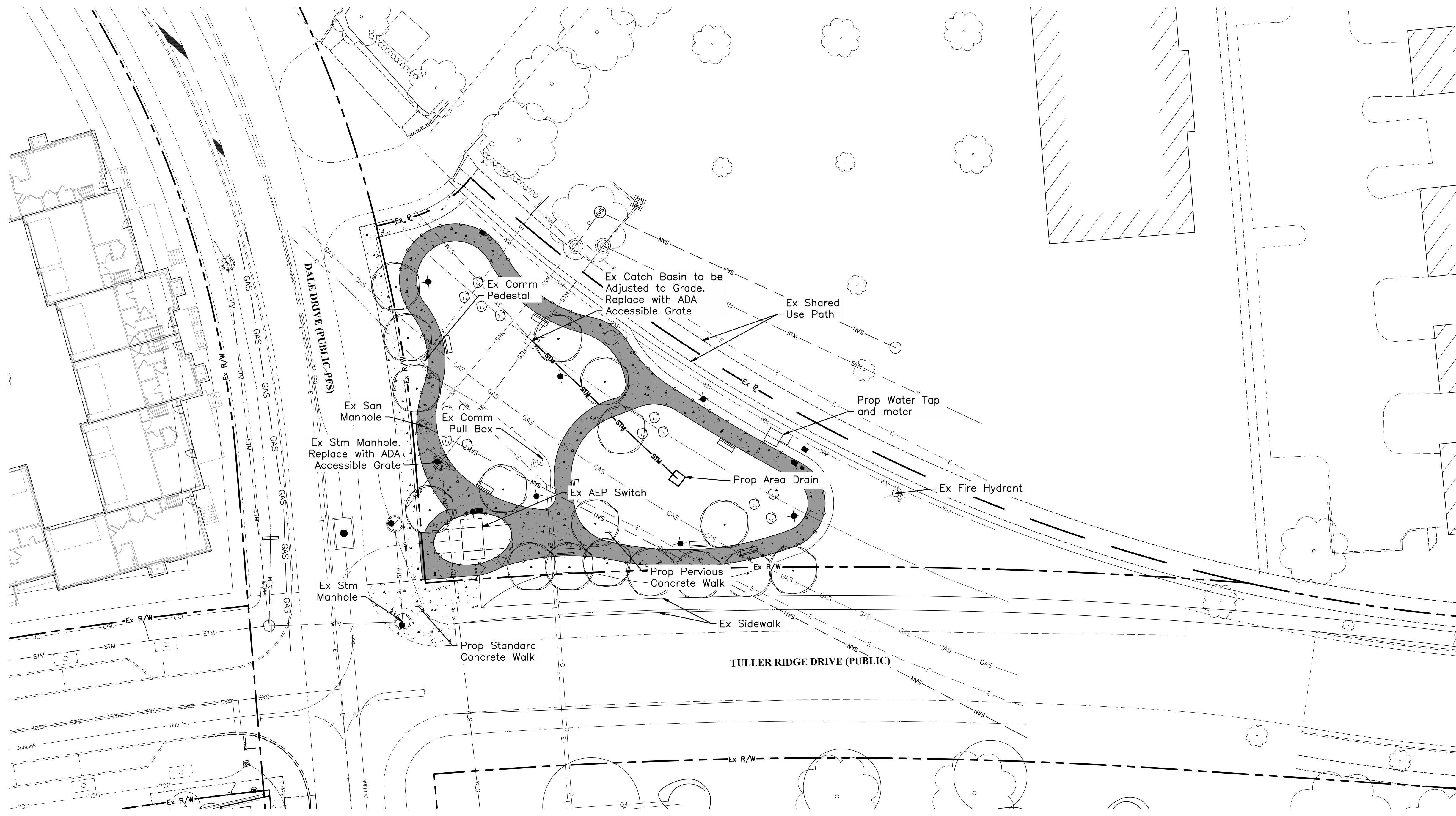
DATE
March 8, 2021

SCALE
1" = 30'

JOB NO.
2016-0575

SHEET
C104

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| MARK | DATE | DESCRIPTION |
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CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
 FINAL DEVELOPMENT PLAN
 FOR
BRIDGE PARK BLOCK G
 DOG PARK - SITE PLAN

EMHT
 ENGINEERS, ARCHITECTS & DESIGNERS
 ENGINEERS • SURVEYORS • PLANNERS • SCIENTISTS
 5000 New Albany Road, Columbus, OH 43254
 Phone: 614.757.5500 Fax: 614.757.5505 emht.com

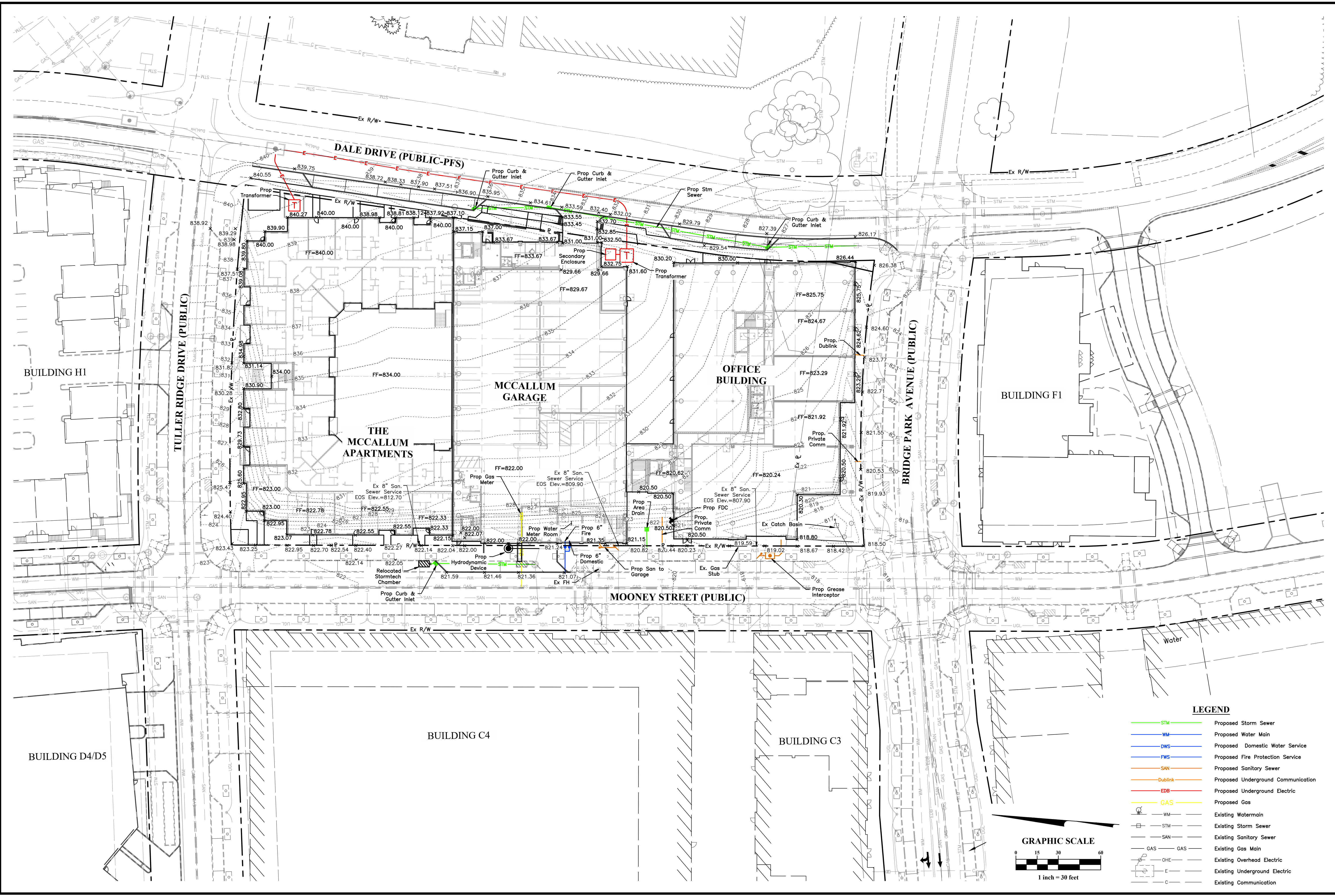
DATE
March 8, 2021

SCALE
1" = 20'

JOB NO.
2016-0575

SHEET
C105

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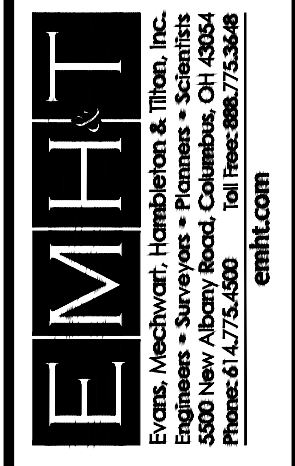
LEGEND

- STM Proposed Storm Sewer
- WM Proposed Water Main
- DWS Proposed Domestic Water Service
- FWS Proposed Fire Protection Service
- SAN Proposed Sanitary Sewer
- EDB Proposed Underground Electric
- GAS Proposed Gas
- WM Existing Watermain
- STM Existing Storm Sewer
- SAN Existing Sanitary Sewer
- GAS Existing Gas Main
- OHE Existing Overhead Electric
- E Existing Underground Electric
- C Existing Communication

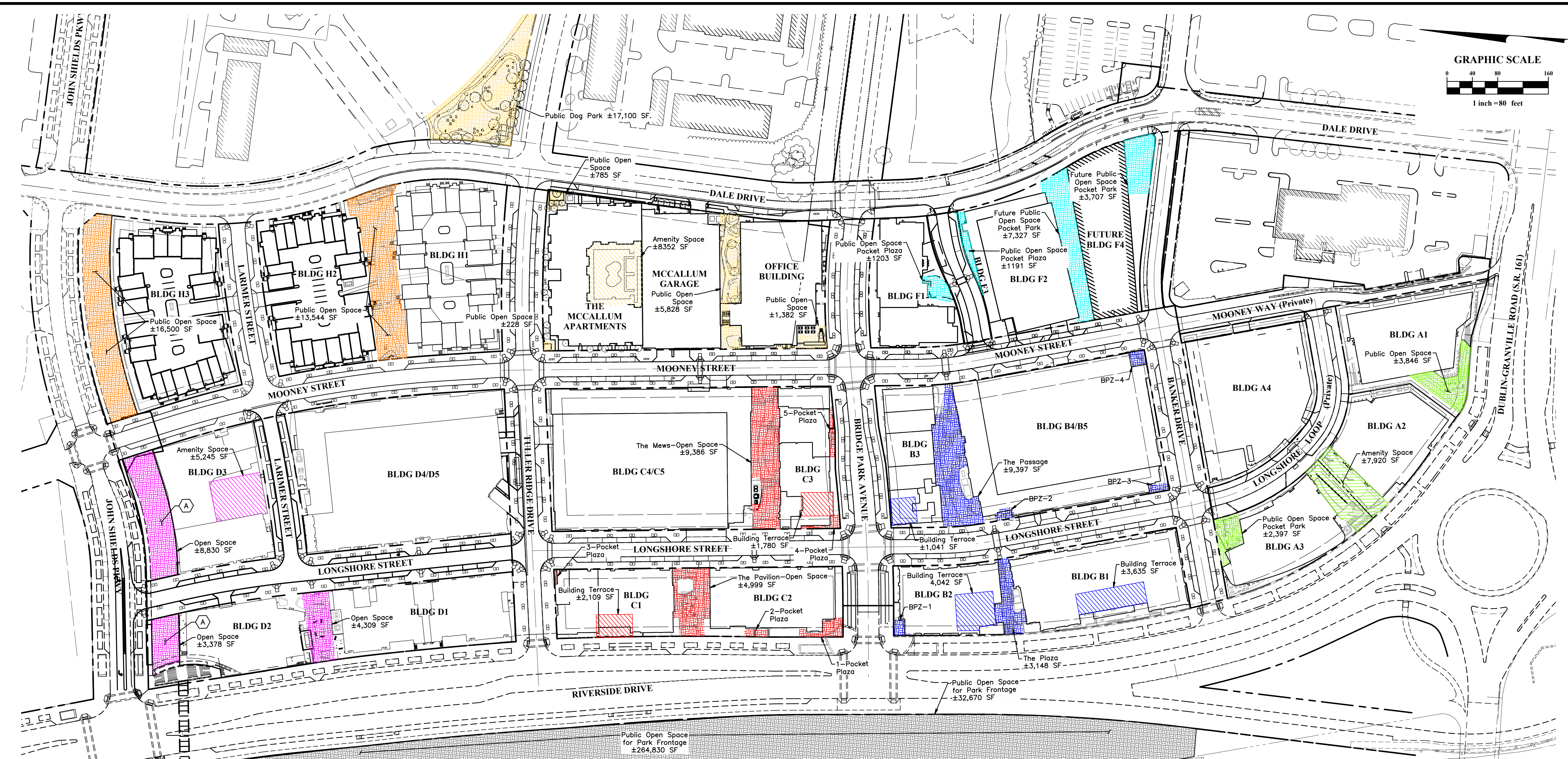
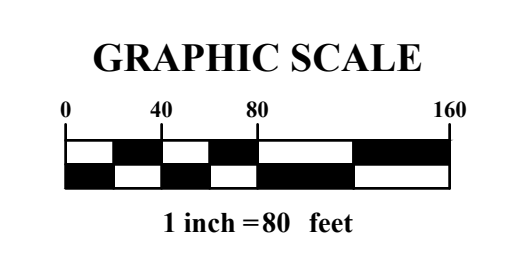
| MARK | DATE | DESCRIPTION |
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CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
BASIC PLAN
BRIDGE PARK BLOCK G
GRADING & UTILITY PLAN



| | |
|---------|---------------|
| DATE | March 8, 2021 |
| SCALE | 1" = 30' |
| JOB NO. | 2016-0575 |
| SHEET | C106 |



| MARK | DATE | DESCRIPTION |
|------|------|-------------|
| | | |
| | | |

CRAWFORD HOYING
development

CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
BASIC PLAN
BRIDGE PARK BLOCK G
OPEN AREA PLAN

EMHT
ENGINEERS ARCHITECTS & DESIGNERS
5800 New Albany Road, Columbus, OH 43244
Phone: 614.775.5500 Fax: 614.775.5501
emht.com

DATE
March 8, 2021

SCALE
1" = 80'

JOB NO.
2016-0575

SHEET
C107

| BLOCK D | |
|--------------------------------|--|
| Residential Required Area | Required 186 units x 200 sf/unit =37,200 sf =0.85 Acres |
| Commercial Required Area | 194,703 sf / 50 sf =3,894 sf =0.09 Acres |
| Total Required Open Space Area | ±0.94 Acres |
| Public Open Space (On-Site) | ±0.38 Acres x 100% = 0.38 Acres |
| Public Open Space (Off-Site) | ±0.56 Acres x 100% = 0.56 Acres |
| Amenity Space | ±0.12 Acres x 0% = 0 Acres |
| Total Provided Open Space Area | ±0.94 Acres |

A The adjacent John Shields Parkway greenway is counted towards the on-site Public Open Space for Block D. It is the design teams understanding the greenway will be developed as part of a Future City Project.

| BLOCK H | |
|---------------------------|---|
| Residential Required Area | Required 64 units x 200 sf/unit =12,800 sf =0.29 Acres |
| Public Open Space | Provided ±30,044 sf =0.68 Acres |

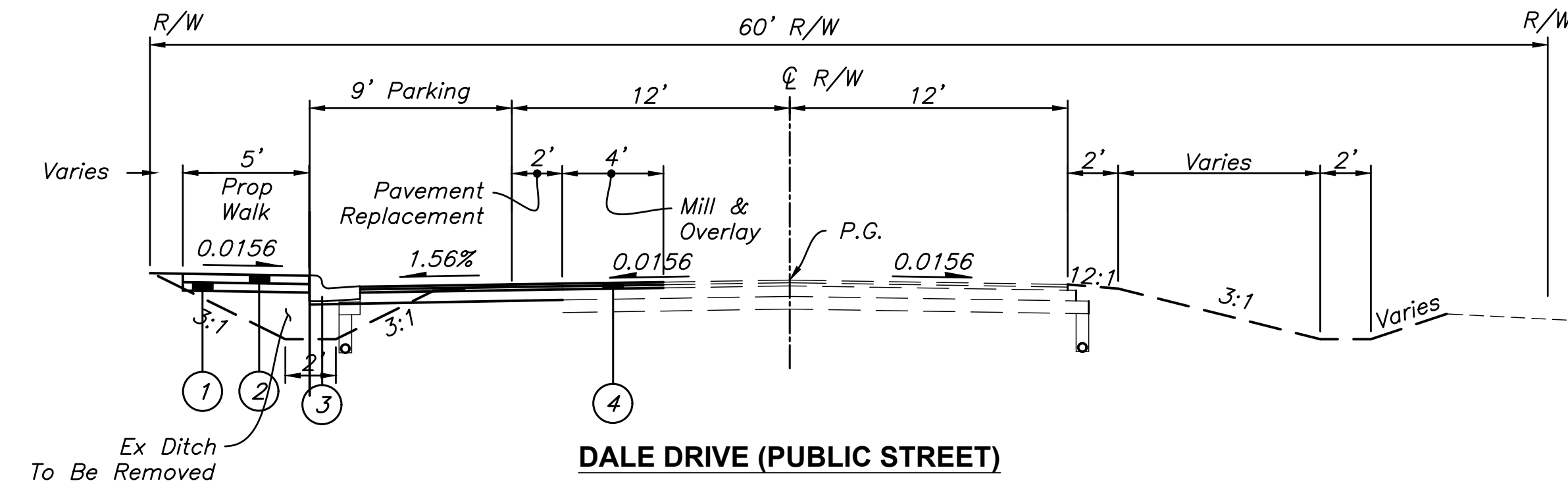
| BLOCK C | |
|--------------------------------|--|
| Residential Required Area | Required 153 units x 200 sf/unit =30,600 sf =0.70 Acres |
| Commercial Required Area | 141,813 sf / 50 sf =2,836 sf =0.07 Acres |
| Total Required Open Space Area | ±0.77 Acres |
| Public Open Space (On-Site) | ±0.40 Acres x 100% = 0.40 Acres |
| Public Open Space (Off-Site) | ±0.65 Acres x 100% = 0.65 Acres |
| Amenity Space | ±0.09 Acres x 0% = 0 Acres |
| Total Provided Open Space Area | ±1.05 Acres |

| BLOCK G | |
|---|---|
| Residential Required Area | Required 86 units x 200 sf/unit =17,200 sf =0.39 Acres |
| Commercial Required Area | 118,171 sf / 50 sf =2,364 sf =0.05 Acres |
| Total Required Open Space Area | ±0.44 Acres |
| Public Open Space (On-Site) | ±0.19 Acres |
| Public Open Space (Dog Park) | ±0.39 Acres |
| Amenity Space (Not Counted Toward Open Space Requirement) | ±0.19 Acres |
| Total Provided Public Open Space | ±0.58 Acres |

| BLOCK F | |
|--------------------------------|--|
| Commercial Required Area | Required 198,814 sf / 50 sf =3,977 sf =0.09 Acres |
| Total Required Open Space Area | ±0.09 Acres |
| Public Open Space (On-Site) | ±0.31 Acres |
| Total Provided Open Space Area | ±0.31 Acres |

| BLOCK B | |
|--------------------------------|--|
| Residential Required Area | Required 228 units x 200 sf/unit =45,600 sf =1.05 Acres |
| Commercial Required Area | 98,144 sf / 50 sf =1,963 sf =0.05 Acres |
| Total Required Open Space Area | ±1.08 Acres |
| Public Open Space (On-Site) | ±0.33 Acres x 100% = 0.33 Acres |
| Public Open Space (Off-Site) | ±0.75 Acres x 100% = 0.75 Acres |
| Amenity Space | ±0.20 Acres x 0% = 0 Acres |
| Total Provided Open Space Area | ±1.08 Acres |

| BLOCK A | |
|--------------------------------|--|
| Commercial Required Area | Required Hotel 107,043 Event Center 19,104 Retail-Garage 2,334 Office 78,134 |
| Total Required Open Space Area | Total 206,615 sf / 50 sf =4,132 sf |
| Total Required Open Space Area | ±0.095 Acres |
| Public Open Space (On-site) | ±6,243 sf =0.14 Acres |
| Amenity Space | ±7,920 sf |
| Total Provided Open Space Area | ±0.14 Acres |

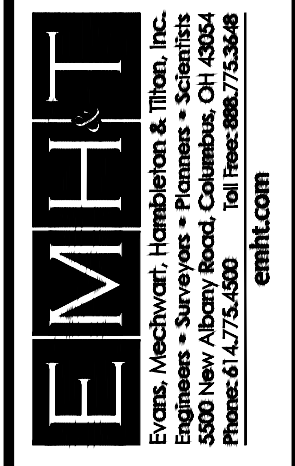


- LEGEND**
- ① Item 304 - 4" Aggregate Base
 - ② Item 608 - 4" Concrete Walk
 - ③ Item 609 - Curb & Gutter
 - ④ Item 254 - Mill & Overlay

| MARK | DATE | DESCRIPTION |
|------|------|-------------|
| | | |
| | | |



CITY OF DUBLIN, FRANKLIN COUNTY, OHIO
 FOR
**BRIDGE PARK
 BLOCK G**
 TYPICAL SECTIONS



DATE
 March 8, 2021

SCALE
 None

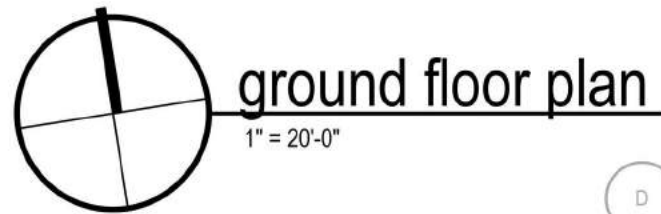
JOB NO.
 2016-0575

SHEET
C108

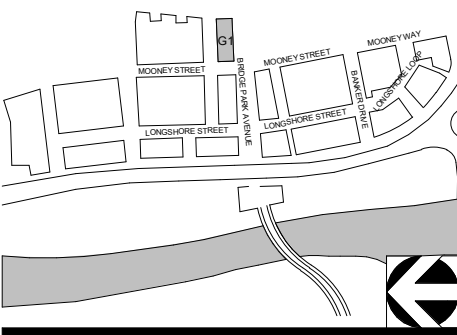
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BUILDING AREA SUMMARY:

| FLOOR LEVEL | SQUARE FOOTAGE |
|----------------------|----------------|
| GROUND FLOOR: | 17,427 SF |
| FIRST FLOOR: | 7,402 SF |
| SECOND FLOOR: | 24,638 SF |
| THIRD FLOOR: | 24,633 SF |
| FOURTH FLOOR: | 24,633 SF |
| FIFTH FLOOR: | 24,633 SF |
| TOTAL BUILDING AREA: | 123,366 SF |



KEY PLAN



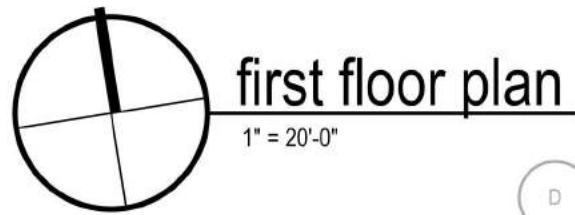
G-1 OFFICE BUILDING

03-08-2021

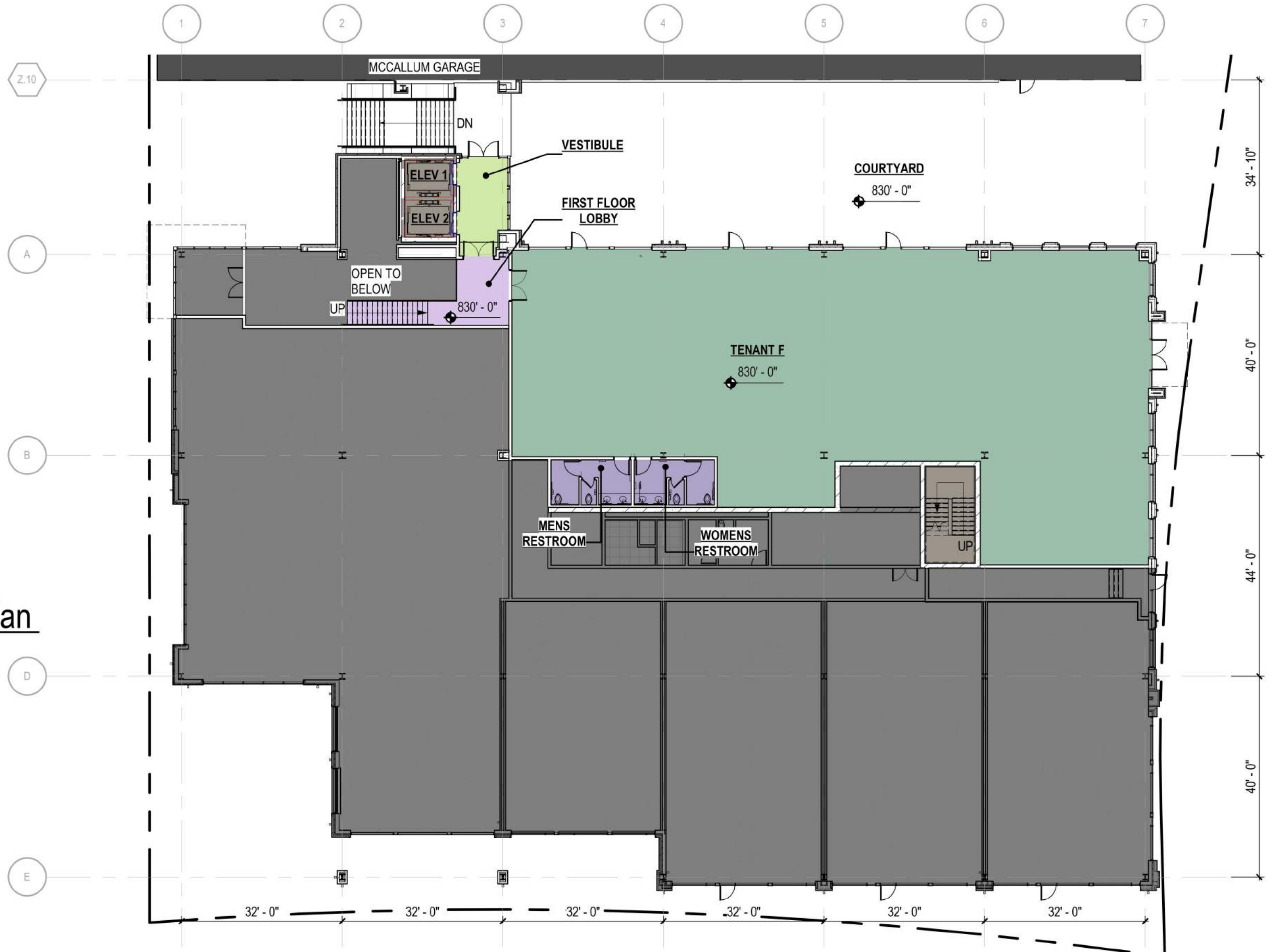
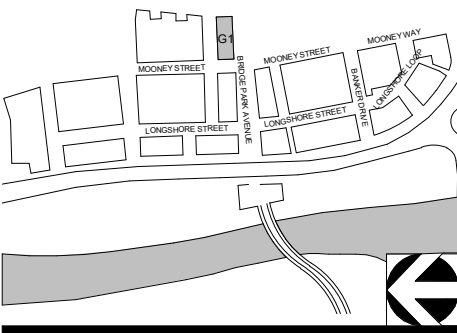
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BUILDING AREA SUMMARY:

| FLOOR LEVEL | SQUARE FOOTAGE |
|----------------------|----------------|
| GROUND FLOOR: | 17,427 SF |
| FIRST FLOOR: | 7,402 SF |
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| FOURTH FLOOR: | 24,633 SF |
| FIFTH FLOOR: | 24,633 SF |
| TOTAL BUILDING AREA: | 123,366 SF |



KEY PLAN



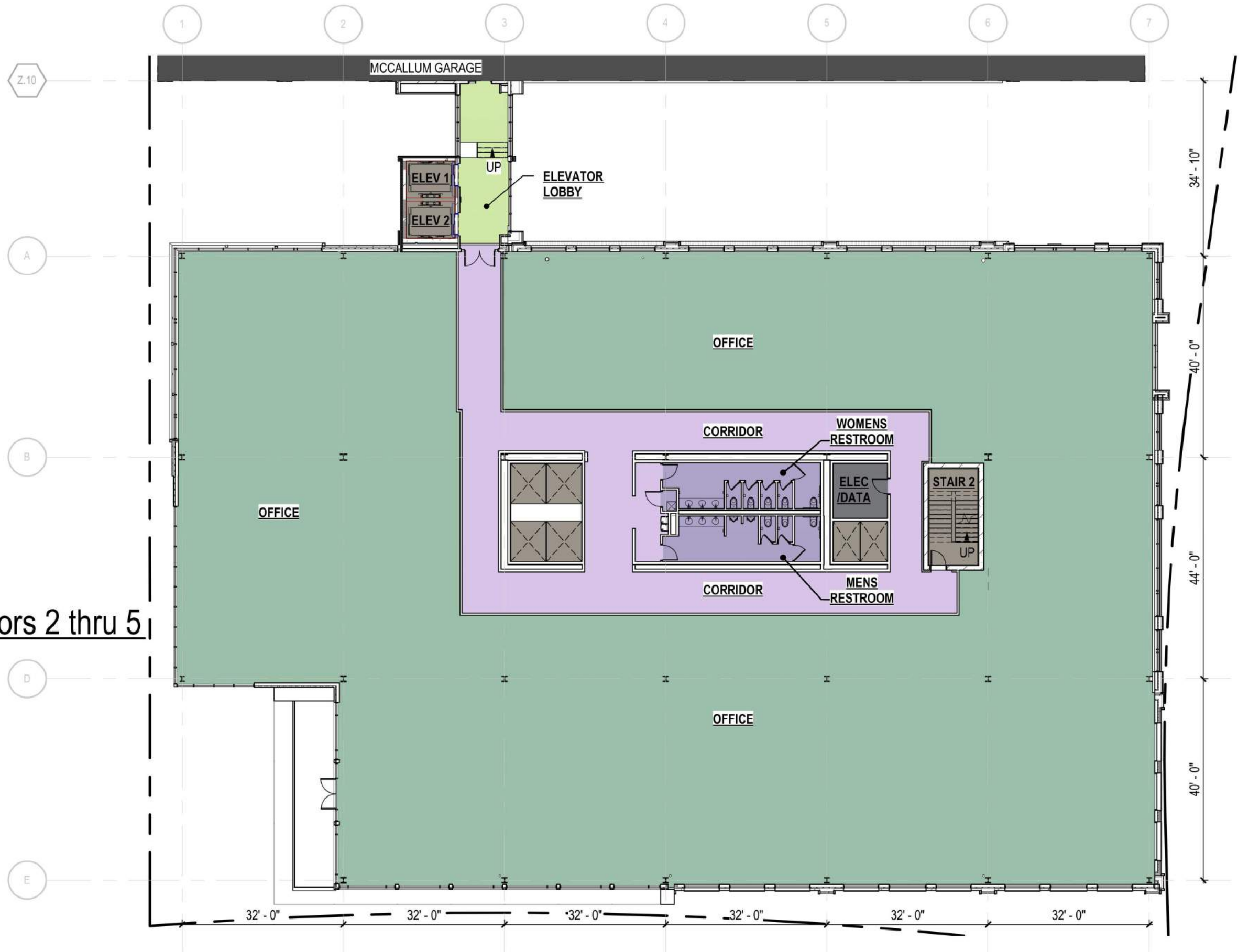
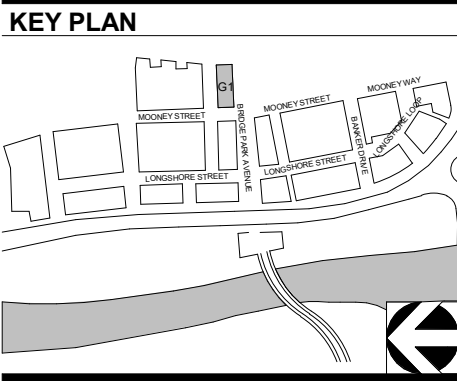
G-1 OFFICE BUILDING

03-08-2021

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BUILDING AREA SUMMARY:

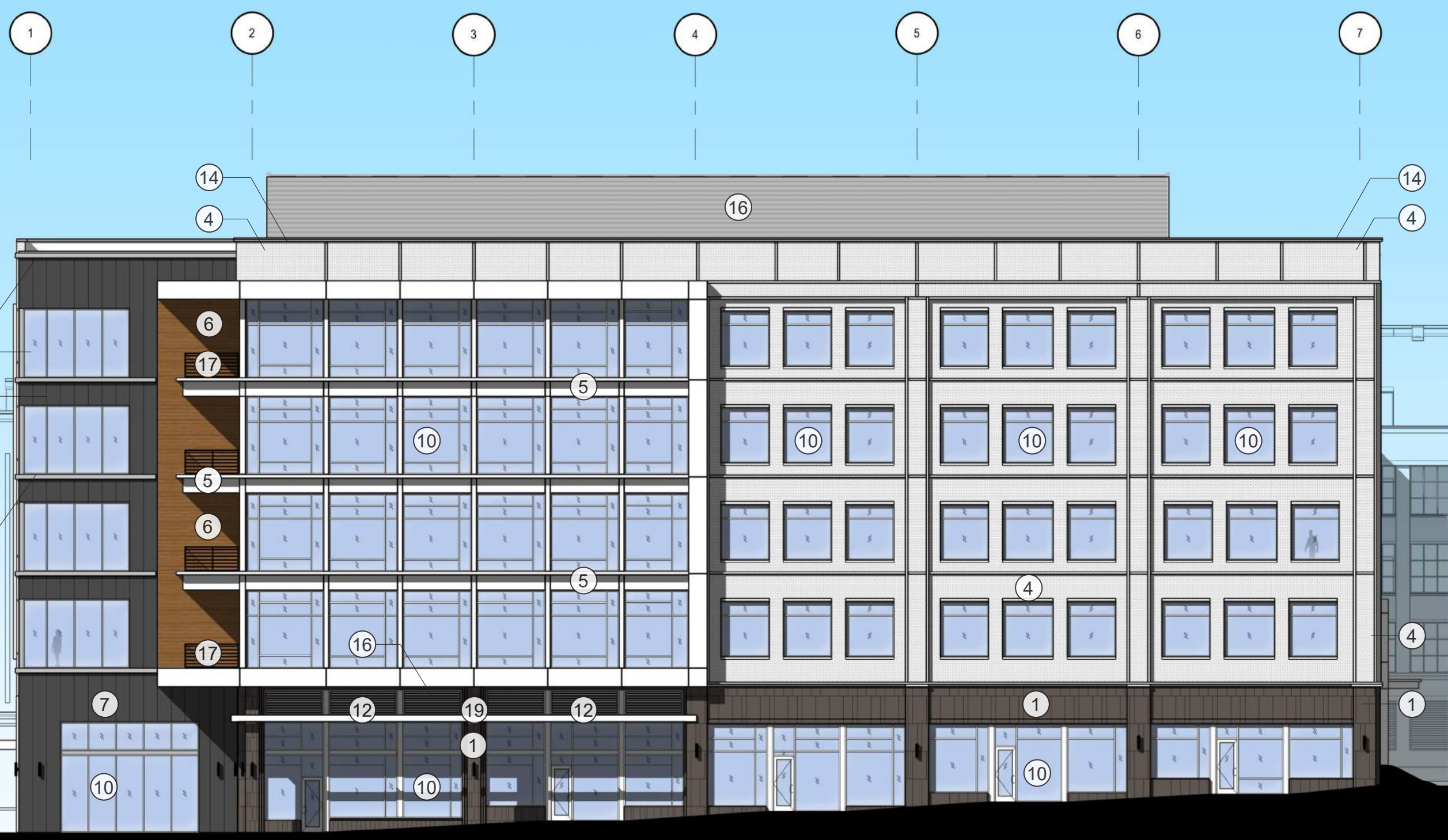
| FLOOR LEVEL | SQUARE FOOTAGE |
|----------------------|----------------|
| GROUND FLOOR: | 17,427 SF |
| FIRST FLOOR: | 7,402 SF |
| SECOND FLOOR: | 24,638 SF |
| THIRD FLOOR: | 24,633 SF |
| FOURTH FLOOR: | 24,633 SF |
| FIFTH FLOOR: | 24,633 SF |
| TOTAL BUILDING AREA: | 123,366 SF |



G-1 OFFICE BUILDING

03-08-2021

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T/PARAPET
905' - 9 3/4"

T/ PARAPET
904' - 0"

TRUSS
BEARING
900' - 0"

FIFTH FLOOR
886' - 0"

FOURTH FLOOR
872' - 0"

THIRD FLOOR
858' - 0"

SECOND FLOOR
844' - 0"

FIRST FLOOR
830' - 0"

GROUND
FLOOR
820.24

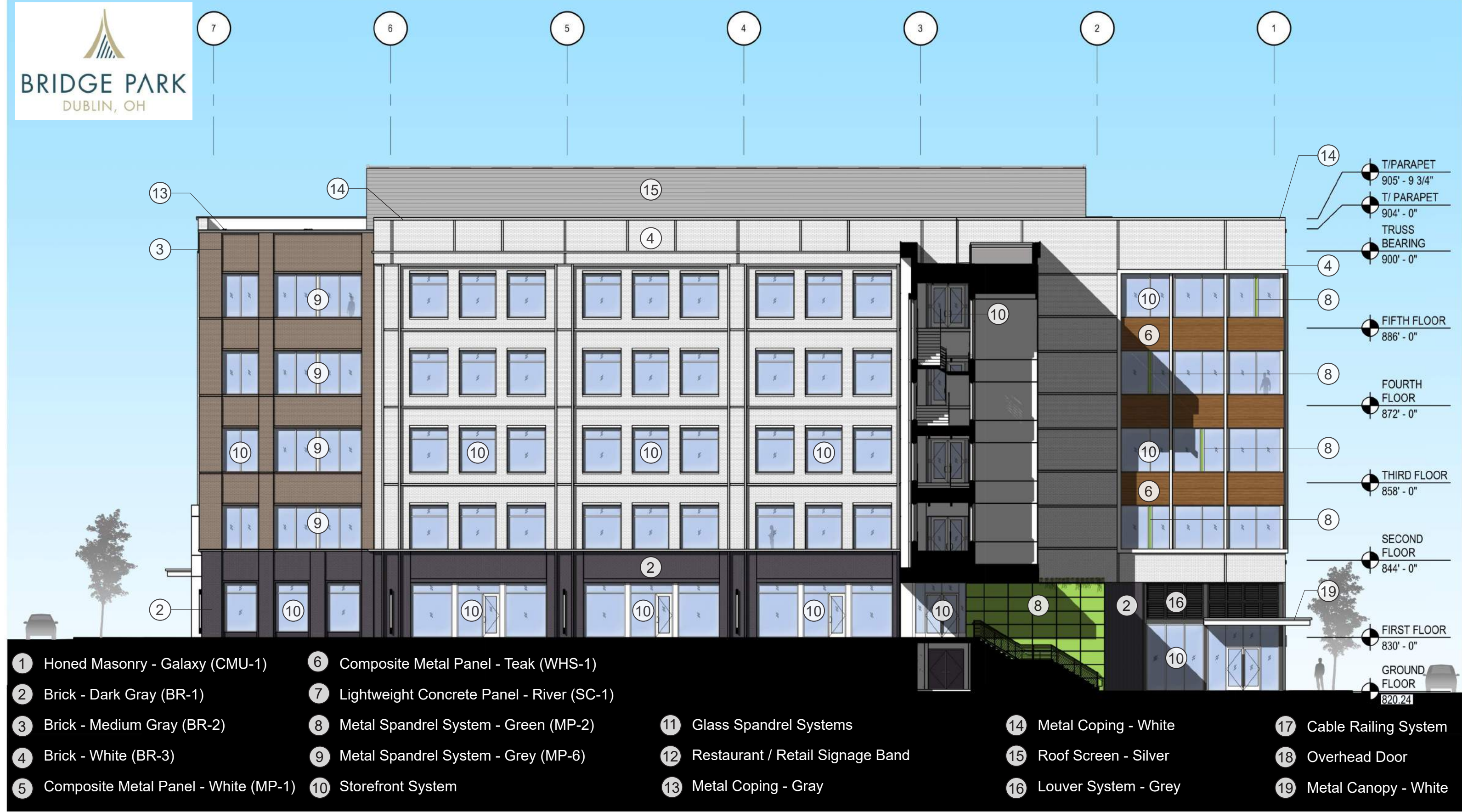
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|----------------------------------|---|---------------------------------------|------------------------|------------------------|
| ① Honed Masonry - Galaxy (CMU-1) | ⑤ Composite Metal Panel - White (MP-1) | ⑨ Metal Spandrel System - Grey (MP-6) | ⑬ Metal Coping - Gray | ⑰ Cable Railing System |
| ② Brick - Dark Gray (BR-1) | ⑥ Composite Metal Panel - Teak (WHS-1) | ⑩ Storefront System | ⑭ Metal Coping - White | ⑱ Overhead Door |
| ③ Brick - Medium Gray (BR-2) | ⑦ Lightweight Concrete Panel - River (SC-1) | ⑪ Glass Spandrel Systems | ⑮ Roof Screen - Silver | ⑲ Metal Canopy - White |
| ④ Brick - White (BR-3) | ⑧ Metal Spandrel System - Green (MP-2) | ⑫ Restaurant / Retail Signage Band | ⑯ Louver System - Grey | |

G-1 OFFICE BUILDING



- | | | | | |
|----------------------------------|---|---------------------------------------|-------------------------|-------------------------|
| 1 Honed Masonry - Galaxy (CMU-1) | 5 Composite Metal Panel - White (MP-1) | 9 Metal Spandrel System - Grey (MP-6) | 13 Metal Coping - Gray | 17 Cable Railing System |
| 2 Brick - Dark Gray (BR-1) | 6 Composite Metal Panel - Teak (WHS-1) | 10 Storefront System | 14 Metal Coping - White | 18 Overhead Door |
| 3 Brick - Medium Gray (BR-2) | 7 Lightweight Concrete Panel - River (SC-1) | 11 Glass Spandrel Systems | 15 Roof Screen - Silver | 19 Metal Canopy - White |
| 4 Brick - White (BR-3) | 8 Metal Spandrel System - Green (MP-2) | 12 Restaurant / Retail Signage Band | 16 Louver System - Grey | |

G-1 OFFICE BUILDING



- | | | | | |
|--|---|-------------------------------------|-------------------------|-------------------------|
| 1 Honed Masonry - Galaxy (CMU-1) | 6 Composite Metal Panel - Teak (WHS-1) | 11 Glass Spandrel Systems | 14 Metal Coping - White | 17 Cable Railing System |
| 2 Brick - Dark Gray (BR-1) | 7 Lightweight Concrete Panel - River (SC-1) | 12 Restaurant / Retail Signage Band | 15 Roof Screen - Silver | 18 Overhead Door |
| 3 Brick - Medium Gray (BR-2) | 8 Metal Spandrel System - Green (MP-2) | 13 Metal Coping - Gray | 16 Louver System - Grey | 19 Metal Canopy - White |
| 4 Brick - White (BR-3) | 9 Metal Spandrel System - Grey (MP-6) | | | |
| 5 Composite Metal Panel - White (MP-1) | 10 Storefront System | | | |

G-1 OFFICE BUILDING

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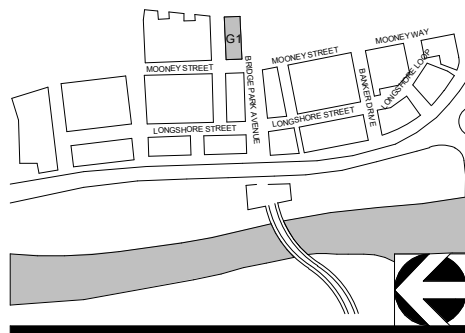
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|----------------------------------|---|---------------------------------------|-------------------------|-------------------------|
| 1 Honed Masonry - Galaxy (CMU-1) | 5 Composite Metal Panel - White (MP-1) | 9 Metal Spandrel System - Grey (MP-6) | 13 Metal Coping - Gray | 17 Cable Railing System |
| 2 Brick - Dark Gray (BR-1) | 6 Composite Metal Panel - Teak (WHS-1) | 10 Storefront System | 14 Metal Coping - White | 18 Overhead Door |
| 3 Brick - Medium Gray (BR-2) | 7 Lightweight Concrete Panel - River (SC-1) | 11 Glass Spandrel Systems | 15 Roof Screen - Silver | 19 Metal Canopy - White |
| 4 Brick - White (BR-3) | 8 Metal Spandrel System - Green (MP-2) | 12 Restaurant / Retail Signage Band | 16 Louver System - Grey | |

G-1 OFFICE BUILDING

03-08-2021



KEY PLAN



west-east building section

1/16" = 1'-0"

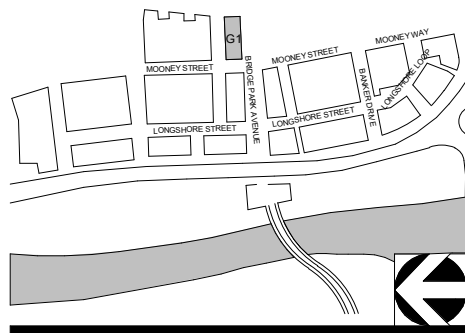
G-1 OFFICE BUILDING

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KEY PLAN



north-south building section

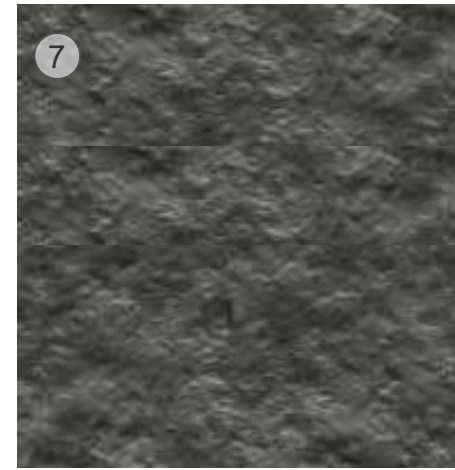
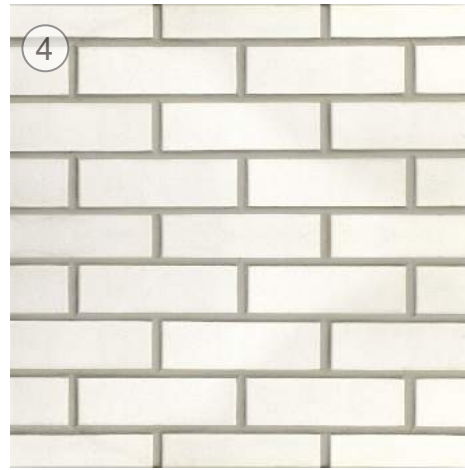
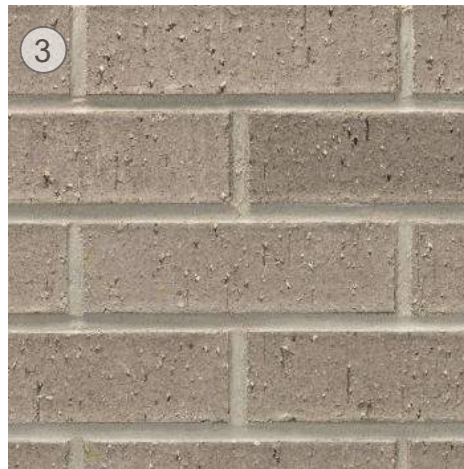
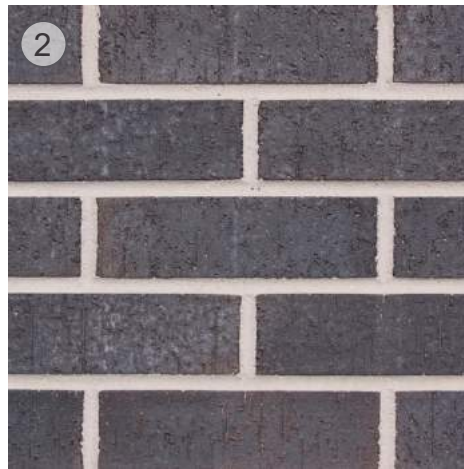
1/16" = 1'-0"

G-1 OFFICE BUILDING

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017_AG1A402
G.1 - BUILDING
SECTION



① Honed Masonry w/ Custom Pattern - Galaxy (CMU-1)

② Brick - Dark Gray (BR-1)

③ Brick - Medium Gray (BR-2)

④ Brick - White (BR-3)

⑤ Composite Metal Panel - White (MP-1)

⑥ Wood-Look Composite Metal Panel - Teak (WHS-1)

⑦ Slate-Look Light Weight Concrete Panel - River (SC-1)

⑧ Metal Spandrel System - Green (MP-2)

G-1 OFFICE BUILDING

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| | | |
|------------|------------------------------------|-----------|
| PRIMARY: | BRICK (AREA): | 4,660 SF |
| PRIMARY: | COMPOSITE METAL PANEL (AREA): | 1,645 SF |
| PRIMARY: | SLATE-LOOK CONCRETE PANELS (AREA): | 930 SF |
| PRIMARY: | HONED MASONRY (AREA): | 1,035 SF |
| PRIMARY: | GLASS (WINDOWS & DOORS) (AREA): | 7,255 SF |
| PRIMARY: | METAL ROOF SCREEN WALL (AREA): | 1,165 SF |
| SECONDARY: | WOOD HYBRID SYSTEM (AREA): | 570 SF |
| SECONDARY: | LOUVERS (AREA): | 215 SF |
| SECONDARY: | SPANDREL GLASS (AREA): | ---0---SF |

| | | |
|----------------------------|-----------------------------|-----------|
| PRIMARY MATERIALS | TOTAL AREA: | 16,690 SF |
| REQUIRED: | 80% | |
| PROVIDED: | 95% (16,690 / 17,475 = .95) | |
| SECONDARY MATERIALS | TOTAL AREA: | 785 SF |
| REQUIRED: | <20% | |
| PROVIDED: | 5% (785 / 17,475 = .05) | |

FACADE REQUIREMENTS : SOUTH FACADE

| | | |
|-------------------------------|---------------|---------------|
| STREET FACADE | REQUIRED: YES | PROVIDED: YES |
| PRINCIPAL ENTRANCE (RECESSED) | REQUIRED: YES | PROVIDED: YES |

NUMBER OF ENTRANCES

| | |
|----------------|-------------------------|
| REQUIRED: | 1 PER 75 FEET OF FACADE |
| FACADE LENGTH: | 196'-7" |
| REQUIRED: | 196.5 / 75 = 2.6 |
| PROVIDED: | 5 |

GROUND STORY

| | |
|--------------------------------------|---|
| HEIGHT (VARIES): | 23'-9" ON WEST SIDE; 18'-0" ON EAST SIDE |
| GROUND STORY TOTAL AREA : | 4,257 SF |
| TRANSPARENCY | |
| GROUND STORY TRANSPARENCY ZONE AREA: | 1,175 SF |
| (2'-0" TO 8'-0" ABOVE GRADE) | |
| GROUND STORY AREA OF GLASS: | 915 SF |
| (2'-0" TO 8'-0" ABOVE GRADE) | |
| TRANSPARENCY PROVIDED: | 78% (915 / 1175 = .78) |
| TRANSPARENCY REQUIRED: | 70% |

UPPER STORY

| | |
|-------------------------------------|-------------------------|
| HEIGHT: | 14'-0" |
| UPPER STORY TOTAL AREA : | 2,750 SF |
| TRANSPARENCY | |
| UPPER STORY TRANSPARENCY ZONE AREA: | 2,750 SF |
| UPPER STORY AREA OF GLASS: | 1,350 SF |
| TRANSPARENCY PROVIDED: | 49% (1350 / 2750 = .49) |
| TRANSPARENCY REQUIRED: | 30% |

BLANK WALL LIMITATIONS

| | |
|-----------|-----|
| REQUIRED: | YES |
| PROVIDED: | NO |

VERTICAL FACADE DIVISIONS

| | |
|-----------|---|
| REQUIRED: | YES (NO GREATER THAN 45 FT. INCREMENTS) |
| PROVIDED: | YES |

HORIZONTAL FACADE DIVISIONS

| | |
|-----------|---|
| REQUIRED: | YES (WITHIN 3'-0" TO TOP OF GROUND STORY) |
| PROVIDED: | YES |

REQUIRED CHANGE IN ROOF PLANE OR TYPE

| | |
|-----------|------------------------------------|
| REQUIRED: | YES (NO GREATER THAN EVERY 80'-0") |
| PROVIDED: | NO |

REQUIRED CHANGE IN ROOF PLANE OR TYPE

| | |
|-----------|------------|
| REQUIRED: | YES |
| PROVIDED: | NO 130'-3" |

VERTICAL FACADE DIVISIONS

| | |
|-----------|-----|
| REQUIRED: | YES |
| PROVIDED: | YES |

BLANK WALL LIMITATIONS

| | |
|-----------|--------------------------|
| REQUIRED: | YES |
| PROVIDED: | NO (GREATER THAN 15'-0") |

BALCONY LIMITATIONS

| | |
|-----------|-------------------------------|
| REQUIRED: | YES |
| PROVIDED: | YES (GREATER THAN 6'-0" DEEP) |

HORIZONTAL FACADE DIVISIONS

| | |
|-----------|-----|
| REQUIRED: | YES |
| PROVIDED: | YES |

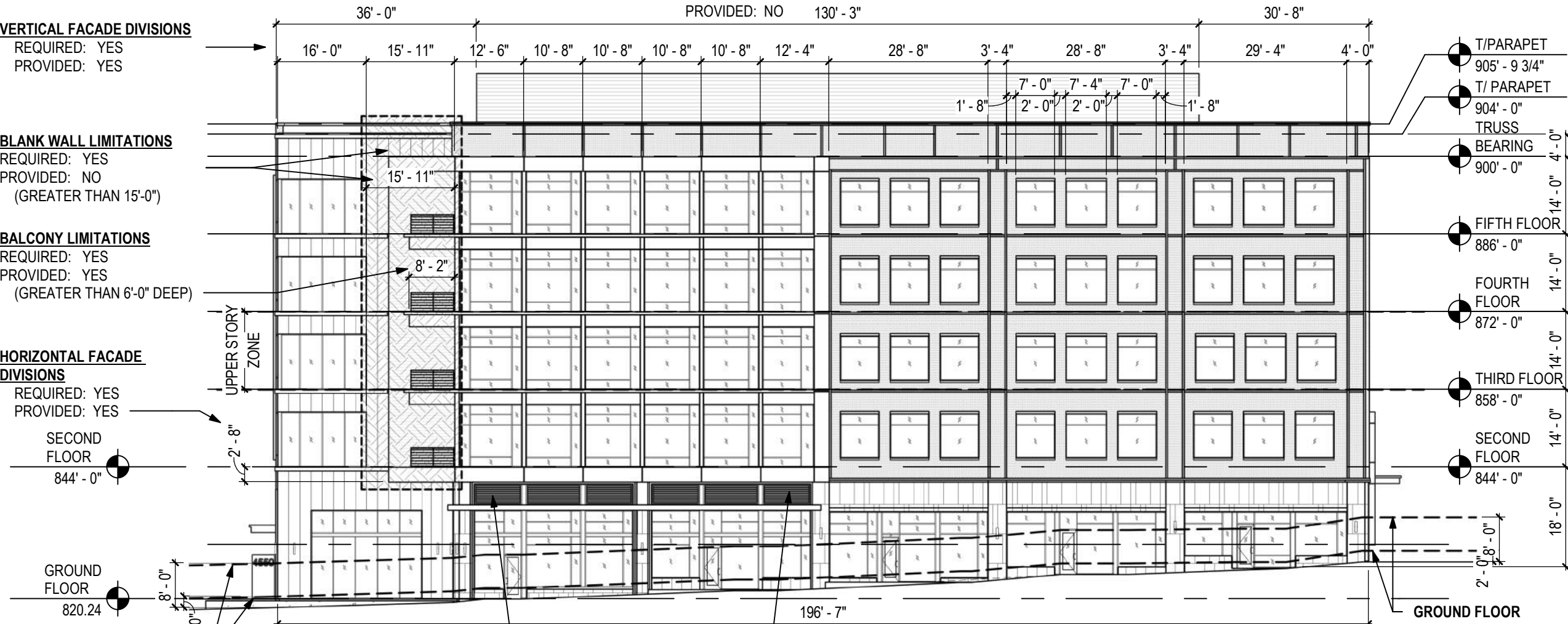
| | |
|--------------|-----------|
| SECOND FLOOR | 844' - 0" |
|--------------|-----------|

| | |
|--------------|--------|
| GROUND FLOOR | 820.24 |
|--------------|--------|

GROUND FLOOR TRANSPARENCY ZONE

LOUVER LIMITATIONS

| | |
|-----------|--------------------------------------|
| REQUIRED: | YES |
| PROVIDED: | YES (RECESSED FROM FACE OF BUILDING) |



south elevation

3/64" = 1'-0"

G-1 OFFICE BUILDING

| | | |
|------------|------------------------------------|------------|
| PRIMARY: | BRICK (AREA): | 1,445 SF |
| PRIMARY: | COMPOSITE METAL PANEL (AREA): | 2,085 SF |
| PRIMARY: | SLATE-LOOK CONCRETE PANELS (AREA): | 1,490 SF |
| PRIMARY: | HONED MASONRY (AREA): | 450 SF |
| PRIMARY: | GLASS (WINDOWS & DOORS) (AREA): | 5,760 SF |
| PRIMARY: | METAL ROOF SCREEN WALL (AREA): | 745 SF |
| SECONDARY: | WOOD HYBRID SYSTEM (AREA): | 1,905 SF |
| SECONDARY: | LOUVERS (AREA): | 285 SF |
| SECONDARY: | SPANDREL GLASS (AREA): | -- 0 -- SF |

| | |
|--|-----------------------------|
| PRIMARY MATERIALS TOTAL AREA: | 11,975 SF |
| REQUIRED: | 80% |
| PROVIDED: | 85% (11,975 / 14,165 = .85) |
| SECONDARY MATERIALS TOTAL AREA: | 2,190 SF |
| REQUIRED: | <20% |
| PROVIDED: | 15% (2,190 / 14,165 = .15) |

FACADE REQUIREMENTS : WEST FACADE

| | |
|-------------------------------|-----|
| STREET FACADE | YES |
| PRINCIPAL ENTRANCE (RECESSED) | YES |

NUMBER OF ENTRANCES

| | |
|----------------|-------------------------|
| REQUIRED: | 1 PER 75 FEET OF FACADE |
| FACADE LENGTH: | 135'-6" |
| REQUIRED: | 135.5 / 75 = 1.8 |
| PROVIDED: | 3 |

GROUND STORY

| | |
|---|-----------------------|
| HEIGHT: | 23'-9" |
| GROUND STORY TOTAL AREA : | 3,037 SF |
| TRANSPARENCY | |
| GROUND STORY TRANSPARENCY ZONE AREA: (2'-0" TO 8'-0" ABOVE GRADE) | 970 SF |
| GROUND STORY AREA OF GLASS: (2'-0" TO 8'-0" ABOVE GRADE) | 620 SF |
| TRANSPARENCY PROVIDED: | 64% (620 / 970 = .64) |
| TRANSPARENCY REQUIRED: | 70% |

UPPER STORY

| | |
|-------------------------------------|-------------------------|
| HEIGHT: | 14'-0" |
| UPPER STORY TOTAL AREA : | 2,290 SF |
| TRANSPARENCY | |
| UPPER STORY TRANSPARENCY ZONE AREA: | 2,290 SF |
| UPPER STORY AREA OF GLASS: | 1,150 SF |
| TRANSPARENCY PROVIDED: | 50% (1150 / 2290 = .50) |
| TRANSPARENCY REQUIRED: | 30% |

BLANK WALL LIMITATIONS

| | |
|-----------|-----|
| REQUIRED: | YES |
| PROVIDED: | YES |

VERTICAL FACADE DIVISIONS

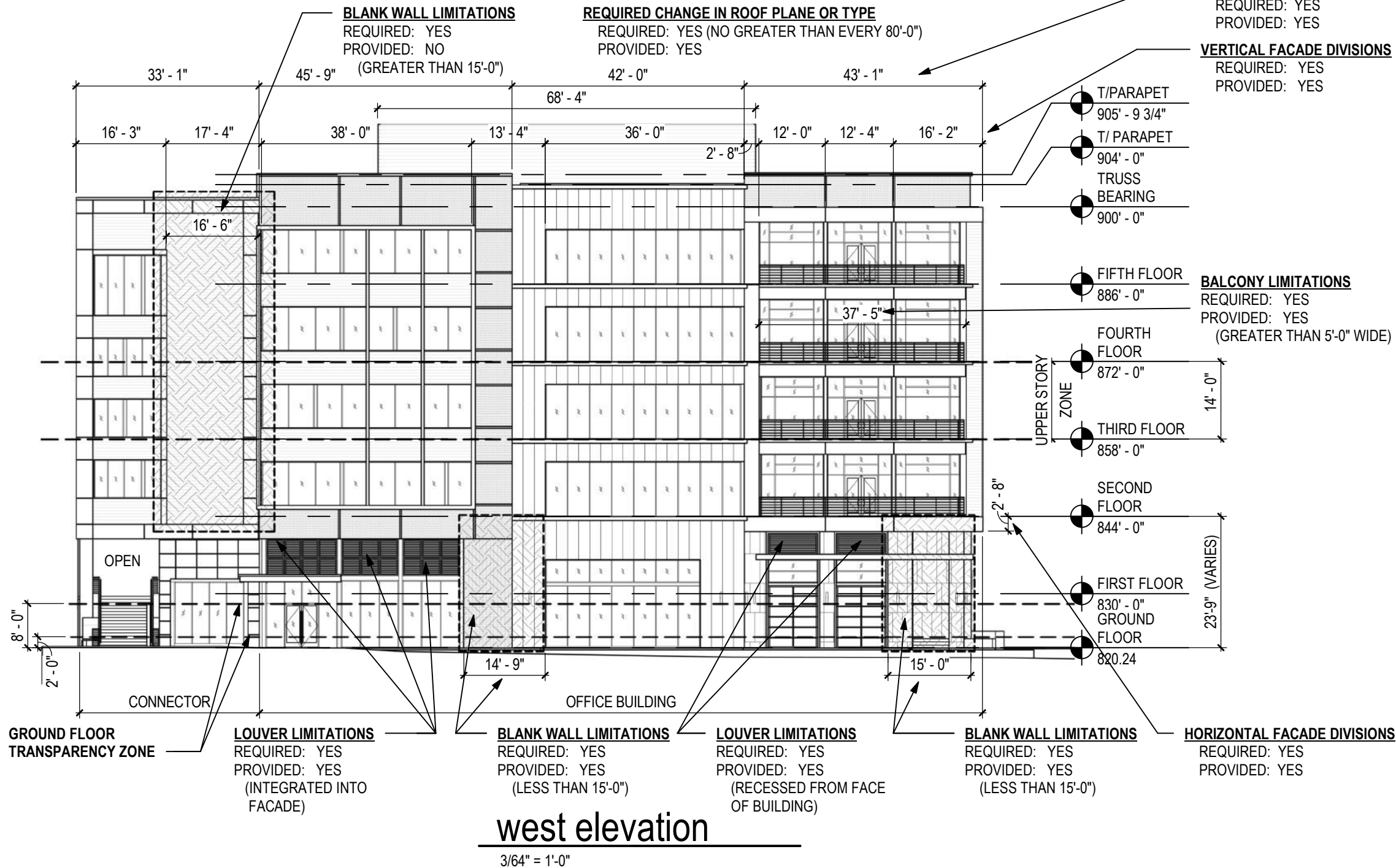
| | |
|-----------|---|
| REQUIRED: | YES (NO GREATER THAN 45 FT. INCREMENTS) |
| PROVIDED: | YES |

HORIZONTAL FACADE DIVISIONS

| | |
|-----------|---|
| REQUIRED: | YES (WITHIN 3'-0" OF TOP OF GROUND STORY) |
| PROVIDED: | YES |

REQUIRED CHANGE IN ROOF PLANE OR TYPE

| | |
|-----------|------------------------------------|
| REQUIRED: | YES (NO GREATER THAN EVERY 80'-0") |
| PROVIDED: | YES |



west elevation

3/64" = 1'-0"

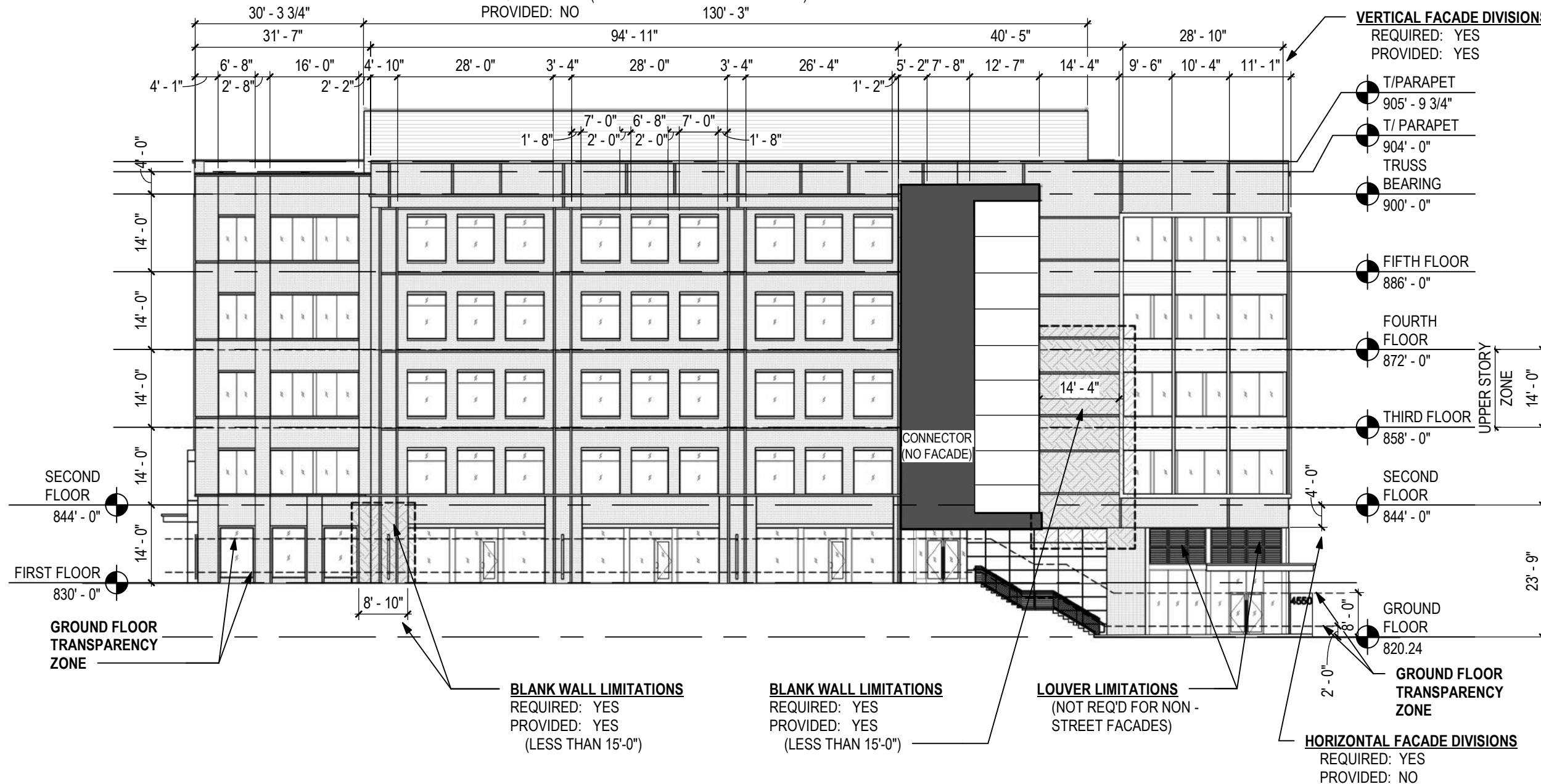
G-1 OFFICE BUILDING

03-08-2021

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| | | |
|------------|------------------------------------|------------|
| PRIMARY: | BRICK (AREA): | 7,535 SF |
| PRIMARY: | COMPOSITE METAL PANEL (AREA): | 1,685 SF |
| PRIMARY: | SLATE-LOOK CONCRETE PANELS (AREA): | -- 0 -- SF |
| PRIMARY: | HONED MASONRY (AREA): | -- 0 -- SF |
| PRIMARY: | GLASS (WINDOWS & DOORS) (AREA): | 4,920 SF |
| PRIMARY: | METAL ROOF SCREEN WALL (AREA): | 1,165 SF |
| SECONDARY: | WOOD HYBRID SYSTEM (AREA): | 500 SF |
| SECONDARY: | LOUVERS (AREA): | 145 SF |
| SECONDARY: | SPANDREL GLASS (AREA): | -- 0 -- SF |

REQUIRED CHANGE IN ROOF PLANE OR TYPE
 REQUIRED: YES (NO GREATER THAN EVERY 80'-0")
 PROVIDED: NO 130' - 3"



VERTICAL FACADE DIVISIONS

REQUIRED: YES
 PROVIDED: YES

- T/PARAPET 905' - 9 3/4"
- T/PARAPET 904' - 0"
- TRUSS BEARING 900' - 0"

● FIFTH FLOOR 886' - 0"

● FOURTH FLOOR 872' - 0"

● THIRD FLOOR 858' - 0"

● SECOND FLOOR 844' - 0"

● GROUND FLOOR 820.24

PRIMARY MATERIALS TOTAL AREA: 15,305 SF

REQUIRED: 80%
 PROVIDED: 96% (15,305 / 15,950 = .96)

SECONDARY MATERIALS TOTAL AREA: 645 SF

REQUIRED: <20%
 PROVIDED: 4% (645 / 15,950 = .04)

FACADE REQUIREMENTS : NORTH FACADE

STREET FACADE NO
 PRINCIPAL ENTRANCE NO

NUMBER OF ENTRANCES

REQUIRED: NONE (NON STREET FACADE)
 PROVIDED: 5

GROUND STORY

HEIGHT (VARIES): 14'-0" ON WEST SIDE;
 23'-9" ON EAST SIDE

GROUND STORY TOTAL AREA : 2,441 SF

TRANSPARENCY (GROUND FLOOR TRANSPARENCY NOT REQ'D FOR NON STREET FACADES)

GROUND STORY TRANSPARENCY ZONE A (2'-0" TO 8'-0" ABOVE GRADE) 1,200 SF

GROUND STORY AREA OF GLASS: 725 SF

TRANSPARENCY PROVIDED: 60% (725 / 1,200 = .60)
 TRANSPARENCY REQUIRED: NONE

UPPER STORY

HEIGHT: 14'-0"
 UPPER STORY TOTAL AREA : 2,585 SF

TRANSPARENCY UPPER STORY TRANSPARENCY ZONE AREA 2,585 SF

UPPER STORY AREA OF GLASS: 915 SF
 TRANSPARENCY PROVIDED: 35% (915 / 2585 = .35)
 TRANSPARENCY REQUIRED: 15%

BLANK WALL LIMITATIONS

REQUIRED: YES
 PROVIDED: YES

VERTICAL FACADE DIVISIONS

REQUIRED: YES (NO GREATER THAN 45 FT. INCREMENTS)
 PROVIDED: YES

HORIZONTAL FACADE DIVISIONS

REQUIRED: YES (WITHIN 3'-0" OF TOP OF GROUND STORY)
 PROVIDED: YES

REQUIRED CHANGE IN ROOF PLANE OR TYPE

REQUIRED: YES (NO GREATER THAN EVERY 80'-0")
 PROVIDED: YES

north elevation

3/64" = 1'-0"

G-1 OFFICE BUILDING

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| MATERIALS | EAST - TOTAL FACADE AREA: | 12,770 SF |
|------------|------------------------------------|------------|
| PRIMARY: | BRICK (AREA): | 5,630 SF |
| PRIMARY: | COMPOSITE METAL PANEL (AREA): | 990 SF |
| PRIMARY: | SLATE-LOOK CONCRETE PANELS (AREA): | -- 0 -- SF |
| PRIMARY: | HONED MASONRY (AREA): | 255 SF |
| PRIMARY: | GLASS (WINDOWS & DOORS) (AREA): | 4,500 SF |
| PRIMARY: | METAL ROOF SCREEN WALL (AREA): | 745 SF |
| SECONDARY: | WOOD HYBRID SYSTEM (AREA): | 650 SF |
| SECONDARY: | LOUVERS (AREA): | -- 0 -- SF |
| SECONDARY: | SPANDREL GLASS (AREA): | -- 0 -- SF |

REQUIRED CHANGE IN ROOF PLANE OR TYPE
 REQUIRED: YES
 PROVIDED: YES

REQUIRED CHANGE IN ROOF PLANE OR TYPE
 REQUIRED: YES (NO GREATER THAN EVERY 80'-0")
 PROVIDED: YES

VERTICAL FACADE DIVISIONS
 REQUIRED: YES
 PROVIDED: YES

| PRIMARY MATERIALS | TOTAL AREA | 12,120 SF |
|----------------------------|-----------------------------|---------------|
| REQUIRED: | 80% | |
| PROVIDED: | 95% (12,120 / 12,770 = .95) | |
| SECONDARY MATERIALS | TOTAL AREA: | 650 SF |
| REQUIRED: | <20% | |
| PROVIDED: | 5% (650 / 12,770 = .05) | |

FACADE REQUIREMENTS : EAST FACADE

STREET FACADE YES
 PRINCIPAL ENTRANCE YES
 (RECESSED)

NUMBER OF ENTRANCES

REQUIRED: 1 PER 75 FEET OF FACADE
 FACADE LENGTH: 129'-1"

REQUIRED: 129.1 / 75 = 1.7
 PROVIDED: 2

GROUND STORY

HEIGHT (VARIES): 14'-0" ON NORTH SIDE
 16'-0" ON SOUTH SIDE

GROUND STORY TOTAL AREA : 1,971 SF

TRANSPARENCY

GROUND STORY TRANSPARENCY ZONE AREA: 965 SF

(2'-0" TO 8'-0" ABOVE GRADE)

GROUND STORY AREA OF GLASS: 655 SF

(2'-0" TO 8'-0" ABOVE GRADE)

TRANSPARENCY PROVIDED: 68% (655 / 965 = .68)

TRANSPARENCY REQUIRED: 70%

UPPER STORY

HEIGHT: 14'-0"

UPPER STORY TOTAL AREA : 2,900 SF

TRANSPARENCY

UPPER STORY TRANSPARENCY ZONE AREA: 2,290 SF

UPPER STORY AREA OF GLASS: 935 SF

TRANSPARENCY PROVIDED: 41% (935 / 2,290 = .41)

TRANSPARENCY REQUIRED: 30%

BLANK WALL LIMITATIONS

REQUIRED: YES

PROVIDED: YES

VERTICAL FACADE DIVISIONS

REQUIRED: YES (NO GREATER THAN 45 FT. INCREMENTS)

PROVIDED: YES

HORIZONTAL FACADE DIVISIONS

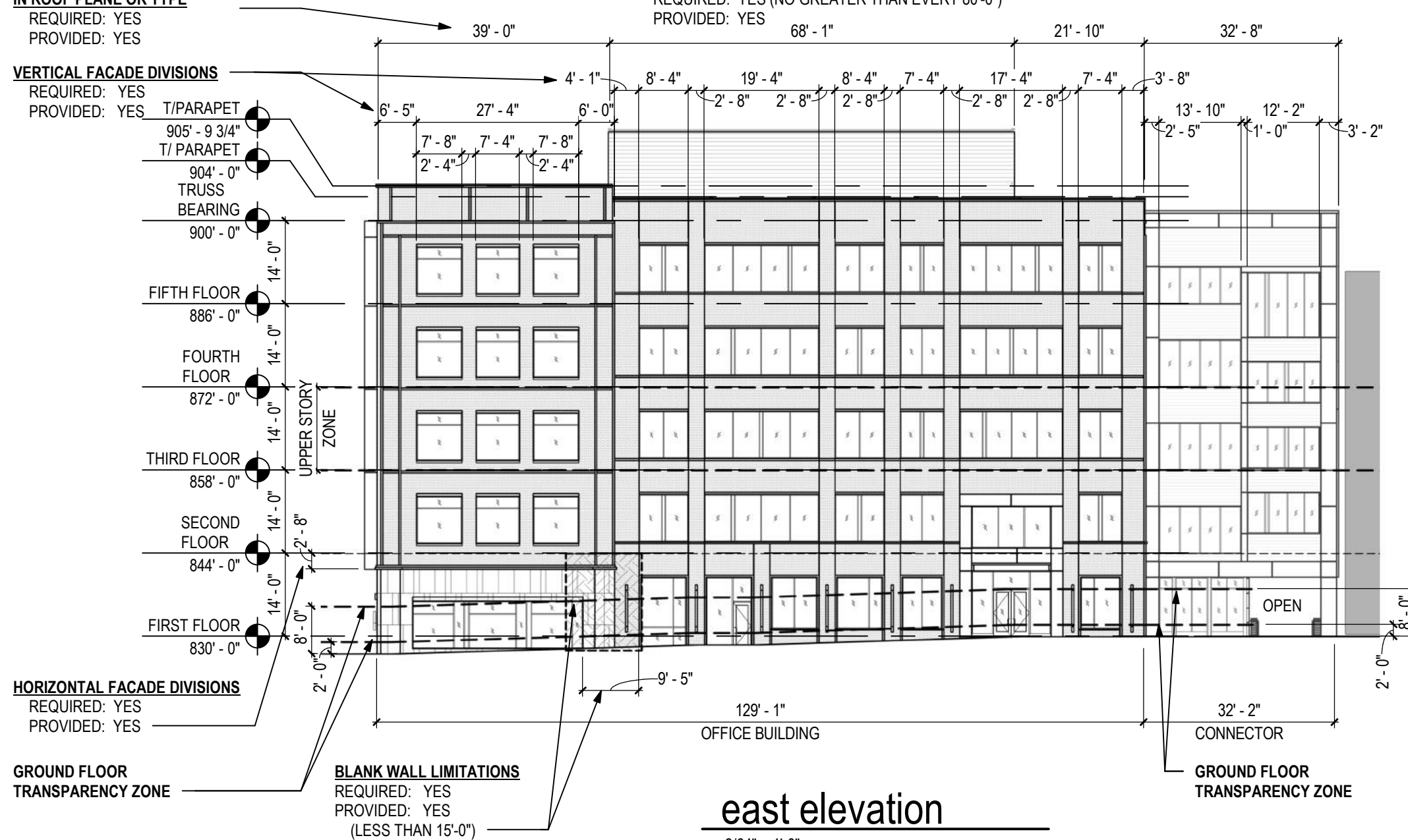
REQUIRED: YES (WITHIN 3'-0" OF TOP OF GROUND STORY)

PROVIDED: YES

REQUIRED CHANGE IN ROOF PLANE OR TYPE

REQUIRED: YES (NO GREATER THAN EVERY 80'-0")

PROVIDED: YES



east elevation

3/64" = 1'-0"

G-1 OFFICE BUILDING

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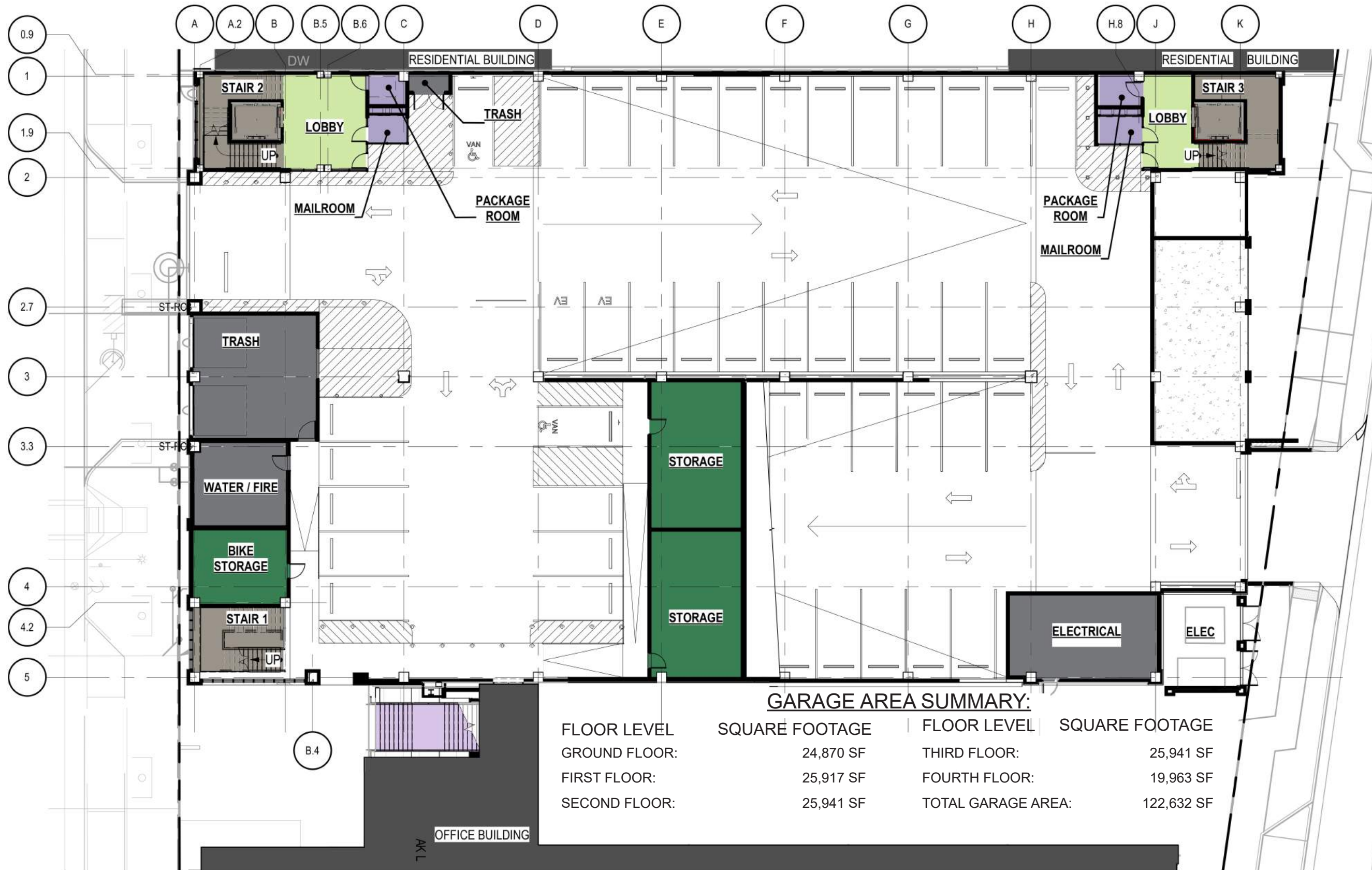
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BRIDGE PARK
DUBLIN, OH

PARKING SPACE COUNT:

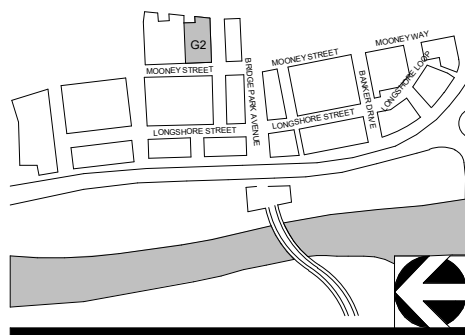
| FLOOR LEVEL | PARKING TYPE | COUNT |
|---------------------|--------------|------------|
| GROUND FLOOR A: | STANDARD | 30 |
| | ADA | 2 |
| GROUND FLOOR B: | STANDARD | 22 |
| FIRST FLOOR A: | STANDARD | 42 |
| | ADA | 1 |
| FIRST FLOOR B: | STANDARD | 26 |
| | ADA | 1 |
| SECOND FLOOR A: | STANDARD | 19 |
| | ADA | 2 |
| SECOND FLOOR B: | STANDARD | 53 |
| | ADA | 1 |
| THIRD FLOOR A: | STANDARD | 46 |
| | ADA | 2 |
| THIRD FLOOR B: | STANDARD | 32 |
| | ADA | 1 |
| FOURTH FLOOR A: | STANDARD | 36 |
| | ADA | 2 |
| FOURTH FLOOR B: | STANDARD | 8 |
| | ADA | 1 |
| GRAND TOTAL: | STANDARD | 314 |
| | ADA | 13 |
| TOTAL: | | 327 |



GARAGE AREA SUMMARY:

| FLOOR LEVEL | SQUARE FOOTAGE | FLOOR LEVEL | SQUARE FOOTAGE |
|---------------|----------------|---------------------------|-------------------|
| GROUND FLOOR: | 24,870 SF | THIRD FLOOR: | 25,941 SF |
| FIRST FLOOR: | 25,917 SF | FOURTH FLOOR: | 19,963 SF |
| SECOND FLOOR: | 25,941 SF | TOTAL GARAGE AREA: | 122,632 SF |

KEY PLAN



MCCALLUM GARAGE

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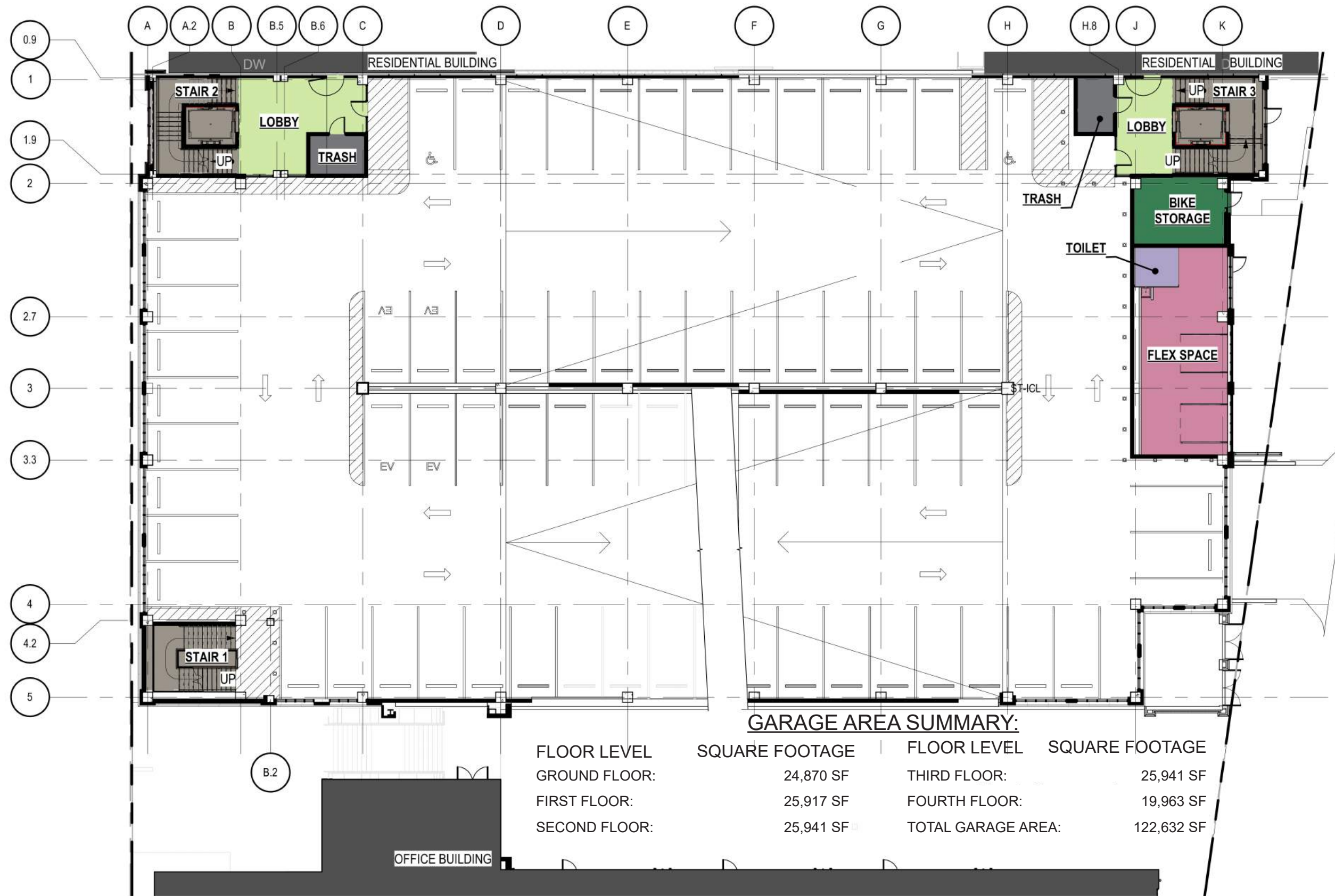
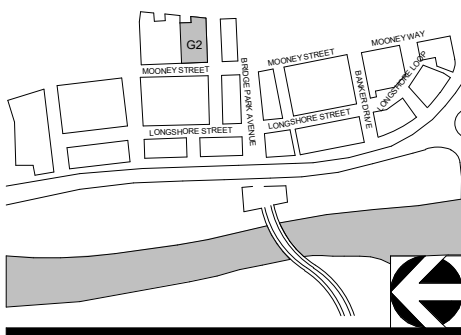


BRIDGE PARK
DUBLIN, OH

PARKING SPACE COUNT:

| FLOOR LEVEL | PARKING TYPE | COUNT |
|-----------------|--------------|------------|
| GROUND FLOOR A: | STANDARD | 30 |
| | ADA | 2 |
| GROUND FLOOR B: | STANDARD | 22 |
| | ADA | 1 |
| FIRST FLOOR A: | STANDARD | 42 |
| | ADA | 1 |
| FIRST FLOOR B: | STANDARD | 26 |
| | ADA | 1 |
| SECOND FLOOR A: | STANDARD | 19 |
| | ADA | 2 |
| SECOND FLOOR B: | STANDARD | 53 |
| | ADA | 1 |
| THIRD FLOOR A: | STANDARD | 46 |
| | ADA | 2 |
| THIRD FLOOR B: | STANDARD | 32 |
| | ADA | 1 |
| FOURTH FLOOR A: | STANDARD | 36 |
| | ADA | 2 |
| FOURTH FLOOR B: | STANDARD | 8 |
| | ADA | 1 |
| GRAND TOTAL: | STANDARD | 314 |
| | ADA | 13 |
| TOTAL: | | 327 |

KEY PLAN



GARAGE AREA SUMMARY:

| FLOOR LEVEL | SQUARE FOOTAGE | FLOOR LEVEL | SQUARE FOOTAGE |
|---------------|----------------|---------------------------|-------------------|
| GROUND FLOOR: | 24,870 SF | THIRD FLOOR: | 25,941 SF |
| FIRST FLOOR: | 25,917 SF | FOURTH FLOOR: | 19,963 SF |
| SECOND FLOOR: | 25,941 SF | TOTAL GARAGE AREA: | 122,632 SF |

MCCALLUM GARAGE

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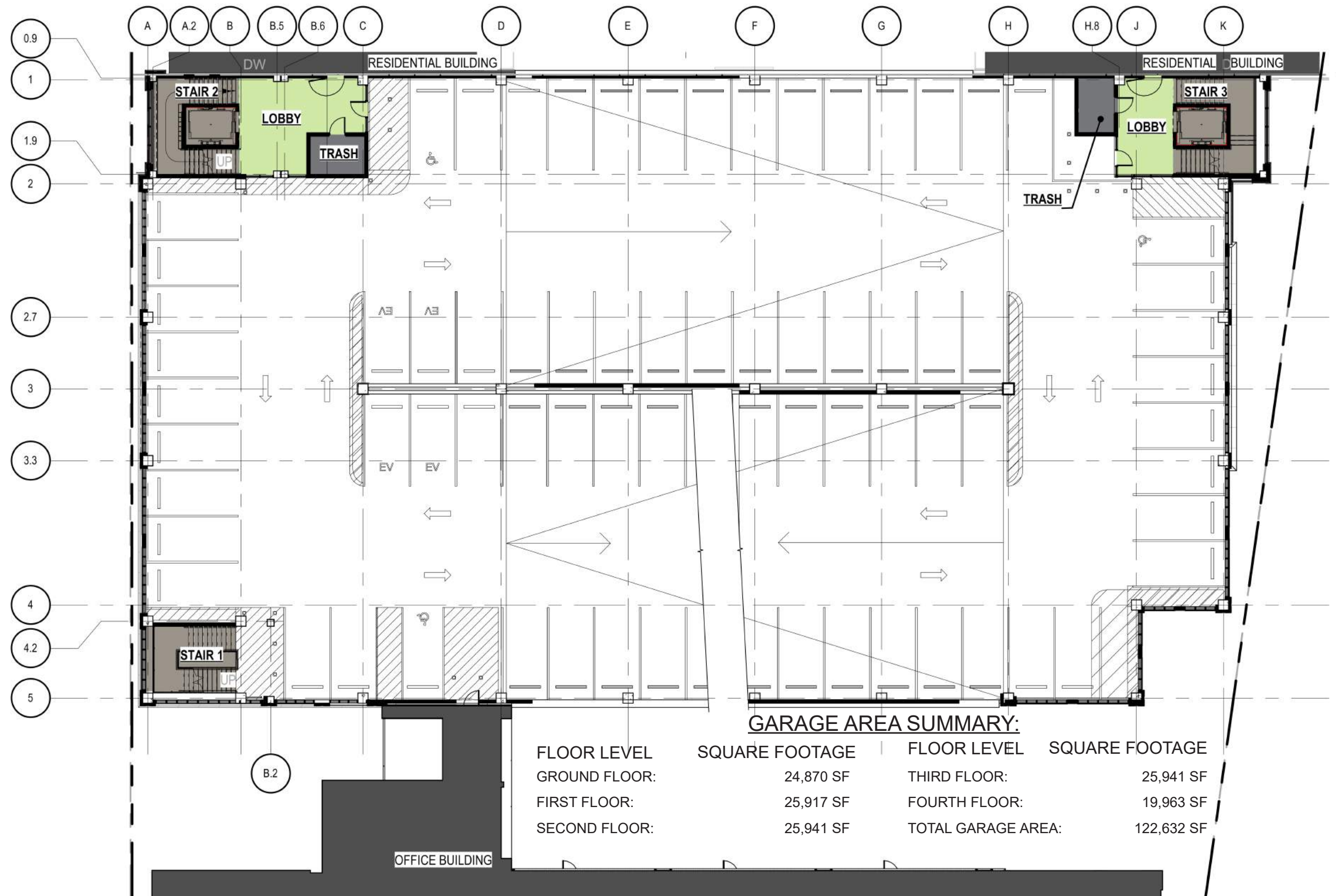
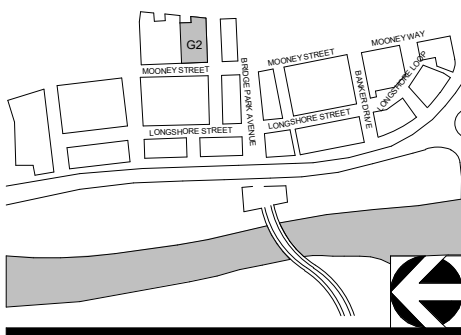


BRIDGE PARK
DUBLIN, OH

PARKING SPACE COUNT:

| FLOOR LEVEL | PARKING TYPE | COUNT |
|-----------------|--------------|------------|
| GROUND FLOOR A: | STANDARD | 30 |
| | ADA | 2 |
| GROUND FLOOR B: | STANDARD | 22 |
| | ADA | 1 |
| FIRST FLOOR A: | STANDARD | 42 |
| | ADA | 1 |
| FIRST FLOOR B: | STANDARD | 26 |
| | ADA | 1 |
| SECOND FLOOR A: | STANDARD | 19 |
| | ADA | 2 |
| SECOND FLOOR B: | STANDARD | 53 |
| | ADA | 1 |
| THIRD FLOOR A: | STANDARD | 46 |
| | ADA | 2 |
| THIRD FLOOR B: | STANDARD | 32 |
| | ADA | 1 |
| FOURTH FLOOR A: | STANDARD | 36 |
| | ADA | 2 |
| FOURTH FLOOR B: | STANDARD | 8 |
| | ADA | 1 |
| GRAND TOTAL: | STANDARD | 314 |
| | ADA | 13 |
| TOTAL: | | 327 |

KEY PLAN



MCCALLUM GARAGE

03-08-2021

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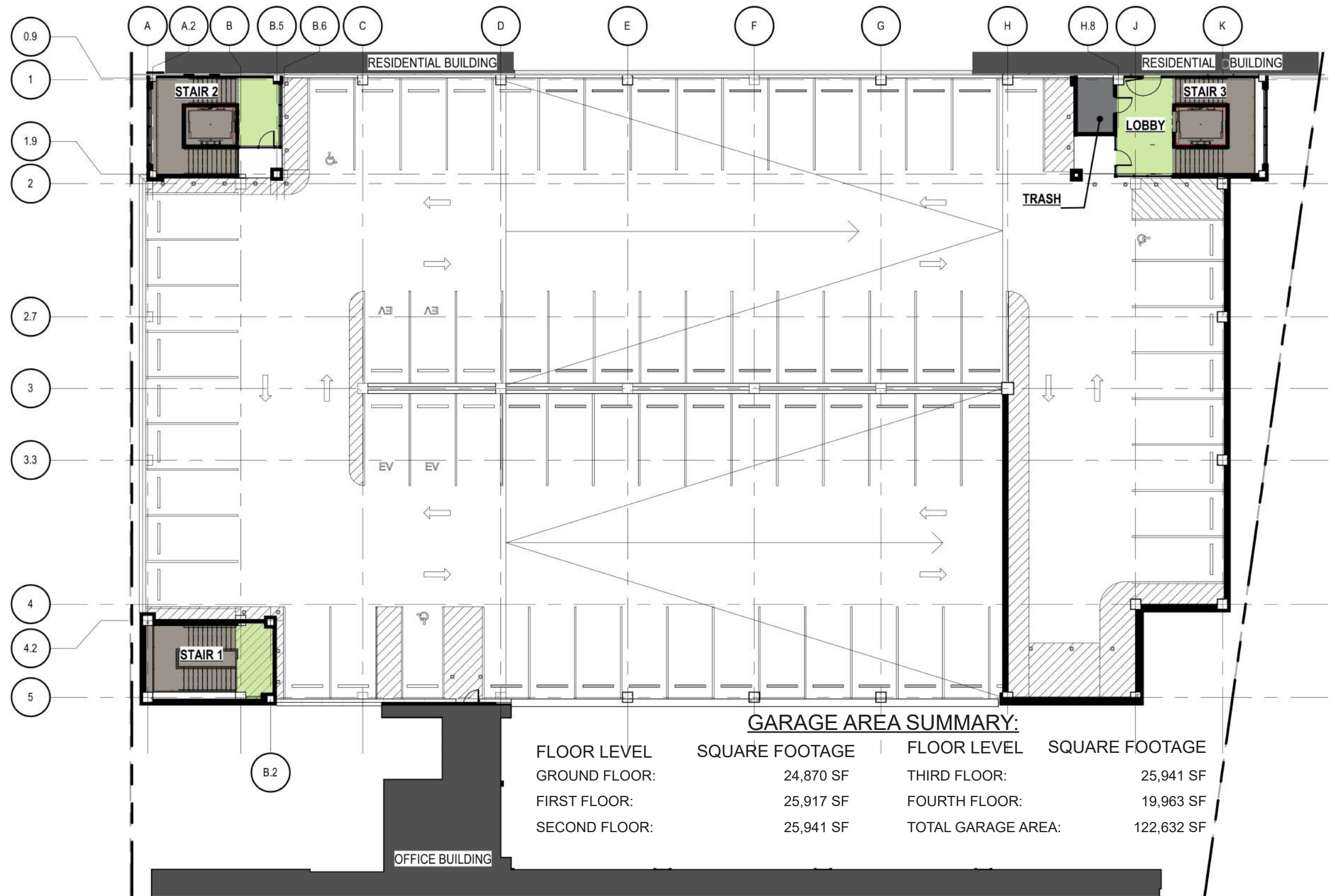
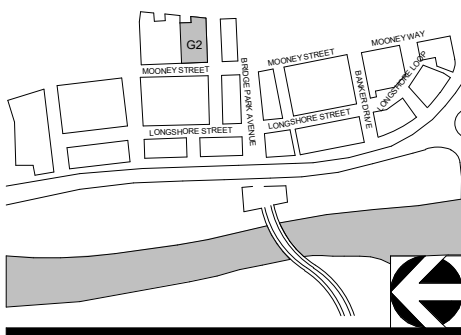


BRIDGE PARK
DUBLIN, OH

PARKING SPACE COUNT:

| FLOOR LEVEL | PARKING TYPE | COUNT |
|-----------------|--------------|------------|
| GROUND FLOOR A: | STANDARD | 30 |
| | ADA | 2 |
| GROUND FLOOR B: | STANDARD | 22 |
| | ADA | 1 |
| FIRST FLOOR A: | STANDARD | 42 |
| | ADA | 1 |
| FIRST FLOOR B: | STANDARD | 26 |
| | ADA | 1 |
| SECOND FLOOR A: | STANDARD | 19 |
| | ADA | 2 |
| SECOND FLOOR B: | STANDARD | 53 |
| | ADA | 1 |
| THIRD FLOOR A: | STANDARD | 46 |
| | ADA | 2 |
| THIRD FLOOR B: | STANDARD | 32 |
| | ADA | 1 |
| FOURTH FLOOR A: | STANDARD | 36 |
| | ADA | 2 |
| FOURTH FLOOR B: | STANDARD | 8 |
| | ADA | 1 |
| GRAND TOTAL: | STANDARD | 314 |
| | ADA | 13 |
| TOTAL: | | 327 |

KEY PLAN



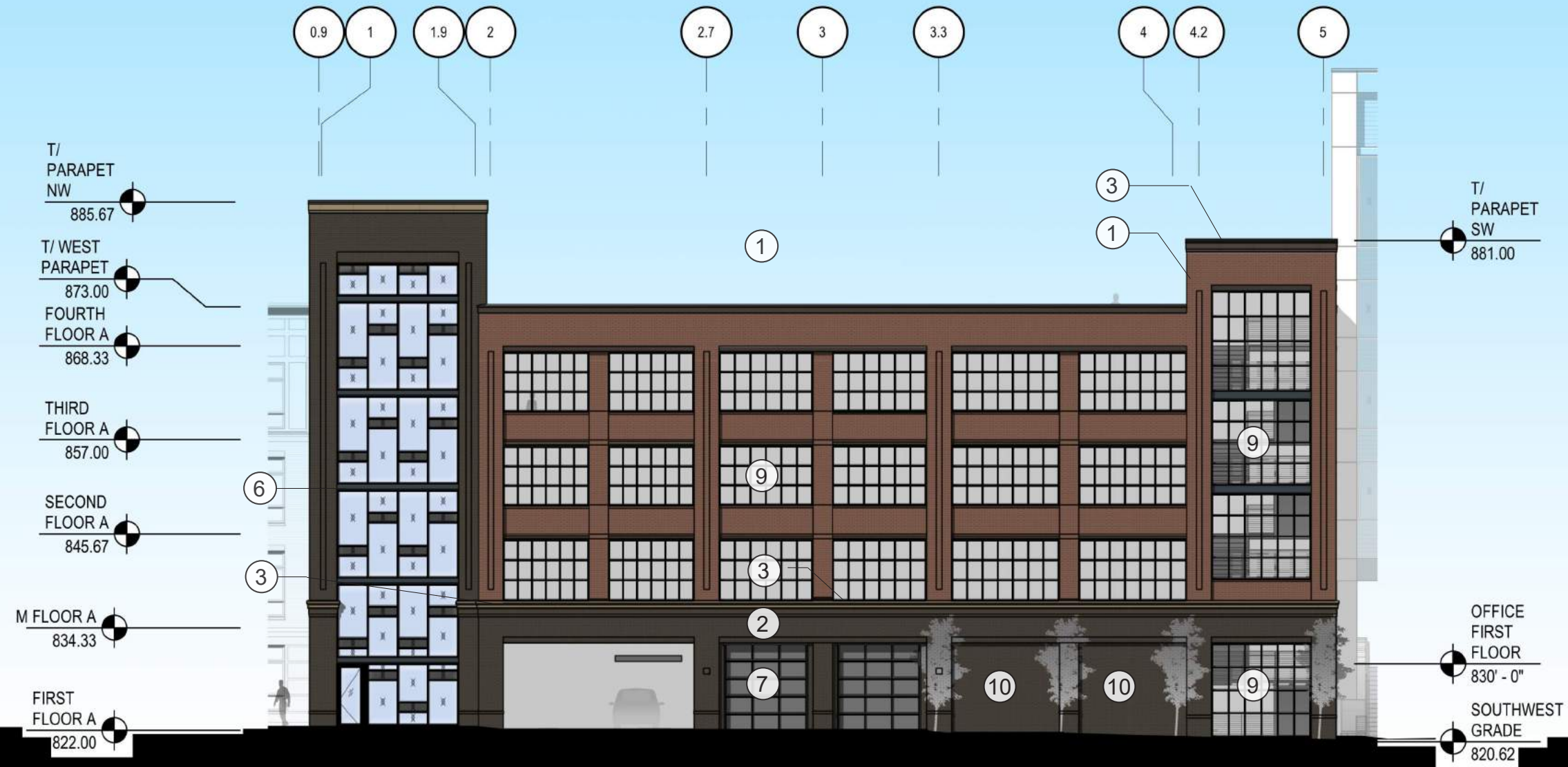
GARAGE AREA SUMMARY:

| FLOOR LEVEL | SQUARE FOOTAGE | FLOOR LEVEL | SQUARE FOOTAGE |
|---------------|----------------|---------------------------|-------------------|
| GROUND FLOOR: | 24,870 SF | THIRD FLOOR: | 25,941 SF |
| FIRST FLOOR: | 25,917 SF | FOURTH FLOOR: | 19,963 SF |
| SECOND FLOOR: | 25,941 SF | TOTAL GARAGE AREA: | 122,632 SF |

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- ① Face Brick Veneer
- ② Face Brick Veneer - Accent Color
- ③ Cast Stone
- ④ Perforated Aluminum Panel - 34% Open
- ⑤ Aluminum Storefront System
- ⑥ ACM Panel System
- ⑦ Overhead Doors
- ⑧ Cable Railing
- ⑨ Open Storefront System
- ⑩ Potential Mural Location

MCCALLUM GARAGE

03-08-2021

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T/
PARAPET
SW
881.00

FOURTH
FLOOR A
868.33

THIRD
FLOOR A
857.00

SECOND
FLOOR A
845.67

M FLOOR A
834.33

OFFICE
FIRST
FLOOR
830' - 0"

FIRST
FLOOR A
822.00

T/ EAST
PARAPET
878.67

FOURTH
FLOOR B
874.00

THIRD
FLOOR B
862.67

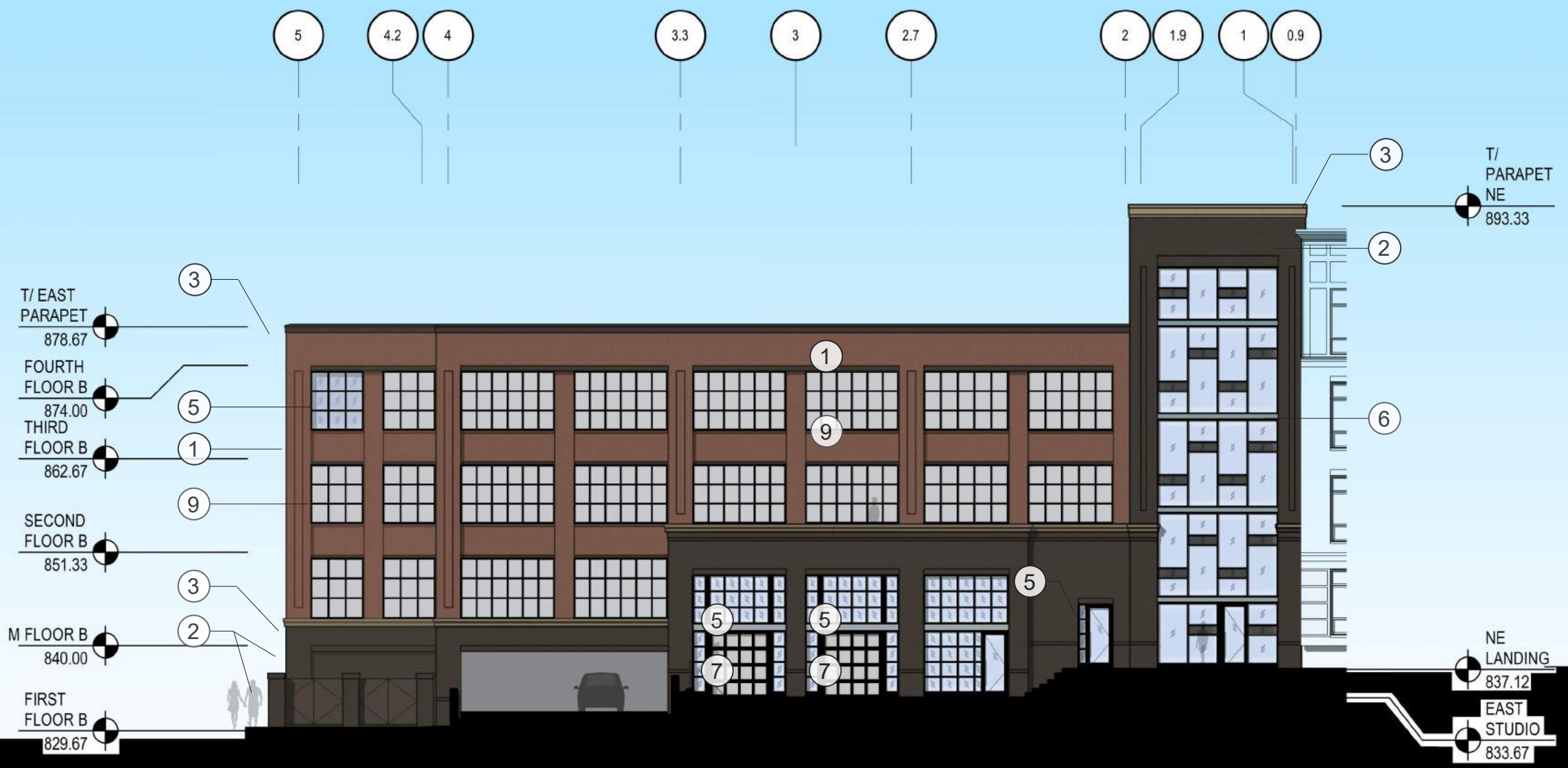
SECOND
FLOOR B
851.33

M FLOOR B
840.00

FIRST
FLOOR B
829.67

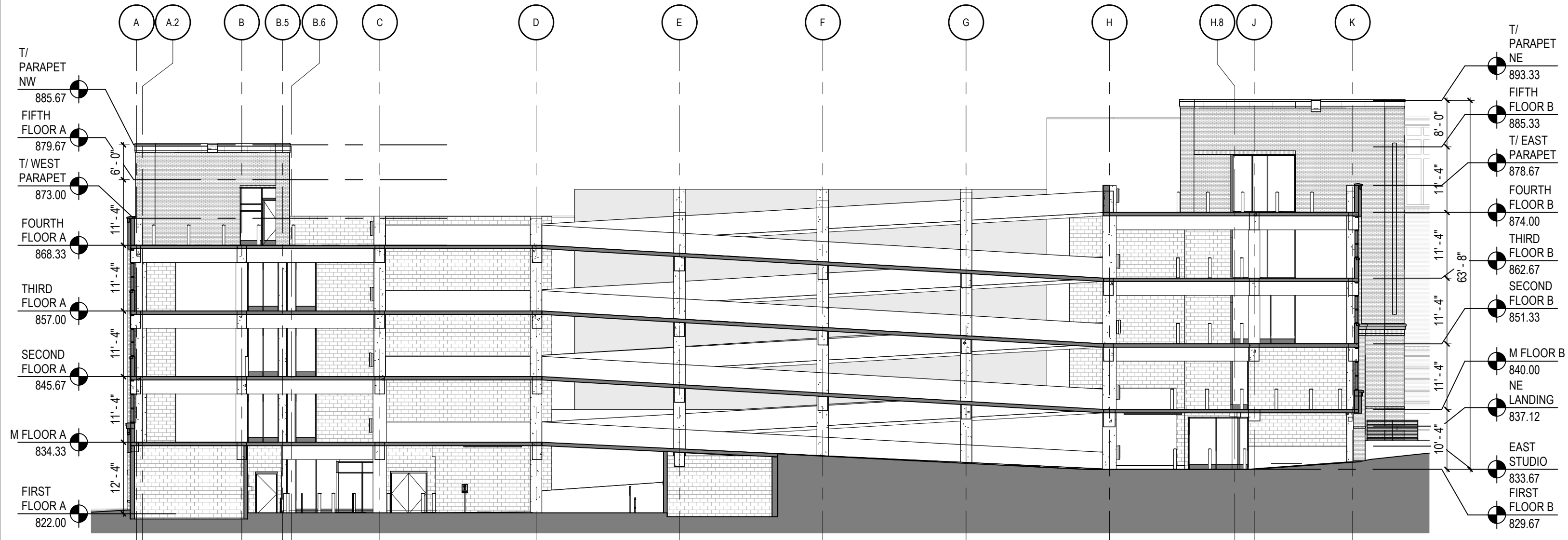
- 1 Face Brick Veneer
- 2 Face Brick Veneer - Accent Color
- 3 Cast Stone
- 4 Perforated Aluminum Panel - 34% Open
- 5 Aluminum Storefront System
- 6 ACM Panel System
- 7 Overhead Doors
- 8 Cable Railing
- 9 Open Storefront System
- 10 Potential Mural Location

MCCALLUM GARAGE

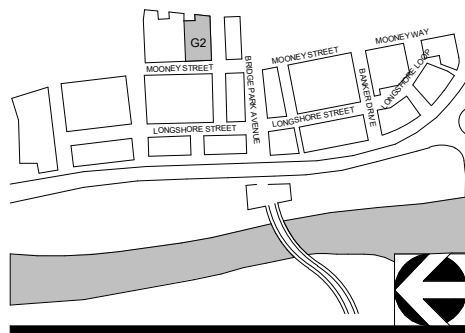


- ① Face Brick Veneer
- ② Face Brick Veneer - Accent Color
- ③ Cast Stone
- ④ Perforated Aluminum Panel - 34% Open
- ⑤ Aluminum Storefront System
- ⑥ ACM Panel System
- ⑦ Overhead Doors
- ⑧ Cable Railing
- ⑨ Open Storefront System
- ⑩ Potential Mural Location

MCCALLUM GARAGE



KEY PLAN



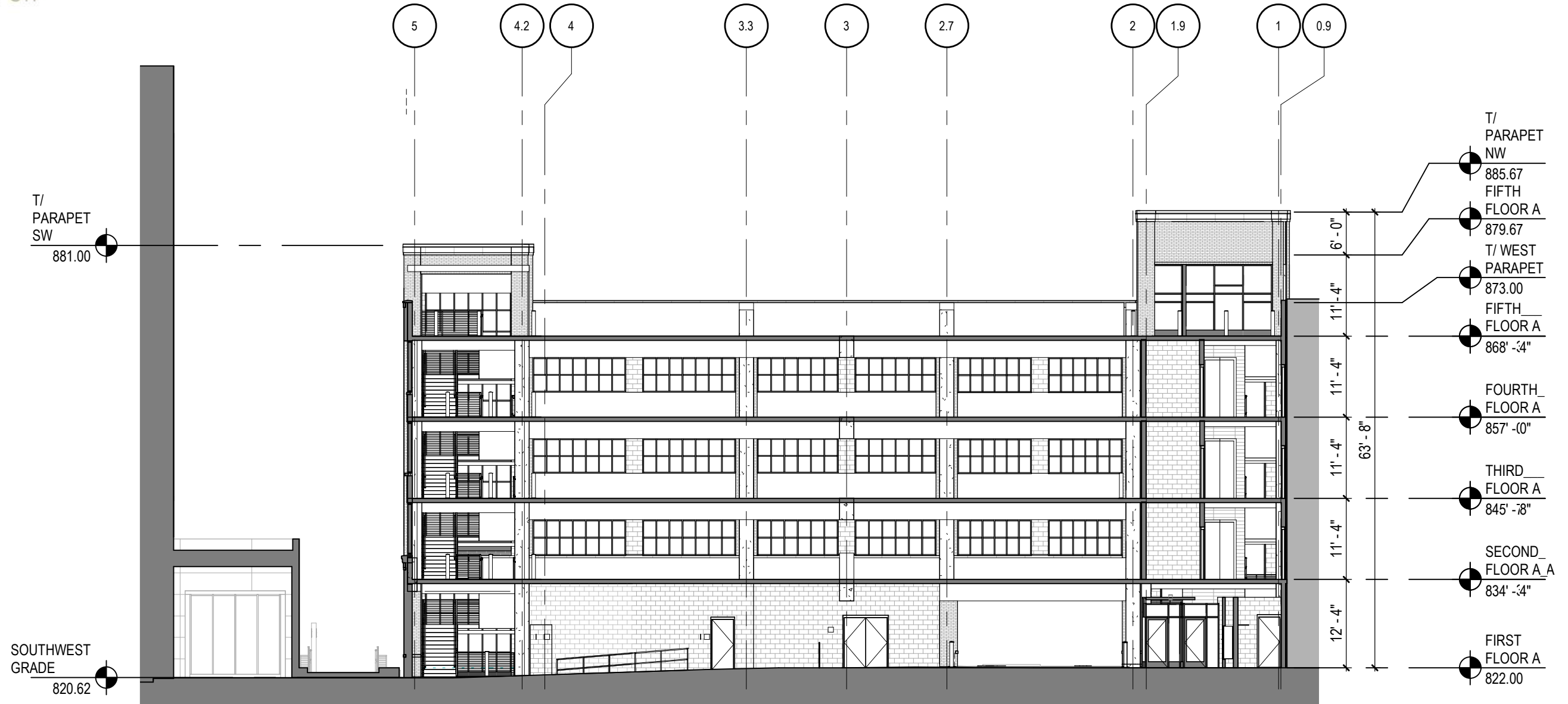
west east building section

1/16" = 1'-0"

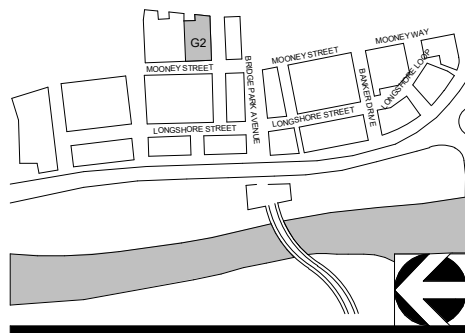
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KEY PLAN



north south building section

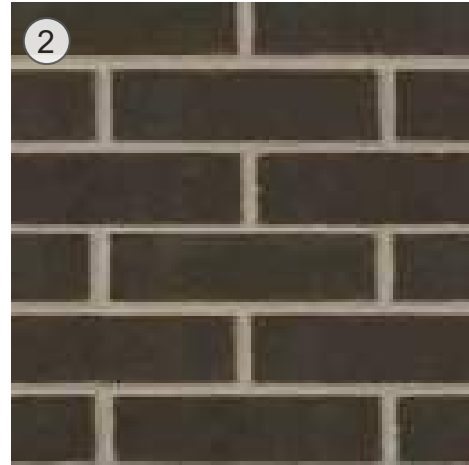
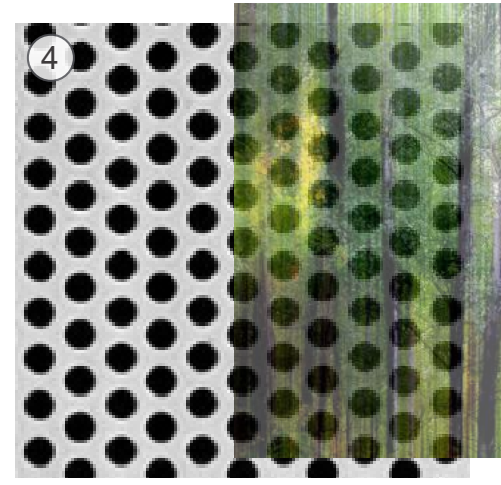
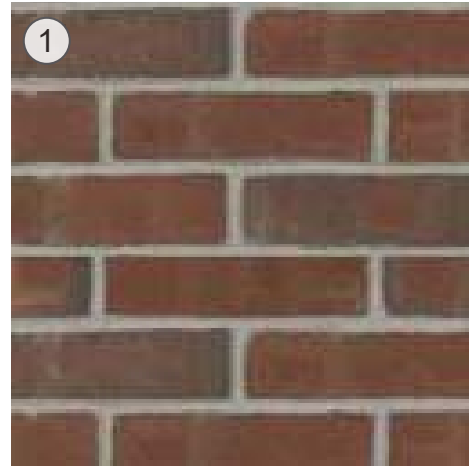
1/16" = 1'-0"

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035_AG2A412
G.2 - GARAGE -
BUILDING
SECTION



① Face Brick Veneer

② Face Brick Veneer - Accent Color

③ Cast Stone

④ Perforated Aluminum Panel w/ Custom Art Print w/ custom print - 34% Open

⑤ Prefinished Aluminum Storefront; Perforated Aluminum Panel Frame Light Fixture finish

⑥ ACM Panel System; Prefinished Solid Metal Panel - Color to match James Hardie 'Rich Espresso

MCCALLUM GARAGE

03-08-2021

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EAST FACADE TRANSPARENCY:

GROUND STORY

HEIGHT (VARIES) 14'-0" ON NORTH SIDE
10'-6" ON SOUTH SIDE

GROUND STORY TOTAL AREA: 1,590 SF

TRANSPARENCY

GROUND STORY TRANSPARENCY ZONE AREA: 740 SF
(2'-0" TO 8'-0" ABOVE GRADE)

GROUND STORY AREA OF GLASS: 400 SF
(2'-0" TO 8'-0" ABOVE GRADE)

TRANSPARENCY PROVIDED: 54% (400 / 740 = .54)

TRANSPARENCY REQUIRED: 65 %

UPPER STORY

HEIGHT 11'-4"

UPPER STORY TOTAL AREA: 1,400 SF

TRANSPARENCY

CARS SCREENED FROM VIEW BY MASONRY/WALL @ OPENINGS

MATERIALS SOUTH - TOTAL FACADE AREA: 9,785 SF

| | | |
|------------|--|----------|
| PRIMARY: | BRICK (AREA): | 2,860 SF |
| PRIMARY: | STONE (AREA): | 125 SF |
| PRIMARY: | CONCRETE BEHIND METAL PANEL: | 2,200 SF |
| PRIMARY: | <u>PERFORATED METAL PANELS</u> | |
| | TOTAL AREA OF PANELS: (2,600 SF) | |
| PRIMARY: | METAL PORTION OF PANELS (66%) | 1,715 SF |
| SECONDARY: | OPEN PORTION OF PANELS (34%) | 885 SF |
| PRIMARY: | STOREFRONT (AREA): (WINDOWS & DOORS WITH GLASS) | 75 SF |
| PRIMARY: | STOREFRONT FRAMING (AREA): (OPEN - NO GLASS) | 1,785 SF |
| SECONDARY: | LOUVERS AND DOORS | 55 SF |
| SECONDARY: | OPEN | 85 SF |

FACADE REQUIREMENTS : SOUTH FACADE

STREET FACADE NO

PRIMARY MATERIALS TOTAL AREA: 9,785 SF

REQUIRED: 80%

PROVIDED: 89% (8,760 / 9,785 = .89)

SECONDARY MATERIALS TOTAL AREA: 1,025 SF

REQUIRED: <20%

PROVIDED: 11% (1,025 / 9,785 = .11)

BLANK WALL LIMITATIONS

REQUIRED: YES
PROVIDED: YES

VERTICAL FACADE DIVISIONS

NOT REQUIRED (NON-STREET FACADE)

HORIZONTAL FACADE DIVISIONS

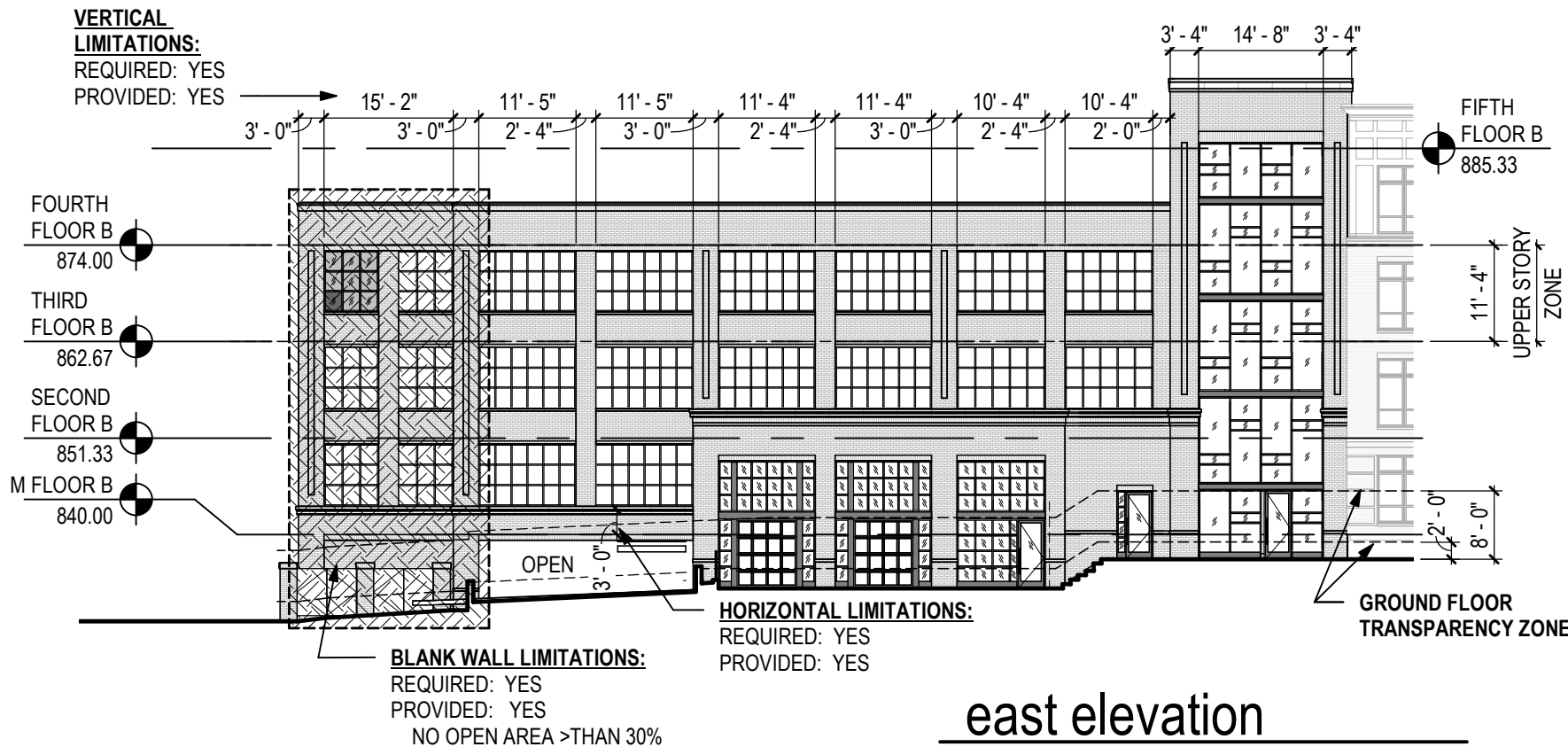
NOT REQUIRED (NON-STREET FACADE)

REQUIRED CHANGE IN ROOF PLANE OR TYPE

NOT REQUIRED (NON-STREET FACADE)

VERTICAL LIMITATIONS:

REQUIRED: YES
PROVIDED: YES



east elevation

1" = 20'-0"

MATERIALS EAST - TOTAL FACADE AREA: 5,820 SF

| | | |
|------------|--|----------|
| PRIMARY: | BRICK (AREA): | 2,880 SF |
| PRIMARY: | STONE (AREA): | 140 SF |
| PRIMARY: | STOREFRONT (AREA): (WINDOWS & DOORS WITH GLASS) | 1,170 SF |
| PRIMARY: | STOREFRONT FRAMING (AREA): (OPEN - NO GLASS) | 1,340 SF |
| PRIMARY: | METAL PANELS: | 120 SF |
| SECONDARY: | OPEN | 170 SF |

FACADE REQUIREMENTS : EAST FACADE

STREET FACADE YES

PRIMARY MATERIALS TOTAL AREA: 5,820 SF

REQUIRED: 80%

PROVIDED: 97% (5,650 / 5,820 = .97)

SECONDARY MATERIALS TOTAL AREA: 170 SF

REQUIRED: <20%

PROVIDED: 3% (170 / 5,820 = .03)

BLANK WALL LIMITATIONS

REQUIRED: YES
PROVIDED: YES

VERTICAL FACADE DIVISIONS

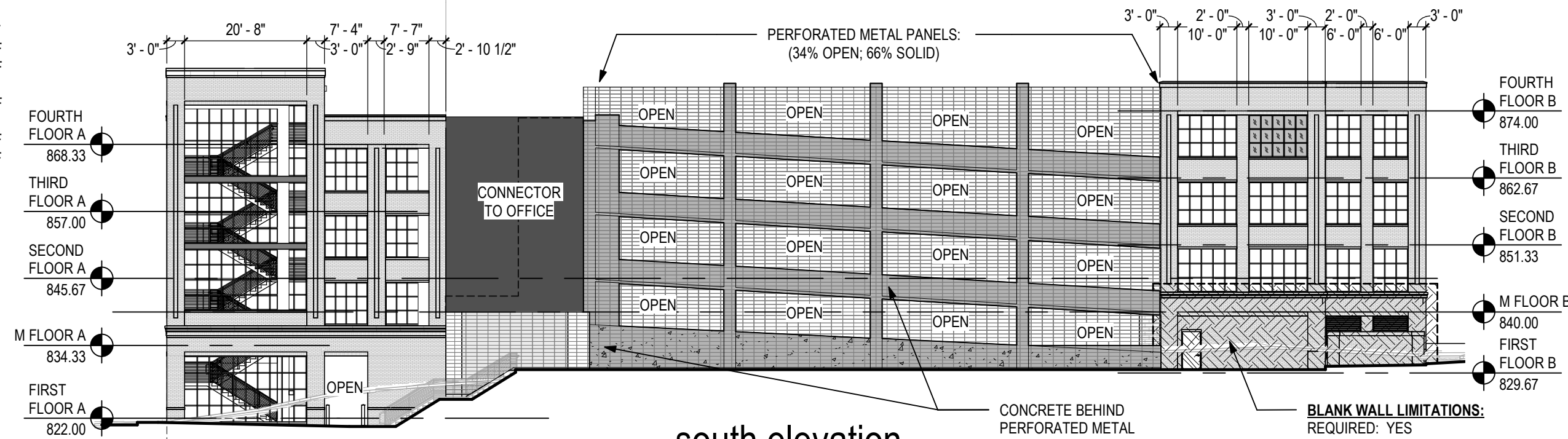
REQUIRED: YES (NO GREATER THAN 30 FT.)
PROVIDED: YES

HORIZONTAL FACADE DIVISIONS

REQUIRED: YES (WITHIN 3'-0" OF THE TOP OF THE GROUND STORY)
PROVIDED: YES

REQUIRED CHANGE IN ROOF PLANE OR TYPE

NOT REQUIRED



south elevation

1" = 20'-0"

MCCALLUM GARAGE

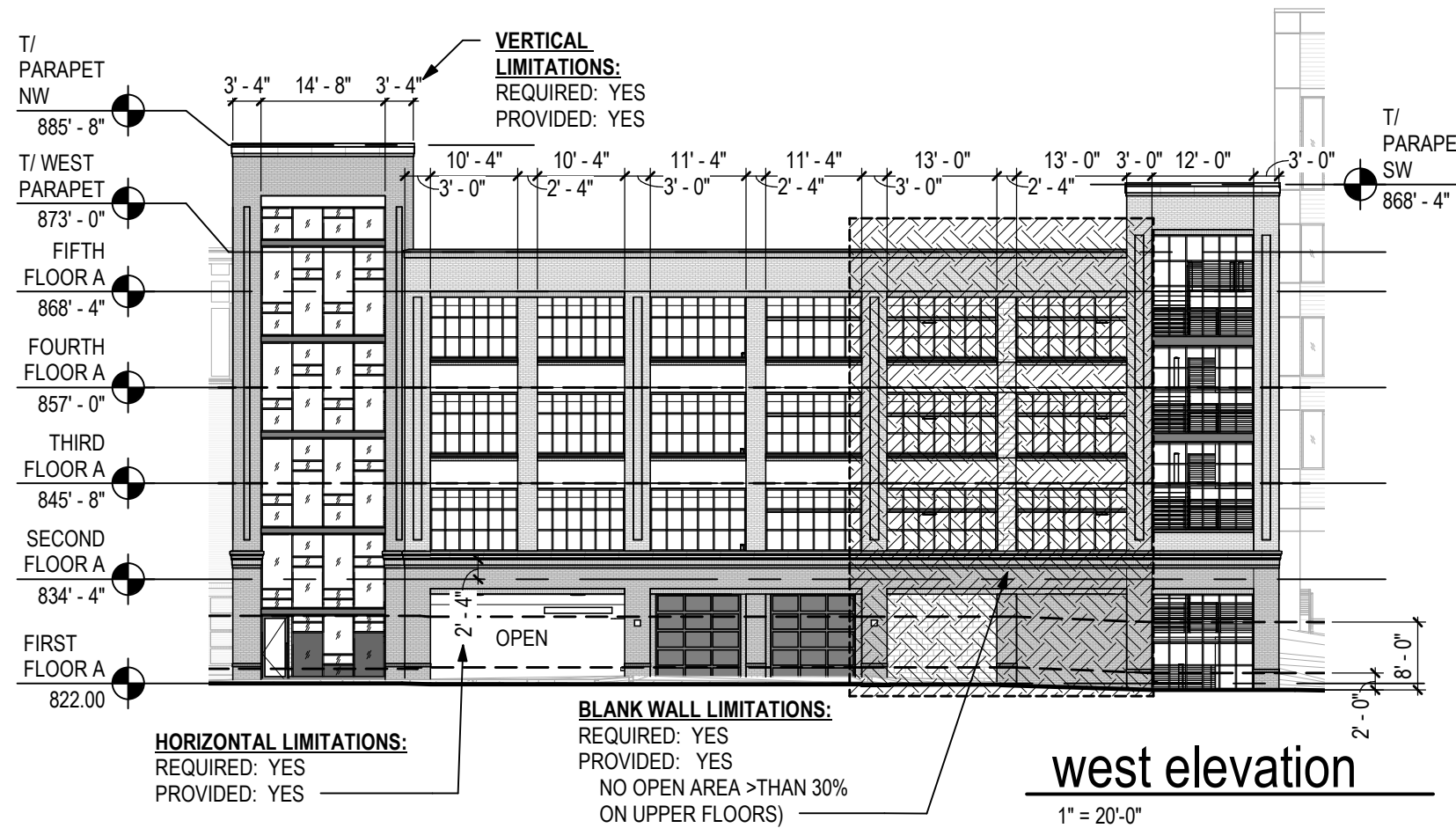
03-08-2021

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WEST FACADE TRANSPARENCY:

GROUND STORY
 HEIGHT (VARIES) 12'-4" ON NORTH SIDE
 13'-0" ON SOUTH SIDE
 GROUND STORY TOTAL AREA: 1,570 SF
TRANSPARENCY
 GROUND STORY TRANSPARENCY ZONE AREA: 740 SF
 (2'-0" TO 8'-0" ABOVE GRADE)
 GROUND STORY AREA OF GLASS: 420 SF
 (2'-0" TO 8'-0" ABOVE GRADE)
 TRANSPARENCY PROVIDED: 58% (420 / 740 = .58)
 TRANSPARENCY REQUIRED: 65 %

UPPER STORY
 HEIGHT 11'-4"
 UPPER STORY TOTAL AREA: 1,400 SF
TRANSPARENCY
 CARS SCREENED FROM VIEW BY
 MASONRY/WALL @ OPENINGS



| MATERIALS | WEST - TOTAL FACADE AREA: | 6,705 SF |
|------------|------------------------------|----------|
| PRIMARY: | BRICK (AREA): | 3240 SF |
| PRIMARY: | STONE (AREA): | 155 SF |
| PRIMARY: | METAL PANELS (AREA): | 75 SF |
| PRIMARY: | STOREFRONT (AREA): | 975 SF |
| | (WINDOWS & DOORS WITH GLASS) | |
| PRIMARY: | STOREFRONT FRAMING (AREA): | 2,020 SF |
| | (OPEN - NO GLASS) | |
| SECONDARY: | OPEN | 240 SF |

FACADE REQUIREMENTS : WEST FACADE
 STREET FACADE YES

| PRIMARY MATERIALS | TOTAL AREA: | 6,705 SF |
|---------------------|---------------------------|----------|
| REQUIRED: | 80% | |
| PROVIDED: | 96% (6,465 / 6,705 = .96) | |
| SECONDARY MATERIALS | TOTAL AREA: | 240 SF |
| REQUIRED: | <20% | |
| PROVIDED: | 4% (240 / 6,705 = .04) | |

BLANK WALL LIMITATIONS

REQUIRED: YES
 PROVIDED: YES

VERTICAL FACADE DIVISIONS

REQUIRED: YES (NO GREATER THAN 30 FT.)
 PROVIDED: YES

HORIZONTAL FACADE DIVISIONS

REQUIRED: YES (WITHIN 3'-0" OF THE TOP OF THE GROUND STORY)
 PROVIDED: YES

REQUIRED CHANGE IN ROOF PLANE OR TYPE

NOT REQUIRED

MATERIALS NORTH - TOTAL FACADE AREA: 2,830 SF

PRIMARY: MASONRY (AREA): 2,830 SF

FACADE REQUIREMENTS : NORTH FACADE
 STREET FACADE NO

PRIMARY MATERIALS TOTAL AREA: 2,830 SF

REQUIRED: 80%
 PROVIDED: 100%

VERTICAL FACADE DIVISIONS

NOT REQUIRED (NON-STREET FACADE)

HORIZONTAL FACADE DIVISIONS

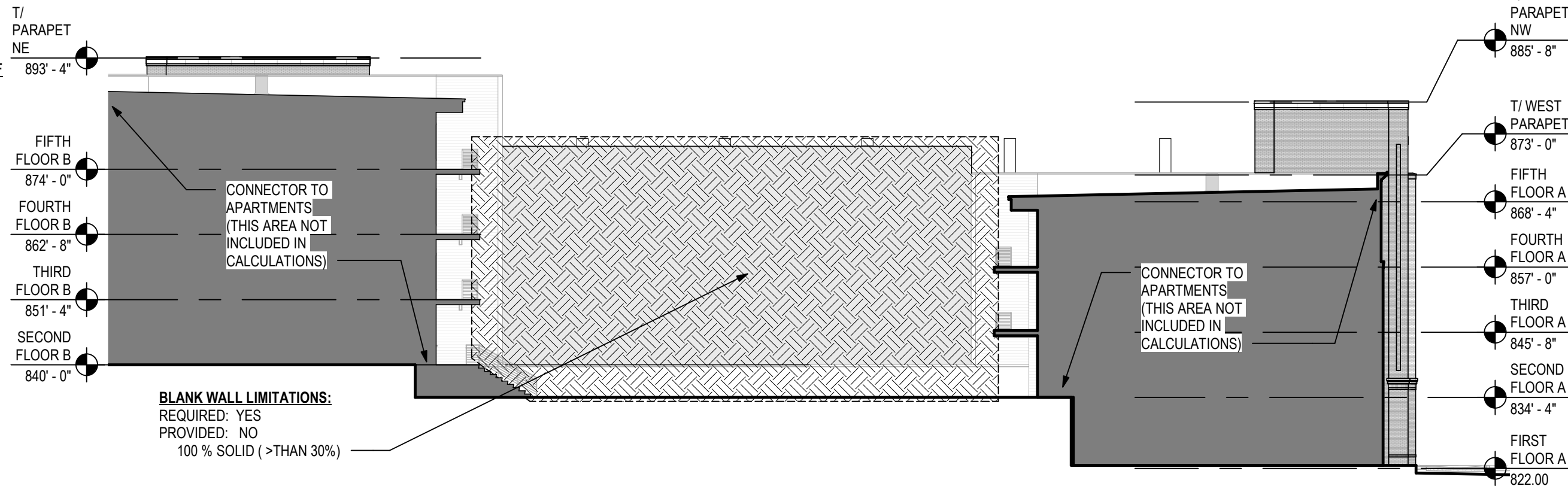
NOT REQUIRED (NON-STREET FACADE)

REQUIRED CHANGE IN ROOF PLANE OR TYPE

NOT REQUIRED (NON-STREET FACADE)

BLANK WALL LIMITATIONS

REQUIRED: YES
 PROVIDED: NO



MCCALLUM GARAGE

03-08-2021

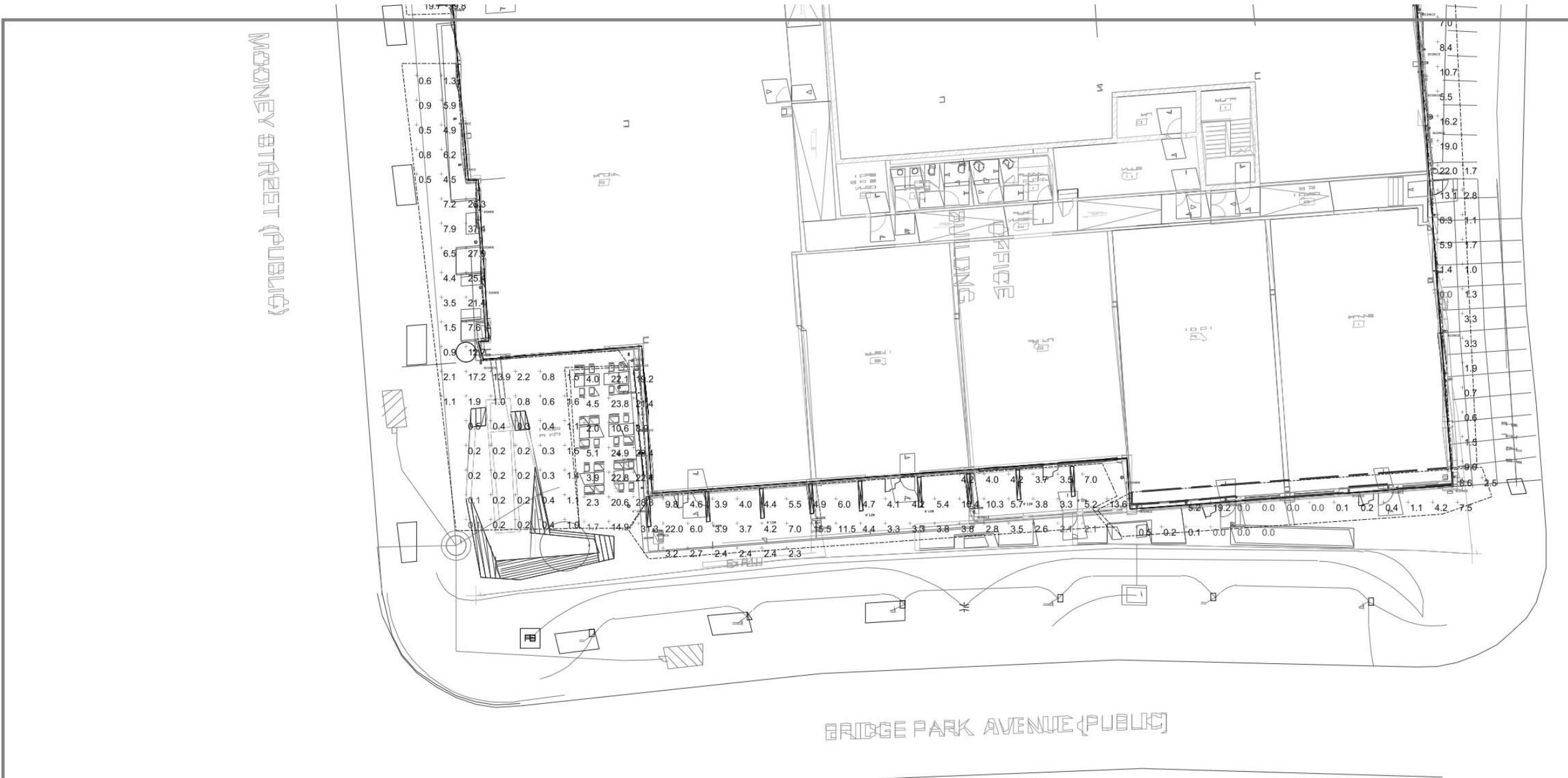
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038_AG2A514
 GARAGE
 ELEVATION
 TRANSPARENCY
 STUDIES



MCCALLUM GARAGE

03-08-2021



G BLOCK OFFICE LIGHTING LAYOUT

| Label | QTY | Manufacturer | Catalog Number | Description | Lamp | Number Lamps | Lumens per Lamp | Lumen Multiplier | Wattage |
|------------|-----|------------------|---------------------------------------|--|------|--------------|-----------------|------------------|---------|
| SCONCE | 34 | Eclipse Lighting | Camman Aries Sconce | LED WALL SCONCE 72" | LED | 1 | 1435 | 1 | 48 |
| 6' LIN | 9 | Structura | AURA-LNR-D-6-L30MO-S(X)-XX-STD | 6' WOOD LINEAR BEAM FXT | LED | 18 | 66 | 1 | 18 |
| 8' LIN | 2 | Structura | AURA-LNR-D-8-L30MO-S(X)-XX-STD | 8' WOOD LINEAR BEAM FXT | LED | 24 | 66 | 1 | 24 |
| 12' LIN | 12 | Structura | AURA-LNR-D-12-L30MO-S(X)-XX-STD | 12' WOOD LINEAR BEAM FXT | LED | 36 | 66 | 1 | 36 |
| BOLLARD | 5 | Selux | SX 971 14-9 | Olivio Poller Piccolo Bollard | LED | 1 | 1500 | 1 | 19 |
| 6" DOWN | 11 | Gotham | EVO6 35/30 AR MD LSS | EVO 6IN ROUND, 80 CRI, 3500K, 3000LM, MED DIST, CLEAR, SEMI-SPEC | LED | 1 | 3010 | 1 | 29.5 |
| 42" SCONCE | 9 | Lumenpulse | ELMM10-RO-120/277/40K-CRI80-S120-O-NO | Element ELMM10 | LED | 1 | 915 | 1 | 20.58 |
| 66" SCONCE | 6 | Lumenpulse | ELMM20-RO-120/277-40K-CRI80-S120-O-NO | Element ELMM20 | LED | 1 | 1380 | 1 | 20.66 |

| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
|--------------------------|--------|---------|---------|--------|---------|---------|
| BUILDING FRONT | + | 5.9 fc | 31.3 fc | 2.1 fc | 14.9:1 | 2.8:1 |
| Calc Zone #11 | + | 5.4 fc | 22.1 fc | 0.7 fc | 31.6:1 | 7.7:1 |
| LOWER LEFT OPEN AREA | + | 4.5 fc | 37.4 fc | 0.1 fc | 374.0:1 | 45.0:1 |
| OPEN AREA STAIRS | + | 8.0 fc | 40.6 fc | 0.9 fc | 45.1:1 | 8.9:1 |
| PATIO GARDEN | + | 14.4 fc | 28.8 fc | 1.7 fc | 16.9:1 | 8.5:1 |
| SCONCE (EAST SIDE) | + | 0.4 fc | 0.5 fc | 0.2 fc | 2.5:1 | 2.0:1 |
| SCONCE (WEST SIDE) | + | 0.5 fc | 1.0 fc | 0.1 fc | 10.0:1 | 5.0:1 |
| SCONCE AREA TYP | + | 2.5 fc | 19.2 fc | 0.0 fc | N/A | N/A |
| SCONCE WALL (EAST LOWER) | + | 10.6 fc | 44.1 fc | 0.0 fc | N/A | N/A |
| STAIR AREA | + | 11.6 fc | 15.3 fc | 4.1 fc | 3.7:1 | 2.8:1 |
| TWO BUILDINGS OPEN AREA | + | 2.2 fc | 90.7 fc | 0.1 fc | 907.0:1 | 22.0:1 |

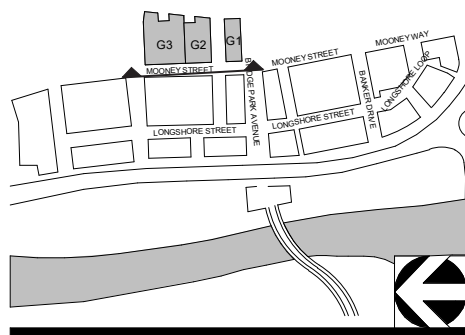
Designer
Date 3/3/2021
Scale Not to Scale
Drawing No.
Summary

G-1 OFFICE BUILDING

03-08-2021



KEY PLAN



G BLOCK BUILDINGS

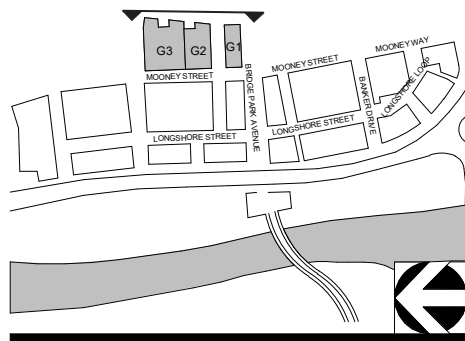
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041_AG0A321
MOONEY ST
CONTEXT
ELEVATION



KEY PLAN



G BLOCK BUILDINGS

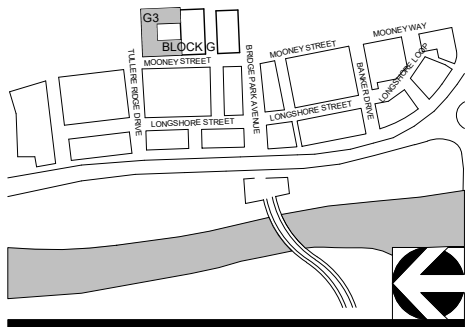
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042_AG0A322
DALE DR
CONTEXT
ELEVATION



KEY PLAN

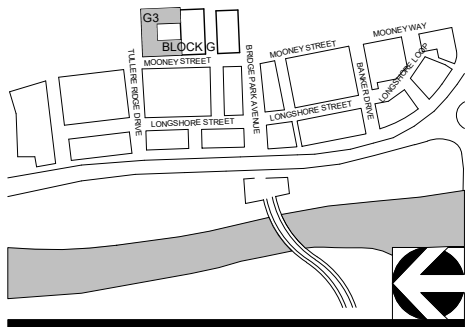


The McCallum - RESIDENTIAL BUILDING

03-08-2021



KEY PLAN

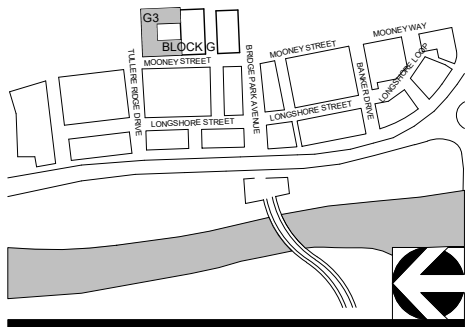


The McCallum - RESIDENTIAL BUILDING

03-08-2021



KEY PLAN



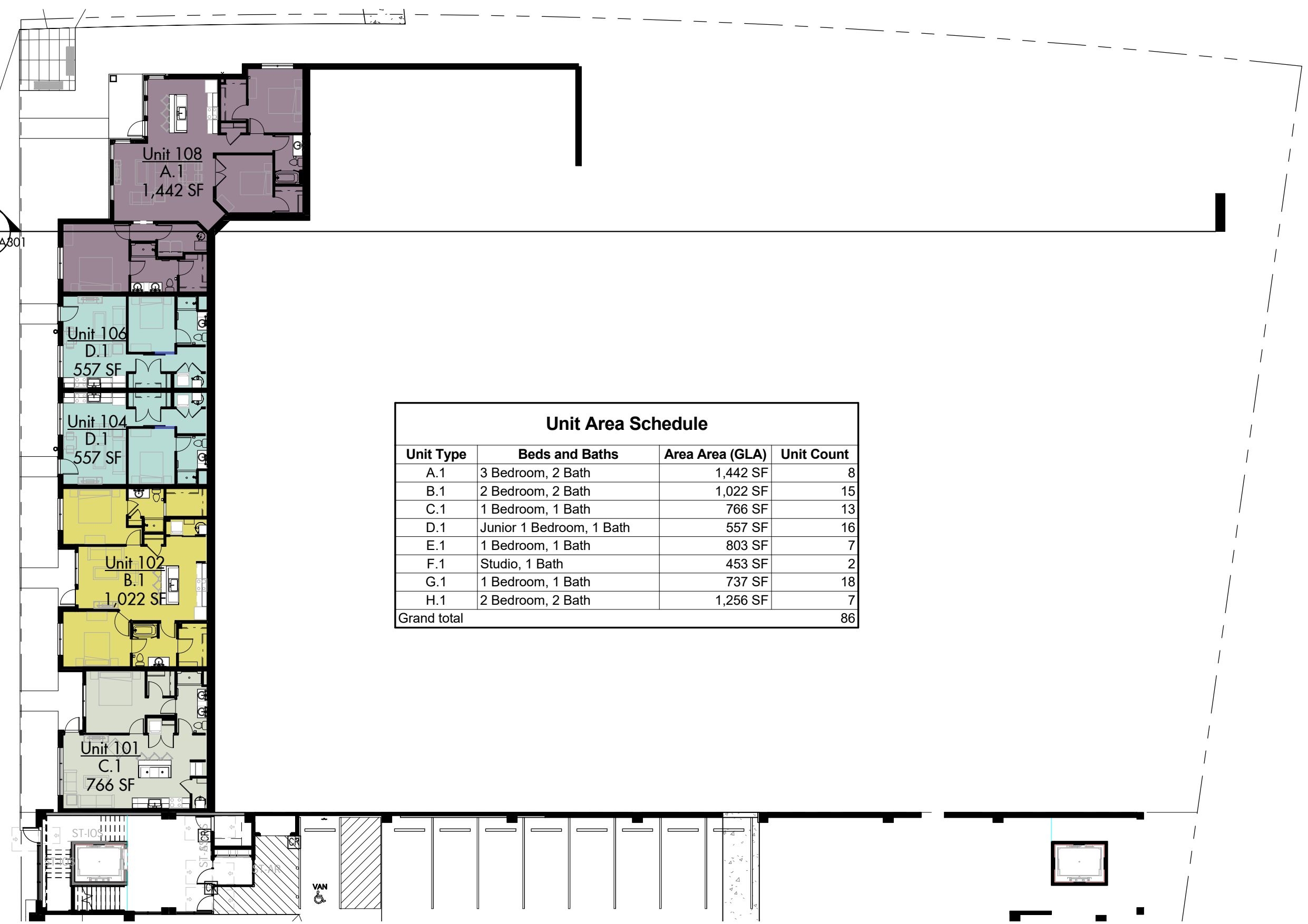
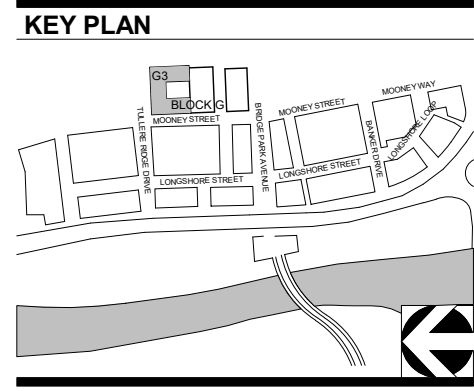
The McCallum - RESIDENTIAL BUILDING

03-08-2021

1
056_A-G3A801

G3 Gross Area Schedule

| Level | Area |
|-----------------|-----------|
| G3 Floor 1 | 4,528 SF |
| G3 Floor 2 East | 11,973 SF |
| G3 Floor 2 West | 10,949 SF |
| G3 Floor 3 East | 11,887 SF |
| G3 Floor 3 West | 10,949 SF |
| G3 Floor 4 East | 11,887 SF |
| G3 Floor 4 West | 10,949 SF |
| G3 Floor 5 | 11,897 SF |
| Grand total | 85,019 SF |



Unit Area Schedule

| Unit Type | Beds and Baths | Area Area (GLA) | Unit Count |
|-------------|--------------------------|-----------------|------------|
| A.1 | 3 Bedroom, 2 Bath | 1,442 SF | 8 |
| B.1 | 2 Bedroom, 2 Bath | 1,022 SF | 15 |
| C.1 | 1 Bedroom, 1 Bath | 766 SF | 13 |
| D.1 | Junior 1 Bedroom, 1 Bath | 557 SF | 16 |
| E.1 | 1 Bedroom, 1 Bath | 803 SF | 7 |
| F.1 | Studio, 1 Bath | 453 SF | 2 |
| G.1 | 1 Bedroom, 1 Bath | 737 SF | 18 |
| H.1 | 2 Bedroom, 2 Bath | 1,256 SF | 7 |
| Grand total | | | 86 |

Condominium Floor 1 Plan

1" = 20'-0"

The McCallum - RESIDENTIAL BUILDING

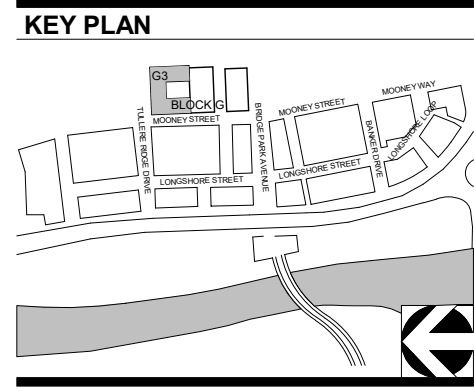
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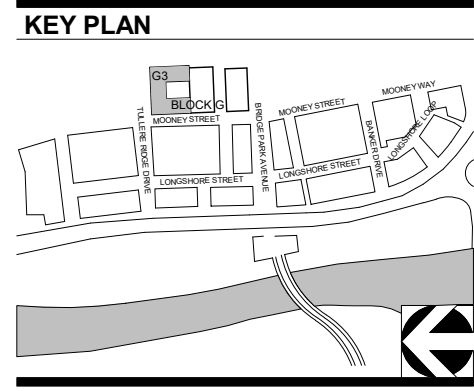
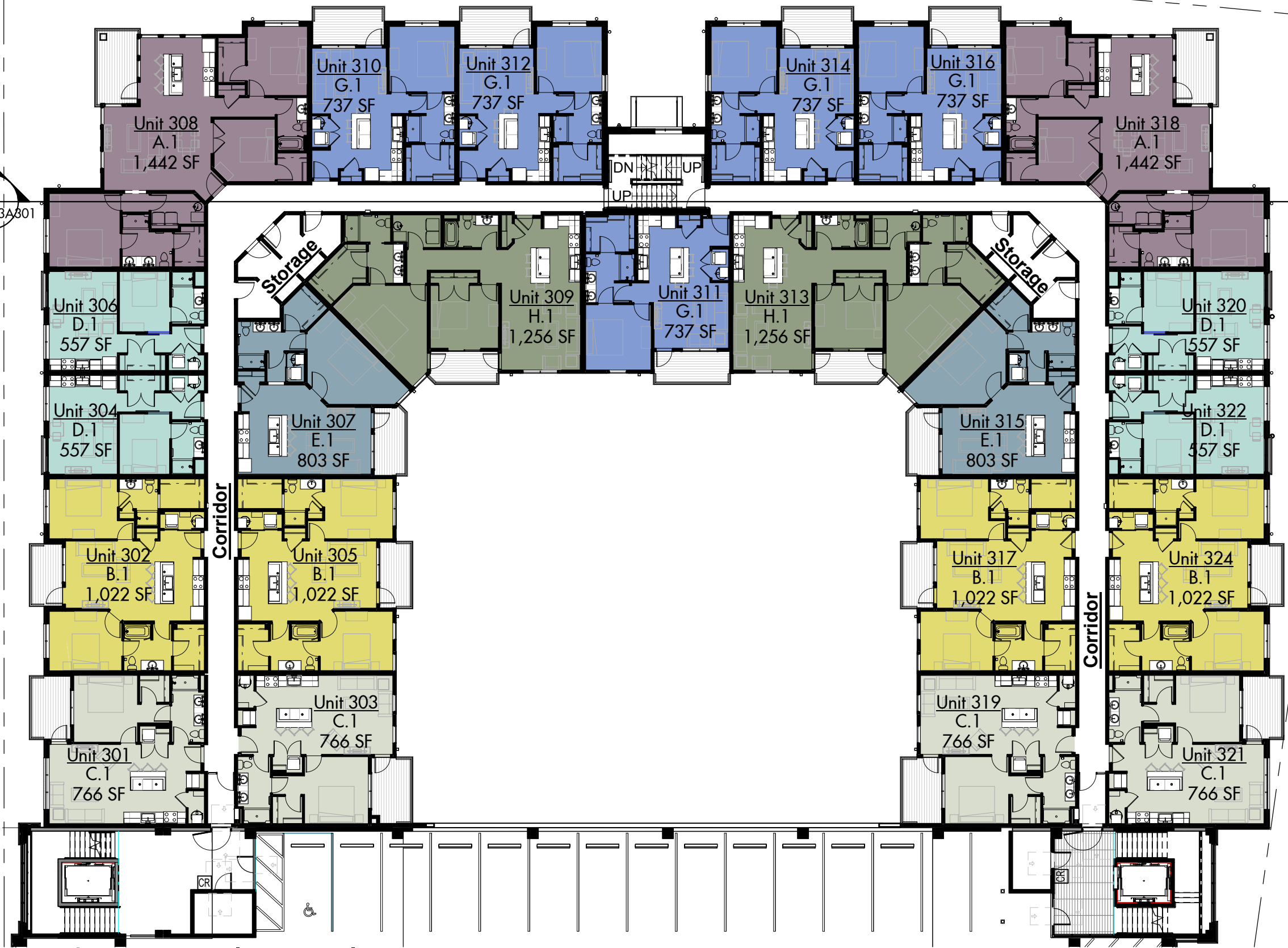
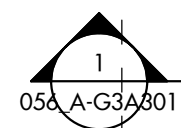
Condominium Floor 2 Plan

1" = 20'-0"

The McCallum - RESIDENTIAL BUILDING



03-08-2021



Condominium Floor 3 Plan

1" = 20'-0"

The McCallum - RESIDENTIAL BUILDING

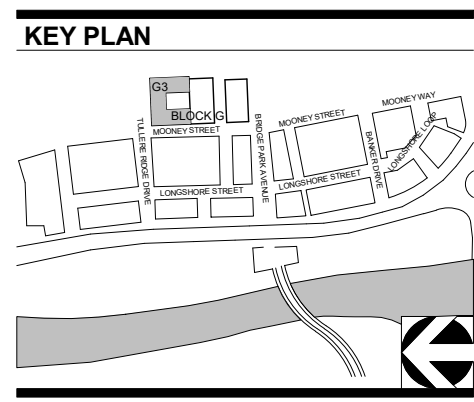
03-08-2021



Condominium Floor 4 Plan

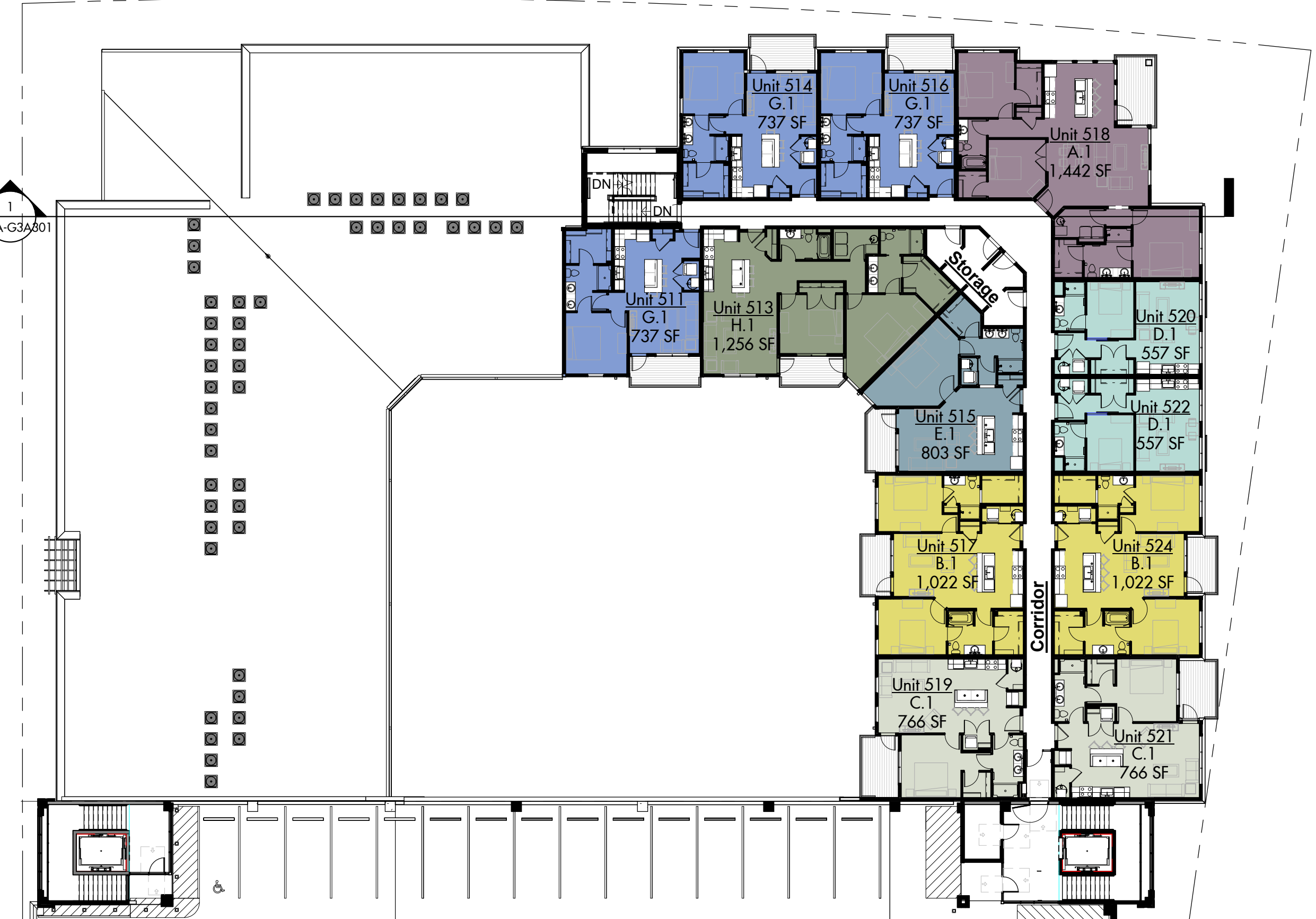
1" = 20'-0"

The McCallum - RESIDENTIAL BUILDING

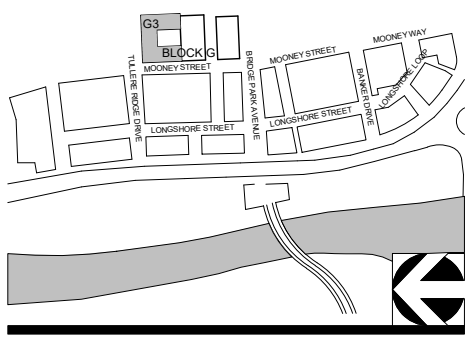


03-08-2021

1
050_A-G3A801



KEY PLAN

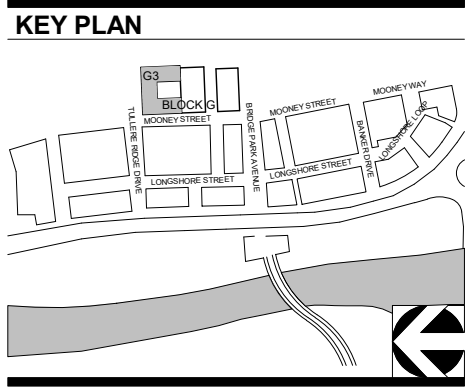
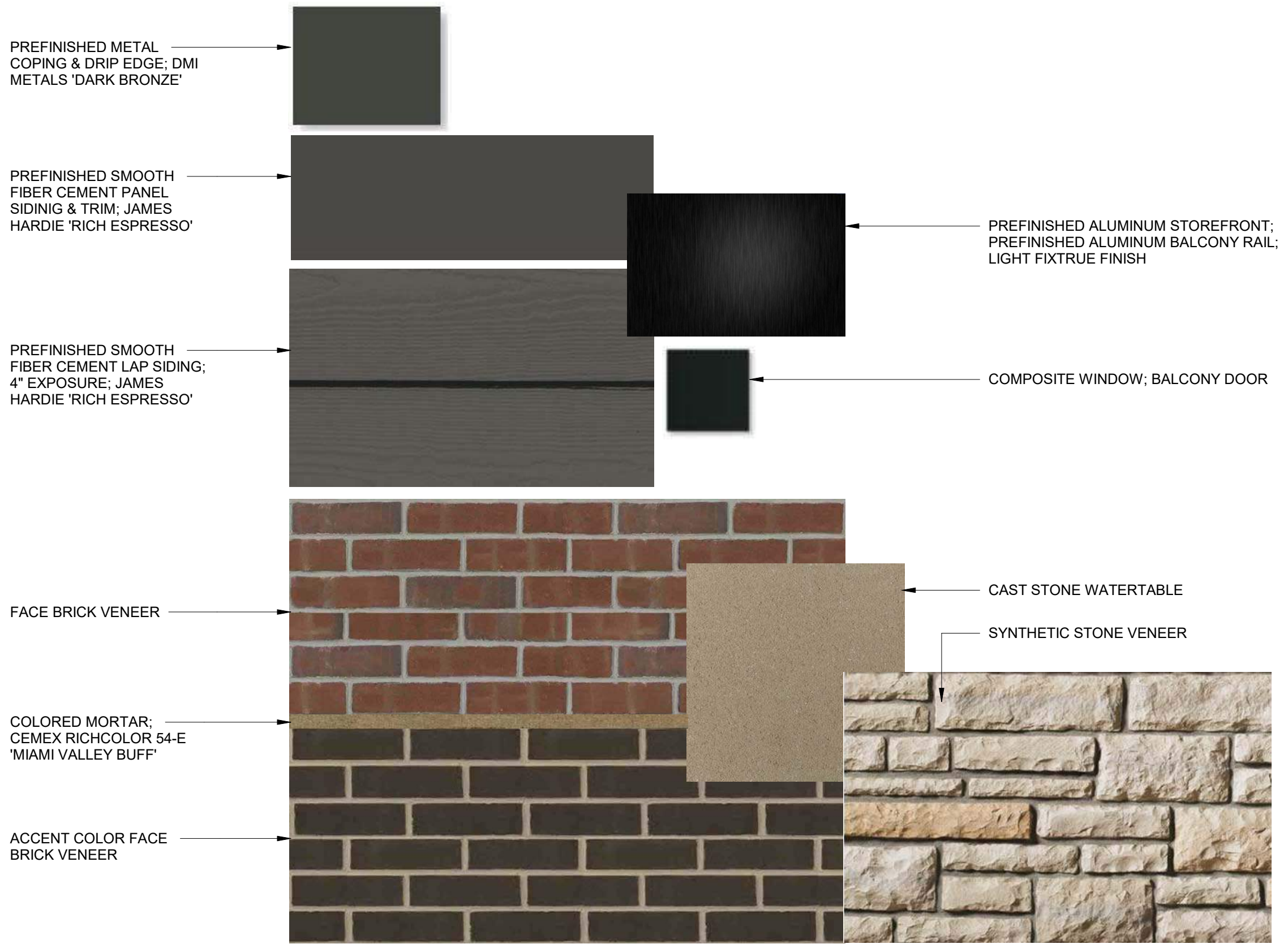


Condominium Floor 5 Plan

1" = 20'-0"

The McCallum - RESIDENTIAL BUILDING

03-08-2021



The McCallum - RESIDENTIAL BUILDING

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- Floor 5 East 874'-0"
- Floor 4 East 862'-8"
- Floor 3 East 851'-4"
- Floor 2 East 840'-0"

PREFINISHED SMOOTH FIBER CEMENT LAP SIDING, 'RICH ESPRESSO' BY JAMES HARDIE OR EQUIVALENT



- PREFINISHED ALUMINUM STOREFRONT MAIN ENTRY, BLACK, WITH PREFINISHED METAL CANOPY WITH HANGER RODS, BLACK
- BENCHES; TYP. OF 2 AT ENTRY
- LIGHT FIXTURE; TYP. OF 2
- SYNTHETIC STONE VENEER LANDSCAPE PLANTER WALL
- BIKE RACKS; TYP. OF 6
- INSULATED METAL, FULL GLASS BALCONY DOOR WITH TRANSOM, PAINT - BLACK
- Floor 4 West 857'-0"
- Floor 3 West 845'-8"
- WALL WASH LIGHT FIXTURES
- Floor 2 West 834'-4"
- Floor 1 823'-0"

Condominium North Elevation

1" = 20'-0"

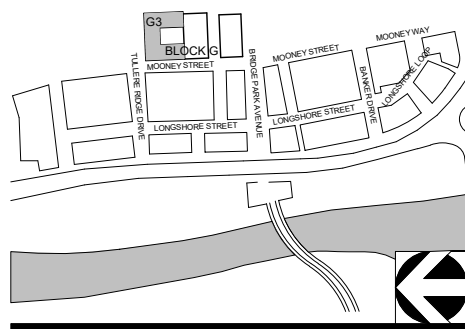


MAIN ENTRY FIXTURE



UNIT ENTRY FIXTURE

KEY PLAN



- PREFINISHED, SMOOTH FIBER CEMENT TRIM AND PANEL SIDING, 'RICH ESPRESSO' BY JAMES HARDIE OR EQUIVALENT
- PREFINISHED METAL COPING, COLOR TO MATCH FIBER CEMENT
- EIFS CORNICE, SMOOTH FINISH, COLOR TO MATCH FIBER CEMENT
- PREFINISHED ALUMINUM GUARD RAIL WITH STAINLESS CABLE RAILS
- PREFINISHED FIBER CEMENT TRIM, 'RICH ESPRESSO' BY JAMES HARDIE OR EQUIVALENT
- COMPOSITE FIXED OR SINGLE HUNG WINDOW WITH TRANSOM, BLACK
- FACE BRICK VENEER WITH BUFF COLOR MORTAR, STANDARD RUNNING BOND COURSING
- FRENCH BALCONY
- RECESSED BRICK PANEL WITH VERTICAL RUNNING BOND COURSING
- WALL WASH LIGHT FIXTURE
- 3/4 GLASS COMPOSITE UNIT ENTRY DOOR, BLACK WITH CARRIAGE LIGHT FIXTURE



- SMOOTH CEDAR TRELLIS AT FLOOR 4/5 BALCONIES
- ACCENT BRICK VENEER ONE (1) CORBEL ROWLOCK COURSE OVER (1) CORBEL SOLDIER COURSE WITH CONTINUOUS PREFINISHED METAL FLASHING CAP, COLOR TO MATCH FIBER CEMENT
- ACCENT BRICK VENEER CORBEL SOLDIER COURSE HEADER & ROWLOCK SILL
- CORBEL BUFF COLOR CAST STONE WATERTABLE OVER (1) ACCENT BRICK CORBEL SOLDIER COURSE
- Floor 4 West 857'-0"
- Floor 3 West 845'-8"
- Floor 2 West 834'-4"
- RECESSED ACCENT BRICK VENEER RUSTICATION
- Floor 1 823'-0"
- PREFINISHED SMOOTH FIBER CEMENT LAP SIDING, 'RICH ESPRESSO' BY JAMES HARDIE OR EQUIVALENT

Condominium West Elevation

1" = 20'-0"

The McCallum - RESIDENTIAL BUILDING

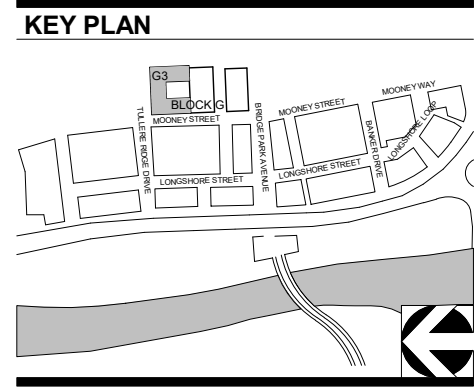
03-08-2021

- PREFINISHED METAL COPING, COLOR TO MATCH FIBER CEMENT
- SMOOTH CEDAR TRELLIS AT FLOOR 4/5 BALCONIES
- INSULATED METAL, FULL GLASS BALCONY DOOR WITH TRANSOM, PAINT - BLACK
- COMPOSITE FIXED OR SINGLE HUNG WINDOW WITH TRANSOM, BLACK
- Floor 5 East 874'-0"
 - Floor 4 East 862'-8"
 - Floor 3 East 851'-4"
 - Floor 2 East 840'-0"
- RECESSED ACCENT BRICK VENEER RUSTICATION



- PREFINISHED, SMOOTH FIBER CEMENT LAP SIDING, 'RICH ESPRESSO' BY JAMES HARDIE OR EQUIVALENT
- PREFINISHED, SMOOTH FIBER CEMENT TRIM AND PANEL SIDING, 'RICH ESPRESSO' BY JAMES HARDIE OR EQUIVALENT
- PREFINISHED, SMOOTH FIBER CEMENT TRIM, 'RICH ESPRESSO' BY JAMES HARDIE OR EQUIVALENT
- PREFINISHED ALUMINUM GUARD RAIL WITH STAINLESS CABLE RAILS
- FRENCH BALCONY
- ACCENT BRICK VENEER, ONE (1) CORBEL ROWLOCK COURSE OVER (1) ONE CORBEL SOLDIER COURSE WITH CONTINUOUS PREFINISHED METAL FLASHING CAP, COLOR TO MATCH FIBER CEMENT
- RECESSED BRICK PANEL WITH VERTICAL RUNNING BOND COURSING
- WALL WASH LIGHT FIXTURE
- ACCENT BRICK VENEER CORBEL SOLDIER COURSE HEADER & ROWLOCK SILL
- FACE BRICK VENEER WITH BUFF COLOR MORTAR, STANDARD RUNNING BOND COURSING
- CORBEL BUFF COLOR CAST STONE WATERTABLE OVER (1) ONE ACCENT BRICK CORBEL SOLDIER COURSE
- PREFINISHED METAL OPAQUE FENCE / TRANSFORMER ENCLOSURE; COLOR TO MATCH FIBER CEMENT
- 3/4 GLASS COMPOSITE UNIT ENTRY DOOR, BLACK WITH CARRIAGE LIGHT FIXTURE

Condominium East Elevation
1" = 20'-0"



The McCallum - RESIDENTIAL BUILDING

03-08-2021

- Floor 5 East
874'-0"
- Floor 4 East
862'-8"
- Floor 3 East
851'-4"
- Floor 2 East
840'-0"

STREET FACADE TRANSPARENCY
Requirement Met

(Story Area = Story Height x Length)

5th Story
Story Area: 1,374 sf
Transparency: 492 sf
Required: 20.00%
Provided: 35.81%

4th Story
Story Area: 1,374 sf
Transparency: 492 sf
Required: 20.00%
Provided: 35.81%

3rd Story
Story Area: 1,374 sf
Transparency: 492 sf
Required: 20.00%
Provided: 35.81%

2nd Story
Story Area: 1,272 sf
Transparency: 441 sf
Required: 20.00%
Provided: 34.67%

Horizontal Facade Divisions
(required within 3' of top of ground story on buildings 3 stories and taller)
Requirement Met

Blank Wall Limitation
Requirement Met

Change in Roof Plane or Type
No greater than every 80 ft.
Requirement Not Met - Waiver Requested

Vertical Facade Increments
No greater than 40 ft.
Requirement Not Met - Waiver Requested



STREET FACADE TRANSPARENCY
Requirement Met

(Story Area = Story Height x Length)

4th Story
Story Area: 1,170 sf
Transparency: 416 sf
Required: 20.00%
Provided: 35.56%

3rd Story
Story Area: 1,170 sf
Transparency: 416 sf
Required: 20.00%
Provided: 35.56%

2nd Story
Story Area: 1,375 sf
Transparency: 556 sf
Required: 20.00%
Provided: 40.44%

1st Story
Story Area: 287 sf (Btw. 2' & 8')
Transparency: 73 sf
Required: 20.00%
Provided: 25.44%

- Floor 4 West
857'-0"
- Floor 3 West
845'-8"
- Floor 2 West
834'-4"
- Floor 1
823'-0"

Horizontal Facade Divisions
(required within 3' of top of ground story on buildings 3 stories and taller)
Requirement Met

| Total Facade Area* = 8,199 SF | | Waiver Requested | | | |
|--|-------------------|------------------|---------------|------------|----------|
| *Windows/Doors not included in Facade Area | | | | | |
| Material | Primary/Secondary | Area (SF) | Percentage | Required | Met? |
| Brick | Primary | 3,524 | 42.98% | | |
| Stone | Primary | 122 | 1.49% | | |
| | | 3,646 | 44.47% | 80% | N |
| Fiber Cement Siding | Secondary | 4,553 | 55.53% | <20% | N |

Condominium North Elevation Transparency

1" = 20'-0"

Change in Roof Plane or Type
No greater than every 80 ft.
Requirement Met

Vertical Facade Increments
No greater than 40 ft.
Requirement Not Met - Waiver Requested



STREET FACADE TRANSPARENCY
Requirement Met

(Story Area = Story Height x Length)

4th Story
Story Area: 1,676 sf
Transparency: 738 sf
Required: 20.00%
Provided: 44.03%

3rd Story
Story Area: 1,676 sf
Transparency: 738 sf
Required: 20.00%
Provided: 44.03%

2nd Story
Story Area: 1,676 sf
Transparency: 738 sf
Required: 20.00%
Provided: 44.03%

1st Story
Story Area: 887 sf (Btw. 2' & 8')
Transparency: 502 sf
Required: 20.00%
Provided: 56.60%

- Floor 4 West
857'-0"
- Floor 3 West
845'-8"
- Floor 2 West
834'-4"
- Floor 1
823'-0"

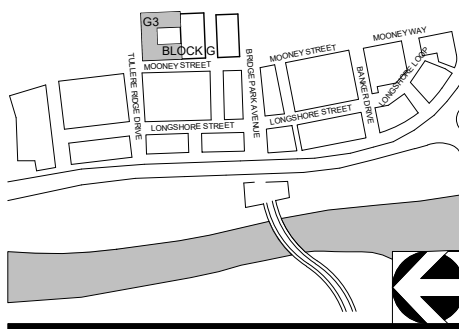
Blank Wall Limitation
Requirement Met

Horizontal Facade Divisions
(required within 3' of top of ground story on buildings 3 stories and taller)
Requirement Met

Condominium West Elevation Transparency

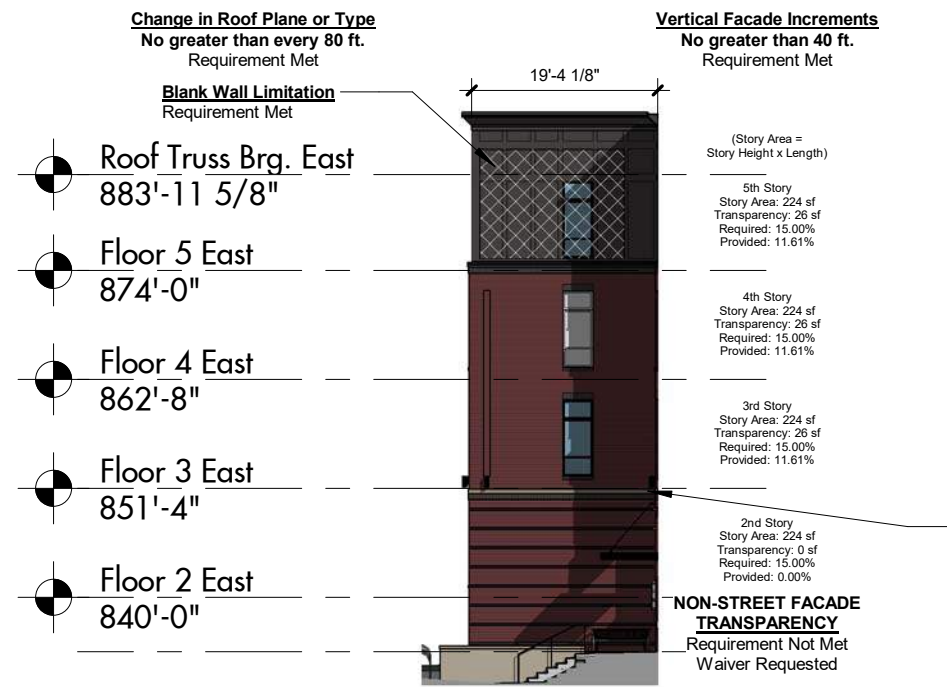
1" = 20'-0"

KEY PLAN



The McCallum - RESIDENTIAL BUILDING

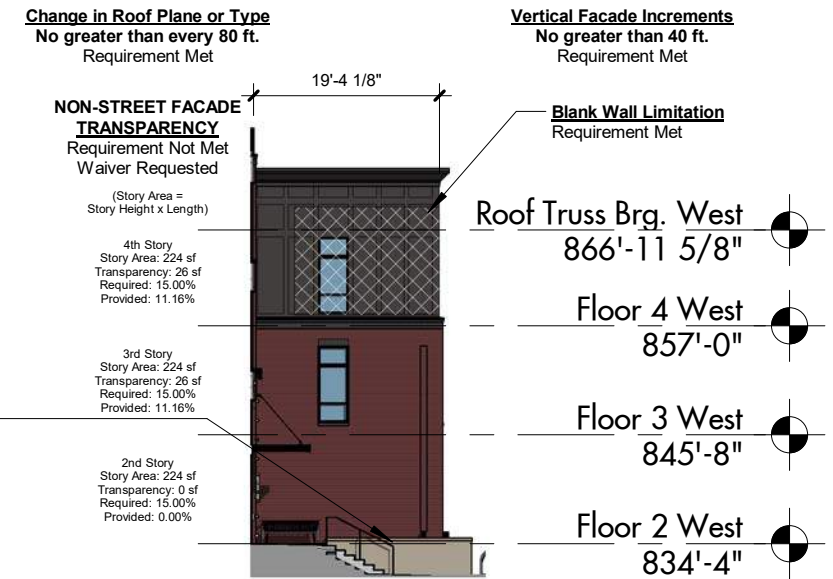
03-08-2021



| Total Facade Area* = 1,089 SF | | | | | Waiver Requested | |
|--|-------------------|-----------|------------|----------|------------------|---|
| *Windows/Doors not included in Facade Area | | | | | | |
| Material | Primary/Secondary | Area (SF) | Percentage | Required | Met? | |
| Brick | Primary | 737 | 67.68% | | | |
| Stone | Primary | 74 | 6.80% | | | |
| | | 811 | 74.48% | 80% | | N |
| Fiber Cement Siding | Secondary | 278 | 25.52% | <20% | | N |

Entry Courtyard West Elevation Transparency

1" = 20'-0"



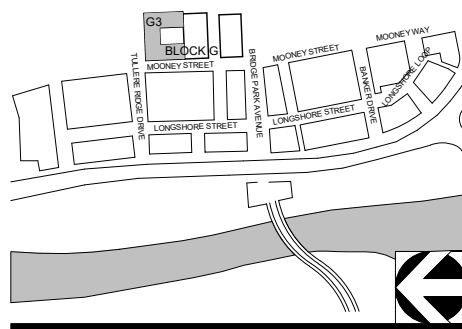
| Total Facade Area* = 775 SF | | | | | Waiver Requested | |
|--|-------------------|-----------|------------|----------|------------------|---|
| *Windows/Doors not included in Facade Area | | | | | | |
| Material | Primary/Secondary | Area (SF) | Percentage | Required | Met? | |
| Brick | Primary | 433 | 55.87% | | | |
| Stone | Primary | 62 | 8.00% | | | |
| | | 495 | 63.87% | 80% | | N |
| Fiber Cement Siding | Secondary | 280 | 33.13% | <20% | | N |

Entry Courtyard East Elevation Transparency

1" = 20'-0"

| Total Facade Area* = 4,711 SF | | | | | Waiver Requested | |
|--|-------------------|-----------|------------|----------|------------------|---|
| *Windows/Doors not included in Facade Area | | | | | | |
| Material | Primary/Secondary | Area (SF) | Percentage | Required | Met? | |
| Brick | Primary | 2,129 | 45.19% | | | |
| Stone | Primary | 43 | 0.91% | | | |
| | | 2,172 | 46.10% | 80% | | N |
| Fiber Cement Siding | Secondary | 2,539 | 53.90% | <20% | | N |

KEY PLAN



Condominium East Elevation Transparency

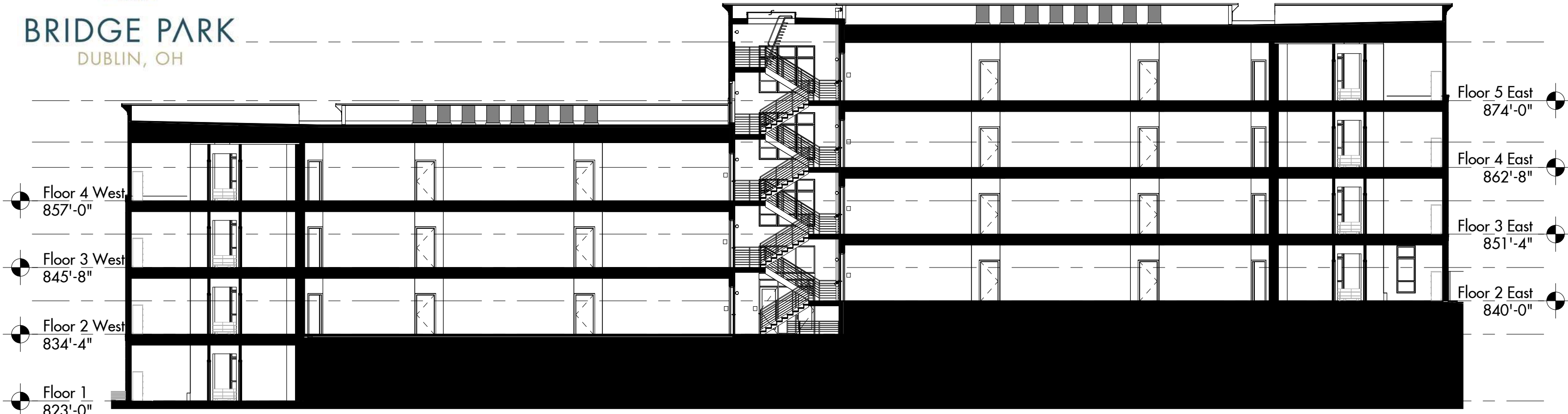
1" = 20'-0"

The McCallum - RESIDENTIAL BUILDING

03-08-2021



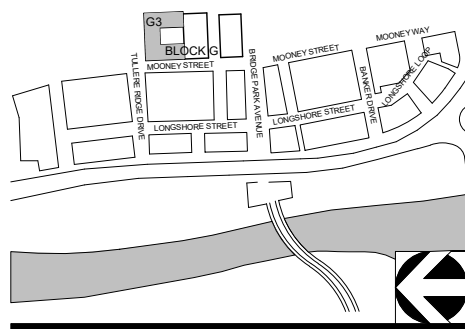
BRIDGE PARK
DUBLIN, OH



Condominium Building Section

1/16" = 1'-0"

KEY PLAN



Tuller Ridge Drive / North Elevation

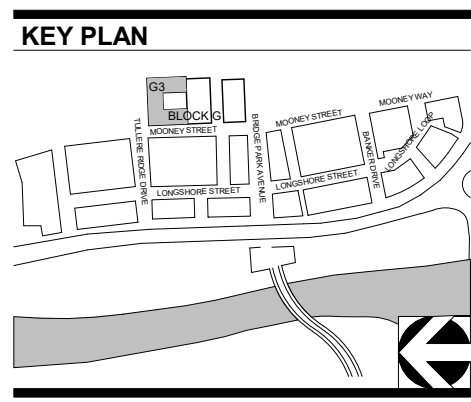
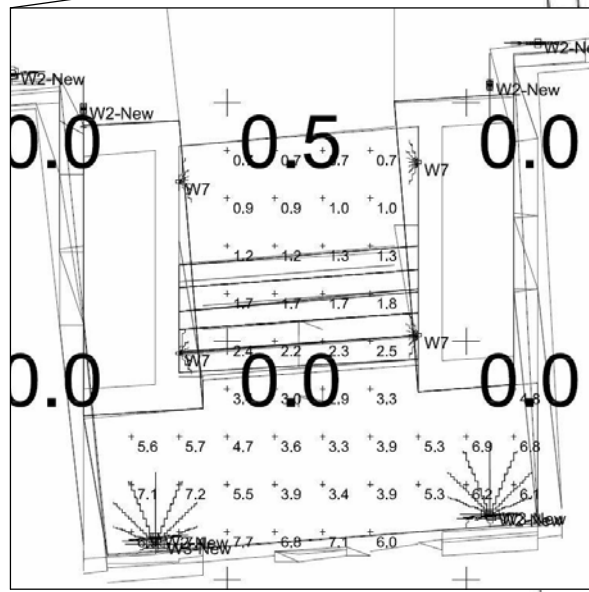
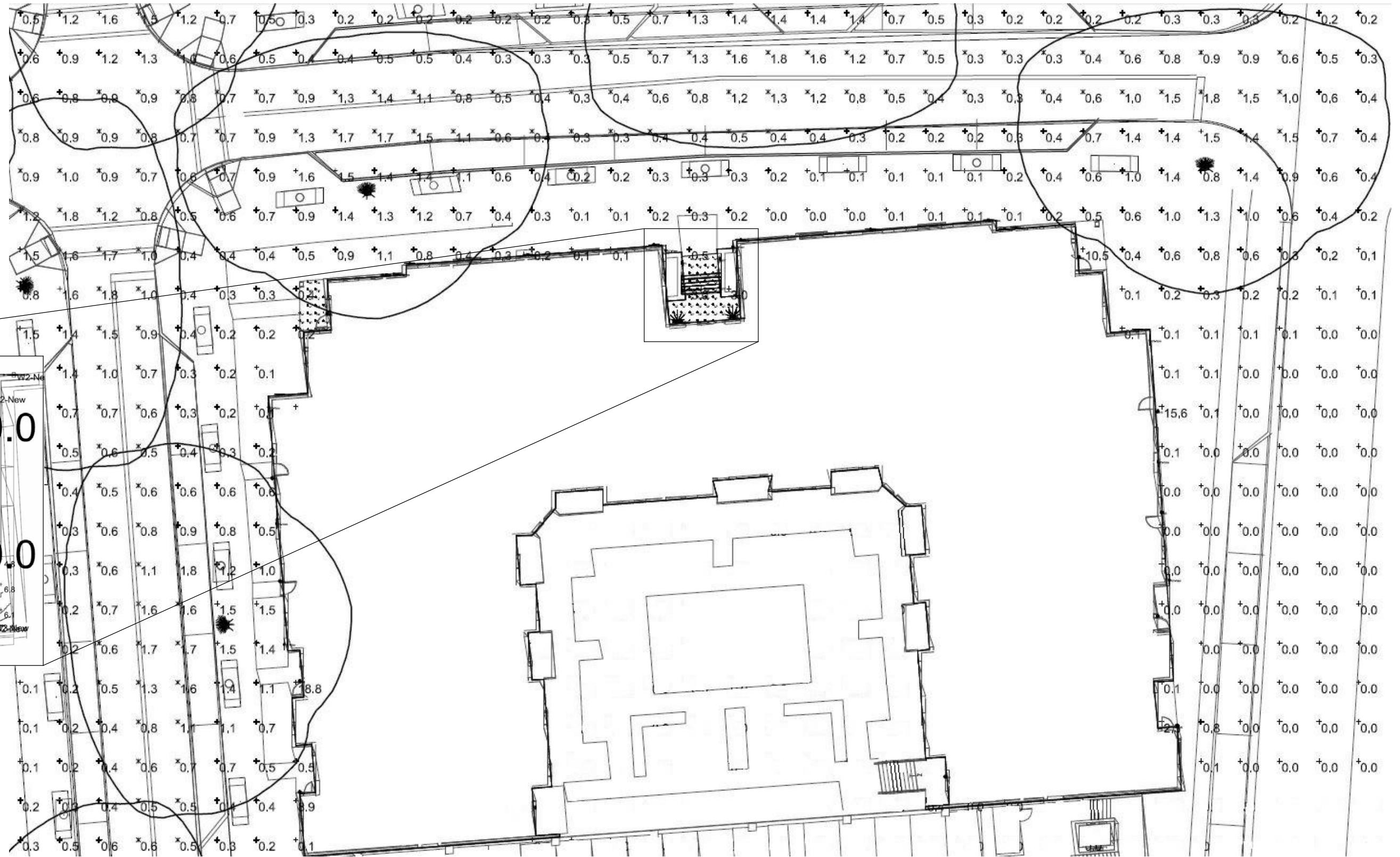
1" = 30'-0"

The McCallum - RESIDENTIAL BUILDING

03-08-2021










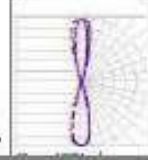
BRIDGE PARK
DUBLIN, OH



The McCallum - RESIDENTIAL BUILDING

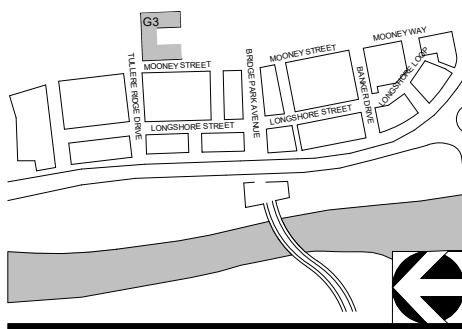
03-08-2021

Schedule

| Symbol | Label | Image | QTY | Manufacturer | Catalog Number | Description | Lamp | Number Lamps | Filename | Lumens per Lamp | Lumen Multiplier | LLF | Wattage | Efficiency | Distribution | Polar Plot | Notes |
|---|-------|-------|-----|--|--|---|-----------------|--------------|---|-----------------|------------------|-----|---------|------------|---|---|-------|
|  | W2 | | 24 | LIGMAN | MT-31427-W30 | Matrix 5 square wall down light | 1 COB LED 3000K | 1 | W2 - MT-31427-W30.ies | 78 | 1 | 1 | 6,6 | 100% | | | |
|  | W2A | | 0 | LIGMAN | MT-31408-W30 | Matrix 10 Surface facade luminaires | HIT-TC-CE-35W | 1 | W2A - MT-31408-W30.ies | 81 | 1 | 1 | 42.3 | 100% | | | |
|  | W3 | | 2 | SPI Lighting Inc. 10400 N Enterprise Drive, Mequon, WI 53092 | SPI Optical # 9912 Operating at 120v AC and 60 Hz, | | | 126 | W3 - AEW9980-36in-harbor-ws-led-low-Lumens-2484.ies | 20 | 1 | 1 | 36 | 100% | | | |
|  | W7 | | 4 | WAC Lighting | WL-LED140-C-BK | PITA POCKET STEP LIGHT | | 1 | W7 - WL-LED140-C-BK.IES | 0 | 1 | 1 | 3,22333 | 100% | | | |
|  | WL | | 0 | WAC Lighting | WL-LED140F-C-BK | PITA POCKET STEP LIGHT | | 1 | WL-LED140F-C-BK.IES | 0 | 1 | 1 | 2,6412 | 100% | |  | |
|  | W6 | | 7 | Lithonia Lighting | OLLWU LED P1 40K 120 DDB | OUTDOOR LED WALL CYLINDER UP & DOWN LIGHT | LED | 1 | OLLWU_LED_P1_40K_120_DDB.ies | 1086 | 1 | 1 | 13.8 | 100% | TYPE I, VERY SHORT, BUG RATING: B1 - U4 - |  | |

| Statistics | | | | | | |
|--------------|--------|--------|---------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| Calc Zone #1 | + | 0,0 fc | 0,5 fc | 0,0 fc | N/A | N/A |
| Calc Zone #2 | + | 0,0 fc | 15,3 fc | 0,0 fc | N/A | N/A |
| Calc Zone #3 | + | 0,2 fc | 75,7 fc | 0,0 fc | N/A | N/A |

KEY PLAN



The McCallum - RESIDENTIAL BUILDING

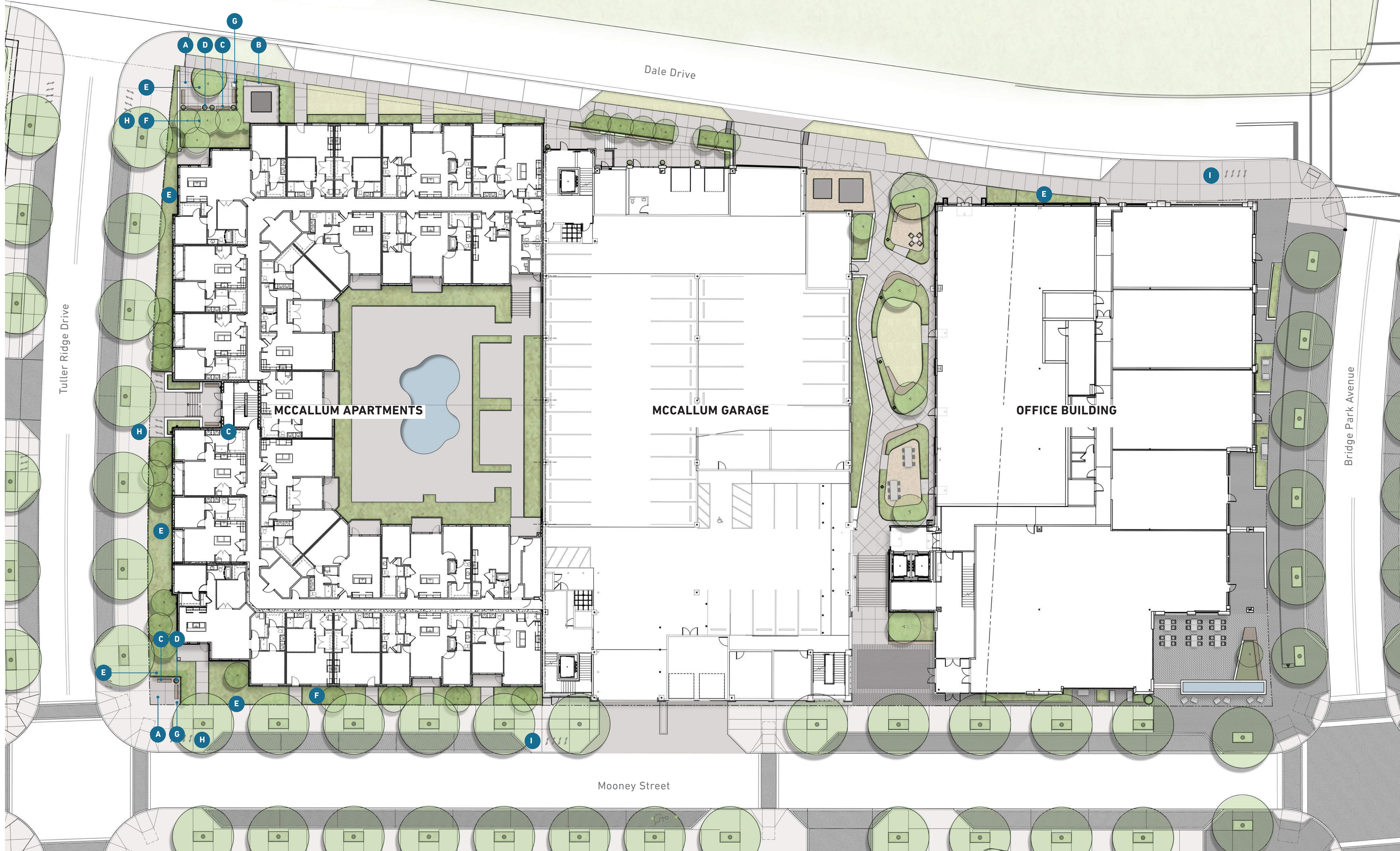
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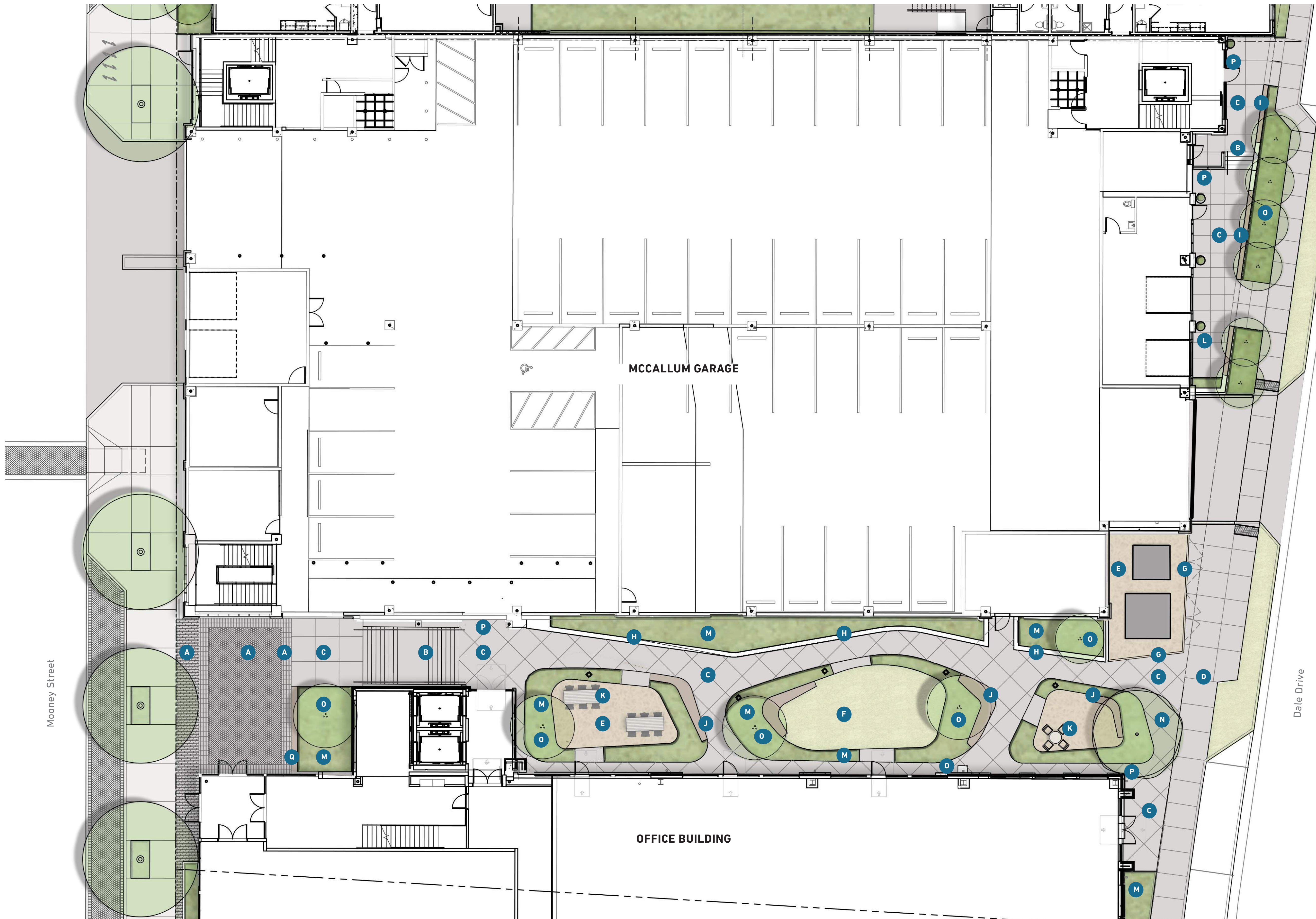
DOG PARK,
SEE SHEET L71

Ex Stm
Manhole

LEGEND

- A** Decorative Concrete Paving
- Standard concrete mix with "Buff Wash" finish.
- B** Utility Enclosure
- Painted Steel Gates
- Evergreen Hedges
- C** Benches
- Landscape Forms - Parc Vue Bench
- metal frame, back and seat
- Color: TBD
- D** Freestanding Planters
- Kornegay Offset Series
- 23" dia; 52" ht.
- Color: TBD
- E** Ornamental Plantings
- See Planting Plans
- F** Deciduous Ornamental Trees
- See Planting Plans
- G** Litter & Recycling Receptacle
- Accoya Trash Receptacle
- H** Bike Racks
- Landscape Forms - "Bola" Bike Rack
- I** Bike Racks
- Landscape Forms - "Ride" Bike Rack





LEGEND

- A Brick Pavement**
 Manufacturer: Endicott Clay Products
 Size: 4X12
 Pattern: Varies, Per Plan
 Color: Manganese Ironspot, Medium Ironspot 46, Medium Ironspot 77.
- B Decorative Concrete Stair**
 - Standard concrete mix with decorative "Buff Wash" finish.
- C Decorative Concrete Paving**
 - Standard concrete mix with "Buff Wash" finish.
- D Standard Concrete Paving**
 - Standard concrete mix with broom finish.
- E Crushed Aggregate Paving**
 - Stabilized aggregate
 - Color: Light Gray
- F Synthetic Turf Lawn**
- G Transformer Enclosure**
 - Brick walls with painted steel doors to match garage, see architectural drawings
 - Printed scrim accent
- H Decorative Concrete Seatwall**
 - Standard concrete mix with decorative "Buff Wash" finish.
- I Concrete Wood-topped Seatwall**
 - Standard concrete mix with smooth form finish.
 - Ipe Wood top.
- J Ipe Wood Bench**
 Custom formed benches with Ipe decking
- K Tables and Chairs**
 - Forms+Surfaces - Avivo Bar Table and Stool and Avivo Square Table and Chairs
 - Color: TBD
- L Freestanding Planters**
 - Kornegay Offset Series
 - Size: Varies
 - Color: Varies
- M Ornamental Plantings**
 Masses of understory plants for seasonal interest and spatial enclosure
 Height: +/- 12 - 48" above pavement elevation
- N Deciduous Shade Trees**
- O Deciduous Ornamental Trees**
- P Litter & Recycling Receptacle**
 - Accoya Trash Receptacle
- Q Entry Bench**
 - Landscape Forms "Palisade"
 - 72" Lengths

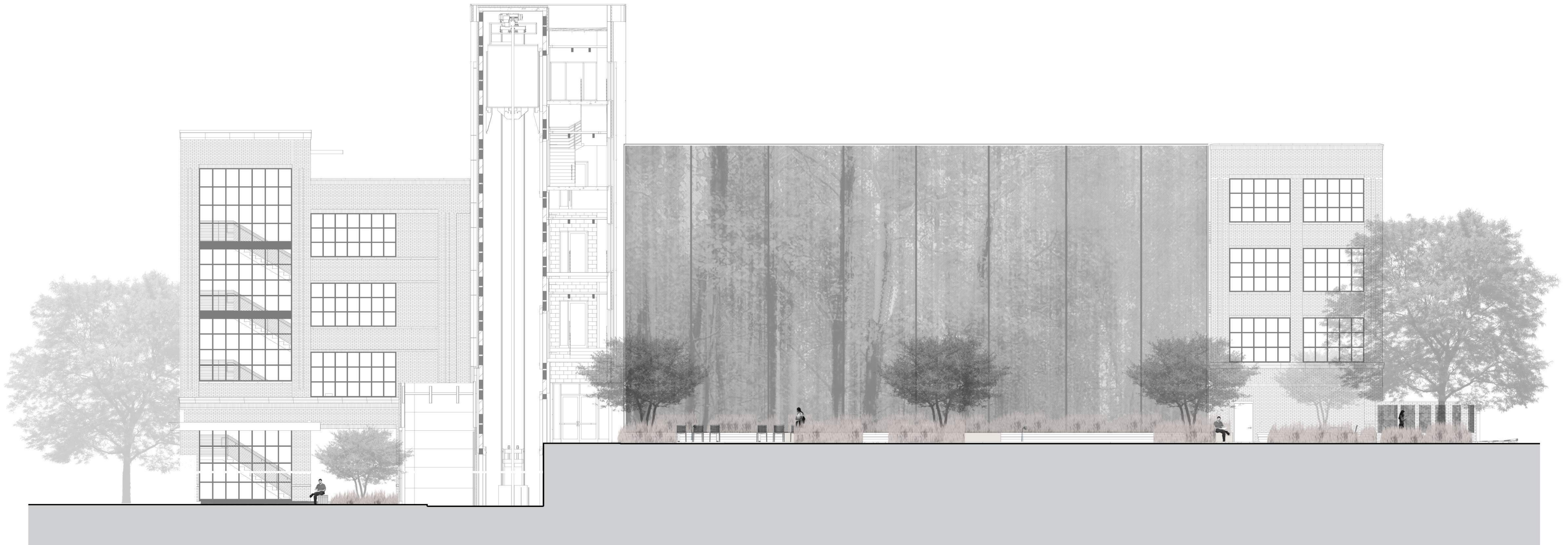




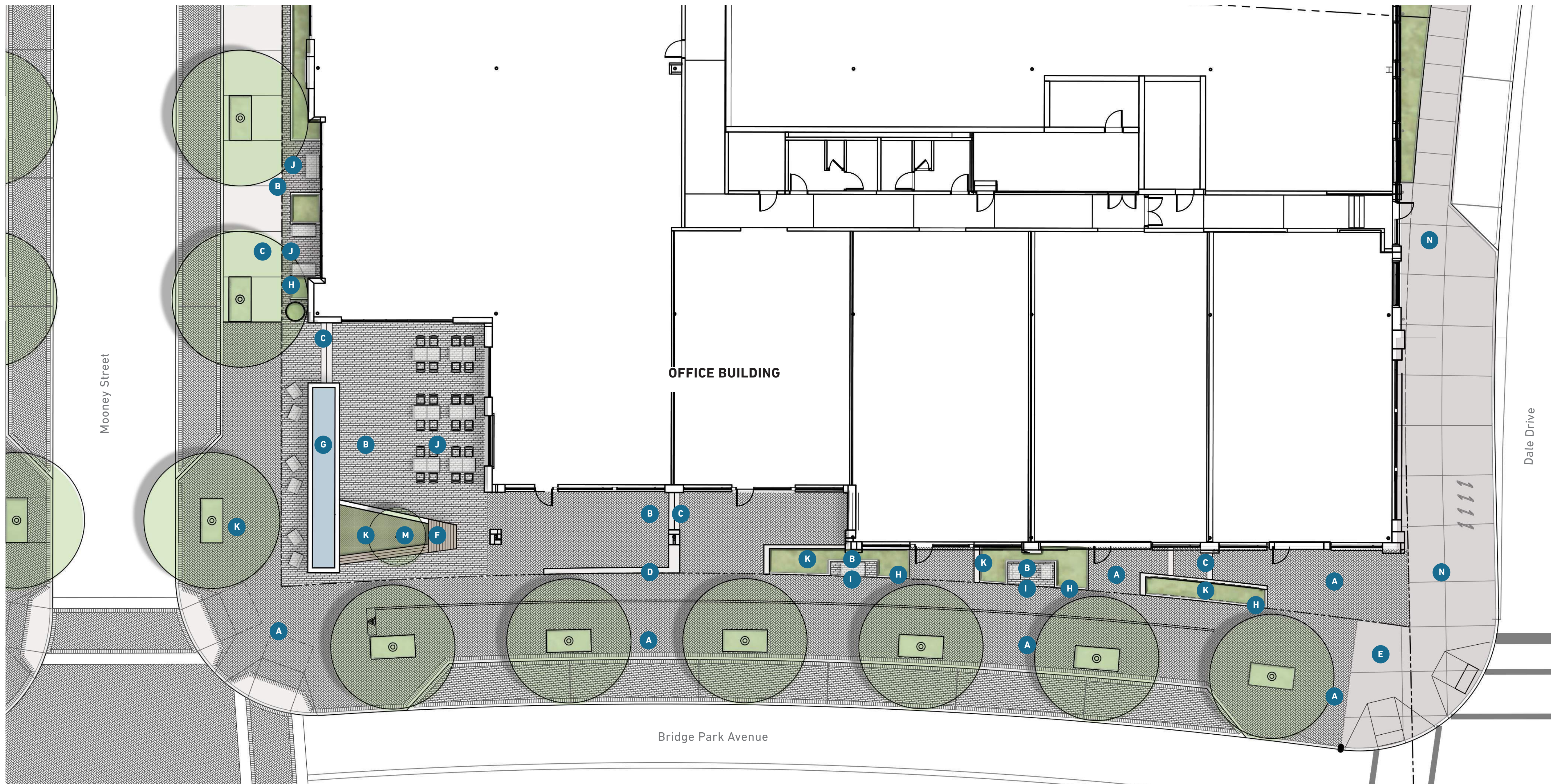












LEGEND

- A Existing and New Brick Pavement**
 Manufacturer: Endicott Clay Products
 Size: 4x8
 Pattern: Herringbone
 Color: 50/50 Dark Ironspot and Manganese Ironspot
- B New Brick Pavement**
 Manufacturer: Endicott Clay Products
 Size: 4x12
 Pattern: Varies, Per Plan
 Color: Manganese Ironspot, Medium Ironspot 46
- C Decorative Concrete Stair**
 - Standard concrete mix with decorative "Buff Wash" finish.
- D Decorative Concrete Wall**
 - Standard concrete mix with decorative "Buff Wash" finish.
- E Existing Concrete Paving**
 - Standard concrete mix with broom finish.
- F Wood Decking**
 - Ipe Wood top.
- G Water Feature with Jets and Reflecting Pool**
 - Waterproof concrete basin and walls
 - Color: Charcoal Black
- H Precast Concrete Curb**
 - 4" width x 3" height
 - Color: Natural
- I Bench**
 - Forms+Surfaces Vaya Bench
 - Material: Metal frame with wood seat and back
 - Color: TBD
- J Tables and Chairs**
 - For Reference Only; by tenant
- K Ornamental Plantings**
 Masses of understory plants for seasonal interest and spatial enclosure
 Height: +/- 12 - 30" above pavement elevation
- L Existing Deciduous Shade Trees**
- M Deciduous Ornamental Trees**
- N Concrete Paving**
 - Standard concrete mix with broom finish.



WATER REFLECTING



VERTICAL EXPRESSION



SOCIAL SEATING



SEATING



MULTI-STEM ORNAMENTAL TREE







LEGEND

- A Concrete Paving**
- Standard concrete with broom finish.
- B Standard Concrete Paving**
- Standard concrete mix with broom finish for public sidewalk.
- C Synthetic Turf Play Areas**
- Synthetic turf mounds and play areas with integral irrigation system for washing down turf areas
- D "Watering Hole"**
- Water source for dogs and people. Foot-activated water source. Drinking fountain / bottle filling station for humans.
- E Entry Vestibule**
- Double gated entry for each dog park to prevent dogs from escaping. All gates to have automatic closures.
- F Shade Trees**
- G Park Bench**
- Colorful metal park benches
- Landscape Forms "Lakeside" Bench.
- H Trash Receptacle, Dog Waste and Hose Down Station**
- Landscape Forms "Lakeside" receptacles.
- I Perimeter Fence with Planting**
- Ornamental grasses, evergreen shrubs, perennials and shade trees to provide spatial enclosure and shade.
- Welded wire mesh fencing.
- J Boulder Play**
- Clusters of large boulders for dogs and people to interact with.
- K Existing Electric Switch**
- Metal fence to enclose the existing switch.
- Evergreen Hedge
- Fence as required to contain pets.
- L Existing Telecom Enclosure**
- Existing enclosure to remain outside fenced area.
- M Lawn**



VESTIBULE



ARTIFICIAL TURF



HARD SURFACE PAVING



"WATERING HOLE"



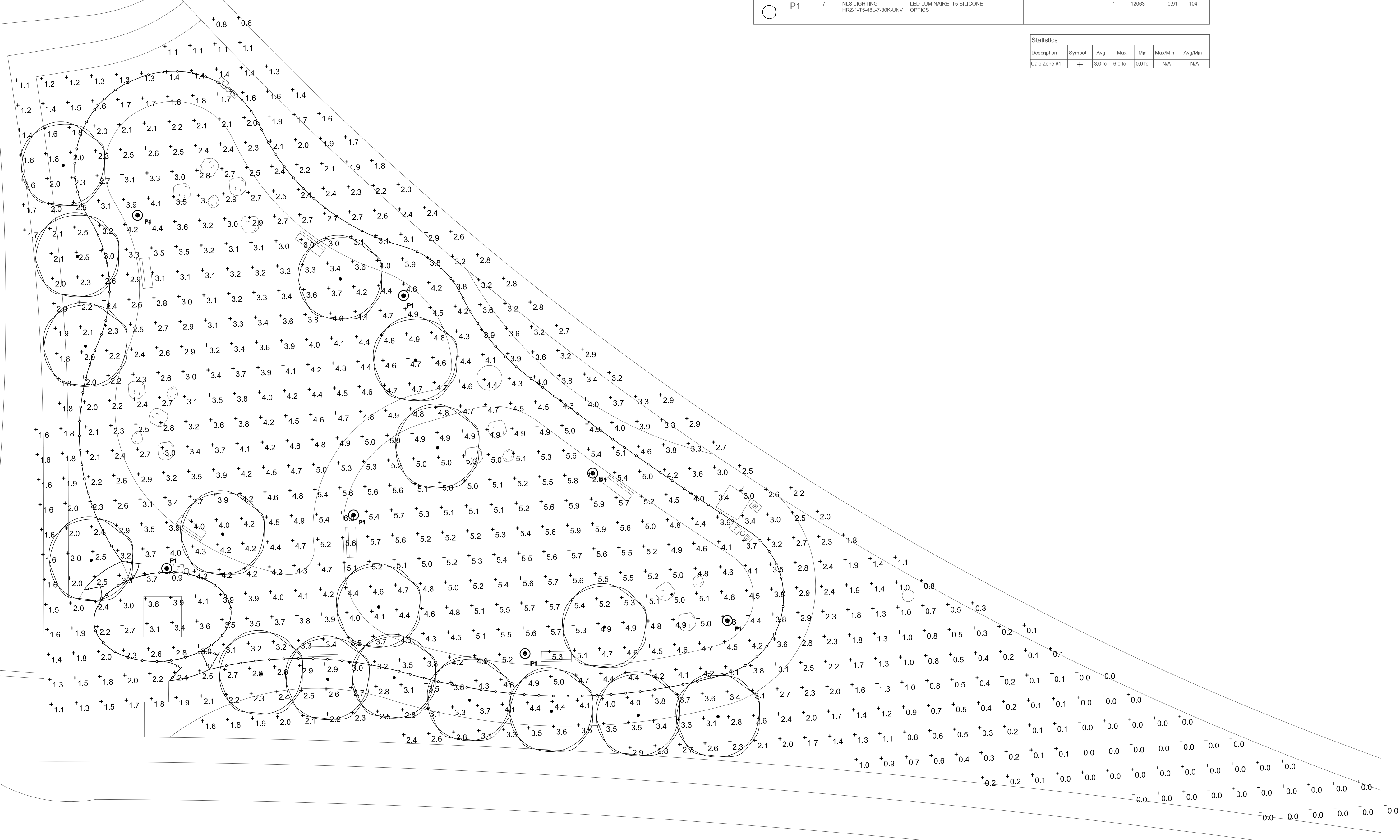
SEATING & SHADE


DALE DRIVE

TULLER RIDGE DRIVE

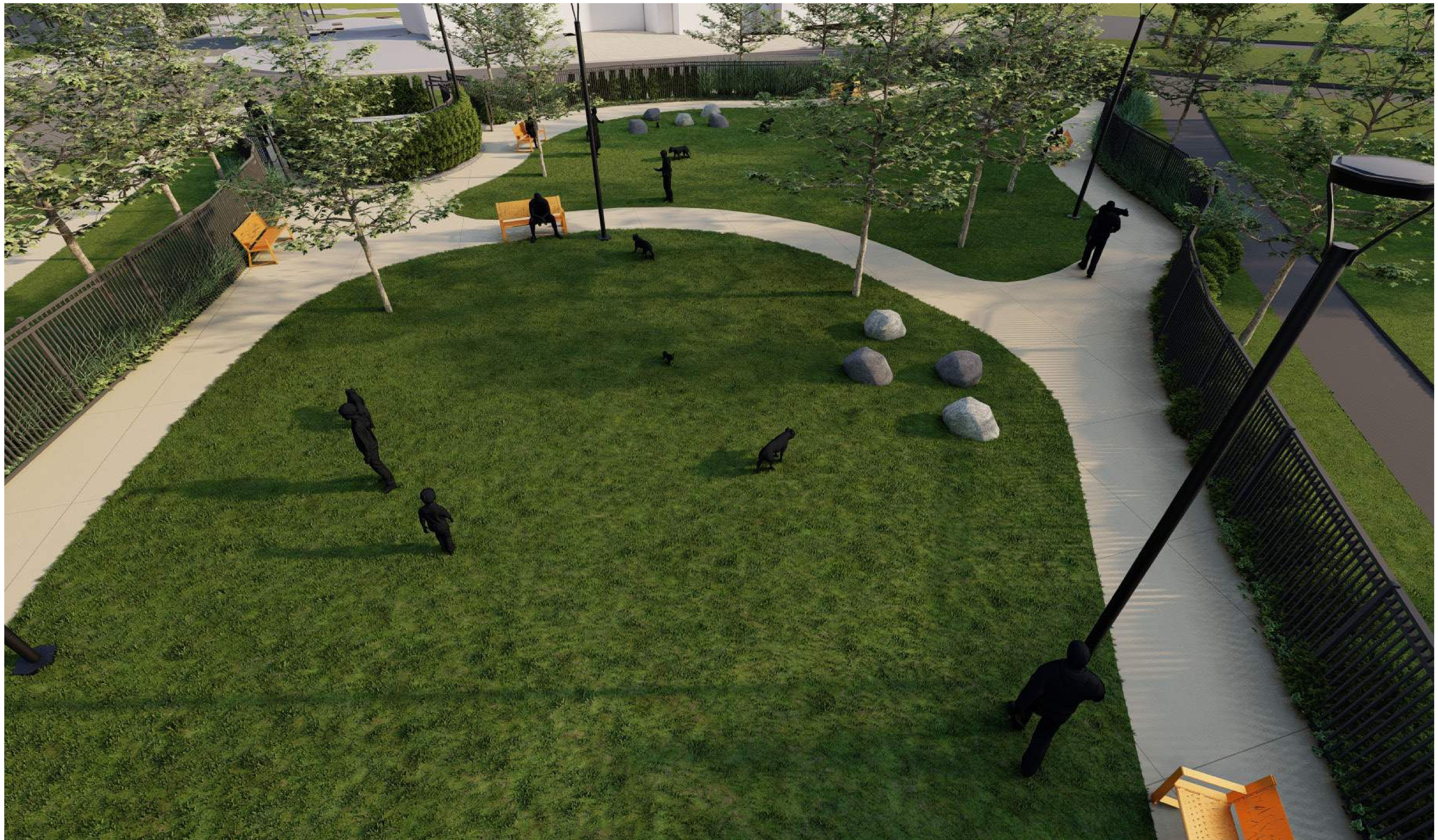
| Schedule | | | | | | | | | |
|----------|-------|-----|--------------------------------------|-----------------------------------|------|--------------|-----------------|------|---------|
| Symbol | Label | QTY | Catalog Number | Description | Lamp | Number Lamps | Lumens per Lamp | LLF | Wattage |
| ○ | P1 | 7 | NLS LIGHTING HRZ-1-TS-48L-7-30K-LUVV | LED LUMINAIRE, TS SILICONE OPTICS | | 1 | 12063 | 0.91 | 104 |

| Statistics | | | | | | |
|--------------|--------|--------|--------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| Calc Zone #1 | + | 3.0 fc | 6.0 fc | 0.0 fc | N/A | N/A |




 DOG PARK
 PHOTOMETRIC PLAN
 SCALE: 1/8"=1'-0"







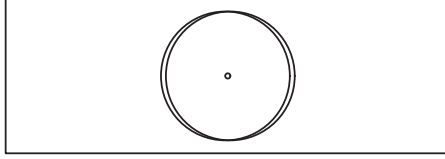
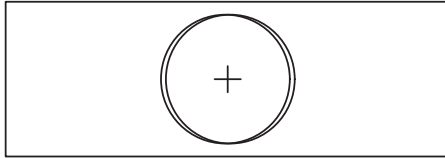
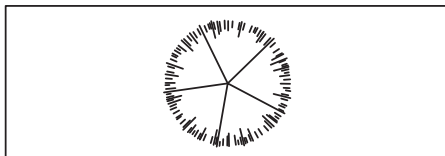
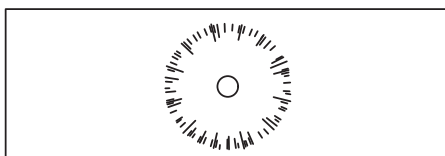
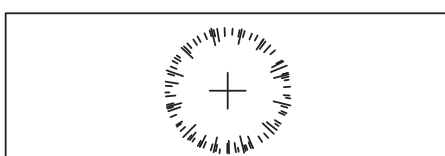
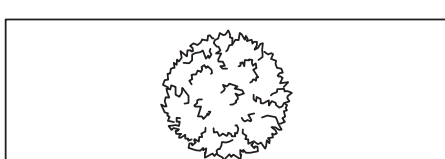
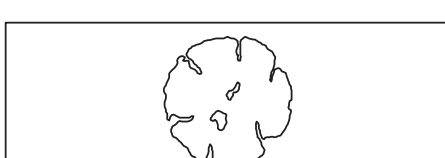
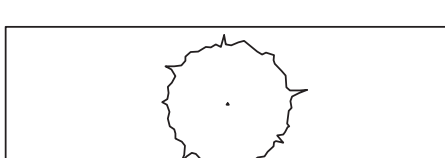
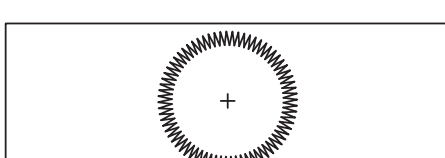
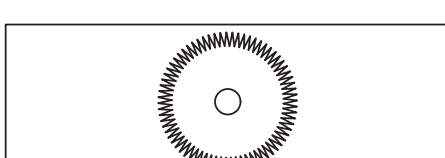

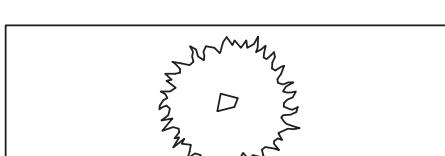
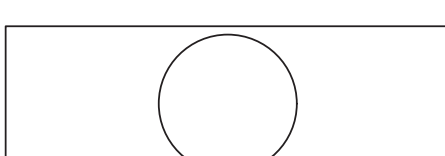
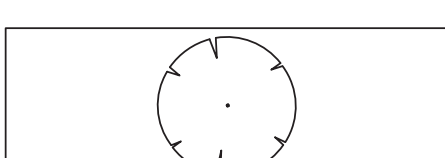



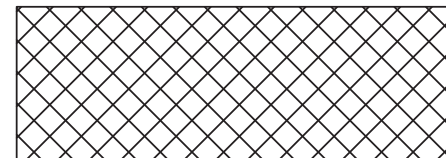
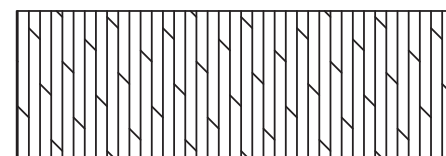
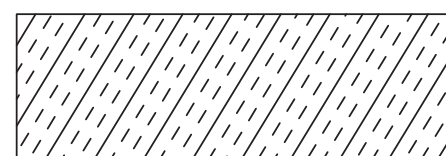
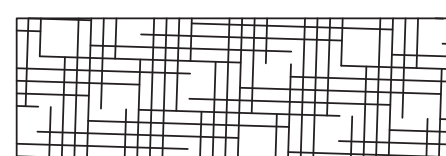


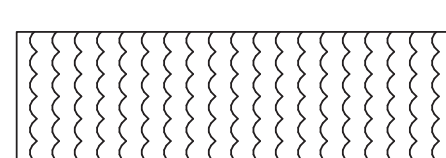
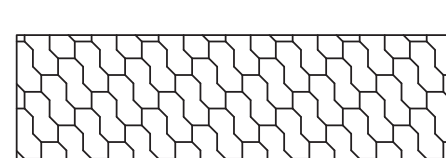
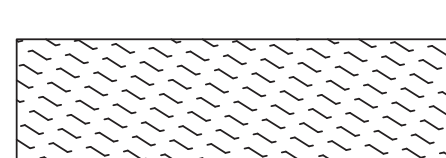



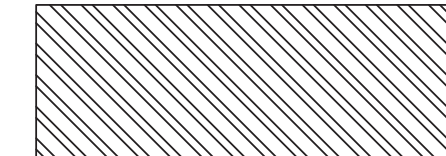
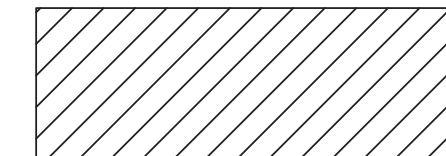


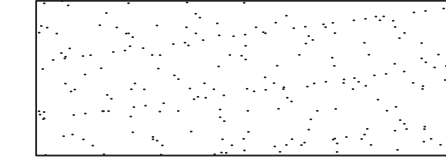
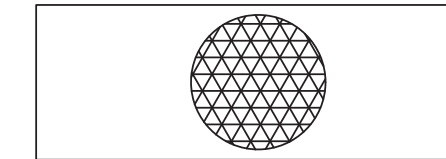
| PLANTING SCHEDULE | |
|-------------------|---|
| DECIDUOUS TREES | |
| A | LIRIODENDRON TULIPIFERA SIZE: 2" CAL., B&B 34" MIN. SPACING: AS INDICATED |
| B | ULMUS AMERICANA 'PRINCETON' SIZE: 2" CAL., B&B 24" MIN. SPACING: AS INDICATED |
| C | ACER RUBRUM 'OCTOBER GLORY' SIZE: 2" CAL., B&B 24" MIN. SPACING: AS INDICATED |
| D | ULMUS PARVIFOLIA SIZE: 2" CAL., B&B 24" MIN. SPACING: AS INDICATED |

| ORNAMENTAL TREES | |
|------------------|---|
| aa | AMELANCHIER LAEVIS SIZE: 10-12' HT., B&B 34" MIN. SPACING: AS INDICATED |
| bb | CERCIS CANADENSIS 'ALBA' SIZE: 10-12' HT., B&B 34" MIN. SPACING: AS INDICATED |
| cc | CERCIS CANADENSIS SIZE: 10-12' HT., B&B 34" MIN. SPACING: AS INDICATED |
| dd | ACER PALMATUM 'ARAKAWA' SIZE: 10-12' HT., B&B 34" MIN. SPACING: AS INDICATED |
| ee | MAGNOLIA 'GALAXY' SIZE: 10-12' HT., B&B 34" MIN. SPACING: AS INDICATED |

| PLANTING SCHEDULE | |
|--|--|
| SHRUBS | |
|  | BUXUS 'GREEN VELVET' SIZE: #5 GAL. SPACING: AS INDICATED |
|  | BUXUS 'MICRO' SIZE: #3 GAL. SPACING: AS INDICATED |
|  | CLETHRA ALNIFOLIA 'CRYSTALINA' SIZE: #3 GAL. SPACING: AS INDICATED |
|  | CORNUS SERICEA 'BAILEI' SIZE: #5 GAL. SPACING: AS INDICATED |
|  | CORNUS STOLONIFERA 'ARCTIC FIRE' SIZE: #5 GAL. SPACING: AS INDICATED |
|  | HYDRANGEA PANICULATA 'LITTLE LIME' SIZE: #5 GAL. SPACING: AS INDICATED |
|  | HYDRANGEA QUERCIFOLIA 'SNOW QUEEN' SIZE: #5 GAL. SPACING: AS INDICATED |
|  | ITEA VIRGINICA 'HENRY'S GARNET' SIZE: #5 GAL. SPACING: AS INDICATED |
|  | TAXUS X MEDIA 'HICKSII' SIZE: 30" B&B SPACING: AS INDICATED |
|  | TAXUS X MEDIA 'EVERLOW' SIZE: 18" 3 GAL. SPACING: AS INDICATED |
|  | HYDRANGEA A. 'NCHA3 INVINCIBELLE RUBY' SIZE: 24" B&B SPACING: AS INDICATED |
|  | FOTHERGILLA GARDENII SIZE: 18" B&B SPACING: AS INDICATED |
|  | THUJA OCCIDENTALIS 'DEGROOT'S SPIRE' SIZE: 6-7" B&B SPACING: AS INDICATED |
|  | HYDRANGEA QUERCIFOLIA SIZE: 36" SPACING: AS INDICATED |

| PLANTING SCHEDULE | |
|---|---|
| PERENNIALS | |
|  | EQUAL MIX: NEPETA X FAASSENII 'WALKER'S LOW' SALVIA X SYLVESTRIS 'ADRIAN' AMSONIA HUBRICHTII ECHINACEA PURPUREA 'KIM'S KNEE HIGH' SIZE: #1 GAL. SPACING: 12" O.C. |
|  | EQUAL MIX: ASTILBE CHINENSIS 'VISIONS IN PINK' ASTILBE CHINENSIS 'VISIONS IN RED' ASTILBE CHINENSIS 'VISIONS IN WHITE' SIZE: #1 GAL. SPACING: 12" O.C. |
|  | STACHYS OFFICINALIS 'HUMMELO' SIZE: #1 GAL. SPACING: 12" O.C. |
|  | LIRIOPE SPICATA #1 CONTAINER 12" O.C. INTERPLANT: NARCISSUS 'MOUNT HOOD' TRUMPET DAFFODIL 12" O.C. |
|  | NEPETA X FAASSENII 'WALKER'S LOW' SIZE: #1 GAL. SPACING: 12" O.C. |
|  | LIRIOPE SPICATA SIZE: #1 GAL. SPACING: 12" O.C. |
|  | AGASTACHE 'BLUE FORTUNE'- 15%, GROUPS OF 3-7 DESCHAMPSIA CESPITOSA 'GOLDTAU'- 60%, 7 PLANTS MIN. PER GROUPING ECHINOPS RITRO SUBSP. RUTHENICUS- 25%, GROUPS OF 3-7 SIZE: #1 GAL. SPACING: 12" O.C. |
|  | PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' SIZE: #2 GAL. SPACING: 18" O.C. |
|  | 75% SESLERIA AUTUMNALIS #2 CONT SPACING 18" O.C. 5 PLANTS MINIMUM PER GROUP 25% STACHYS OFFICINALIS 'HUMMELO' SIZE: #1 GAL. SPACING: 12" O.C. GROUPS OF 3-7 |
|  | DESCHAMPSIA CESPITOSA 'GOLDTAU' SIZE: #2 GAL. SPACING: 18" O.C. INTERPLANT 50 / 50 MIX ALIMUM NIGRUM ALIMUM AFLATUNESE PURPLE SENSATION |
|  | MIX 40% AMSONIA 'BLUE ICE' #1 CONT. 18" O.C. 20% ATHYRIUM 'GHOST' #1 CONT. 18" O.C. 20% ASTILBE 'DEUTSCHLAND' #1 CONT. 18" O.C. 10% DRYOPTERIS E. 'BRILLIANCE' #1 CONT. 18" O.C. 10% PULMONARIA 'SISSINGHURST WHITE' #1 CONT. 18" O.C. |

| GRASSES | |
|---|---|
|  | ANDROPOGON GERARDI SIZE: #1 GAL. SPACING: 18" O.C. |
|  | MISCANTHUS SINENSIS 'MORNING LIGHT' SIZE: #2 GAL. SPACING: 24" O.C. |

| MISC. | |
|---|----------------|
|  | SODDED LAWN |
|  | SEASONAL COLOR |

