



SAWMILL RD. RETAIL BANKING CENTER 6515 SAWMILL ROAD DUBLIN, OH 43017

SCOPE OF WORK

NEW SINGLE STORY 4,113 S.F. FREESTANDING BANK BRANCH WITH DRIVE-UP ATM.

APPLICABLE CODES / ZONING

JURISDICTION: DUBLIN, OHIO
 BUILDING CODE: 2017 OHIO BUILDING CODE
 ENERGY CODE: OHIO ENERGY CODE
 2012 INTERNATIONAL ENERGY CODE
 2010 ASHRAE 90.1
 ACCESSIBILITY CODE: ICC A117.1-2009
 ZONING: CITY OF DUBLIN ZONING ORDINANCE

SHEET INDEX

		ISSUE DATES
A0.0	COVER SHEET	●
A0.1	VICINITY MAP	●
A0.2	REGIONAL CNOTEXT MAP	●
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ARCHITECTURAL DRAWINGS		
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A3.2	ARCHITECTURAL ELEVATIONS: NORTH & WEST	●
A3.3	ARCHITECTURAL ELEVATIONS: DRIVE-THRU	●
CIVIL DRAWINGS		
1	ALTA/NSPS LAND TITLE SURVEY	●
2	ALTA/NSPS LAND TITLE SURVEY	●

OWNER & CONSULTANTS

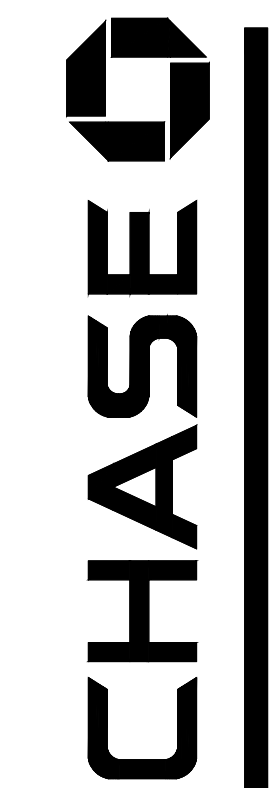
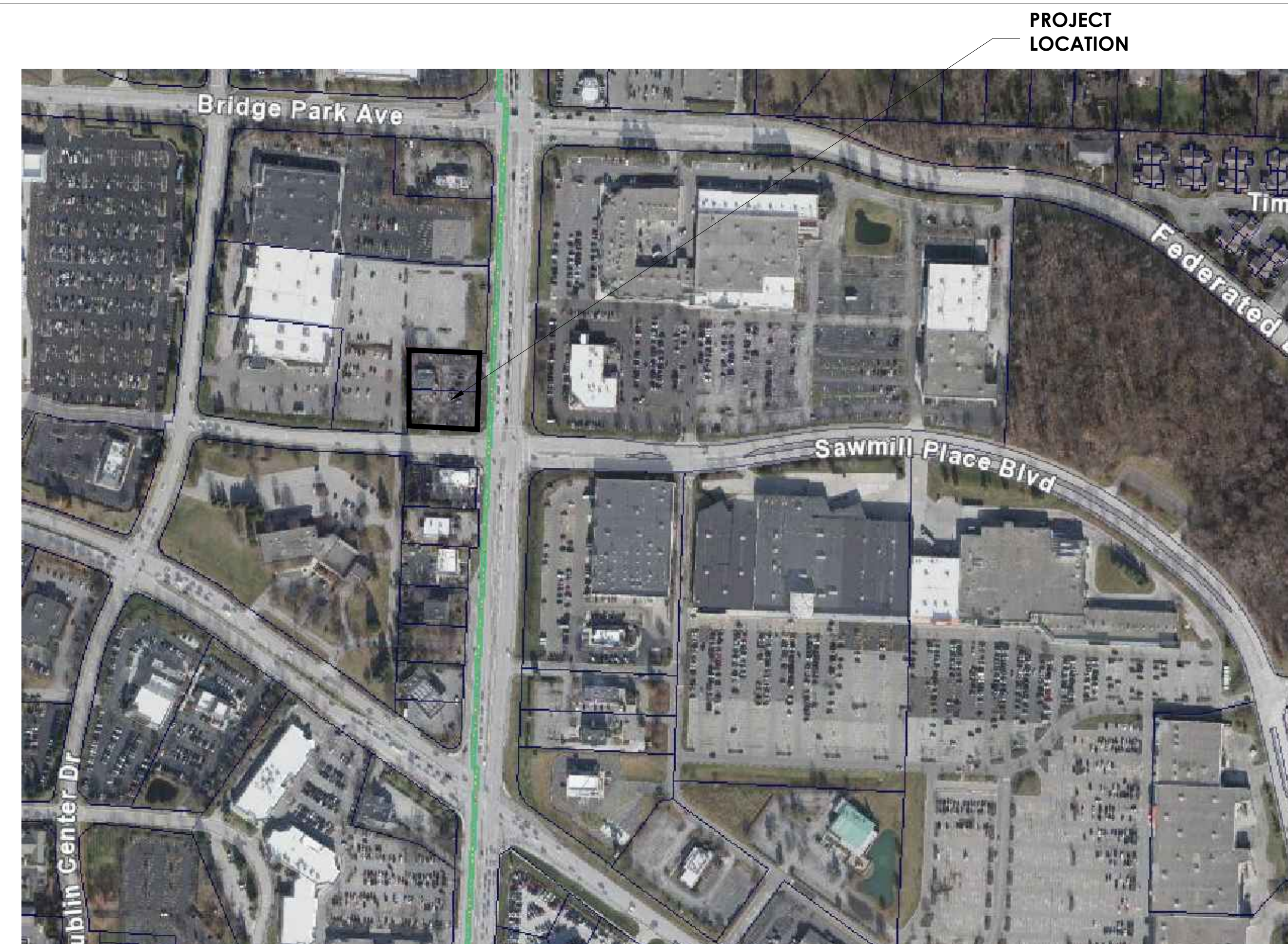
OWNER:
 JP MORGAN CHASE BANK, N.A.
 RETAIL REAL ESTATE
 CHASE TOWER
 10 SOUTH DEARBORN
 15TH FLOOR
 CHICAGO, ILLINOIS 60603
 CONTACT: JANE HEALY, 312-325-3320
 JANE.HEALY@CHASE.COM

CONSULTING MECHANICAL / PLUMBING / ELECTRICAL ENGINEER:
 FARIS PLANNING & DESIGN, LLC
 242 N. FIFTH STREET
 COLUMBUS, OH 43215
 CONTACT: TODD M. FARIS, 615-487-964

KIMLEY-HORN
 1001 WARRENVILLE ROAD SUITE 350
 LISLE, IL 60532
 CONTACT: MICHAEL WALKER, P.E., 630-487-3447

ARCHITECT OF RECORD:
 THE ARCHITECTS PARTNERSHIP
 200 SOUTH MICHIGAN AVENUE
 SUITE 1020
 CHICAGO, ILLINOIS 60604
 DESIGN FIRM REGISTRATION NO:
 184.000148 - EXPIRES 4.30.2019
 ARCHITECT OF RECORD: JOHN HALLERAN
 LIC. # 001-011376
 CONTACT: TIMOTHY MESECK
 PHONE: 312-583-9800 x44

LOCATION MAP



SAWMILL RELO
 RETAIL BANKING CENTER
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ARCHITECT/ ENGINEER OF RECORD



SEAL

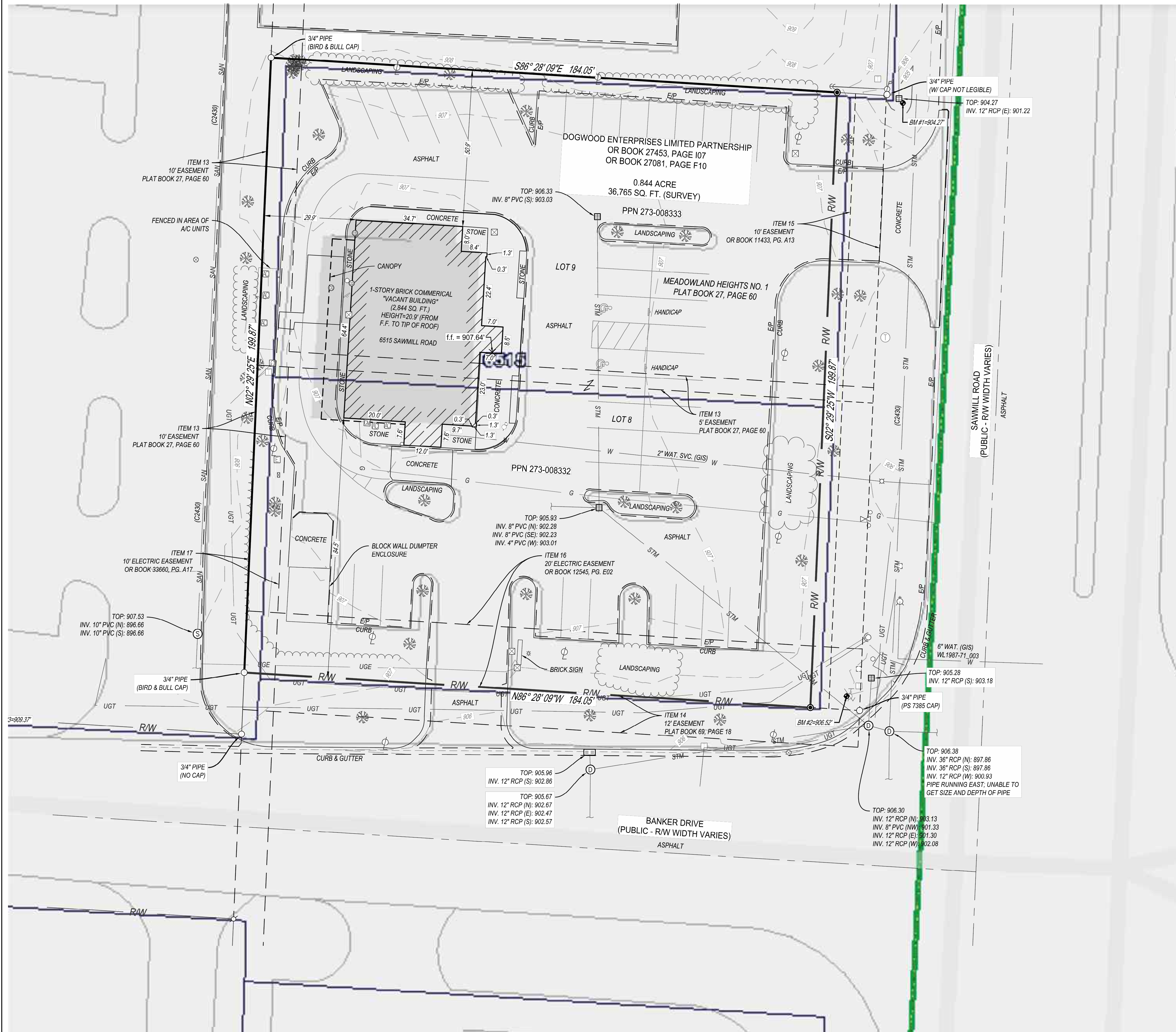
NOT FOR
 CONSTRUCTION

ISSUE	DATE	DESCRIPTION
	02/20/2020	ISSUE FOR ZONING REVIEW

PROJECT INFORMATION BLOCK	
JOB #	19108
DATE:	02/20/2020
DRAWN BY:	DIR / TAP
CHECKED BY:	JH

SHEET TITLE
 COVER SHEET

SHEET NUMBER
 A0.0

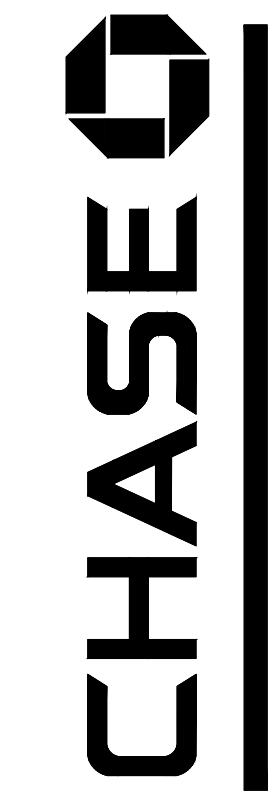


LEGEND:

(Green dashed line)	DUBLIN'S BOUNDARY DELIMITATION LINE
(Blue line)	EX. RIGHT OF WAY
(Black line)	EX. PROPERTY LINE
(Dashed line)	EX. CENTERLINE
(Dotted line)	EX. EDGE OF ASPHALT
(Short dashed line)	EX. FACE OF CURB
(Long dashed line)	EX. BACK OF CURB
(Line with 'S')	EX. STORM SEWER
(Line with 'G')	EX. GAS LINE
(Line with 'W')	EX. WATER
(Line with 'SAN')	EX. SANITARY SEWER
(Line with 'UGT')	EX. UNDERGROUND COMMUNICATIONS
(Line with 'UGE')	EX. UNDERGROUND ELECTRIC
(Square with 'S')	EX. STORM STRUCTURE
(Square with 'W')	EX. WATER APPURTENANCE
(Square with 'SAN')	EX. SANITARY APPURTENANCE
(Circle with 'L')	EX. LIGHT POLE
(Circle with 'A')	EX. AC UNIT
(Circle with 'M')	EX. GAS METER
(Circle with 'S')	EX. MSC. SIGNAGE
(Circle with 'T')	EX. TELEPHONE PEDESTAL
(Circle with 'H')	EX. TRAFFIC CONTROL HANDHOLE
(Circle with 'T')	EX. TREE
(Circle with 'C')	EX. CABLE TV PEDESTAL
(Circle with 'P')	EX. POST OR BOLLARD
(Circle with 'E')	EX. ELECTRIC BOX
(Circle with 'G')	EX. GUY POLE
(Circle with 'T')	EX. ELECTRIC TRANSFORMER
(Circle with 'F')	EX. FLAG POLE
(Circle with 'B')	SET BENCHMARK
(Circle with 'M')	EX. TELEPHONE MANHOLE
(Circle with 'L')	EX. TELEPHONE AND LIGHT POLE
(Circle with 'V')	EX. GAS VALVE

MONUMENT LEGEND

(Circle with 'R')	5/8" REBAR SET WITH YELLOW "CESO" CAP
(Circle with 'I')	IRON PIPE OR REBAR FOUND
(Circle with 'M')	MAG NAIL FOUND



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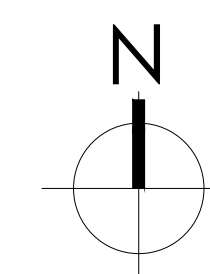
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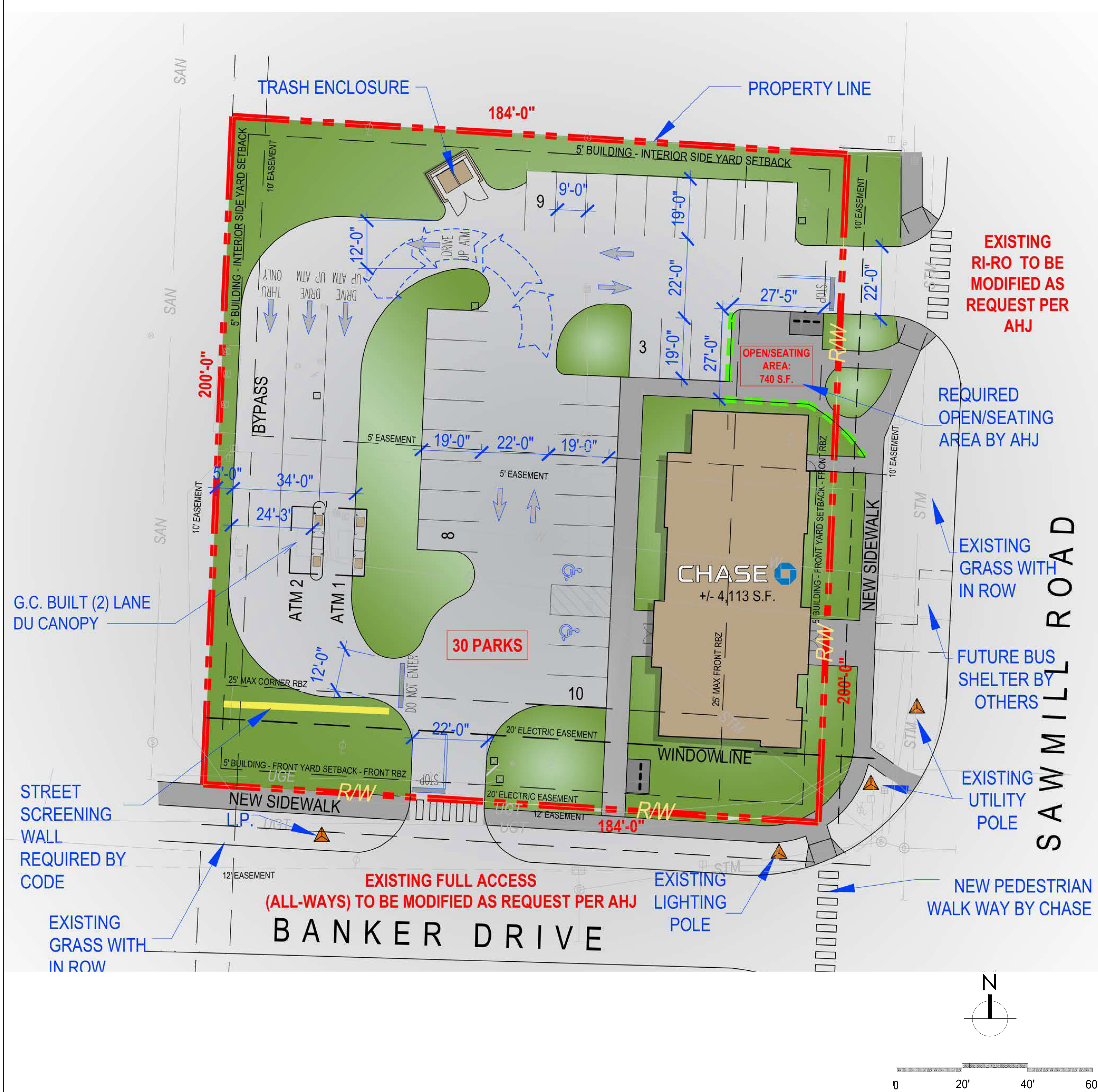
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SHEET TITLE
EXISTING CONDITIONS PLAN

SHEET NUMBER

A0.3





CITY OF DUBLIN ZONING CODE Chapter 153 of the Dublin Code of Ordinances July 2019		SITE DATA	
CURRENT ZONING: Bridge Street District - Sawmill Center Neighborhood	LOT AREA: 81 AC	PAR:	0.13
LOT CONFORMANCE: REQUIRED (COMPLETED)	GROSS BUILDING AREA: 4,113 S.F. - OCCUPATION OF CORNER REQUIRED & FRONTAGE PROPERTY LINE COVERAGE 45% min	LANDSCAPE AREA:	11022
BANK PERMITTED: YES	DRIVE-THRU USE PERMITTED: CONDITIONAL	PAVING (S.F.):	21113
ADDITIONAL AND CONFORMANCE: REQUIRED - City of Columbus - Pedestrian Connectivity (crosswalk striping/Apron Modifications)		PARKING PER 1000:	8.27

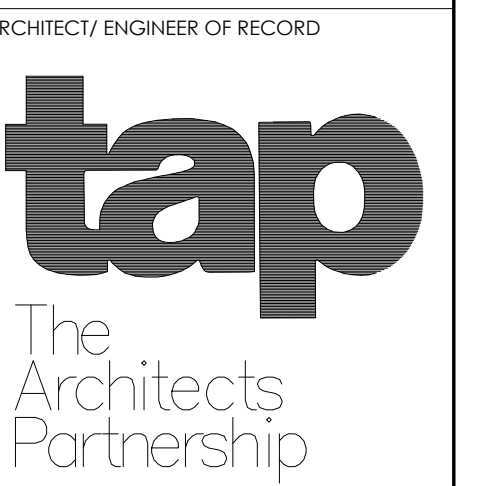
STREET FRONTAGE	FAÇADE DIVISIONS
FRONT PROPERTY LINE COVERAGE: 45% min	VERTICAL INCREMENTS: No greater than 4'
OCCUPATION OF CORNER: Required	HORIZONTAL DIVISIONS: On 3 story buildings, required within 2' of the top of the ground story
FRONT REQUIRED BUILDING ZONE: 5' - 25'	REQUIRED CHANGE IN ROOF PLANE OR TYPE: None
CORNER SIDE REQUIRED BUILDING ZONE: 5' - 25'	BUILDING HEIGHT: 18'-0"
REQUIRED BUILDING ZONE: Landscap, patio or streetscape	PROPOSED HEIGHT: 21'
	LOADING ZONE
	REQUIRED: NO
	PROPOSED: NO
	NOTE: Not required for <5,000 S.F.
	OPEN SPACE
	REQUIRED: Green way open space type or path of travel from open space to pedestrian and bicycle movement in the street design.
	REQUIRED SIZE: min 300 S.F. max 1,200 S.F.
	PROPOSED SIZE: 1,174 S.F.
	REQUIRED PATH OF TRAVEL: Required from open space to main path of travel from open space to
	PROPOSED PATH OF TRAVEL: main interior sidewalk
	REQUIRED SETBACK: 5' min
	PROPOSED SETBACK: 5' min
	REQUIRED LOCATION: Within 600' main entrance
	PROPOSED LOCATION: 75' North from Sawmill Rd. main
	ROOF TYPE
	PERMITTED: Parapet, pitched roof, flat roof
	OTHER TYPES MAY BE PERMITTED WITH APPROVAL:
	TOWER: Permitted of facades only at terminal vistas, corners at 2 principal frontage streets, and/or adjacent to an open space type
	PROPOSED ROOF: Parapet roof
	PROPOSED TOWER: Yes, interior and frontage
	CURB CUTS
	REQUIRED: SIDE & REAR YARD - NO FRONTAGE
	PROPOSED: EXISTING - FRONTAGE & SIDE YARD
	NOTE: AHJ WILL REQUIRE MODIFICATIONS. Apron Modifications may require DOT approvals.
	MATERIALS
	APPROVED MATERIALS: Stone, brick & glass
	PROPOSED MATERIALS: Primary Materials: Brick, Cast Stone. Secondary Materials: Composite Panels
	SITE LIGHTING
	REQUIRED HEIGHT: 10'
	PROPOSED HEIGHT: TBD
	REQUIRED FINISH COLOR: TBD by AHJ
	CUTOFFS REQUIRED: Yes - if >900 lumens
	CUTOFFS PROPOSED: TBD

SCREENING/LANDSCAPE/WALLS	PARKING PLAN INFORMATION
LANDSCAPE FRONT YARD: 4' max height	PARKING COUNT DATA
LANDSCAPE SIDE YARD: 4' max height	PARKING REQUIRED: 29
LANDSCAPE REAR YARD: 4' max height	PARKING PROPOSED: 30
PROHIBITED MATERIALS: Chain link, vinyl, EIFS unfinished and non decorative CMU. High quality synthetic materials may be approved with the Final Development Plan.	REQUIRED LOCATION: SIDE & REAR YARD
VEGETATIVE SCREENING: Min. planting bed width 42"	PROPOSED LOCATION: SIDE & REAR YARD
When access lanes are facing a non principal frontage street, a street wall of min. 8' height shall be placed between the drive-thru, lanes and street.	REQUIRED SIZE: 9' X 12'
	PROPOSED SIZE: 9' X 12'
PEDESTRIAN CONNECTIVITY	REQUIRED DRIVING AISLE: 22'
PEDESTRIAN FACILITIES: To be provided along both roadway frontages, including curb ramp and crosswalk markings to complete the crossing on the west leg of the intersection.	PROPOSED DRIVING AISLE: 22'
	BICYCLE PARKING DATA
	REQUIRED: Corner lots parking spaces on both street frontages
	PROPOSED: 2
	DRIVE-THRU
	REQUIRED STACKING: 8
	PROPOSED STACKING: TBD
	SPECIAL REQUIREMENT: Drive-thru shall not be visible from frontage corridor street

WAIVER REQUEST	CONDITIONAL USE
<ul style="list-style-type: none"> Drive-thru stacking Curb cut on frontage street Potential screening for drive-thru and front property line Potential exterior lighting height Landscaping Stormwater Proposed 	<ul style="list-style-type: none"> Drive-thru



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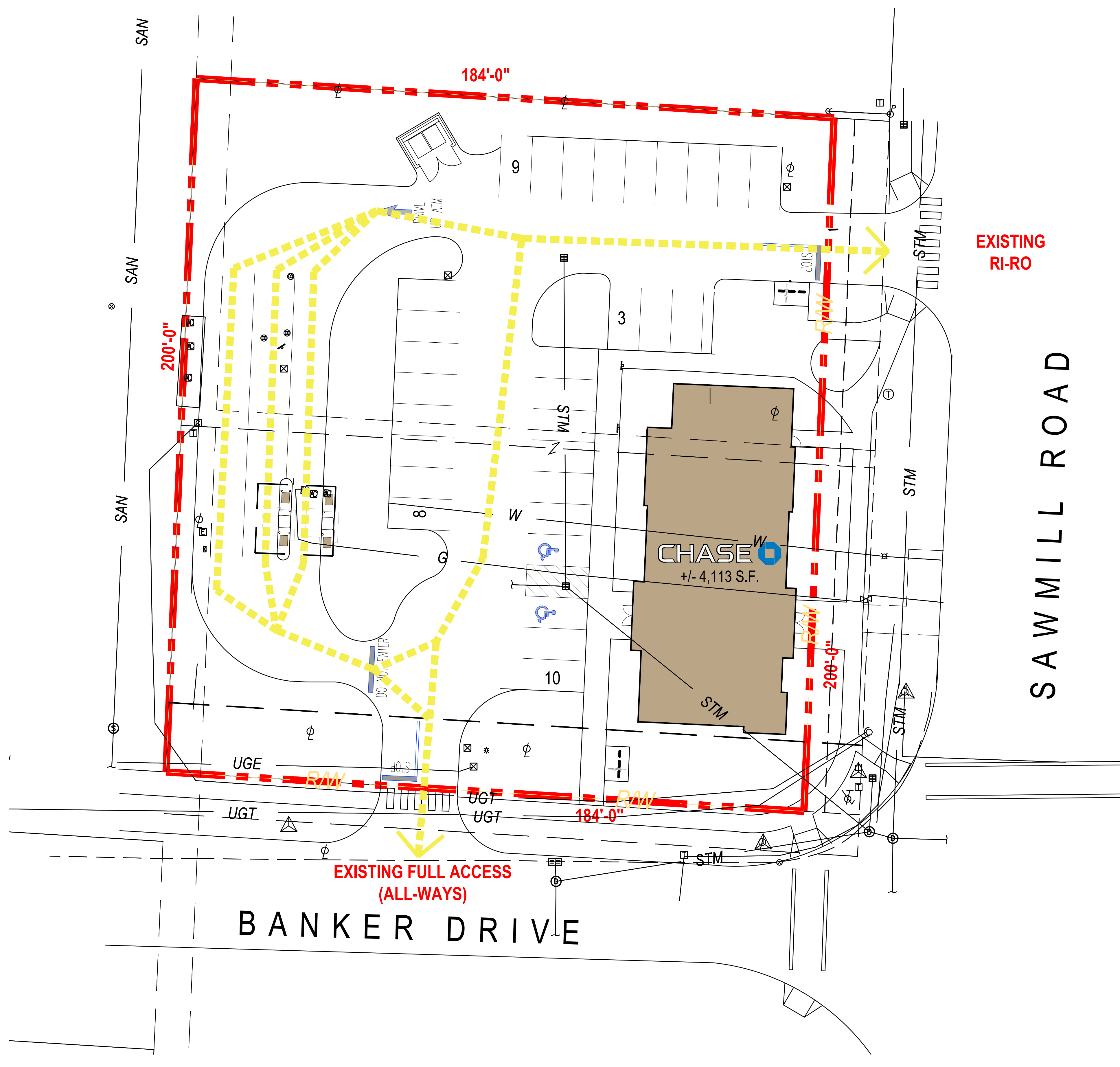


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SHEET TITLE
CONCEPT PLAN
 SHEET NUMBER
A1.1

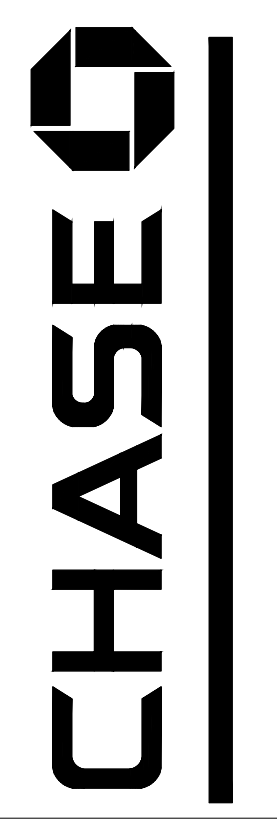
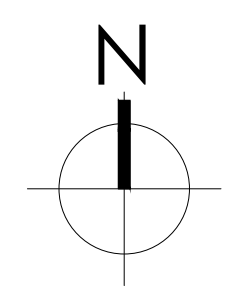


LEGEND:
 VEHICULAR CIRCULATION PATTERN ON-SITE

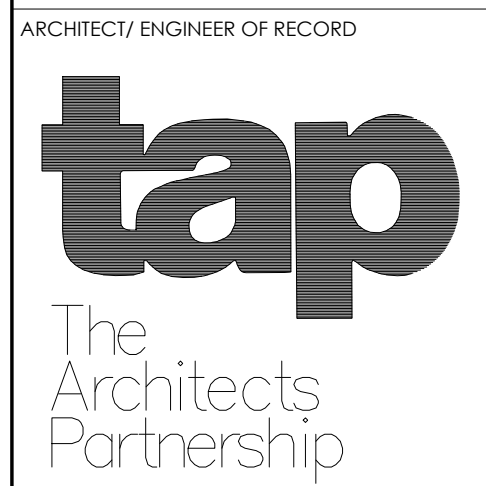
EXISTING RI-RO

SAWMILL ROAD

EXISTING FULL ACCESS (ALL-WAYS)
 BANKER DRIVE



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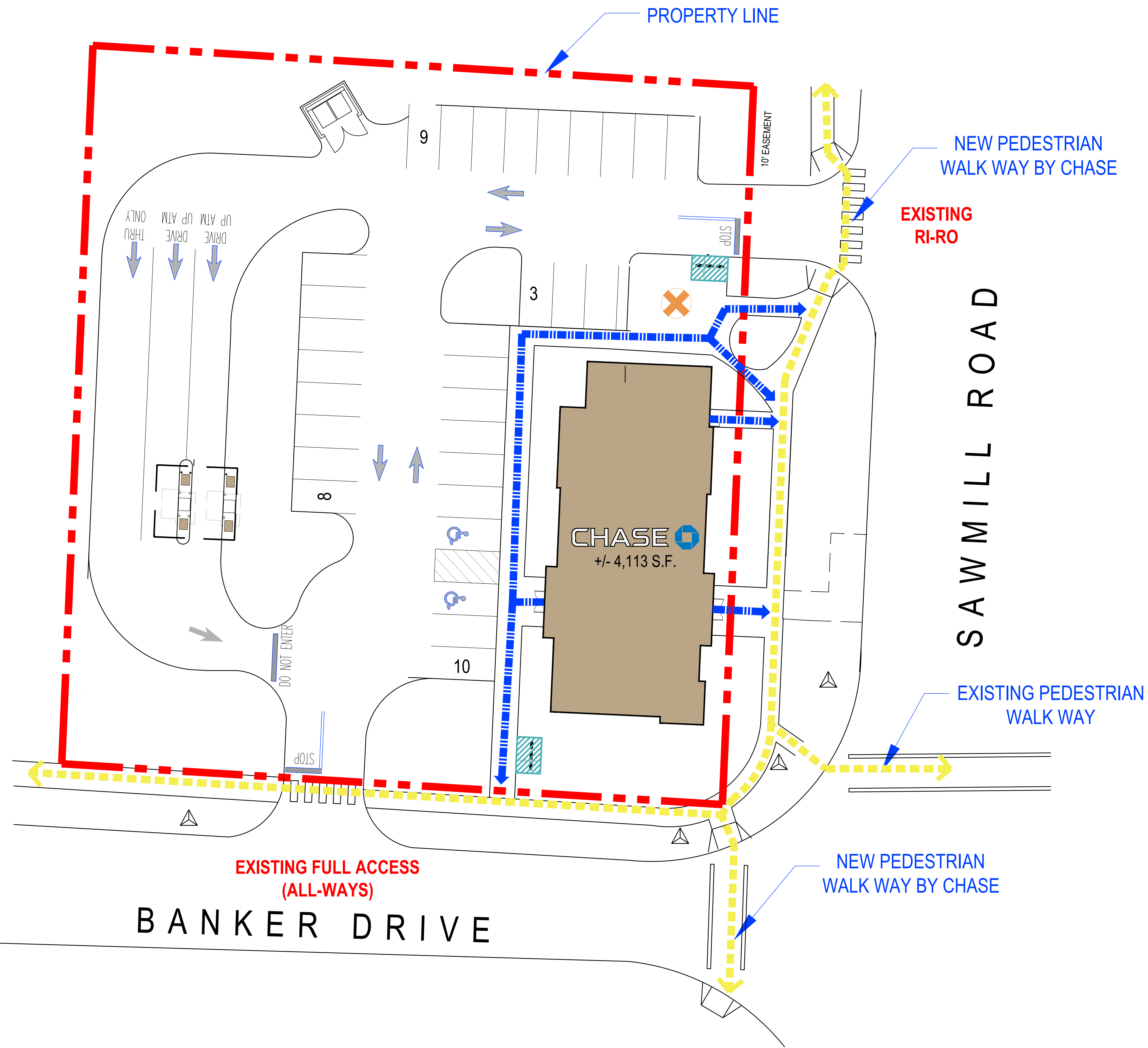
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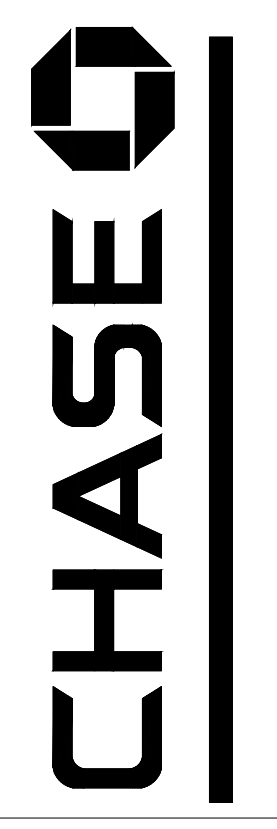
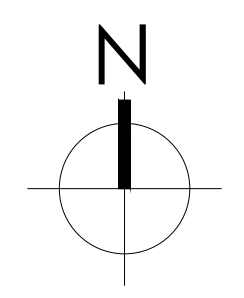
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SHEET TITLE
VEHICLES CIRCULATION PATTERN

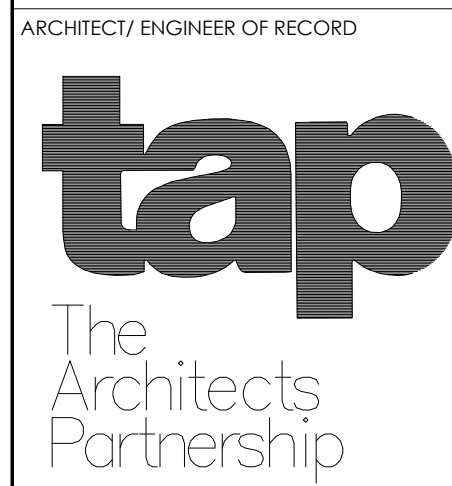
SHEET NUMBER
A1.2



- LEGEND:
- CIRCULATION PATTERN ON-SITE
 - NEW CIRCULATION PATTERN OFF-SITE BY CHASE
 - BICYCLE PARKING
 - X OPEN SEATING / POCKET PARK



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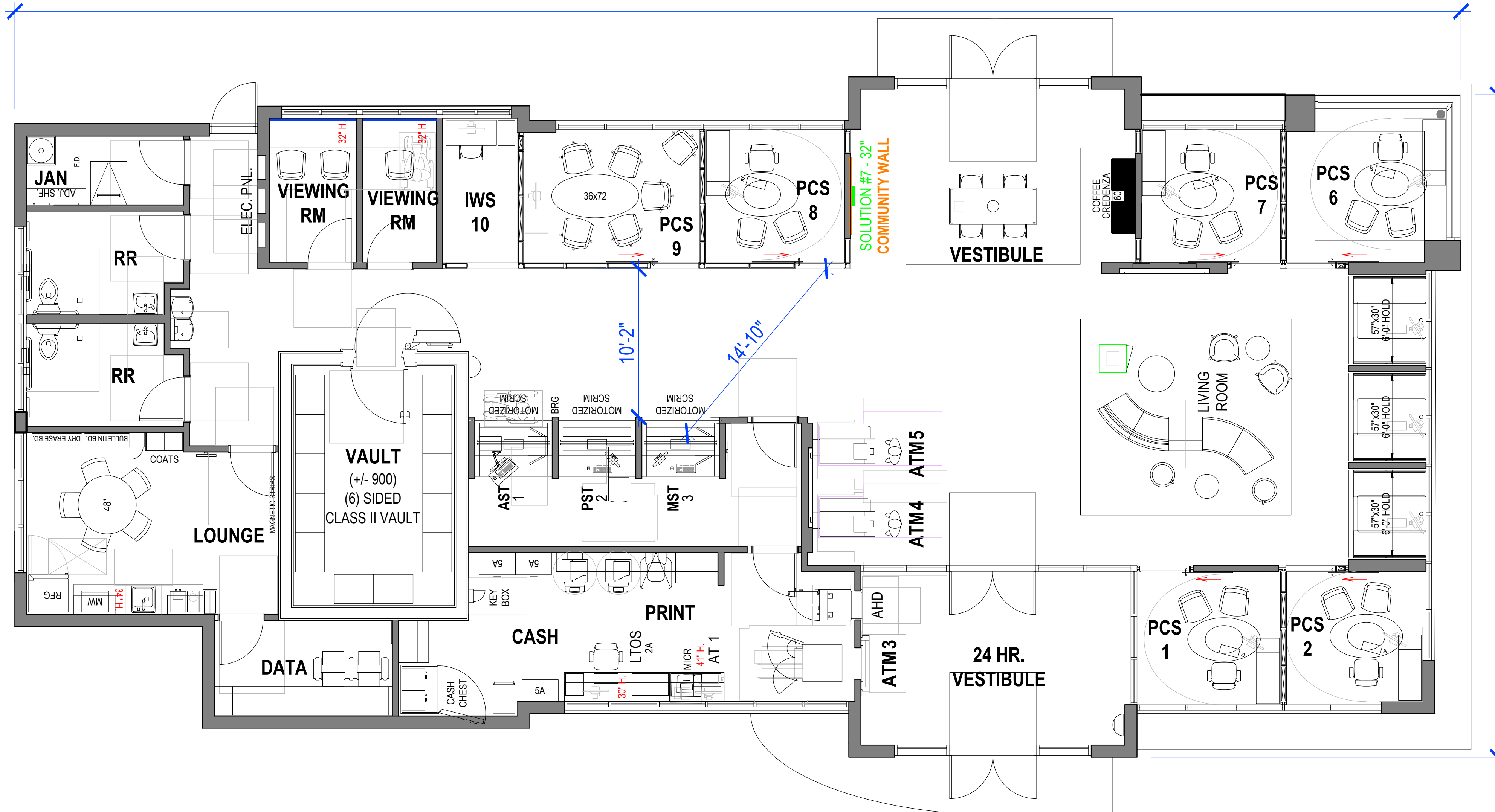
PEDESTRIAN
 CIRCULATION
 PATTERN

SHEET NUMBER

A1.3

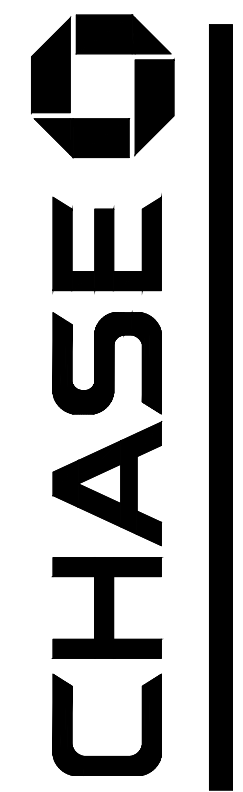
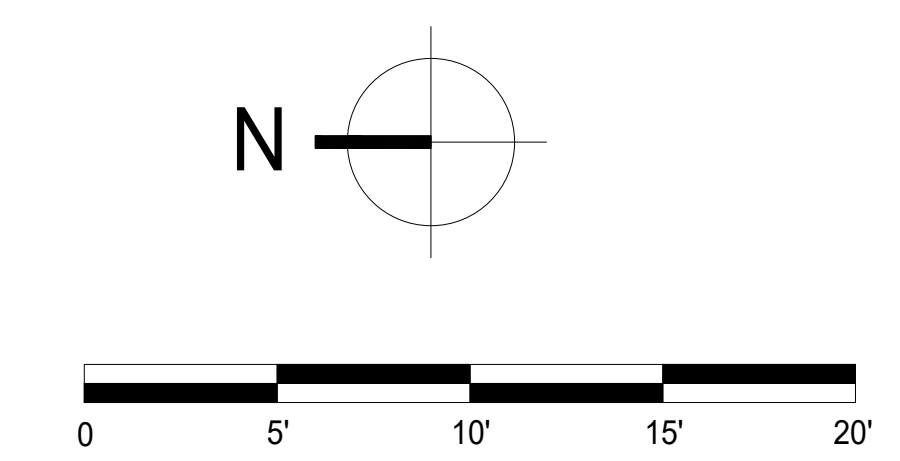
SAWMILL ROAD

99'-7"



45'-7"

BANKER DRIVE



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SHEET TITLE

FLOOR PLAN

SHEET NUMBER

A2.1



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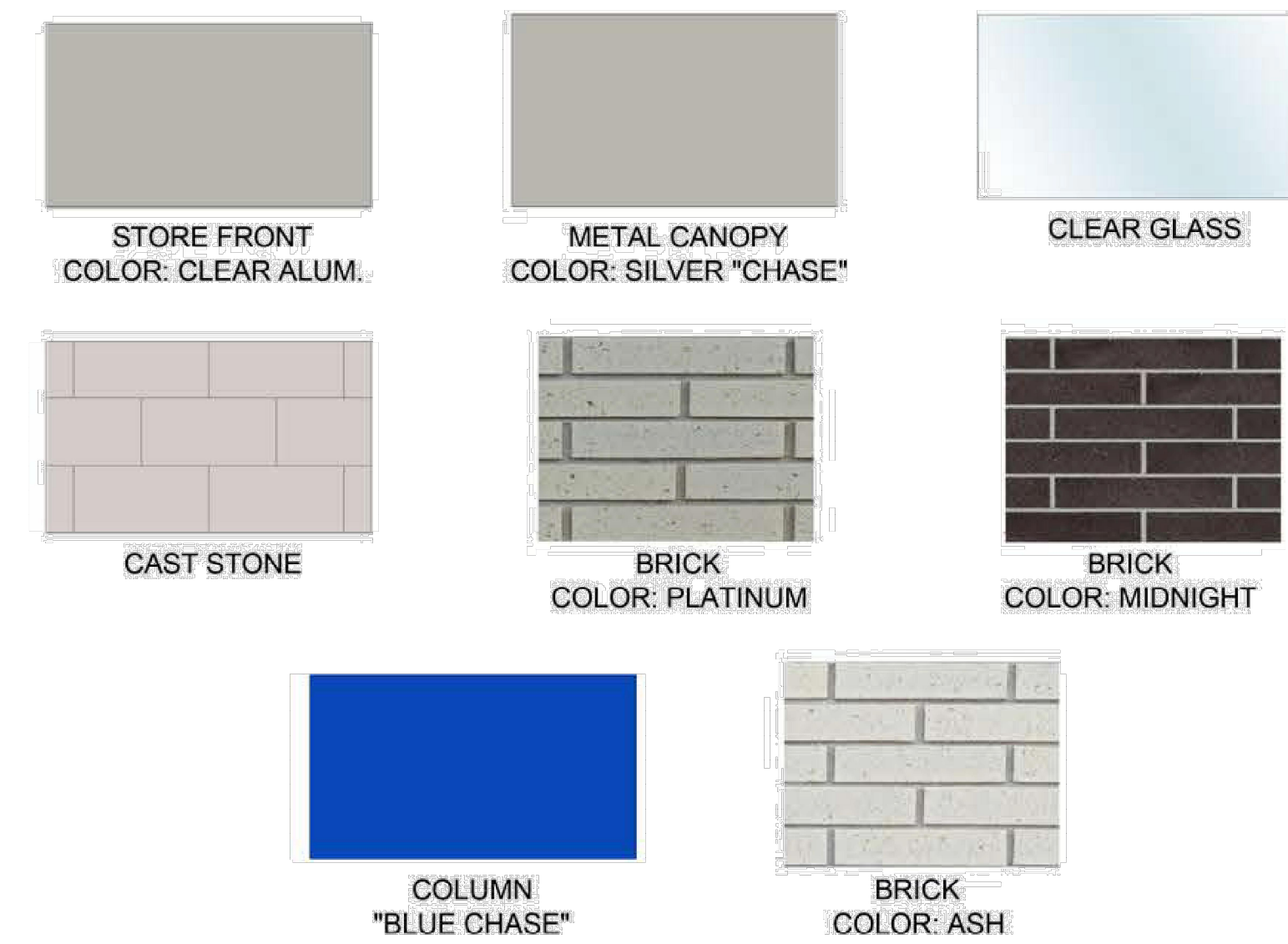
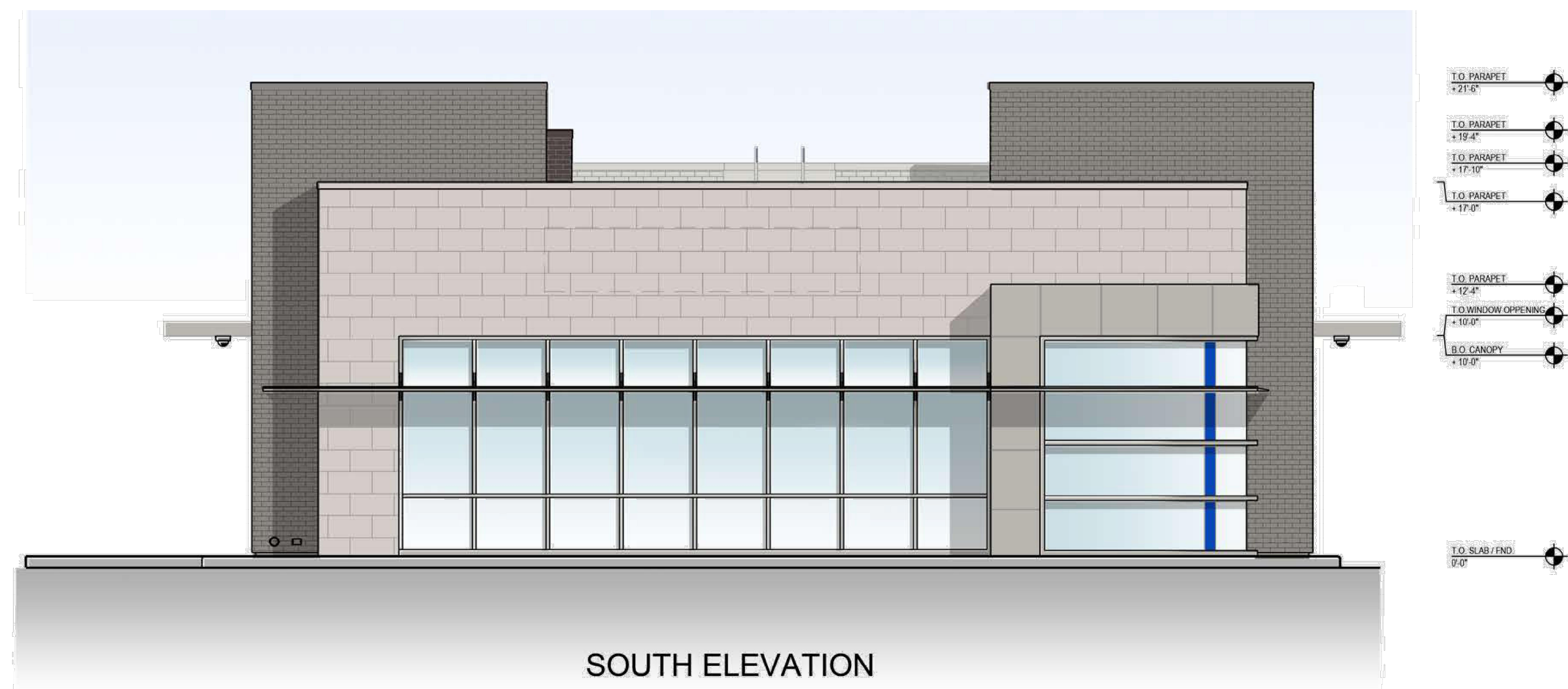
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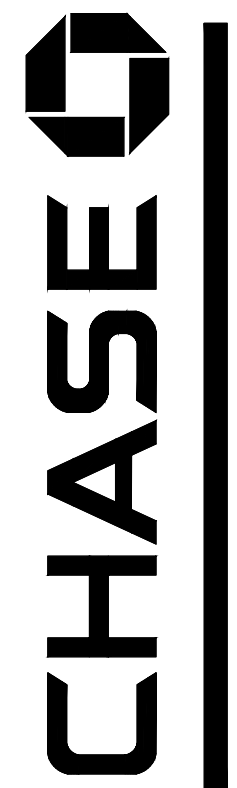
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SHEET TITLE
 EXTERIOR
 ELEVATIONS:
 SOUTH & EAST

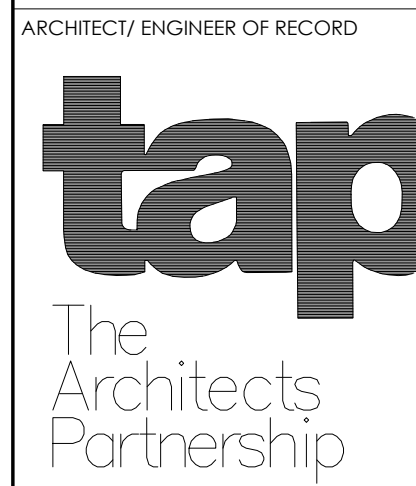
SHEET NUMBER

A3.1





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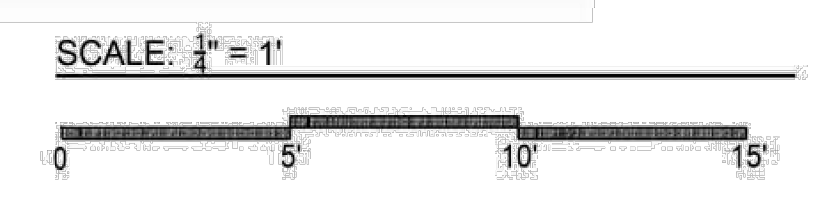
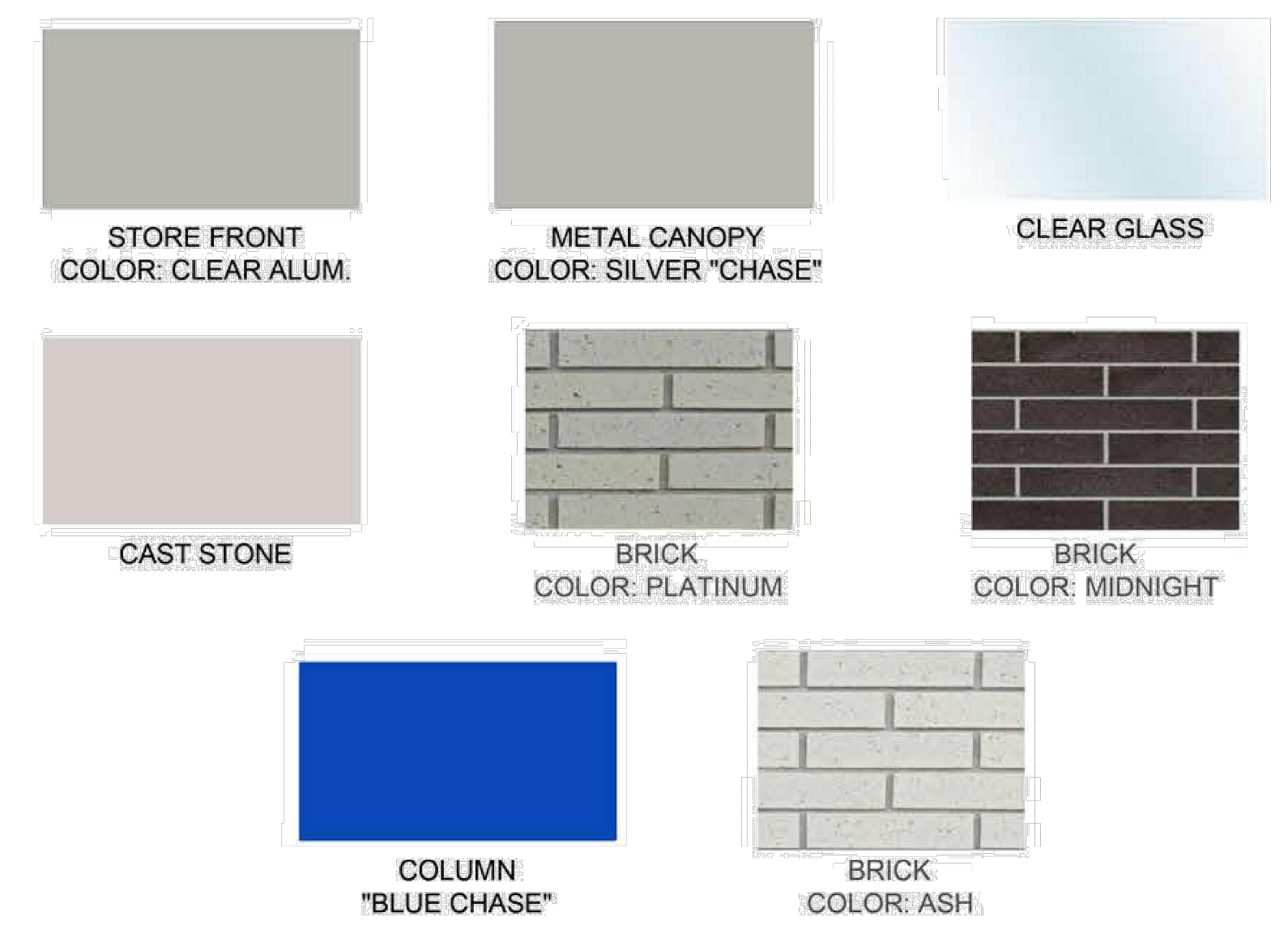
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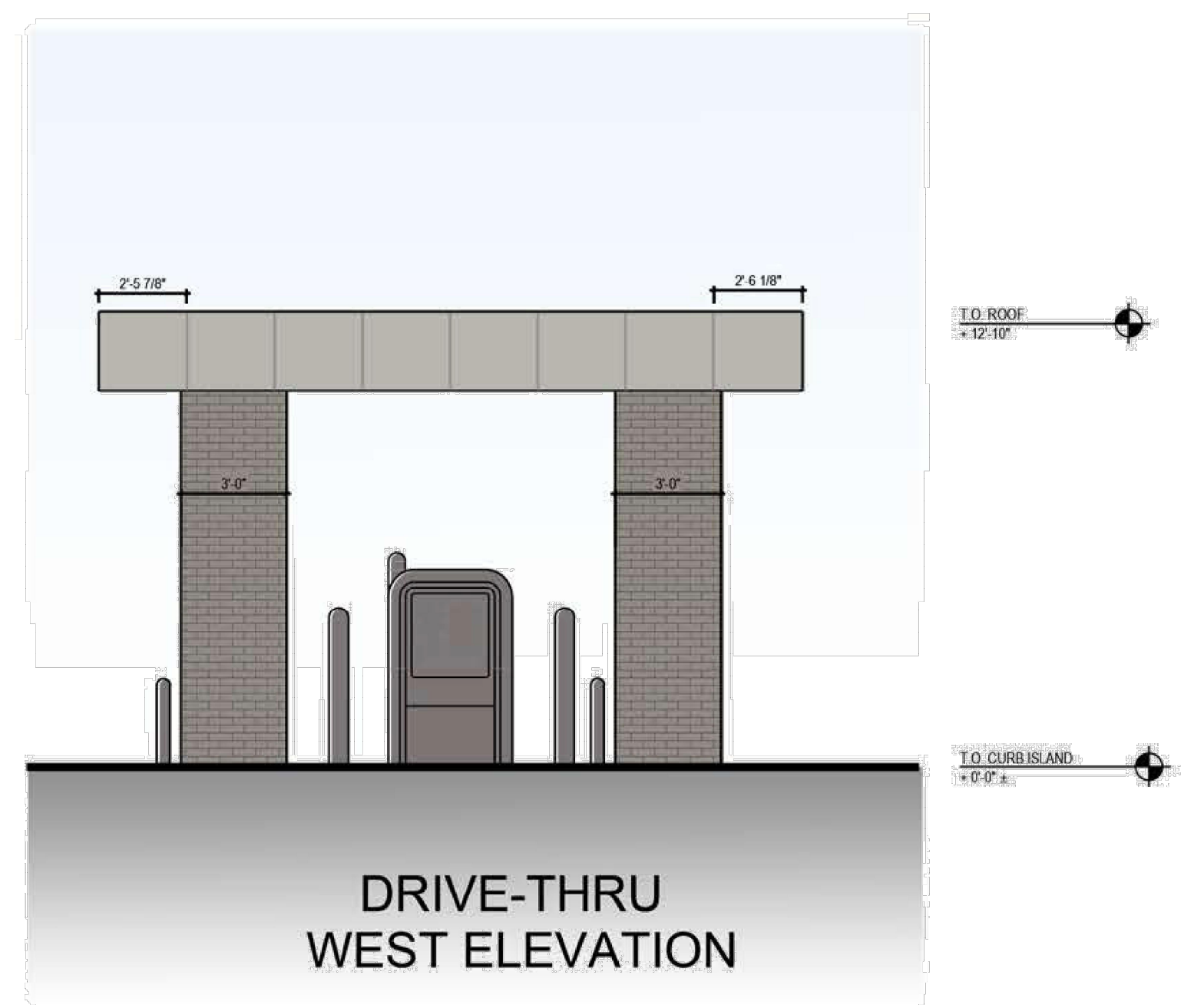
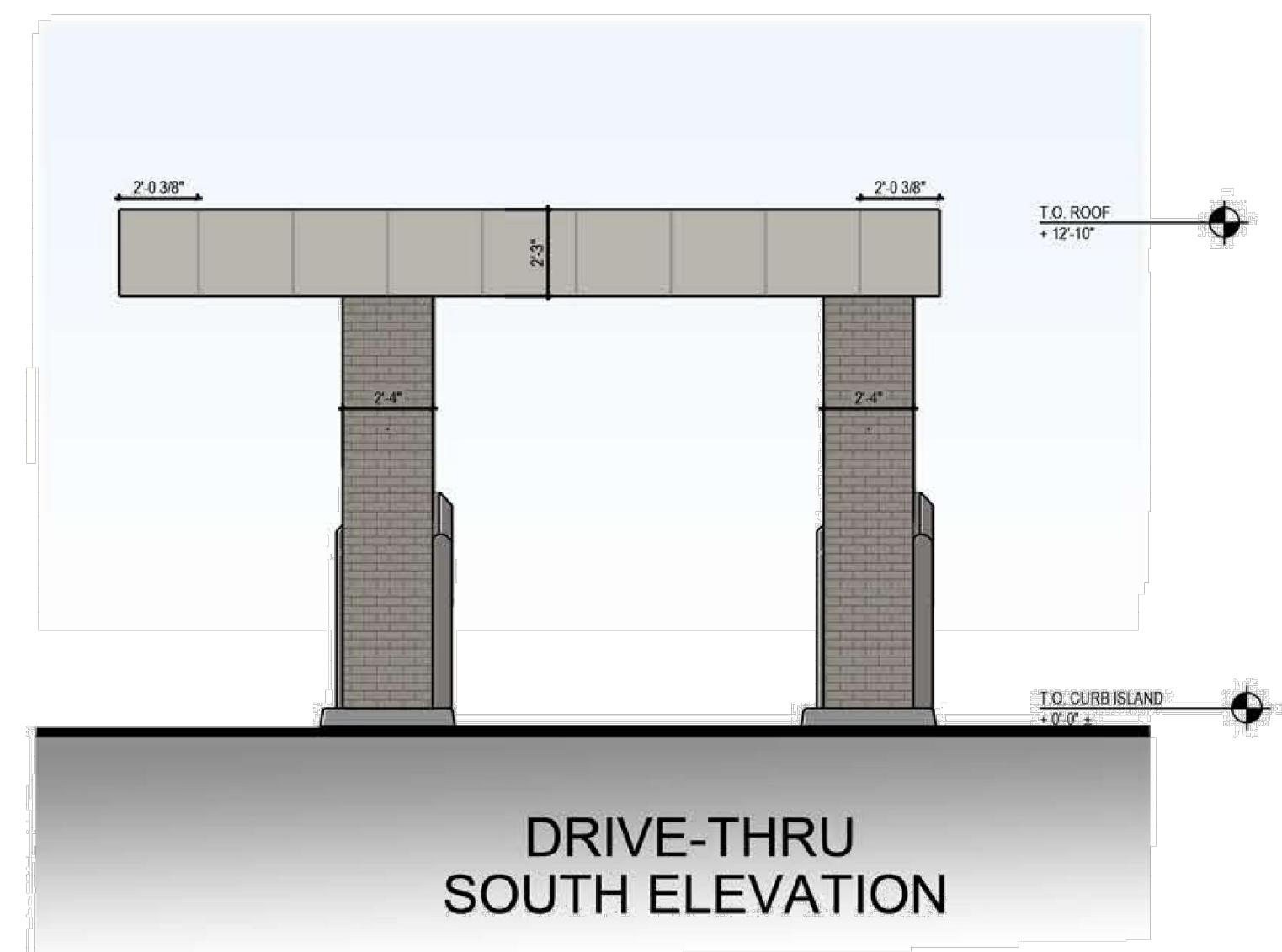
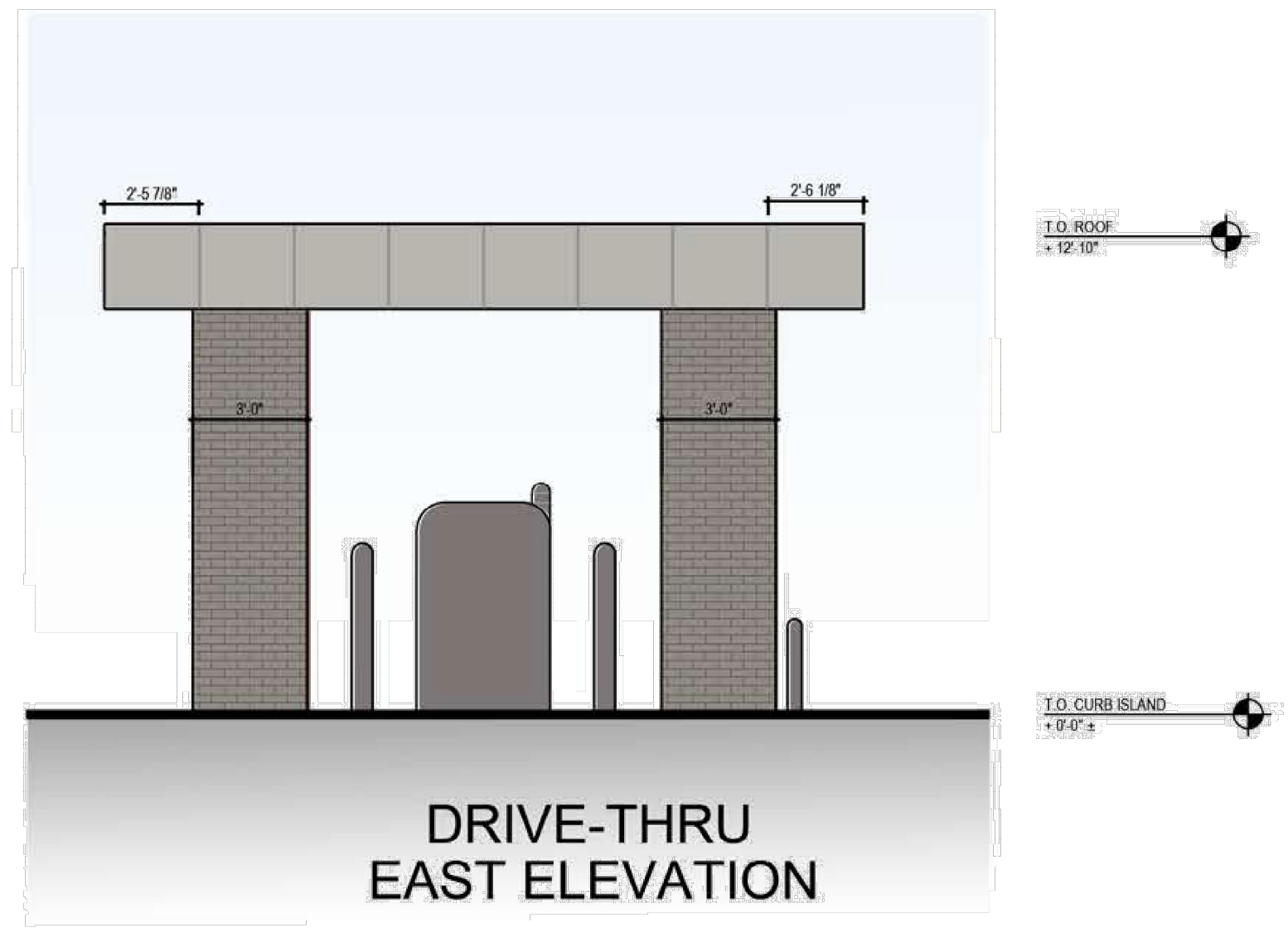
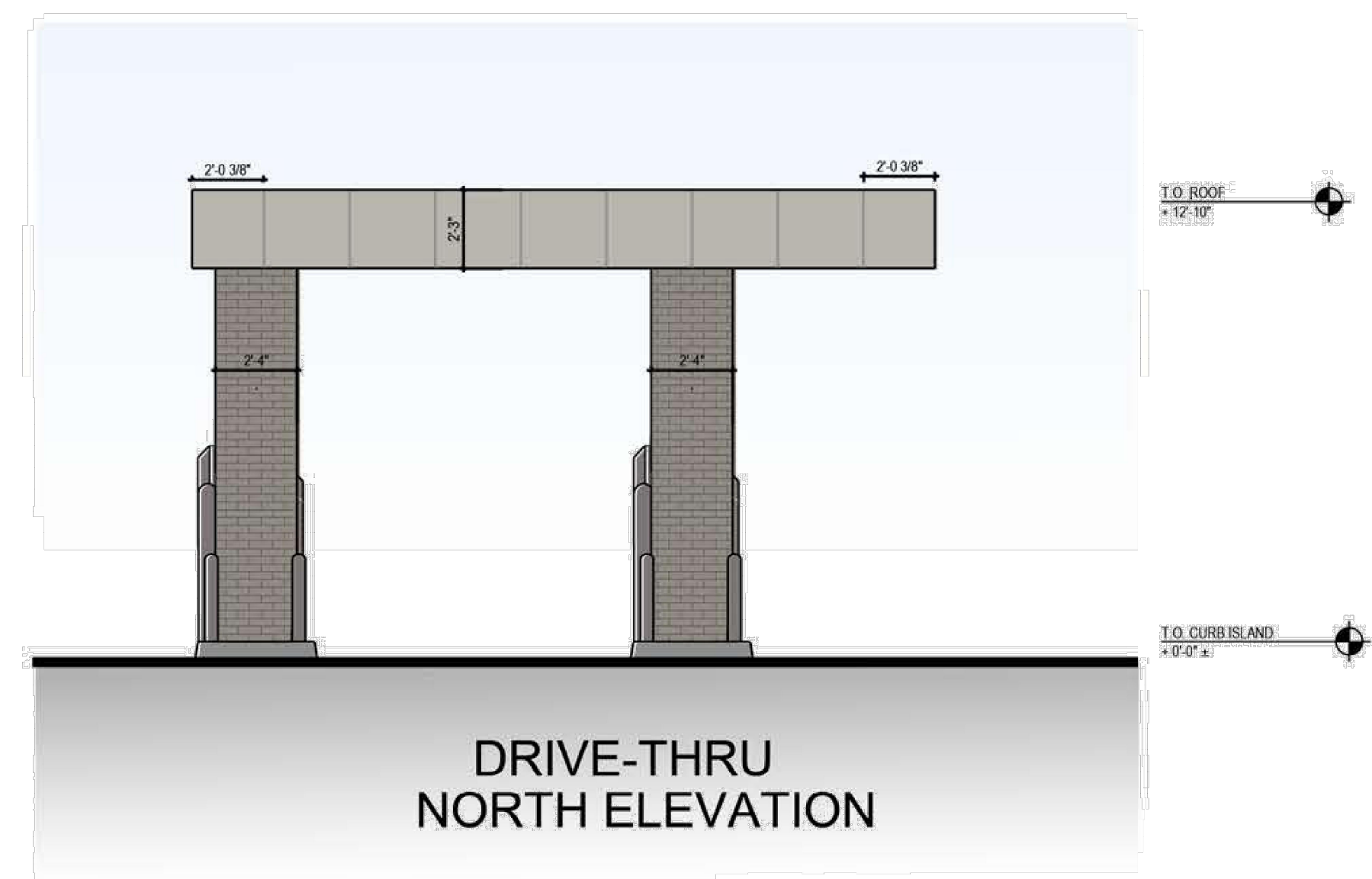
SHEET TITLE

EXTERIOR ELEVATIONS: NORTH & WEST

SHEET NUMBER

A3.2

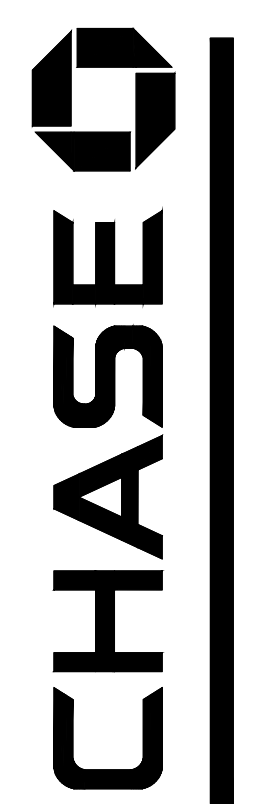
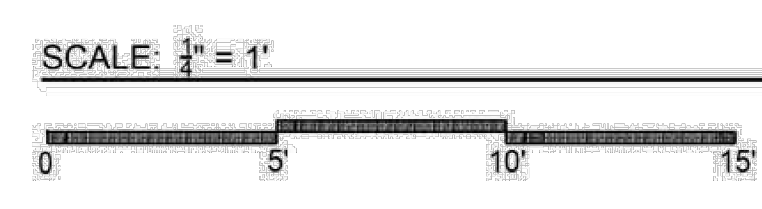




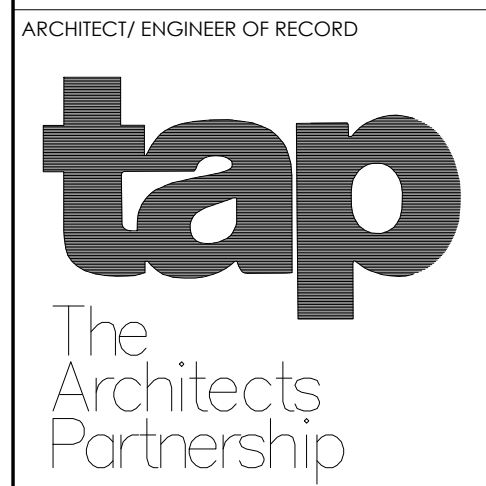
MISCELLANEOUS PAINT

METAL CANOPY
COLOR: SILVER "CHASE"

BRICK
COLOR: PLATINUM



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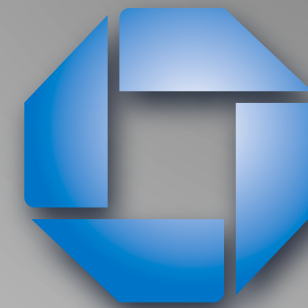
SHEET TITLE

EXTERIOR
ELEVATIONS:
DRIVE-THRU

SHEET NUMBER

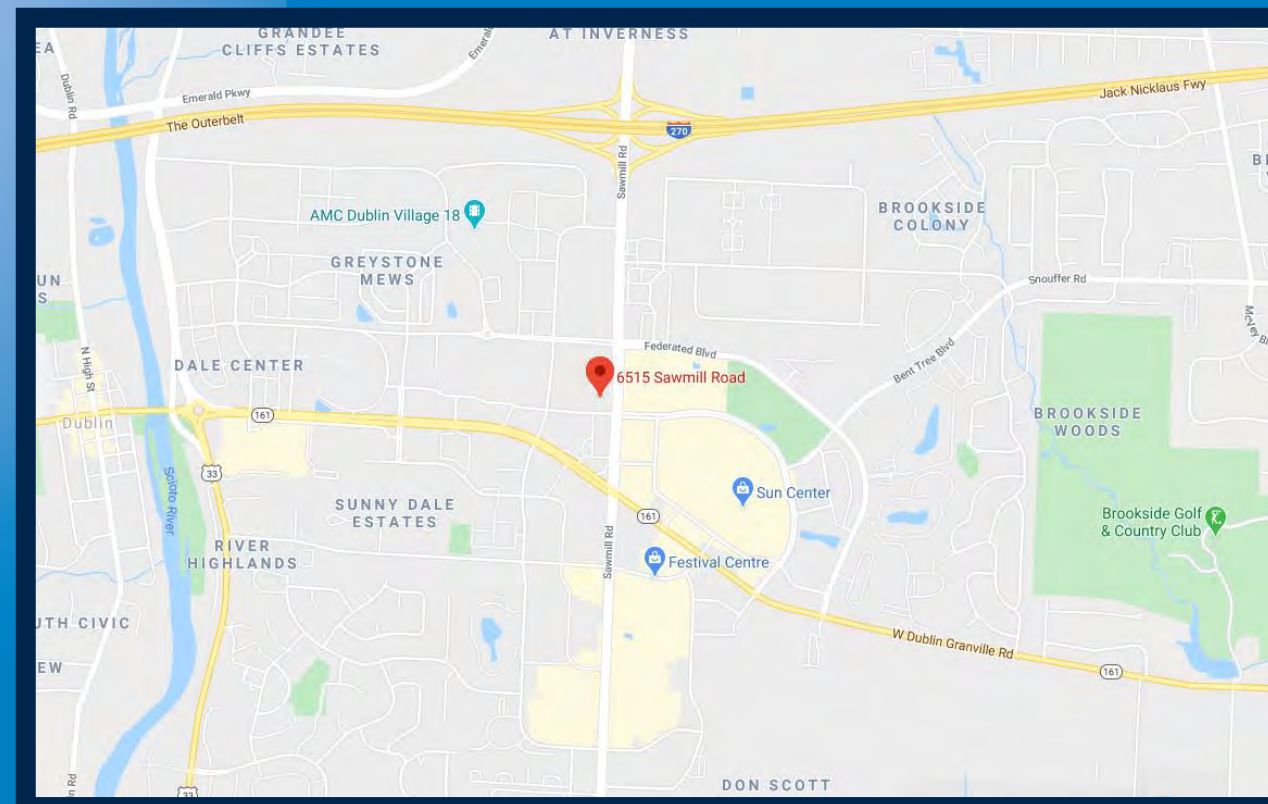
A3.3

CHASE



#38100P317668

SWC of Sawmill Rd and W. Dublin Granville Rd
Columbus, OH 43235



REVISION NOTES:

R1: chg E.1-2 lettersets to Halo-lit SS w/ titanium finish; for AddApproval, add E.4 LIH-SS-24 letterset to N elev. & chg E.3 to canopy-hung LIF-TPL-9 on nickel panel - 2.20.20 bjoncs
R2: Customer Drawing - Updated lettersets to white halo lit lettersets. - AS - 02/21/20



Signtech™

4444 Federal Blvd. San Diego CA 92102
Phone: (619) 527-6100 / Fax: (619) 527-6111
signtech.com



JP Morgan Chase Bank
#38100P317668

SWC of Sawmill Rd and
W. Dublin Granville Rd
Columbus, OH 43235

Initial Date: 02/19/20
Salesperson: Arthur Navarro
Coordinator: Tracey Pichierri
Designer: ASena
Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

Signtech does NOT provide primary
electrical to sign location -
RESPONSIBILITY OF OTHERS!

Customer Signature _____ Date _____

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Drawing Number: 20-00278

Project ID: CHASE_38100P317668_1

Revision: PERMIT

EXTERIOR SIGN LEGEND

Elevation	Sign No.	Sign Type	Description	Sq.Ft.
East	E.1	LIH-WBO-24	24" White Halo-Lit Reverse Channel Letters	36.9
South	E.2	LIH-WBO-24	24" White Halo-Lit Reverse Channel Letters	36.9
West	E.3	CUSTOM LIF-TPL-9	9" Lo-Profile Illum. Letterset on Nickel Panel - Canopy Hung	5.2
North	E.4	LIH-WBO-24	24" White Halo-Lit Reverse Channel Letters	36.9
	E.5	D-2-RE	Non-Illuminated Directional Sign	
	E.6	D-2-RE	Non-Illuminated Directional Sign	
	E.7	TC-P-ADA-OH-V-RE	Post Mount Handicap Stall Sign - Van Accessible	
	E.8	TC-P-ADA-OH-RE	Post Mount Handicap Stall Sign	
	E.9	TC-P-H-RE	Post Mount Do Not Enter Sign	
	E.10	TC-P-H-RE	Post Mount Do Not Enter Sign	
	E.11	DU-C	ATM Lane Designator Sign	
	E.12	DU-C	ATM Lane Designator Sign	
	E.13	TC-CL-W	Clearance Sign	
	E.14	COMING SOON	Temporary Construction Site Sign	
Total Proposed Sq Ft				115.9



SITE PLAN SCALE: 1:480



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signtech.com



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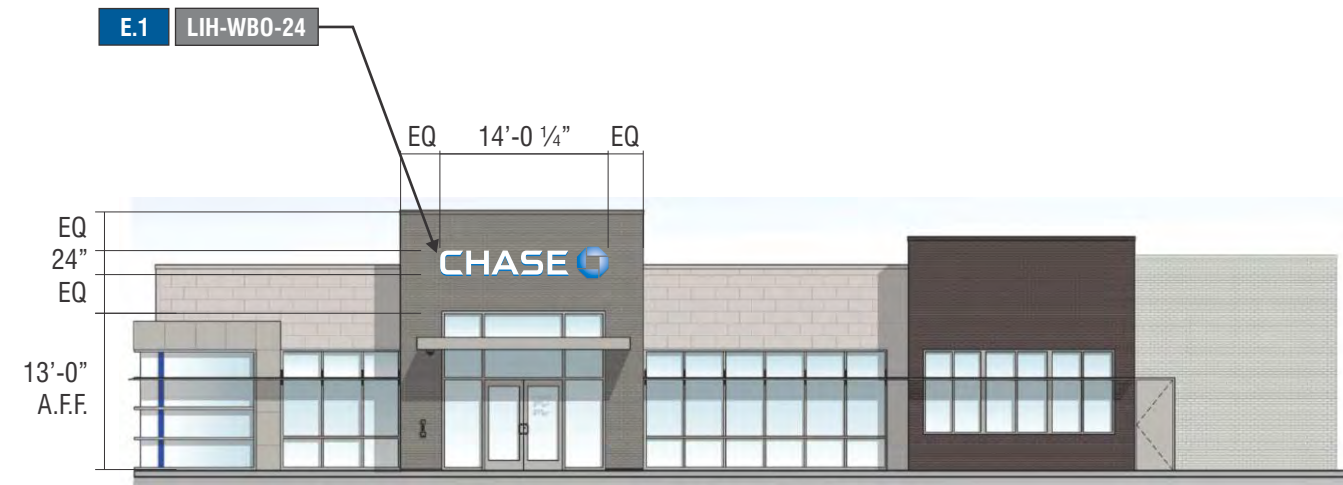
Drawing Number: 20-00278

Project ID: CHASE_38100P317668_1

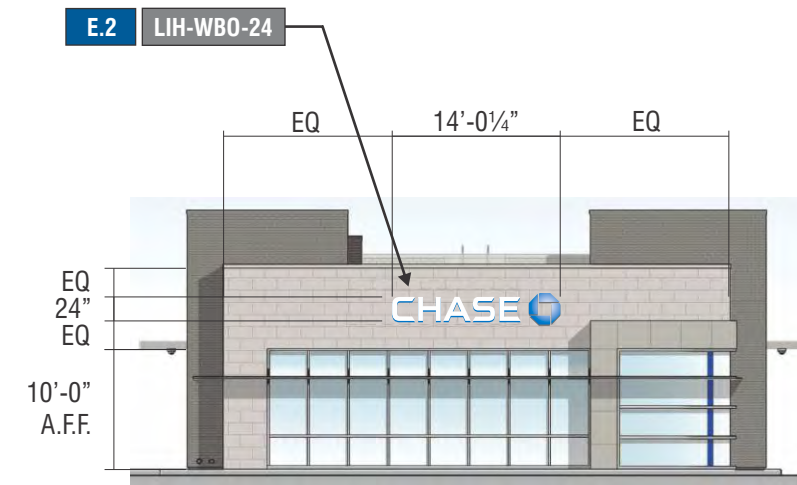
Revision: PERMIT

Sign Legend / Site Plan

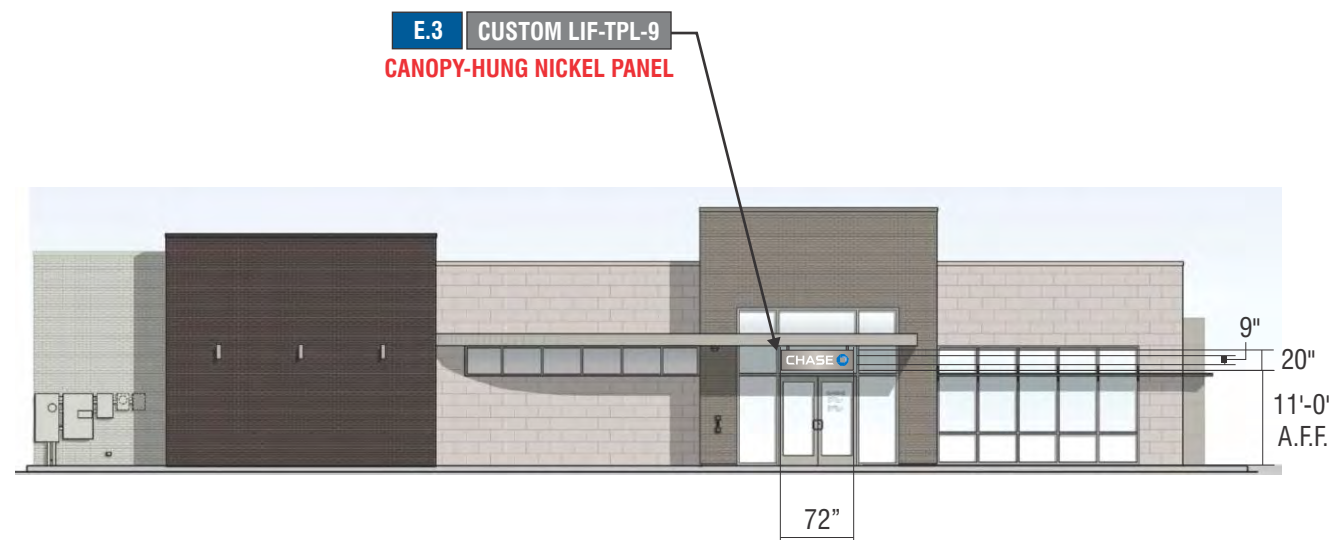
SIGNAGE OVERVIEW



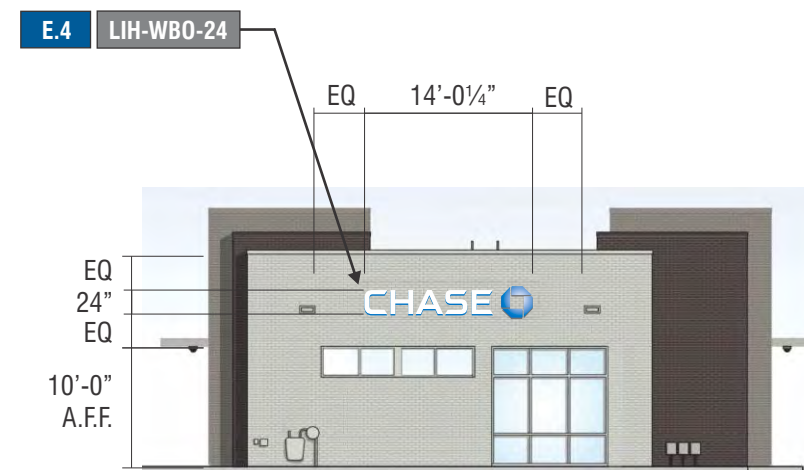
EAST ELEVATION SCALE: 1/16" = 1'-0"



SOUTH ELEVATION SCALE: 1/16" = 1'-0"



WEST ELEVATION SCALE: 1/16" = 1'-0"



NORTH ELEVATION SCALE: 1/16" = 1'-0"



Signtech™

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JP Morgan Chase Bank
 #38100P317668

SWC of Sawmill Rd and
 W. Dublin Granville Rd
 Columbus, OH 43235

Initial Date: 02/19/20
 Salesperson: Arthur Navarro
 Coordinator: Tracey Pichierri
 Designer: ASena
 Scale: As noted

CUSTOMER APPROVAL

Customer Signature _____ Date _____

COPY, COLORS & SIZES

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 electrical to sign location -
RESPONSIBILITY OF OTHERS!

Customer Signature _____ Date _____

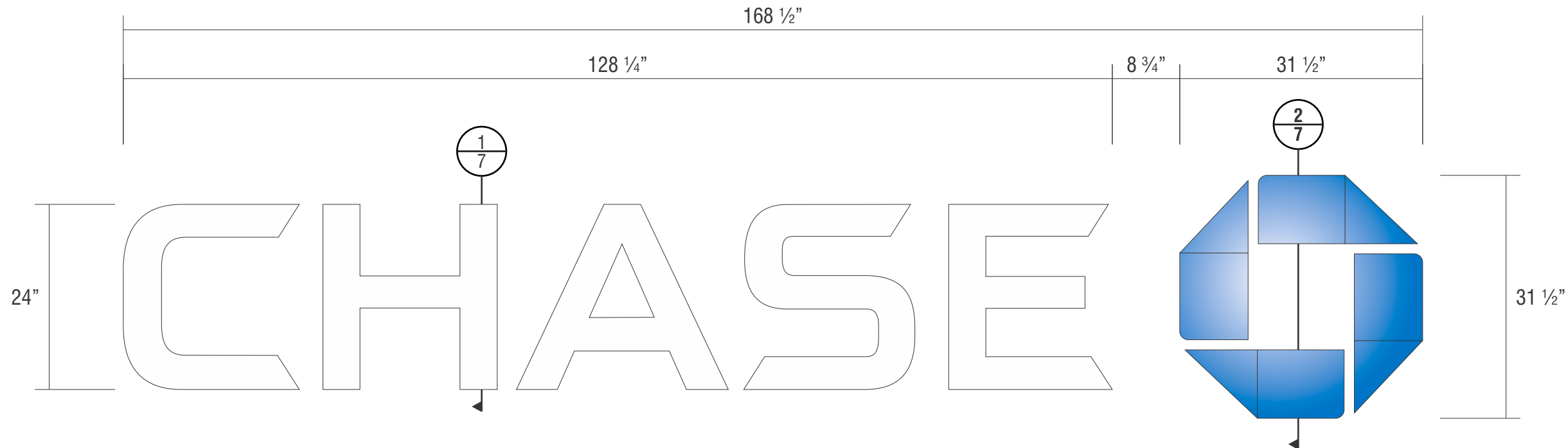
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Exterior Elevations



FRONT VIEW SCALE : 3/4" = 1'-0"

E.1	E.2	E.4
SIGN TYPE LIH-WBO-24		

MANUFACTURE AND INSTALL THREE (3) SETS OF HALO-ILLUMINATED REVERSE CHANNEL LETTERS

- LETTERS:** FABRICATED .090" ALUMINUM W/ 4" DEEP RETURNS. FOR FACES, PAINT MATTHEWS #MP-33800 WHITE, SEMI-GLOSS FINISH.
- RETURNS:** PAINT MATTHEWS #MP-00366 CHASE BLUE, SEMI-GLOSS FINISH.
- OCTAGON LOGO:** (4) INDIVIDUAL SEGMENTS OF FABRICATED .090" ALUMINUM WITH 1 1/2" DEEP RETURNS. PAINT ALL OUTER SURFACES MATTHEWS #MP-49353 METALLIC BLUE, SATIN FINISH.
- LETTER/LOGO INTERIORS:** INTERIOR PAINTSPRAY-LAT STAR BRITE WHITE LACRYL LIGHT ENHANCEMENT PAINT.
- BACKS:** .177" CLEAR SUBSTRATE TO SECURE LEDs.
- STANDOFFS:** PAINTED TO MATCH FASCIA COLOR
- ILLUMINATION:** G.E. TETRAMAX 7100K WHITE LEDs FOR LETTERS & OCTAGON LOGO w/G.E. POWER SUPPLY AS REQUIRED, MOUNTED TO LEXAN BACKS.

ELECTRICAL REQUIREMENTS FOR LED ILLUMINATION
 As required by standard #2161, Signtech Electrical Advertising, Inc., exclusively uses secondary Ground fault-Interrupted (GFI) transformers.
 Each Sign MUST have: - A dedicated branch circuit
 - Three wires : Line, Ground, and Neutral.
 - Wire Size : Min 12 GA THHN Copper Wire.
 NOTE: The gauge of the wire is dictated by the length of the run & amperage as per NEC Article 600.
 - The ground wire must be continuous & go from the sign to the panelboard ground bus.

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MEMBER OF
 WSA INTERNATIONAL SIGN ASSOCIATION
 ISEA INTERNATIONAL SIGN ASSOCIATION
 CESA CALIFORNIA ELECTRIC SIGN ASSOCIATION

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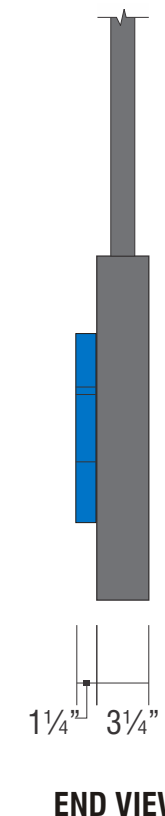
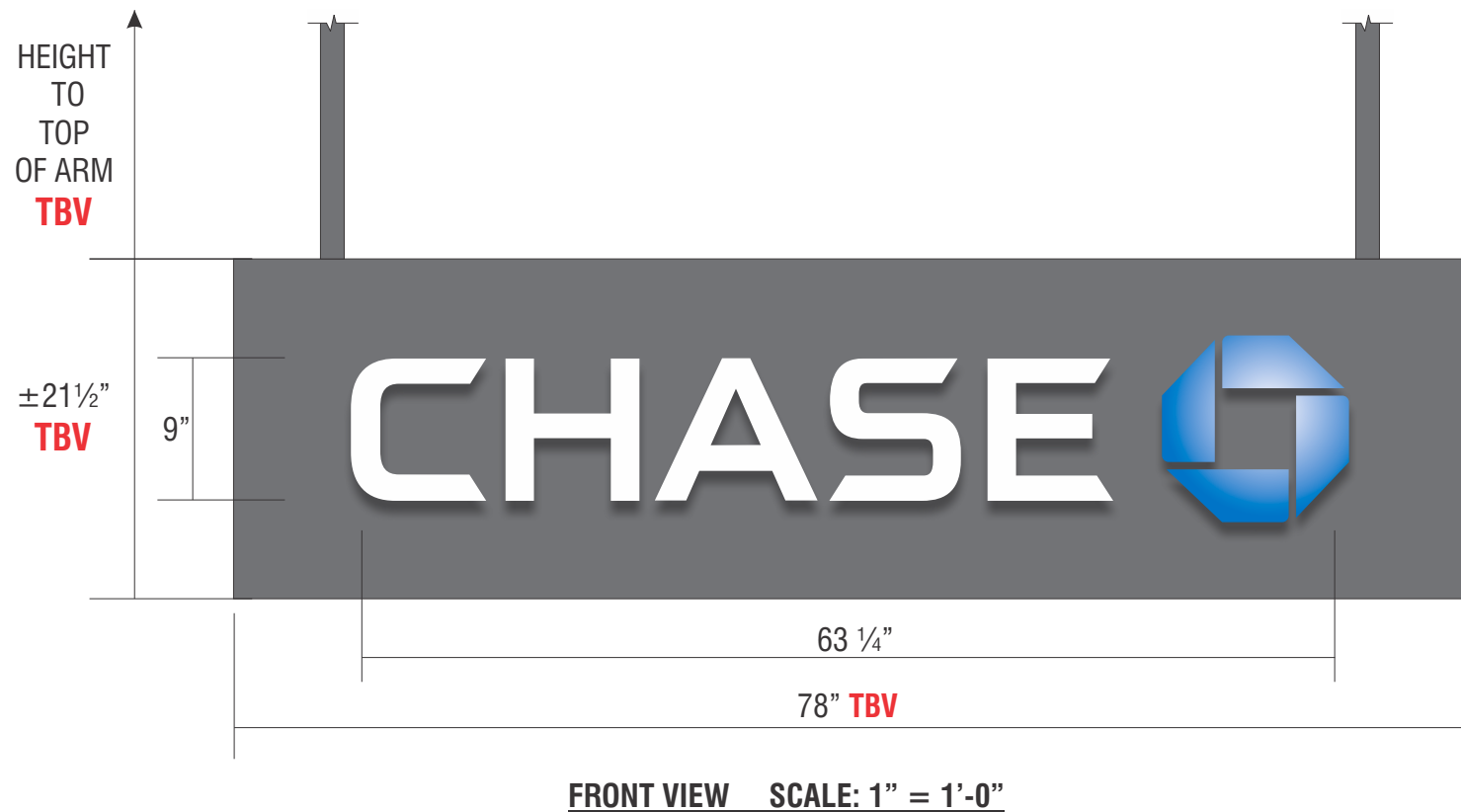
Customer Signature _____ Date _____
COPY, COLORS & SIZES

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E.3 SIGN TYPE CUSTOM LIF-TPL-9 MOUNTED ON SUSPENDED NICKEL WIREWAY

MANUFACTURE AND INSTALL ONE (1) THIN PROFILE LETTERSETS W/ HANGING NICKEL WIREWAY

LETTERS : 1.25" CLEAR PLEX ROUTED AND TO BE FINISHED WITH SMOOTH RETURNS.

BACKS: .050" PRE-PAINTED ALUM.

PAINT : RETURNS & BACKS TO BE PAINTED FIRST SURFACE MATTHEWS WHITE WITH MATTHEWS BLACK/BLOCKOUT PAINTED OVER WHITE RETURN WITH FINAL OUTER COAT OF MATTHEWS #MP-00366 CHASE BLUE SEMI-GLOSS FINISH (MASK FACES AND DO NOT PAINT INTERIOR OF LETTERS)

FACES : TO HAVE 1ST SURFACE 3630-20 WHITE VINYL.

ILLUMINATION : WHITE LED STRIPS.

OCTAGON LOGO: 1.25" CLEAR PLEX ROUTED AND FINISHED WITH SMOOTH RETURNS.

BACKS: .050" PRE PAINTED ALUMINUM.

PAINT: RETURNS & BACKS TO BE PAINTED FIRST SURFACE MATTHEWS WHITE WITH MATTHEWS BLACK/BLOCKOUT PAINTED OVER WHITE RETURN WITH FINAL OUTER COAT OF MATTHEWS #MP-00366 CHASE BLUE SEMI-GLOSS FINISH (MASK FACES AND DO NOT PAINT INTERIOR OF OCTAGON SEGMENTS)

FACES : TO HAVE 1ST SURFACE 3630-127 TRANSLUCENT BLUE VINYL.

ILLUMINATION: BLUE LED STRIPS.

WIREWAY: ALL ALUMINUM CONSTRUCTION, PAINTED MP #18248 DARK NICKEL, HIGH GLOSS FINISH.

INSTALLATION: ATTACH TO BE VERIFIED.



TYPICAL DOOR ELEVATION SCALE: 3/8" = 1'-0"



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EXISTING CONDITIONS



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