



MEMO

To: Nichole Martin, AICP
Planner II, City of Dublin

From: Vivian Majtenyi, AIA, NCARB
Historical Architect

Date: October 19, 2020

Re: 3rd Review for new construction at 156 S HIGH STREET
(Note: 158 S High Street's 3rd review was dated September 18, 2019)

INTRODUCTION

The applicant first submitted material to the City of Dublin for review in June 2019 to demolish the existing duplex at 156-158 S. High Street and replace it with two single-family homes. It was felt demolition was justified as the 2017 *City of Dublin Historical and Cultural Assessment (HaCA)* recommended the properties as non-contributing to the local City of Dublin Historic District as well as non-contributing to the Dublin High Street National Register Historic District boundary increase due to loss of integrity from numerous additions and loss of original materials. The review then focused on the suitability of the proposed houses and their compatibility with the City of Dublin Historic Design Guidelines. While the first two submittals of 156 and 158 were reviewed as part of the same report, 158 S. High Street received a separate report in September 2019 as its third review. It should be noted that the first design for 156 was recommended for approval in August 2019. Since then, a new design has been submitted for 156 S. High, and this report confines its comments to this proposal.

Below is a review of the proposed new construction in the historic district and a discussion of issues that should be addressed before it is approved. It is based upon this reviewer's understanding of the City of Dublin Bridge Street District (BSD) Zoning Districts, and the Preservation, Rehabilitation, and New Construction Guidelines of the *Historic Dublin Design Guidelines*. These comments are based on this reviewer's professional experience and judgment regarding historic architecture and preservation projects. However, these comments do not (and cannot) identify every issue that may be of concern to the City of Dublin and its various review boards. As always, the final determination of these issues lies with the City of Dublin.

THOUGHTS ON THE NEW CONSTRUCTION

The property lies within the Bridge Street District (BSD) Historic Residential zoning district, whose purpose is to permit the preservation and development of homes on new or existing lots that are compatible in size, mass, and scale, while still maintaining and promoting the traditional residential character of the Historic Dublin area. The zoning district should protect the scale and character of the

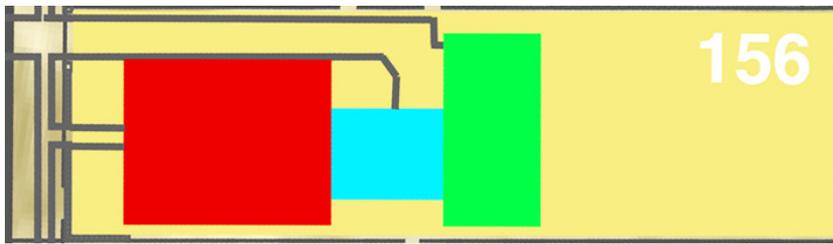
original platted village and ensure that new buildings are compatible with the existing residential uses and streets. The development standards in this district include a 0.2-acre lot area, a minimum 60' lot width, a 35' maximum building height, and a maximum 50% lot coverage. Setbacks along High Street are 15' front yard, 4' minimum side yard, 16' total side yard, and 15' rear yard (City of Dublin Bridge Street District (BSD) Zoning Districts Zoning Code Sections 153.057 through 153.066).

In addition, the *Historic Dublin Design Guidelines* contain recommendations regarding historic context. New buildings in the district should be designed to fit into the strong existing context. They should not try to look old or assume a historic character they never had. Rather, new construction should follow historic buildings in placement and orientation on a lot; in scale and proportion; in building height (one to one-and-a-half stories); in materials, textures, and colors; in massing, form, and roof shapes, as well as in the rhythm of bays. It should add to the continuity and compatibility of the neighborhood and not diminish its historic integrity. And new buildings should not replicate historic ones and create a false sense of history, but they should be compatible to not detract from the character and integrity of the surrounding historic structures. Furthermore, new buildings should not have multiple traditional features that are not used in the proper manner or do not work together.

T. Walton Carr, Architects, have submitted four elevations and a site plan for this informal review. The proposed house appears to be approximately 5,500 square feet (SF) on a .24-acre lot of 60 feet wide and 176 feet deep per the provided site plan. [NOTE: The Franklin County Auditor's Parcel Detail lists the site as 55.5' wide by 192' deep, but the minimum lot width for the BSD Historic Residential District is 60'. The City of Dublin Planning Department needs to resolve this matter.] The proposed design divides the house into two main components: the first is a two-and-a-half story side-gable house, and the other is a two-and-a-half story segment that sits approximately 7' below the exterior grade at the front due to the natural slope of the site. The north elevation indicates the building is 33'-10" from finished grade; however this does not include the additional ~7'-0" that is visible at the rear, making the total height of the building, from the eastern-most grade of the house to the top of the house at the S. High Street 15' setback, 39'-8" in height, or almost five feet more than what is permitted per BSD Zoning District Zoning Code 153.063. It may be open to interpretation on the definition of a building's height, but when comparing the height of the proposed structure with house sizes nearby, it becomes evident that the proposed has one story too many. (See the Photographs along S. High Street at the end of this report for more compatible massing examples.)

In terms of lot coverage in comparison with nearby properties, the proposed footprint is similar to nearby houses. But unlike nearby properties, the general shape of the building shows multiple crenulations in both plan and elevation that are not characteristic of the neighborhood's fabric and are therefore not desirable for a new build in this location. Most houses in the immediate area are originally of a vernacular form: a one-and-a-half Gabled Ell or a Cape Cod Cottage (see Photos along High Street at the end of this report). It is recommended to take massing cues from nearby buildings. With the narrow lot width, it is recommended that the designer revise the building's mass. A diagrammatic approach could help direct the design. For example, there could be three masses, with the mass closest to the street matching the original building width at 182 S. High, and the mass furthest east consisting of a single-story garage. The massing could be as simple as this diagram where the red rectangle represents a one-and-a-half front-gabled stone masonry mass, and the

green rectangle could be a single-story garage with its roof used as a patio, and the blue is a two-story hyphen/connector.



An example of a simple building plan diagram.

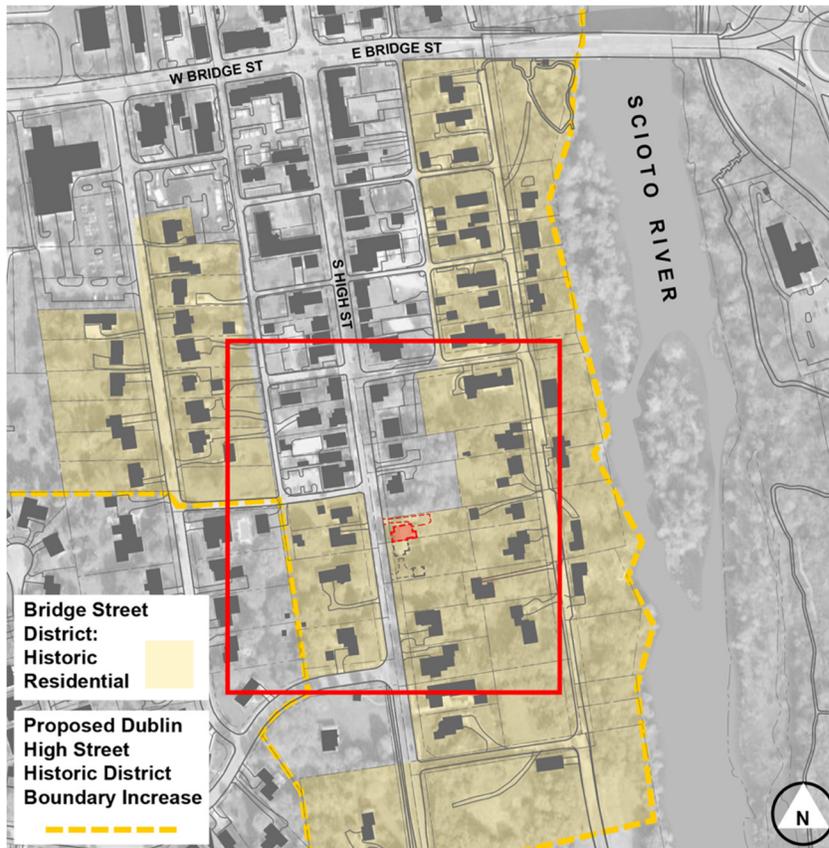


Figure 1. Overall view of the buildings south of Bridge Street with the now demolished 156 S. High building and driveway shown in red. While inside the Historical Residential Zone, the properties north of John Wright Lane of are part of the NRHP Dublin High Street Historic District. (Original Adobe Illustrator sketch using ArcGIS Data provided by the Franklin County Auditor and the City of Dublin, extracted September 9th, 2020; not to scale)



Figure 2. Detail view of the buildings immediately around 156 S. High Street. The original duplex at 156 and 158 is shown as dashed, with 156 shown in red.



Figure 3. Detail view of the buildings immediately around 156 S. High Street. The proposed building is shown in its approximate placement on the lot.

Before the final design is approved, the following items should be considered:

Overall

- Rework the massing, most importantly to simplify and reduce the height of the house so it complements the one-and-a-half story houses nearby on S. High Street.
- Remove the complexity of form in plan and in elevation. For example, the S. High Street house massing should not have the mini-gable protrusions on the west elevation. Simplify the roofing so each building mass does not contain more than one roof height.
- For the north side yard, remove the bay window so there is 16'-0" clear from the north property line to the northernmost face of the exterior wall (see 'Bridge Street District (BSD) Development Code, Table 153.063-A. Minimum Yard Requirements for BSD Historic Residential District, May 8, 2019). Also, simplify the elevation so there are no competing windows and a uniform stone foundation or watertable.
- Remove false historical details from disparate historic house styles, including the rear cupola, the bulls-eye window, and the colonial revival sconces. It is highly recommend that this new residence follow the City of Dublin Design Guidelines, specifically for Chapter 5, New Construction.
- Limit style and material changes to each building mass. For example, the building mass closest to S. High Street could be constructed of full height limestone masonry (making it visually compatible with the early stone houses of Dublin's historic core), but the building mass at the rear of the house could use limestone to the watertable level with wood clapboard siding above (as many later houses and rear additions use this cheaper material.) Or, the limestone foundation could be continuous among the rear building elements and create a strong, unifying base. Either way, the building composition would be simplified and read as a cohesive whole.

- Provide a description of the exterior materials and their locations. If wood siding is to be used, use clapboard and not board and batten on a residence in the historic district; wood shingles should be used as accents and placed under the roof gables, but not below the cornice. Imbricated or accent shingles should not be used. Board and batten siding should be limited to outbuildings or distinct garage structures.
- Make the windows appropriate for the to-be-determined house form and style for each building element. The S. High Street mass appears to indicate the windows are fixed; suggest replacing with operable. Provide cut sheets of materials including muntins and mullions with dimensions and paint colors.
- If shutters are to be installed, place them uniformly for each building mass. Shutters should not be placed on one floor and be missing on the floor above. Shutters should be operable and of the appropriate style and size. Provide cut sheets.
- Provide landscape and hardscape site plans for comments; these items should match the character of the building form and style and remain compatible with the adjacent properties.



West Elevation (Façade)

- Consider continuing the low dry-lay limestone wall aligned with the existing stone wall immediately south of the 158 S. High St. property line. This wall must match the existing wall with material (locally-quarried, dry-laid Devonian limestone where individual pieces match the texture, original color, and size of the original wall) and dimensions (height, width, and stone pattern placement).



- Regarding the question of stone piers on either side of driveway, other nearby houses have constructed piers with mortar for strength, such as at 182 S. High St. Consider removing the piers as they are not an original character of the 19th century elements of the historic district. The wooden gate with posts and ball post caps are not in keeping with the district's character; consider removing the gate.
- Make the front door with its lites and arched pediment porch accent compatible with the to-be-determined building form and style.
- Make the porch columns compatible with the to-be-determined building form and style. Provide cut sheets with dimensions.
- Remove pendant light from underside of the porch arch. This light appears to be too large and/or too low. Provide cutsheets for proposed lighting of a simple nature.
- Lightning rods should be of minimal design aesthetic and profile as possible; provide cut sheet for review. If this is a decorative finial, it is recommended that it is removed.
- Provide porch details, including the elevation from the interior to grade.
- Remove double windows and replace with single windows aligned with the windows below. Window and door placement needs to be determined by a rhythm of the bays as based off the nearby historic architecture.



North Elevation

- Redesign the windows on the S. High St. building mass so that they are located per the appropriate rhythm of bays (so they are aligned in elevation and have equal spacing between them.) Consider removing the bay windows to simplify the elevation.
- The diamond-paned glass window in the porch area is a faux historicism that is recommended to be removed.
- Provide details for overhangs and decks, including exterior stairs and what is under the deck on the east end.
- Provide cutsheets for garage doors, doors, windows, railings, and sconces.



East Elevation

- Redesign the building so it can be considered compatible with adjacent building forms and styles. Provide plans and material cut sheets for patio, driveway, and deck.



South Elevation

- Align heads of all windows for each building mass, and ideally for all floors.
- Place windows so they match the local rhythm of bays (windows need to align from one floor to the next, and double/triple windows should be eliminated.). Window sills should align at least limited to the style of the building mass.
- Redesign or relocate chimney so it isn't a large mass extending up two stories. Please note that the chimney should be as traditionally constructed in the district, either of brick or stone, both requiring ceramic tile, not a metal vent.

Overall, I would **not approve the current design without modifications** as currently presented. It requires some simplifying in plan, reducing building height along High Street, removing false historical elements, and maintaining the character of the historic district. While some materials and finishes are acceptable, such as using metal standing seam roofing and asphalt shingles, others need to be revised to comply more completely with historic preservation standards.

PHOTOGRAPHS ALONG S. HIGH STREET



1. 200 S. High Street. The new single-family home was built in 2014 with traditional features such as the stone foundation, shingle siding, the stone-faced front gable with bay window, the front-gable porch with entry, and six-over-six sash windows with shutters and trim.



2. 182 S. High Street. The building dates to ca. 1850 and is listed on the National Register as part of the Washington Township MRA. It is also recommended contributing to the local City of Dublin Historic District and the Dublin High Street Historic District National Register boundary increase. The original one-and-a-half story house, the portion closest to S. High St., is on the left, and the compatible addition above the integral garage is shown on the right. New construction in the area should match the scale, massing, and proportions of existing historic structures such as this.



3. 126 S. High Street. The building dates to ca. 1849 and is contributing to the local City of Dublin Historic District as well as the Dublin High Street Historic District. New construction in the area should match the scale, massing, and proportions of existing historic structures such as this.



4. 114 S. High Street. The residence-turned-office dates to 1948 and is recommended contributing to the local City of Dublin Historic District as well as the Dublin High Street Historic District National Register boundary increase. This building's is a Cape Cod Cottage with Colonial Revival elements. New construction in the area should match the scale, massing, and proportions of existing historic structures such as this.