



Architectural Review Board October 28, 2020

20-156ARB-INF – 181 S. HIGH STREET

Summary

Request for informal review and feedback for exterior modifications and additions to an existing single-family home located on a 0.47-acre site.

Site Location

The site is located northwest of the intersection of South High Street and Waterford Drive.

Zoning

BSD-HR: Bridge Street District – Historic Residential District

Property Owner/Applicant

Timothy Bergwall/Deborah Bergwall

Representative

Richard Taylor, AIA, RTA

Applicable Land Use Regulations

Zoning Code Section 153.070 and Historic Dublin Design Guidelines.

Case Manager

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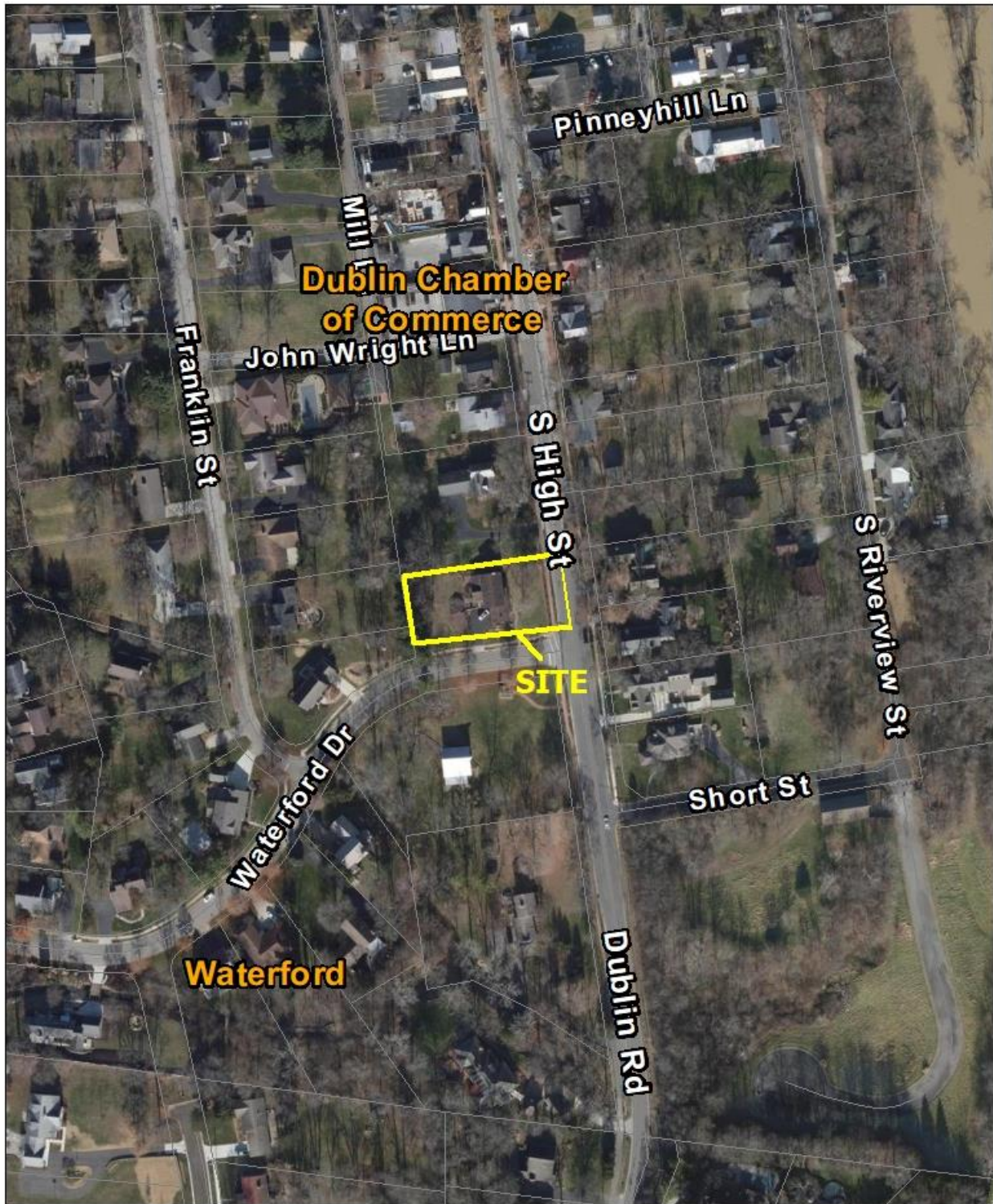
Zoning Map



Next Steps

Upon review and feedback of the Informal Review by the Architectural Review Board (ARB), the applicant may file a formal application for review and approval of a Minor Project Review by the ARB.

1. Context Map



20-156INF
Informal Review
181 South High Street

0 75 150
Feet



2. Overview

Background

The 0.47-acre parcel has approximately 100 feet of frontage along S. High Street. The site is has vehicular access from Waterford Drive. A historic dry-laid stone retaining wall extends along the S. High Street frontage, and two mature trees are located east of the existing residence, a Sweetgum and a Sugar Maple. Sidewalks extend along S. High Street and Waterford Drive.

Today, the site contains a two-story, 2,700-square-foot, single-family home built in 1967. The architectural style of the home is a 'raised ranch', which is a variation of the 'ranch' style prevalent between 1935 and 1975. The house has a T-plan footprint, with a two-story side-gable core, one-story attached garage to the south, and one-story cross gable mass to the west (rear). The roof is sheathed in asphalt shingles and the exterior is clad in brick. The front door is sheltered by a shed roof entry porch on the east facade. The home has grouped double-hung windows on the east façade with minimalistic detailing. The existing home is in good condition and has fair integrity.

In 2016 when the City of Dublin Historic and Cultural Assessment was conducted, and subsequently adopted in 2017, the home was not yet 50 years of age; therefore the home was designated as 'non-contributing' as it was not yet eligible for the National Register of Historic Places (HRHP). Today, the home is now eligible for consideration as historically contributing to the overall integrity of Historic Dublin similar to other ranch style homes along Franklin Street and S. Riverview Street.

Case History

Most recently in October 2005, the ARB reviewed and approved a revised paint color for a 360-square-foot detached garage at 181 S. High Street. There was one condition of approval for the detached garage that the paint colors be of matte or low gloss finish consistent with the *Historic Dublin Design Guidelines*.

Site Characteristics

Natural Features

The site is presently developed. An existing vegetative buffer, along the west property line, separates the property from the Waterford Village subdivision. Two mature front yard trees are located east of the existing home, and a historic dry-laid stone retaining wall extends along the S. High Street frontage.

Historic and Cultural Facilities

In 2017, the City of Dublin adopted a Historic and Cultural Assessment (HCA), which documents a variety of community assets including homes, cemeteries, and stone walls. As part of the assessment, the home was found to be recommended non-contributing because in 2016 when properties were inventoried the home was not yet 50 years of age. The assessment designates the home is in good condition and fair integrity. The home is noted to have positive integrity markers including location, setting, design, feeling, and association. The home is noted to have diminished integrity markers including materials and workmanship.

Preservations Designs has reviewed the 2016 designation in the HCA and recommends that if the Board considers other 'ranch' style homes of a contributing age, by the same measures, this property would be contributing as well. In their determination the contributing categorization is due

to the fact that the home “embodies the distinctive characteristics of type, period, or method of construction” typical of a ‘raised ranch’.

Surrounding Land Use and Development Character

North: BSD-HR: Historic Residential (Single-Family Residential)
East: BSD-HR: Historic Residential (Single-Family Residential)
South: BSD-P: Public (City of Dublin)
West: R-2: Limited Suburban Residential District (Single-Family Residential)

Road, Pedestrian and Bike Network

The site has frontage on S. High Street (±100 Feet) and frontage on Waterford Drive (±180). There are sidewalks along both S. High Street and Waterford Drive. There are no dedicated bicycle facilities. Vehicular access is provided to the site from Waterford Drive.

Utilities

The site is served by public utilities, including sanitary and water. Electric and gas are also provided on site.

Code and Guidelines

Bridge Street District – Historic Residential District

The Bridge Street District (BSD) establishes form-based zoning regulations for the approximately 1,100-acres within the I-270 loop including Historic Dublin. There is an on-going effort to remove Historic Dublin from the BSD and to re-establish the Historic District Area Plan, revise the ARB Code, and refresh the *Historic Dublin Design Guidelines*.

Presently, the BSD Code establishes Neighborhood Standards where special attention to location and character of buildings, streets, and open spaces is important to fulfill the objectives identified in the BSD Special Area Plan within the Community Plan.

The property is zoned BSD-HR, Historic Residential District, which falls under the Neighborhood Standards section of the Code. The intent of the Historic Residential Neighborhood, as outlined in the BSD Code, is to “maintain the existing conditions of this important neighborhood...[as it] represents a snapshot in time that should be maintained, preserved, and protected.” The Neighborhood Standards identify the applicable development standards including setbacks, lot coverage, and building height, which alleviates property owners from the form-based requirements applicable in all other BSD zoning districts.

Historic Dublin Design Guidelines

The *Historic Dublin Design Guidelines* supplement the Code and should be considered when modifications to existing structures are proposed in the Historic District. The Guidelines provide recommendations regarding the overall character of additions including location, mass/scale, materials, and rooflines. The Guidelines recommend additions should be located to the rear of the existing structure, and should be subordinate to the existing structure. Additionally, the Guidelines provide direction of preservation of the historic integrity of existing structures. The Guidelines do not recommend painting existing masonry. The Guidelines note that contemporary materials should only be used in a traditional way. While continuity and compatibility with the neighborhood is expected, the Guidelines recommend avoidance of a false sense of history.

Proposal

The applicant is requesting feedback on exterior modifications and additions to an existing single-family home located in Historic Dublin. The applicant has indicated the intent is to give the home a 'farmhouse' character, which they have noted is responsive to the context adjacent to Karrer Barn.

Site Layout

The existing site layout provides access from Waterford Drive with the home sited to the east and a detached accessory structure located to the west. The existing two-car attached garage is rear loaded. Outdoor amenities including patio and greenspace are located to the south and west of the home.

The proposal is to maintain the existing site configuration with the following modifications: demolition and reconstruction of the garage; removal and replacement/expansion of the front porch; and, a living room addition with a covered and screened porch, and a new open and uncovered patio.

The applicant has indicated the conceptual layout results in a lot coverage of approximately 27-percent.

Mass and Scale

Presently the garage is aligned with the east façade of the home and front porch. The garage is proposed to be demolished and sited farther west behind the front façade of the home to emphasize the proposed front porch, which is proposed to run the length of the core of the home. Today, the roof pitch of the existing home and the existing garage match. The proposal increases the overall height of the garage by modifying the garage roof pitch – no longer matching the core of the home. The proposed garage is accented with shed dormer along the west roof plane.

The existing 'T' cross-gable form to the rear of the home is proposed to be retained. A new family room addition is proposed to the west. The addition is proposed to have an overall height in excess of the existing one-story form to the rear of the home. The proposed roof pitch appears to mimic the garage addition; although is likely steeper. A new side gable screened in porch intersects the roofline of the proposed family room addition.

Architectural Details

The applicant is proposing a series of exterior architectural modifications as well as building additions. The elevations provided for the Board's consideration are conceptual and do not clearly specify exterior materials or details. The applicant has indicated the roof will be replaced with new asphalt shingles, and further study is required to determine which windows will be retained and which windows will be replaced. Final details would be required with submittal of a Minor Project Review application.

1) East Elevation – S. High Street

The east elevation is typified by a new front porch with six columns supporting a flat roof highlighting a recessed double-door entry. Gothic style full height windows are proposed on either side of the front door. The base of the home is depicted with what appears to be new vertical board and batten siding covering the existing brick. On the upper story of the home, the brick is proposed to be painted white. Two ganged two-over-two windows are proposed above the main entry. A

front gable roofline addition, finished in vertical siding to match the base of the home, reinforces the vertical axis of the home. One two-over-two window is located to either side of the ganged windows. The window placement on the upper story is similar to as exists today.

The new garage addition is located to the south of the core of the home. The garage is setback approximately six feet from the front façade of the home. The garage is proposed to have two ganged two-over-two windows. A front gable roofline addition finished in vertical siding to match the primary core of the home is proposed.

2) South Elevations – Waterford Drive

The dominant elements along Waterford Drive will remain the detached shed and attached garage. The primary home and additions are setback significantly from Waterford Drive. The existing shed, which is clad in vertical board and batten siding, painted red, is proposed to be repainted to better integrate with the various improvements.

The new attached garage is proposed to have a single two-over-two window on the south façade, and be finished in vertical board and batten siding, painted white. The remaining brick on the home is proposed to be painted white. A new family room addition finished in matching vertical board and batten siding, painted white, is proposed west of the 'T' portion of the main structure. Three equally spaced two-over-two windows are proposed.

3) North Elevation – Side yard

The primary home is proposed to remain largely the same with the exception of painting the existing brick white. An existing addition, north of the 'T' portion of the main structure, is proposed to be removed and replaced to allow for a continuous side gable roof form. The larger living room addition is located to the west with the screened in porch visible from the north. Both additions are proposed to be finished in a vertical board and batten siding.

4) West Elevation – Rear yard

The various additions and new attached, rear-loaded garage are prominent from the west, which is largely screened by existing trees and shrubs. The upper story remains largely the same with the exception of painting the existing brick. The ground story is typified by the new front gable addition with three ganged two-over-two window accented with transoms. Two pedestrian entries are provided, one to north accessing the screened in porch, and one to the south with a shed roof accessing the mudroom. A new chimney, clad in siding, intersects the roofline of the porch addition. The attached garage is depicted with two separate garage bays. The garage roof is accented with a shed dormer containing four square windows. It is unclear if the shed dormer is in conjunction with usable space or if it is decorative. The ground story is entirely clad in vertical board and batten siding, painted white.

3. Informal Review Considerations

1) Does the Board support the conceptual Farmhouse character?

The Board is asked to provide feedback with regard to the conceptual architectural character. In review of the proposal Preservation Designs notes that the farmhouse style, although popular, may contribute to a "false historicism" as a historic farmhouse is located at 167 S. High Street and the historic Karrer Barn is located immediately to the south (3). The ARB Code notes in Section 153.174(C)(4), "all buildings, structures and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance inconsistent or inappropriate to the original integrity of the building shall be discouraged." The Board is asked to reference the *Historic Dublin Design Guidelines* and the BSD and ARB Codes in consideration of the proposed architectural character.

2) Does the Board support the proposed garage demolition?

The property is located within Historic Dublin and is zoned BSD-HR, Historic Residential. The Historic and Cultural Assessment identifies this property as non-contributing to the Historic District due to its age of 49 years in 2016. Preservation Designs determined the property has features, similar to other ranch homes in Historic Dublin, which would now at 53 years old make the home eligible as contributing to the integrity of the District. The Board is asked to reference the requirements listed in Zoning Code Section 153.176 when considering this request.

3) Does the Board support the proposed mass and scale of the additions?

The *Historic Dublin Design Guidelines* provide recommendations regarding the overall character, building scale and mass, and development pattern. Mass, form, and lot coverage should be similar to surrounding buildings, and additions should subordinate to and distinct from the original structure. Specifically the Guidelines identify that "Because additions can have a significant impact upon the character and appearance of an existing building and upon the Historic District, the design must be developed carefully" (73). The Board is asked to reference the Historic Dublin Design Guidelines and the development standards listed in Zoning Code Section 153.063(B) in considering this proposal.

4) Does the Board support exterior alterations including materials and architectural details?

The *Historic Dublin Design Guidelines* and Code provide guidance about exterior materials and details for new construction, additions, and existing structures. Specifically the Guidelines identify that masonry which has not been painted should remain unpainted. Additionally the Guidelines encourage that contemporary materials only be use in traditional ways. Traditionally board and batten siding was reserved for outbuildings. The Board is asked to provide feedback with regard to the materials and architectural details including roof lines, windows, board and batten siding and paint.

4. Discussion Questions

An Informal Review provides the opportunity for feedback at the formative stage of a project allowing the Architectural Review Board to provide non-binding feedback to an applicant regarding the proposal. Planning recommends the Board consider:

- 1) Does the Board support the conceptual Farmhouse character?
- 2) Does the Board support the proposed garage demolition?
- 3) Does the Board support the proposed mass and scale of the additions?
- 4) Does the Board support exterior alterations including materials and architectural details?
- 5) Other considerations by the Board.